

2992 LARGO FLORIDA SERIES (TAMPA)

40' X 65'



REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	03-30-20	-CENTERED FRONT DOOR & ADDED OPT. L.T. AND CABINETS	C.C.
2	10-05-20	REVISED BLK. BEARING HEIGHT CHANGE FROM GARAGE TO MASTER BATH	C.C.
3	03-02-22	-ADDED ROOF VENT NOTES TO ELEVATIONS	M.C.
4	09-08-22	-SHIFTED MASTER BATH WINDOW OVER VANITY TO 9'-0" HDR. HT /CHANGED CLG. HT. TO 10'-0" TO MASTER BATH, LARGE MASTER CLOSET ONLY & PANTRY/ ADDED SLOPED SOFFIT CLG. TO LAUNDRY FOR DRYER VENT/ REVERSE SGD AT GREAT ROOM & SWITCHES	C.C.
5	04-08-23	-REPLACE BARN DOORS w/ (2) BALL CATCH AT MASTER CLOSET. ADDED DOOR CALLOUTS TO PANTRY	J.L.
6	10-02-23	-ADDED SHOW CURB OFFSET FROM FRAME IN GARAGE. DELETED DOOR & CHANGE 2'-8" OPENING HEADER ON 2ND FLR	G.P.
7	02-21-25	-ADDED 4' LONG FULL HEIGHT WALL @ STAIR LANDING	M.R.

SHEET INDEX:

00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "A"
02.0	FIRST FLOOR PLAN W/ NOTES "A"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "A"
03.0	SECOND FLOOR PLAN W/ NOTES "A"
03.1	SECOND FLOOR PLAN W/ DIMS "A"
04.0A	EXTERIOR ELEVS.- FRONT/ REAR "A"
04.1A	EXTERIOR ELEVS.- LEFT/ RIGHT "A"
05.0	ROOF PLAN
06.0	STAIR SECTION
07.0	FIRST FLOOR UTILITY PLAN "A"
07.1	SECOND FLOOR UTILITY PLAN "A"
AD1	DETAILS
AD2	DETAILS
S1	FOUNDATION PLAN "A"
S2	PRECAST LINTEL LAYOUT "A"
S3.A	FIRST FLOOR TRUSS LAYOUT "A"
S4.A	SECOND FLOOR TRUSS LAYOUT "A"
D1	TYPICAL DETAILS
D2	TYP. DETAILS/ CONNECTOR SCHEDULE
D3	TYPICAL STRUCTURAL DETAILS
D4	TYPICAL STRUCTURAL DETAILS
D5	TYPICAL STRUCTURAL DETAILS
D6	TYPICAL STRUCTURAL DETAILS
D7	TYPICAL STRUCTURAL DETAILS
D8	TYPICAL STRUCTURAL DETAILS
D9	TYPICAL STRUCTURAL DETAILS

SHEET INDEX:

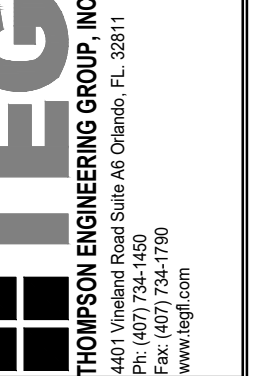
00	COVER SHEET
00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "B"
02.0	FIRST FLOOR PLAN W/ NOTES "B"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "B"
03.0	SECOND FLOOR PLAN W/ NOTES "B"
03.1	SECOND FLOOR PLAN W/ DIMS "B"
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00.1	GENERAL NOTES
01.0	SLAB INTERFACE PLAN "C"
02.0	FIRST FLOOR PLAN W/ NOTES "C"
02.1	FIRST FLOOR PLAN W/ DIMENSIONS "C"
03.0	SECOND FLOOR PLAN W/ NOTES "C"
03.1	SECOND FLOOR PLAN W/ DIMS "C"
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LOT: 0000, COMMUNITY

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A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineyard Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000



COVER SHEET

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS

DELTA #	DATE

DATE: 08-21-24

SCALE: AS NOTED

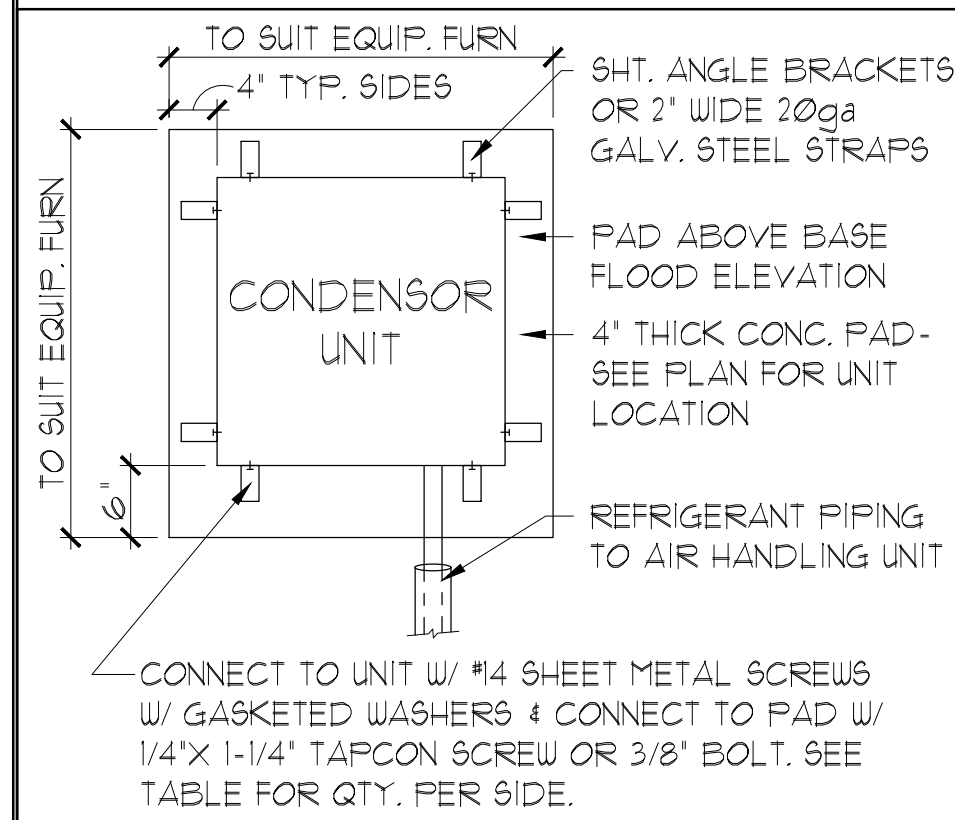
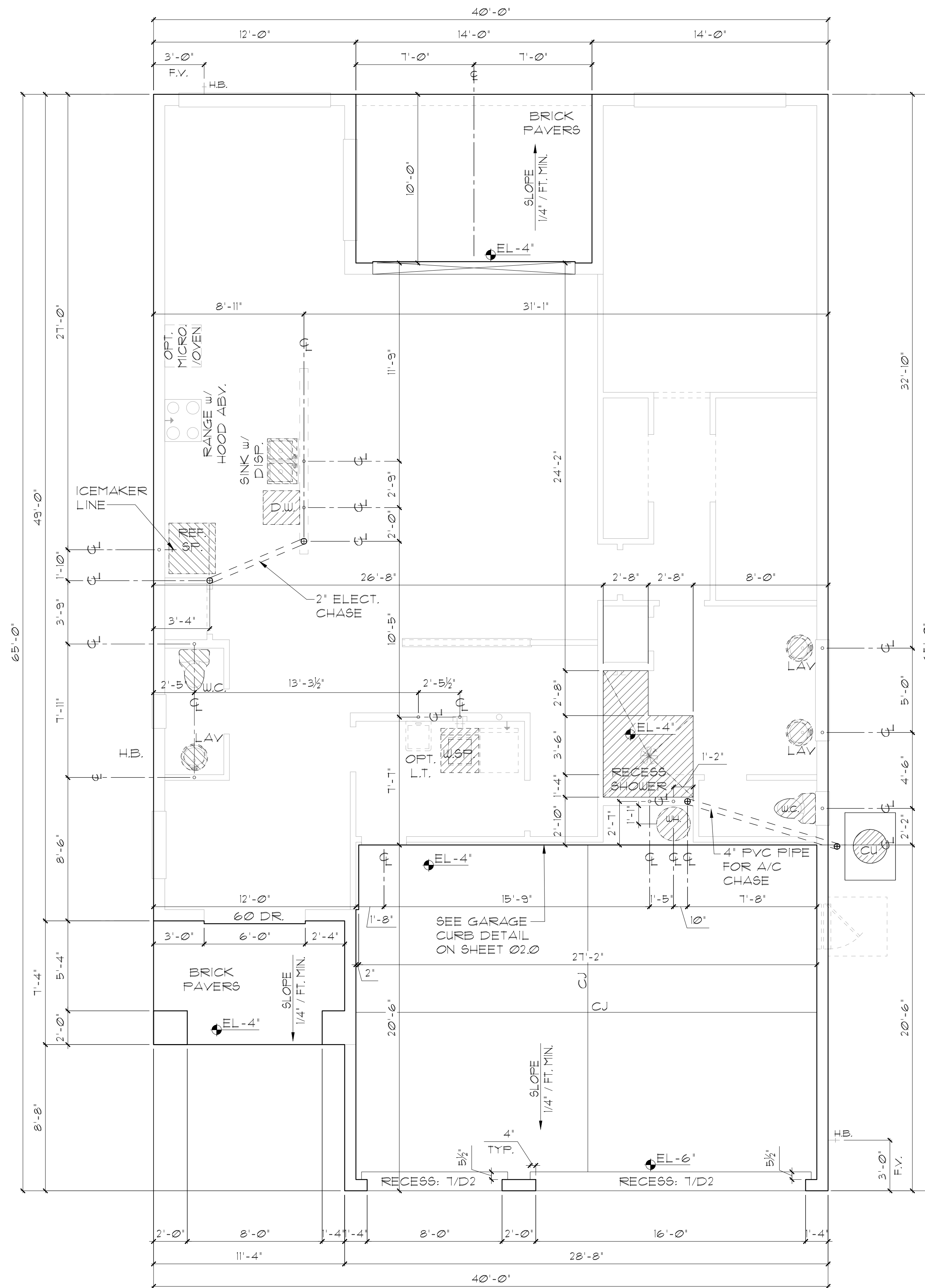
DRAWN: MR

SHEET:

00

FOUNDATION NOTES

1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
4. PAVERS MAY BE USED I.L.O. CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED. VERIFY W/ COMMUNITY SPECIFICATIONS.
5. MECHANICAL EQUIP. LOCATIONS TO BE FIELD VERIFIED & MAY BE DEFENDANT UPON COMMUNITY AND MUNICIPALITY CODES.
6. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE BORACARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO FEC-R- CURRENT EDITION.



ANCHOR SPACING TABLE	
LENGTH / SIDE	NO. OF ANCHOR/SIDES
LESS THAN 12'	ONE / SIDE
12' - 24'	TWO / SIDE
24' - 36'	THREE / SIDE
36' UP & 5tons & UP	FOUR / SIDE

COND. ANCHOR DET.
N.T.S.

THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 2018 EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

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2992 LARGO
FLORIDA SERIES (TAMPA)

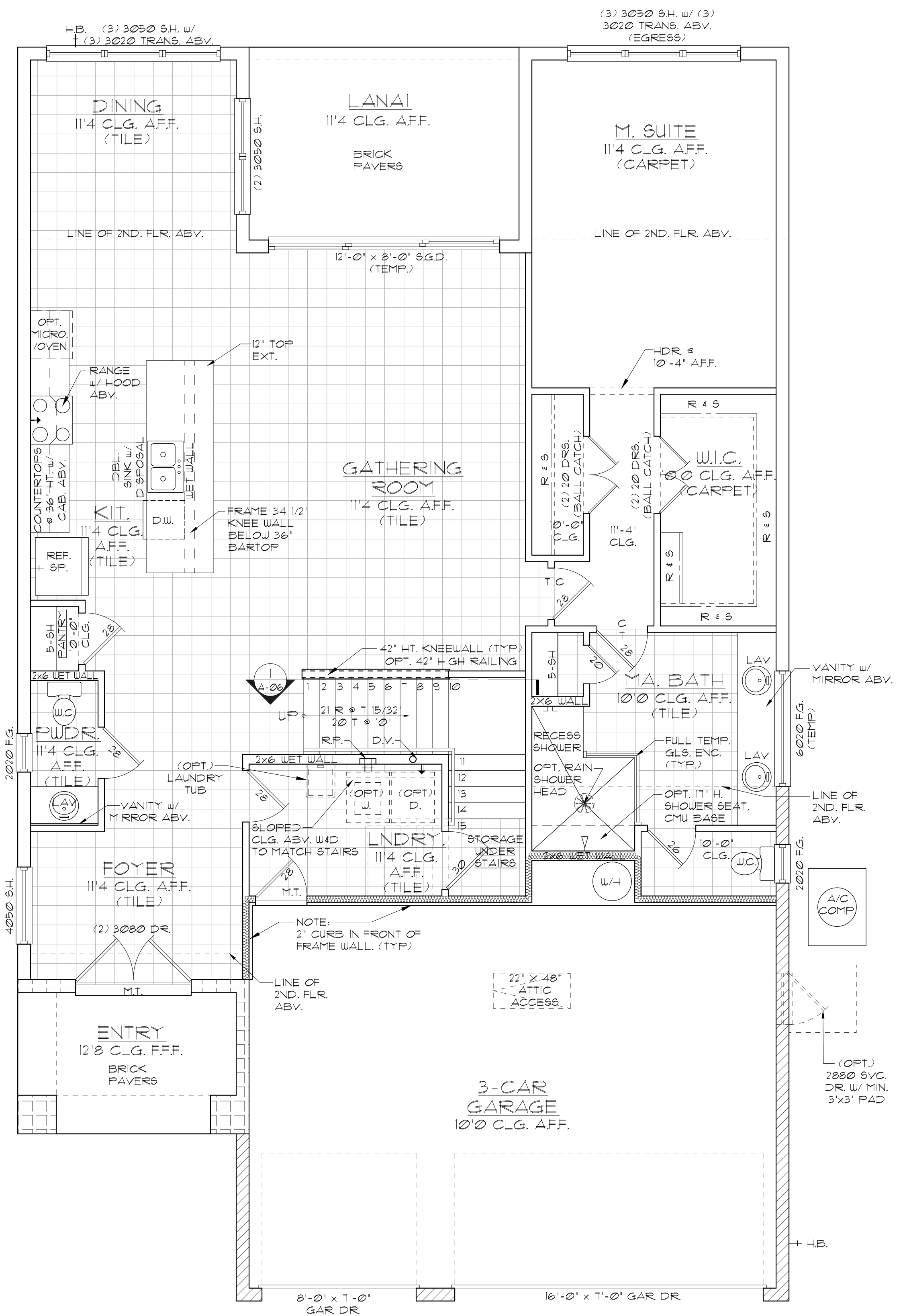
SLAB INTERFACE PLAN

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineyard Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000



ELEVATION A,B,C STD
SLAB INTERFACE PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



GENERAL NOTES

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3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3-1/2" UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1-5/8" UNLESS NOTED OTHERWISE.
5. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20 MIN. FIRE RATED IAW R302.5.
6. GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 1/2" GYP. BD. APPLIED TO THE GAR. SIDE. PROVIDE 5/8" TYPE "X" GYP. BD. AT CEILING ONLY APPLIED PERPENDICULAR TO CEILING FRAME.
7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN.
8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

- DENOTES CONC. BLOCK WALL HGT. @ 10'-0" AFF.
- DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
- DENOTES CONC. BLOCK WALL HGT. @ 12'-0" AFF.
- DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF.
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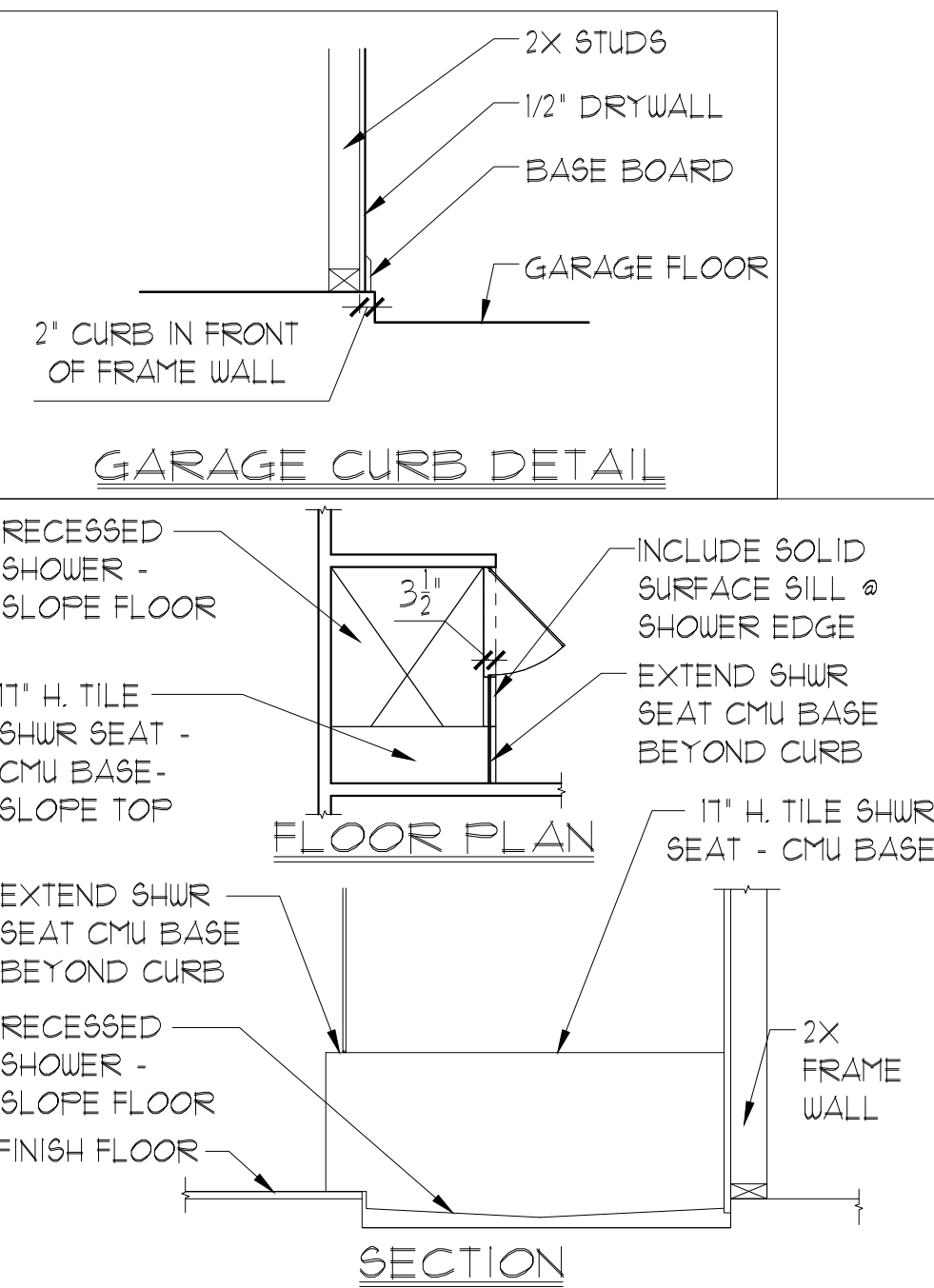
SECOND FLOOR

- DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

LIVING:	
FIRST FLOOR	1,689 SF.
SECOND FLOOR	1,233 SF.
TOTAL LIVING	2,922 SF.
GARAGE	589 SF.
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,734 SF.



ELEVATION A STD FIRST FLOOR PLAN W/ NOTES

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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2992 LARGO FLORIDA SERIES (TAMPA)

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REVISIONS

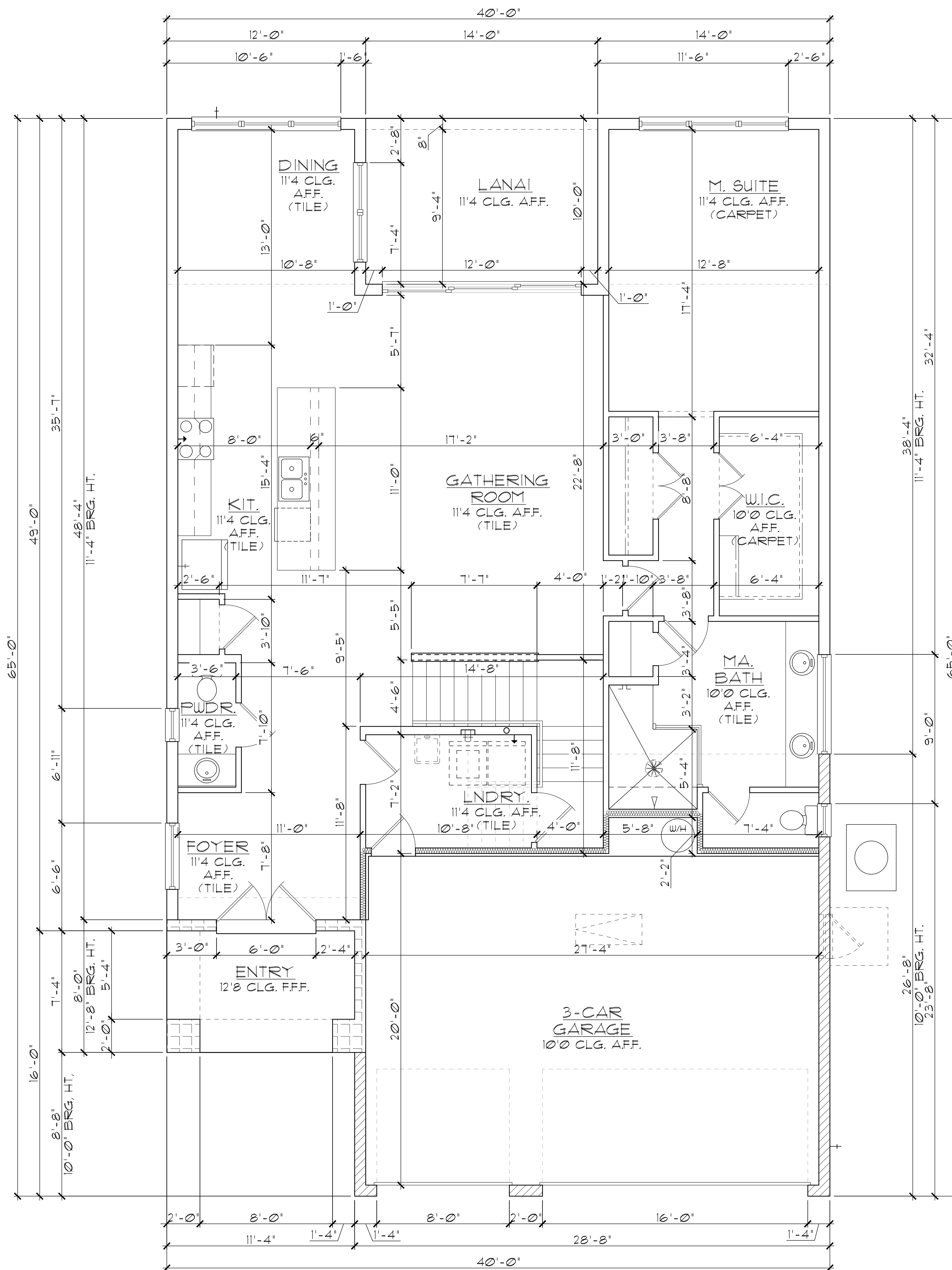
DELTA #	DATE

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SCALE: AS NOTED

DRAWN: MR

SHEET: 02.0



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3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3-1/2" UNLESS NOTED OTHERWISE.
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7. PULL ALL DIMENSIONS FROM THE REAR OF THE PLAN.
8. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFO.

WALL LEGEND

FIRST FLOOR

- [Hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 10'-0" AFF.
- [White box] DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
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SECOND FLOOR

- [White box] DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

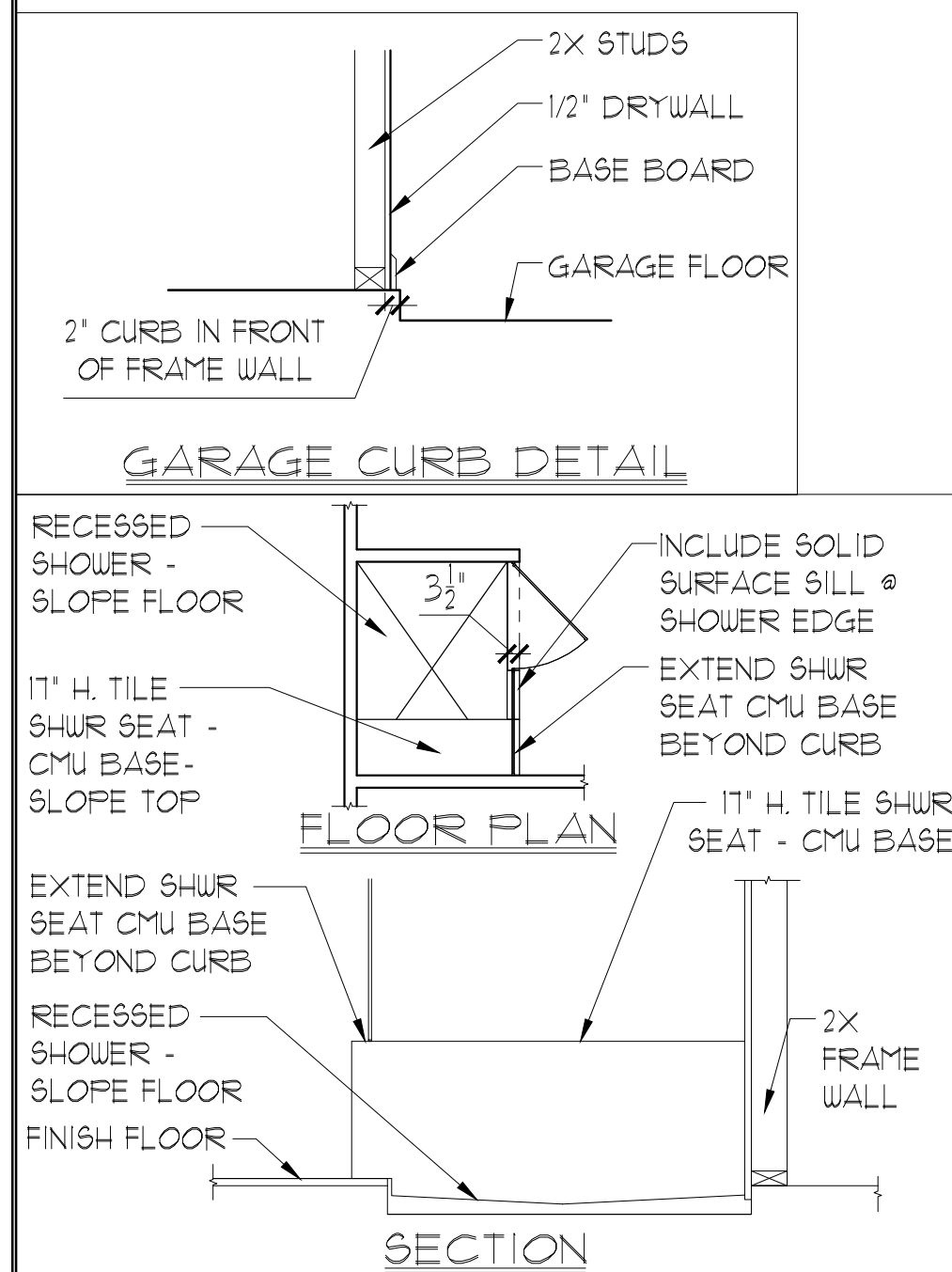
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FIRST FLOOR PLAN
W/ DIMENSIONS**

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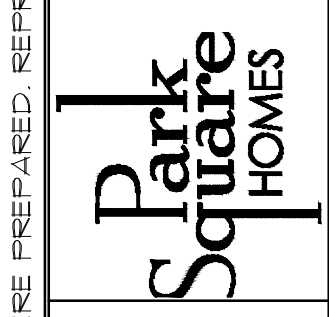


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FIRST FLOOR PLAN
W/ DIMENSIONS

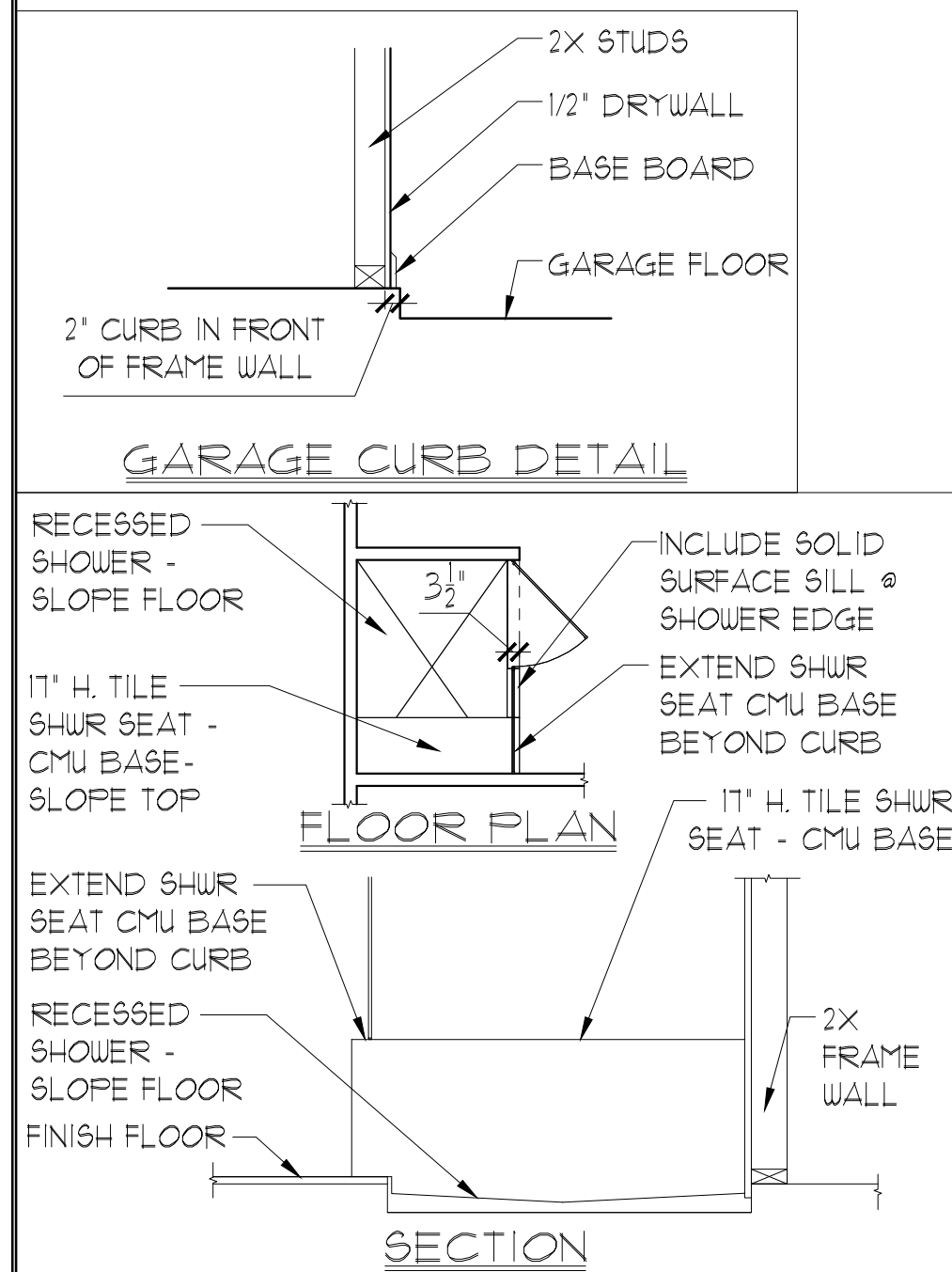
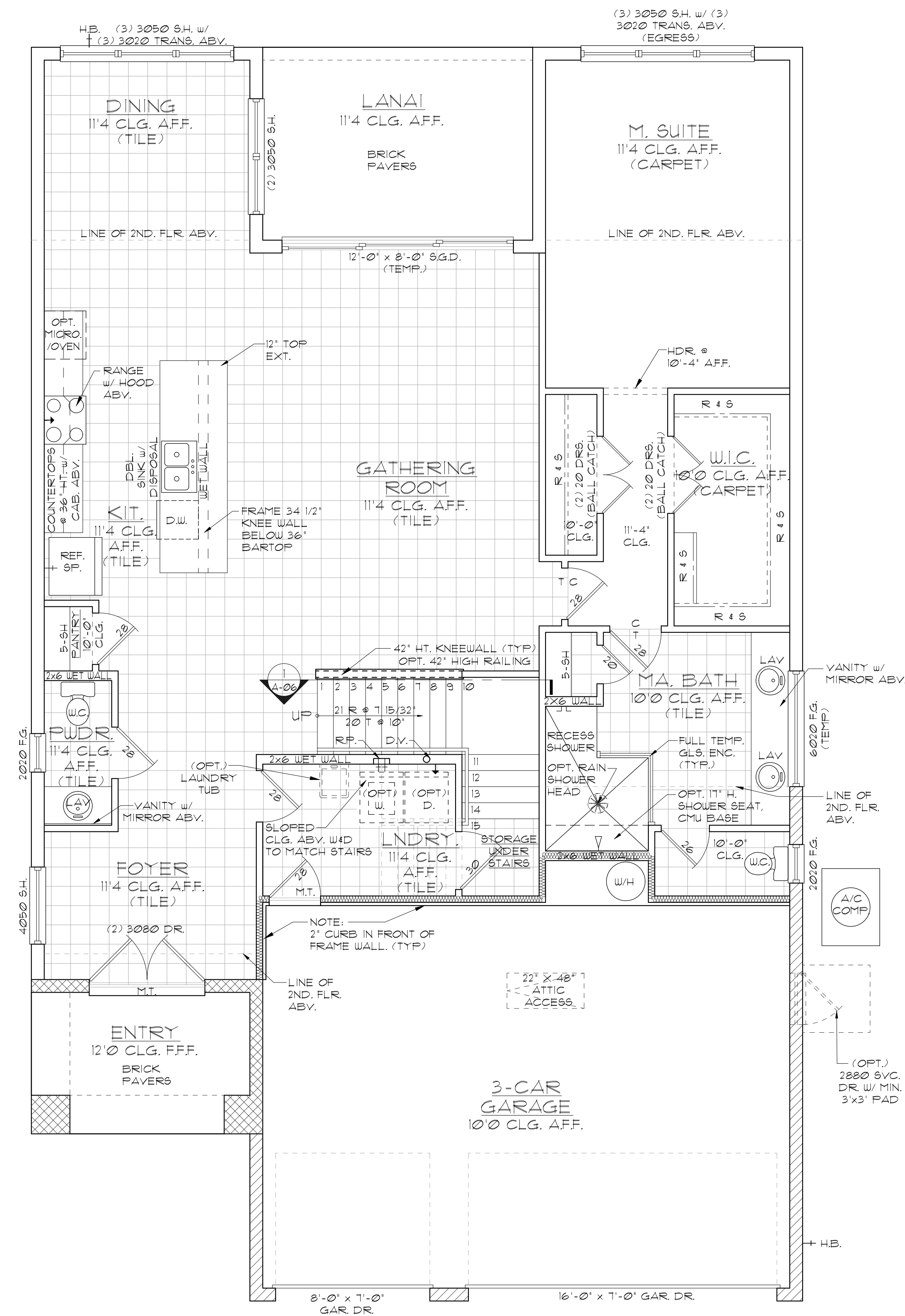
2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS

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WALL LEGEND

FIRST FLOOR

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SECOND FLOOR

- DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

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FIRST FLOOR PLAN
W/ NOTES

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2992 LARGO

FLORIDA SERIES (TAMPA)

FIRST FLOOR PLAN

W/ NOTES

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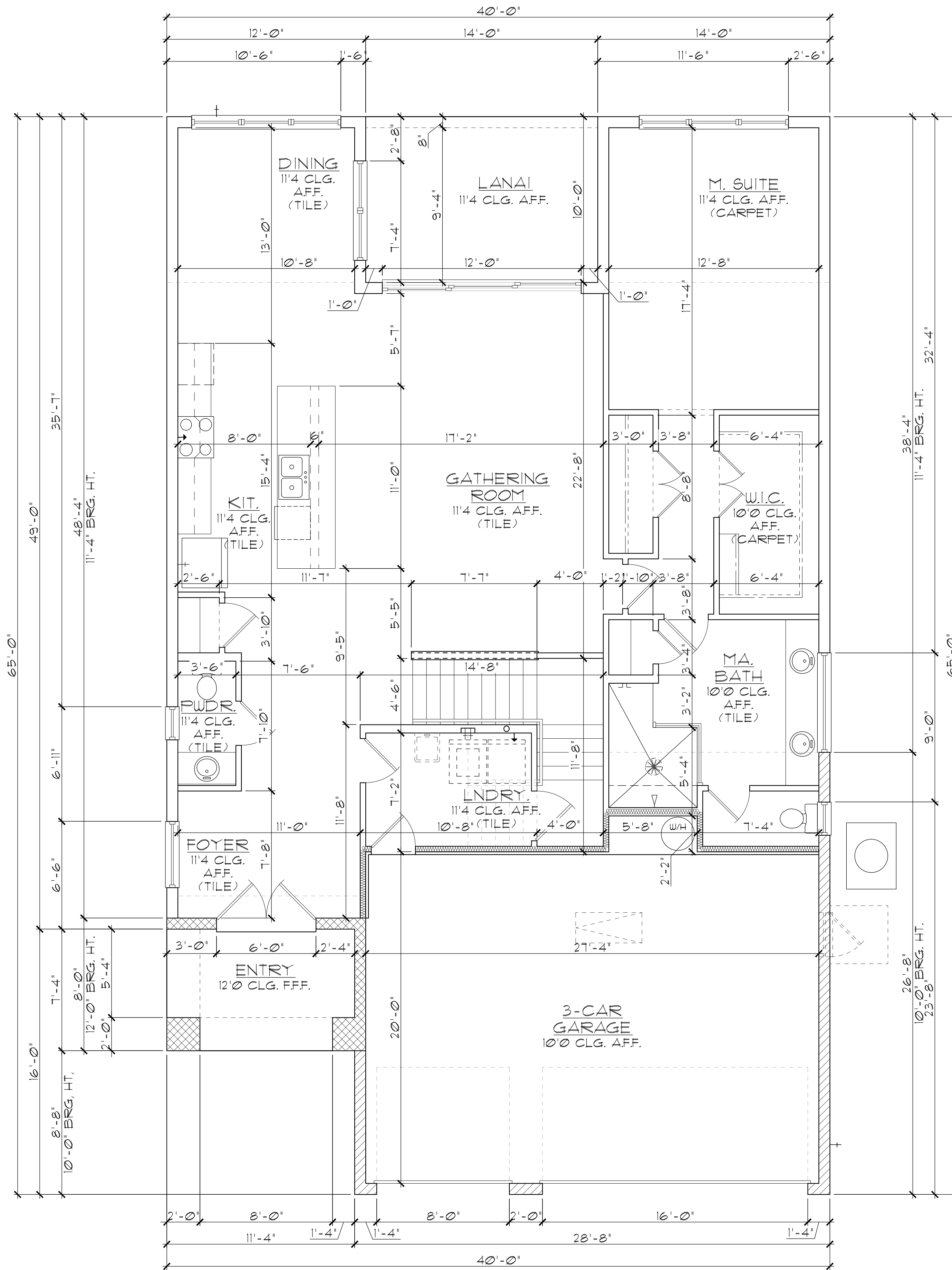
SCALE: AS NOTED

DRAWN: MR

SHEET:

02.0

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SECOND FLOOR

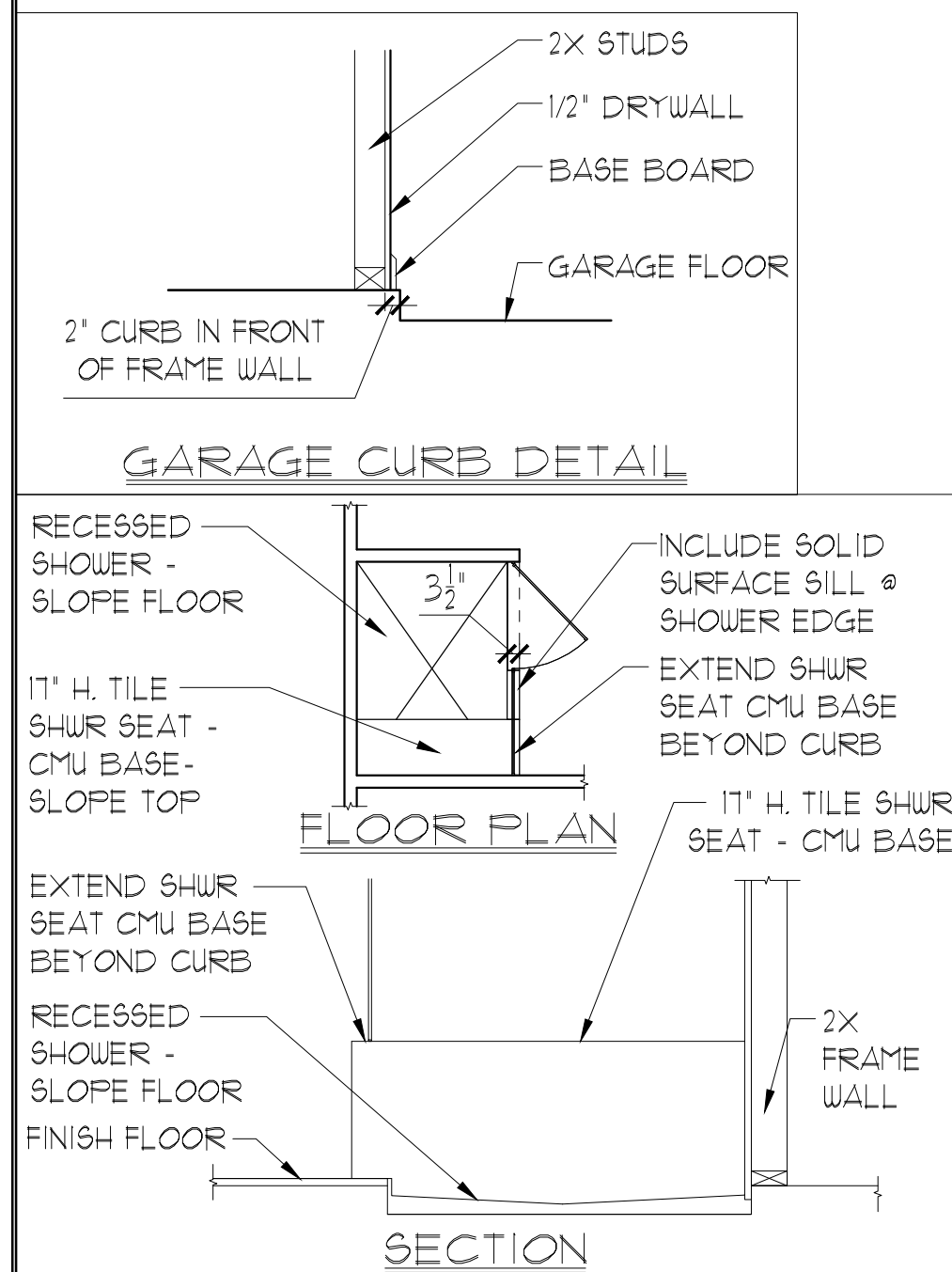
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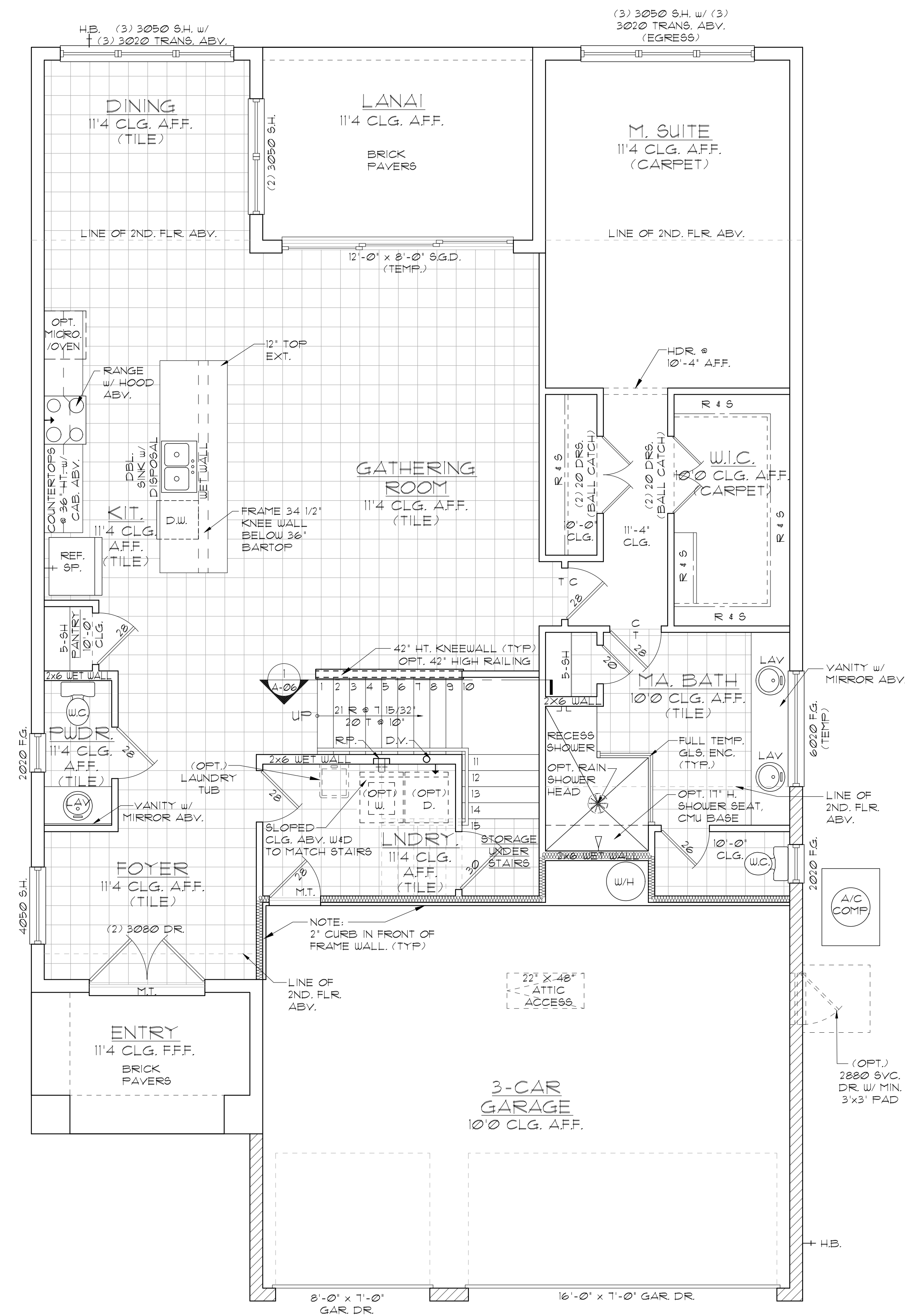
2992 LARGO
FLORIDA SERIES (TAMPA)

FIRST FLOOR PLAN
W/ DIMENSIONS

ITEG
 THOMPSON ENGINEERING GROUP, INC.
 4401 Vineyard Road Suite 40 Orlando, FL 32811
 Phone: (407) 241-1790
 www.iteg.com

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
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SECOND FLOOR

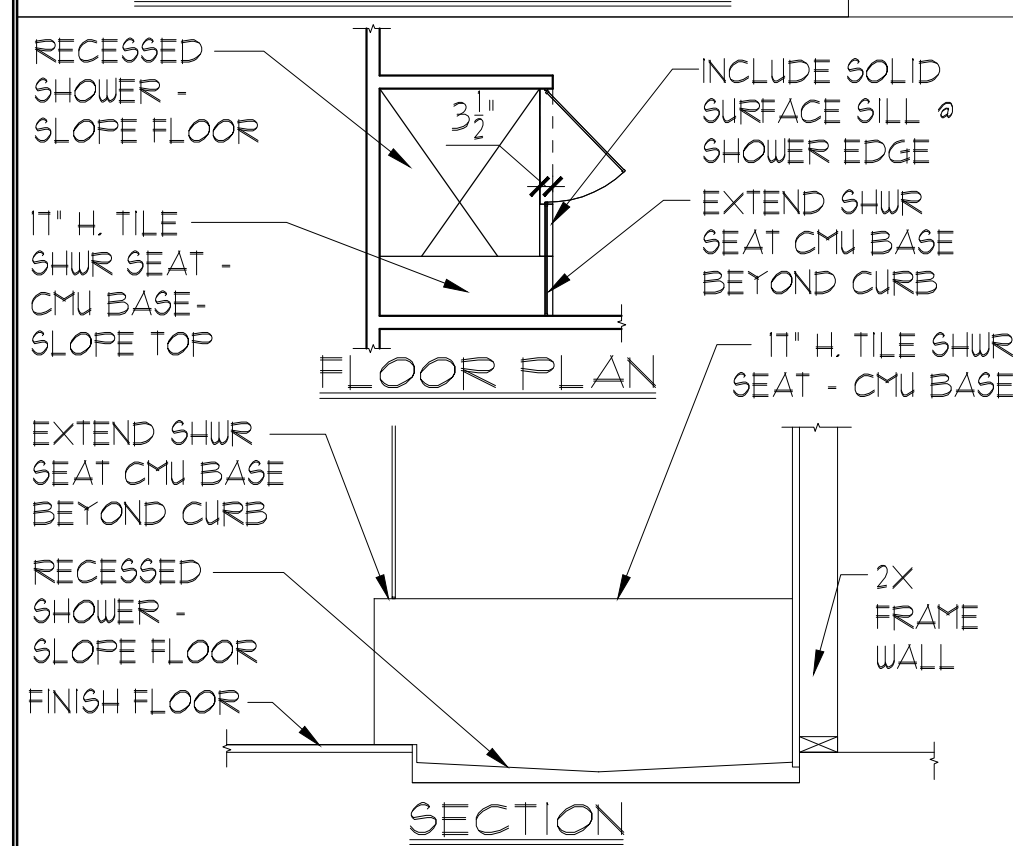
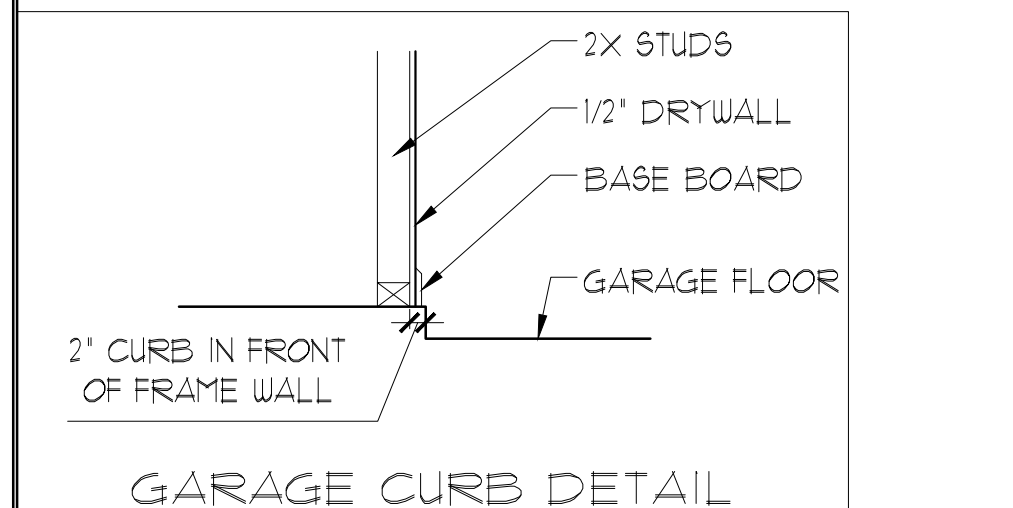
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ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,734 SF.

ELEVATION C STD
FIRST FLOOR PLAN
W/ NOTES
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



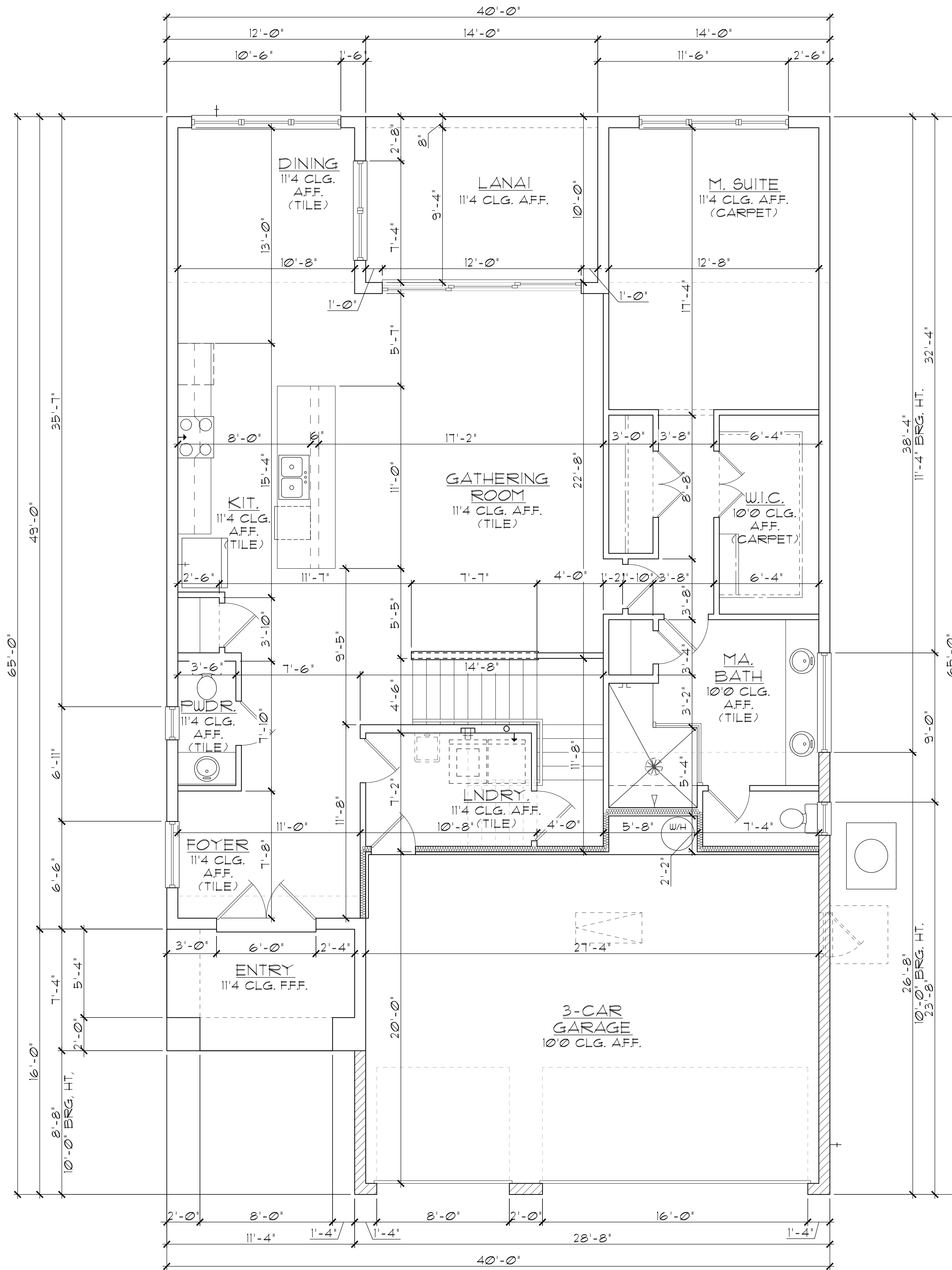
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 Orlando, Florida 32811
 Phone: (407) 629 - 3000
Park Square HOMES
2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS

DELTA #	DATE

DATE: 08-21-24
 SCALE: AS NOTED
 DRAWN: MR
 SHEET: 02.0

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WALL LEGEND

FIRST FLOOR

- [Hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 10'-0" AFF.
- [White box] DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
- [Cross-hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 11'-0" AFF.
- [Horizontal hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF.
- [Vertical hatched pattern] DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

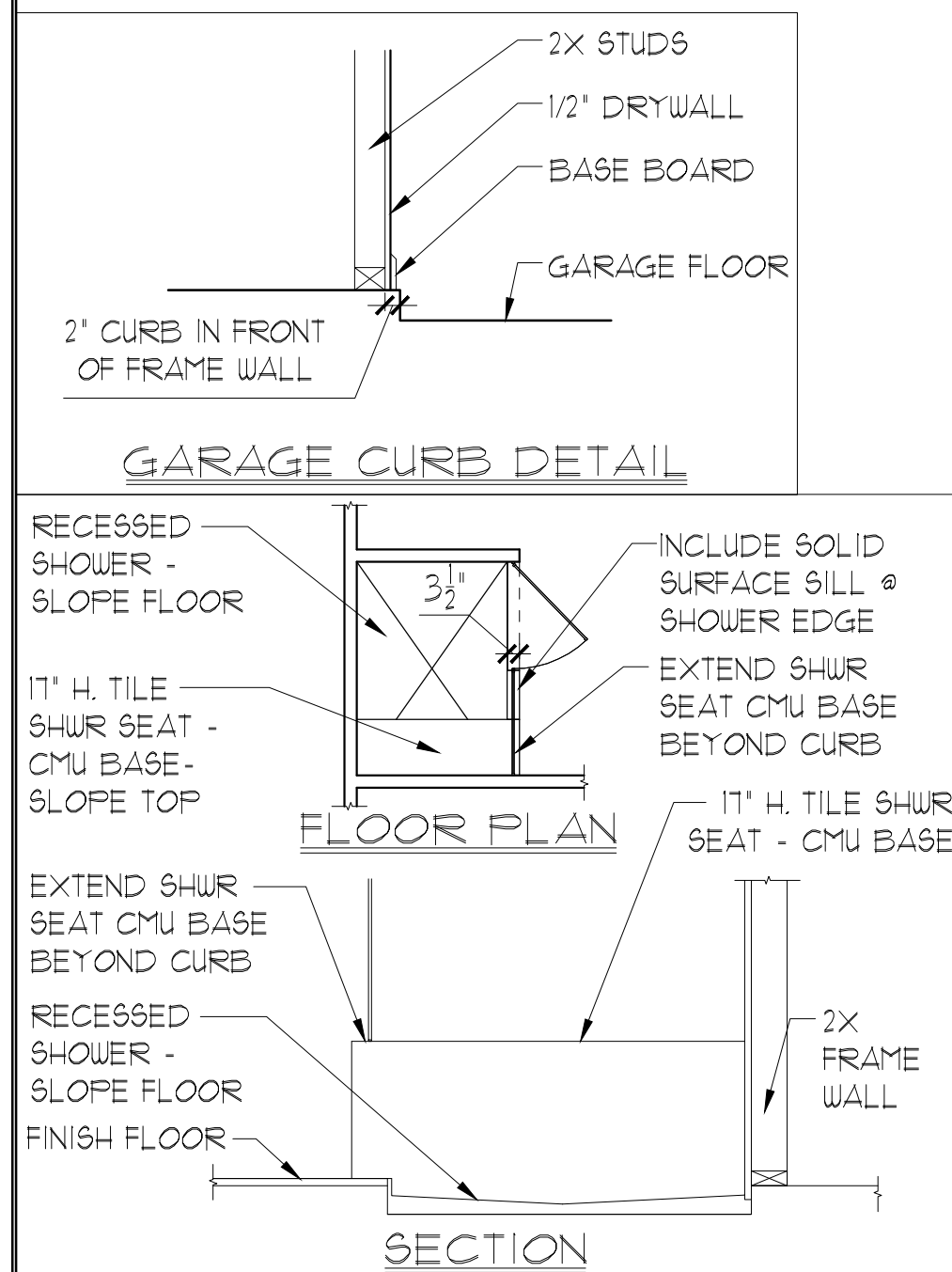
- [White box] DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

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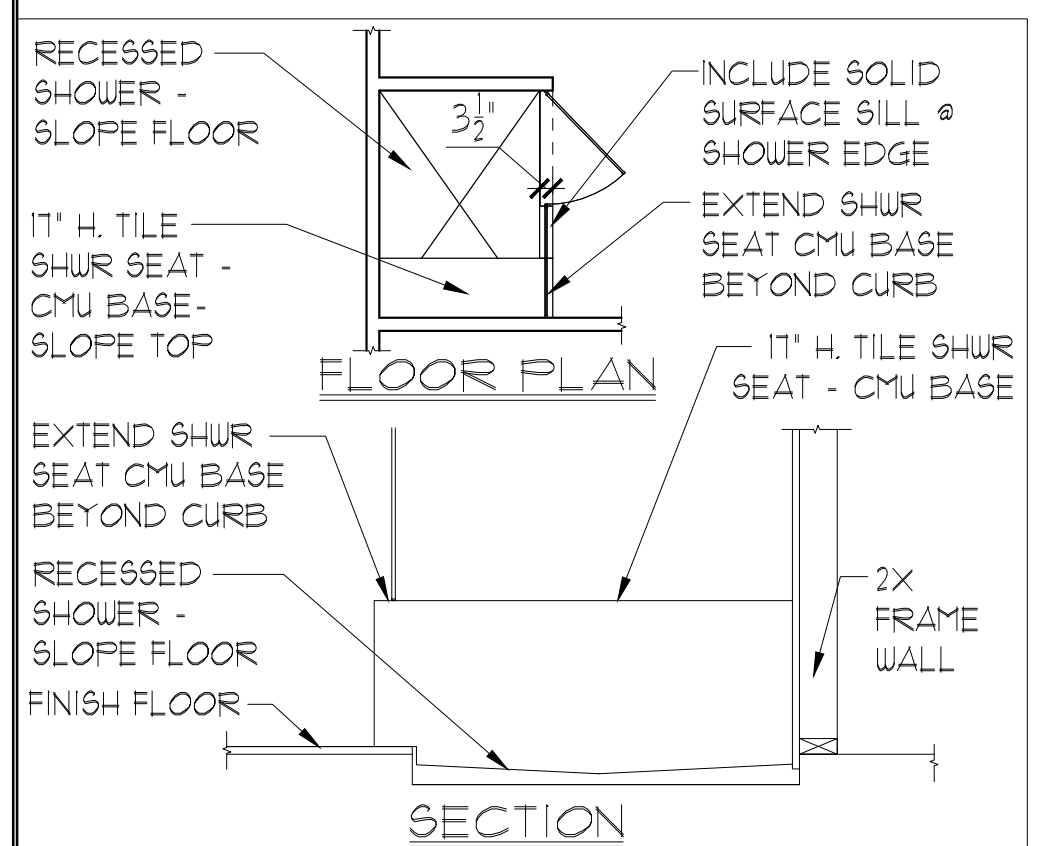
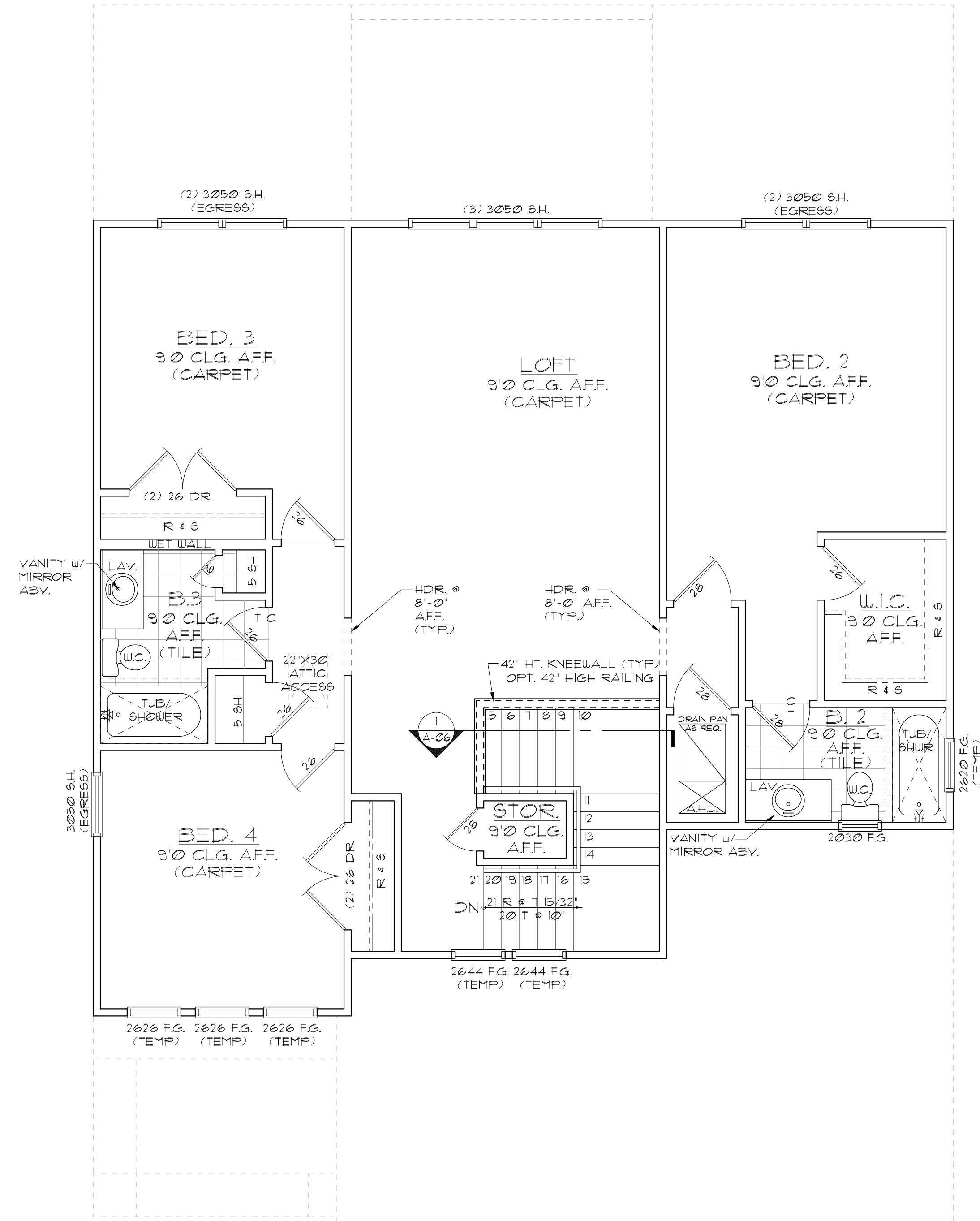
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SECOND FLOOR PLAN
W/ NOTES

REVISIONS

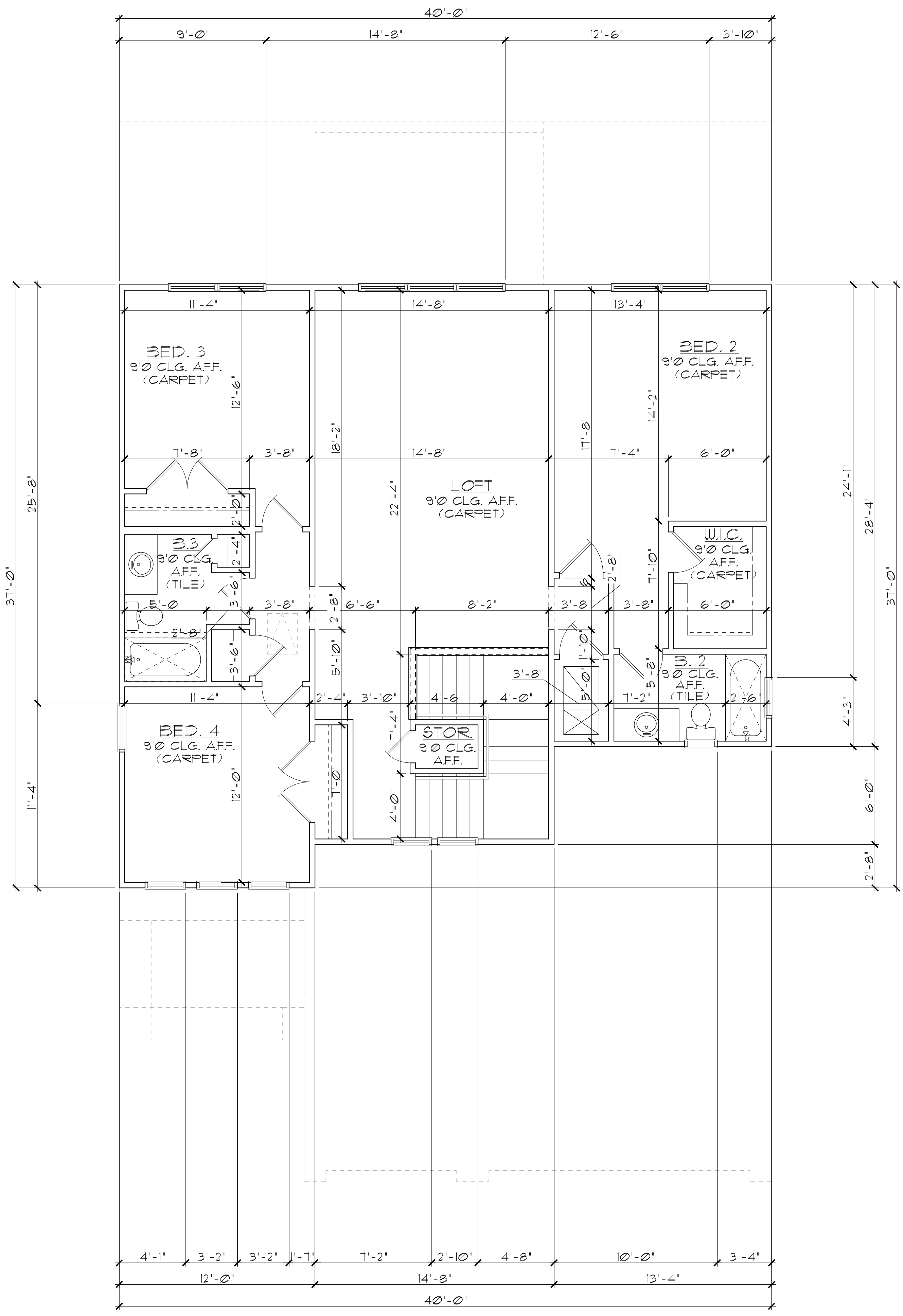
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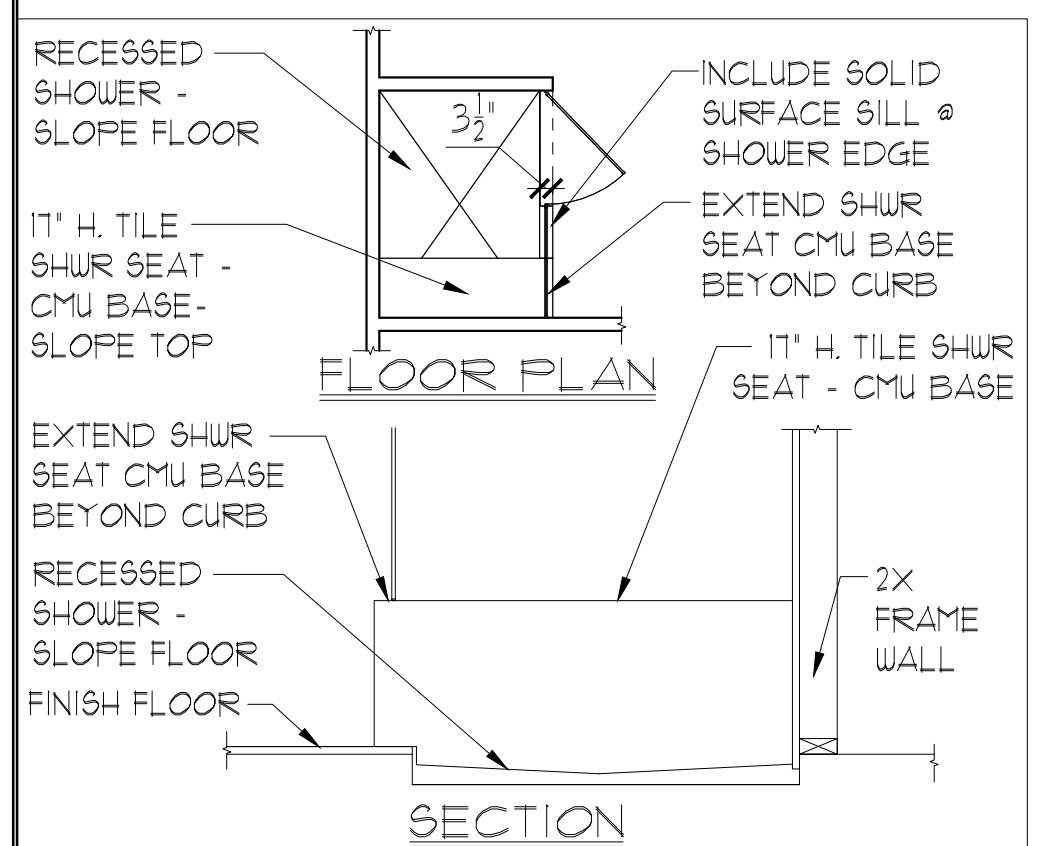
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SECOND FLOOR PLAN
W/ DIMENSIONS

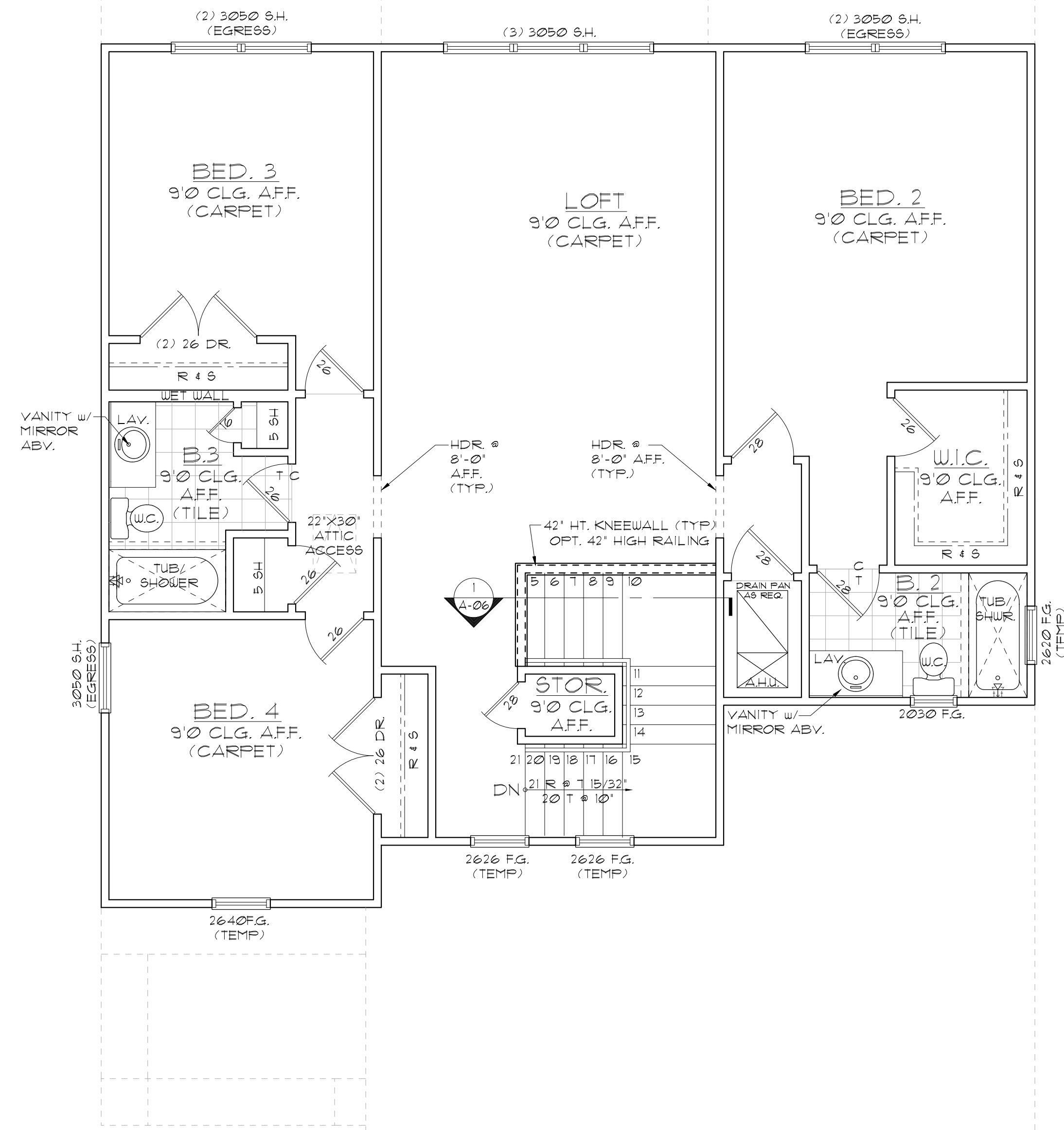
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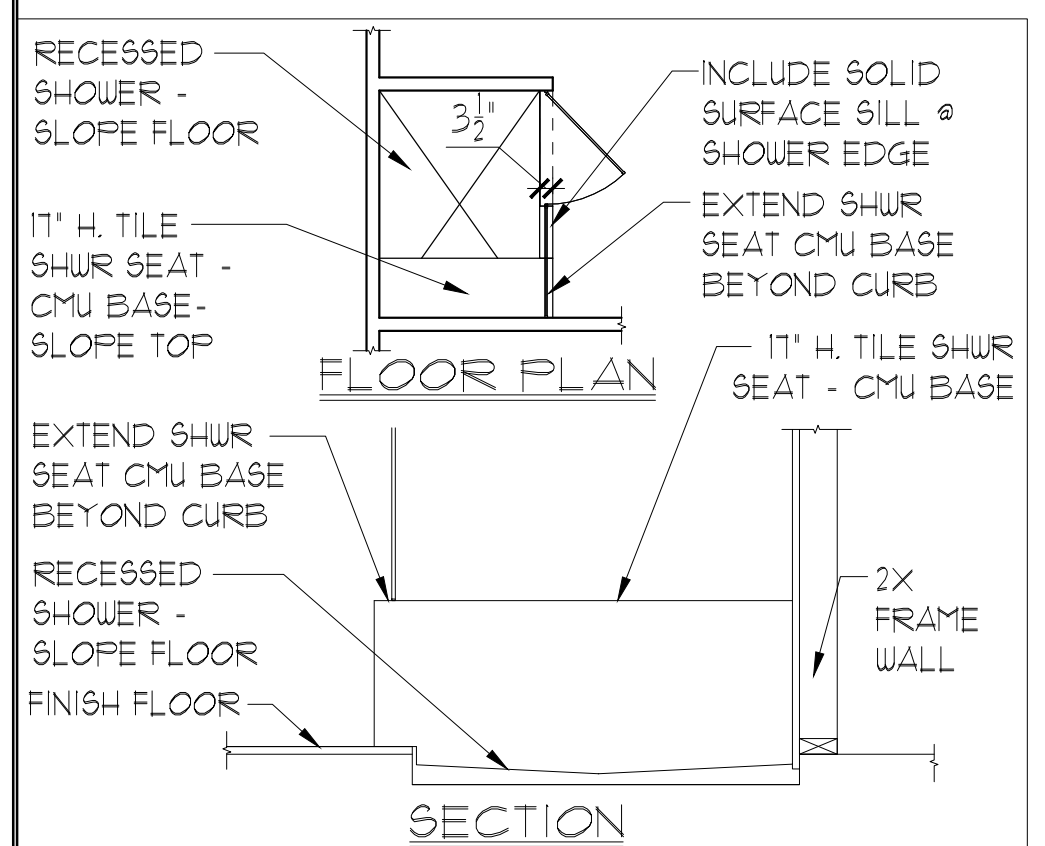
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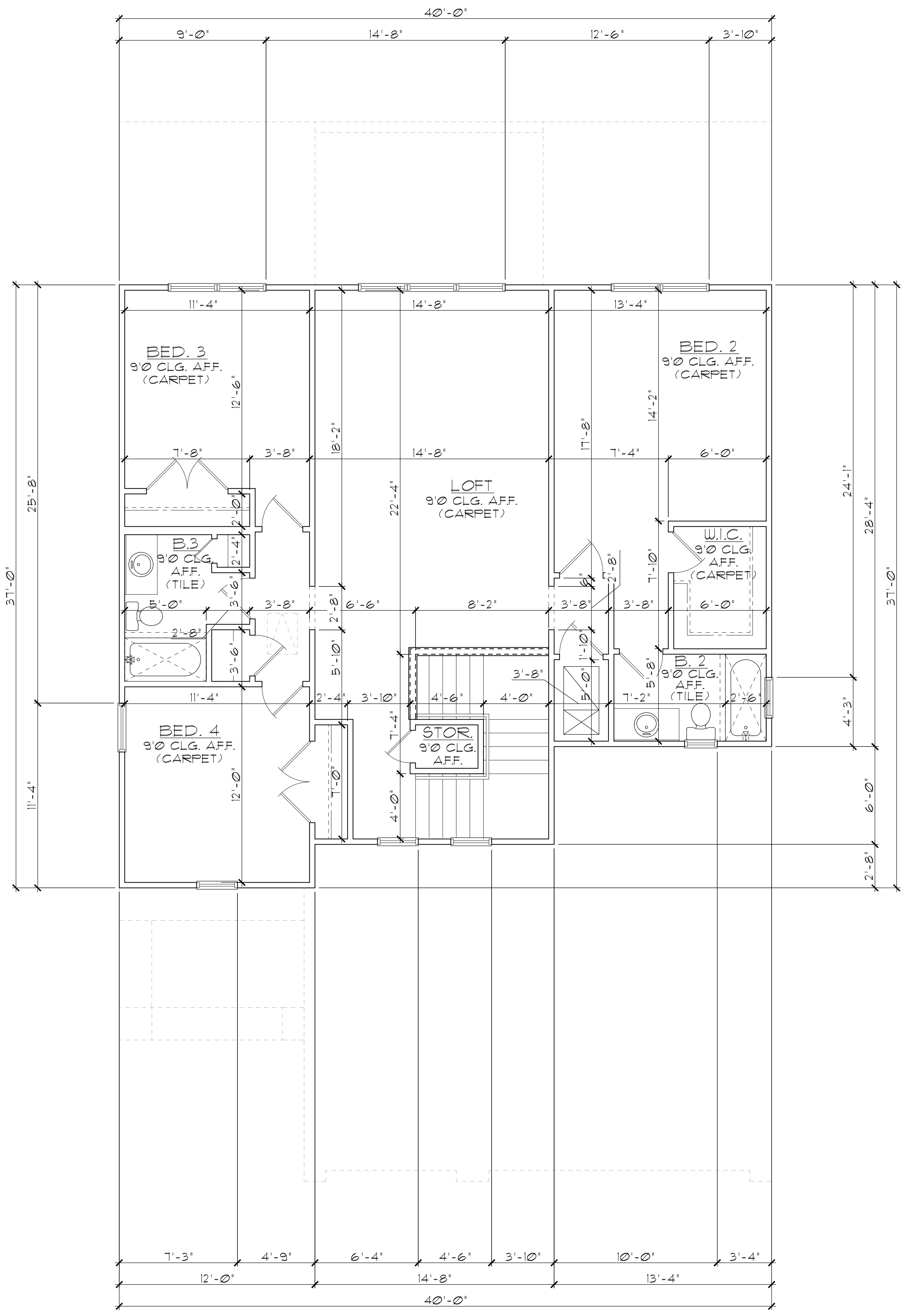
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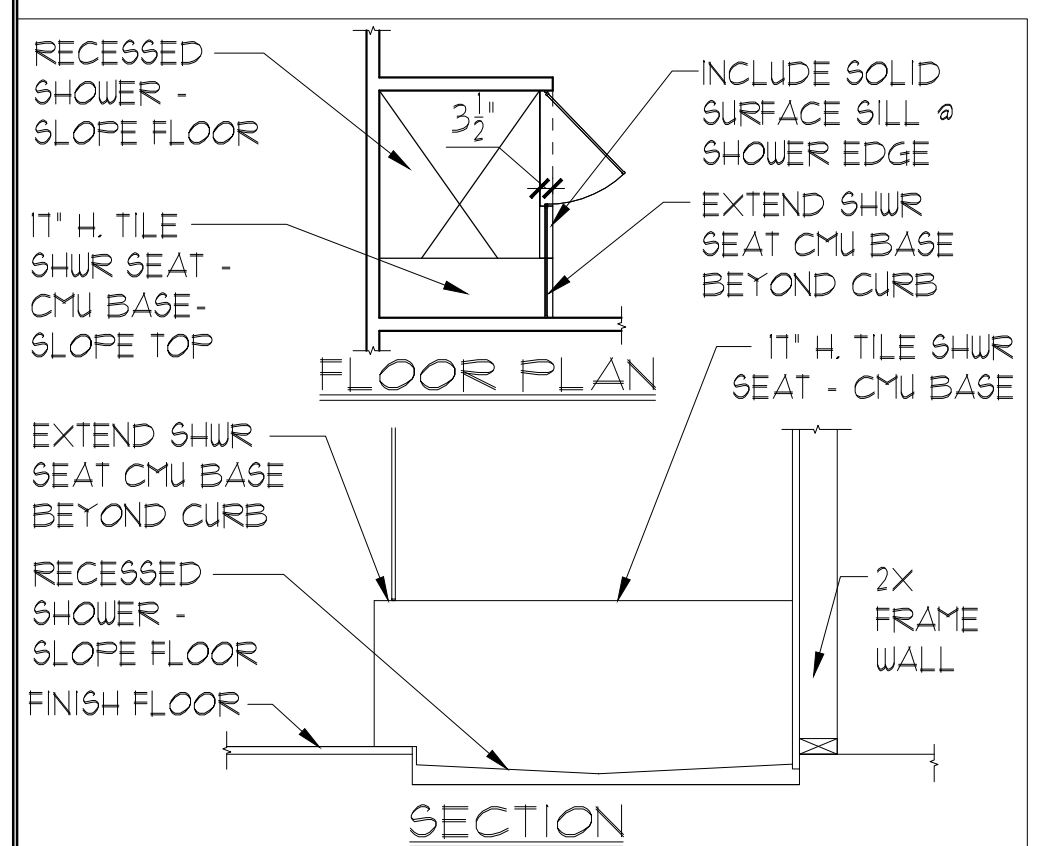
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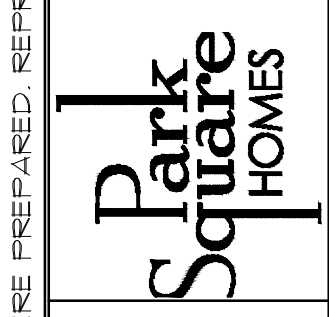


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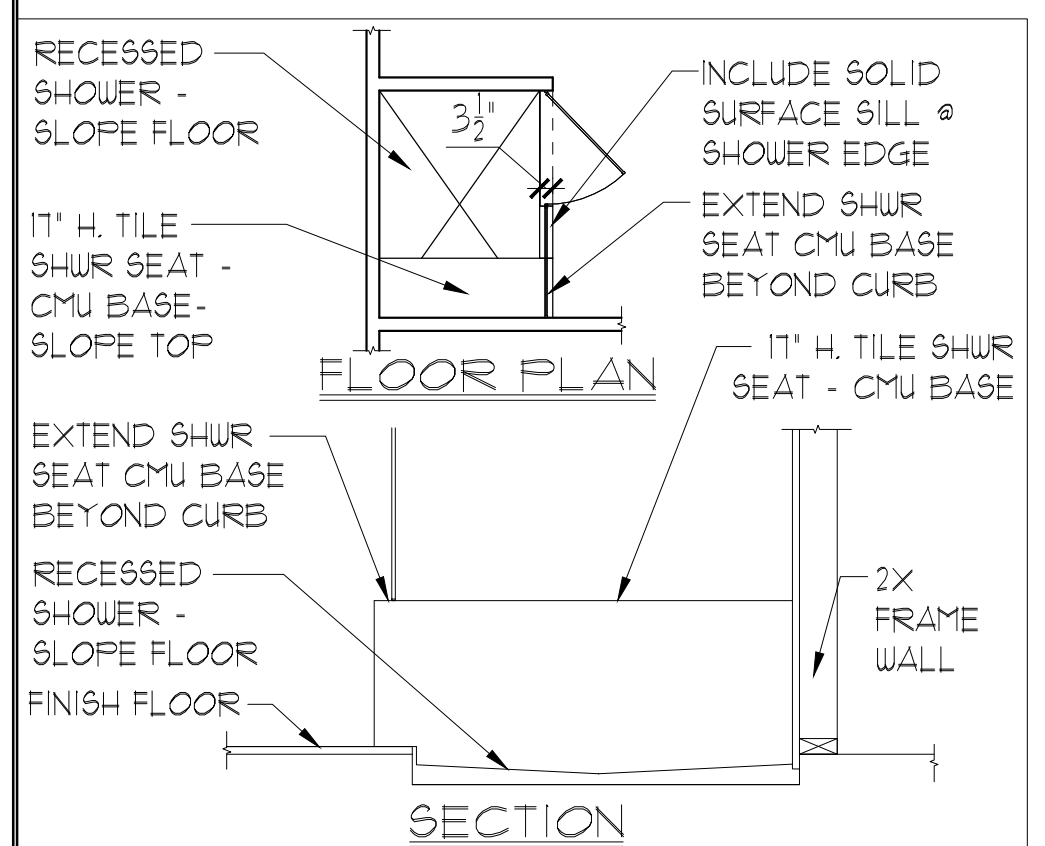
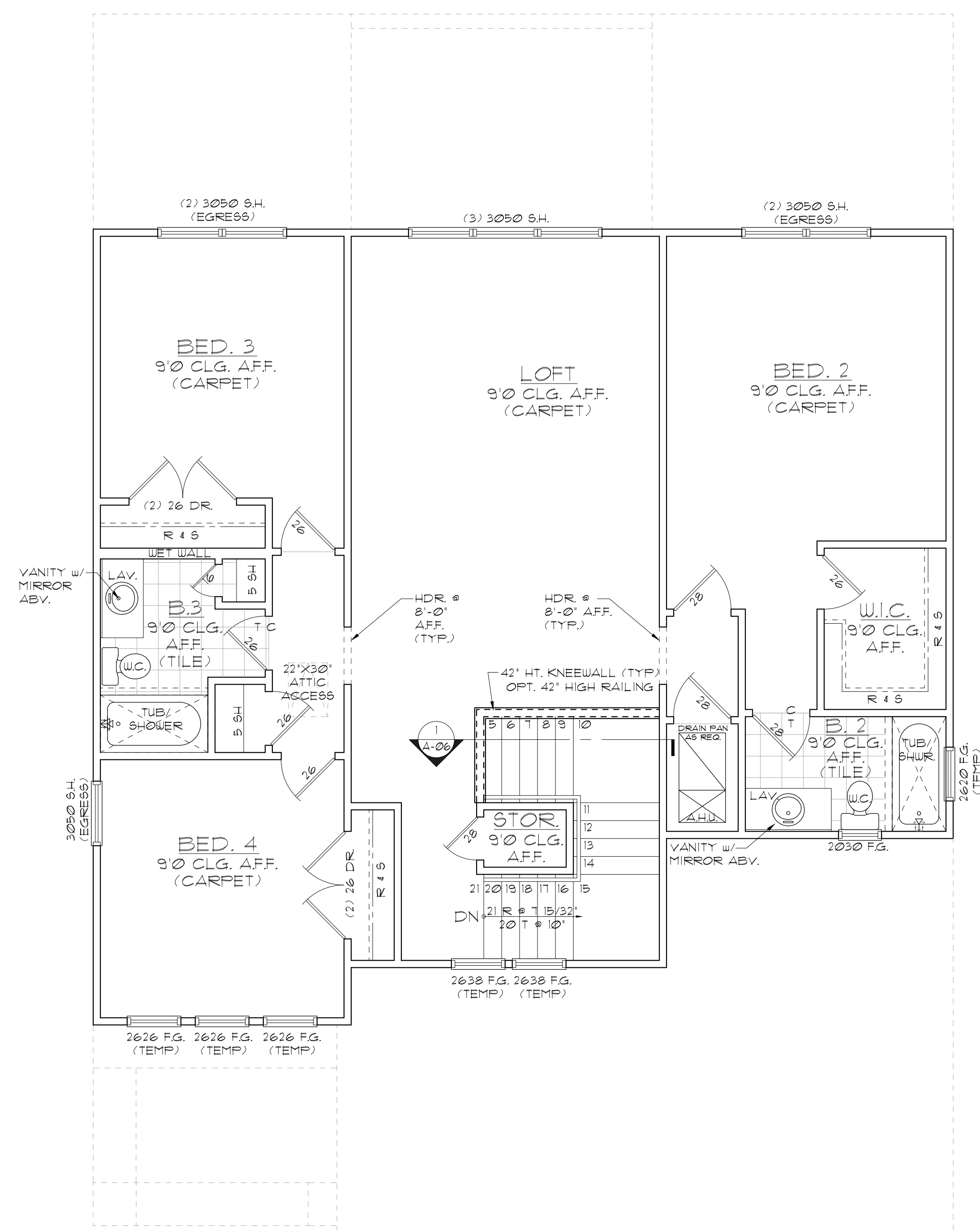
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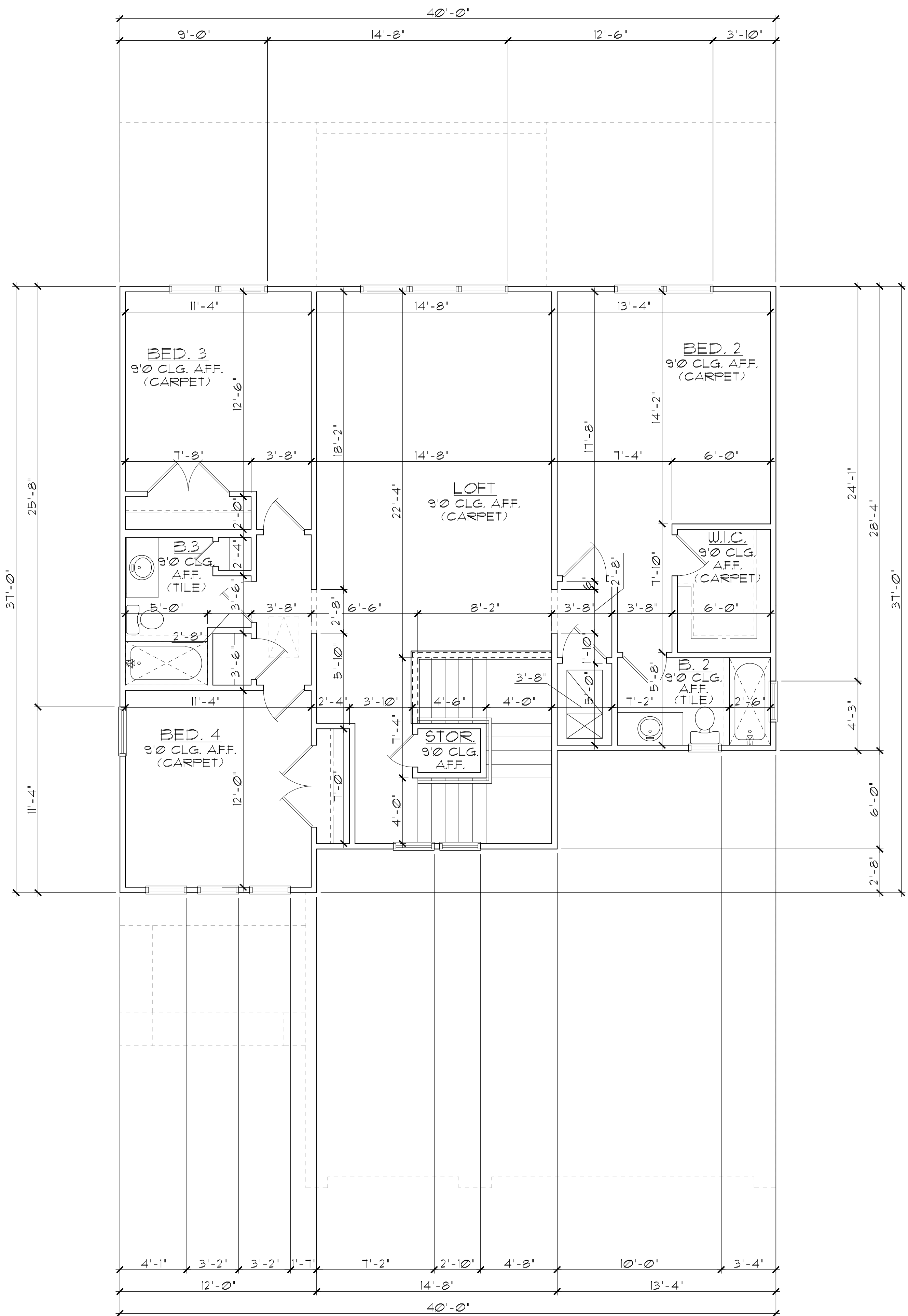
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WALL LEGEND

FIRST FLOOR

- [Hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 10'-0" AFF.
- [White box] DENOTES CONC. BLOCK WALL HGT. @ 11'-4" AFF.
- [Cross-hatched pattern] DENOTES CONC. BLOCK WALL HGT. @ 12'-0" AFF.
- [Vertical lines] DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF.
- [Diagonal lines] DENOTES 2x INSULATED FRAME WALL

SECOND FLOOR

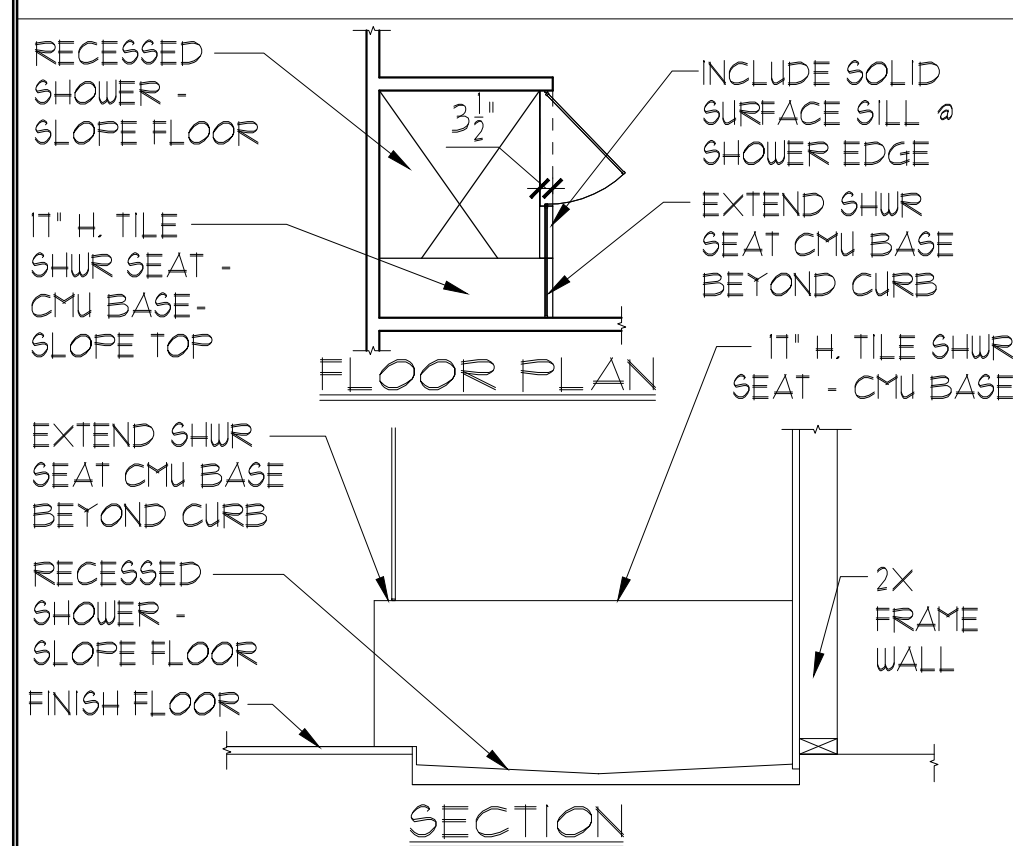
- [White box] DENOTES 2ND FLR FRAME WALL HGT. @ 9'-0" AFF.

NOTE: SEE COLOR SHEET FOR FLOORING & INTERIOR DOOR HEIGHT REQUIREMENTS

AREA CALCULATIONS

LIVING:	
FIRST FLOOR	1,689 SF.
SECOND FLOOR	1,233 SF.
TOTAL LIVING	2,922 SF.
GARAGE	589 SF.
ENTRY	83 SF.
LANAI	140 SF.
TOTAL UNDER ROOF	3,734 SF.

ELEVATION C STD
SECOND FLOOR PLAN
W/ DIMENSIONS
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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 Orlando, Florida 32811
 Phone: (407) 629 - 3000



SECOND FLOOR PLAN
W/ DIMENSIONS

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS

DELTA #	DATE

DATE: 08-21-24
 SCALE: AS NOTED
 DRAWN: MR
 SHEET: 03.1

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ELEVATION A STD
FRONT ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELEVATION A STD
REAR ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EXTERIOR FINISH NOTES

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2992 LARGO
FLORIDA SERIES (TAMPA)

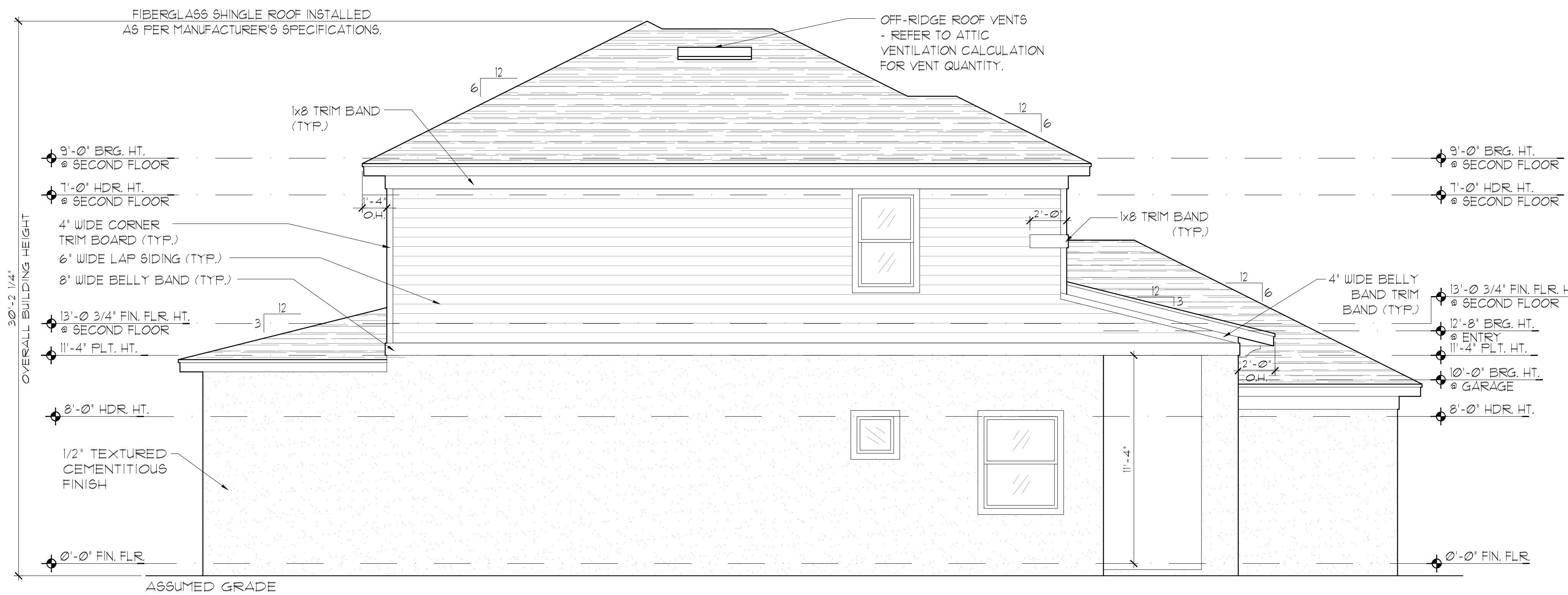
EXTERIOR ELEVATION
FRONT AND REAR

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HOMES

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ELEVATION A STD
LEFT ELEVATION

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ELEVATION A STD
RIGHT ELEVATION

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EXTERIOR FINISH NOTES

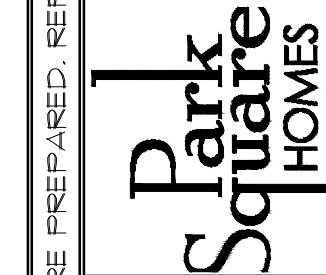
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EXTERIOR ELEVATION
LEFT AND RIGHT

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS	
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**ELEVATION B STD
FRONT ELEVATION**

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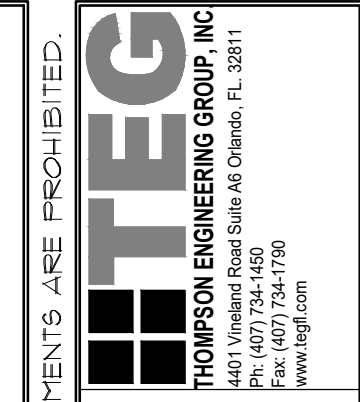


**ELEVATION B STD
REAR ELEVATION**

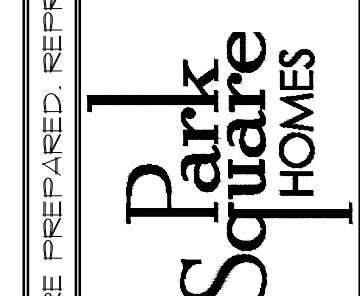
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**EXTERIOR ELEVATION
FRONT AND REAR**

**2992 LARGO
FLORIDA SERIES (TAMPA)**

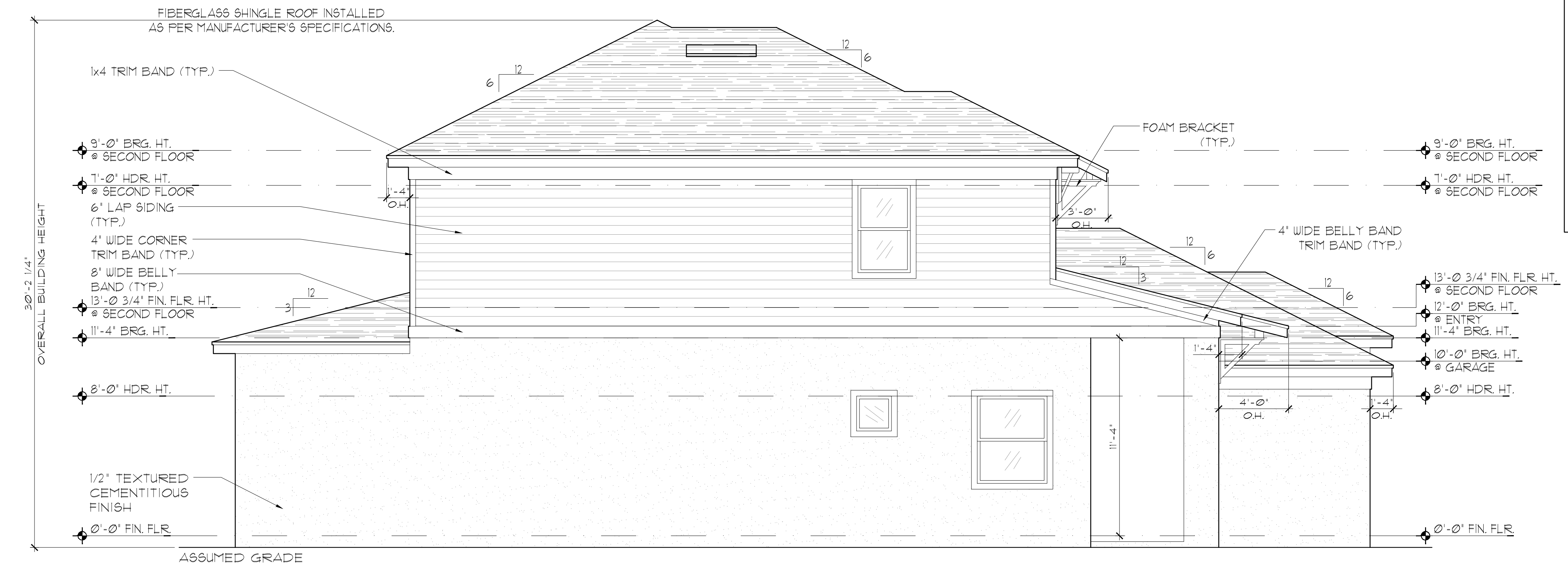
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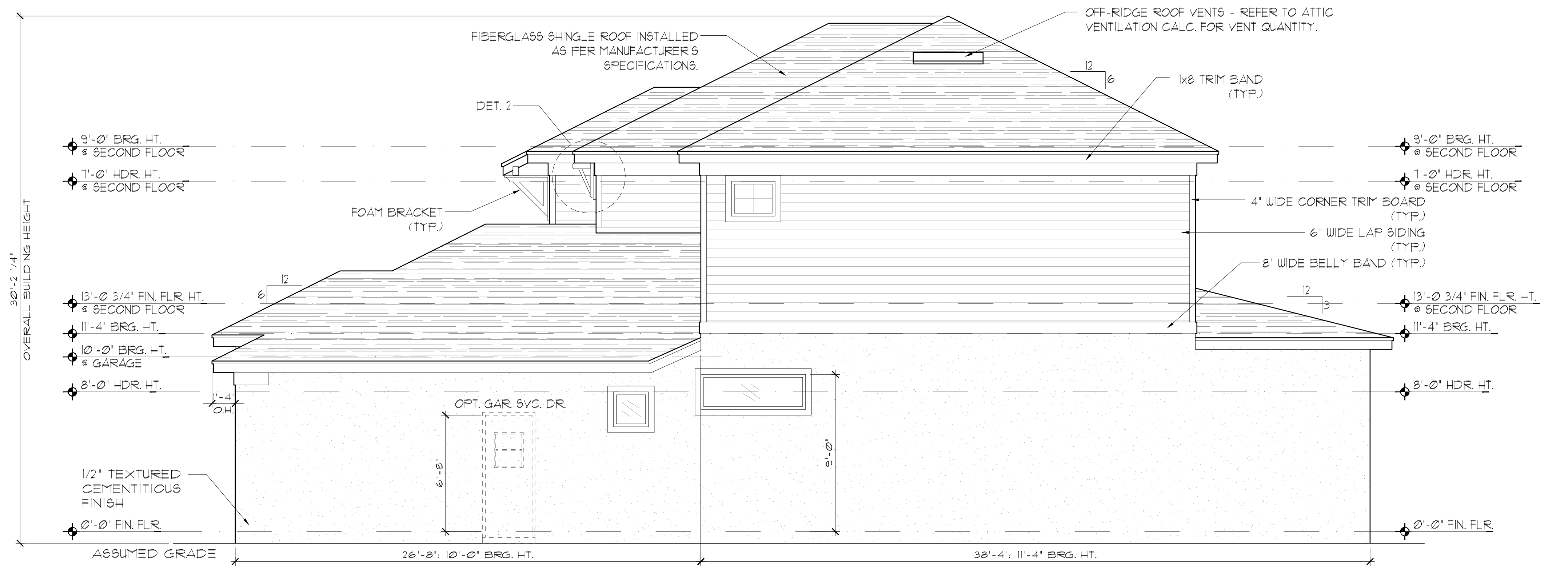
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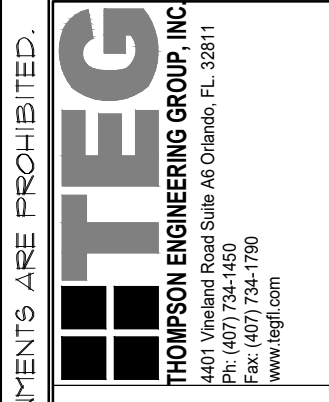
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LEFT ELEVATION**
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**ELEVATION B STD
RIGHT ELEVATION**
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Phone: (407) 529-3000

**EXTERIOR ELEVATION
LEFT AND RIGHT**

**2992 LARGO
FLORIDA SERIES (TAMPA)**

REVISIONS	
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**ELEVATION C STD
FRONT ELEVATION**
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**ELEVATION C STD
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2992 LARGO
FLORIDA SERIES (TAMPA)

EXTERIOR ELEVATION
FRONT AND REAR

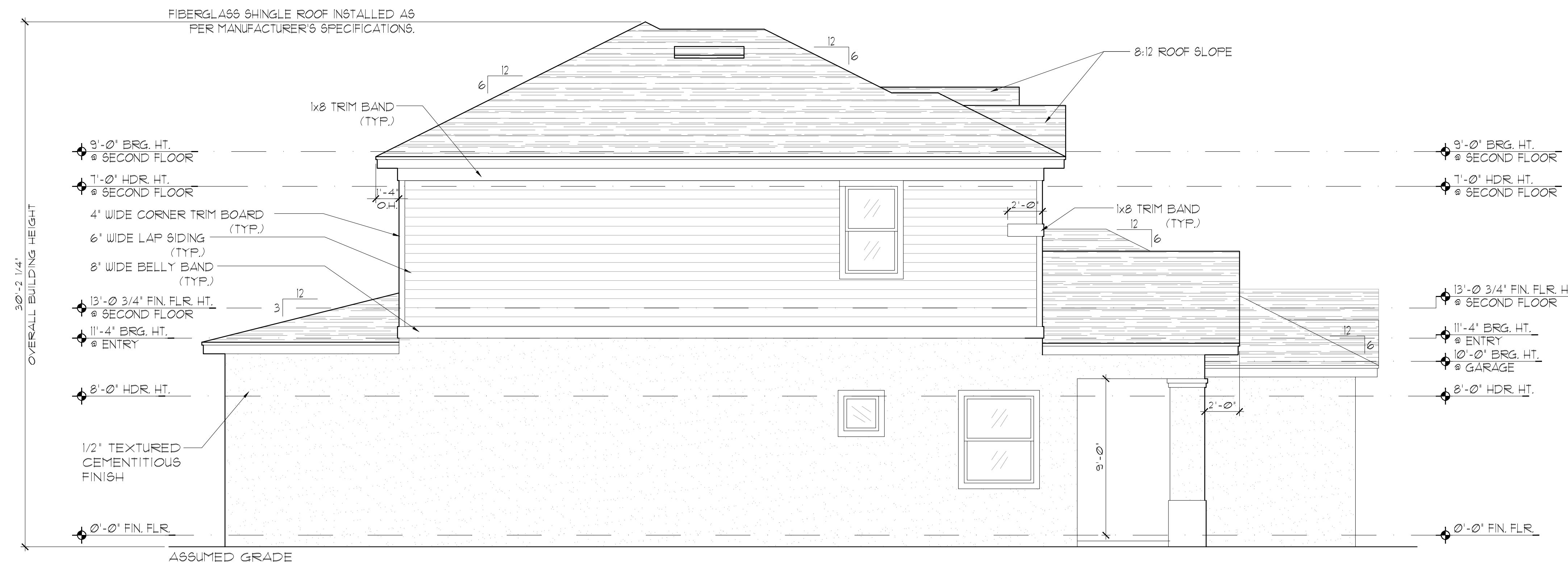
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ELEVATION C STD
LEFT ELEVATION

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ELEVATION C STD
RIGHT ELEVATION

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EXTERIOR ELEVATION
 LEFT AND RIGHT

2992 LARGO
 FLORIDA SERIES (TAMPA)

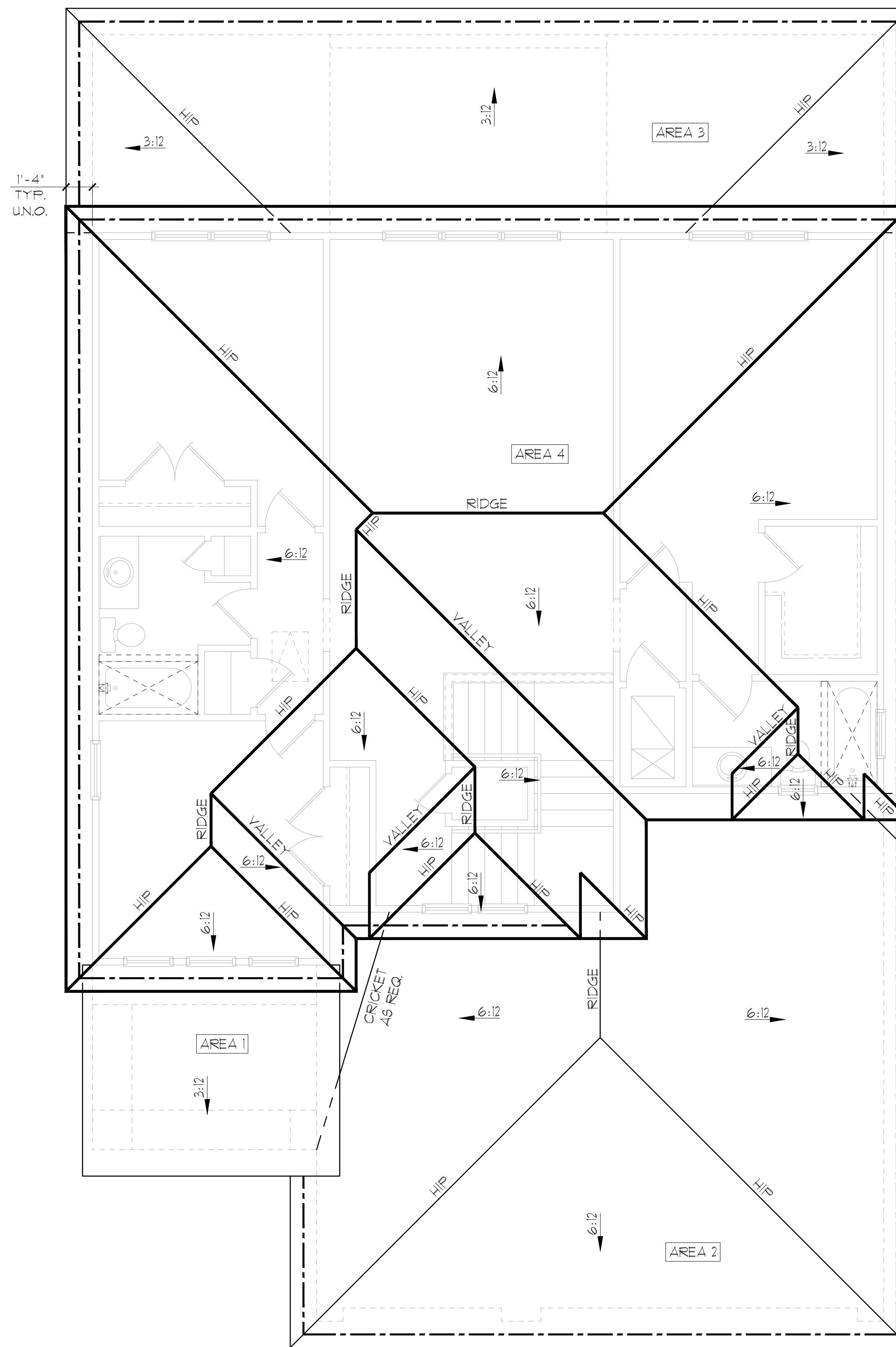
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SHEET: 04.1C



ELEVATION A STD
ROOF PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, (EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R206 AND ALL SUBSEQUENT SUB-SECTIONS.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE Baffles TO MAINTAIN A MIN. 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16" AND 1/4" MAXIMUM.
4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
7. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:
OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL 'S' = 915 SQ. INCHES PER VENT INSTALLED

SHINGLE: MILLENNIUM METALS-MMI-2 = 805 SQ. INCHES PER VENT INSTALLED
LOMANCO-T10D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S): AREA 1 (FRONT PORCH LOW ROOF)

AREA #1 = 106 SQ. FT * 144 / 150 = 102 SQ. IN. REQUIRED
110 SQ. IN. PROVIDED

11 LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

(O'HAGIN- MODEL 'S')
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 195 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED

(LOMANCO-T10D)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL 'S')
NFVA = 400 SQ. FT * 144 / 300 = 11-96 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 915 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 81 SQ. IN. PROVIDED

(LOMANCO-T10D)
NFVA = 671 SQ. FT * 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)

(O'HAGIN- MODEL 'S')
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(3) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 293 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(4) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 322 SQ. IN. PROVIDED

(LOMANCO-T10D)
NFVA = 1325 SQ. FT * 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 280 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

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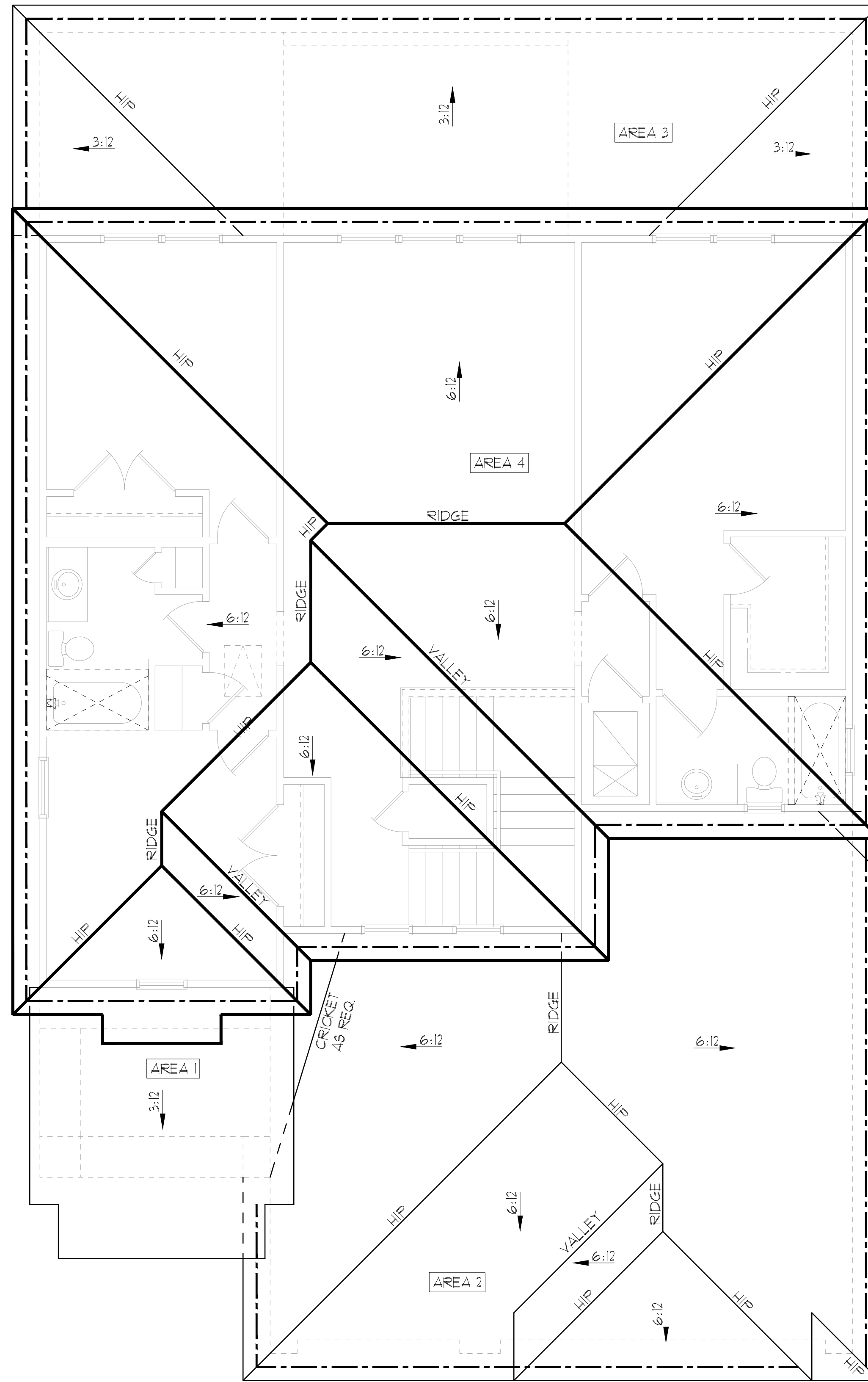
ROOF PLAN

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ROOF PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

GENERAL NOTES

ENCLOSED ATTIC SPACES AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE VENTED SPACE, (EXCEPT THAT THE REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED, PROVIDED THAT AT LEAST 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.)

1. PLAN SHOWS APPROXIMATE VENT LOCATIONS AND STILL REQUIRES REVIEW BY THE BUILDER/G.C. TO VERIFY ALL VENTING COMPONENTS ARE INSTALLED PER THE MIN. REQUIREMENTS AS STATED IN THE CURRENT EDITION OF THE FBC(R) SECTION R206 AND ALL SUBSEQUENT SUB-SECTIONS.
2. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, PROVIDE Baffles TO MAINTAIN A MIN. 1" AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
3. VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSIONS OF 1/16" MIN. AND 1/4" MAX. VENTILATION OPENINGS HAVING A LEAST DIMENSION GREATER THAN 1/4" SHALL BE PROVIDED WITH AN APPROVED CORROSION PROTECTIVE COVER HAVING A LEAST DIMENSIONS OF 1/16" AND 1/4" MAXIMUM.
4. ALL VENTS SHALL BE INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS (FREE FROM BLOCKAGES AND/OR OBSTRUCTIONS) PROVIDING ADEQUATE CROSS VENTILATION.
5. THE BUILDER/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL CALCULATIONS AND QUANTITIES OF REQUIRED VENTILATORS PRIOR TO INSTALLATION.
6. ROOF PLAN DEPICTED IS NOT INTENDED TO SERVE AS A TRUSS DESIGN
7. SEE BUILDING SECTIONS, WALL SECTIONS & ELEVATIONS FOR BEARING HEIGHTS

CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:
OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL 'S' = 915 SQ. INCHES PER VENT INSTALLED
SHINGLE: MILLENNIUM METALS-MMI-2 = 805 SQ. INCHES PER VENT INSTALLED
LOMANCO-T10D = 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

ATTIC VENTILATION CALCULATIONS

NET FREE VENTILATED AREA(S): AREA 1 (FRONT PORCH LOW ROOF)
AREA #1 = 106 SQ. FT + 144 / 150 = 102 SQ. IN. REQUIRED
110 SQ. IN. PROVIDED

11 LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

(O'HAGIN- MODEL 'S')
NFVA = 671 SQ. FT + 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 195 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
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(2) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED

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NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL 'S')
NFVA = 400 SQ. FT + 144 / 300 = 11-96 SQ. IN. REQUIRED (40%-50%)

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(MILLENNIUM METALS- MMI-2)
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+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 4 (MAIN UPPER ROOF)

(O'HAGIN- MODEL 'S')
NFVA = 1325 SQ. FT + 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(3) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 293 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 1325 SQ. FT + 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(4) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 322 SQ. IN. PROVIDED

(LOMANCO-T10D)
NFVA = 1325 SQ. FT + 144 / 300 = 254-318 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 280 SQ. IN. PROVIDED

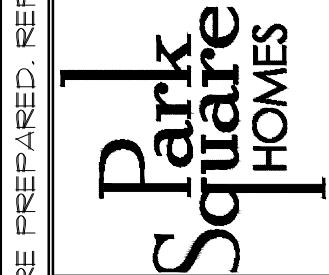
+/- 200 LINEAR FEET OF VENTED SOFFIT.

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LOT: 0000, COMMUNITY



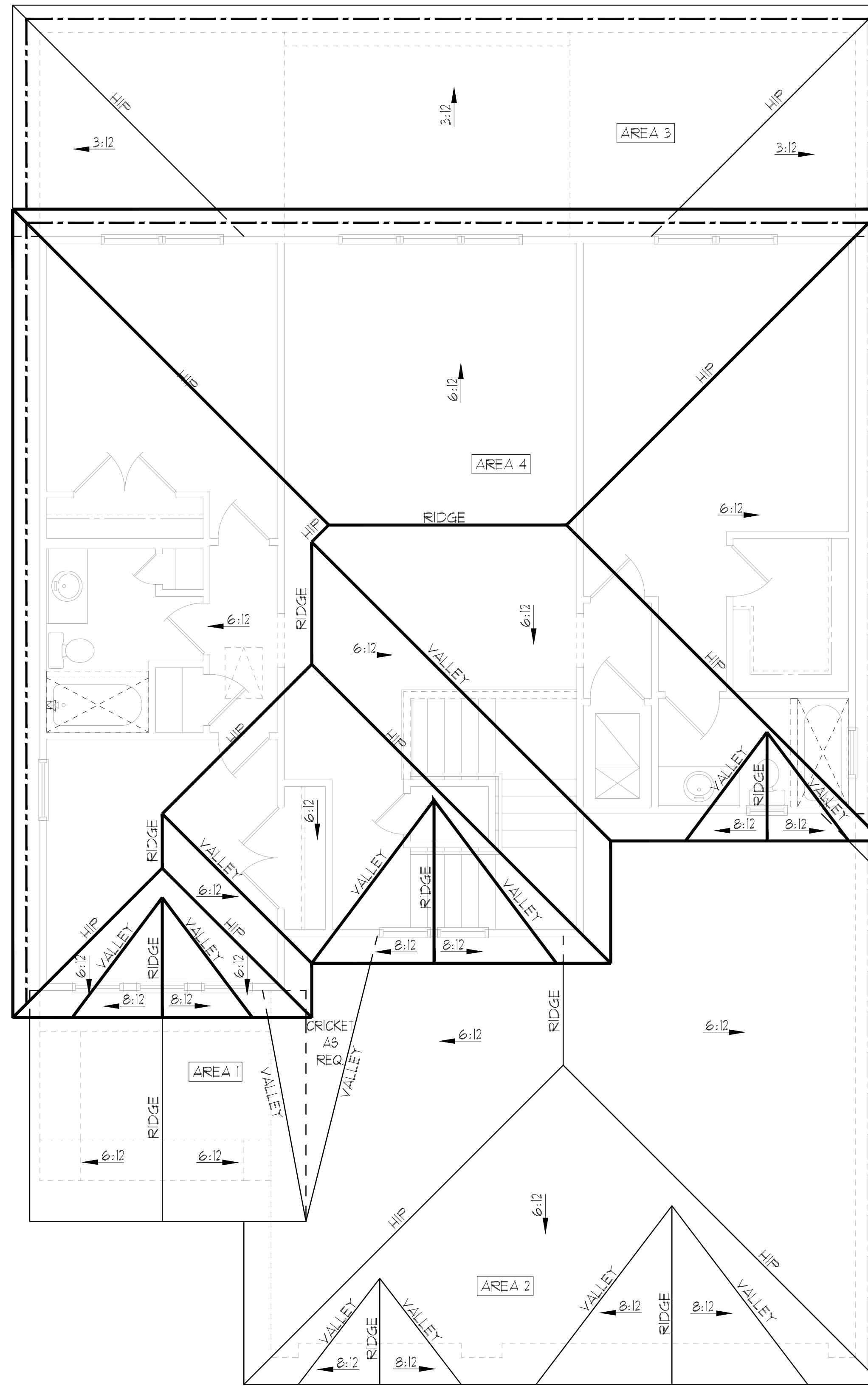
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000



ROOF PLAN

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS	
DELTA #	DATE
DATE:	08-21-24
SCALE:	AS NOTED
DRAWN:	TR
SHEET:	05.0



ELEVATION C STD
ROOF PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

GENERAL NOTES

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CALCULATIONS BELOW ARE BASED OFF OF THE FOLLOWING ASSUMPTIONS:
OFF RIDGE VENTS TO HAVE A NET FREE VENTILATION AREA OF:

TILE: O'HAGIN- MODEL-'S': 915 SQ. INCHES PER VENT INSTALLED
SHINGLE: MILLENNIUM METALS-MMI-2: 805 SQ. INCHES PER VENT INSTALLED
LOMANCO-T10D: 140 SQ. INCHES PER VENT INSTALLED

INDICATES POSSIBLE LOCATION OF OFF RIDGE VENTS

SOFFIT VENTILATION TO HAVE A NET FREE VENTILATION AREA OF 10 SQ. INCHES PER LINEAR FT.

INDICATES POSSIBLE LOCATION OF SOFFIT VENTING

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110 SQ. IN. PROVIDED

11 LINEAR FEET OF VENTED SOFFIT @ 10 SQ. IN. PER LINEAR FOOT REQUIRED = 110 SQ. IN.

NET FREE VENTILATED AREA(S): AREA 2 (LOW ROOF OVER GARAGE)

(O'HAGIN- MODEL 'S')
NFVA = 671 SQ. FT + 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 195 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 671 SQ. FT + 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(2) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 161 SQ. IN. PROVIDED

(LOMANCO-T10D)
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(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

+/- 200 LINEAR FEET OF VENTED SOFFIT.

NET FREE VENTILATED AREA(S): AREA 3 (LOW ROOF OVER REAR LANAI)

(O'HAGIN- MODEL 'S')
NFVA = 400 SQ. FT + 144 / 300 = 11-96 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 915 SQ. IN. (O'HAGIN- MODEL 'S') = 91.5 SQ. IN. PROVIDED

(MILLENNIUM METALS- MMI-2)
NFVA = 671 SQ. FT + 144 / 300 = 129-161 SQ. IN. REQUIRED (40%-50%)

(1) OFF RIDGE VENTS @ 805 SQ. IN. (MILLENNIUM METALS- MMI-2) = 81 SQ. IN. PROVIDED

(LOMANCO-T10D)
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(1) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 140 SQ. IN. PROVIDED

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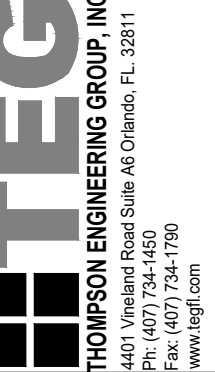
(2) OFF RIDGE VENTS @ 140 SQ. IN. (LOMANCO-T10D) = 280 SQ. IN. PROVIDED

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THIS STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE-RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY

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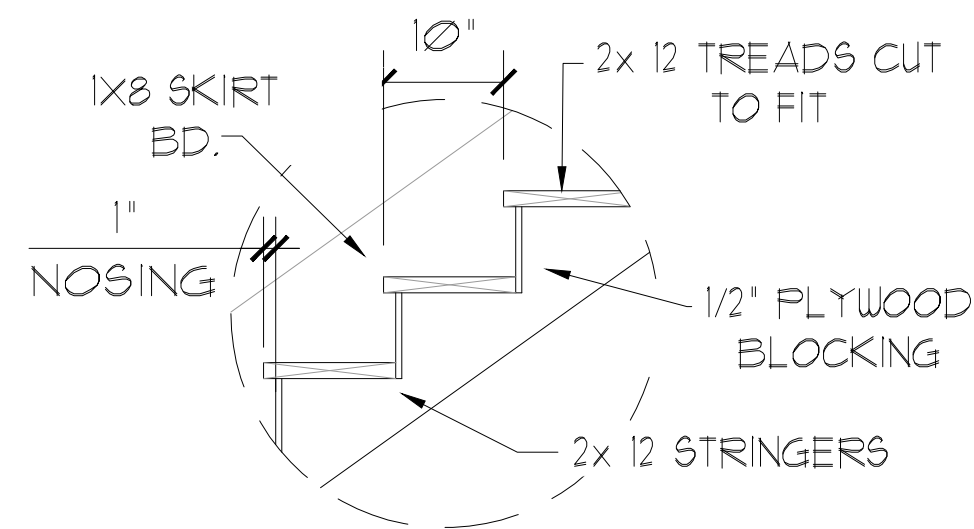
ROOF PLAN

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS	
DELTA #	DATE
DATE:	08-21-24
SCALE:	AS NOTED
DRAWN:	TR
SHEET:	05.0

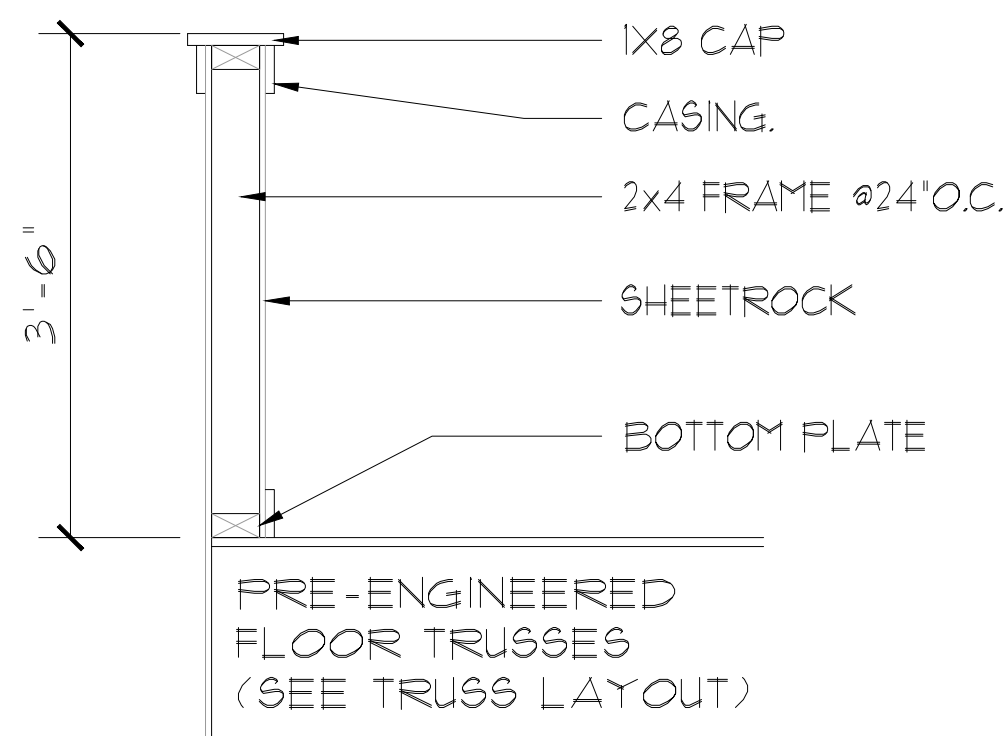
NOTES:

1. STAIRWAY CONSTRUCTION TO CONFORM TO FBC-R 2023, 8TH EDITION SECTION R311.7
2. MAX HT. OF RISER TO BE 1-3/4".
3. MIN. WIDTH OF TREAD TO BE 10" (EXCLUSIVE OF 1" NOSING).
4. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
5. 3/8" MAX VARIATION IN ANY STAIR RUN.
6. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1-1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
7. 34"-38" HANDRAIL HT.
8. HEADROOM CLEARANCE MIN 6'-8".



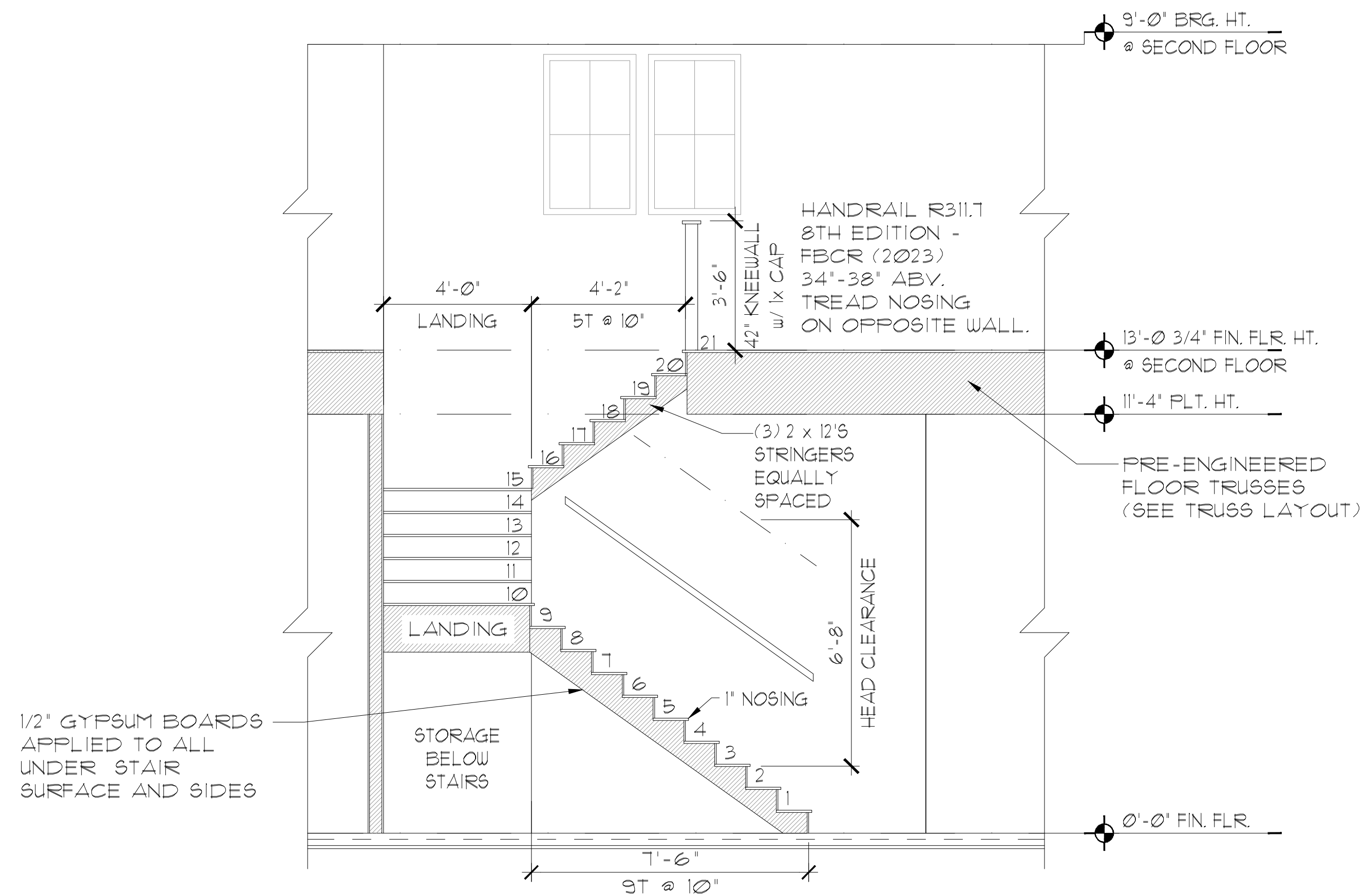
TREAD & RISER DETAIL

SCALE: 3/4" = 1'-0" (11x17) | 1/2" = 1'-0" (22x34)



HALF WALL DETAIL

SCALE: 3/4" = 1'-0" (11x17) | 1/2" = 1'-0" (22x34)



DATA: TOTAL RISE: 13'-0 3/4" (21 RISERS @ 7 11/16" EA.)
TOTAL RUN: 20' (20 TREADS @ 10' EA.)

ELEVATION A,B,C STD
BUILDING SECTION

3/8" = 1'-0" (11x17) 3/4" = 1'-0" (22x34)

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LOT: 0000, COMMUNITY

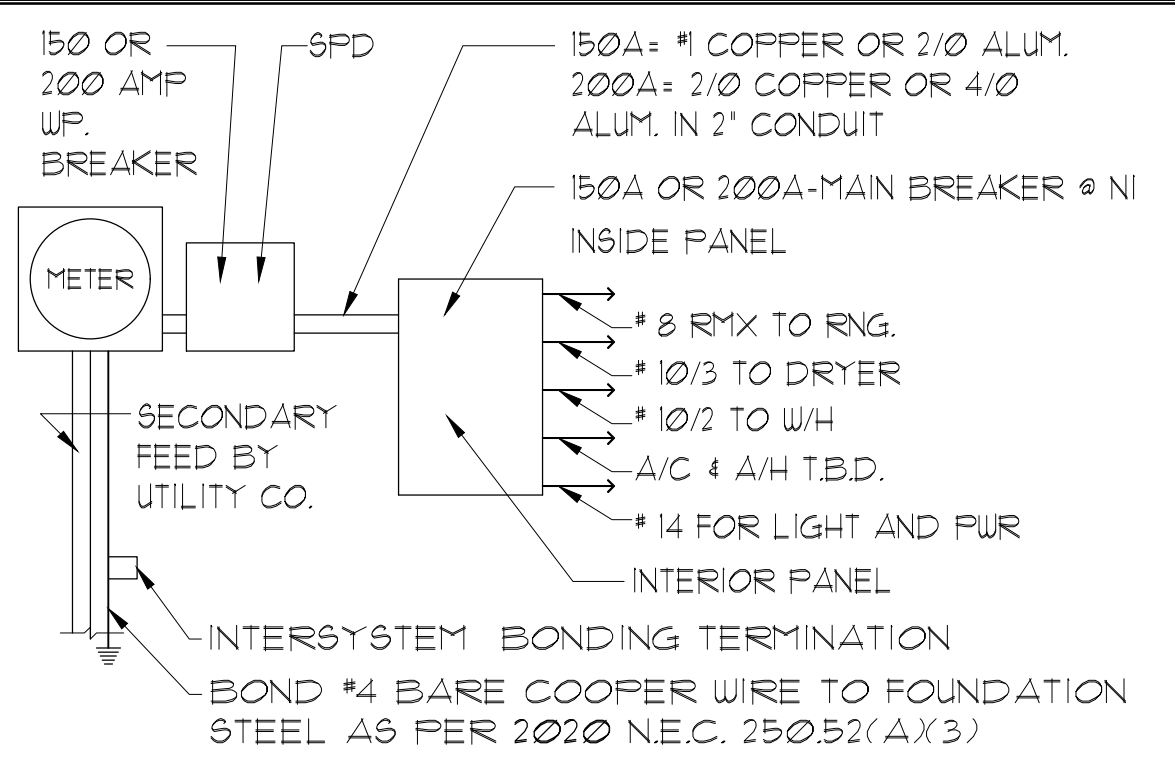
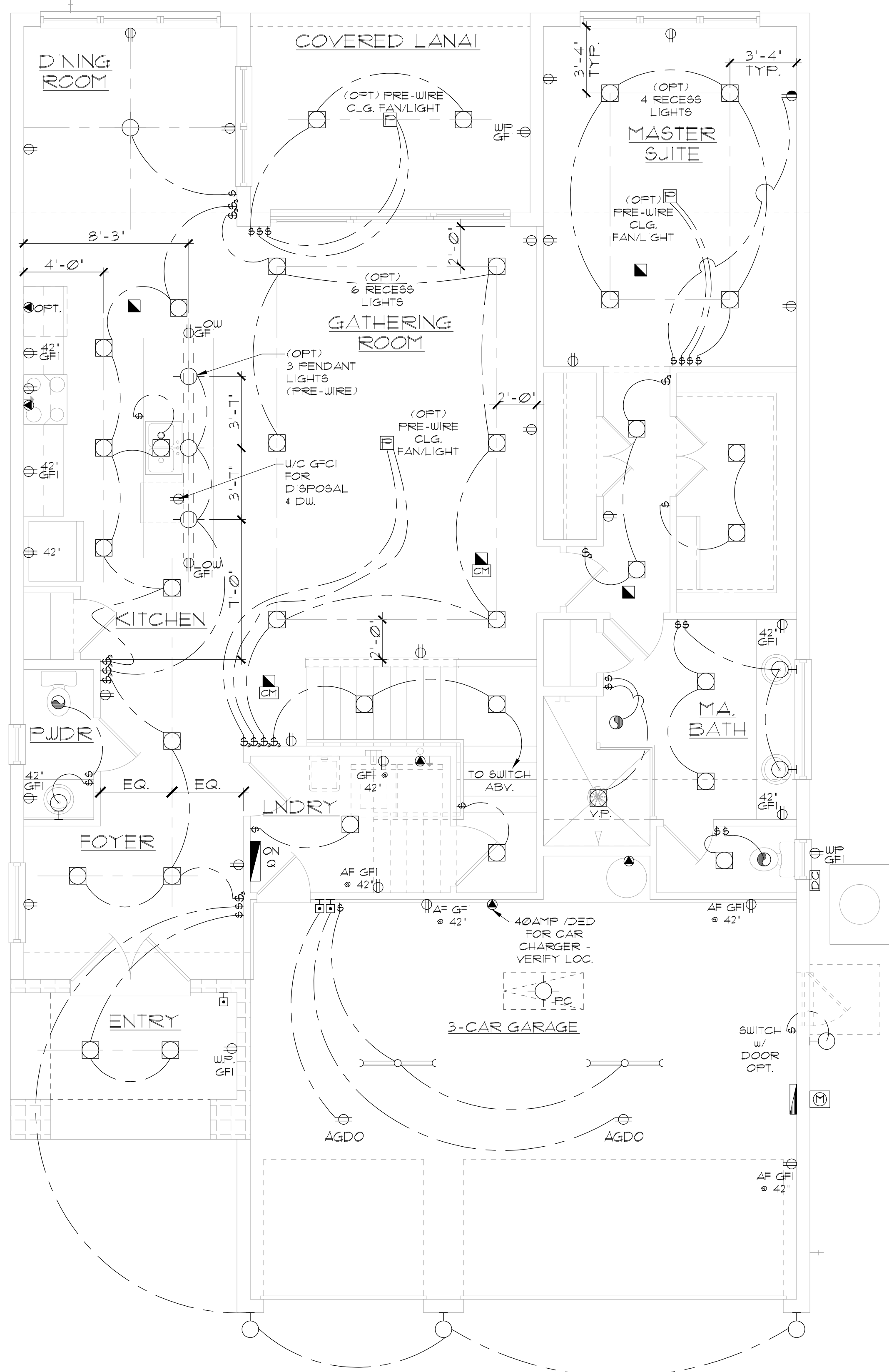
REVISIONS	
DELTA #	DATE
DATE:	08-21-24
SCALE:	AS NOTED
DRAWN:	MR
SHEET:	06.0

2992 LARGO
FLORIDA SERIES (TAMPA)

STAIR SECTION

Park Square HOMES
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineyard Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

HTEG
THOMPSON ENGINEERING GROUP, INC.
4407 Vineyard Road Suite A8 Orlando, FL 32811
Tel: (407) 244-1790
www.hteg.com



ELECTRICAL RISER DIAGRAM
N.T.S.

- NOTES:
1. ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), NFPA 70, LOCAL CODES, AND THE LOCAL POWER/UTILITY COMPANY.
 2. ALL SERVICES SUPPLYING DUELLING UNITS SHALL BE PROVIDED WITH A SURGE-PROTECTION DEVICE (SPD) THE SPD SHALL BE A TYPE 1 OR TYPE 2 SPD.
 3. SEE GENERAL NOTES PAGE FOR ADDITIONAL INFORMATION.

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long. There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete. The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material. Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

ELECTRICAL LEGEND

⊞	SINGLE POLE SWITCH	◀	OUTLET, PHONE
⊞	THREE WAY SWITCH	◻	INTERCOM
⊞	OUTLET 110-115	⊞	CHIMES
⊞	OUTLET 110-115, SPLIT WIRED	⊞	SMOKE DETECTOR/SMOKE ALARM W/ INTEGRATED SOUNDER BASE
⊞	OUTLET 110-115, W/ USB	⊞	CARBON MONOXIDE
⊞	OUTLET 110-115, CEILING MOUNTED	⊞	PUSH BUTTON
⊞	OUTLET 110-115, FLOOR MOUNTED	⊞	EXHAUST FAN
⊞	SPECIAL PURPOSE 220-240	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXTURE, CEILING MOUNTED	⊞	DISPOSAL
⊞	LIGHT FIXTURE, WALL MOUNTED	⊞	ON-Q PANEL
⊞	LED LIGHT FIXTURE, RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXTURE, RECESSED ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXTURE, FULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LED LIGHT FIXTURE, FLUORESCENT	⊞	ELEC. JUNCTION BOX
⊞	LIGHT FIXTURE, EXTERIOR FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXTURE, EMERGENCY EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXTURE, EXIT/BACKUP	⊞	ELEC. POWER METER
⊞	OUTLET, TV/CABLE		

ELECTRICAL DEVICES ABOVE FIN. FLR.

SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO CL.
REMAINING SWITCHES	48" TO CL.
WALL OUTLETS	12" TO CL.
TELEPHONE OUTLETS	12" TO CL.
TELEVISION OUTLETS	12" TO CL.
EXTERIOR GFI'S	48" TO CL.
GARAGE GFI'S (ABOVE GARAGE FLOOR)	54" TO CL.
THERMOSTAT	84" TO CL.
DOOR BELL CHIMES	LEVEL W/ DOOR HANDLE
DOOR BELL BUTTON	16" TO CL.
KITCHEN HOOD FAN "WHIP"	66" TO CL.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	UNDER SINK
KITCHEN DISHWASHER RECEPTACLE	24" TO CL.
KITCHEN RANGE	48" TO CL.
KITCHEN REFRIGERATOR	36" TO CL.
WASHER/DRYER OUTLET	84" TO CL.
HOLLYWOOD LIGHTS	

CL. = CENTER LINE

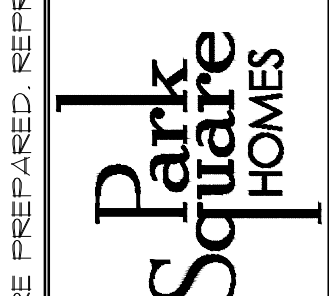
ELEVATION A,B,C STD
FIRST FLOOR UTILITY PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS
NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-Q IS NEEDED PER COMMUNITY SPECS.

LOT: 0000, COMMUNITY
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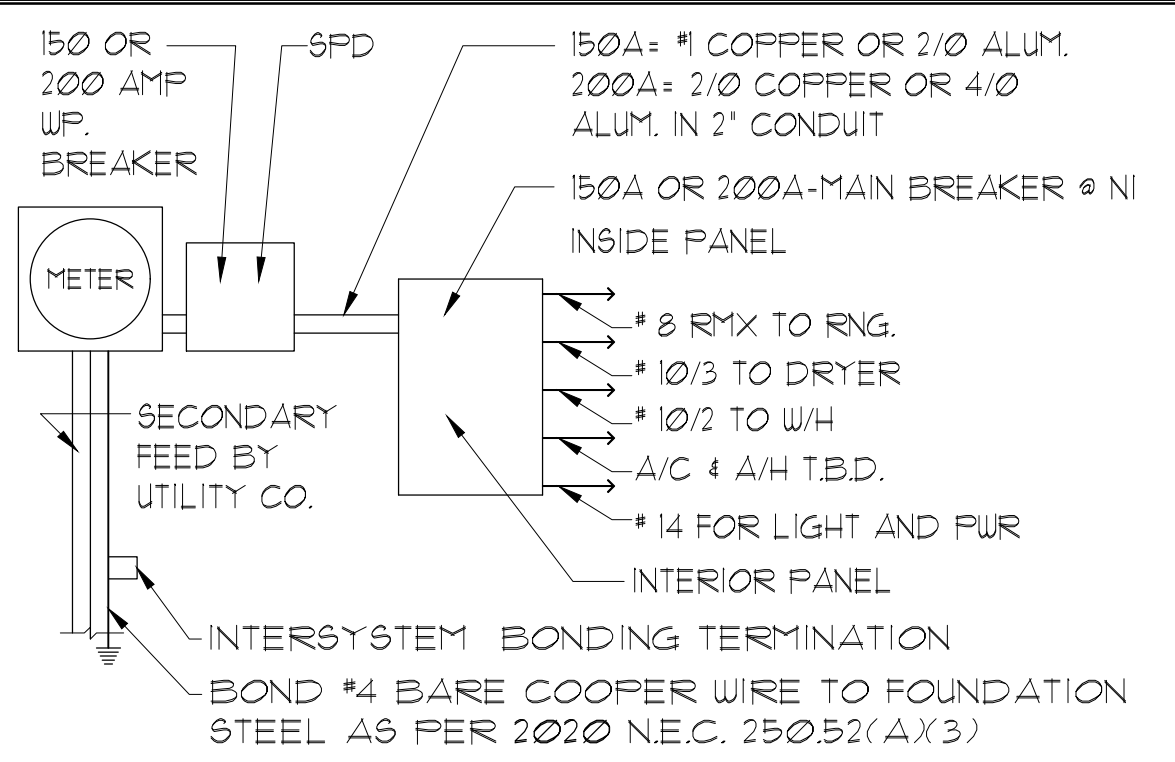
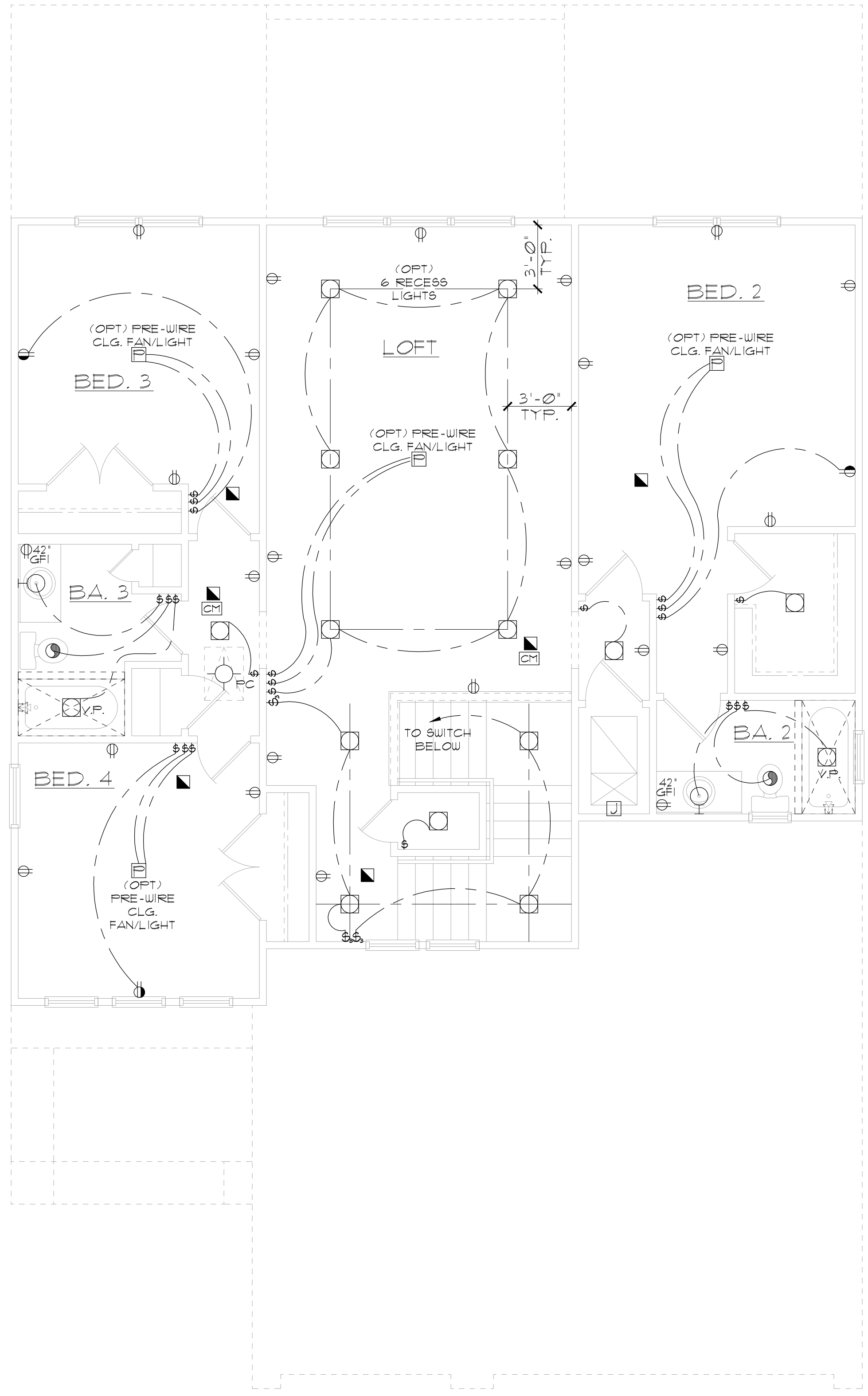
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 629 - 3000



FIRST FLOOR UTILITY PLAN

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS	
DELTA #	DATE
DATE:	08-21-24
SCALE:	AS NOTED
DRAWN:	MR
SHEET:	07.0



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⊙	SPECIAL PURPOSE 220-240	⊞	EXHAUST FAN
⊙	LIGHT FIXTURE, CEILING MOUNTED	⊞	EX. FAN/LIGHT COMBO
⊙	LIGHT FIXTURE, WALL MOUNTED	⊞	DISPOSAL
⊙	LED LIGHT FIXTURE, RECESSED	⊞	ON-O PANEL
⊙	LIGHT FIXTURE, RECESSED ADJUST.	⊞	ELECTRICAL PANEL
⊙	LIGHT FIXTURE, FULL CHAIN	⊞	CEILING FAN, PREWIRE
⊙	LED LIGHT FIXTURE, FLUORESCENT	⊞	CEILING FAN, INSTALL
⊙	LIGHT FIXTURE, EXTERIOR FLOODS	⊞	ELEC. JUNCTION BOX
⊙	LIGHT FIXTURE, EMERGENCY EXIT	⊞	THERMOSTAT
⊙	LIGHT FIXTURE, EXIT/BACKUP	⊞	DISCONNECT SWITCH
⊙	OUTLET, TV/CABLE	⊞	ELEC. POWER METER

ELECTRICAL DEVICES		ABOVE FIN. FLR.	
SWITCHES AND WALL	OUTLETS OVER COUNTERS	48"	TO CL.
REMAINING SWITCHES	WALL OUTLETS	48"	TO CL.
TELEPHONE OUTLETS	TELEVISION OUTLETS	12"	TO CL.
EXTERIOR GFI'S	GARAGE GFI'S (ABOVE GARAGE FLOOR)	12"	TO CL.
THERMOSTAT	DOOR BELL CHIMES	48"	TO CL.
DOOR BELL BUTTON	KITCHEN HOOD FAN "WHIP"	54"	TO CL.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	KITCHEN DISHWASHER RECEPTACLE	84"	TO CL.
KITCHEN RANGE	KITCHEN REFRIGERATOR	LEVEL W/ DOOR HANDLE	
WASHER/DRYER OUTLET	HOLLYWOOD LIGHTS	66"	TO CL.
		16"	TO CL.
		24"	TO CL.
		48"	TO CL.
		36"	TO CL.
		84"	TO CL.

CL. = CENTER LINE

ELEVATION A,B,C STD
SECOND FLOOR UTILITY PLAN

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS
NOTE: ELEC. CONTRACTOR TO VERIFY IF ON-O IS NEEDED PER COMMUNITY SPECS.

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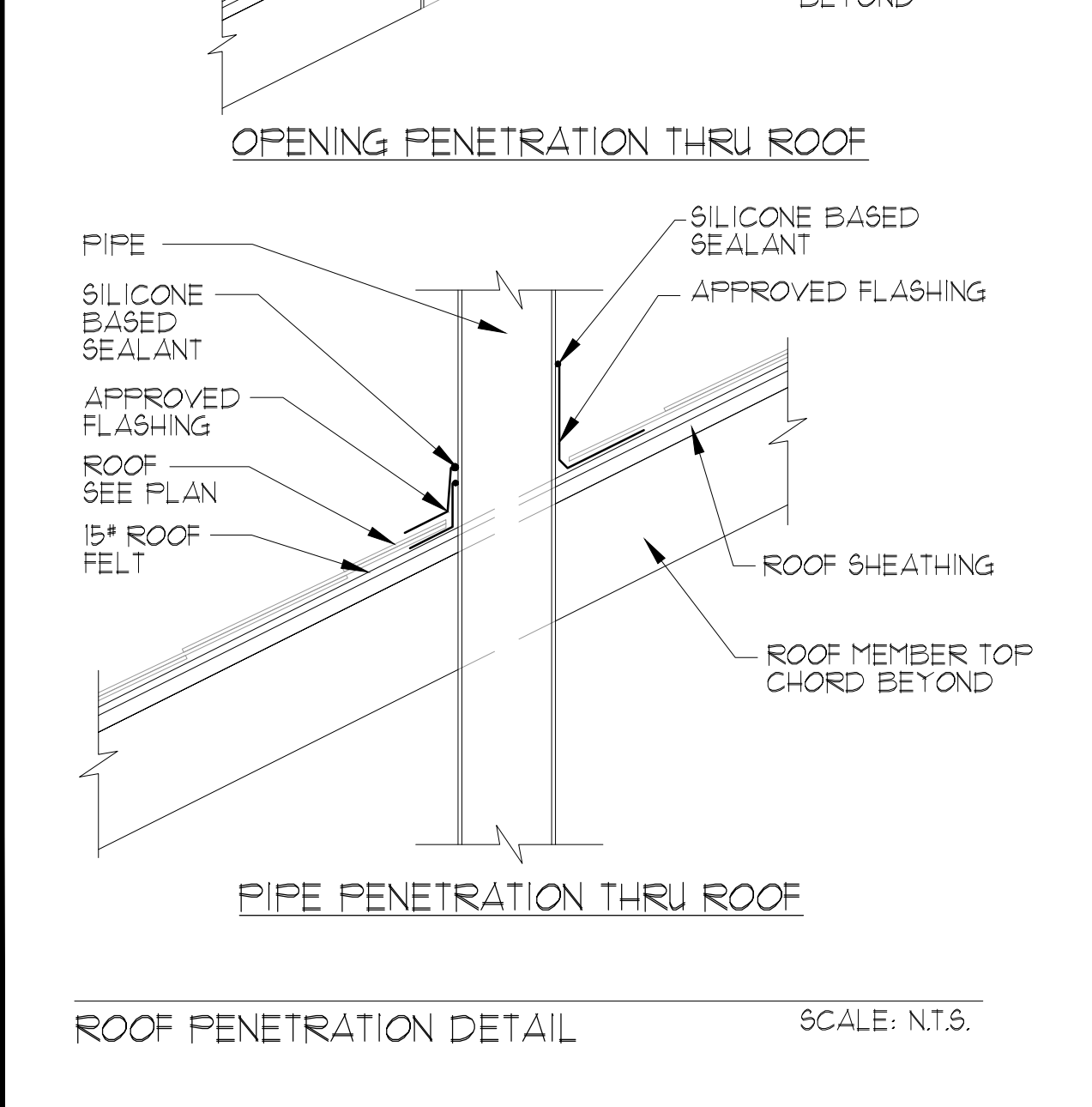
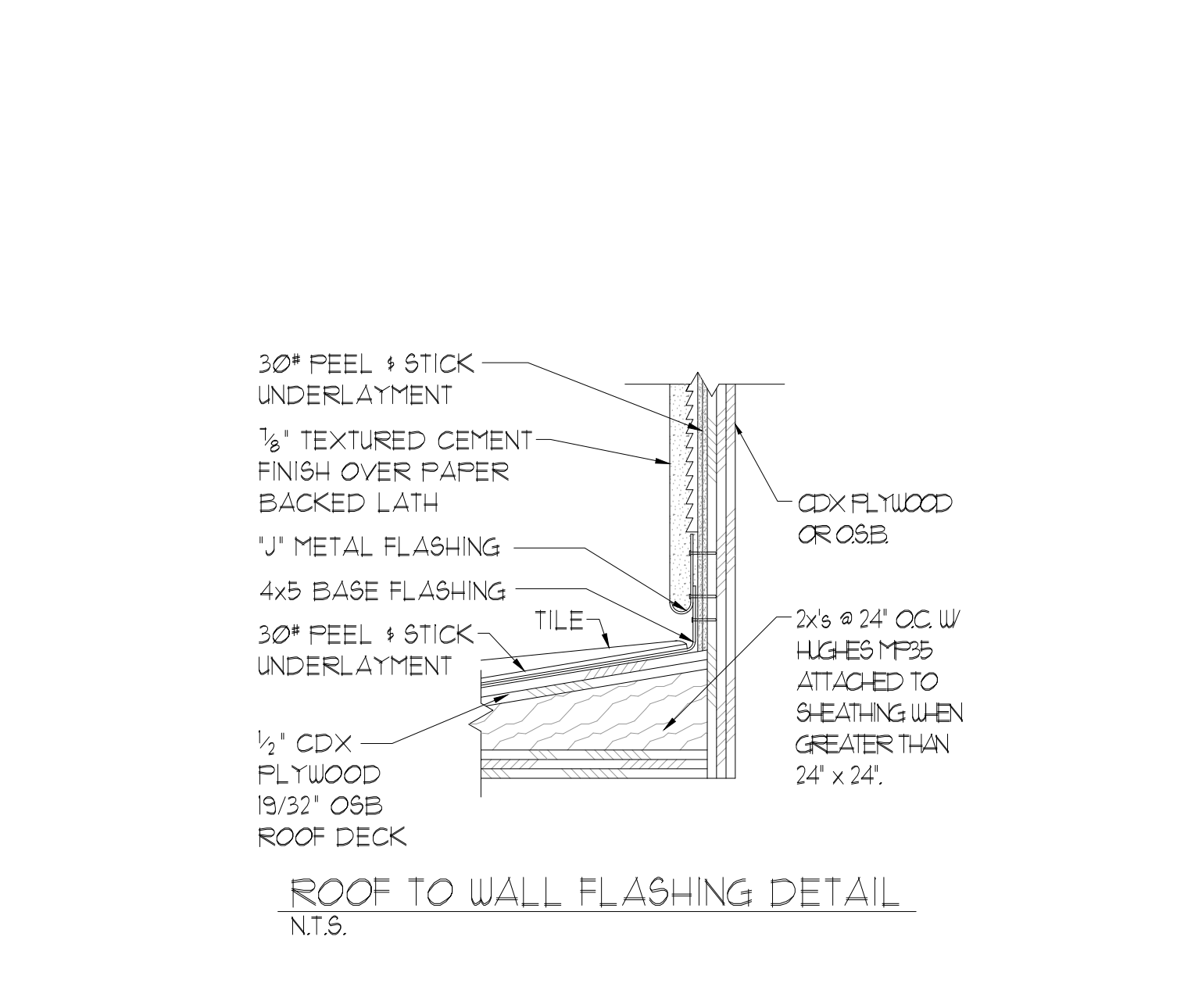
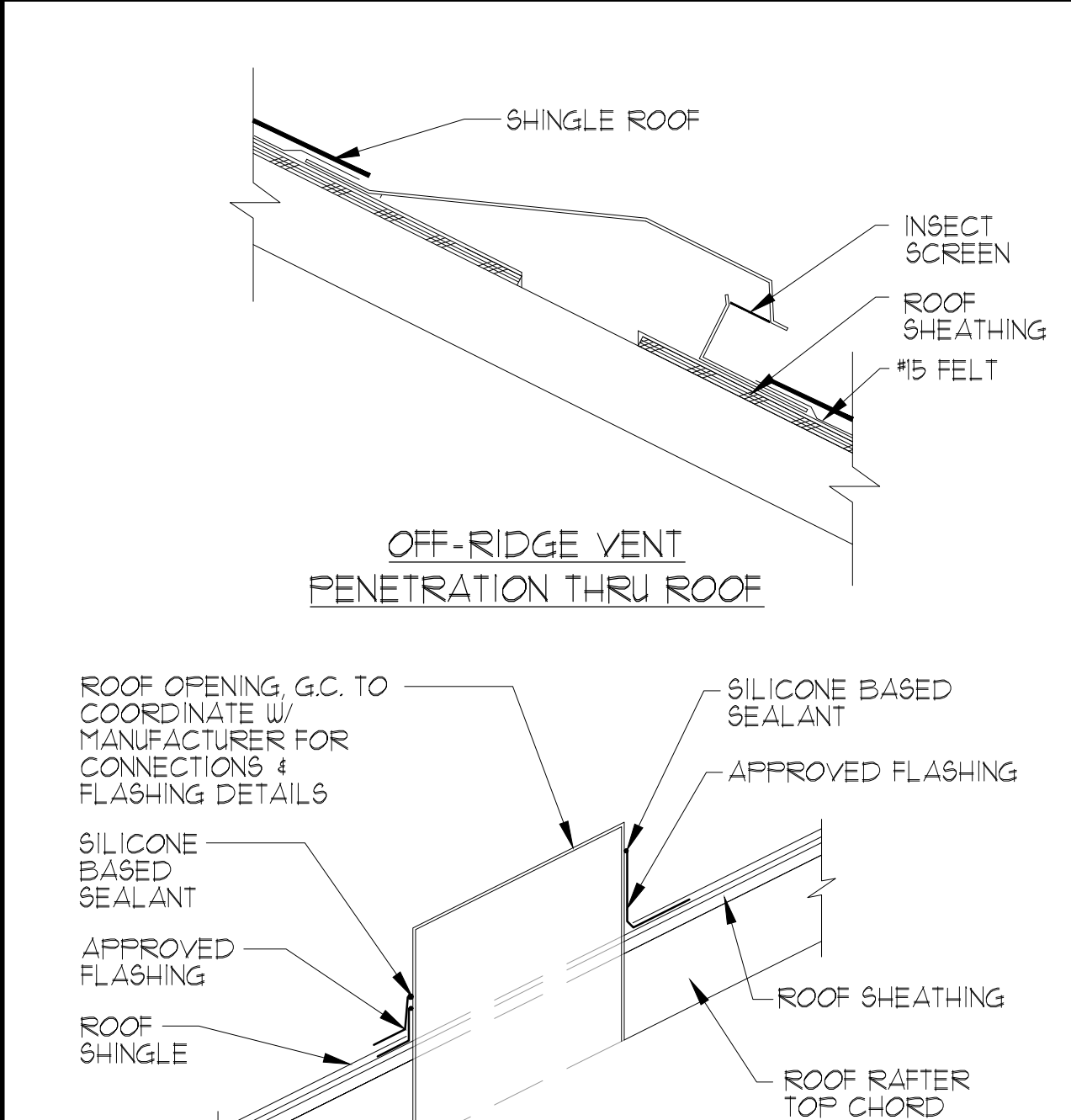
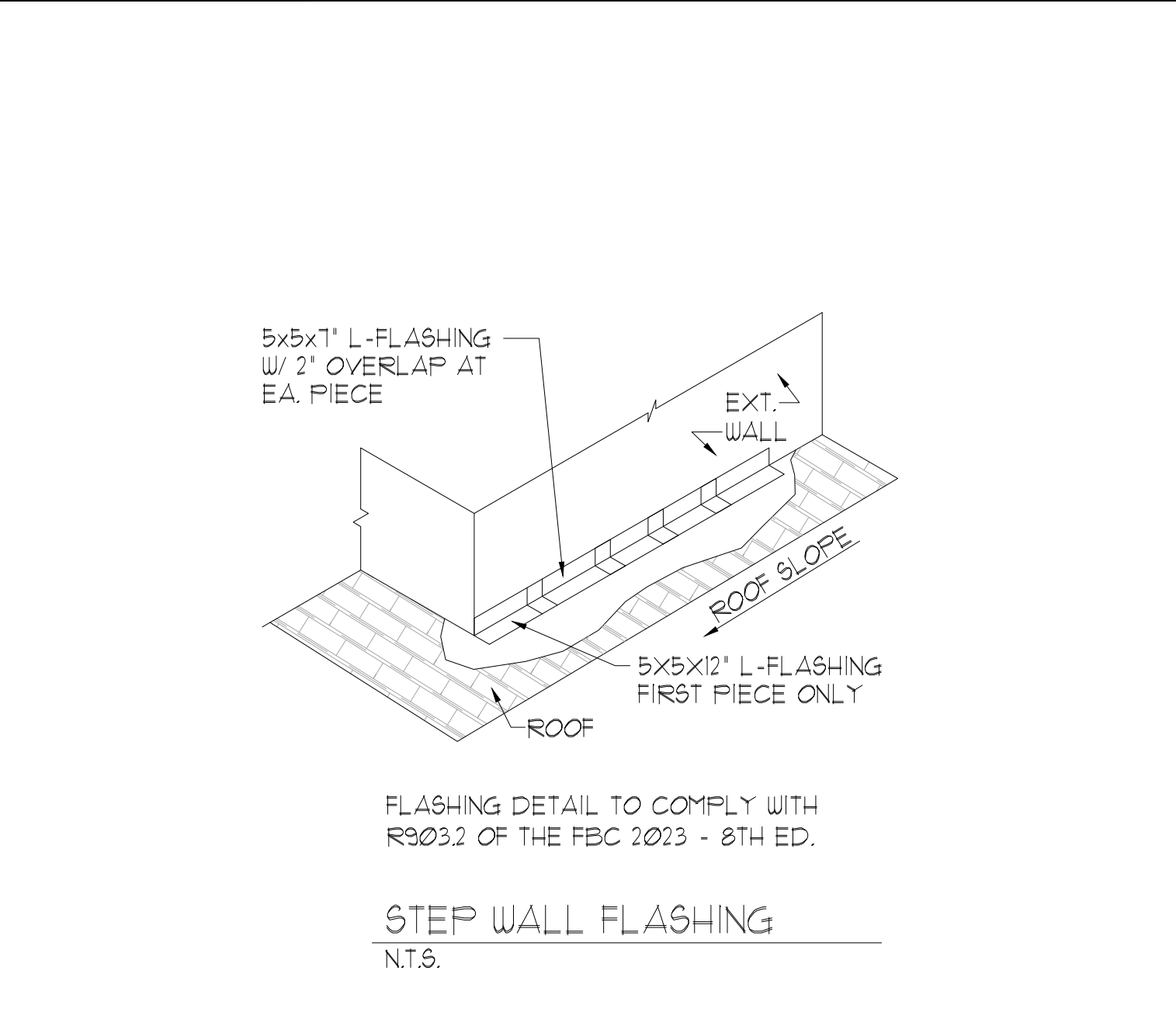
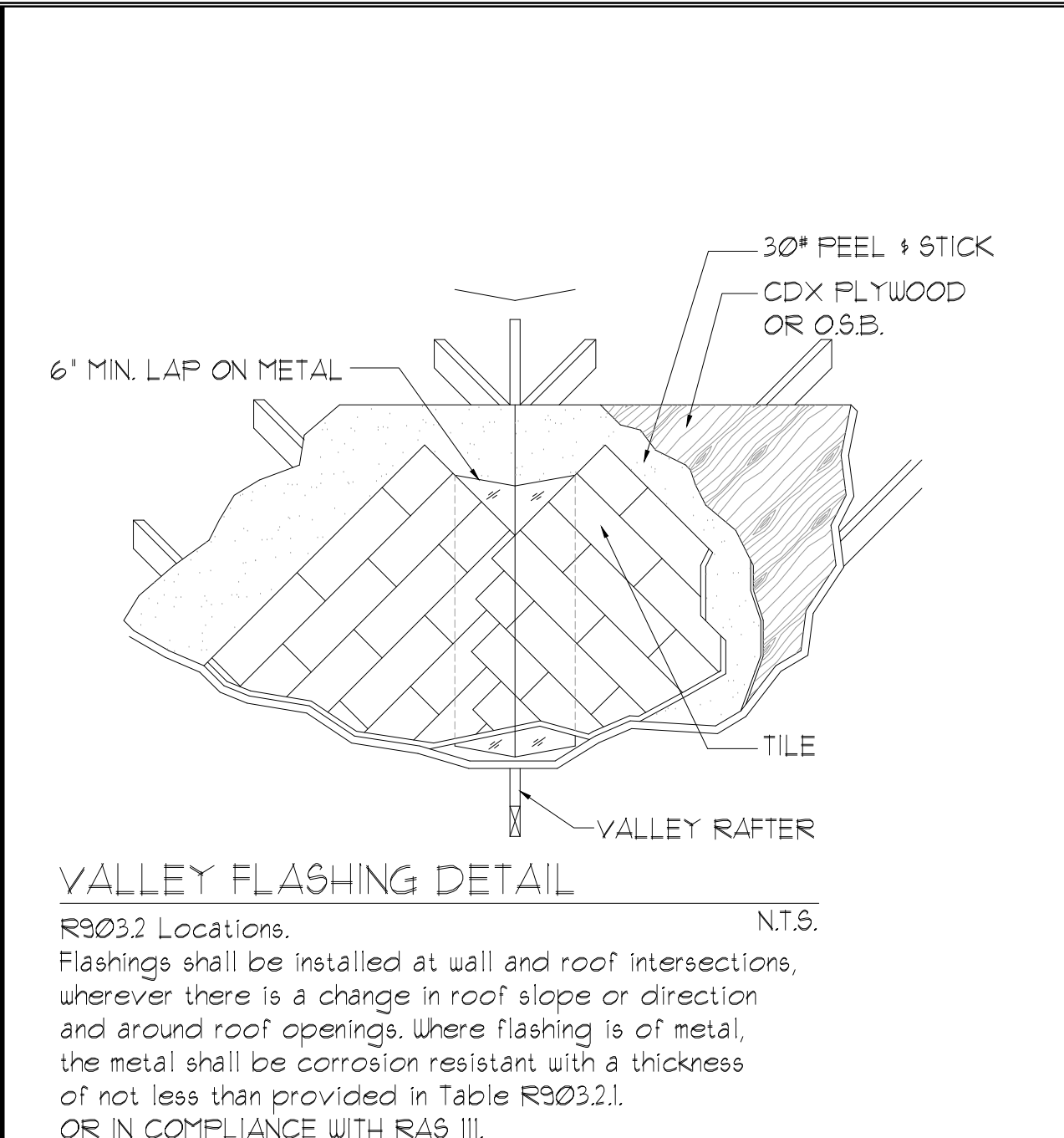
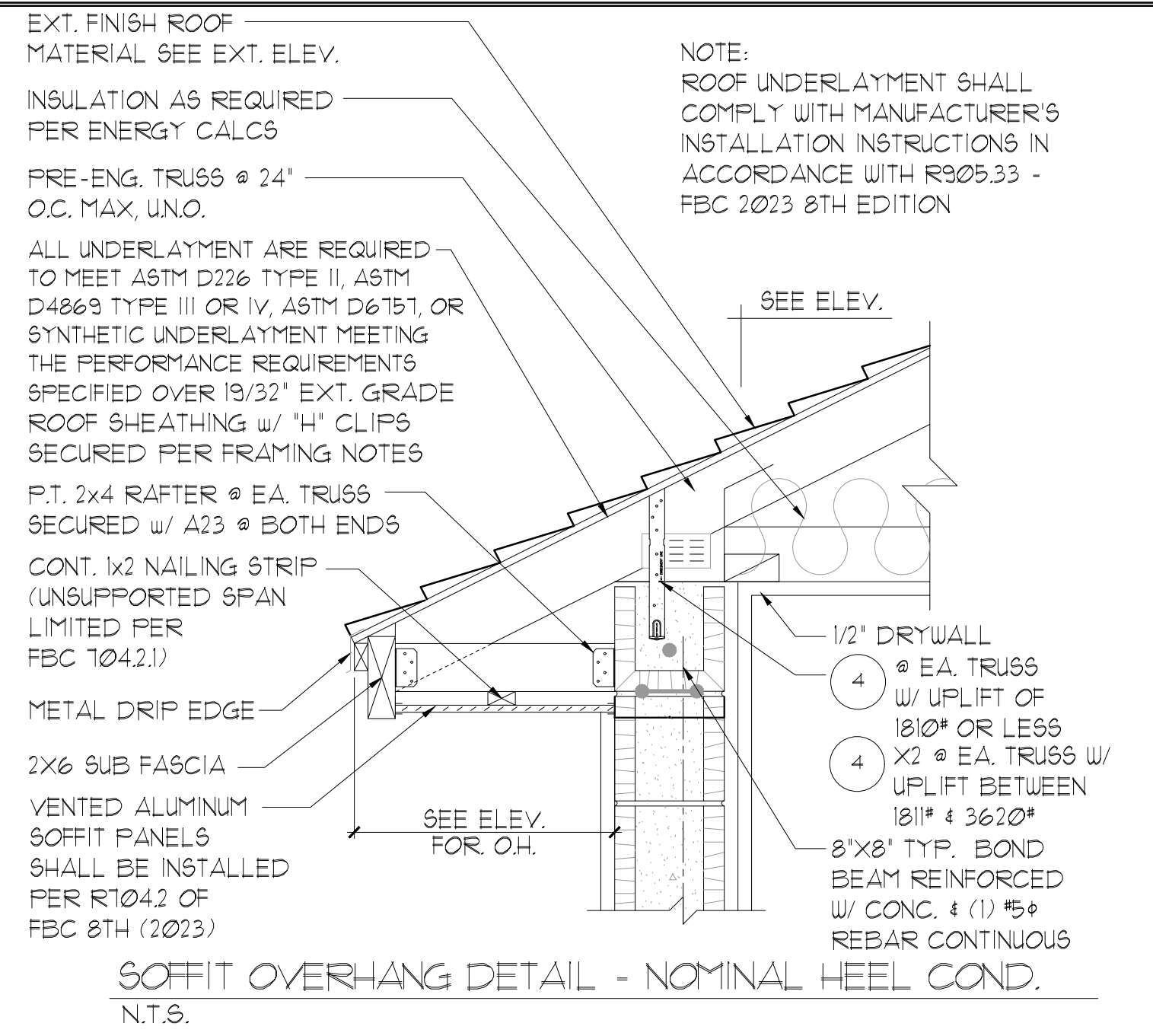
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SECOND FLOOR
UTILITY PLAN

2992 LARGO
FLORIDA SERIES (TAMPA)

REVISIONS	
DELTA #	DATE
DATE:	08-21-24
SCALE:	AS NOTED
DRAWN:	MR
SHEET:	07.1



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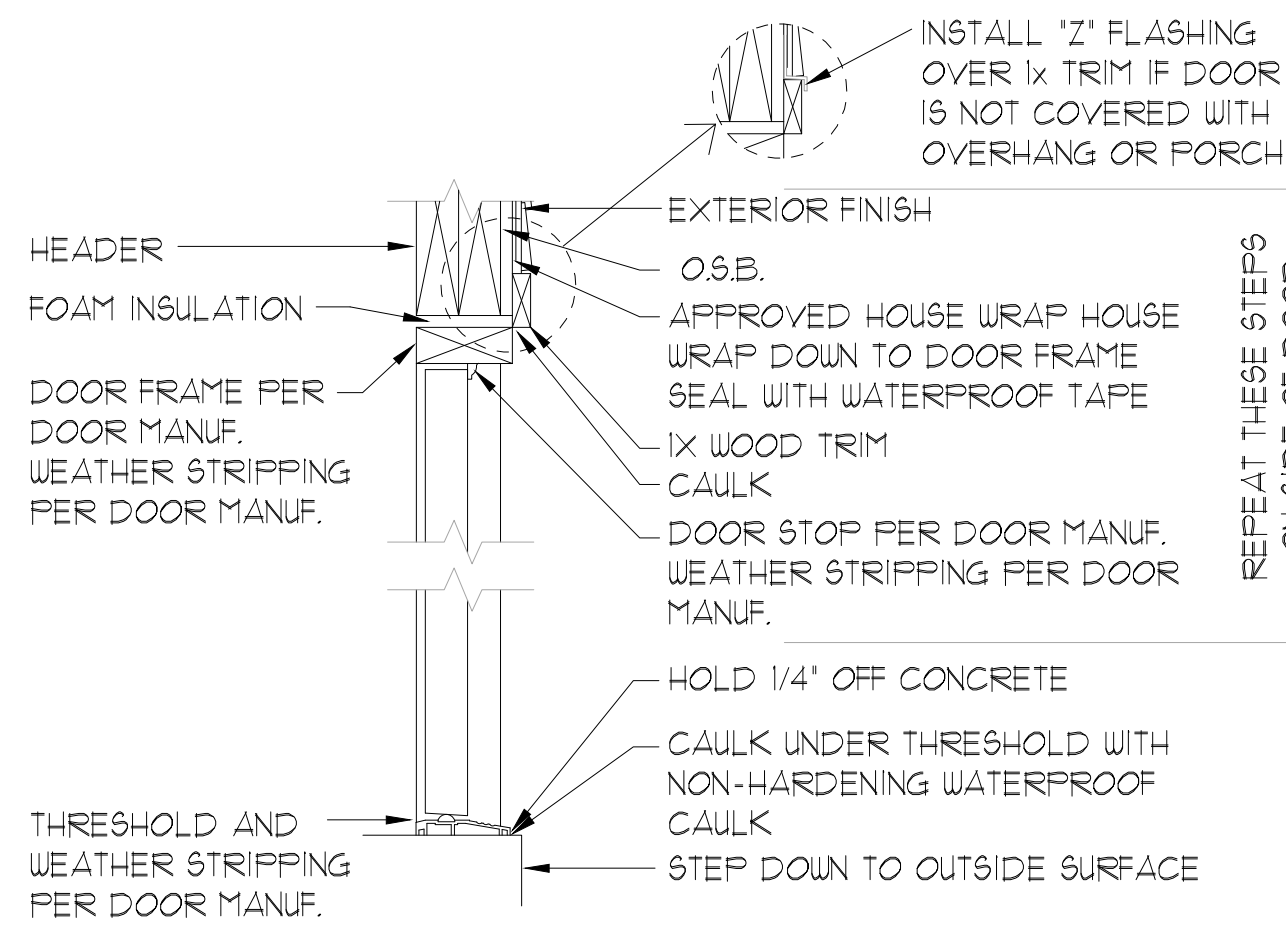
Park Square HOMES

DETAILS

DETAILS

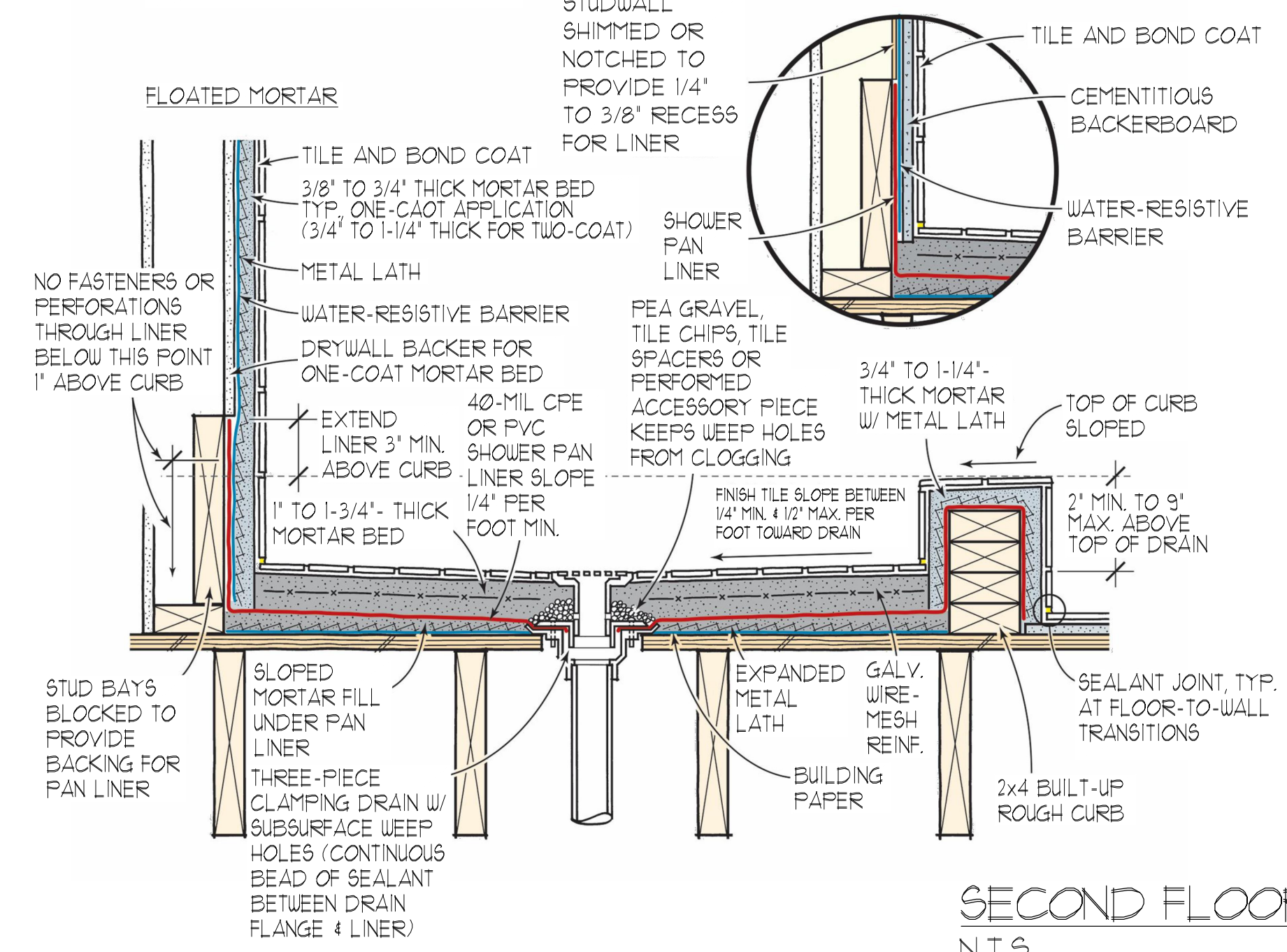
REVISIONS	
DELTA #	DATE

DATE: XX-XX-24
SCALE: AS NOTED
DRAWN: MR
SHEET: AD1

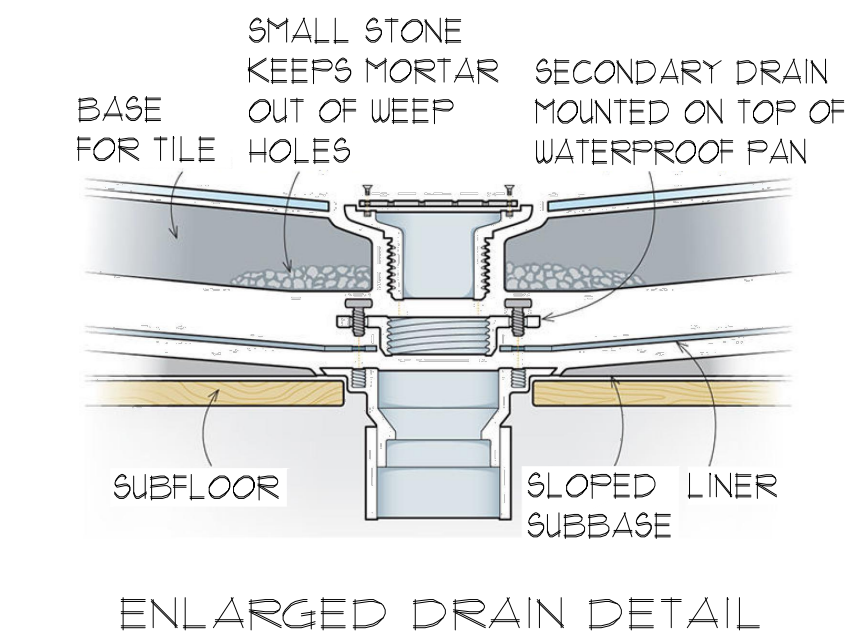


TYPICAL DOOR FLASHING
N.T.S.

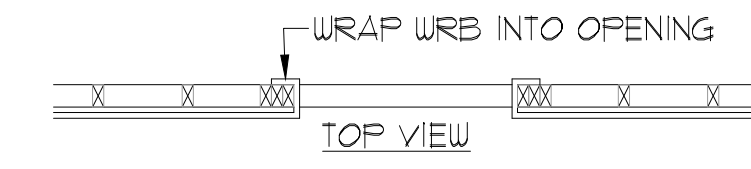
MUD BED DETAILS (WOOD FLOOR/CURB)



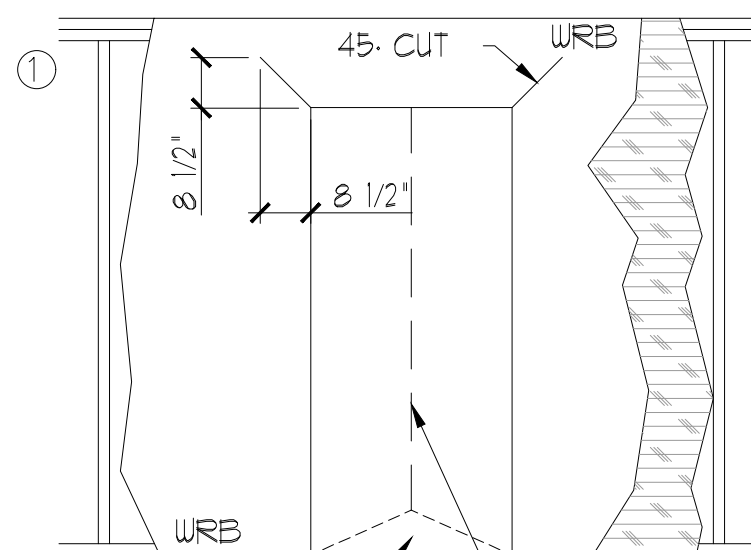
SECOND FLOOR SHOWER DETAIL
N.T.S.



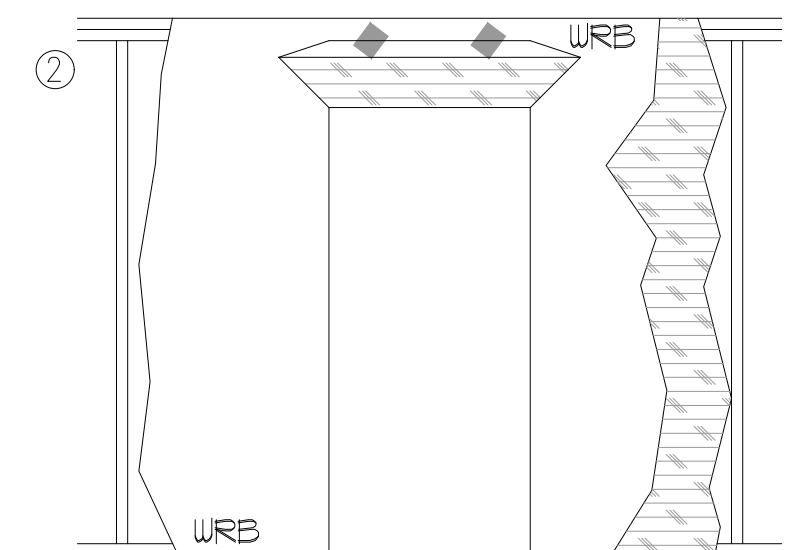
ENLARGED DRAIN DETAIL



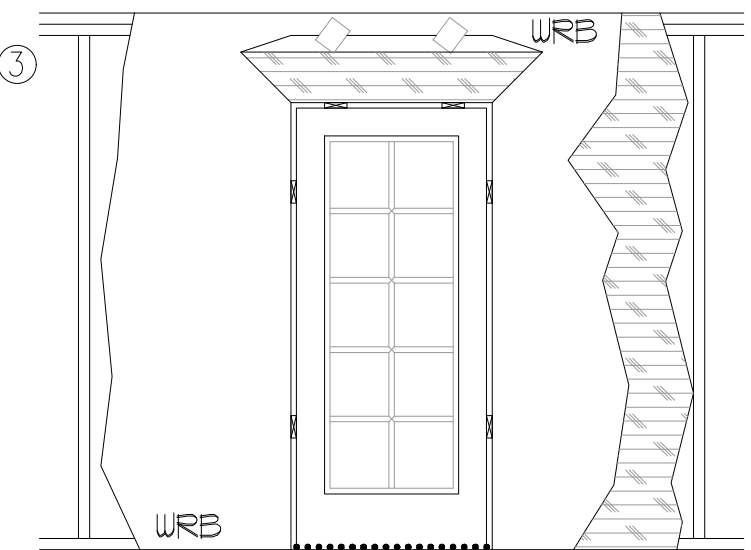
NOTE:
ALL FLASHING WILL BE SELF ADHERING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER



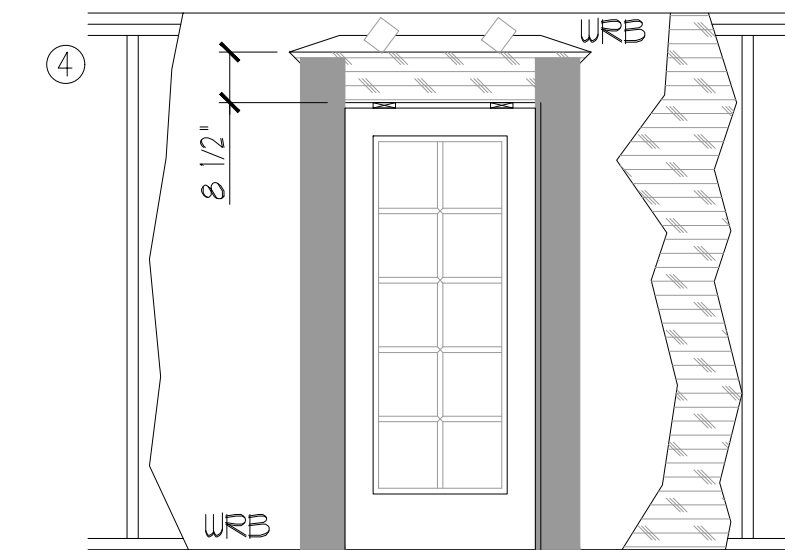
REMOVE BOTTOM WRB FLAP



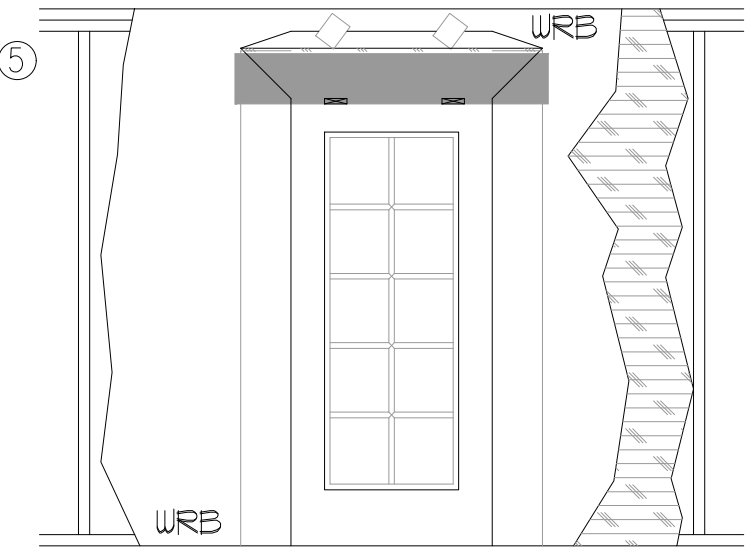
TEMPORARILY TAPE UP TOP FLAP



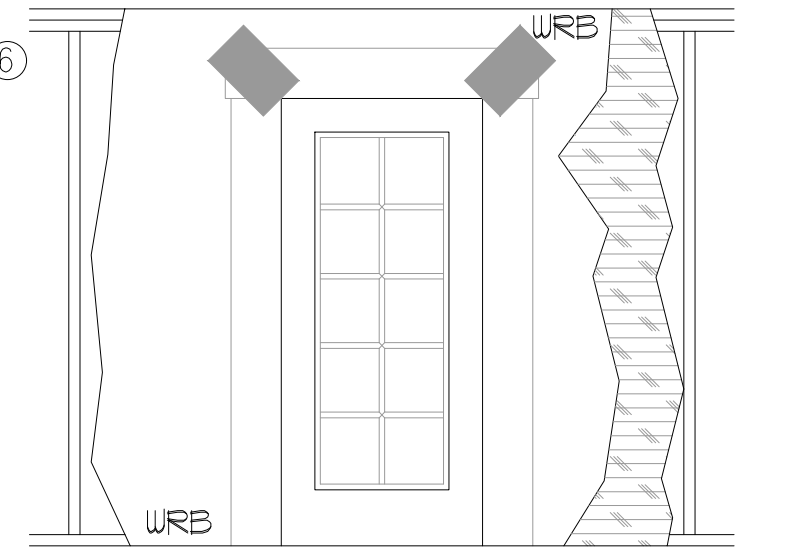
INSTALL VULKEM AT THRESHOLD PER MFR. INSTRUCTIONS.
INSTALL DOOR, SHIM DOOR TO LEVEL, PLUMB AND SQUARE DOOR IN OPENING.



APPLY JAMB FLASHING TO BOTH SIDES OF DOOR FROM DOOR FRAME TO WRB, EXTENDING 8 1/2\"/>



APPLY HEAD FLASHING, EXTENDING 10\"/>

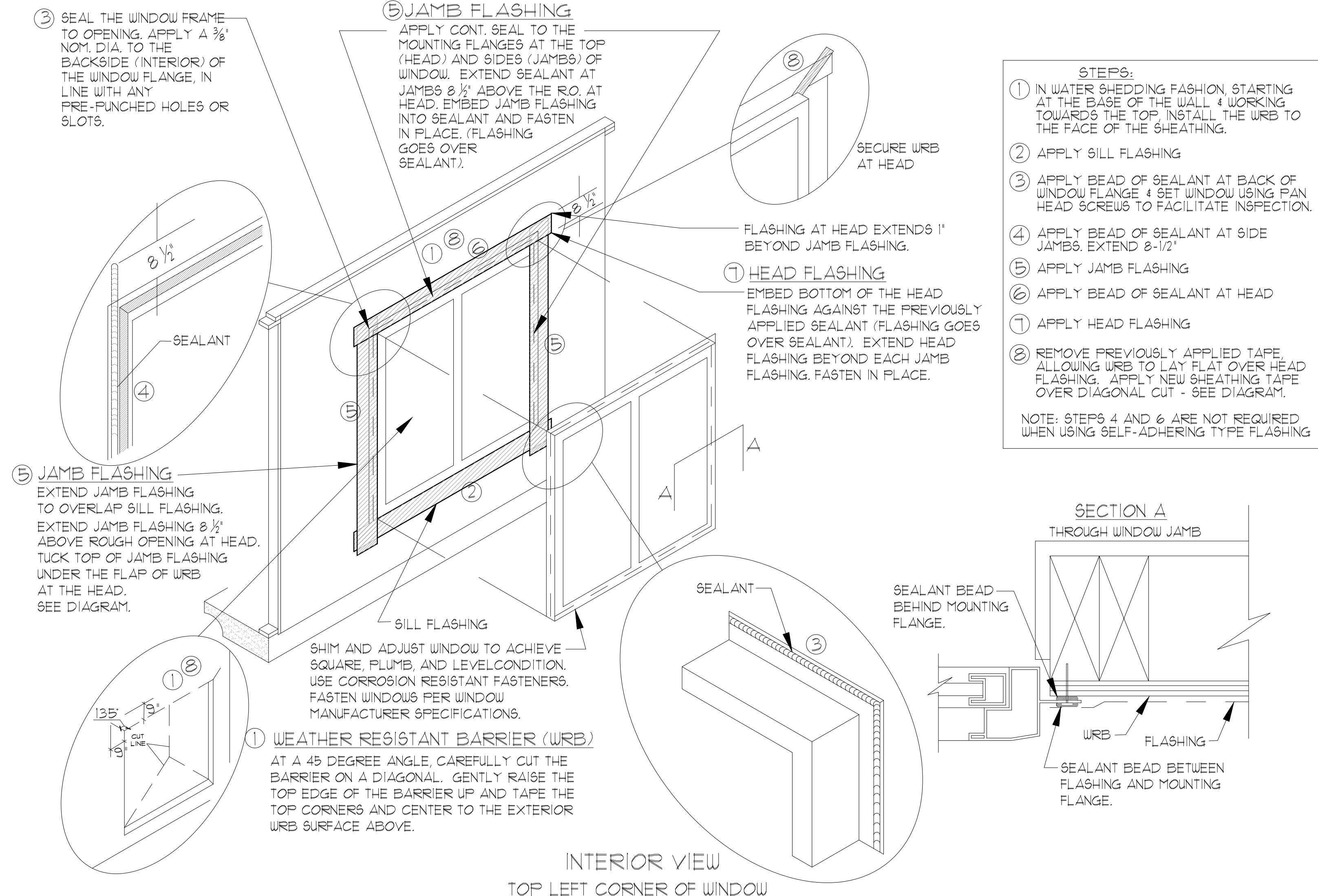


UNFOLD TOP FLAP AND COVER DIAGONAL CUT IN WRB WITH SHEATHING TAPE.

EXTERIOR DOOR FLASHING
N.T.S.

WINDOW INSTALLATION (METHOD A-1) (ASTM E 2112-01)

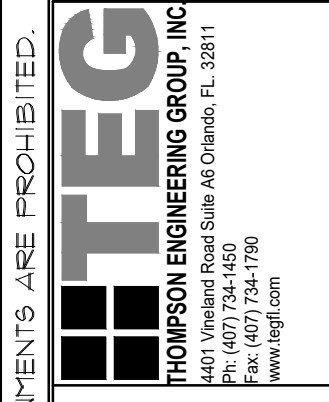
WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



- STEPS:**
- 1 IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL & WORKING TOWARDS THE TOP, INSTALL THE WRB TO THE FACE OF THE SHEATHING.
 - 2 APPLY SILL FLASHING
 - 3 APPLY BEAD OF SEALANT AT BACK OF WINDOW FLANGE & SET WINDOW USING PAN HEAD SCREWS TO FACILITATE INSPECTION.
 - 4 APPLY BEAD OF SEALANT AT SIDE JAMBS. EXTEND 8-1/2"
 - 5 APPLY JAMB FLASHING
 - 6 APPLY BEAD OF SEALANT AT HEAD
 - 7 APPLY HEAD FLASHING
- NOTE: STEPS 4 AND 6 ARE NOT REQUIRED WHEN USING SELF-ADHERING TYPE FLASHING

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