# FLORIDA SERIES (TAMPA) 40' X 65'

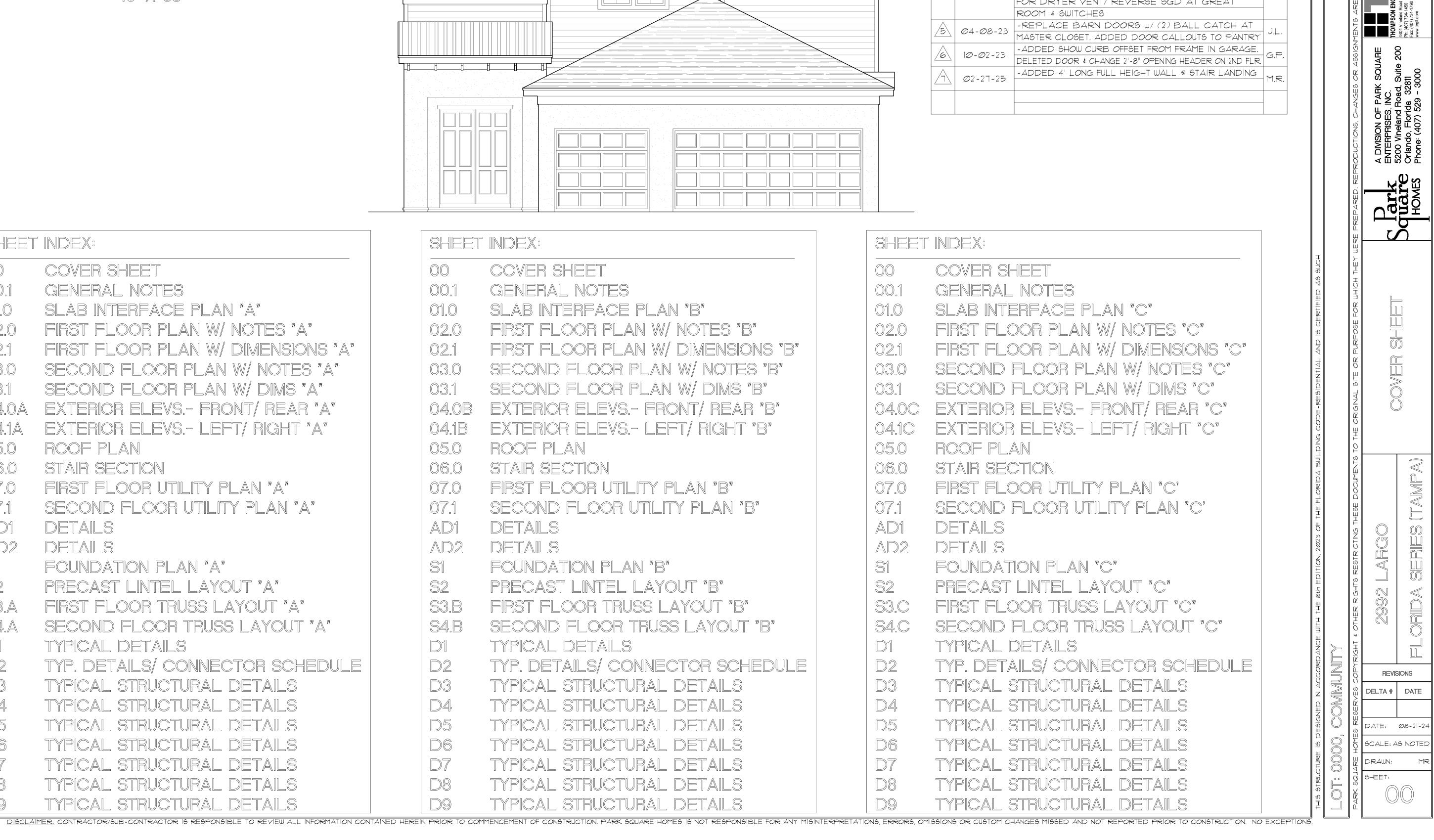


		REVISION SCHEDULE	
NO.	DATE	DESCRIPTION	BY
	Ø3-3Ø-2Ø	-CENTERED FRONT DOOR & ADDED OPT. L.T.	C.C.
		AND CABINETS	
$\wedge$	10-05-20	REVISED BLK. BEARING HEIGHT CHANGE FROM	C.C.
/ 4		GARAGE TO MASTER BATH	
/3	<i>0</i> 3- <i>0</i> 2-22	-ADDED ROOF VENT NOTES TO ELEVATIONS	M.C
75	Ø3-Ø2-22		1 1.0
	Ø9-Ø8-22	-SHIFTED MASTER BATH WINDOW OVER VANITY TO	C.C
4		9'-0" HDR. HT ./CHANGED CLG. HT. TO 10'-0" TO	
		MASTER BATH, LARGE MASTER CLOSET ONLY &	
		PANTRY/ ADDED SLOPED SOFFIT CLG. TO LAUNDRY	
		FOR DRYER VENT/ REVERSE SGD AT GREAT	
		ROOM & SWITCHES	
5	Ø4-Ø8-23	-REPLACE BARN DOORS W/ (2) BALL CATCH AT	1 1
75		MASTER CLOSET. ADDED DOOR CALLOUTS TO PANTRY	J.L
6	10-02-23	-ADDED SHOW CURB OFFSET FROM FRAME IN GARAGE.	<u></u>
		DELETED DOOR & CHANGE 2'-8" OPENING HEADER ON 2ND FLR.	G.P.
$\overline{A}$	Ø2-27-25	-ADDED 4' LONG FULL HEIGHT WALL @ STAIR LANDING	M.R.
	WZ-Z 1-25		

SHEET	TINDEX:
00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "A"
02.0	FIRST FLOOR PLAN W/ NOTES "A"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "A"
03.0	SECOND FLOOR PLAN W/ NOTES "A"
03.1	SECOND FLOOR PLAN W/ DIMS "A"
04.0A	EXTERIOR ELEVS FRONT/ REAR "A"
04.1A	EXTERIOR ELEVS LEFT/ RIGHT "A"
05.0	ROOF PLAN
06.0	STAIR SECTION
07.0	FIRST FLOOR UTILITY PLAN "A"
07.1	SECOND FLOOR UTILITY PLAN "A"
AD1	DETAILS
AD2	DETAILS
SI	FOUNDATION PLAN "A"
S2	PRECAST LINTEL LAYOUT "A"
\$3.A	FIRST FLOOR TRUSS LAYOUT "A"
S4.A	SECOND FLOOR TRUSS LAYOUT "A"
	TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS
	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS

SHEET	TINDEX:	SHEET	TINDEX:
	COVER SHEET		COVER SHEET
00.1	GENERAL NOTES	00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "A"	01.0	SLAB INTERFACE PLAN "B"
02.0	FIRST FLOOR PLAN W/ NOTES "A"	02.0	FIRST FLOOR PLAN W/ NOTES "B"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "A"	02.1	FIRST FLOOR PLAN W/ DIMENSIONS "B"
03.0	SECOND FLOOR PLAN W/ NOTES "A"	03.0	SECOND FLOOR PLAN W/ NOTES "B"
03.1	SECOND FLOOR PLAN W/ DIMS "A"	03.1	SECOND FLOOR PLAN W/ DIMS "B"
04.0A	EXTERIOR ELEVS FRONT/ REAR "A"	04.0B	EXTERIOR ELEVS FRONT/ REAR "B"
04.1A	EXTERIOR ELEVS LEFT/ RIGHT "A"	04.18	EXTERIOR ELEVS LEFT/ RIGHT "B"
05.0	ROOF PLAN	05.0	ROOF PLAN
06.0	STAIR SECTION	06.0	STAIR SECTION
07.0	FIRST FLOOR UTILITY PLAN "A"	07.0	FIRST FLOOR UTILITY PLAN "B"
07.1	SECOND FLOOR UTILITY PLAN "A"	07.1	SECOND FLOOR UTILITY PLAN "B"
AD1	DETAILS	AD1	DETAILS
AD2	DETAILS	AD2	DETAILS
<b>S</b> 1	FOUNDATION PLAN "A"	SI	FOUNDATION PLAN "B"
S2	PRECAST LINTEL LAYOUT "A"	S2	PRECAST LINTEL LAYOUT "B"
\$3.A	FIRST FLOOR TRUSS LAYOUT "A"	\$3.B	FIRST FLOOR TRUSS LAYOUT "B"
\$4.A	SECOND FLOOR TRUSS LAYOUT "A"	\$4.B	SECOND FLOOR TRUSS LAYOUT "B"
	TYPICAL DETAILS		TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE	D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS	D3	TYPICAL STRUCTURAL DETAILS
	TYPICAL STRUCTURAL DETAILS		TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS	D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS		TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS	D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS	D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS	D9	TYPICAL STRUCTURAL DETAILS

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SHEET	INDEX:
	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "C"
02.0	FIRST FLOOR PLAN W/ NOTES "C"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "C"
03.0	SECOND FLOOR PLAN W/ NOTES "C"
03.1	SECOND FLOOR PLAN W/ DIMS "C"
04.00	EXTERIOR ELEVS FRONT/ REAR "C"
04.10	EXTERIOR ELEVS LEFT/ RIGHT "C"
05.0	ROOF PLAN
06.0	STAIR SECTION
07.0	FIRST FLOOR UTILITY PLAN "C'
07.1	SECOND FLOOR UTILITY PLAN "C'
AD1	DETAILS
AD2	DETAILS
<b>S</b> 1	FOUNDATION PLAN "C"
S2	PRECAST LINTEL LAYOUT "C"
<b>S3.</b> C	FIRST FLOOR TRUSS LAYOUT "C"
<b>S4.</b> C	SECOND FLOOR TRUSS LAYOUT "C"
	TYPICAL DETAILS
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D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
	TYPICAL STRUCTURAL DETAILS



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ABBREVIATIONS:
          AIR CONDITIONER
A.F.F
          ABOVE FINISHED FLOOR
A.H.U.
          AIR HANDLER UNIT
          ALTERNATE
ALUM.
          ALUMINUM
BRG.
          BEARING
CAB.
          CABINET
CANT
          CANTILEVER
          CENTER LINE
CLG.
          CEILING
          CONTROL JOINT
          CONCRETE MASONRY UNIT
CONT.
         CONTINUOUS
CPT.
          CARPET
          DRYER SPACE
          DOUBLE HUNG
DIA.
          DIAMETER
DISP.
          DISPOSAL
D.V.
          DRYER VENT
          DISHWASHER
E.H.
          EACH
ELEC
          ELECTRICA
ELEY
          ELEVATION
E.O.R.
          ENGINEER OF RECORD
E.W.
         EACH WAY
          FLORIDA BUILDING CODE
FBC
FBC(B)
         FLORIDA BUILDING CODE, BUILDING
FBC(E)
         FLORIDA BUILDING CODE, ENERGY CONSERVATION
FBC(M)
         FLORIDA BUILDING CODE, MECHANCICAL
FBC(P)
         FLORIDA BUILDING CODE, PLUMBING
FBC(R)
         FLORIDA BUILDING CODE, RESIDENTIAL
         FINISHED FLOOR ELEVATION
F.G.
         FIXED GLASS
FLR.
         FLOOR
F.R.
          FIRE RATED
          FOOT / FEET
FTG.
          FOOTING
F.V.
          FIELD VERIFY
GALV.
         GALVANIZED
G.C.
          GENERAL CONTRACTOR
GFCI
         GROUND FAULT CIRCUIT INTERRUPTER
GFI
          GROUND FAULT INTERRUPTER
G.T.
          GIRDER TRUSS
GYP.
          GYPSUM
HDR.
          HEADER
HGT.
          HEIGHT
          HOSE BIB
H.B.
HORIZ.
         HORIZONTAL
          HARD SURFACE
I.L.Ø.
         IN LIEU OF
          INTERIOR
          LAUNDRY TUB
LOC.
          LOCATION
MAX.
         MAXIMUM
          MEDICINE CABINET
MECH.
         MINIMUM
MONO.
         MONOLITHIC
MPH
         MILES PER HOUR
NO.
          NUMBER
N.T.S.
         NOT TO SCALE
O.C.
          ON CENTER
O.H.C.
         OVERHEAD CABINETS
O.H.GD
         OVERHEAD GARAGE DOOR
OPT.
         OPTIONAL
PED.
          PEDESTAL SINK
          POUNDS PER LINEAR FOOT
PLF
PLT. HGT. PLATE HEIGHT
          POUNDS PER SQUARE FOOT
          PRESSURE TREATED
PWR
          POWER
REF. SP.
         REFRIGERATOR SPACE
REQ'D
          REQUIRED
RM.
          ROOM
R.O.
          ROUGH OPENING
R/S
          ROD AND SHELF
SC
          SOLID CORE
SGD
         SLIDING GLASS DOOR
                                             PER FBC R301- TABLE R301.5
SH
          SINGLE HUNG
                                                                  CONC. LOAD
                                     GUARDRAILS & HANDRAILS
                                                                               200 LBS
SIM.
          SIMILAR
SPF
          SPRUCE PINE FUR
                                     GUARDRAIL IN-FILL COMPONENTS CONC. LOAD
                                                                                 50 LBS
SQ. FT.
         SQUARE FOOT/ FEET
                                     STAIRS
                                                                  CONC. LOAD
                                                                                300 LBS
SUB
          SUB-CONTRACTOR
                                       PER FBC R312 - R312.1.2 & R312.1.3 & R311.7.8.1
SYP
          SOUTHERN YELLOW PINE
                                    GUARDRAILS HEIGHT
                                                                                 36" MIN.
TEMP.
          TEMPERED
T.M.
          TOP OF MASONRY
                                     HANDRAIL HEIGHT
                                                                       34" MIN. TO 38"MAX
T..W.
          TOP OF WALL
                                    GUARDRAIL OPENING LIMITATIONS
                                                                     4" IN DIAMETER MAX
TRANS.
          TRANSOM
                                            EERO- R310.2.1- FBCR2023
TYP.
          TYPICAL
          UNLESS NOTED OTHERWISE
                                                            NET CLEAR OPENING OF NOT
U.N.O.
                                          NET CLEAR OPNG.
                                                            LESS THAN 5.7 SQFT
VERT.
          VERTICAL
                                          HEIGHT 32" X NET
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VAPOR PROOF

WATER CLOSET

WASHER SPACE

WATER HEATER

WEATHER PROOF

WITH

VENT THRU ROOF

V.A.

VTR

W/

W.C.

W.H.

WP

## THE ANSI STANDARD FOR MEASURING HOUSES:

NATIONAL STANDARD Z765-1996 NEW CONSTRUCTION THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL & INCLUDE ALL INTERIOR WALLS & VOIDS, FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL & INCLUDE ALL INTERIOR WALLS & VOIDS, FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS, INTERNAL ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING.

THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL & INCLUDE ALL INTERIOR WALLS & VOIDS SEPARATED INTO TWO AREAS:

AIR-CONDITIONED SPACE

NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES BREEZEWAYS)

THE ANSI STANDARDS DEFINE "FINISHED AREA" AS AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS \$ CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, & FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES & ARE USUALLY LISTED SEPARATELY

CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

<u>DO NOT SCALE PRINTS!</u> PLANS ARE TO SCALED AS NOTED, UNLESS SPECIFIED N.T.S. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

PULL ALL DIMENSIONS FROM THE REAR OF PLAN

ALL FINISH FLOOR ELEVATIONS ARE TO TOP OF ROUGH SLAB OR TO TOP OF STRUCTURE U.N.O.

ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION & MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF & ANY OTHER AREA AROUND EACH SINGLE FAMILY HOUSE/ APARTMENT, CONDOMINIUM/ TOWNHOUSE.

#### EXTERIOR WALLS:

ASSUME ALL EXTERIOR WALLS TO BE LOAD BEARING.

SEE STRUCTURAL DRAWINGS FOR CMU WALL REINFORCEMENT LOCATIONS INTERIOR SURFACE OF CMU WALL TO HAVE 1/2" GPBD APPLIED TO IX P.T. VERTICAL FURRING BATTS SPACED @ 16" O.C. ATTACH FURRING TO CONCRETE WALL AS REQUIRED.

SECOND FLOOR EXTERIOR WALLS TO BE WOOD STUDS. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD

TO MASONRY INTERFACES

REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH

6. ALL EXTERIOR CEILINGS (PORCH & PATIOS) SHALL HAVE SAG-RESISTANT GYP SOFFIT BOARD.

ALL INTERIOR WALLS SHALL HAVE STANDARD 1/2" GYP BD, EXCEPT IN HIGH HUMIDITY & WET AREAS.

GYPSUM BOARD.

ALL INTERIOR CEILINGS SHALL HAVE PER FBCR 702.3.5 1/2"

SAG-RESISTANT GYP BD. INSTALL PERPENDICULAR TO FRAMING. TILE IN TUBS, SHOWERS, & WALL PANELS IN SHOWER AREAS ARE TO HAVE CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS R702.3.7 / R702.4.2 2023 FBC-R 8TH EDITION.

5. 2023 FBC-R 8TH EDITION TABLE R302.6: 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT IS REQUIRED FOR A GARAGE CEILING WITH HABITABLE ROOMS ABOVE. 1/2" MINIMUM GYPSUM BOARD IS REQUIRED ON GARAGE SIDE OF INTERIOR WALLS.

6. ALL PLATES & SLEEPERS ON CONCRETE SLAB, WHICH ARE IN DIRECT CONTACT WITH THE EARTH, SHALL BE PRESSURE TREATED

ALL INTERIOR WALL PLATES, OTHER THAN SHEAR WALLS, ON CONC. SLAB TO BE ATTACHED W/ POWER ACTUATED FASTENERS, SPACED @ 48" O.C. MAX. ALL WOOD BRG. INTERIOR PARTITIONS SHALL BE 2X4 STUDS SPACED @ 16" O.C. WITH DOUBLE TOP PLATE, U.N.O.

WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN FOREST & PAPER ASSOCIATION (AF &PA) "NATIONAL SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION.

## MEANS OF EGRESS

MIN. NET CLEAR OPNG. HEIGHT

|WIDTH DIMENSION SHALL BE 20"

ESCAPE & RESCUE OPNG. SHALL

THE MIN. NET CLEAR OPNG.

MIN. NET CLEAR OPNG. FOR

GRADE-FLOOR EMERGENCY

CLEAR OPNG. WIDTH DIMENSION SHALL BE 24".

27 1/2" = 6.119 SQFT

63" H. X 37" W.

WDW SIZE

NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED IN EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED, & SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES WHERE MEASURED BETWEEN THE FACE OF THE DOOR & THE STOP, WITH THE DOOR OPEN 90 DEGREES. THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 18 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP.

2. RAMPS SERVING EGRESS DOOR REQUIRED BY SECTION R311.2 SHALL HAVE A SLOPE OF NOT MORE THAN I UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3 % SLOPE). ALL OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5% SLOPE)

THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 36 INCHES MEASURED FROM FINISHED MATERIALS.

WINDOWS DESIGNATED AS EGRESS SHALL COMPLY WITH SECTION R310.2 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44"MIN. A.F.F.- R310.2 -FBC-R (2**0**23)

6. IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24"ABOVE FINISH FLOOR & GREATER THAN 72" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

TERMITE PROTECTION:

PENETRATION, PROTECTIVE SLEEVES AROUND PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE CONTAINING MATERIALS. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, THE SLEEVE SHALL HAVE A MAXIMUM WALL THICKNESS OF 0.010 INCH, & BE SEALED WITHIN THE SLAB USING A NON-CORROSIVE CLAMPING DEVICE TO ELIMINATE THE ANNULAR SPACE BETWEEN THE PIPE THE SLEEVE. NO TERMITICIDES SHALL BE APPLIED INSIDE THE SLEEVE.

PROTECTION AGAINST DECAY & TERMITES. - CONDENSATE LINES. IRRIGATION SPRINKLER SYSTEM RISERS FOR SPRAY HEADS, & ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST I FOOT (305 MM) AWAY FROM THE STRUCTURE SIDEWALL, WHETHER BY UNDERGROUND PIPING, TAIL EXTENSIONS OR SPLASH BLOCKS GUTTERS WITH DOWNSPOUTS ARE REQUIRED ON ALL BUILDINGS WITH EAVES OF LESS THAN 6 INCHES (152 MM) HORIZONTAL PROJECTION EXCEPT FOR GABLE END RAKES OR ON A ROOF ABOVE ANOTHER ROOF.

#### DOORS AND WINDOWS:

WINDOW & DOOR SUPPLIERS SHALL PROVIDE CURRENT ROUGH OPENING INFORMATION WHICH, SHALL HAVE PRECEDENCE OVER THE WINDOW & DOOR SCHEDULES ON PLAN.

CONTRACTOR & SUPPLIER TO VERIFY WINDOW LOCATION, TYPE (FIN VS. FLANGE). HEADER HEIGHTS, & ROUGH OPENINGS PRIOR TO DELIVERY WINDOWS & DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

ALL GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED & FBC, OR AS APPLICABLE. COMPLY WITH SECTION R308 OF THE 2023 FBC-R 8TH EDITION

WINDOW CONTRACTOR TO VERIFY ROUGH OPENINGS OF ALL FIELD ASSEMBLED FIXED GLASS WINDOW UNITS PRIOR TO INSTALLATION. WINDOW ROUGH OPENING INCLUDES IX P.T. FRAME ATTACHED TO CMU'S.

DOOR ROUGH OPENING INCLUDES 2X P.T. FRAME ATTACHED TO CMU'S. ALL WINDOWS IN WIND BORN DEBRIS AREAS SHALL BE PROTECTED FROM WIND BORN DEBRIS. PROVIDE SHUTTERS CERTIFIED TO MEET MIAMI-DADE IMPACT TEST. SHUTTERS MUST BE ROLL-DOWN, PANEL ACCORDION

OR OTHER APPROVED DESIGN TYPE, BUILDER TO SUBMIT MANUFACTURER, MODEL NO. INSTALLATION INSTRUCTIONS, & COPY OF MIAMI-DADE IMPACT TEST AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, DATA FOR PROPOSED SHUTTERS

WINDOW & DOOR ASSEMBLIES TO CONFORM TO 2023 FBC-R CHAPTER 6 SECTION 609. INTERIOR FACE OF WINDOW, FASTEN BUCK TO MASONRY W/ 1/4" X 3" TAPCONS, 6" FROM EDGES & 16" O.C. MAX. 2X P.T. BUCKS/NAILERS SHALL EXTEND BEYOND.

10. BUCKS LESS THAN 2X TO BE FASTENED W/ CUT NAILS OR EQUIVALENT STRUCTURAL CONNECTION OF WINDOW TO STRUCTURE BY OTHERS IN THIS CASE. WITH A SURGE-PROTECTION DEVICE (SPD). THE SPD SHALL BE A TYPE (1) EXTERIOR WINDOWS & SLIDING DOORS SHALL BE TESTED & COMPLY WITH AAMA/WDMA/CSA 101/1.5.2/A440 OR TAS 202 (HVHZ SHALL COMPLY WITH TAS 202 AND ASTM E1300). EXTERIOR SIDE HINGED DOORS SHALL COMPLY WITH AAMA/WDMA/CSA 101/1.S.2/A440 OR ANSI/WMA100 OR SECTION R609.5 IN

ALL GARAGE/OVERHEAD DOORS SHALL BE LISTED & TESTED FOR 30 SECONDS AT DESIGN PRESSURE (+/-) TO INCLUDE A 10 SECOND GUST AT 1.5 TIMES THE DESIGN PRESSURE.

THE ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS

SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

12" OVERHANG U.N.O./ PLUMB CUT FASCIA/ ROOF PITCH PER ELEVATION, SHINGLES U.N.O. 4. FLASHING SHALL BE INSTALLED AT WALL & ROOF INTERSECTIONS, AT

GUTTERS, AT ALL CHANGES IN ROOF SLOPE OR DIRECTION, & AROUND ROOF OPENINGS. STEP FLASHING SHALL BE USED ON ALL ROOF TO WALL INTERSECTIONS

ON RAKES. ALL PENETRATIONS THROUGH ROOF ARE TO BE LOCATED ON REAR OR

F NECESSARY ON THE SIDE OF THE ROOF BEHIND THE FRONT FACADE ZONE. CLAY & CONCRETE TILE (IF APPLICABLE):

1. PER FBC-R 2023 8TH EDITION R905.3, THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR RECOMMENDATIONS OF FRSA/TRI FLORIDA HIGH WIND CONCRETE & CLAY ROOF TILE INSTALLATION MANUAL, LATEST EDITION, WHERE THE VASD IS DETERMINED IN ACCORDANCE WITH SECTION R3Ø1.2.1.3.

II. UNLESS OTHERWISE NOTED, REQUIRED UNDERLAYMENT SHALL COMPLY WITH THE UNDERLAYMENT MANUFACTURER'S INSTALLATION INSTRUCTIONS IN ACCORDANCE WITH THE FRSA/TRI FLORIDA HIGH WIND CONCRETE & CLAY ROOF TILE INSTALLATION MANUAL, LATEST EDITION, WHERE THE VASD IS DETERMINED IN ACCORDANCE WITH SECTION R301.2.1.3. ASPHALT SHINGLES (IF APPLICABLE):

1. WIND RESISTANCE OF ASPHALT SHINGLES. - ASPHALT SHINGLES SHALL BE INSTALLED IN ACCORDANCE WITH 2023 FBC-R (8TH EDITION), SECTION R905.2.6 AND R905.2.6.1.

II. ASPHALT SHINGLES SHALL ONLY BE USED ON ROOF SLOPES OF TWO STAIRS: UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) & LESS THAN 2. FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), TWO LAYERS OF UNDERLAYMENT COMPLYING WITH ASTM D226, TYPE II, ASTM D4869, TYPE III OR TYPE IV OR ASTM D8257 IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1. FOR ROOF SLOPES FROM FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) & GREATER, ONE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226, TYPE II, ASTM D4869, TYPE III OR IV OR ASTM D8257 IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.

III. AS AN ALTERNATIVE, THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN UNDERLAYMENT COMPLYING WITH ASTM D1970 INSTALLED IN ACCORDANCE WITH BOTH THE UNDERLAYMENT MANUFACTURER'S & ROOF COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE DECK MATERIAL ROOF VENTILATION CONFIGURATION & CLIMATE EXPOSURE FOR THE ROOF COVERING TO BE INSTALLED. REFER TO R905.1.1.1.

INSULATION:

INSULATE ALL EXTERIOR FRAME WALLS WITH R-13 BATT FIBERGLASS INSULATION

2. INSULATE CONDITIONED ATTIC SPACE WITH R-30 BLOWN FIBERGLASS INACCESSIBLE ATTIC SPACE SHALL RECEIVE R-30 BATT INSULATION. 3. INSULATE ALL CMU WALLS (THAT REQUIRE I" P.T. FURRING STRIPS

WITH R4.1 FI-FOIL PANELS. APPLY HILTI FOAM FILLER AT EXTERIOR WALLS AROUND: WINDOW FRAMES, EXTERIOR DOOR FRAMES, GAPS AROUND PIPES, VENTS, OUTLETS

INSULATE ALL ATTIC KNEE WALLS WITH R-38 BATTS.

CABINETRY/MILLWORK & RESTROOM LAYOUTS.

APPLY OWENS CORNING ENERGY COMPLETE TO THE TOP OF ALL CONDITIONED SPACE WALLS THAT INTERACT WITH UNCONDITIONED ATTIC SPACE ABOVE.

CABINETS CABINET MANUFACTURE'S SHOP DRAWINGS TAKE PRECEDENCE OVER THE INTERIOR CABINET ELEVATIONS SHOWN ON THESE DRAWINGS. SEE SUPPLIER / MFR'S DRAWINGS FOR KITCHEN,

PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO PROPERLY SIZE, DESIGN, & INSTALL ALL PLUMBING SYSTEM COMPONENTS BY THE TERMS OF THEIR APPROVAL, IN ACCORDANCE WITH THE CONDITIONS OF THE LISTING, & PER THE CURRENT EDITION OF THE FBC(P), THE FBC(R), THE

PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE. VENT DRYER THRU ROOF, NO VENT STACKS SHALL PENETRATE THROUGH ROOF CRICKETS, VALLEYS, OR RIDGES. BUILDER SHALL VERIFY

APPROVE ALL LOCATIONS.

IAW NEC 2020 - 210.12 - ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

3. ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED OR TYPE (2) SPD.

4. ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES & LAUNDRY ROOM SHALL BE GFCI

SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP, ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBC-R R314,3 & R314,4,

ALL ELECTRICAL WORK TO BE DONE PER NFPATØ-<u>NEC 2020</u> ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH

ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPA70-NEC2020 - ARTICLE 210-52

## MECHANICAL

EQUIPMENT LOCATIONS TO BE FIELD VERIFIED & MAY VARY DEPENDANT UPON COMMUNITY & MUNICIPALITY CODES

COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610. APPLIANCES SHALL BE ACESSIBLE FOR INSPECTION, SERVICE,

REPAIR & REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION. A) CHAPTER 13 OF THE FBC-R 2023 8TH EDITION, SECTION M1305.1 AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL

ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION MIGO2 OF THE FBC-R 2023 8TH EDITION. ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBC-R 2023 8TH EDITION P2801.7

6. ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT, IAW FBC-R 2023 8TH EDITION. 7. THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE

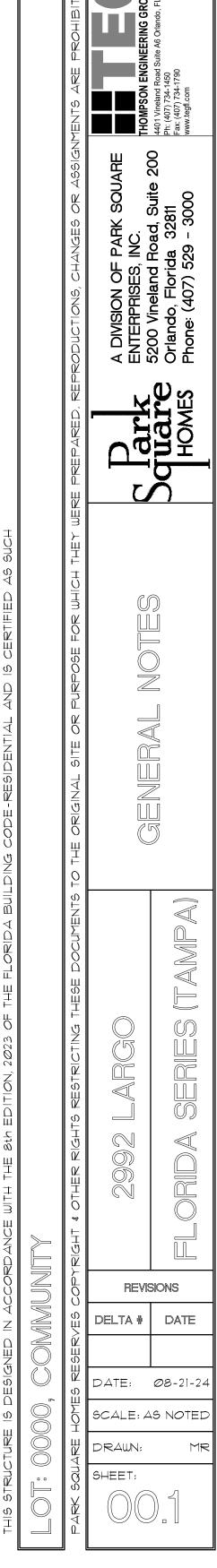
DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS MI502.4.5.1 THROUGH M1502.4.5.3

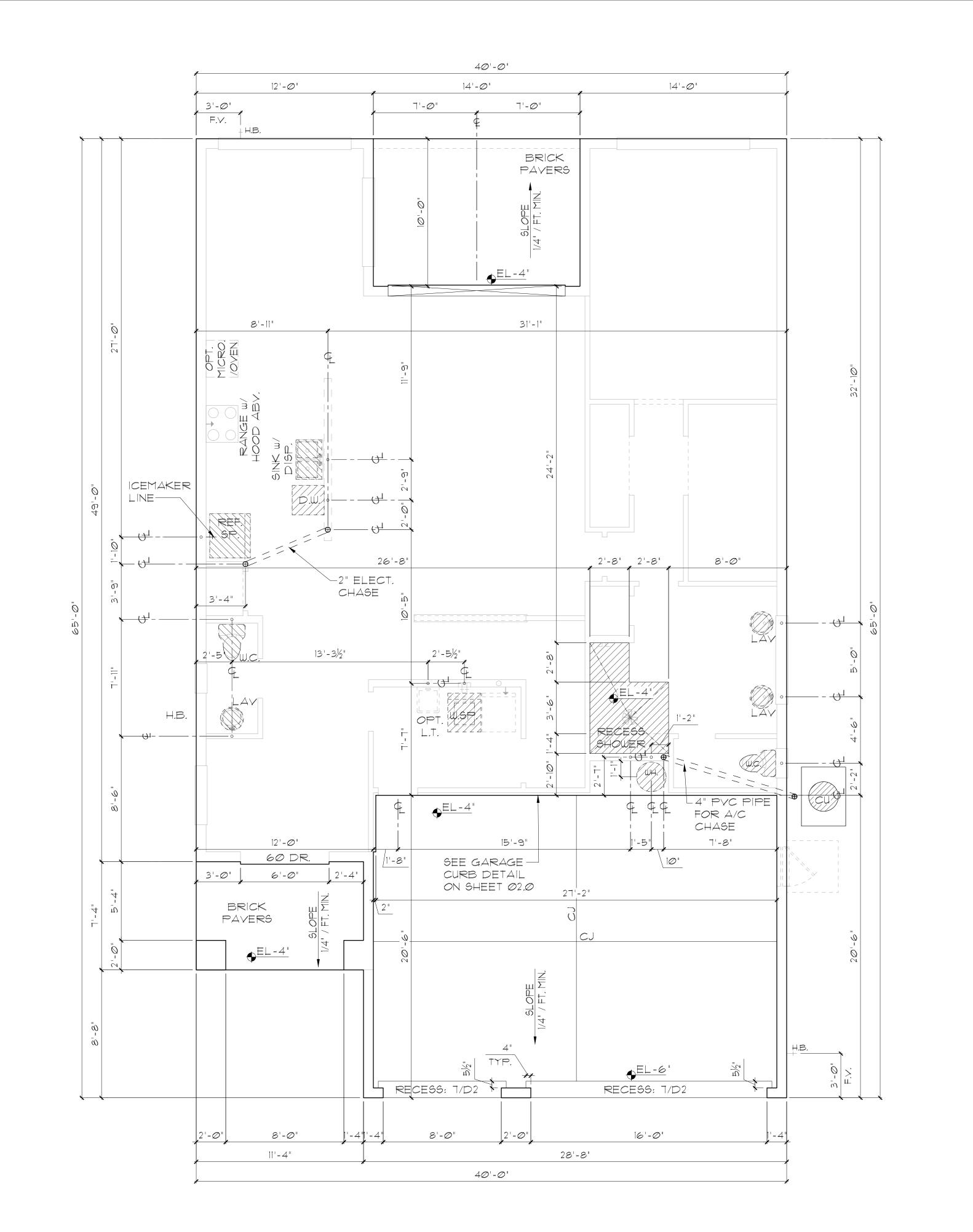
SEE STAIR SECTIONS FOR TREAD & RISER GENERAL REQUIREMENTS. ACCESSIBLE SPACE UNDER STAIRS SHALL BE PROTECTED BY 1/2" GYPSUM BOARD.

HANDRAIL CONTINUITY PER R311.7.8.2.- HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2"(38MM) BETWEEN THE WALL & THE HANDRAIL

## SWIMMING POOLS:

CHAPTER 45 PRIVATE SWIMMING POOLS - OUTDOOR SWIMMING POOLS SHALL BE PROVIDED WITH A BARRIER COMPLYING W/ R4501.17.1 THROUGH R4051.17.1.14.





TO SUIT EQUIP. FURN

CONDENSOR

TABLE FOR QTY. PER SIDE.

LENGTH / SIDE

36" UP \$ 5tons \$ UP

LESS THAN 12

/ N.T.S.

24" - 36"

-CONNECT TO UNIT W/ #14 SHEET METAL SCREWS W/GASKETED WASHERS & CONNECT TO PAD W/

1/4"X 1-1/4" TAPCON SCREW OR 3/8" BOLT. SEE

ONE / SIDE

TWO / SIDE

FOUR / SIDE

THREE / SIDE

ANCHOR SPACING TABLE

GALV. STEEL STRAPS

OR 2" WIDE 20ga

PAD ABOVE BASE FLOOD ELEVATION

4" THICK CONC. PAD-SEE PLAN FOR UNIT

REFRIGERANT PIPING TO AIR HANDLING UNIT

LOCATION

NO. OF ANCHOR/SIDES

ANCHOR DE

FOUNDATION NOTES

CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.

2. <u>DO NOT SCALE PRINTS!</u> CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION. 3. WATER HEATER T & PRELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR, WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR, WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE. 4. PAVERS MAY BE USED I.L.O. CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED. VERIFY W/ COMMUNITY SPECIFICATIONS 5. MECHANICAL EQUIP, LOCATIONS TO BE FIELD VERIFIED & MAY BE DEPENDANT UPON COMMUNITY AND MUNICIPALITY CODES. 6. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.

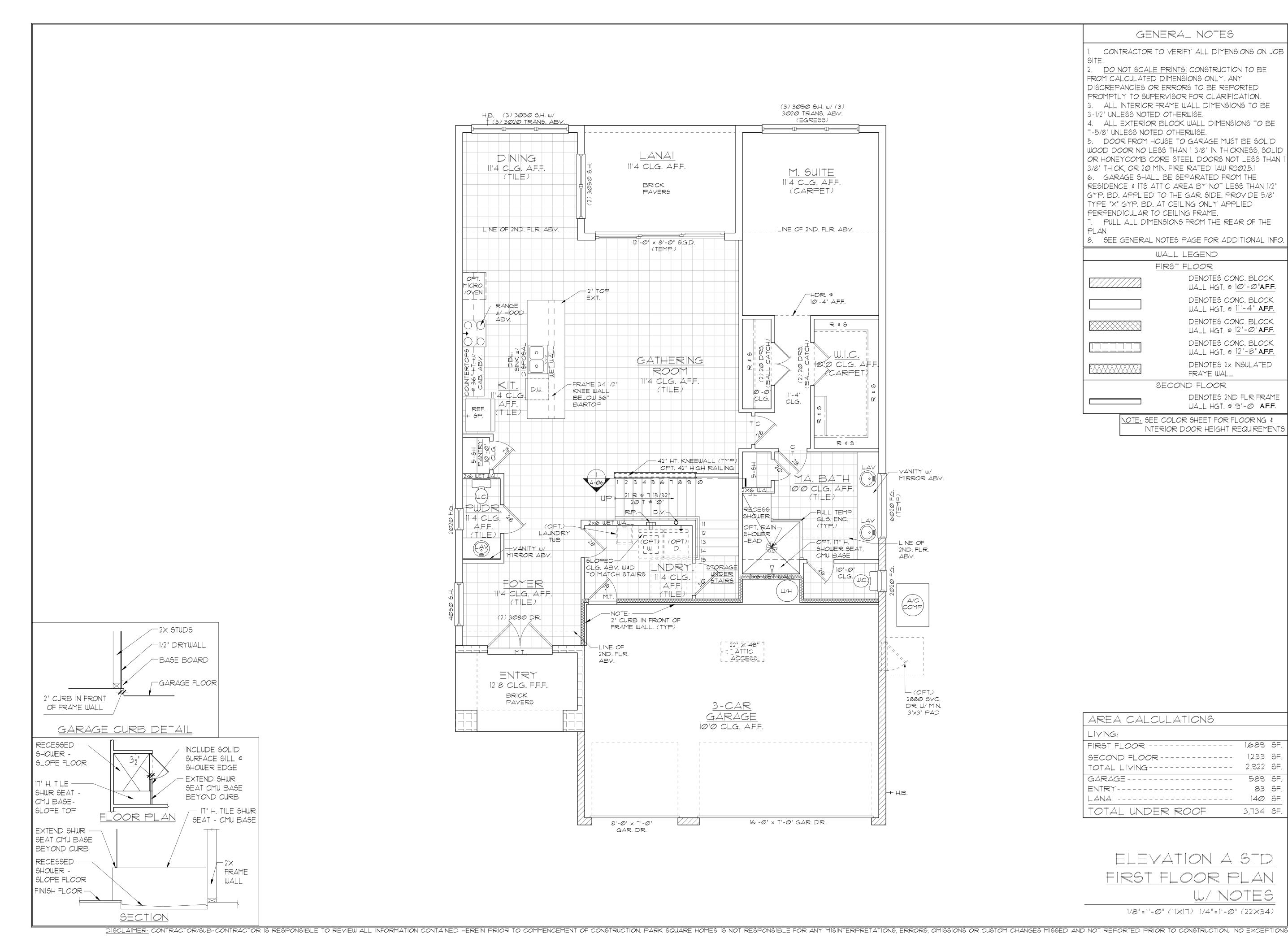
1. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO FBC-R- CURRENT EDITION.

**REVISIONS** DELTA # DATE DATE: Ø8-21-2 SCALE: AS NOTE: DRAWN:

SHEET:

ELEVATION A,B,C STD SLAB INTERFACE PLAN 1/8"=1'-0" (11×17) 1/4"=1'-0" (22×34)

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5. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN I 3/8" THICK, OR 20 MIN, FIRE RATED IAW R302.5.1 6. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE "X" GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.

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8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

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> SECOND FLOOR DENOTES 2ND FLR FRAME WALL HGT, @ 9'-0" A.F.F.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS LIVING: 1,689 SF FIRST FLOOR -----SECOND FLOOR -----2,922 SF. TOTAL LIVING-----GARAGE-----589 SF. 83 SF. ENTRY-----14Ø SF. LANAI -----TOTAL UNDER ROOF 3,734 SF.

> ELEVATION A STD FIRST FLOOR PLAN 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

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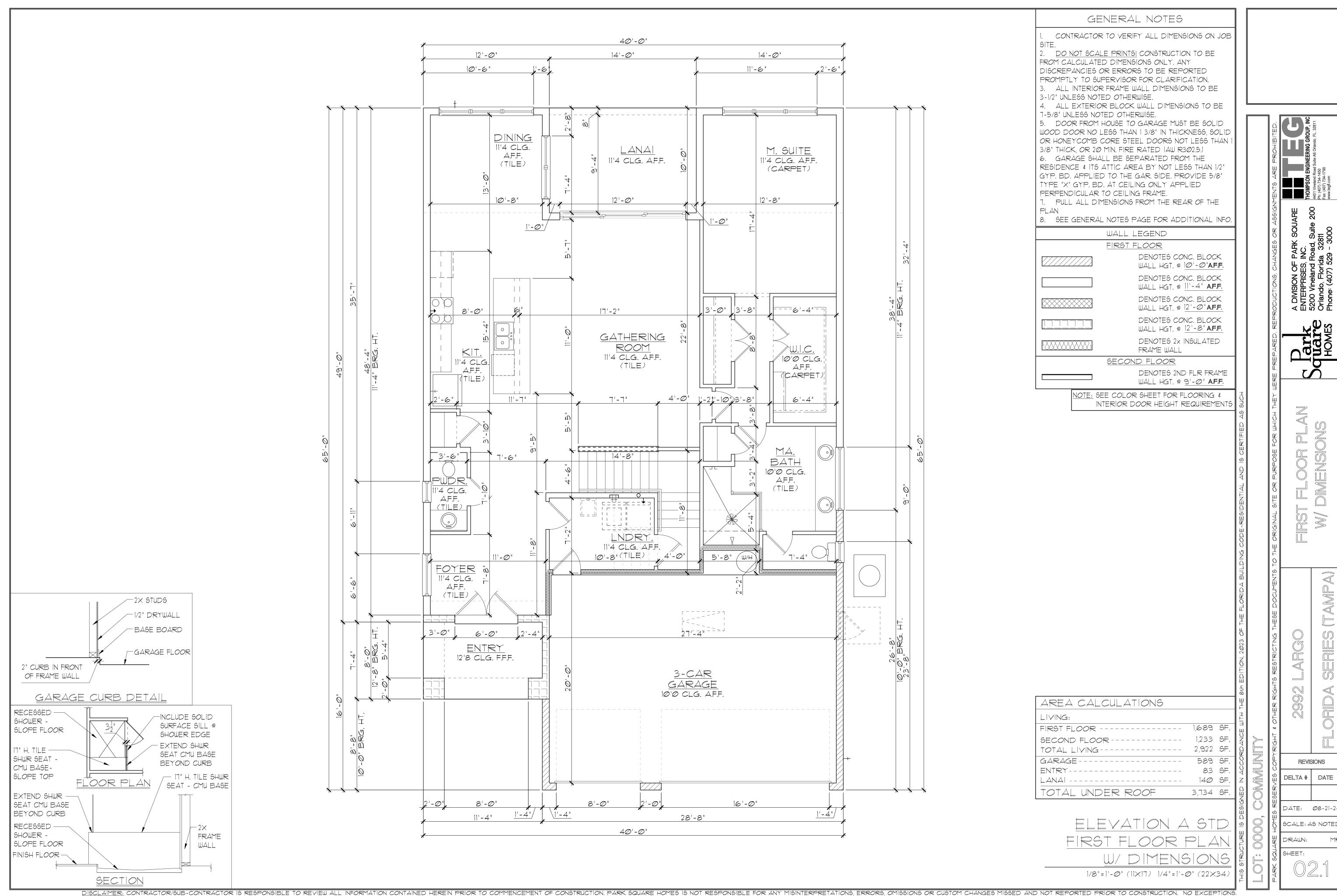
**REVISIONS** 

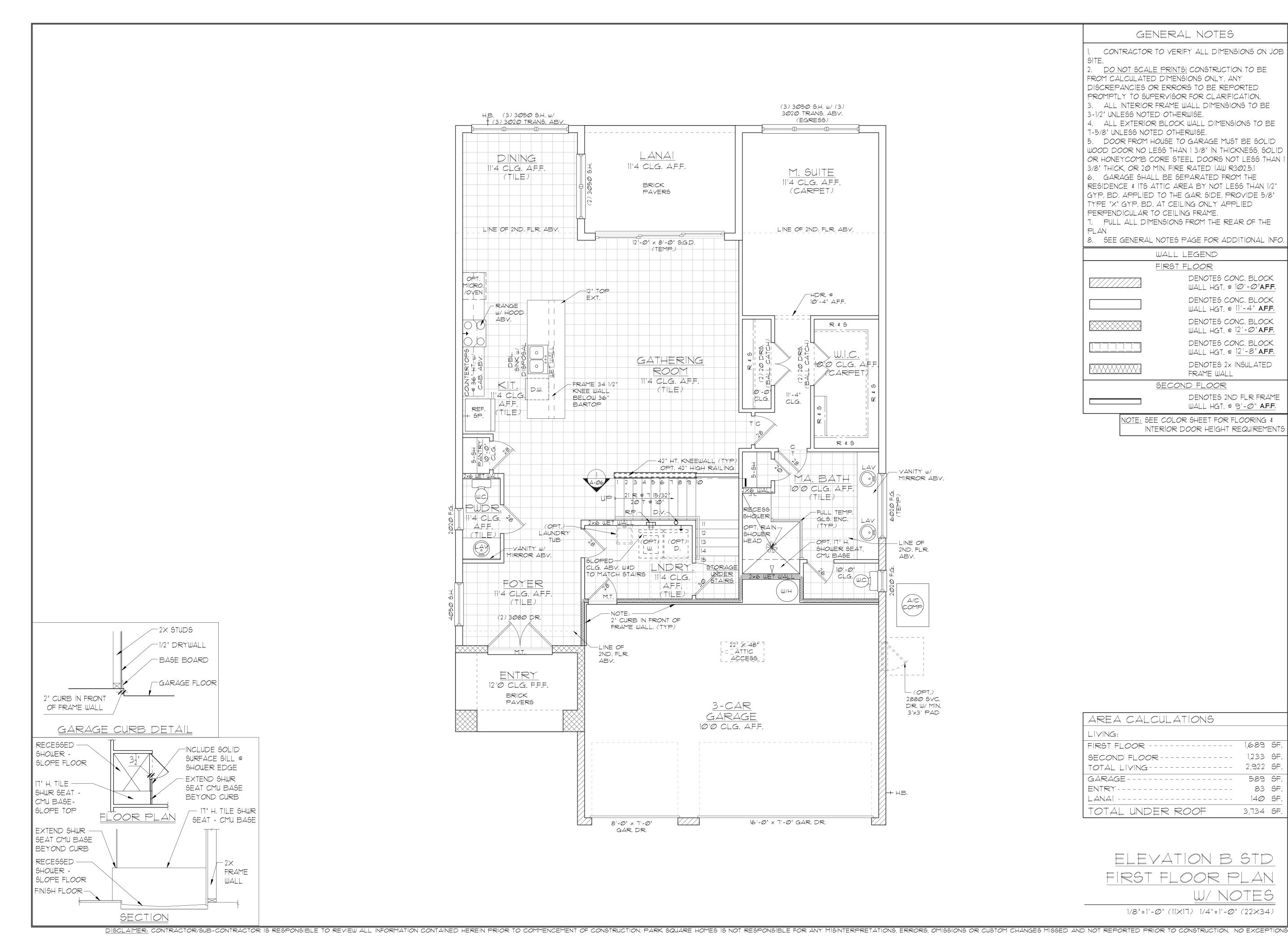
DELTA # DATE

DATE: Ø8-21-2

SCALE: AS NOTE

A DIVI ENTE 5200 Orlan





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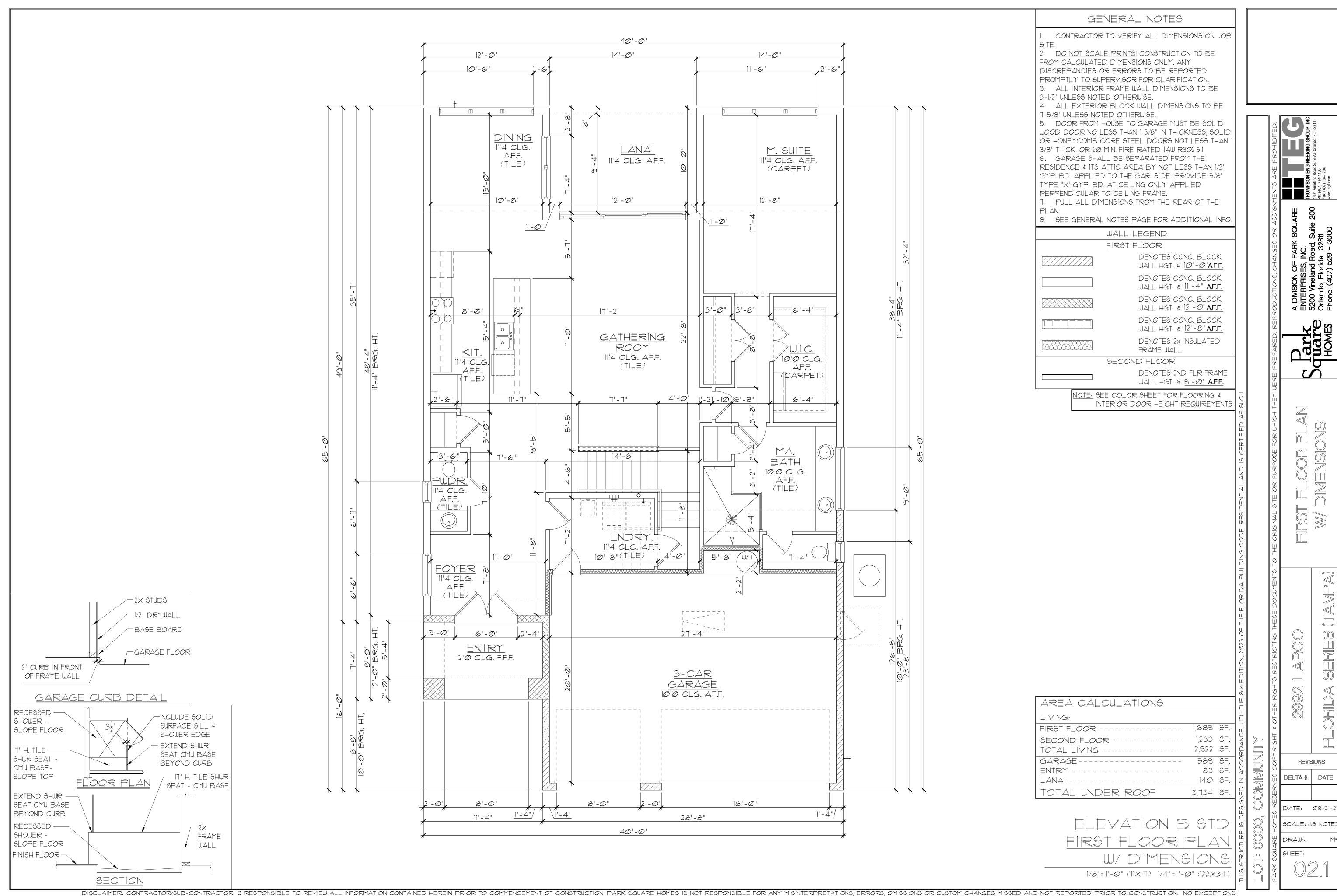
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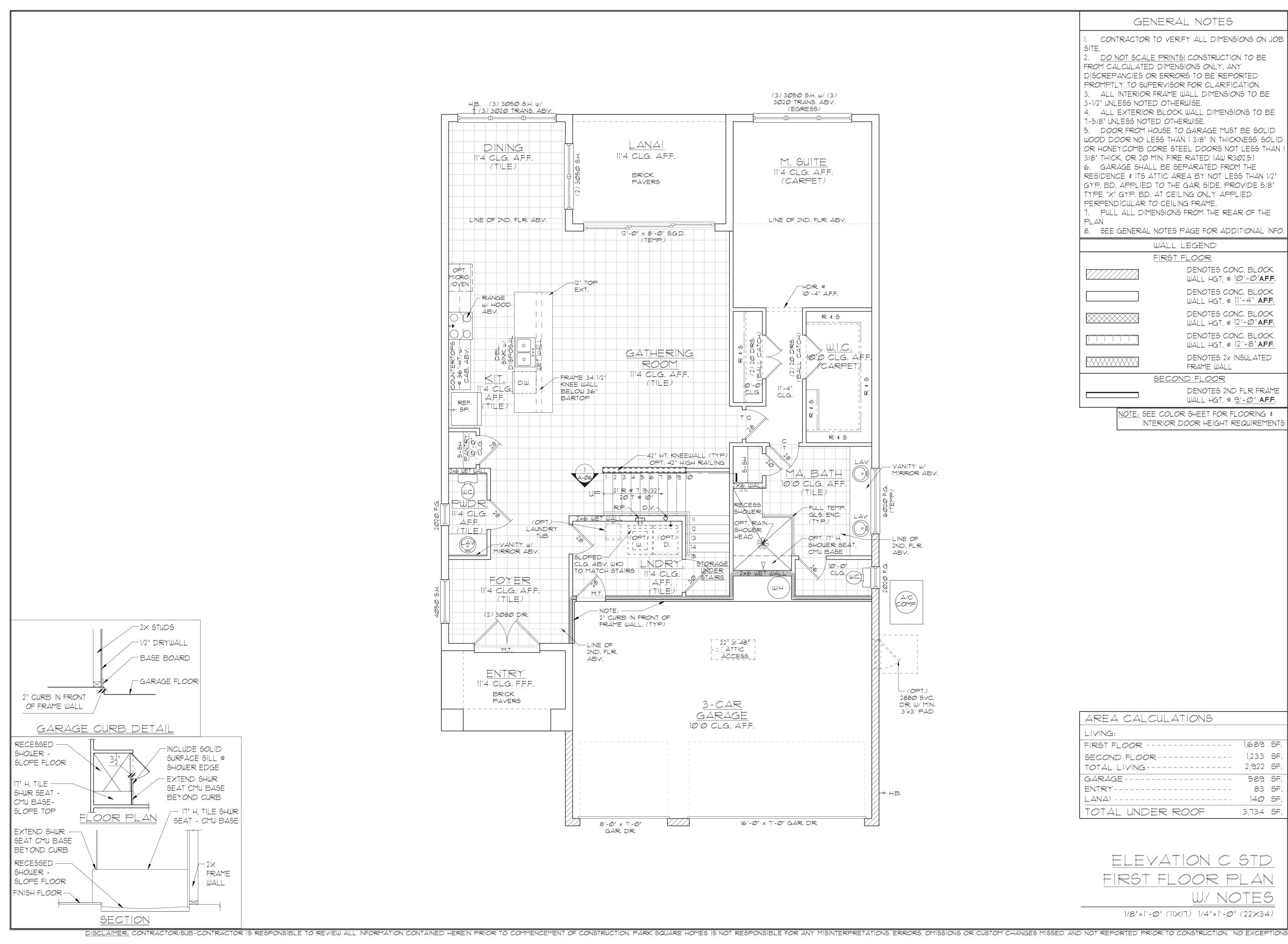
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A DIVI ENTE 5200 Orlan

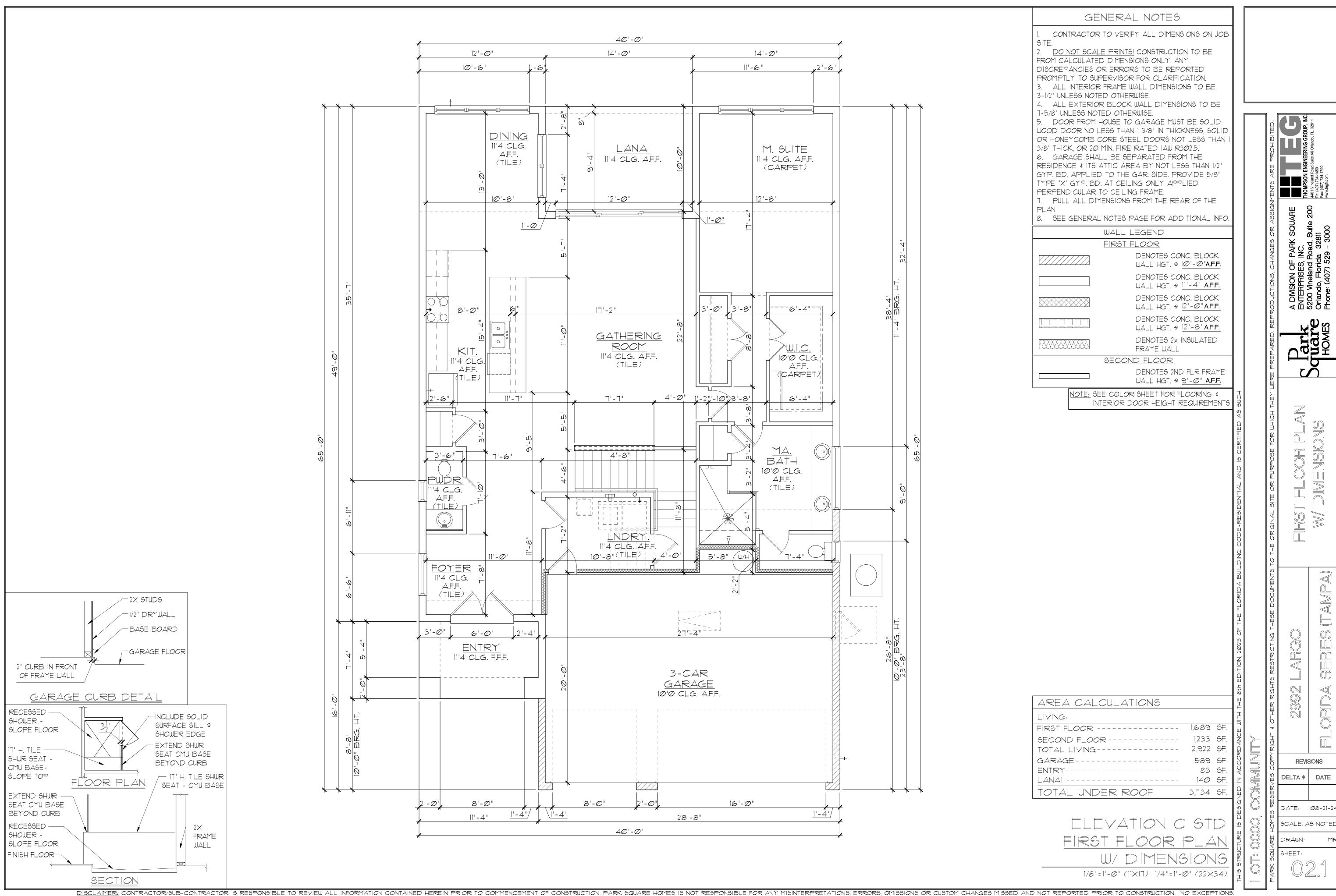
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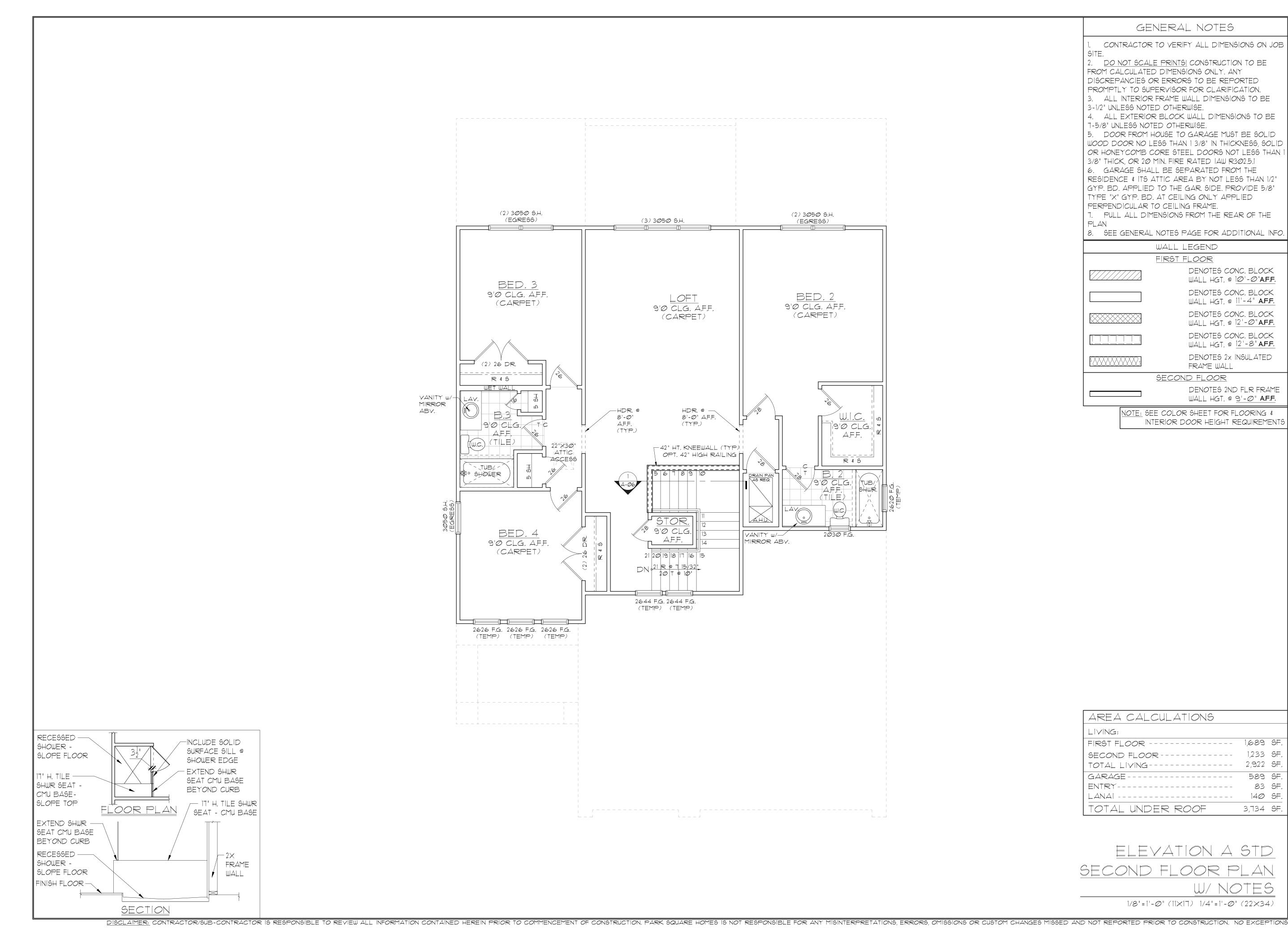
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SECOND FLOOR
DENOTES 2ND FLR FRAME

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

WALL HGT, @ 9'-Ø" **A.F.F**.

REVISIONS

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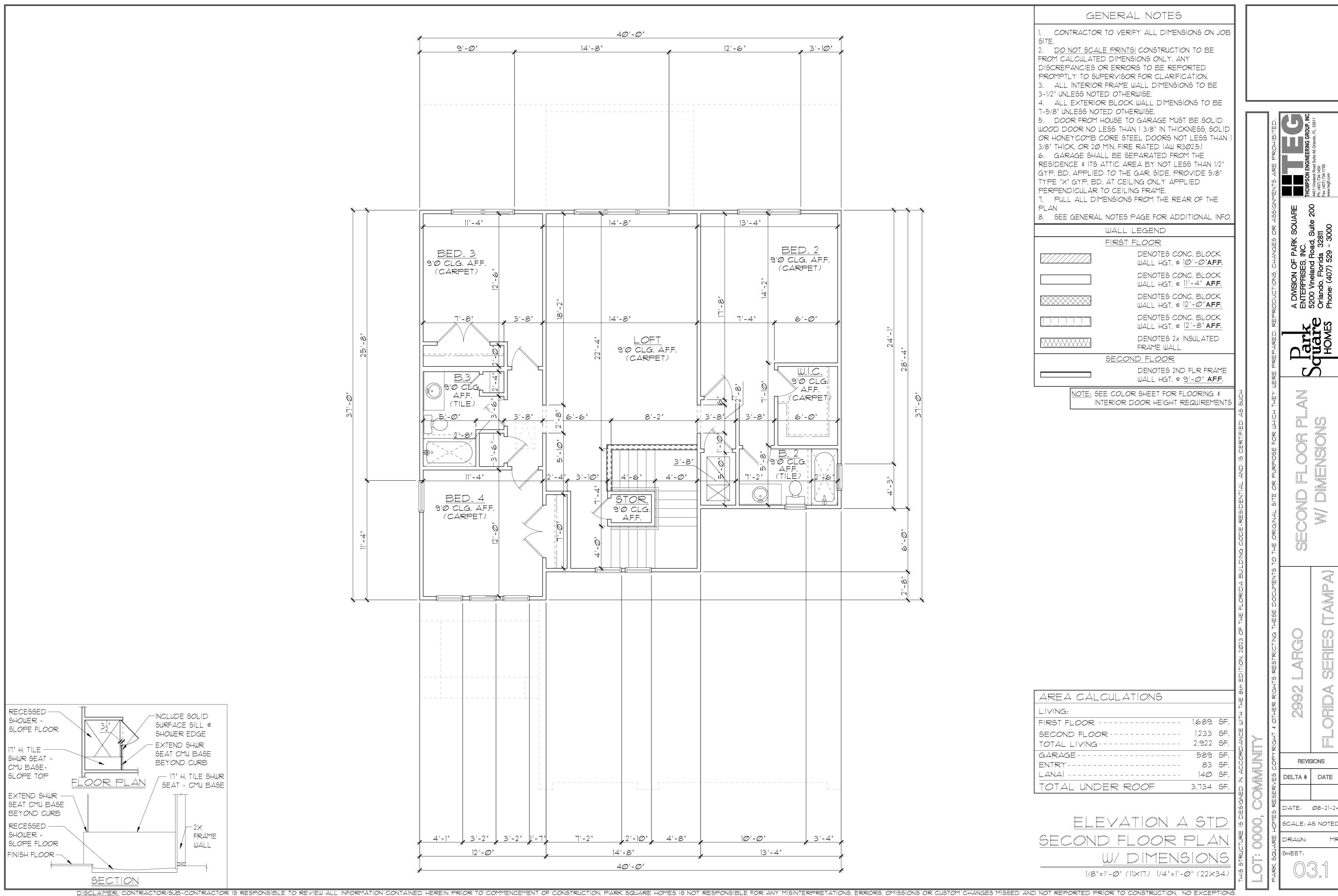
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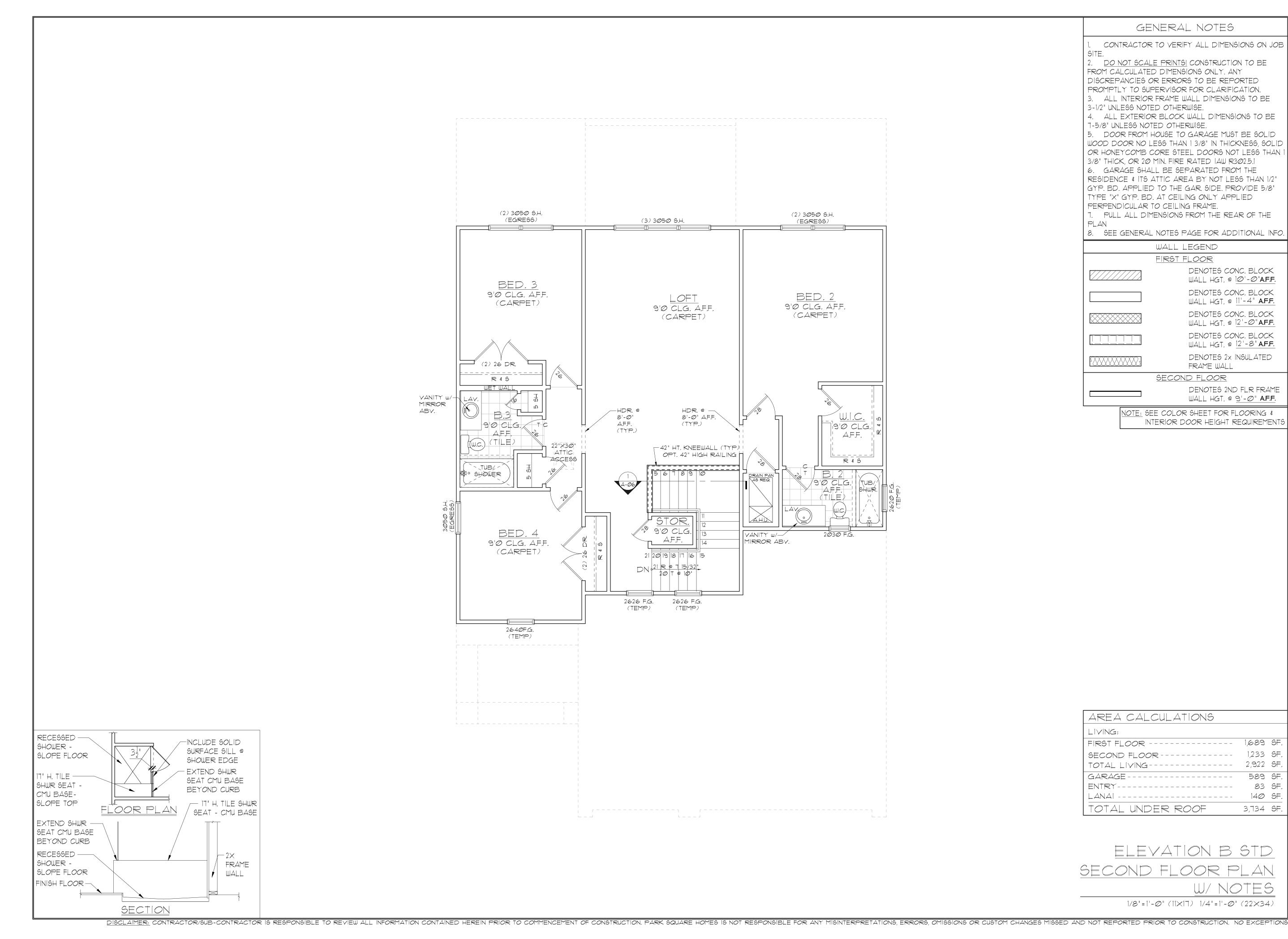
SHEET:

AREA CALCULATIONS LIVING: FIRST FLOOR ----- 1,689 SF. SECOND FLOOR ----- 1,233 SF. TOTAL LIVING----- 2,922 SF. GARAGE---- 589 SF. ENTRY-----83 SF. 14Ø SF. LANAI -----TOTAL UNDER ROOF 3,734 **S**F.

ELEVATION A STD SECOND FLOOR PLAN

1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)





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SECOND FLOOR

DENOTES 2ND FLR FRAME WALL HGT, @ 9'-0" A.F.F. NOTE: SEE COLOR SHEET FOR FLOORING &

**REVISIONS** 

DELTA # DATE

DATE: Ø8-21-2.

SCALE: AS NOTE:

DRAWN:

SHEET:

FRAME WALL

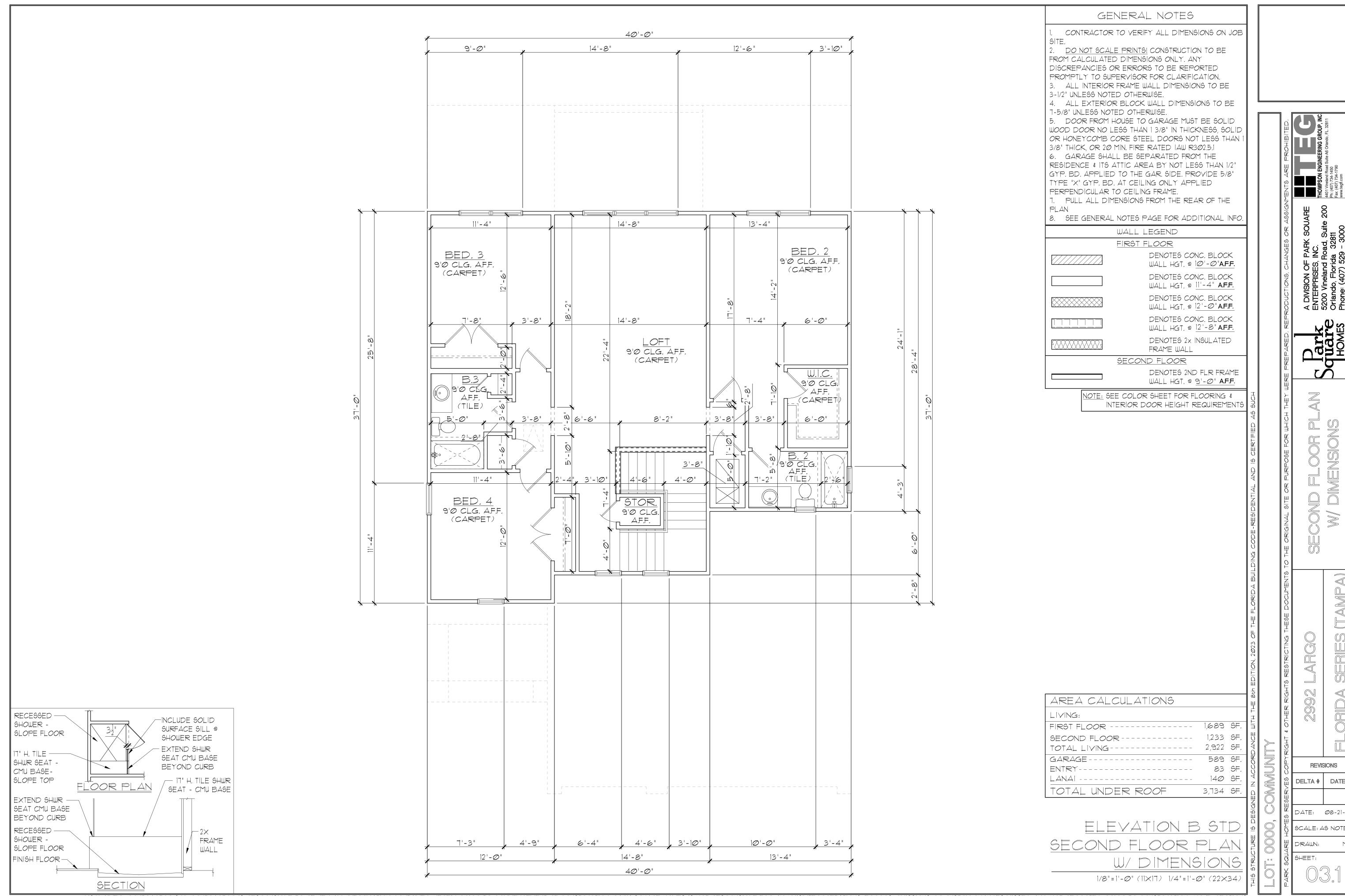
INTERIOR DOOR HEIGHT REQUIREMENTS

DENOTES 2x INSULATED

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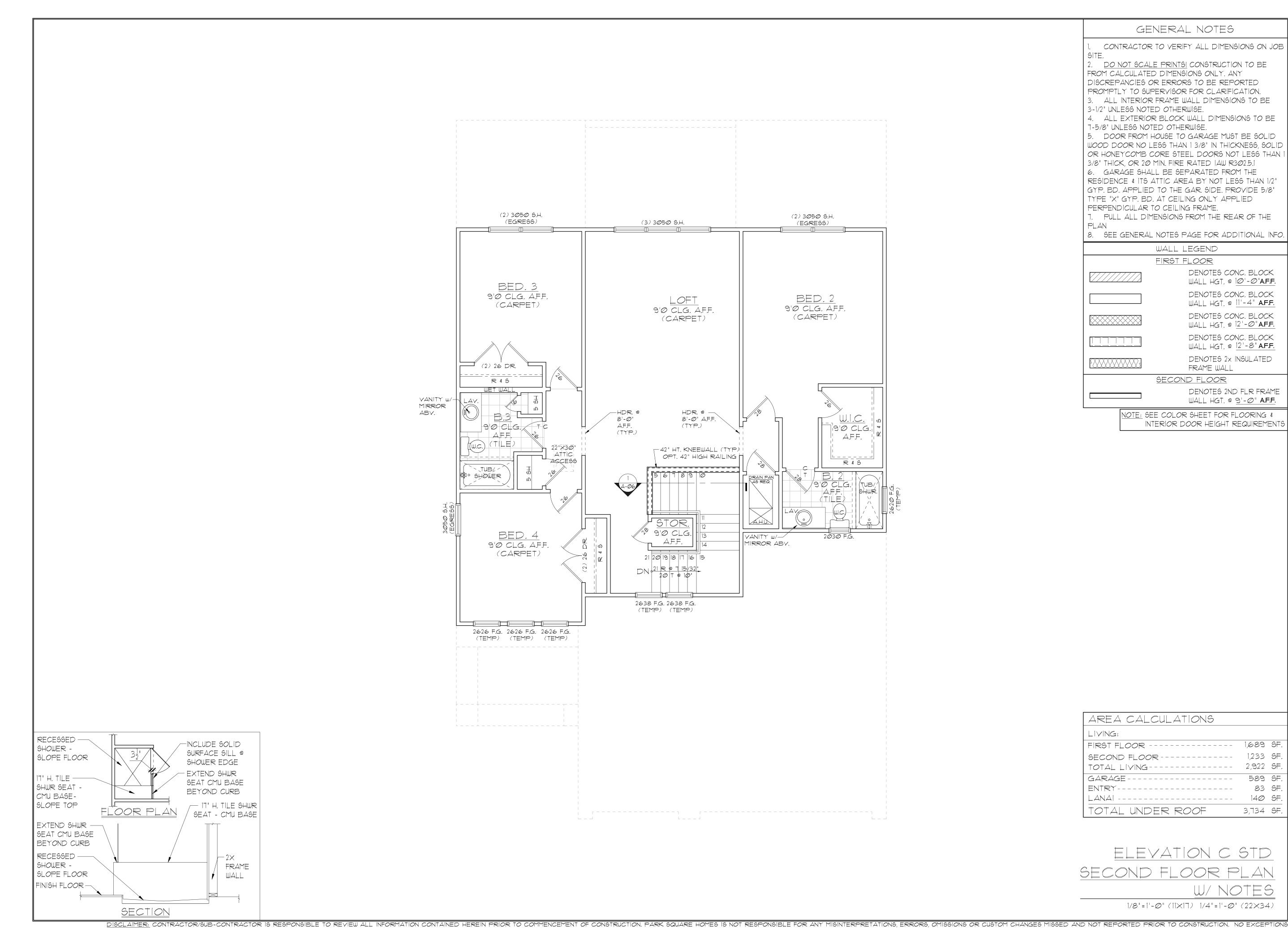
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**REVISIONS** 

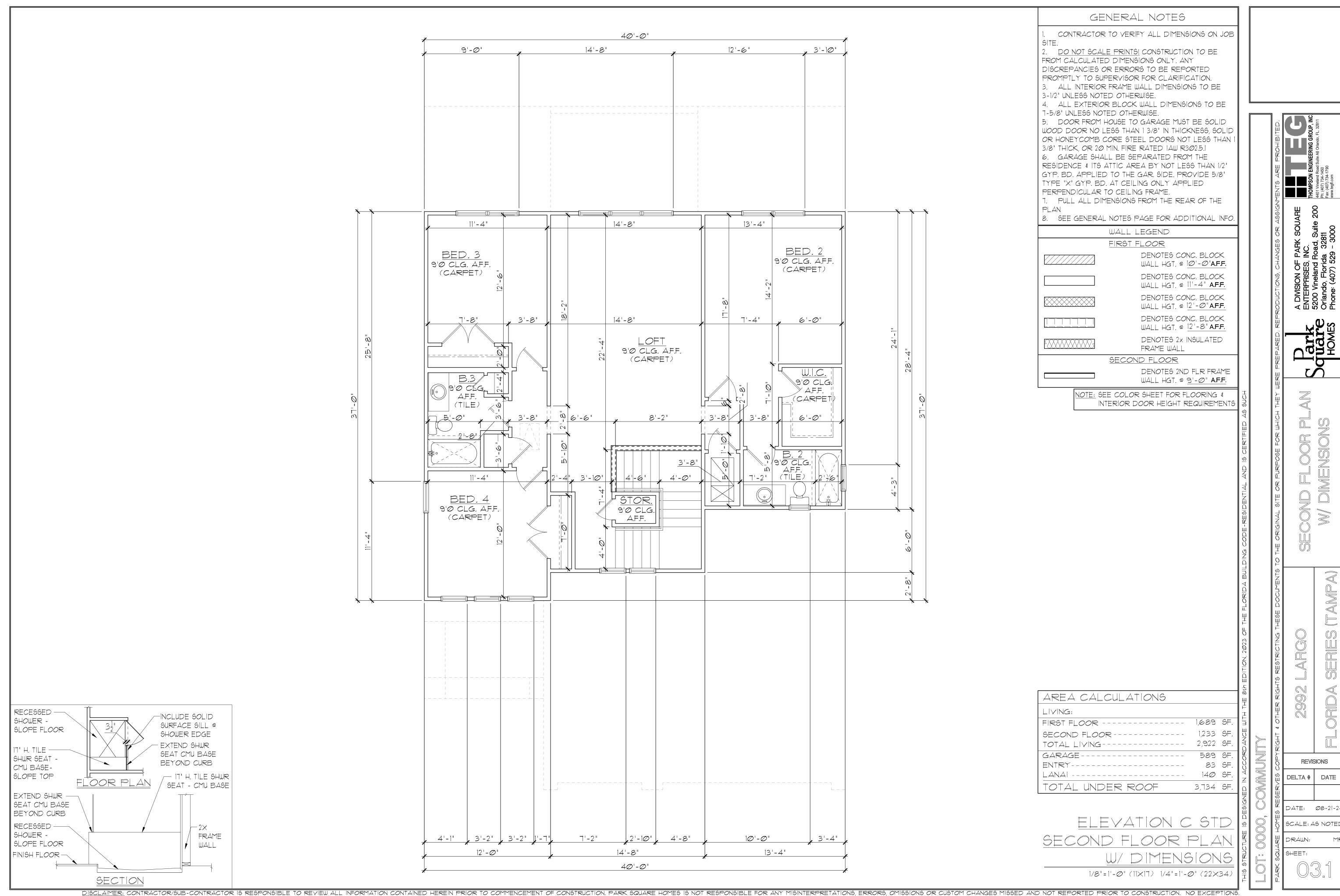
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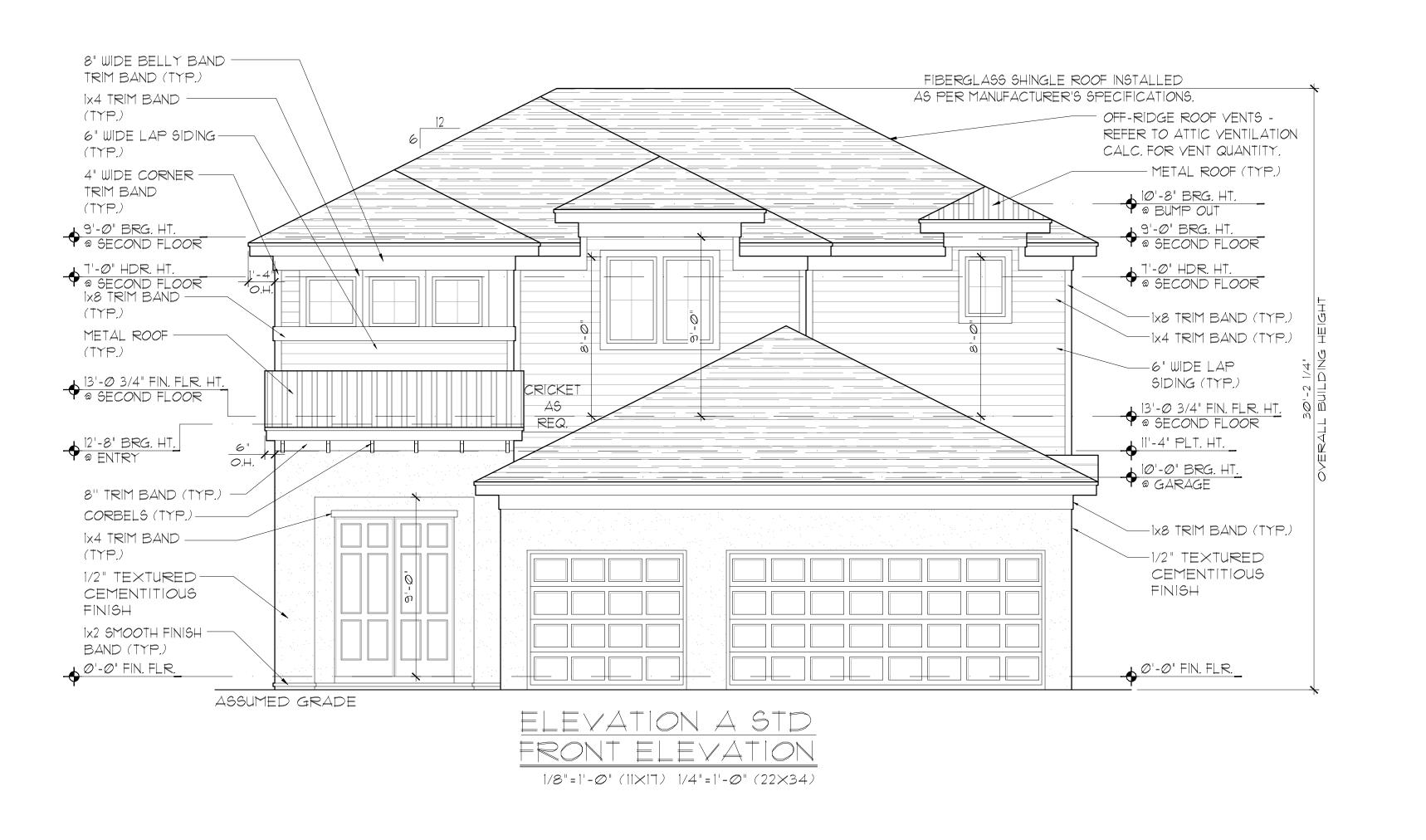
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#### EXTERIOR FINISH NOTES

. LATH TO BE ATTACHED IAW RT03.7.1 OF THE 8TH EDITION, FBC-R. 2023

2. PLASTERING TO BE INSTALLED IAW RTØ3,7.2 OF THE 8TH EDITION, FBC-R. 2023

3. WEEP SCREED TO BE INSTALLED IAW RT03.7.2.1 OF THE 8TH EDITION, FBC-R. 2023 & ASTM C926. 4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R703.7.3 OF THE 8TH EDITION, FBC-R. 2023. 5. FLASHING TO BE INSTALLED IAW R703.4 OF

THE 8TH EDITION, FBC-R 2023. 6. WIND RESISTANCE OF WALL COVERINGS &

BACK MATERIALS SHALL BE IAW R.703.1.2 OF THE 8TH EDITION, FBC-R. 2023

7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.

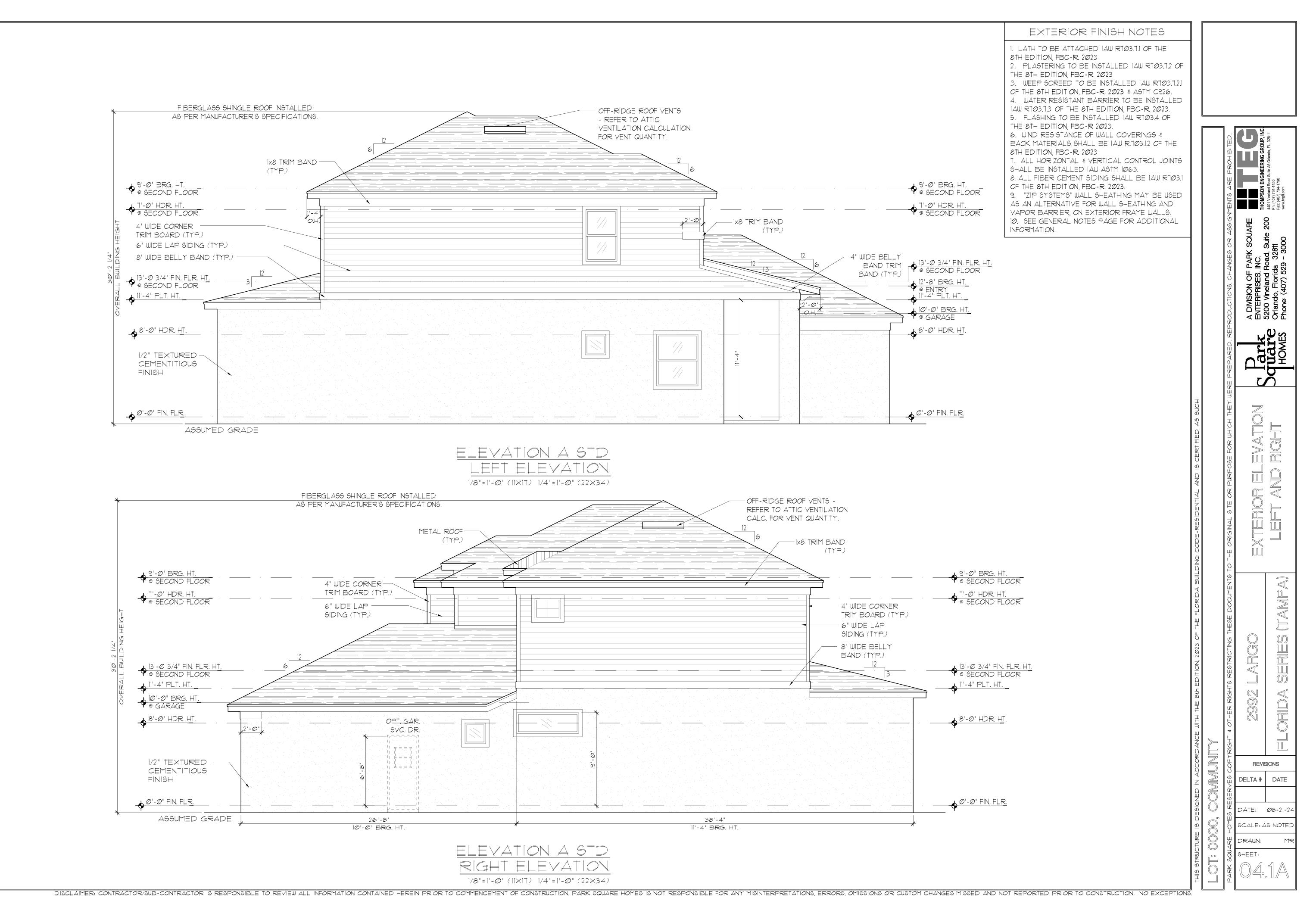
8. ALL FIBER CEMENT SIDING SHALL BE IAW RTØ3.1 OF THE 8TH EDITION, FBC-R. 2023.

9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS. 10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

> **REVISIONS** DELTA # DATE - | DATE: Ø8-21-2 SCALE: AS NOTE: DRAWN:

A DIVISION OF PARK SOUA ENTERPRISES, INC. 5200 Vineland Road, Suite 2 Orlando, Florida 32811 Phone: (407) 529 - 3000

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8TH EDITION, FBC-R. 2023

1. ALL HORIZONTAL & VERTICAL CONTROL JOINTS SHALL BE INSTALLED IAW ASTM 1063.

8. ALL FIBER CEMENT SIDING SHALL BE IAW RTØ3.1 OF THE 8TH EDITION, FBC-R. 2023. 9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED

AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS. 10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

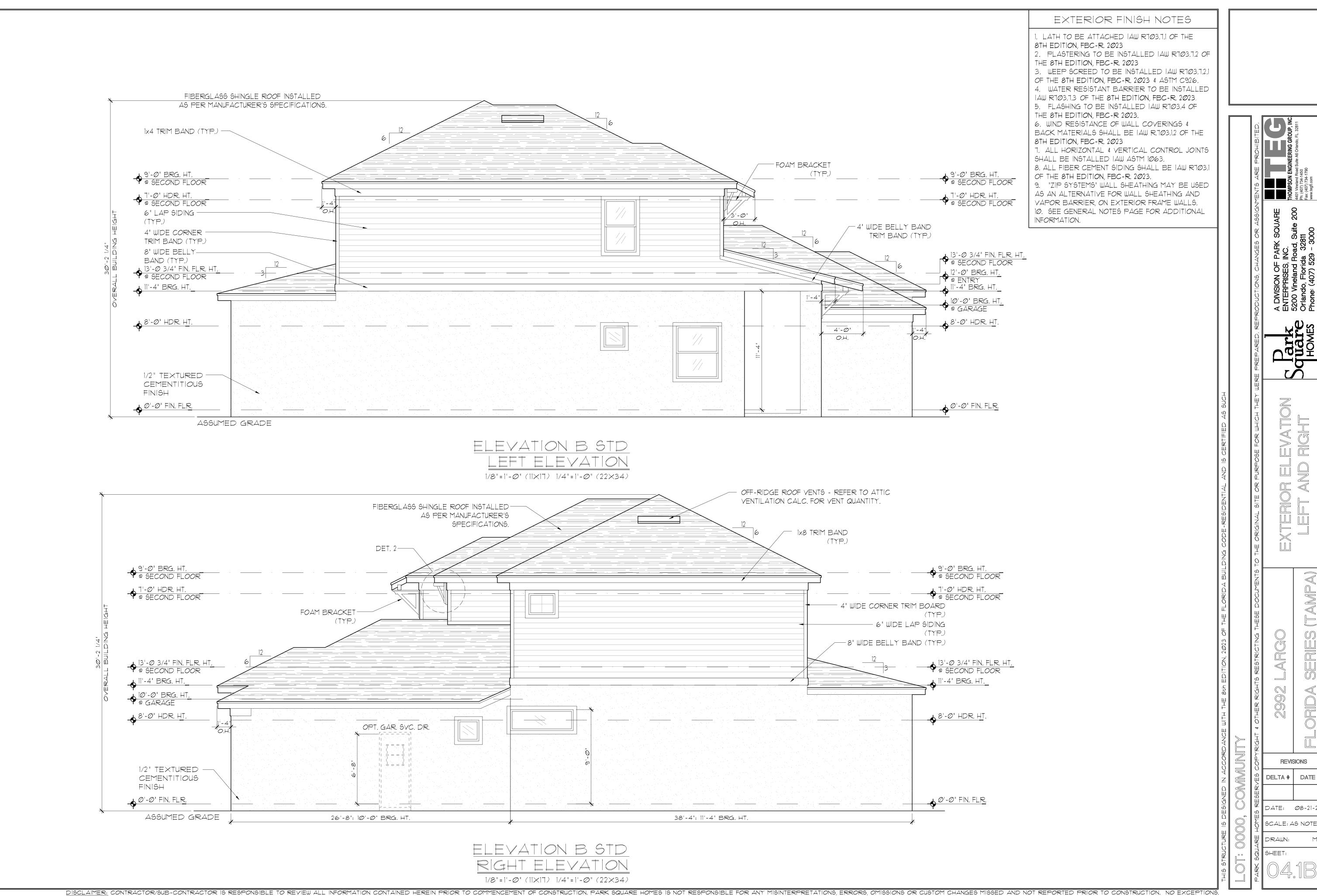
DATE: Ø8-21-2 SCALE: AS NOTE: DRAWN:

**REVISIONS** 

DELTA # DATE

A DIVISION OF PARK SOUA ENTERPRISES, INC. 5200 Vineland Road, Suite 2 Orlando, Florida 32811 Phone: (407) 529 - 3000

SHEET:



DATE: Ø8-21-2





DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONSTRUCTION. NO EXCEPTIONS.

### EXTERIOR FINISH NOTES

1. LATH TO BE ATTACHED IAW R703.7.1 OF THE 8TH EDITION, FBC-R. 2023

2. PLASTERING TO BE INSTALLED IAW R703.7.2 OF THE 8TH EDITION, FBC-R. 2023

3. WEEP SCREED TO BE INSTALLED IAW RT03.7.2.1
OF THE 8TH EDITION, FBC-R. 2023 & ASTM C926.
4. WATER RESISTANT BARRIER TO BE INSTALLED
IAW RT03.7.3 OF THE 8TH EDITION, FBC-R. 2023.
5. FLASHING TO BE INSTALLED IAW RT03.4 OF

THE 8TH EDITION, FBC-R 2023.

6. WIND RESISTANCE OF WALL COVERINGS \$

BACK MATERIALS SHALL BE IAW R.703.1.2 OF THE 8TH EDITION, FBC-R. 2023

7. ALL HORIZONTAL & VERTICAL CONTROL JOINTS

SHALL BE INSTALLED IAW ASTM 1063.

8. ALL FIBER CEMENT SIDING SHALL BE IAW R703.1

OF THE 8TH EDITION, FBC-R. 2023.

9. "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR FRAME WALLS.

10. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

PARK SOUARE
NC.
THOMPSON ENGINEERING GR
4001 Vineland Road Suite A6 Orlando, Fax: (407) 734-1450
Fax: (407) 734-1450
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www.tegfl.com

A DIVISION OF PARK SOUA ENTERPRISES, INC. 5200 Vineland Road, Suite 2 Orlando, Florida 32811

HOMES Phone: (407) 529 - 3000

EXTERIOR ELEVATION FRONT AND REAR

REVISIONS

DELTA # DATE

DELTA # DATE

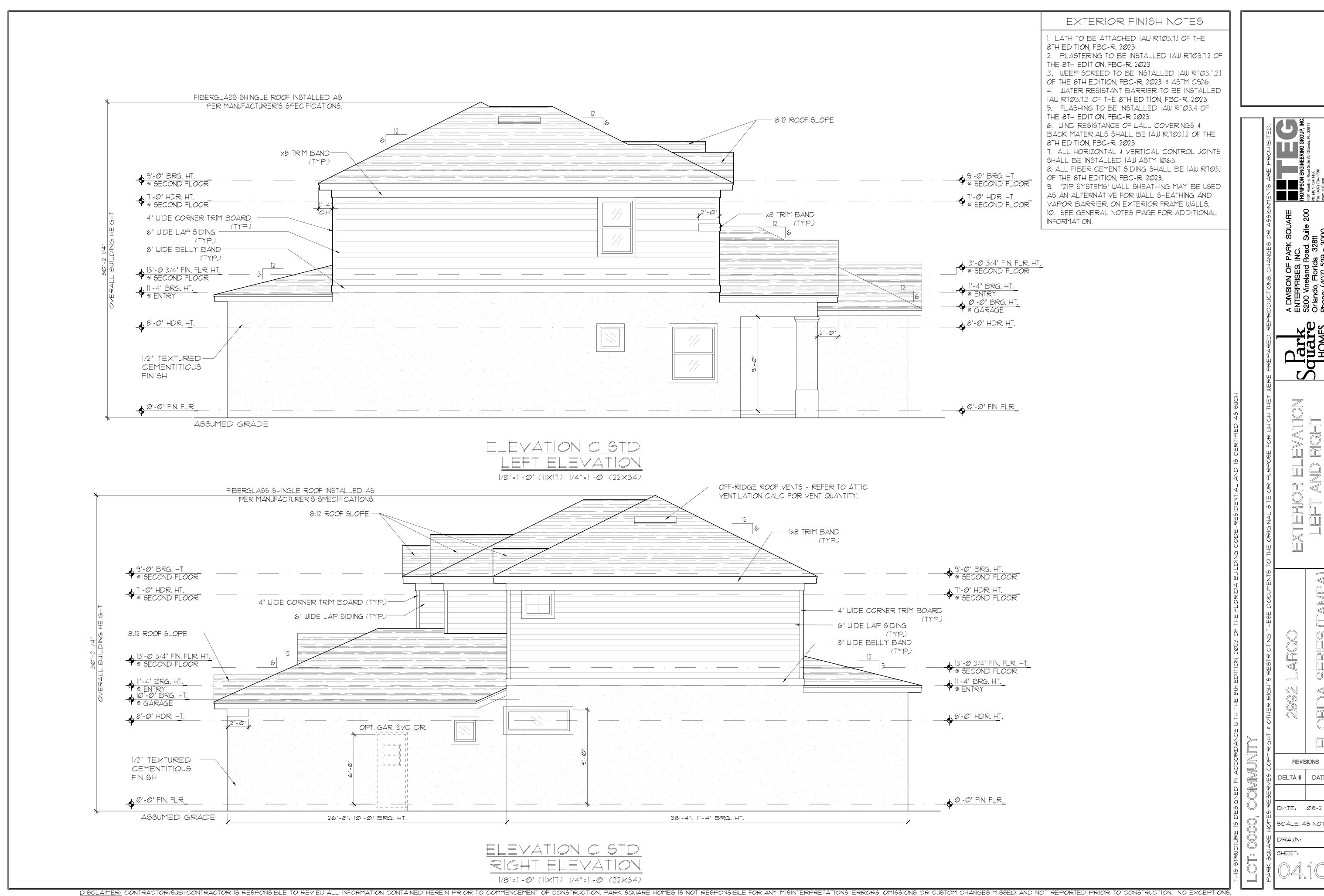
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DATE: 08-21-2

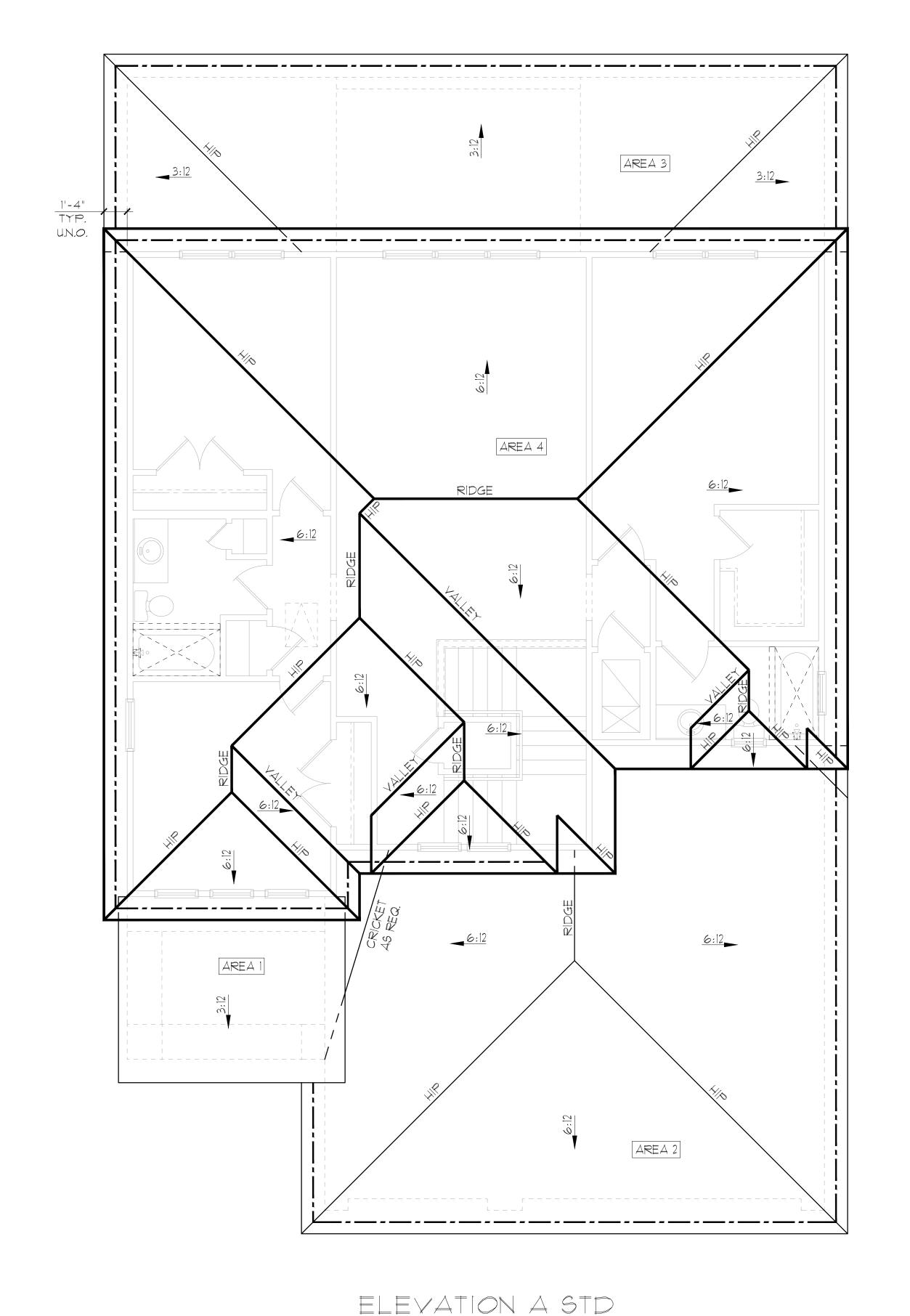
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ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, \*(EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R806 AND ALL SUBSEQUENT SUB-SECTIONS.

2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE BAFFLES TO MAINTAIN A MIN. I"
AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX.
VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16"
AND 1/4" MAXIMUM.

4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
1. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS: OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

<u>O'HAGIN- MODEL-"S"</u> = 97.5 SQ, INCHES PER VENT INSTALLED

SHINGLE: MILLENIUM METALS-MMI-2 = 80.5 SQ. INCHES PER VENT INSTALLED LOMANCO-770D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

----- INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

NET FREE VENTILATED AREA(S): AREA I (FRONT PORCH LOW ROOF,

ATTIC VENTILATION CALCULATIONS

AREA #1 = 106 SQ. FT \* 144 / 150 = 102 SQ. IN. REQUIRED

110 SQ. IN. PROVIDED

II LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

(O'HAGIN- MODEL "S")

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 97.5 SQ. IN. (O'HAGIN- MODEL "S") = 195 SQ. IN. PROVIDED

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED (LOMANCO-170D)

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-770D) = 140 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL "S")

NFVA = 400 SQ. FT \* 144 / 300 = 17-96 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 97.5 SQ. IN. (O'HAGIN- MODEL "S") = 97.5 SQ. IN. PROVIDED

(MILLENIUM METALS- MMI-2) NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENIUM METALS- MMI-2) = 81 SQ. IN. PROVIDED (LOMANCO-770D)

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-770D) = 140 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)

(O'HAGIN- MODEL "S")

NFVA = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(3) OFF RIDGE VENTS @ 97.5 SQ. IN. (O'HAGIN- MODEL "S") = 293 SQ. IN. PROVIDED

(MILLENIUM METALS- MMI-2)

NFVA = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(4) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENIUM METALS- MMI-2) = 322 SQ. IN. PROVIDED (LOMANCO-170D)

NFVA = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-770D) = 280 SQ. IN. PROVIDED +/- 200 LINEAR FEET OF VENTED SOFFIT.

DELTA # DATE

DATE: Ø8-21-24

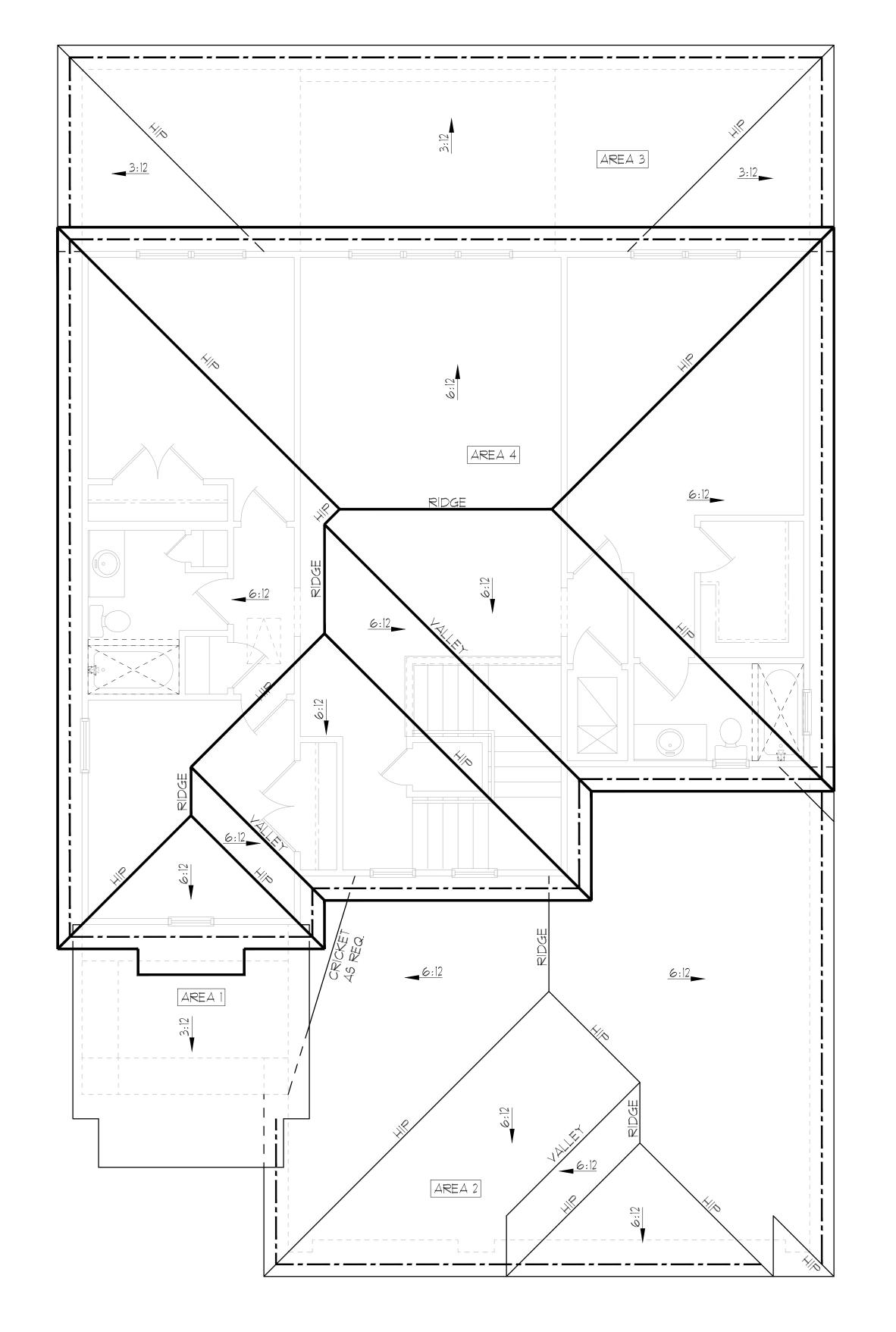
SCALE: AS NOTE

DRAWN:

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION, PARK SQUARE HOMES IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

 $1/8" = 1' - \emptyset" (11 \times 17) 1/4" = 1' - \emptyset" (22 \times 34)$ 

ROOF PLAN



ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, \*(EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

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4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION 5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN 1. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

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SHINGLE: MILLENIUM METALS-MMI-2 = 80.5 SQ. INCHES PER VENT INSTALLED LOMANCO-770D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

--- INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S): AREA I (FRONT PORCH LOW ROOF, AREA #I = 106 SQ. FT \* 144 / 150 = 102 SQ. IN. REQUIRED

| | 11 Linear feet of vented Soffit @ 10 Sq. in. per linear foot required = 110 Sq. in.

110 SQ. IN. PROVIDED

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

O'HAGIN- MODEL "S")

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 97.5 SQ. IN. (O'HAGIN- MODEL "S") = 195 SQ. IN. PROVIDED (MILLENIUM METALS- MML-2)

NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 80.5 SQ. IN. (MILLENIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED (LOMANCO-170D)

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NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL "S")

NFVA = 400 SQ. FT \* 144 / 300 = 17-96 SQ. IN. REQUIRED (40%-50%)

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NFVA = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

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NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)

(O'HAGIN- MODEL "S")

NFVA = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

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NFVA = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

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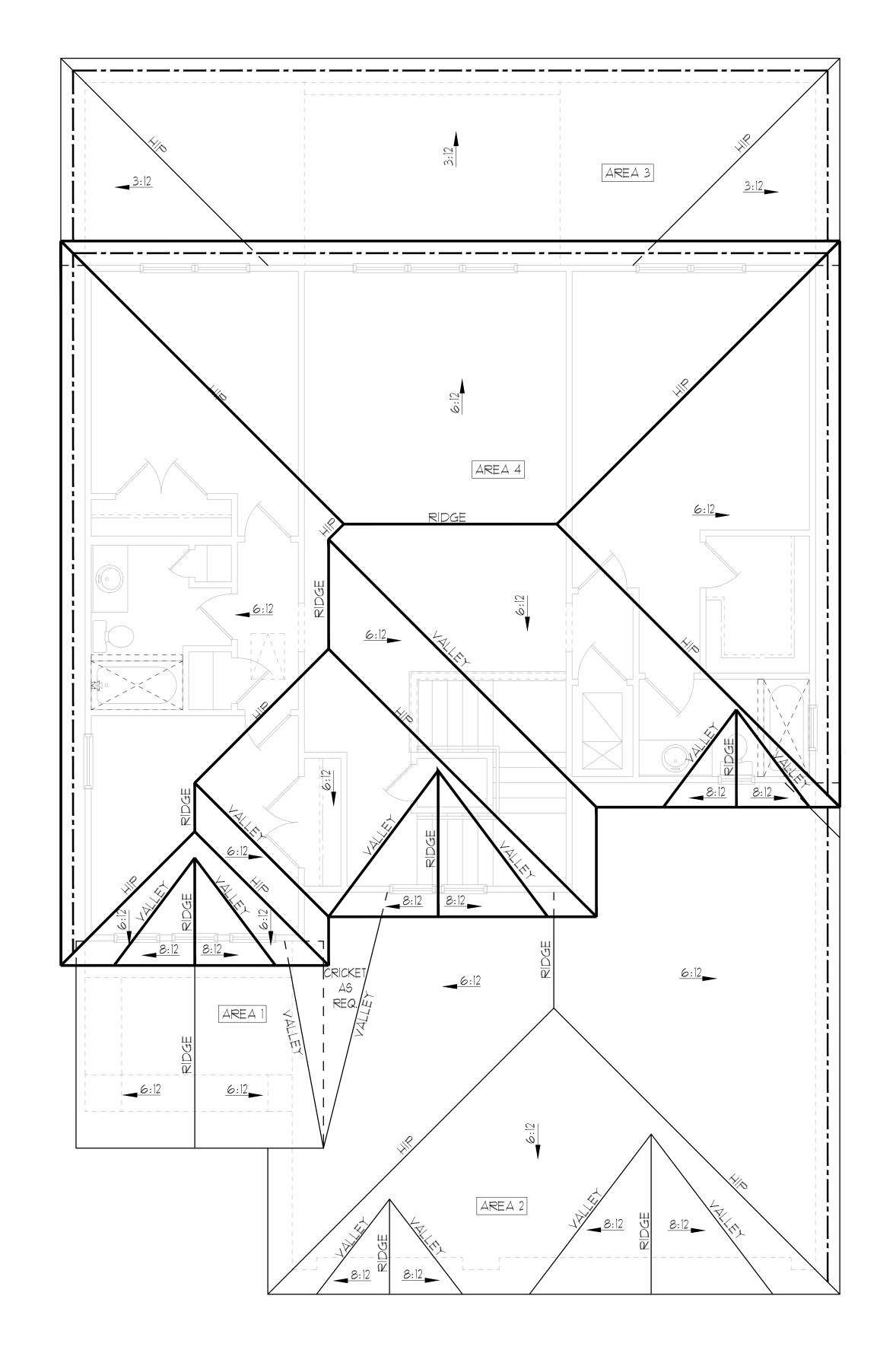
DELTA # DATE DATE: Ø8-21-24 SCALE: AS NOTE DRAWN:

 $\frac{1}{\text{DISCLAIMER:}}$ Contractor/sub-contractor is responsible to review all information contained herein prior to commencement of construction, park square homes is not responsible for any misinterpretations, errors, omissions or custom changes missed and not reported prior to construction. No exceptions

ROOF PLAN

ELEVATION B STD

 $1/8" = 1' - \emptyset" (11 \times 17) 1/4" = 1' - \emptyset" (22 \times 34)$ 



ELEVATION C STD ROOF PLAN  $1/8" = 1' - \emptyset" (11 \times 17) 1/4" = 1' - \emptyset" (22 \times 34)$ 

#### GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, \*(EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

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SHINGLE: MILLENIUM METALS-MMI-2 = 80.5 SQ. INCHES PER VENT INSTALLED LOMANCO-170D = 140 SQ. INCHES PER VENT INSTALLED

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--- INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S): AREA I (FRONT PORCH LOW ROOF, AREA #1 = 106 SQ. FT \* 144 / 150 = 102 SQ. IN. REQUIRED

I II LINEAR FEET OF VENTED SOFFIT @ 10/50, IN, PER LINEAR FOOT REQUIRED = 110/50, IN,

110 SQ. IN. PROVIDED

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

|NFVA| = 671 SQ. FT \* 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 97.5 SQ, IN. (O'HAGIN- MODEL "S") = 195 SQ, IN. PROVIDED

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NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL "S")

NFVA = 400 SQ. FT \* 144 / 300 = 77-96 SQ. IN. REQUIRED (40%-50%)

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NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)

(O'HAGIN- MODEL "S")

|NFVA| = 1,325 SQ. FT \* 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

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(MILLENIUM METALS- MMI-2)

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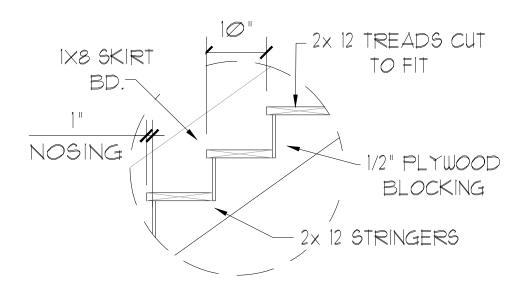
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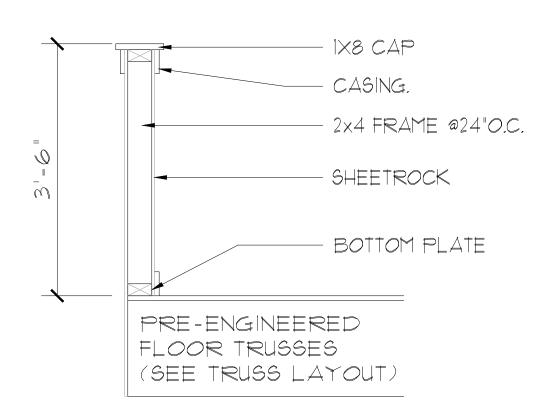
## NOTES:

- . STAIRWAY CONSTRUCTION TO CONFORM TO FBC-R 2023, 8TH EDITION SECTION R311.7
- 2. MAX HT. OF RISER TO BE 7-3/4".
- 3. MIN. WIDTH OF TREAD TO BE 10" (EXCLUSIVE OF 1" NOSING).
- 4. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
- 5. 3/8" MAX VARIATION IN ANY STAIR RUN.
- 6. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1-1/4" 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
- 7. 34'-38" HANDRAIL HT.
- 8. HEADROOM CLEARANCE MIN 6'-8".



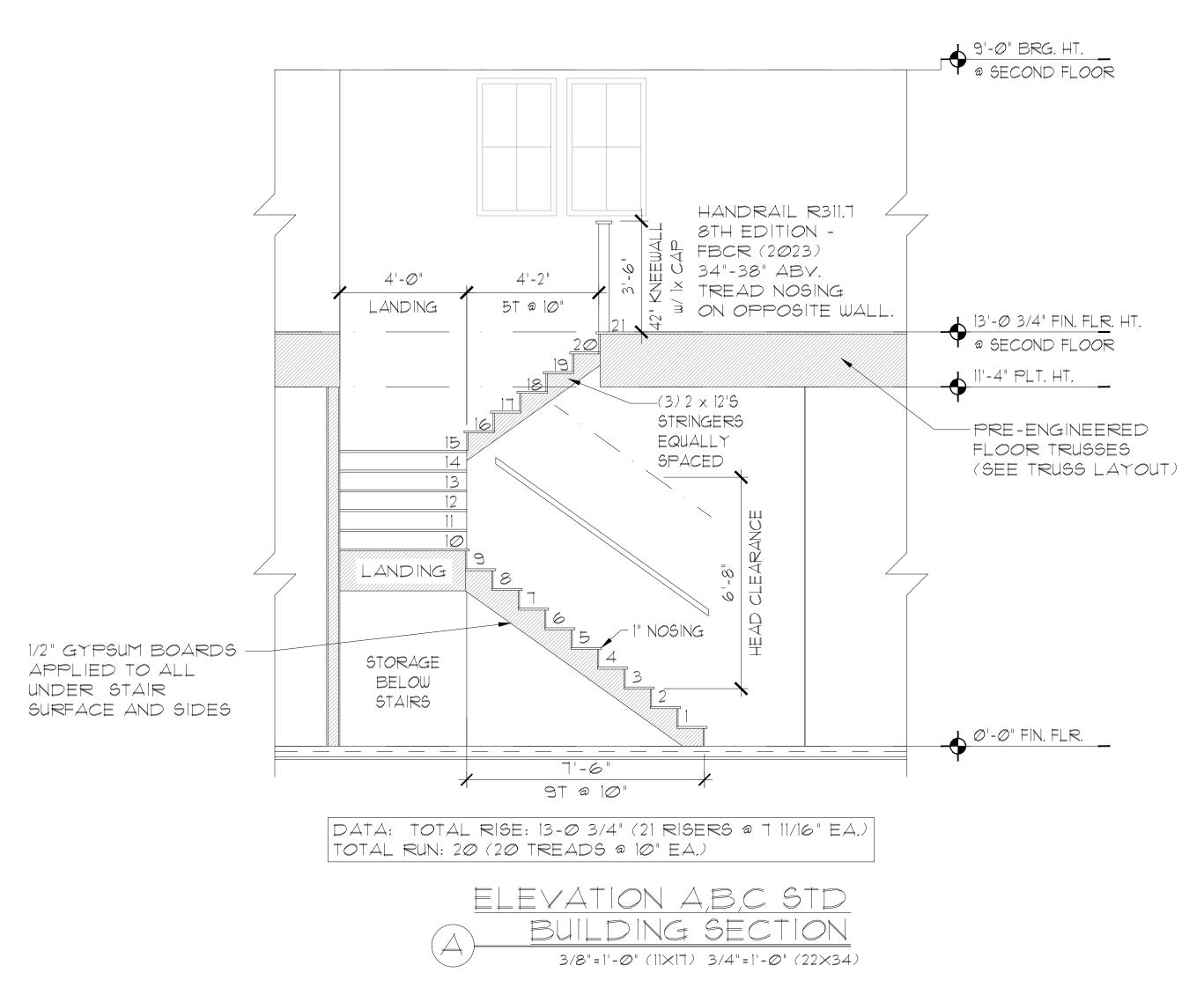
# TREAD & RISER DETAIL

SCALE: 3/4" =  $1'-\emptyset$ "( $11\times17$ ) | 1/2" =  $1'-\emptyset$ "( $22\times34$ )



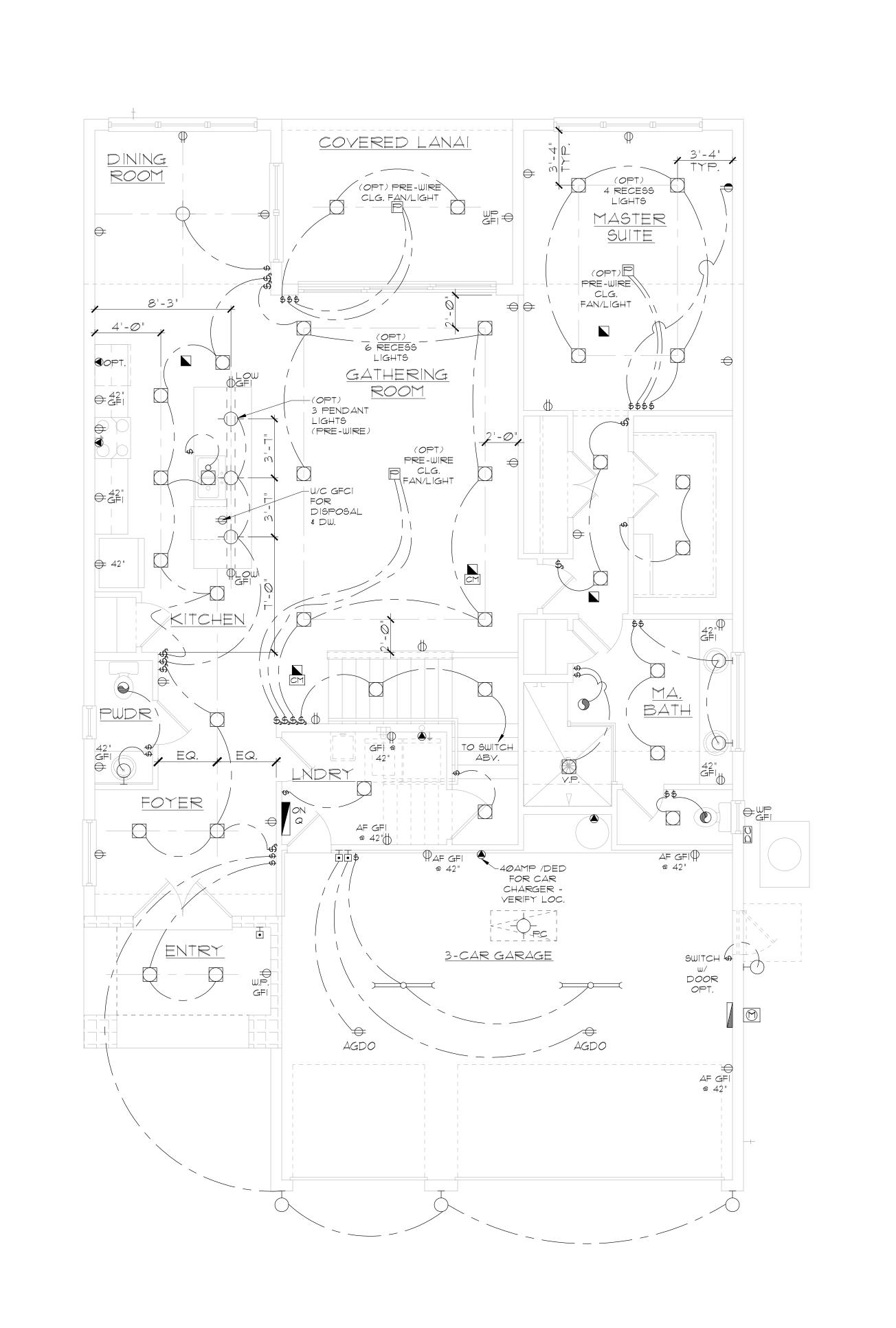
# HALF WALL DETAIL

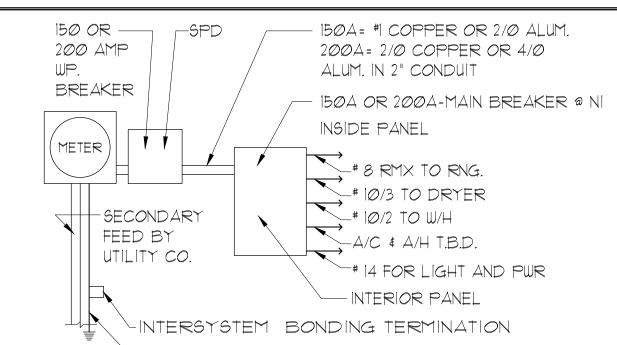
SCALE: 3/4" = 1'- $\emptyset$ "(11×17) | 1/2" = 1'- $\emptyset$ "(22×34)



**REVISIONS** DELTA # DATE DATE: Ø8-21-2. SCALE: AS NOTE: DRAWN:

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BOND #4 BARE COOPER WIRE TO FOUNDATION STEEL AS PER 2020 N.E.C. 250.52(A)(3)

## ELECTRICAL RISER DIAGRAM

NOTES:

C.L. = CENTER LINE

1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/
APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO
(6), NFPA 70, LOCAL CODES, AND THE LOCAL POWER/ UTILITY COMPANY.
2. ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH
A SURGE-PROTECTION DEVICE (SPD) THE SPD SHALL BE A TYPE 1 OR
TYPE 2 SPD.
3. GEE CENERAL NOTES BACE FOR ADDITIONAL INFORMATION

3. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete ± (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete. The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material. Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

ELECTRICAL LEGEND				
\$	SINGLE POLE SWITCH	•	OUTLET, PHONE	
	THREE WAY SWITCH		INTERCOM	ĺ
	OUTLET 110-115	00	CHIMES	<u>{</u>
-	OUTLET 110-115, SPLIT WIRED		SMOKE DETECTOR/SMOKE	t
-	OUTLET 110-115, W/ USB		ALARM W/ INTEGRATED SOUNDER BASE	
$\rightarrow$	OUTLET 110-115, CEILING MOUNTED	CM	CARBON MONOXIDE	
$\ominus$	OUTLET 110-115, FLOOR MOUNTED		PUSH BUTTON	
<b>•</b>	SPECIAL PURPOSE 220-240	<b>S</b>	EXHAUST FAN	1 :
<del>-</del>	LIGHT FIXTURE, CEILING MOUNTED	<del>-</del> \$-	EX. FAN/LIGHT COMBO	- 1
<del>-</del>	LIGHT FIXTURE, WALL MOUNTED		DISPOSAL	] {
	LED LIGHT FIXTURE, RECESSED		ON-Q PANEL	
E	LIGHT FIXTURE, RECESSED ADJUST.		ELECTRICAL PANEL	Ī
-OPC	LIGHT FIXTURE, PULL CHAIN	P	CEILING FAN, PREWIRE	] <u>!</u>
	LED LIGHT FIXTURE, FLUORESCENT	F	CEILING FAN, INSTALL	] [
44	LIGHT FIXTURE, EXTERIOR FLOODS	J	ELEC. JUNCTION BOX	∥ ,
EXIT	LIGHT FIXTURE, EMERGENCY EXIT	DT	THERMOSTAT	
	LIGHT FIXTURE, EXIT/BACKUP	DC	DISCONNECT SWITCH	] -
	OUTLET, TV/CABLE		ELEC. POWER METER	
ELE	CTRICAL DEVICES		ABOVE FIN. FLR.	
SWITCHES AND WALL OUTLETS OVER COUNTERS REMAINING SWITCHES WALL OUTLETS TELEPHONE OUTLETS TELEVISION OUTLETS TELEVISION OUTLETS EXTERIOR GFI'S GARAGE GFI'S (ABOVE GARAGE FLOOR) THERMOSTAT DOOR BELL CHIMES DOOR BELL CHIMES DOOR BELL BUTTON KITCHEN HOOD FAN "WHIP" KITCHEN WALL HUNG MICROWAVE RECEPTACLE KITCHEN DISHWASHER RECEPTACLE KITCHEN RANGE KITCHEN REFRIGERATOR WASHER/DRYER OUTLET HOLLYWOOD LIGHTS  48" TO C.L. LEVEL W/ DOOR HANDLE UNDER SINK 24" TO C.L. 36" TO C.L. 48" TO C.L.				

NOTE: SEE FINAL COLOR SHEET FOR

TV, FANS & PHONE LOCATIONS

NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q
IS NEEDED PER COMMUNITY SPECS.

LOT: 0000, COMMUN

DELTA # DATE

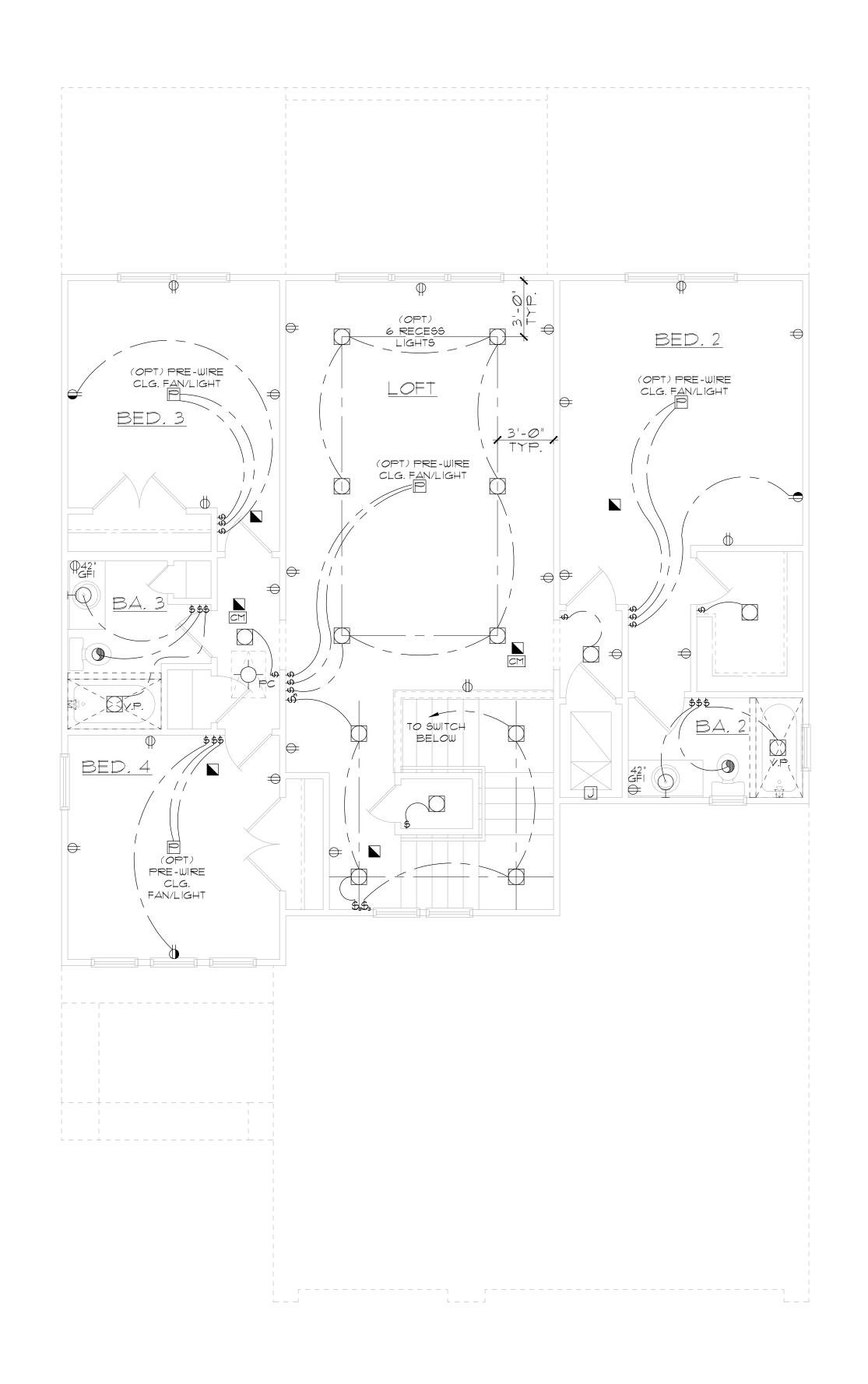
DATE: Ø8-21-2

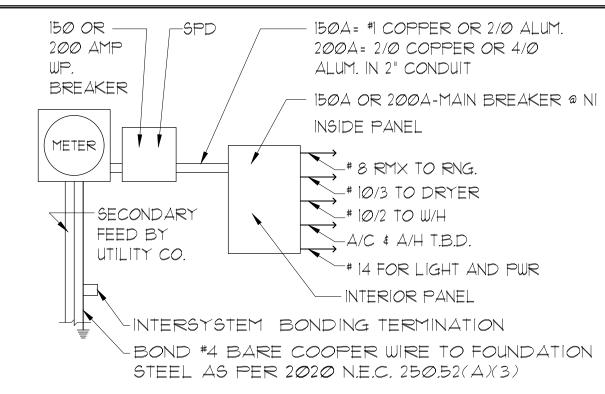
DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

 $1/8" = 1' - \emptyset" (11 \times 17) 1/4" = 1' - \emptyset" (22 \times 34)$ 

ELEVATION A,B,C STD

FIRST FLOOR UTILITY PLAN





# ELECTRICAL RISER DIAGRAM

NOTES:

1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/
APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO
(6), NFPA 10, LOCAL CODES, AND THE LOCAL POWER/ UTILITY COMPANY.
2. ALL SERVICES SUPPLYING DWELLING UNITS SHALL BE PROVIDED WITH
A SURGE-PROTECTION DEVICE (SPD) THE SPD SHALL BE A TYPE 1 OR
TYPE 2 SPD.

3. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete± (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete. The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material. Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

PHONE
1
ETECTOR/SMOKE
/ INTEGRATED BASE
MONOXIDE
TON
FAN
IGHT COMBO
_
NEL
AL PANEL
AN, PREWIRE
AN, INSTALL
ICTION BOX
TAT
ECT SWITCH
WER METER
VE FIN. FLR.
48" TO C.L. 48" TO C.L. 12" TO C.L. 12" TO C.L. 12" TO C.L. 48" TO C.L. 54" TO C.L. 84" TO C.L. 84" TO C.L. 84" TO C.L. 48" TO C.L. 34" TO C.L. 48" TO C.L. 36" TO C.L. 84" TO C.L.

NOTE: SEE FINAL COLOR SHEET FOR TY, FANS & PHONE LOCATIONS NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q IS NEEDED PER COMMUNITY SPECS. LOT: 0000, COMMUNIT

**REVISIONS** 

DELTA # DATE

DATE: Ø8-21-2

SCALE: AS NOTE

DRAWN:

SHEET:

DISCLAIMER: CONTRACTOR/SUB-CONTRACTOR IS RESPONSIBLE TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

1/8"=1'-0" (11×17) 1/4"=1'-0" (22×34)

ELEVATION A,B,C STD SECOND FLOOR UTILITY PLAN

