

3145

VENICE w/ SIDING

FLORIDA SERIES

REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:
1	04/20/18	UPDATE TO FBC 2017	C.C.
2	05/02/18	CHANGED WINDOW @ OFFICE TO 35-SH FROM 3050 S.H.	C.C.
3	07/18/18	APPLIED FRAME WALK REVISIONS	C.C.
4	03/15/19	NEW OPTIONS: BUTLER'S PANTRY & EXTENDED BONUS ROOM	C.C.

SHEET INDEX:

00 COVER SHEET	04-B1.7 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	05-C1.8 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. EXTENDED BONUS ROOM)
01 SLAB PLAN	04-B1.8 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. EXTENDED BONUS ROOM)	06 STAIR SECTION
01.1 SLAB PLAN (OPT. POOL BATH)	04-C1 EXT. ELEVATION C w/ SIDING, FRONT & REAR	07 FIRST FLOOR ELECTRICAL PLAN
01.2 SLAB PLAN (OPT. MASTER BATH)	04-C1.1 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	07.1 FIRST FLOOR ELECTRICAL PLAN (OPT. POOL BATH)
01.3 SLAB PLAN (OPT. EXT. COV. PATIO)	04-C1.2 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. POOL BATH)	07.2 FIRST FLOOR ELECTRICAL PLAN (OPT. MASTER BATH)
01.4 SLAB PLAN (OPT. 3-CAR GARAGE)	04-C1.3 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. BED 5 ILO LOFT)	07.3 FIRST FLOOR ELECTRICAL PLAN (OPT. EXT. COV. PATIO)
01.5 SLAB PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	04-C1.4 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. OPT. BED 5, 6 & FLEX)	07.4 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE)
01.6 SLAB PLAN (OPT. BUTLER'S PANTRY)	04-C1.5 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	07.5 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & POOL BATH)
02 FIRST FLOOR PLAN	04-C1.6 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	07.6 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & MASTER BATH)
02.1 FIRST FLOOR PLAN (OPT. POOL BATH)	04-C1.7 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	07.7 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)
02.2 FIRST FLOOR PLAN (OPT. MASTER BATH)	04-C1.8 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. EXTENDED BONUS ROOM)	07.8 FIRST FLOOR ELECTRICAL PLAN (OPT. BUTLER'S PANTRY)
02.3 FIRST FLOOR PLAN (OPT. EXT. COV. PATIO)	05-A1 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT	08 SECOND FLOOR ELECTRICAL PLAN
02.4 FIRST FLOOR PLAN (OPT. 3-CAR GARAGE)	05-A1.1 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. EXT. COV. PATIO)	08.1 SECOND FLOOR ELECTRICAL PLAN (OPT. BED 5)
02.5 FIRST FLOOR PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	05-A1.2 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	08.2 SECOND FLOOR ELECTRICAL PLAN (OPT. BED 5, 6 & FLEX)
02.6 FIRST FLOOR PLAN (OPT. DOG RETREAT)	05-A1.3 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. BED 5 ILO LOFT)	08.3 SECOND FLOOR ELECTRICAL PLAN (OPT. BED 5, 6 & 7)
02.7 FIRST FLOOR PLAN (OPT. BUTLER'S PANTRY)	05-A1.4 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. OPT. BED 5, 6 & FLEX)	08.4 SECOND FLOOR ELECTRICAL PLAN (OPT. EXTENDED BONUS ROOM)
03 SECOND FLOOR PLAN	05-A1.5 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. BED 5, 6 & 7)	D1 TYPICAL DETAILS
03.1 SECOND FLOOR PLAN (OPT. BED 5 ILO LOFT)	05-A1.6 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE)	
03.2 SECOND FLOOR PLAN (OPT. BED 5, 6 & FLEX)	05-A1.7 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	
03.3 SECOND FLOOR PLAN (OPT. BED 5, 6 & 7)	05-A1.8 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. EXTENDED BONUS ROOM)	
03.4 SECOND FLOOR PLAN (OPT. EXTENDED BONUS)	05-B1 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT	
04-A1 EXT. ELEVATION A w/ SIDING, FRONT & REAR	05-B1.1 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. EXT. COV. PATIO)	
04-A1.1 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	05-B1.2 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	
04-A1.2 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. POOL BATH)	05-B1.3 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. BED 5 ILO LOFT)	
04-A1.3 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. BED 5 ILO LOFT)	05-B1.4 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. OPT. BED 5, 6 & FLEX)	
04-A1.4 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. OPT. BED 5, 6 & FLEX)	05-B1.5 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. BED 5, 6 & 7)	
04-A1.5 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	05-B1.6 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE)	
04-A1.6 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	05-B1.7 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	
04-A1.7 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	05-B1.8 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. EXTENDED BONUS ROOM)	
04-A1.8 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. EXTENDED BONUS ROOM)	05-C1 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT	
04-B1 EXT. ELEVATION B w/ SIDING, FRONT & REAR	05-C1.1 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. EXT. COV. PATIO)	
04-B1.1 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	05-C1.2 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	
04-B1.2 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. POOL BATH)	05-C1.3 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. BED 5 ILO LOFT)	
04-B1.3 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. BED 5 ILO LOFT)	05-C1.4 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. OPT. BED 5, 6 & FLEX)	
04-B1.4 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. OPT. BED 5, 6 & FLEX)	05-C1.5 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. BED 5, 6 & 7)	
04-B1.5 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	05-C1.6 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE)	
04-B1.6 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	05-C1.7 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	

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VENICE
 Lot # - Subdivision
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 City, State, Zip

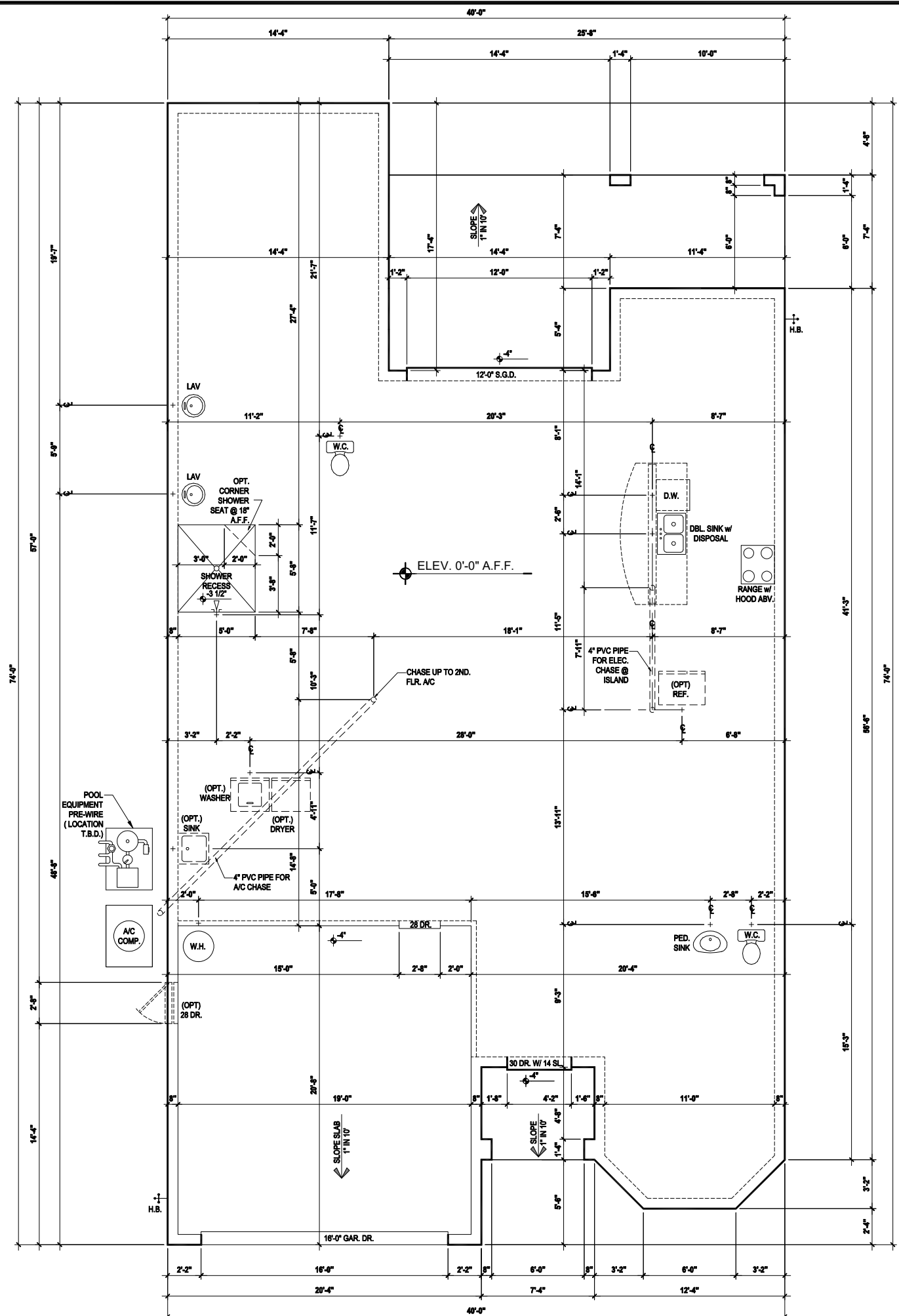
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 Orlando, FL 32811
 Phone: (407) 529-3000



ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Conflicts shall be resolved in favor of the written dimensions.



Slab Plan "A,B,C"
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED I/O CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LIEU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITES TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:
- | | |
|------------|------------------------|
| 20 = 2'-0" | 40 B.F. = 4'-0" BIFOLD |
| 24 = 2'-4" | 50 B.F. = 5'-0" BIFOLD |
| 28 = 2'-8" | 60 B.F. = 6'-0" BIFOLD |
| 30 = 3'-0" | |
- * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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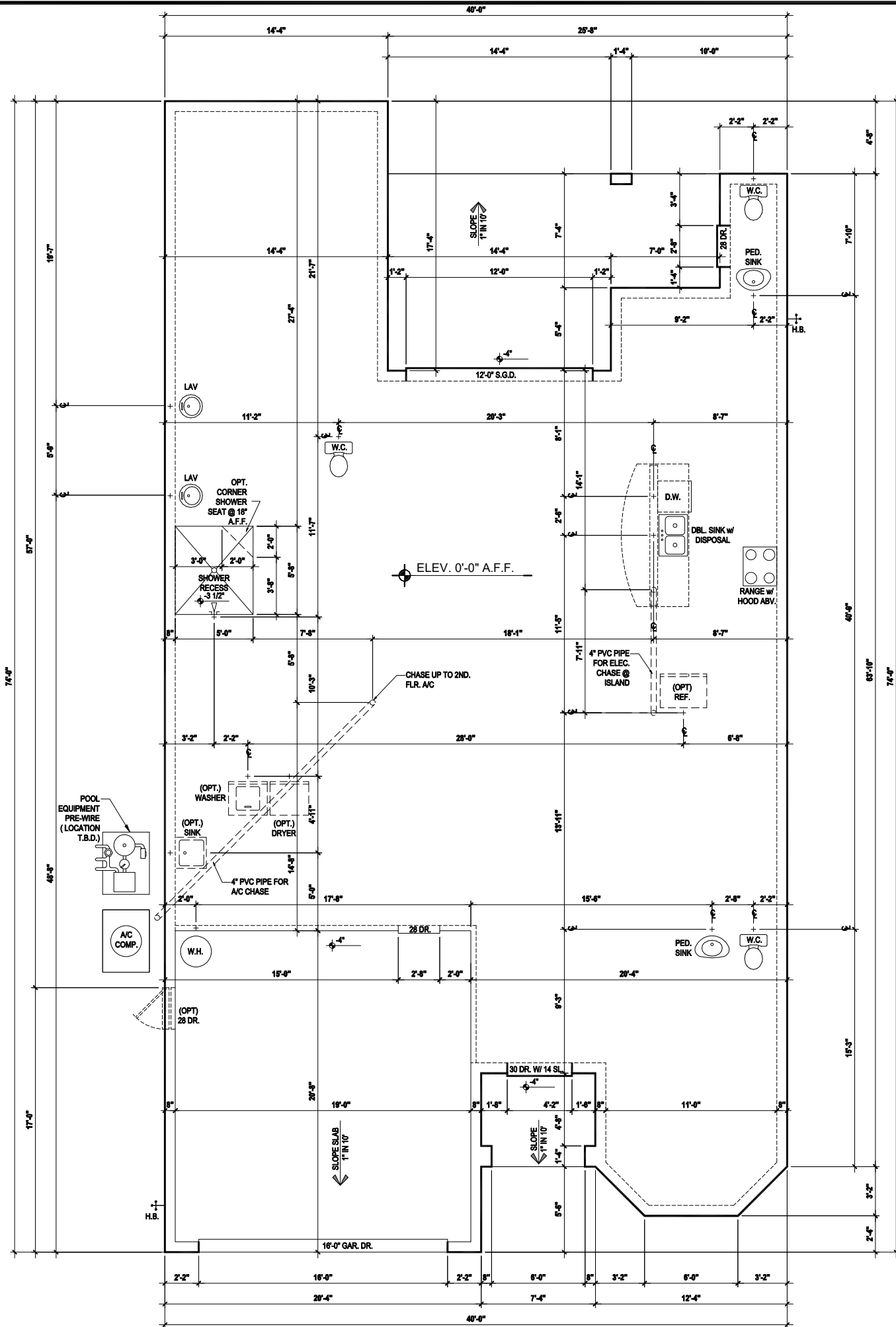
40-3145
VENICE
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square
Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

SLAB PLAN
01



GENERAL NOTES KEY:

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Slab Plan "A,B,C"
 (Opt. Pool Bath)
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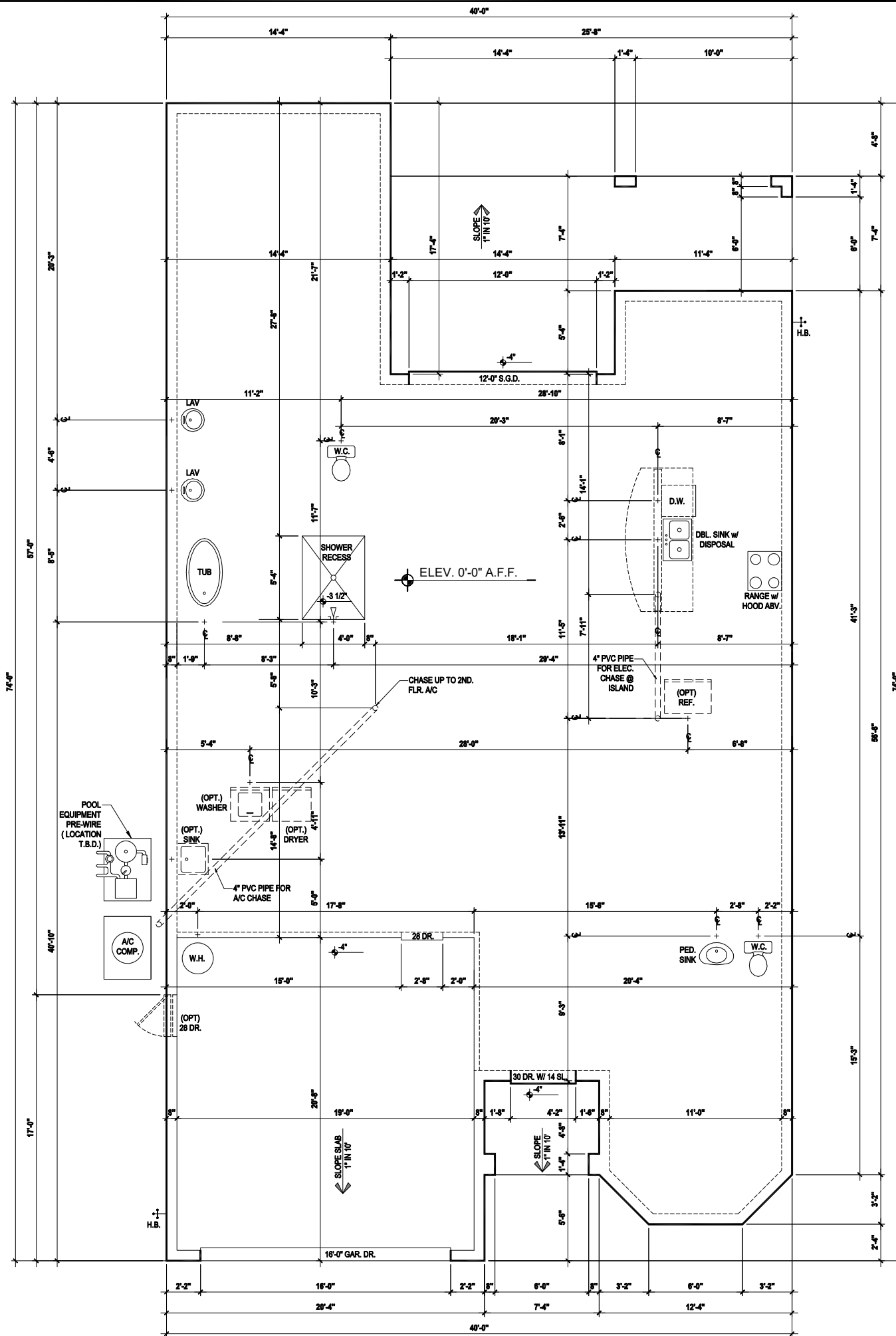
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SLAB PLAN
01.1

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Slab Plan "A,B,C"

(Opt. Master Bath)

SCALE: 1/8" = 1'-0" (1x17) 1/4" = 1'-0" (22x34)

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Park Square HOMES

ISSUE DATE	11/03/2017
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

SLAB PLAN
01.2

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01.2 SLAB PLAN (OPT. MASTER BATH)	04-C1.1 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	07.1 FIRST FLOOR ELECTRICAL PLAN (OPT. POOL BATH)
01.3 SLAB PLAN (OPT. EXT. COV. PATIO)	04-C1.2 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. POOL BATH)	07.2 FIRST FLOOR ELECTRICAL PLAN (OPT. MASTER BATH)
01.4 SLAB PLAN (OPT. 3-CAR GARAGE)	04-C1.3 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. BED 5 ILO LOFT)	07.3 FIRST FLOOR ELECTRICAL PLAN (OPT. EXT. COV. PATIO)
01.5 SLAB PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	04-C1.4 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. OPT. BED 5, 6 & FLEX)	07.4 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE)
01.6 SLAB PLAN (OPT. BUTLER'S PANTRY)	04-C1.5 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	07.5 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & POOL BATH)
02 FIRST FLOOR PLAN	04-C1.6 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	07.6 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & MASTER BATH)
02.1 FIRST FLOOR PLAN (OPT. POOL BATH)	04-C1.7 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	07.7 FIRST FLOOR ELECTRICAL PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)
02.2 FIRST FLOOR PLAN (OPT. MASTER BATH)	04-C1.8 EXT. ELEVATION C w/ SIDING, FRONT & REAR (OPT. EXTENDED BONUS ROOM)	07.8 FIRST FLOOR ELECTRICAL PLAN (OPT. BUTLER'S PANTRY)
02.3 FIRST FLOOR PLAN (OPT. EXT. COV. PATIO)	05-A1 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT	08 SECOND FLOOR ELECTRICAL PLAN
02.4 FIRST FLOOR PLAN (OPT. 3-CAR GARAGE)	05-A1.1 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. EXT. COV. PATIO)	08.1 SECOND FLOOR ELECTRICAL PLAN (OPT. BED 5)
02.5 FIRST FLOOR PLAN (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	05-A1.2 EXT. ELEVATION A w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	08.2 SECOND FLOOR ELECTRICAL PLAN (OPT. BED 5, 6 & FLEX)
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04-A1.1 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	05-B1.2 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	
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04-A1.5 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	05-B1.6 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE)	
04-A1.6 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	05-B1.7 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	
04-A1.7 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	05-B1.8 EXT. ELEVATION B w/ SIDING, LEFT & RIGHT (OPT. EXTENDED BONUS ROOM)	
04-A1.8 EXT. ELEVATION A w/ SIDING, FRONT & REAR (OPT. EXTENDED BONUS ROOM)	05-C1 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT	
04-B1 EXT. ELEVATION B w/ SIDING, FRONT & REAR	05-C1.1 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. EXT. COV. PATIO)	
04-B1.1 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. EXT. COV. PATIO)	05-C1.2 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. POOL BATH)	
04-B1.2 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. POOL BATH)	05-C1.3 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. BED 5 ILO LOFT)	
04-B1.3 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. BED 5 ILO LOFT)	05-C1.4 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. OPT. BED 5, 6 & FLEX)	
04-B1.4 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. OPT. BED 5, 6 & FLEX)	05-C1.5 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. BED 5, 6 & 7)	
04-B1.5 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. BED 5, 6 & 7)	05-C1.6 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE)	
04-B1.6 EXT. ELEVATION B w/ SIDING, FRONT & REAR (OPT. 3-CAR GARAGE)	05-C1.7 EXT. ELEVATION C w/ SIDING, LEFT & RIGHT (OPT. 3-CAR GARAGE & EXT. COV. PATIO)	

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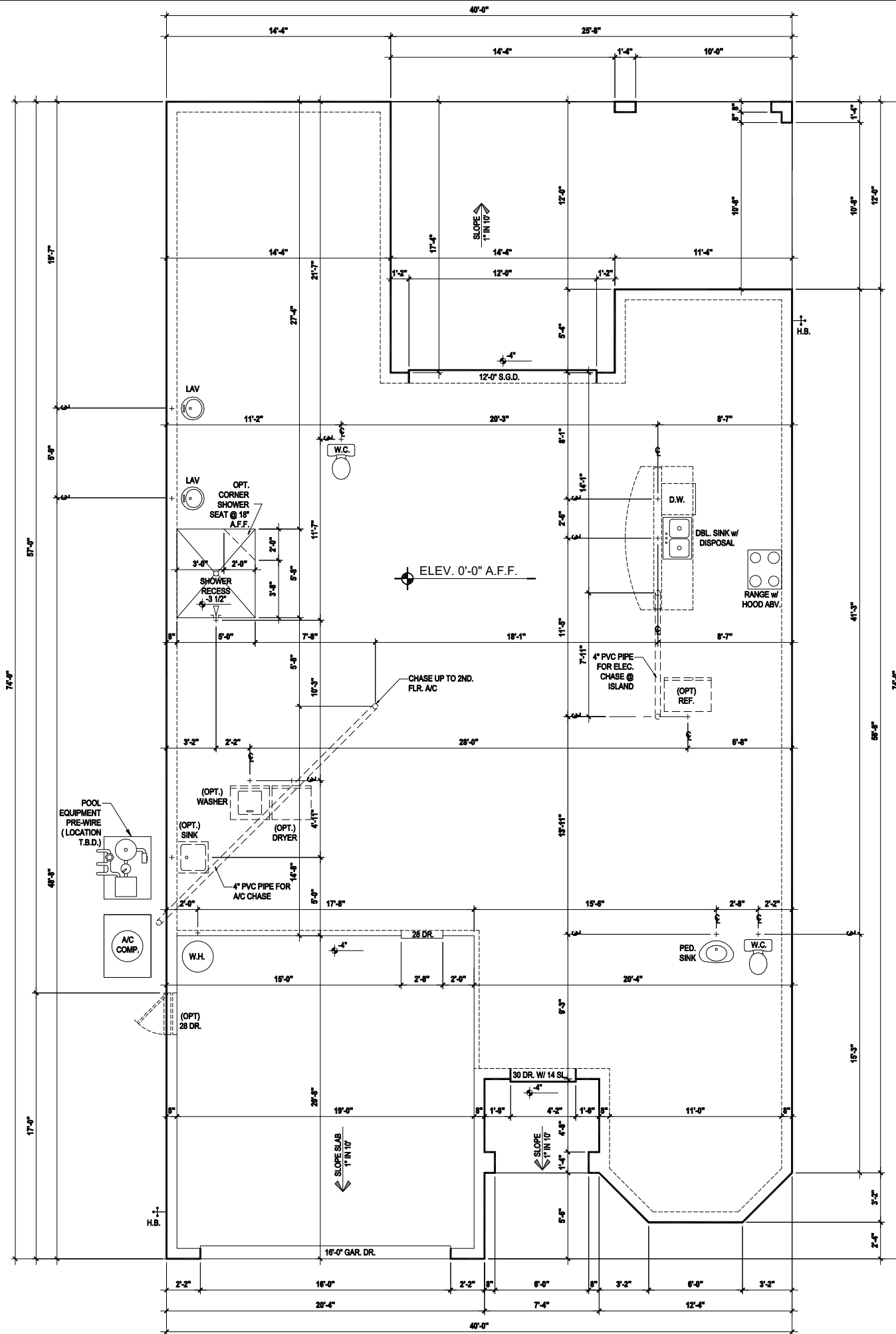
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VENICE
 Lot # - Subdivision
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 Orlando, FL 32811
 Phone: (407) 529-3000



ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

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Slab Plan "A,B,C"
(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:
 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD
 24 = 2'-4" 50 B.F. = 5'-0" BIFOLD
 28 = 2'-8" 60 B.F. = 6'-0" BIFOLD
 28 = 2'-8" 60 B.F. = 6'-0" BIFOLD
 30 = 3'-0"
 * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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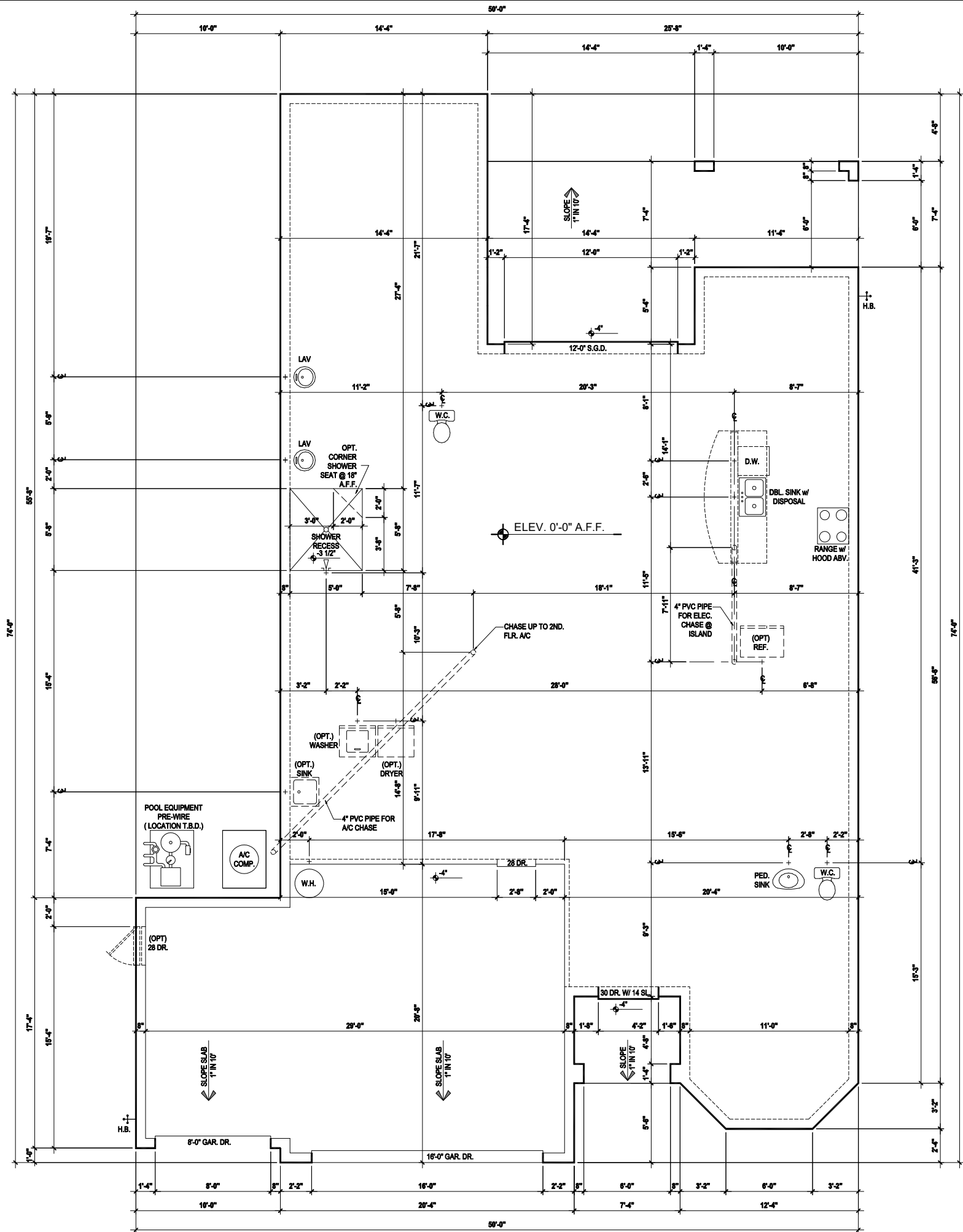
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

SLAB PLAN
01.3



Slab Plan "A,B,C"
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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DOOR NOTE KEY:

- DOOR SIZE CALLOUT:
- 20 = 2'-0"
 - 24 = 2'-4"
 - 28 = 2'-8"
 - 28 = 2'-8"
 - 30 = 3'-0"
 - 40 B.F. = 4'-0" BIFOLD
 - 50 B.F. = 5'-0" BIFOLD
 - 60 B.F. = 6'-0" BIFOLD
- * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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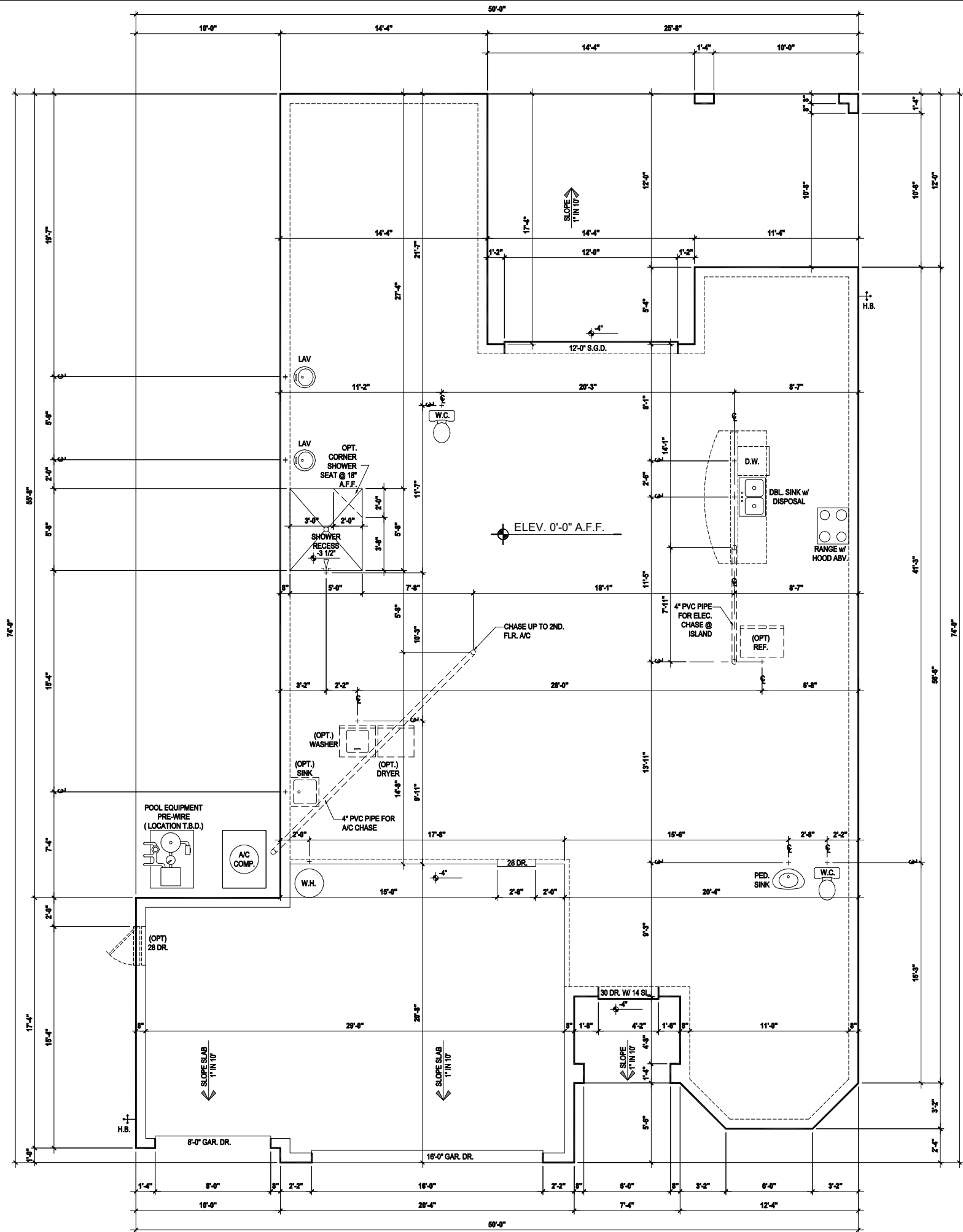
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

SLAB PLAN

01.4



Slab Plan "A,B,C"
 (Opt. 3-Car Garage & Ext. Patio)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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5. IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
6. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:**
- 20 = 2'-0"
 - 24 = 2'-4"
 - 28 = 2'-8"
 - 30 = 3'-0"
 - 40 B.F. = 4'-0" BIFOLD
 - 50 B.F. = 5'-0" BIFOLD
 - 60 B.F. = 6'-0" BIFOLD
- * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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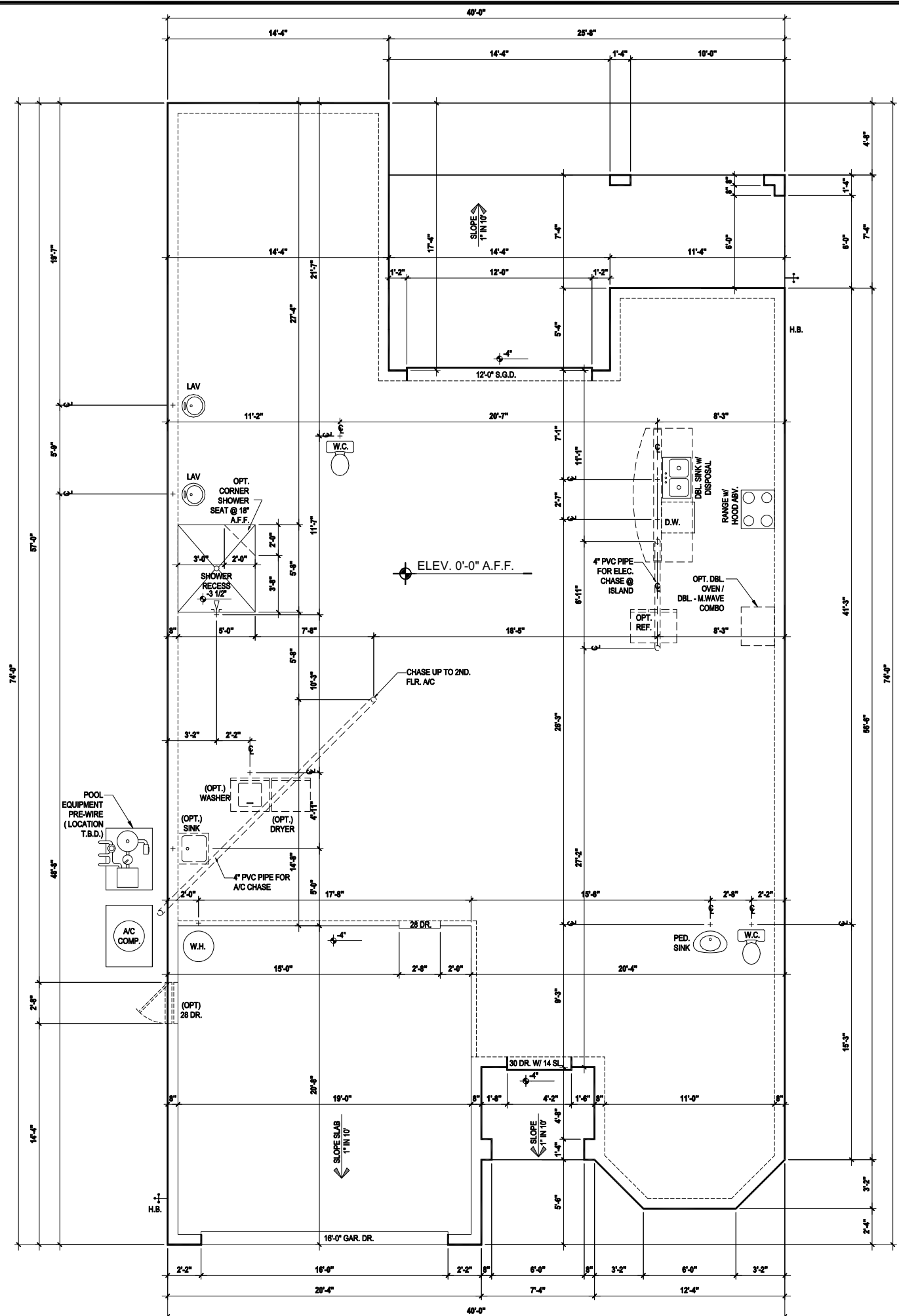
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DESIGNED BY:	MJS

SLAB PLAN

01.5



Slab Plan "A,B,C"
 (Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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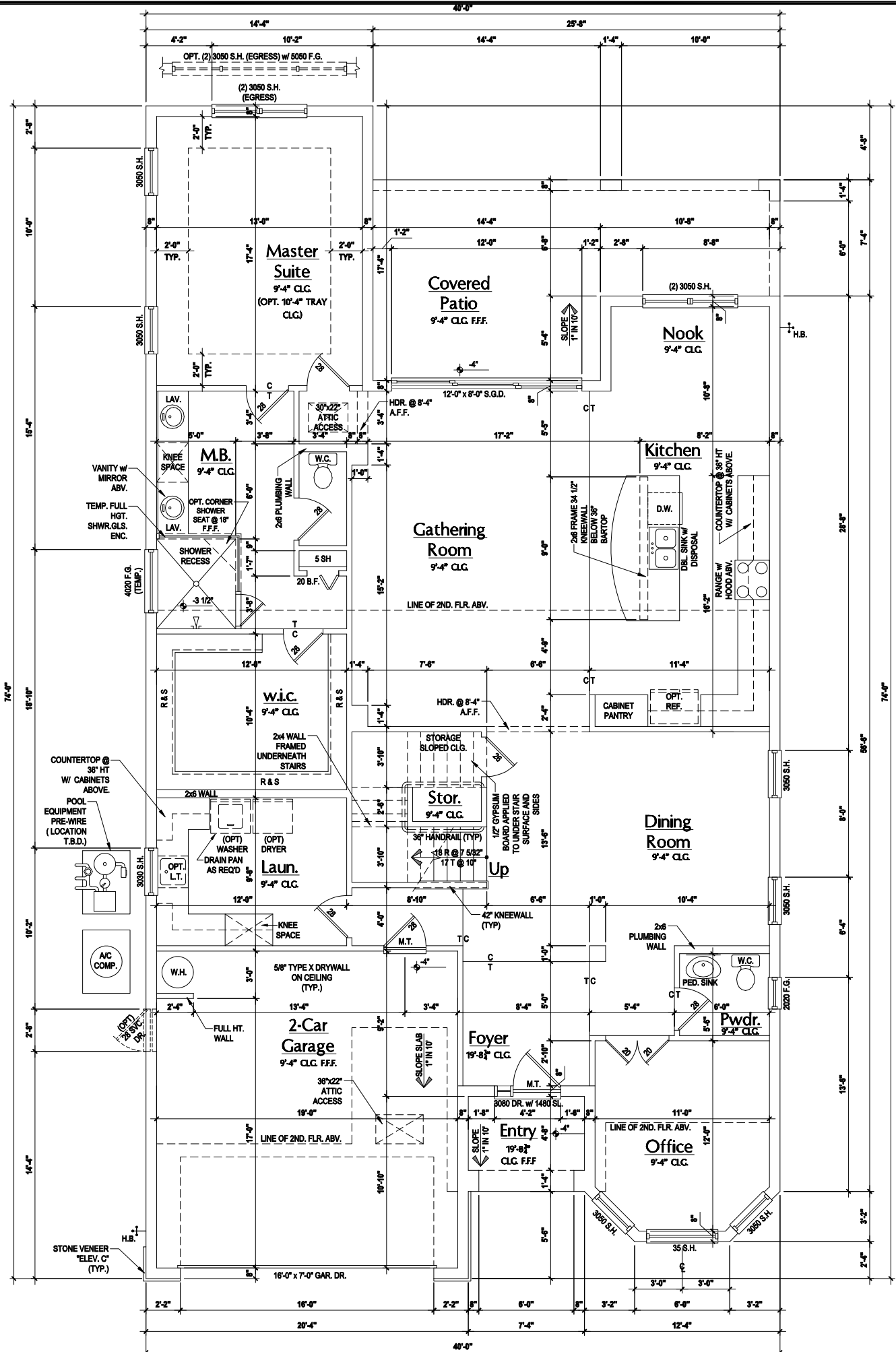
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SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

SLAB PLAN
01.6



First Floor Plan "A,B,C"
(Standard)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

- ABBREVIATIONS:**
- 2- # OF DOORS.
 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL

NOTE:
SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 5. PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
 6. VENT DRYER THRU EXTERIOR WALL U.O.
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.O.
 13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.O.
 14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.
 15. ALL INT. SECOND FLOOR CEILINGS AT 8'-0" U.O.
 16. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 17. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 18. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 19. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 20. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 21. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 22. ALL INT. DOORS TO BE 6'-8" TALL U.O. OR PER BUILDER / CLIENT
 23. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:

20 = 2'-0"	40 B.F. = 4'-0" BIFOLD
24 = 2'-4"	50 B.F. = 5'-0" BIFOLD
26 = 2'-6"	60 B.F. = 6'-0" BIFOLD
28 = 2'-8"	
30 = 3'-0"	

WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

2040 = 2'-0" x 4'-0"
2050 = 2'-0" x 5'-0"
2060 = 2'-0" x 6'-0"

• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:		
1st floor:	2,039 sf	
2nd floor:	1,106 sf	
Total Living:	3,145 sf	
Entry:	44 sf	
Cov. Patio:	285 sf	
Garage:	415 sf	
Total Area:	3,869 sf	

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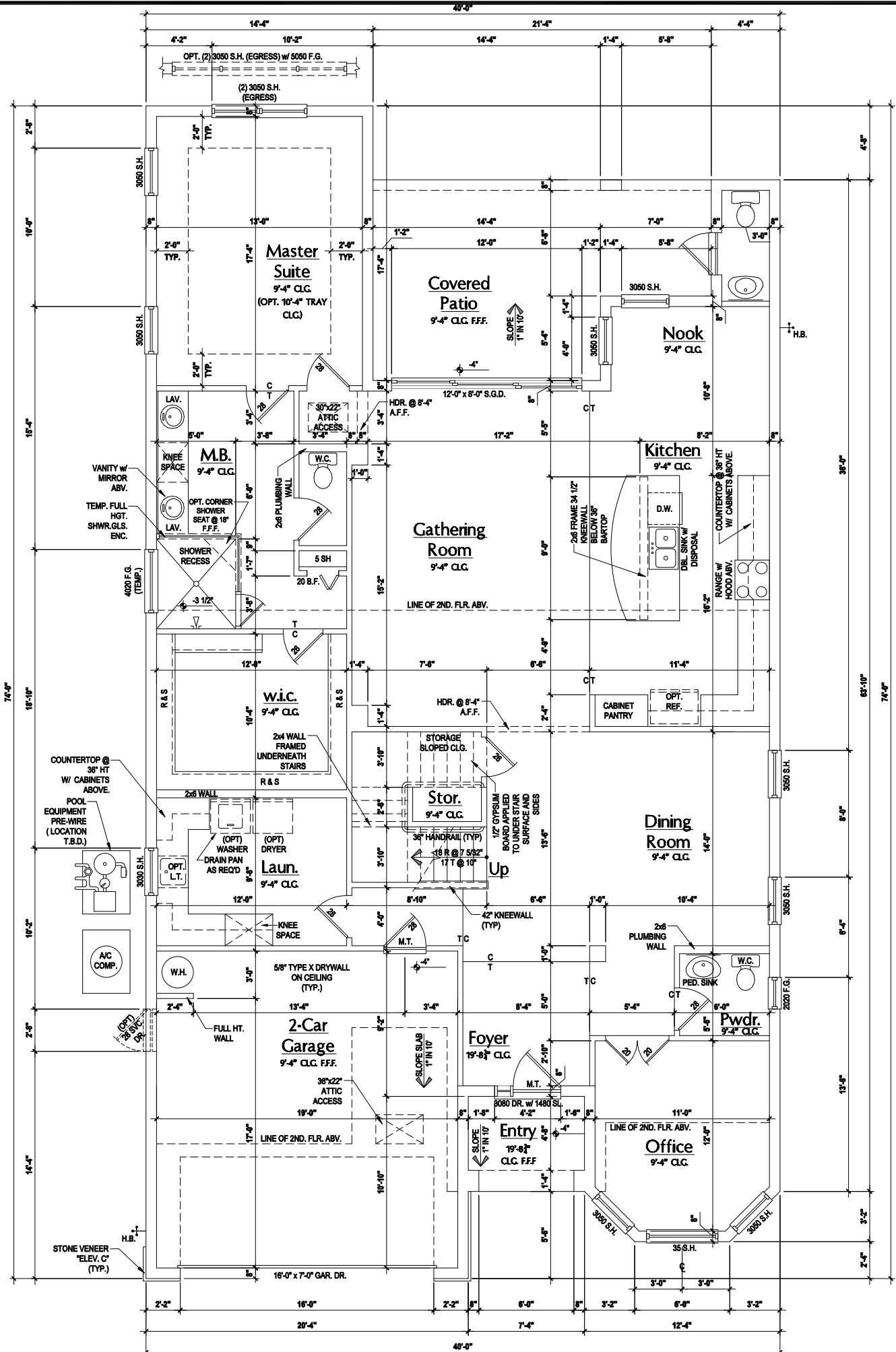
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN

02



First Floor Plan "A,B,C"
(Opt. Pool Bath)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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- NOTE:**
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WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

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• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:		
1st floor:	2,071 sf	
2nd floor:	1,106 sf	
Total Living:	3,177 sf	
Entry:	44 sf	
Cov. Patio:	233 sf	
Garage:	415 sf	
Total Area:	3,869 sf	

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Street Address
City, State, Zip

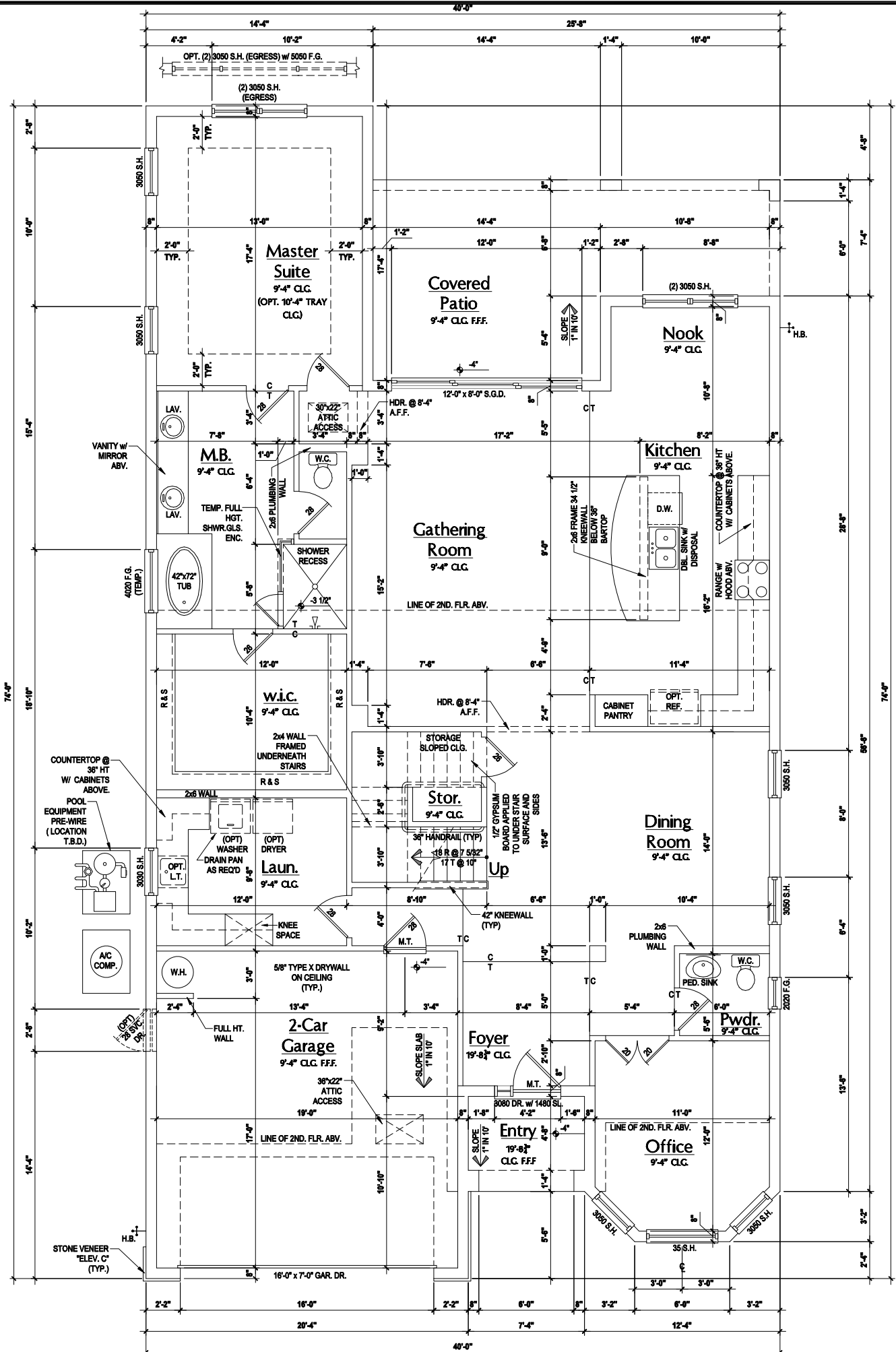
A division of Park Square Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE 11/03/2017
REVISIONS
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

FLOOR PLAN
02.1

COPYRIGHT 2016 PARK SQUARE HOMES HEREBY RESERVES ITS COMMON LAW COPYRIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGN ARE NOT TO BE COPIED OR MODIFIED IN ANY MANNER OR FOR ANY PURPOSE WITHOUT THE EXPRESS WRITTEN PERMISSION FROM PARK SQUARE HOMES.



First Floor Plan "A,B,C"
 (Opt. Master Bath)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

- ABBREVIATIONS:**
- 2- # OF DOORS.
 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
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 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL
- NOTE:**
 SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 5. PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
 6. VENT DRYER THRU EXTERIOR WALL U.O.
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILING.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.O.
 13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.O.
 14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.
 15. ALL INT. SECOND FLOOR CEILINGS AT 8'-0" U.O.
 16. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 17. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 18. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 19. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 20. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 21. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 22. ALL INT. DOORS TO BE 6'-8" TALL U.O. OR PER BUILDER / CLIENT
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Area Tabulations

Living:	1st floor:	2,039 sf
	2nd floor:	1,106 sf
Total Living:		3,145 sf
	Entry:	44 sf
	Cov. Patio:	285 sf
	Garage:	415 sf
Total Area:		3,869 sf
Opt. Version 2: (+747 sf to second floor)		

40-3145
VENICE
 Lot # - Subdivision
 Street Address
 City, State, Zip

815 Orienta Ave, Suite# 1040
 Altamonte Springs, FL, 32701
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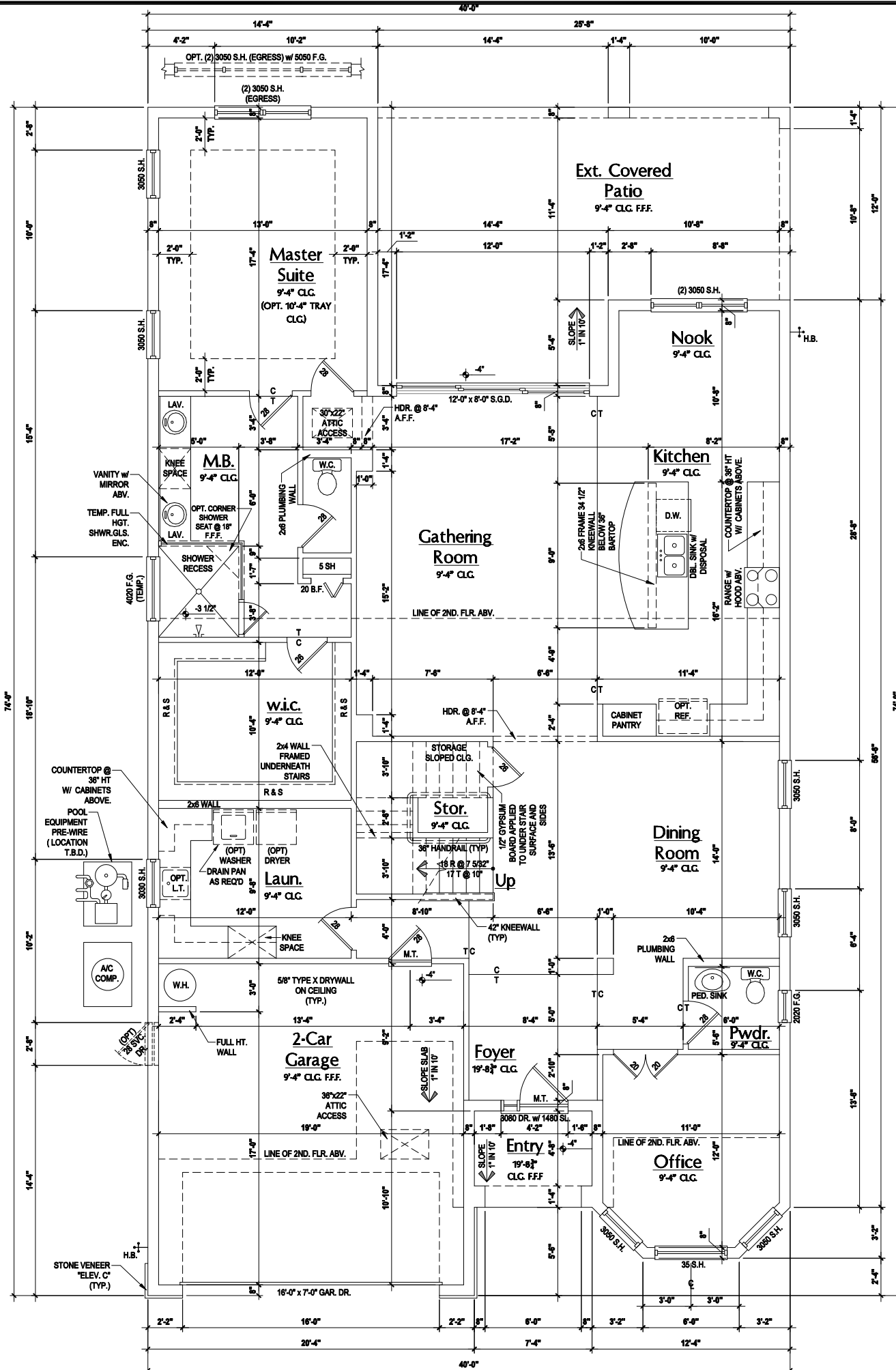
MJS
 custom home design
 DESIGNERS - PLANNERS

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Park Square HOMES

ISSUE DATE: 11/03/2017
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 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

FLOOR PLAN
02.2



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1st floor:	2,039 sf
2nd floor:	1,106 sf
Total Living:	3,145 sf
Entry:	44 sf
Cov. Patio:	385 sf
Garage:	415 sf
Total Area:	3,989 sf

Opt. Version 2: (+747 sf to second floor)

First Floor Plan "A,B,C"

(Opt. Extended Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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DESIGNERS - PLANNERS

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. In the event of any discrepancy, the dimensions, conditions and specifications appearing on these plans shall prevail.

40-3145
VENICE
Lot # - Subdivision
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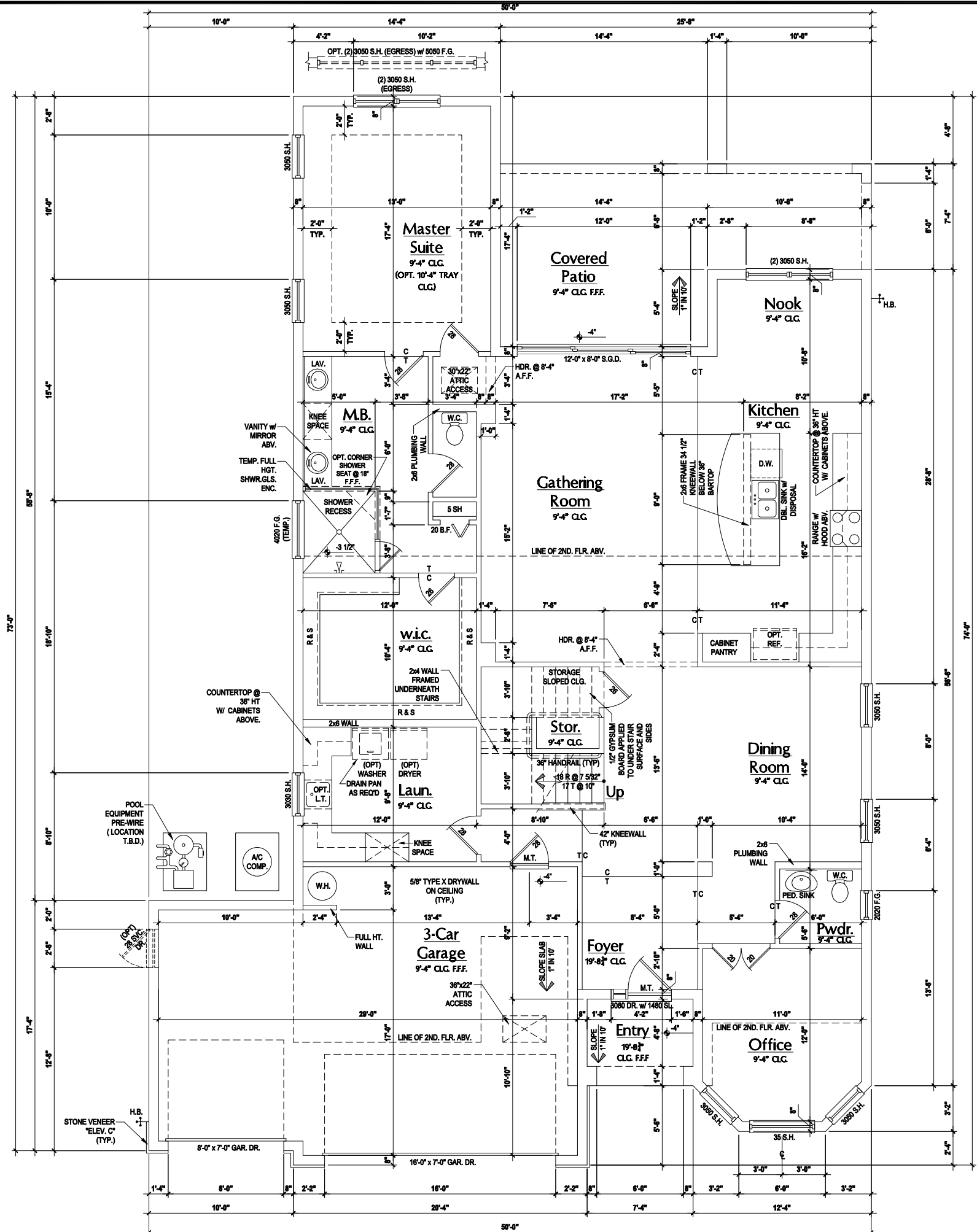
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ISSUE DATE: 11/03/2017

REVISIONS	
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PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

FLOOR PLAN
02.3



First Floor Plan "A,B,C"
 (Opt. 3-Car Garage)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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Area Tabulations

Living:		
1st floor:	2,039 sf	
2nd floor:	1,106 sf	
Total Living:	3,145 sf	
Entry:	44 sf	
Cov. Patio:	285 sf	
Garage:	588 sf	
Total Area:	4,042 sf	
Opt. Version 2: (+747 sf to second floor)		

GENERAL NOTES KEY:

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DESIGNED BY: MJS

FLOOR PLAN

02.4

40-3145

VENICE

Lot # - Subdivision

Street Address

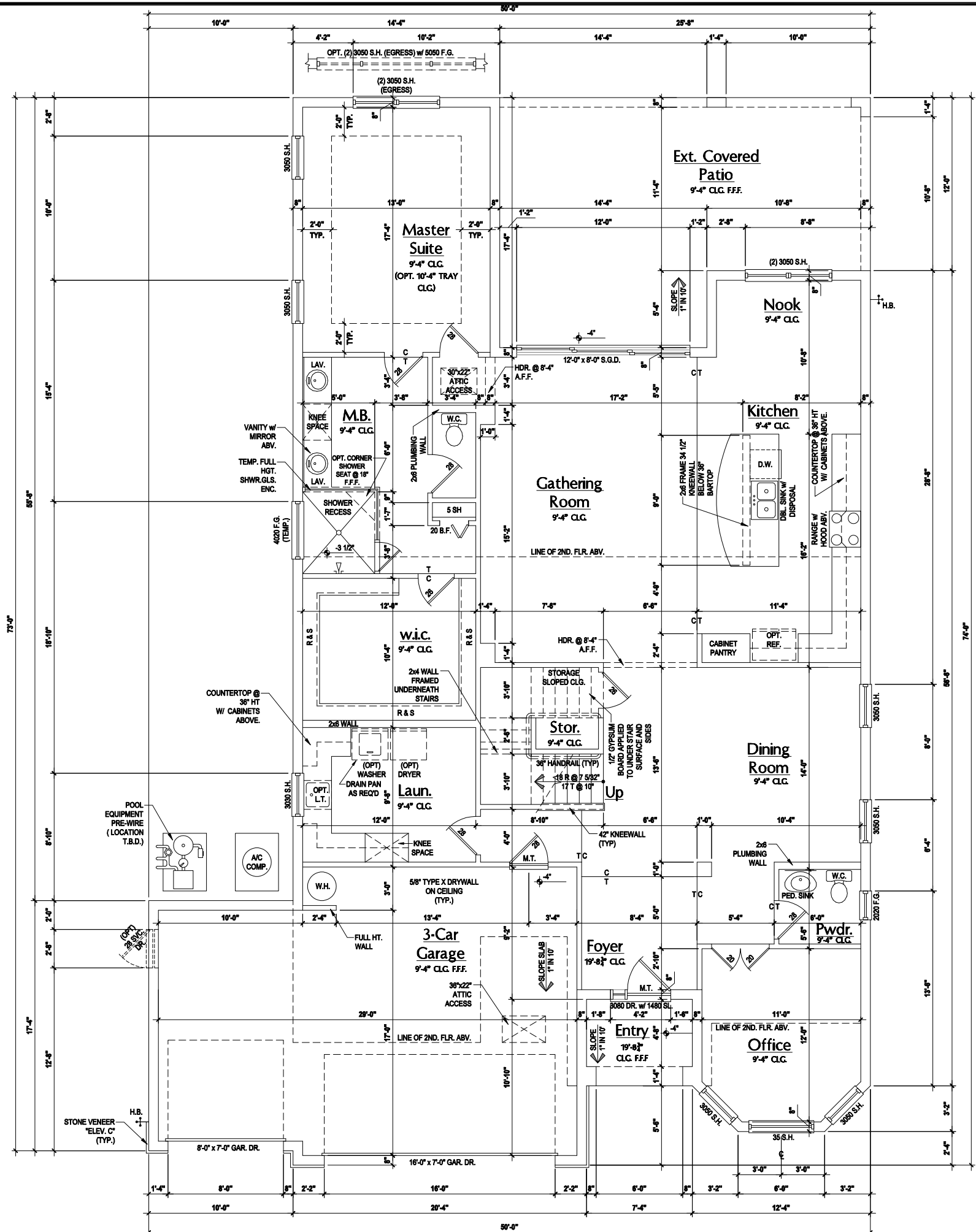
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First Floor Plan "A,B,C"
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 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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 20. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 21. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 22. ALL INT. DOORS TO BE 8'-6" TALL U.O. OR PER BUILDER / CLIENT
 23. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:

20 = 2'-0"	40 B.F. = 4'-0" BIFOLD
24 = 2'-4"	50 B.F. = 5'-0" BIFOLD
26 = 2'-6"	60 B.F. = 6'-0" BIFOLD
28 = 2'-8"	
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WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

2040 = 2'-0" x 4'-0"
2050 = 2'-0" x 5'-0"
2060 = 2'-0" x 6'-0"

• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:		
1st floor:	2,039 sf	
2nd floor:	1,106 sf	
Total Living:	3,145 sf	
Entry:	44 sf	
Cov. Patio:	385 sf	
Garage:	588 sf	
Total Area:	4,162 sf	
Opt. Version 2: (+747 sf to second floor)		

40-3145

VENICE

Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square
Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 11/03/2017

REVISIONS:

PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

FLOOR PLAN

02.5

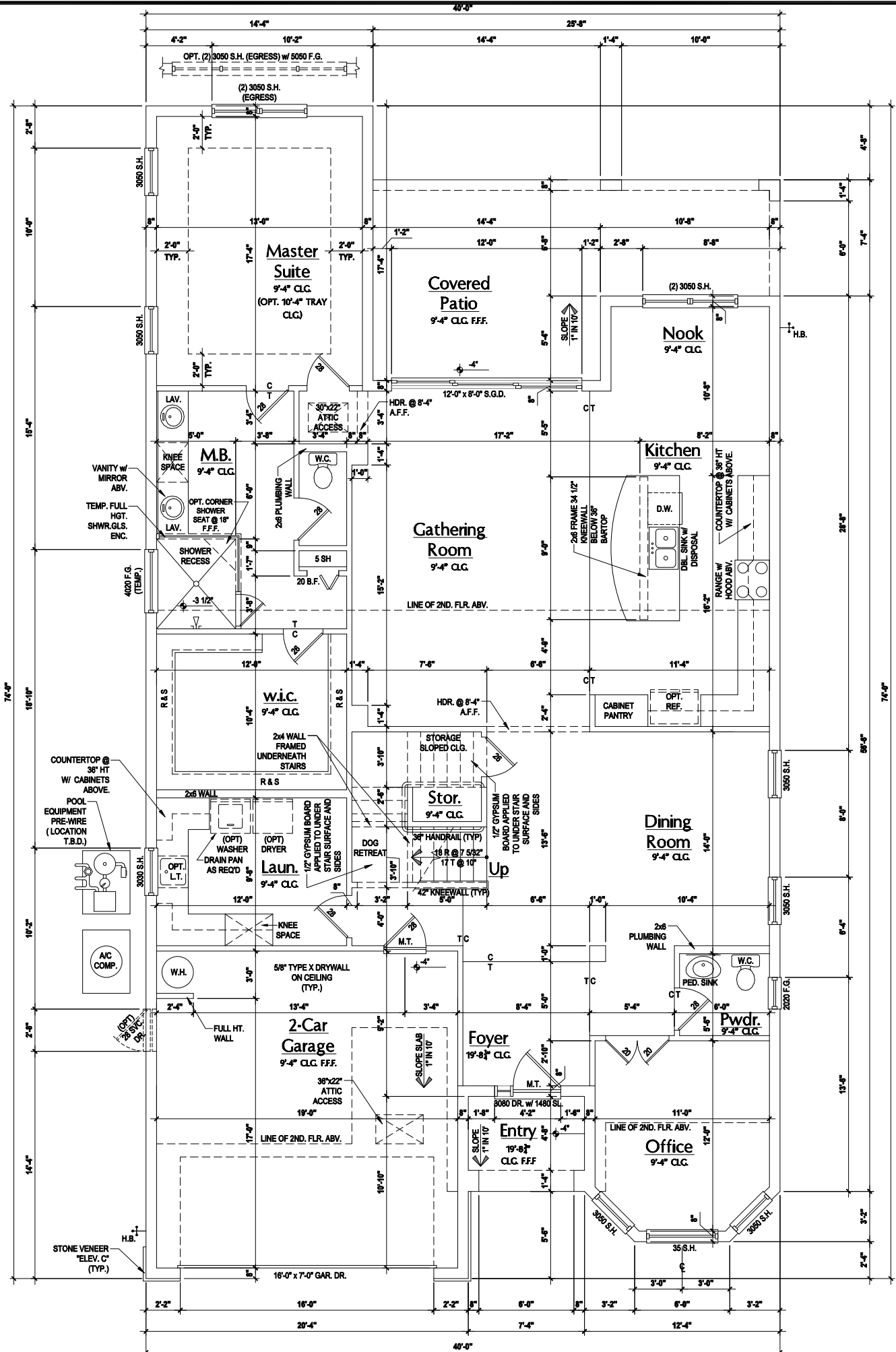
MJS

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Ph: (407) 629-6711
Fax: (407) 629-6776
www.mjshomedesigns.com

custom home design
DESIGNERS - PLANNERS

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Dimensions shown on drawings are for information only and are not to be used in making any changes to the dimensions, conditions and specifications appearing on these plans.

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First Floor Plan "A,B,C"
 (Opt. Dog Retreat)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

- ABBREVIATIONS:**
- 2- # OF DOORS.
 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL

NOTE:
 SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
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 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 5. PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
 6. VENT DRYER THRU EXTERIOR WALL U.O.
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.O.
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 14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.
 15. ALL INT. SECOND FLOOR CEILINGS AT 8'-0" U.O.
 16. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
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Total Living:	3,145 sf	
Entry:	44 sf	
Cov. Patio:	285 sf	
Garage:	415 sf	
Total Area:	3,869 sf	
Opt. Version 2: (+747 sf to second floor)		

40-3145
VENICE
 Lot # - Subdivision
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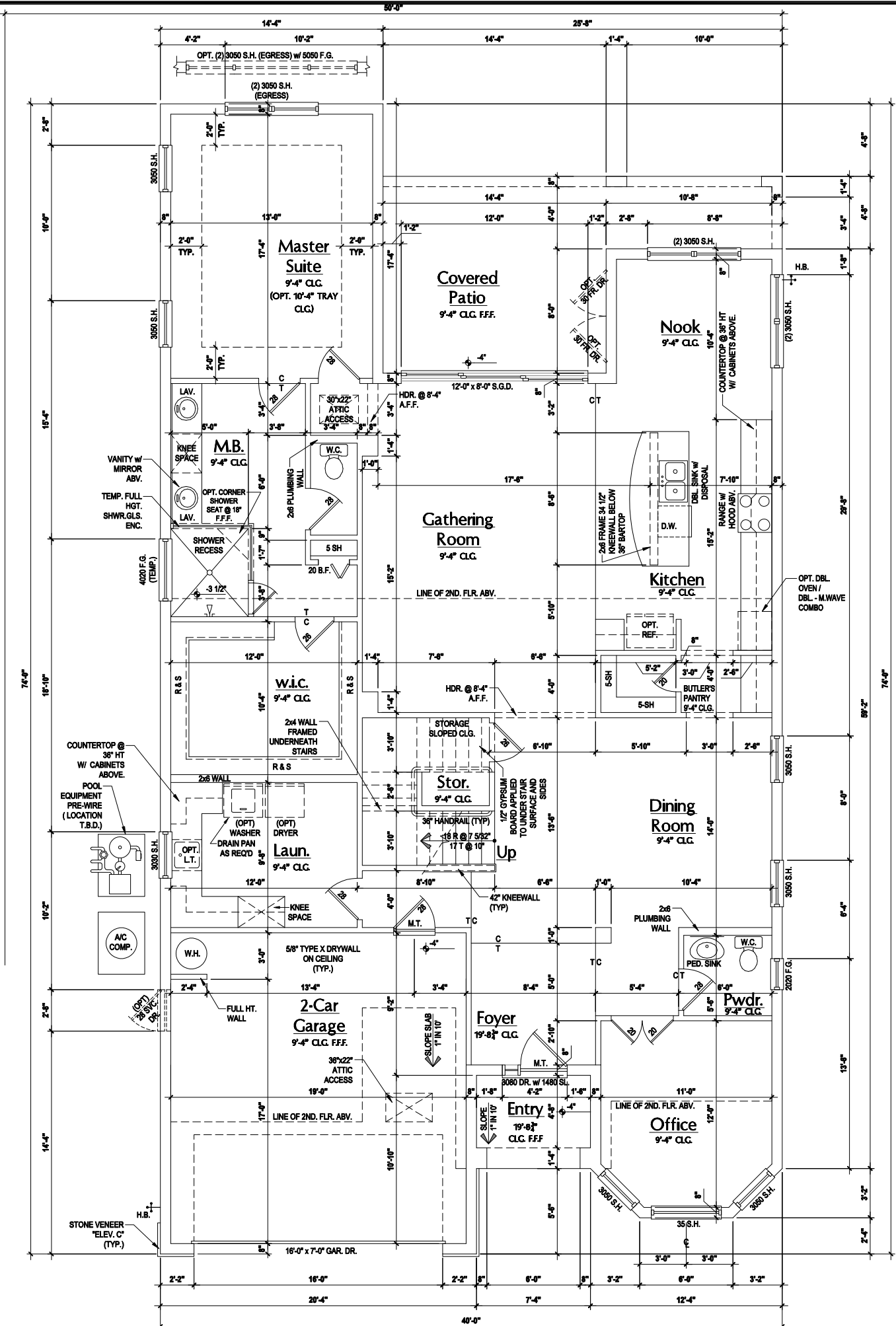
MJS
 custom home design
 DESIGNERS - PLANNERS

A division of Park Square Enterprises Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE 11/03/2017
 REVISIONS
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

FLOOR PLAN
02.6



First Floor Plan "A,B,C"
 (Opt. Butler's Pantry)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

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Area Tabulations

Living:		
1st floor:	2,069 sf	
2nd floor:	1,106 sf	
Total Living:	3,175 sf	
Entry:	44 sf	
Cov. Patio:	234 sf	
Garage:	415 sf	
Total Area:	3,868 sf	

40-3145

VENICE

Lot # - Subdivision
 Street Address
 City, State, Zip

A division of Park Square
 Enterprises Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
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ISSUE DATE: 11/03/2017

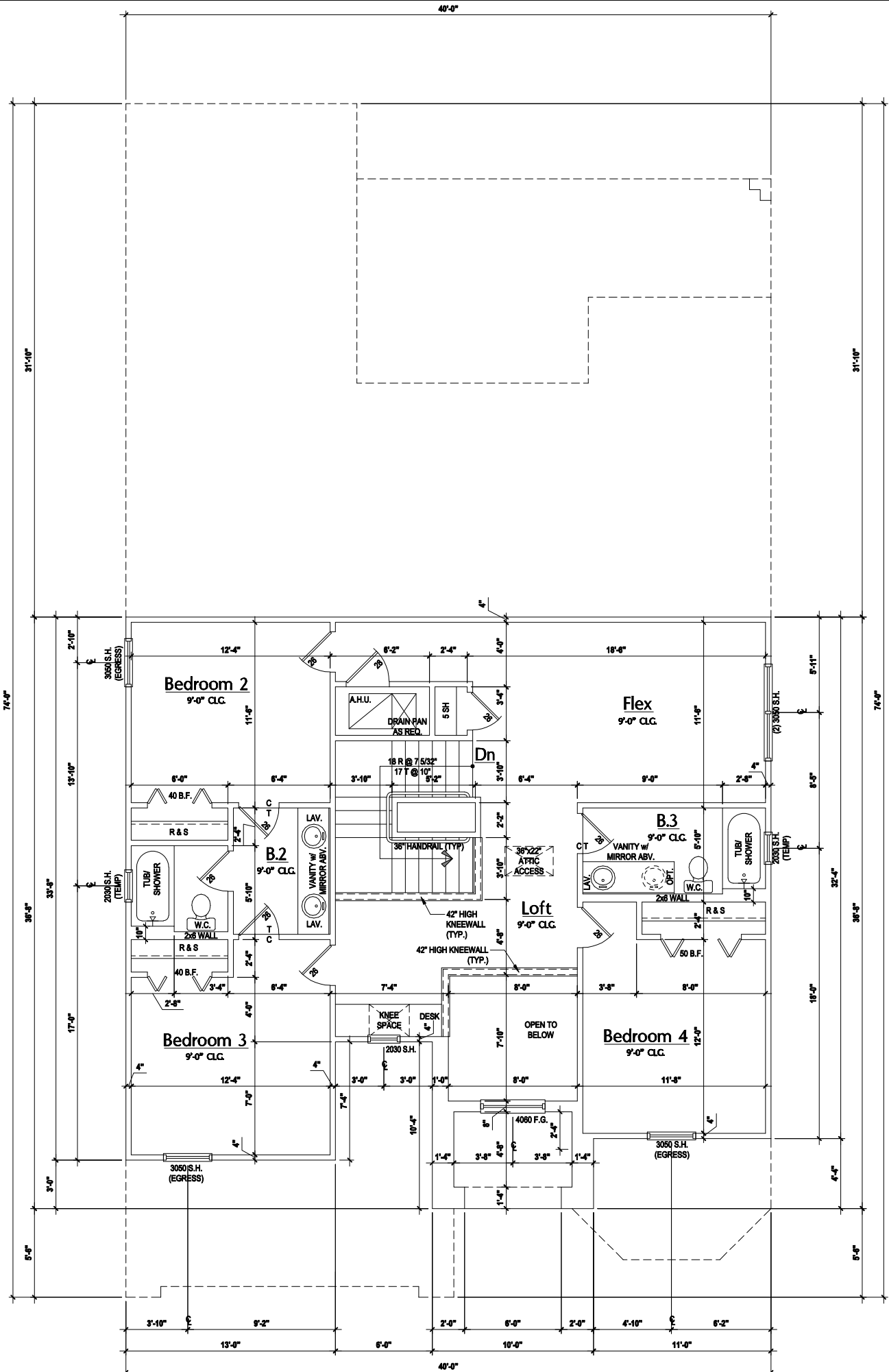
REVISIONS:

PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

FLOOR PLAN

02.7

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Second Floor Plan "A,B,C"
 (Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

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- NOTE:**
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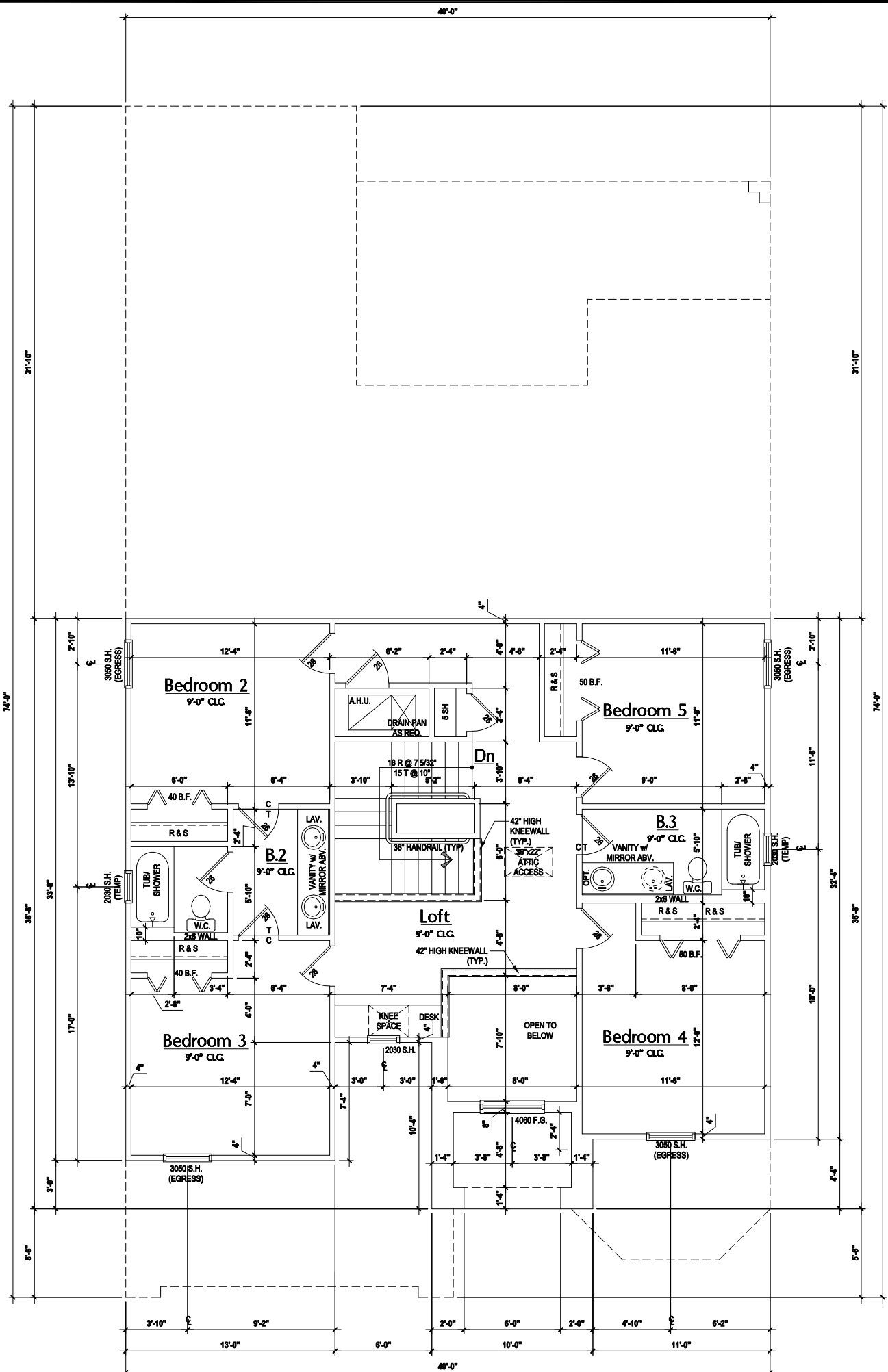
Park Square HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN

03

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Second Floor Plan "A,B,C"
 (Opt. Bed 5)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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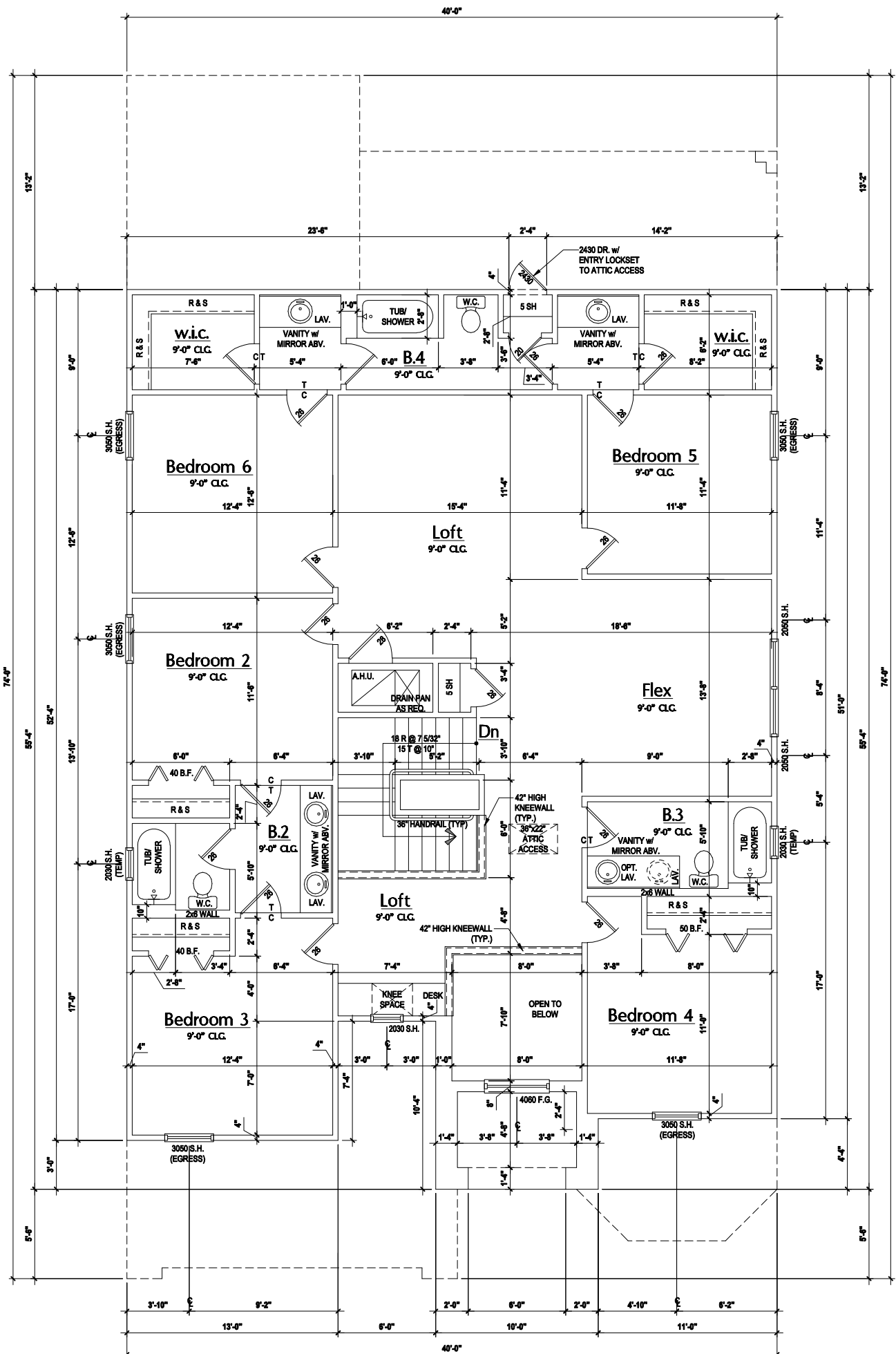
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ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN
03.1



Second Floor Plan "A,B,C"
 (Opt. Bed 5, 6 & Flex)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

- ABBREVIATIONS:**
- 2- # OF DOORS.
 - 2- # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL

NOTE:
 SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 - AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 - PROVIDE RECESS H2O WATER w/ DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.N.O.
 - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
 - ALL INT. SECOND FLOOR CEILINGS AT 8'-0" U.N.O.
 - C.A.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 - ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT
 - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 - ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:

20 = 2'-0"	40 B.F. = 4'-0" BIFOLD
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28 = 2'-8"	60 B.F. = 6'-0" BIFOLD
30 = 3'-0"	

WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

2040 = 2'-0" x 4'-0"
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2060 = 2'-0" x 6'-0"

• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

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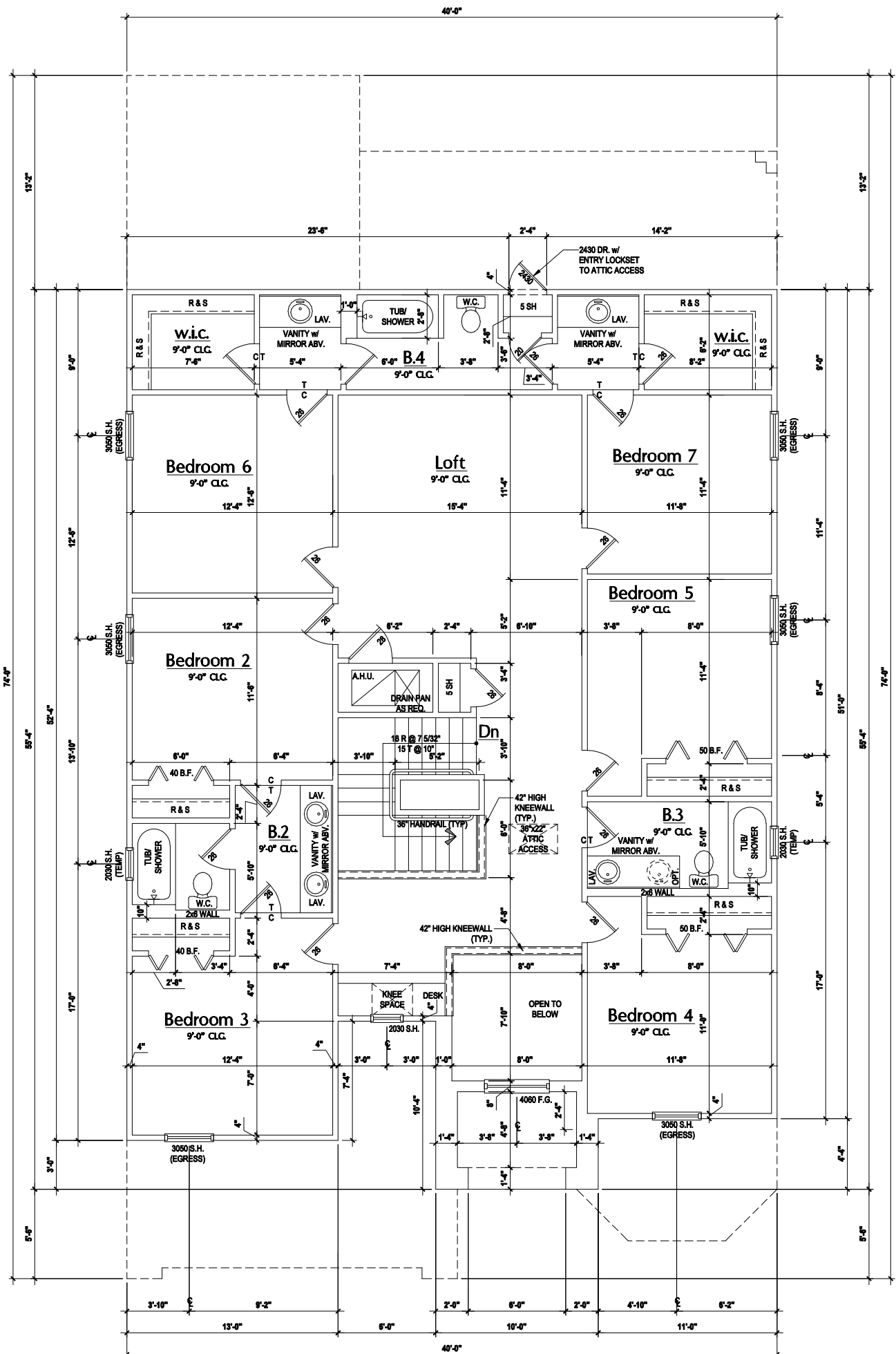
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 City, State, Zip

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Park Square HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN
03.2



Second Floor Plan "A,B,C"
 (Opt. Bed 5, 6 & 7)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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 - BF - BIFOLD
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NOTE:
 SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
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 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
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 17. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 18. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 19. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 20. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 21. ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT
 22. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 23. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.

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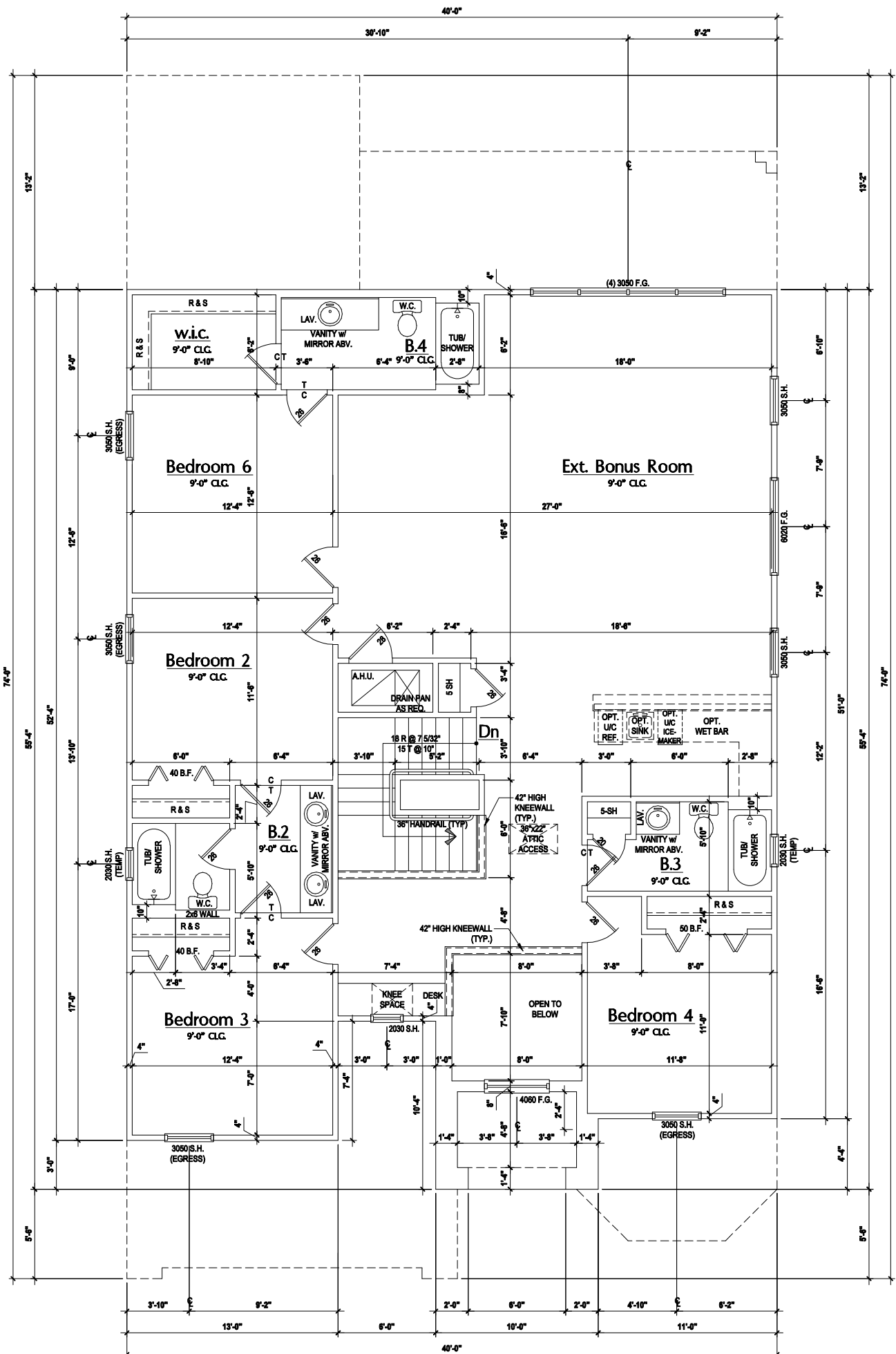
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Park Square HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN
03.3



Second Floor Plan "A,B,C"
 (Opt. Extended Bonus Rm.)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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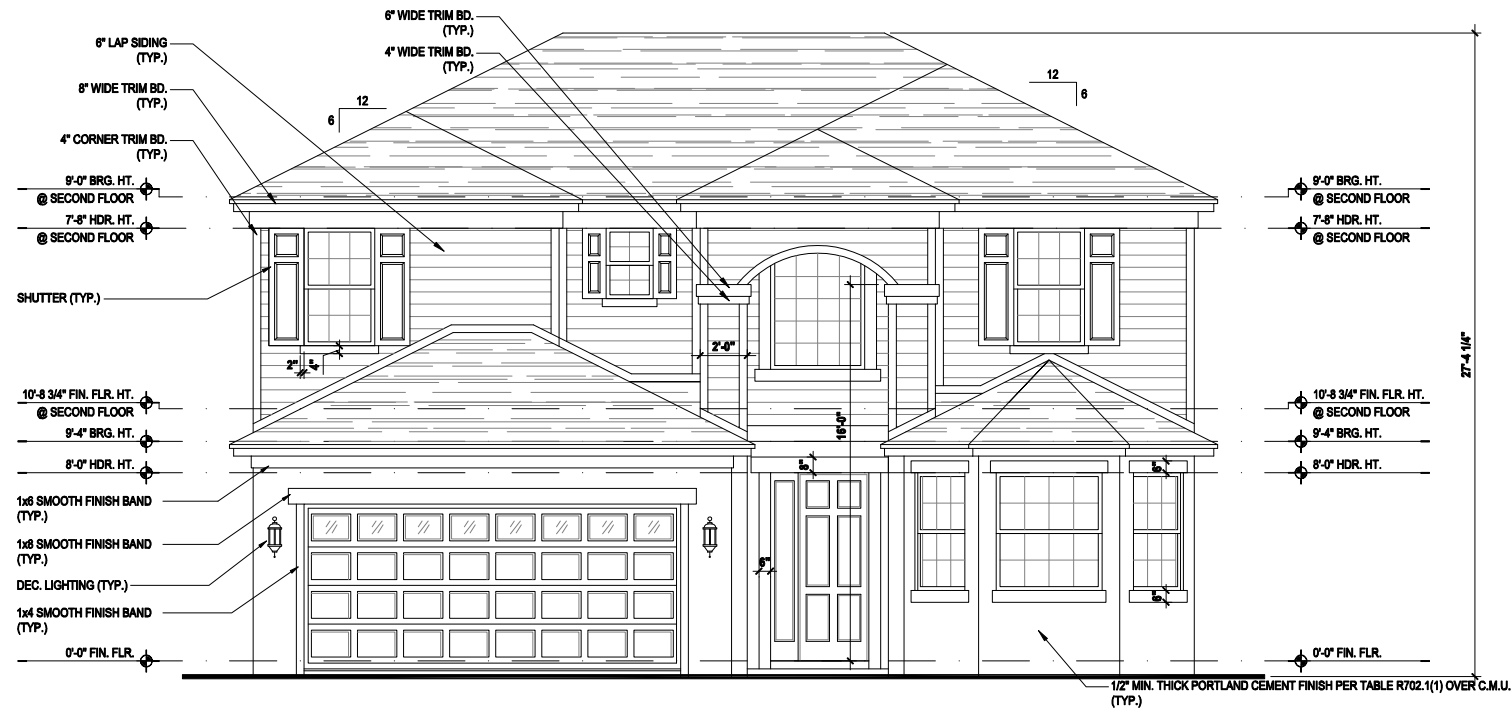
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Park Square HOMES

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REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

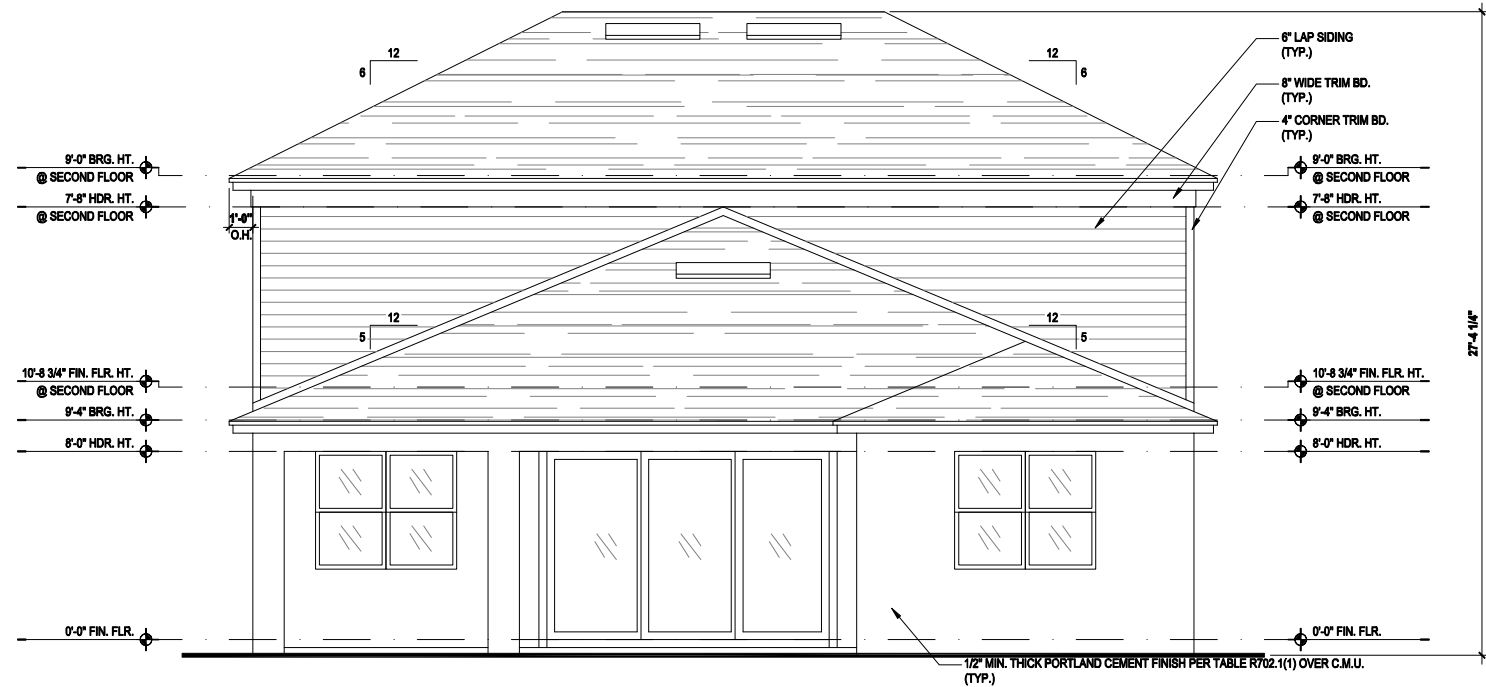
FLOOR PLAN
03.4

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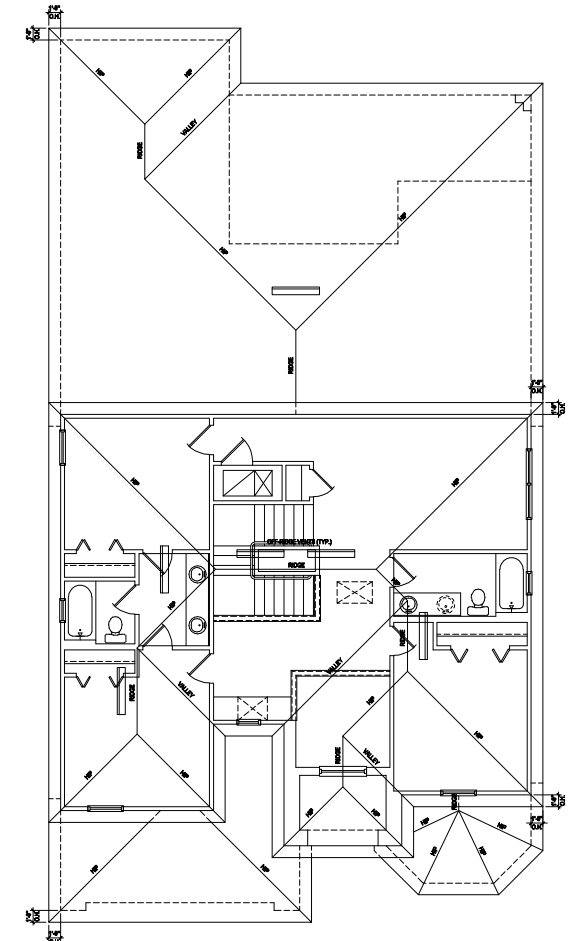
Front Elevation "A" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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DESIGNERS - PLANNERS
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Check all drawings for dimensions, conditions and specifications regarding all items shown.
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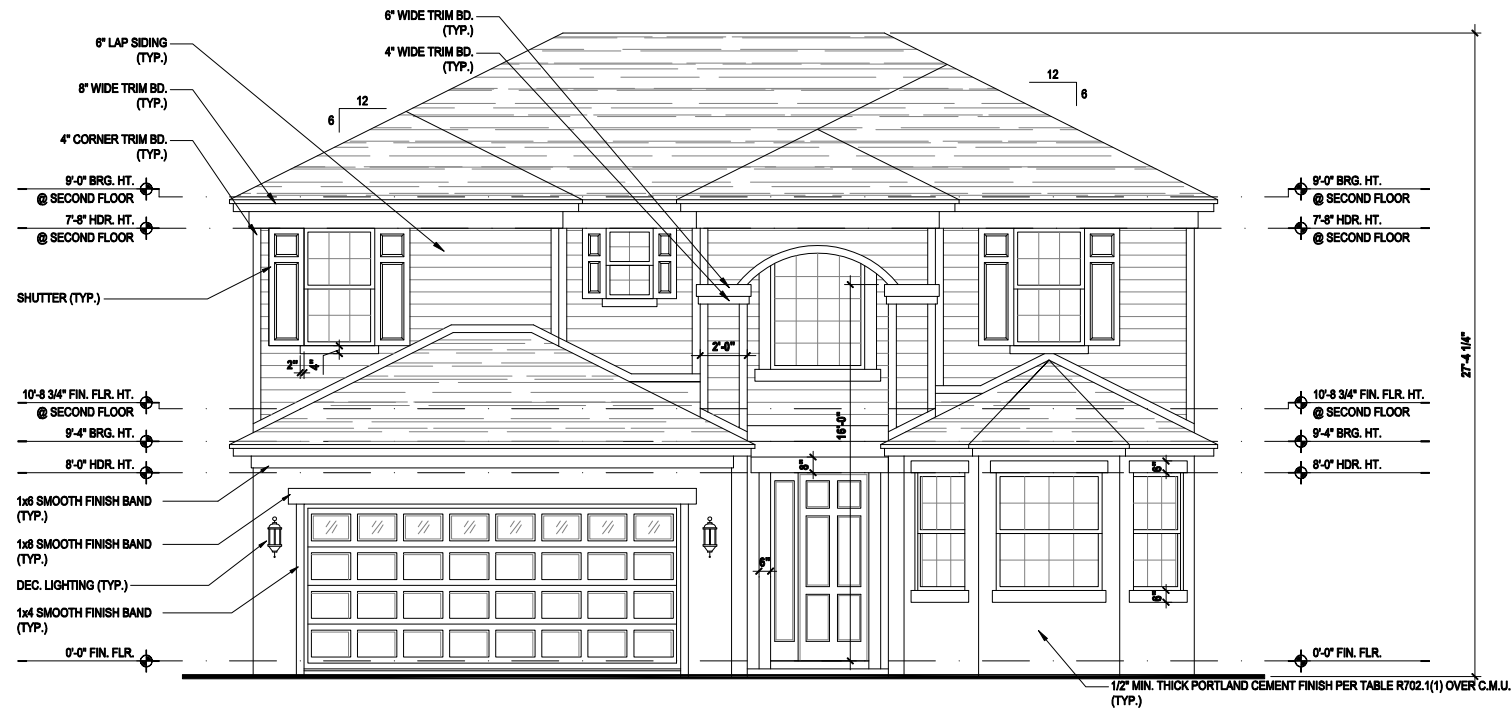
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ISSUE DATE	11/03/2017
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"

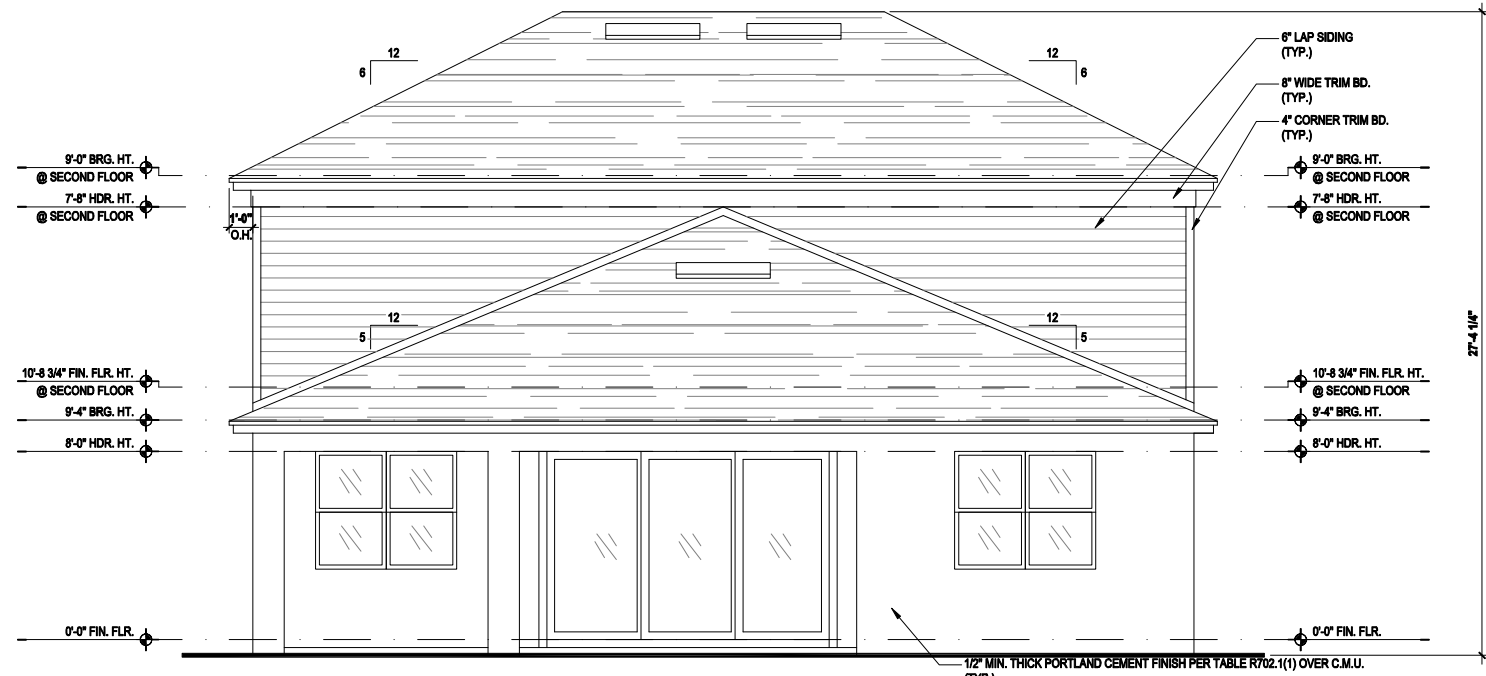
04-A1



Front Elevation "A" w/ Siding

(Opt. Ext. Cov. Patio)

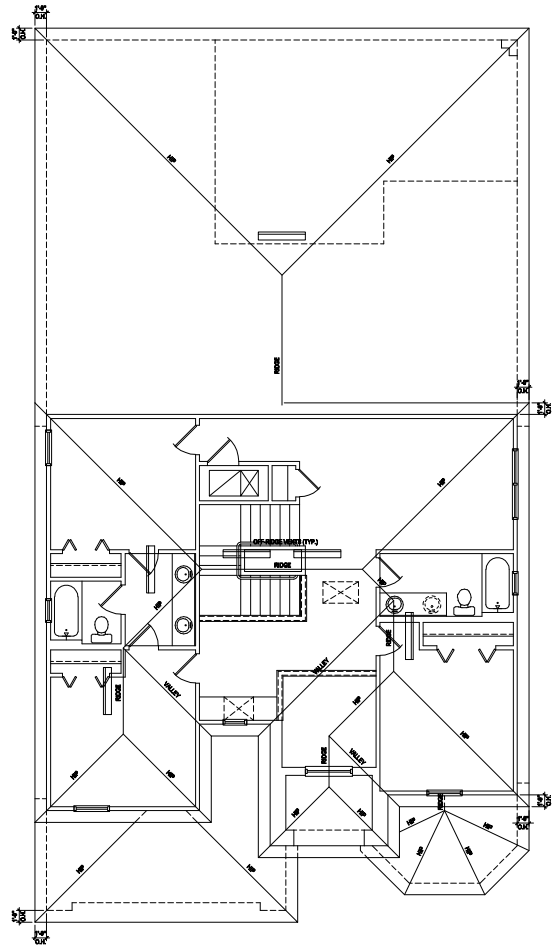
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
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 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
 SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
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UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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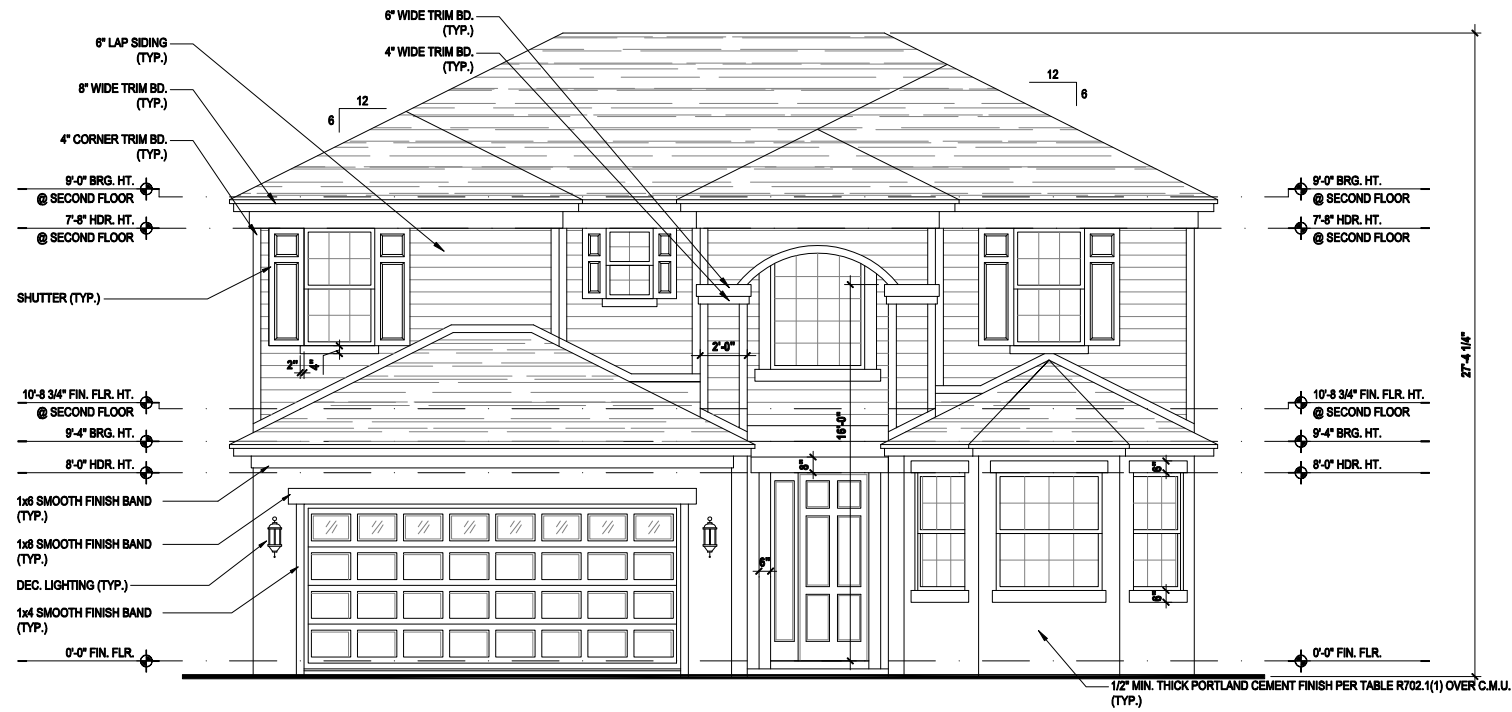
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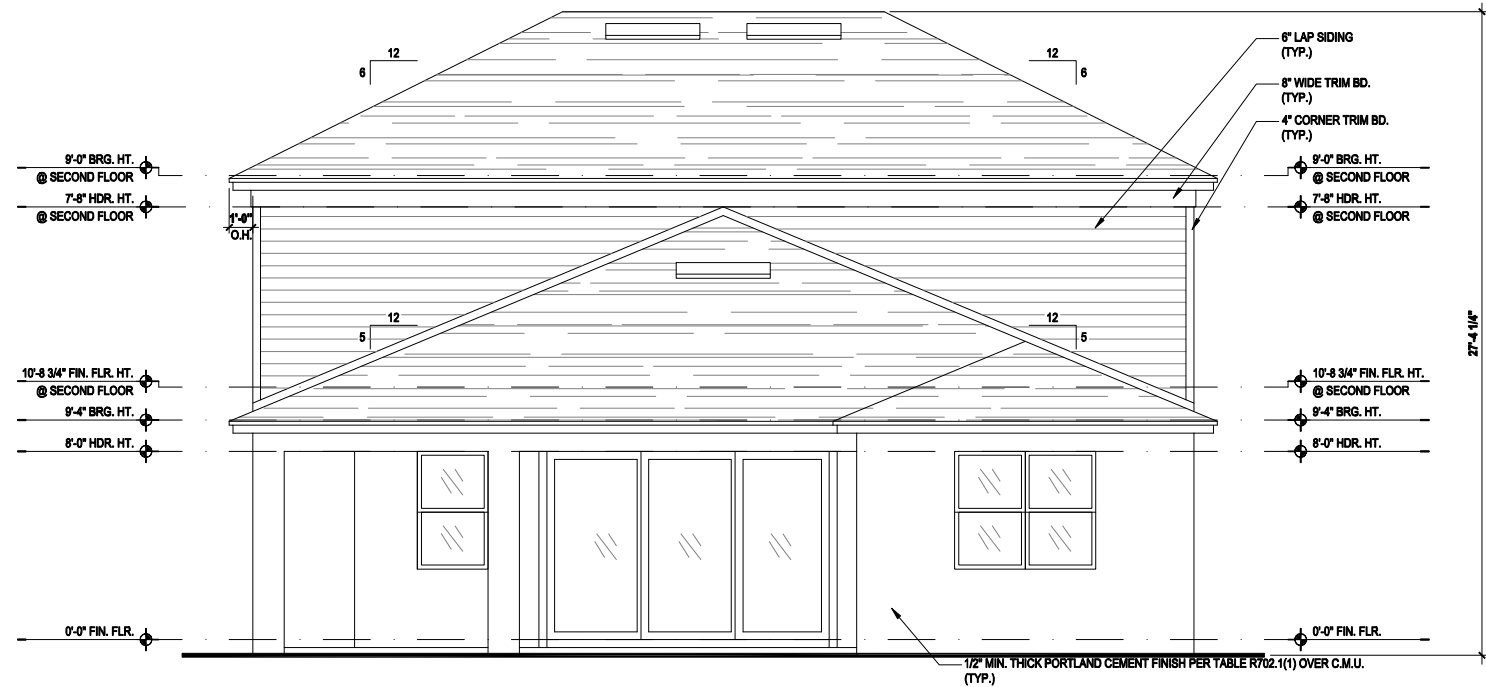
ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
04-A1.1



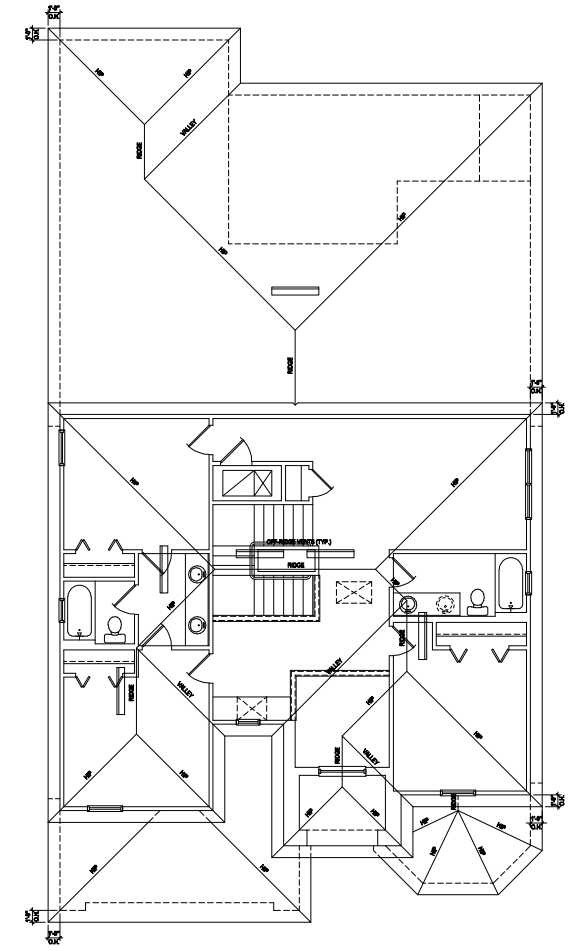
Front Elevation "A" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

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MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE REQUIRED 300

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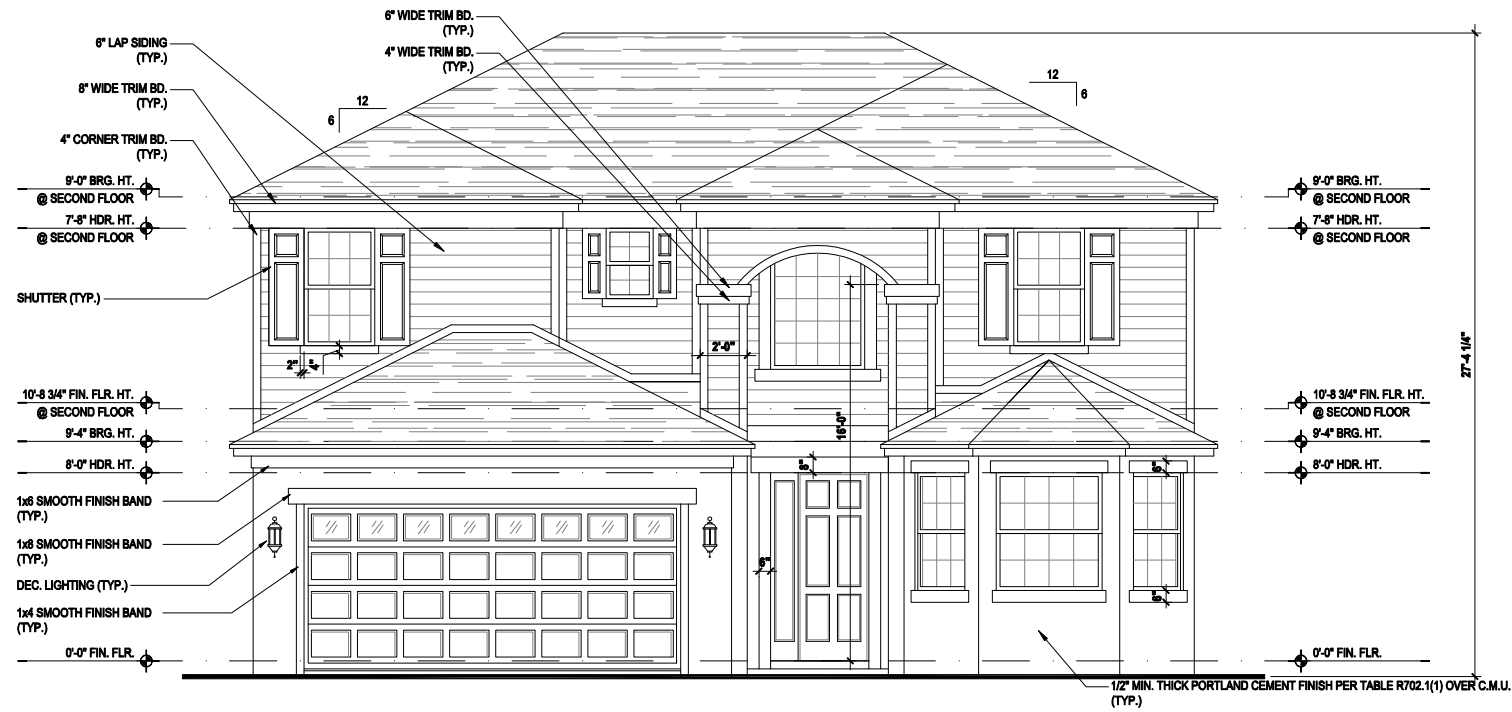
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Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 11/03/2017
REVISIONS:
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

ELEVATIONS "A"
04-A1.2

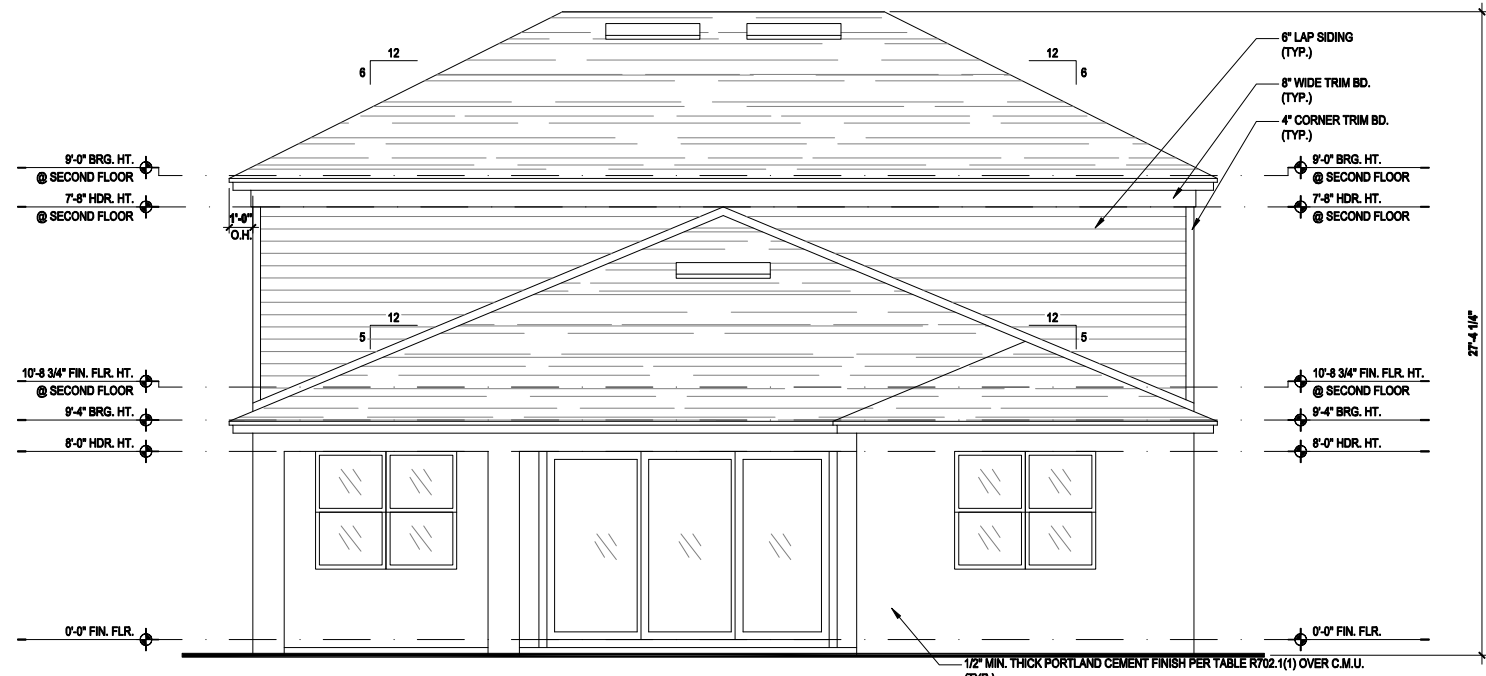
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Front Elevation "A" w/ Siding

(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
 SPACE.

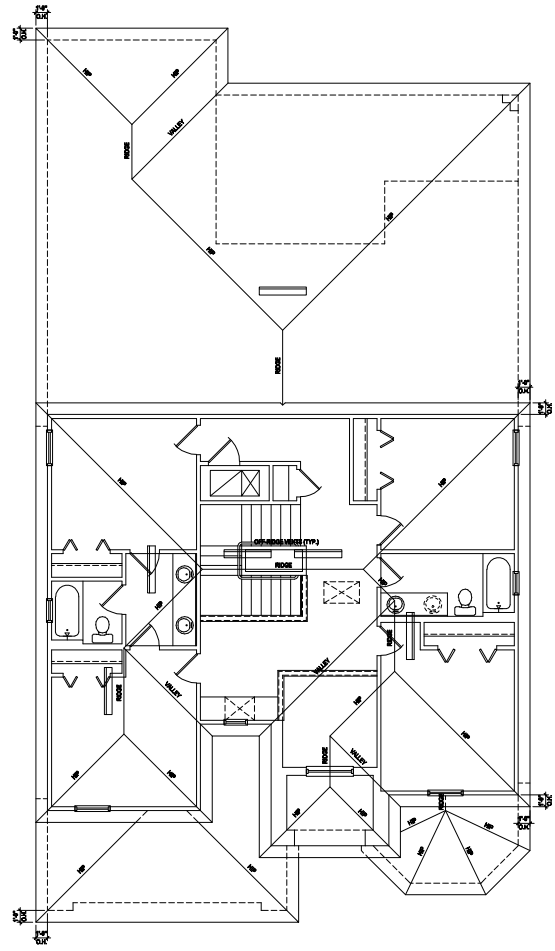
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

815 Orienta Ave. Suite# 1040
 Altamonte Springs, FL. 32701
 Ph: (407) 629-6711
 Fax: (407) 629-6776
 www.mjshomedesigns.com

MJS
 DESIGNERS - PLANNERS
 custom home design

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 Conflicts shall be resolved in favor of the written dimensions. Conditions and specifications appearing on these plans
 prevail in the event of any change in the dimensions, conditions and specifications appearing on these plans.

40-3145
VENICE
 Lot # - Subdivision
 Street Address
 City, State, Zip

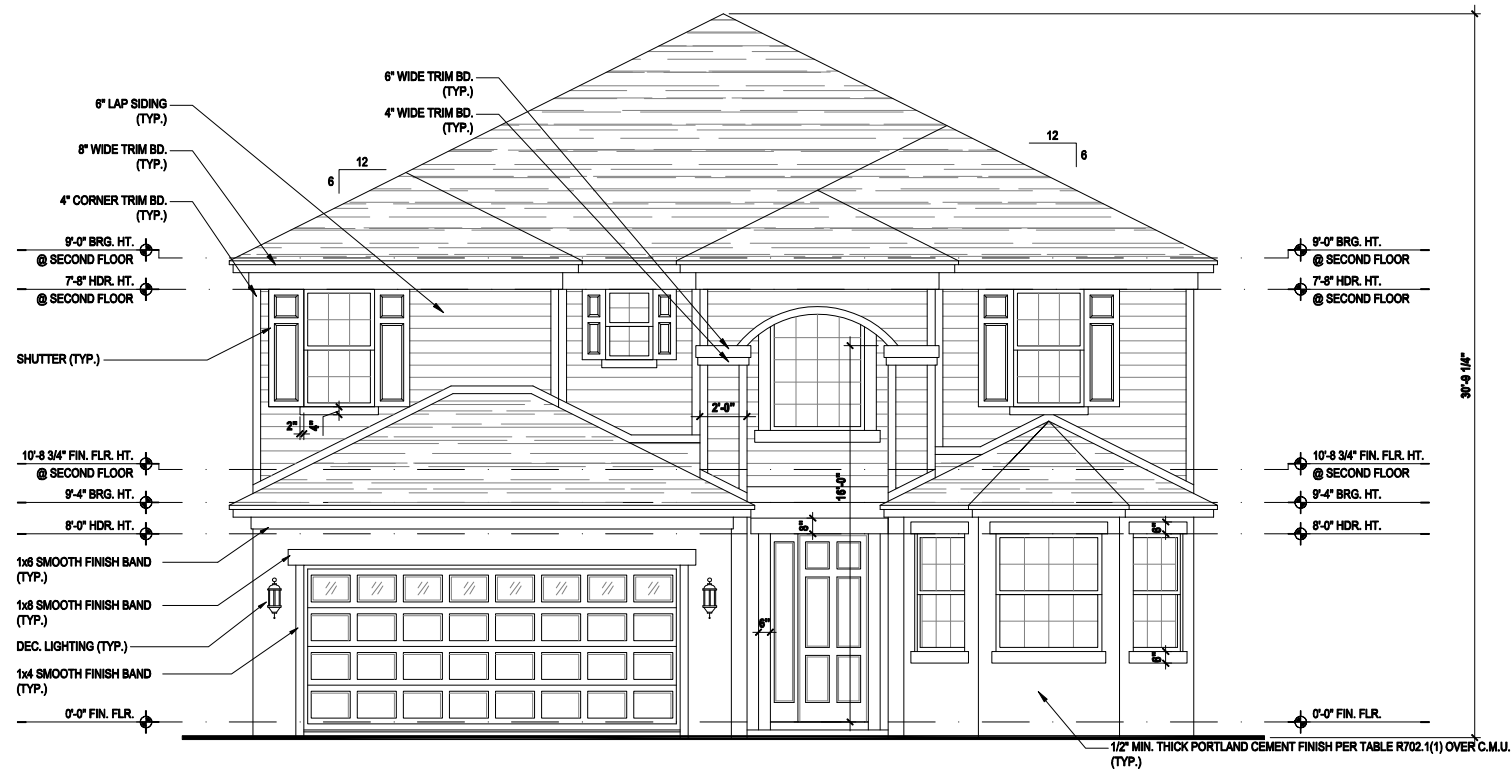
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 Enterprises Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 11/03/2017
 REVISIONS:
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

ELEVATIONS "A"
04-A1.3

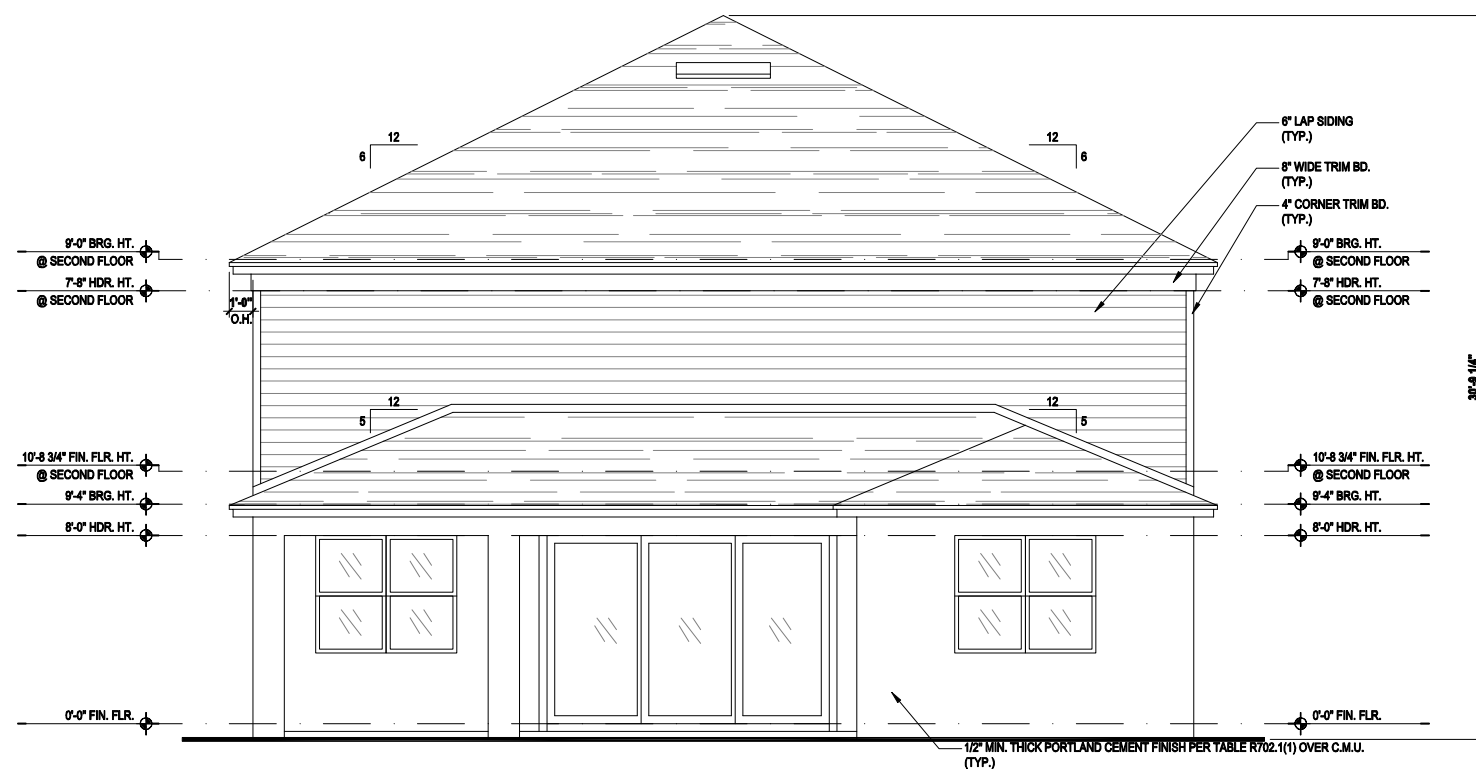
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Front Elevation "A" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
 SPACE.

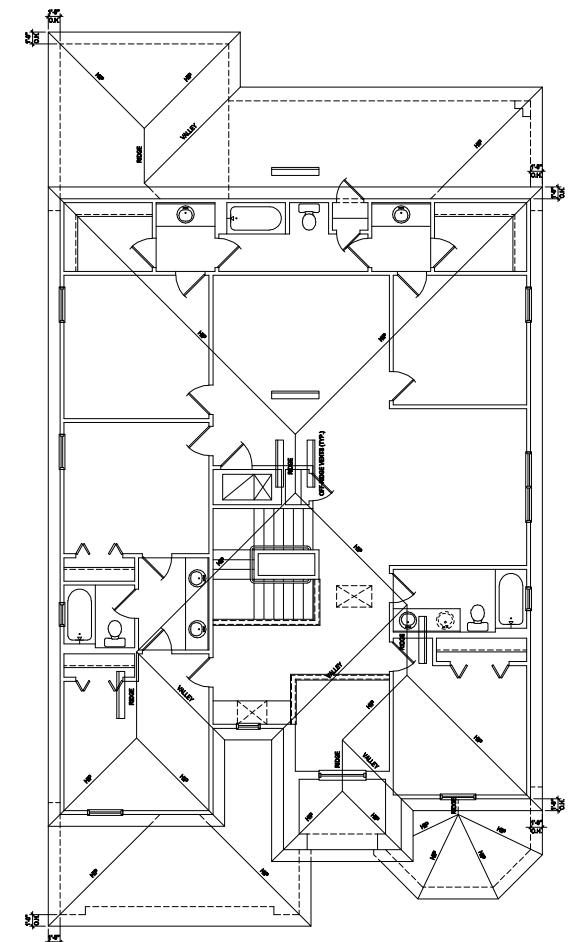
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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40-3145
VENICE
 Lot # - Subdivision
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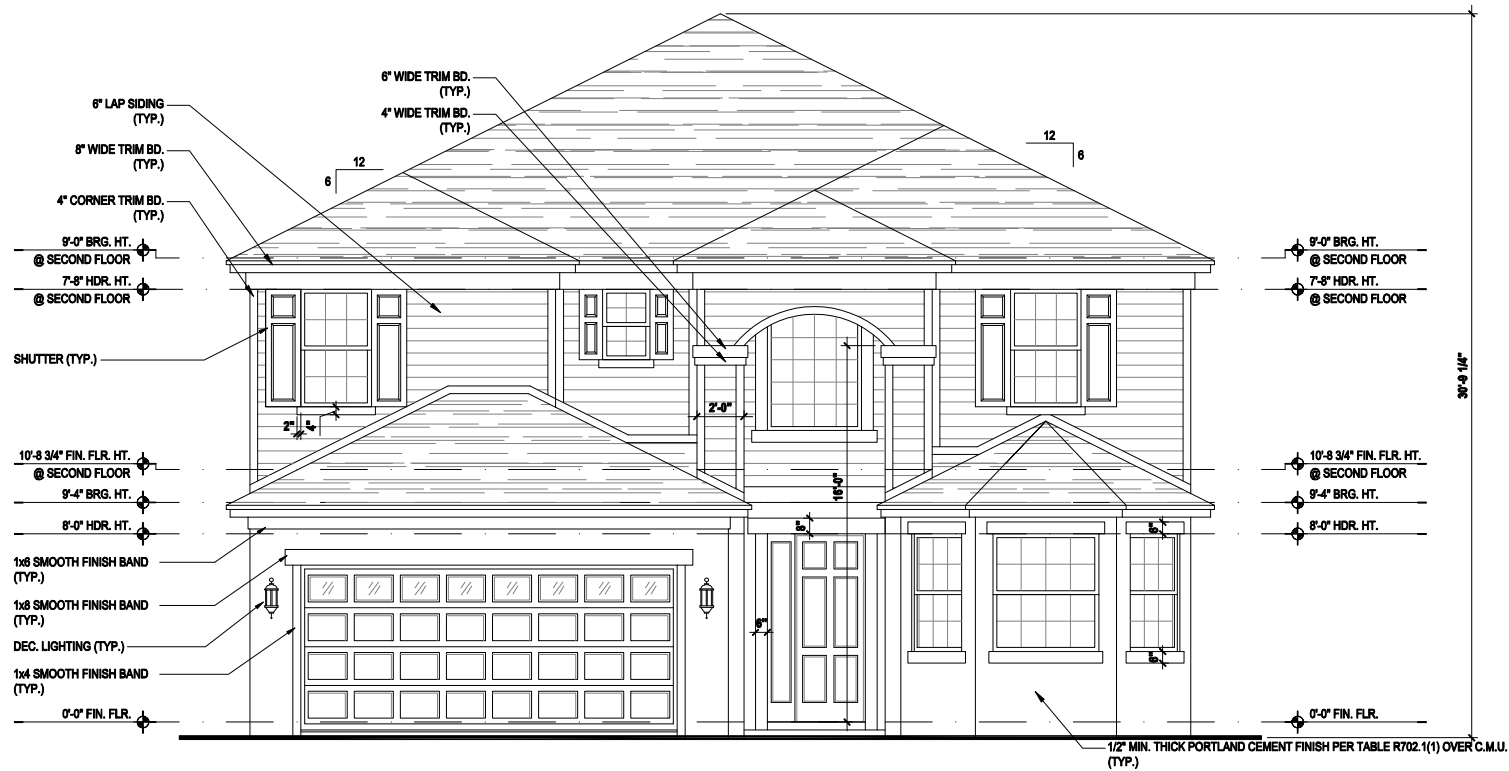
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 Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
04-A1.4

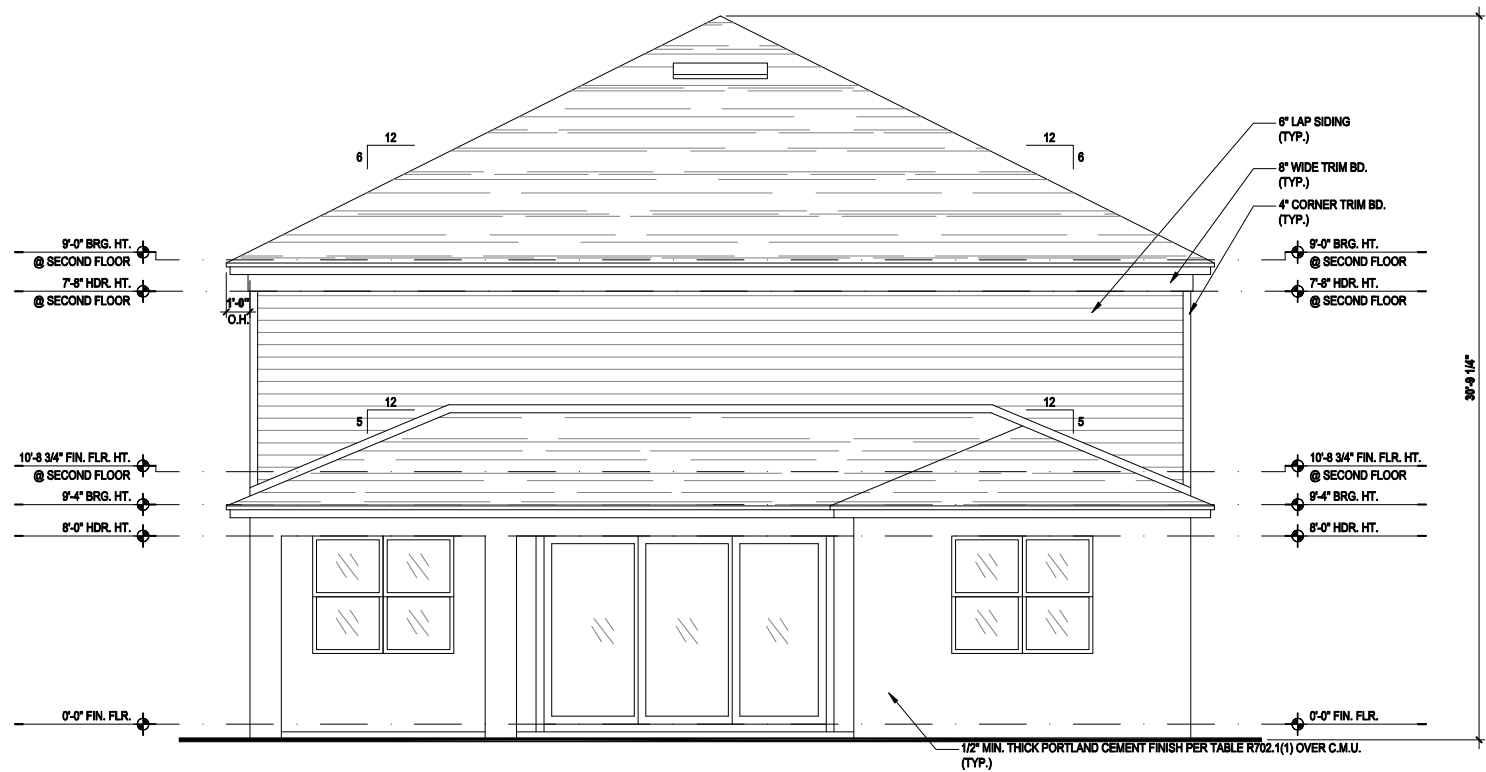
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Front Elevation "A" w/ Siding

(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

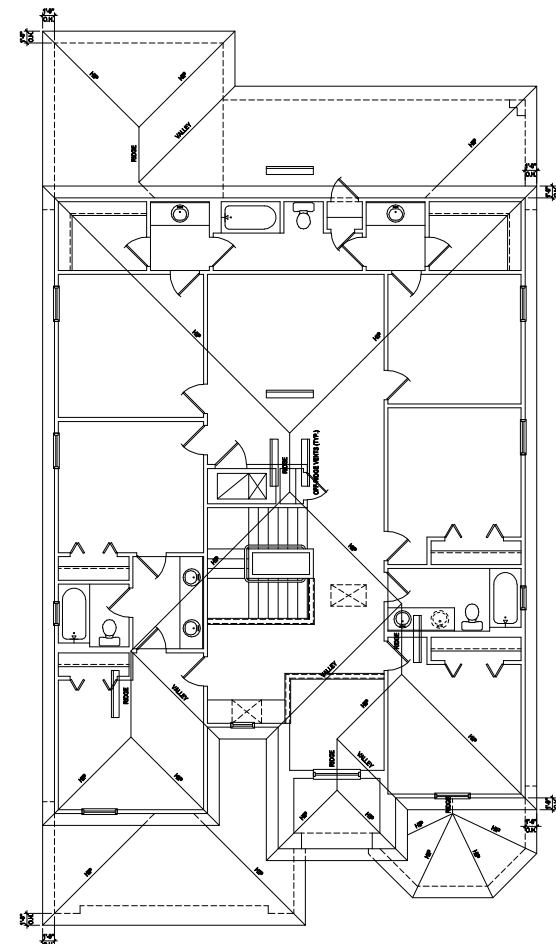
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE REQUIRED 300

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS: 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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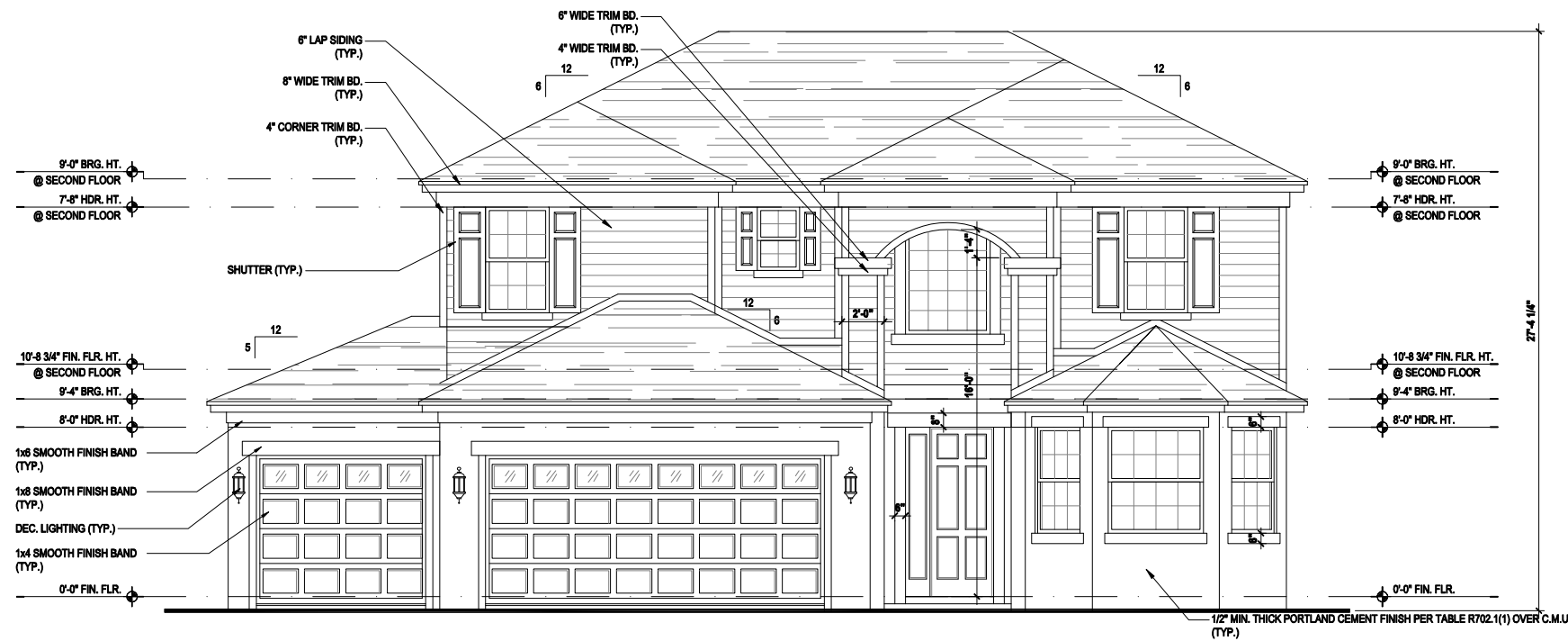
40-3145
VENICE
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Park Square HOMES

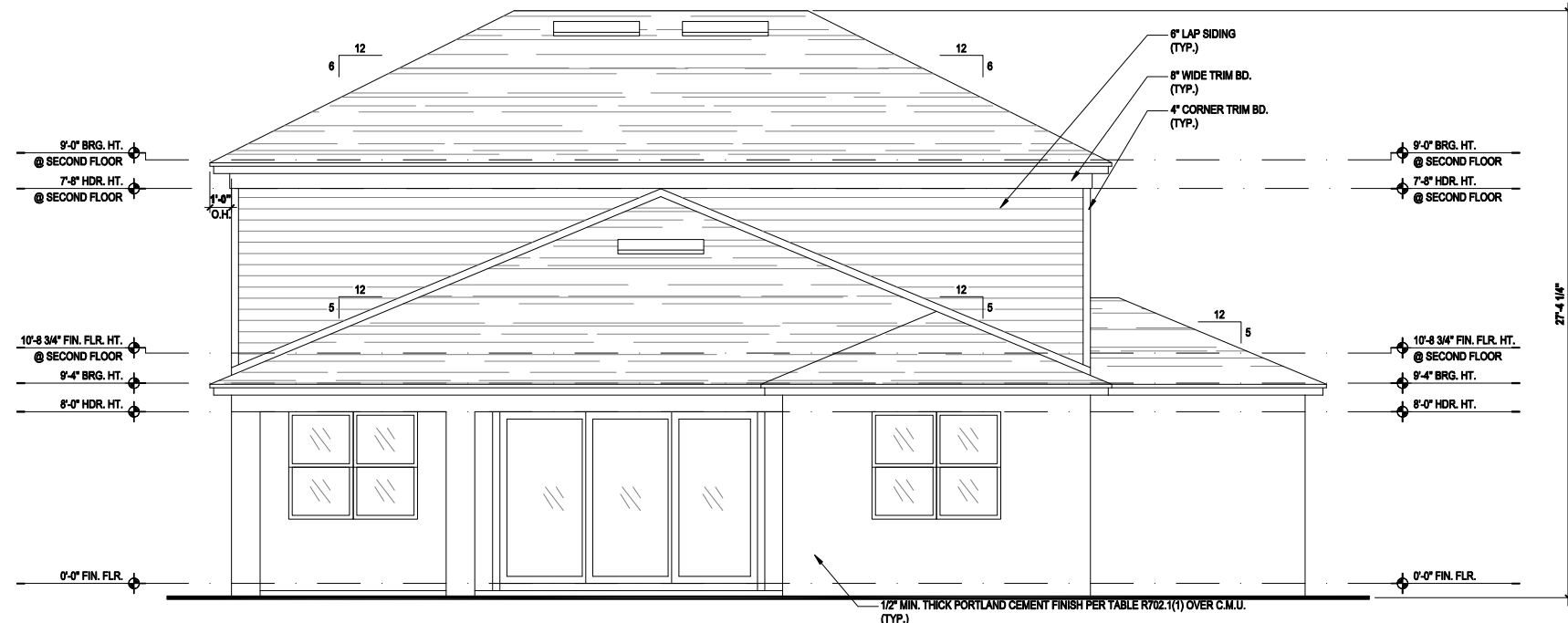
ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
04-A1.5



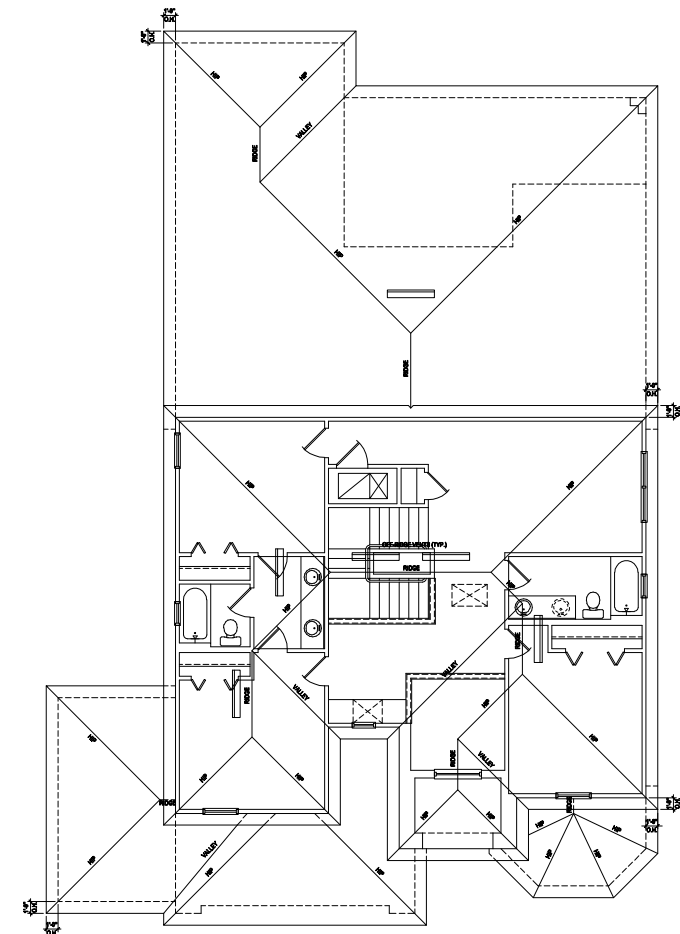
Front Elevation "A" w/ Siding
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

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UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
Check all dimensions and specifications against the drawings.
No field or shop changes to the dimensions, conditions and specifications appearing on these plans.

40-3145
VENICE
Lot # - Subdivision
Street Address
City, State, Zip

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Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE: 11/03/2017

REVISIONS

PROJECT: 17-0206

SCALE: AS NOTED

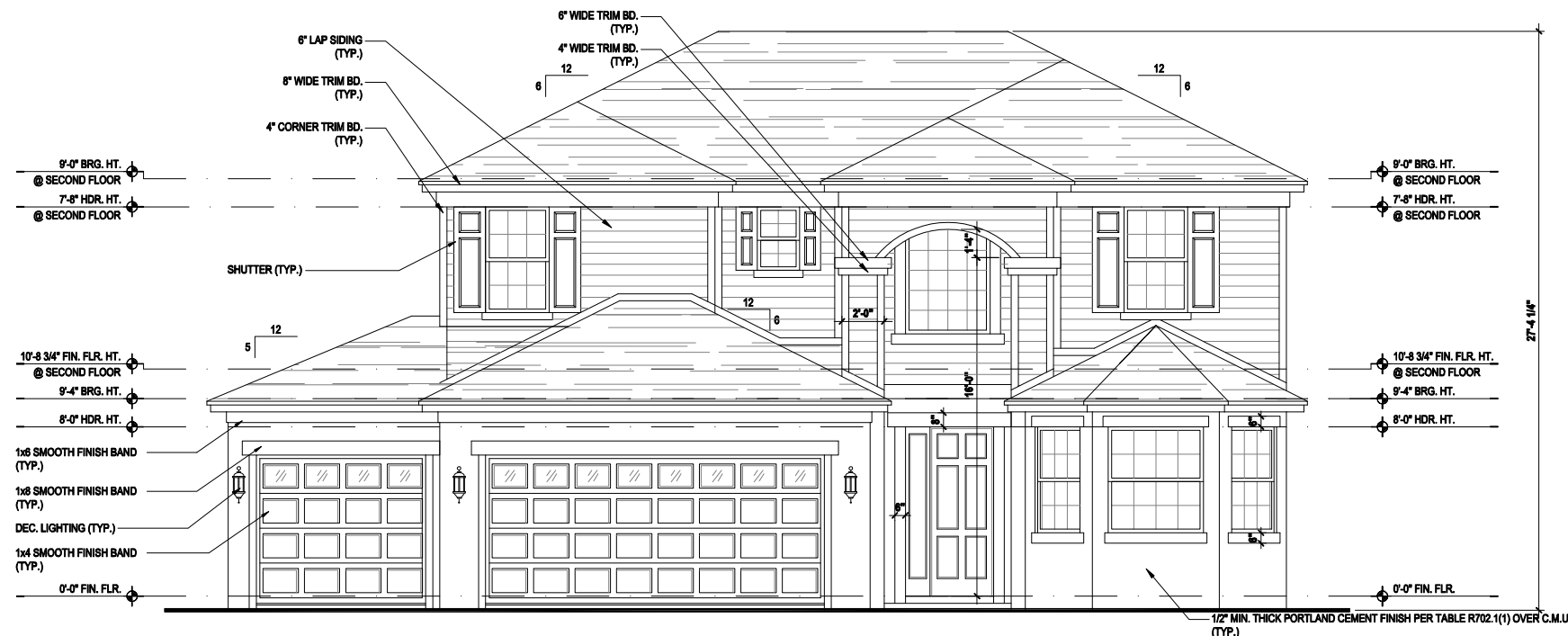
DRAWN BY: KJ

DESIGNED BY: MJS

ELEVATIONS "A"

04-A1.6

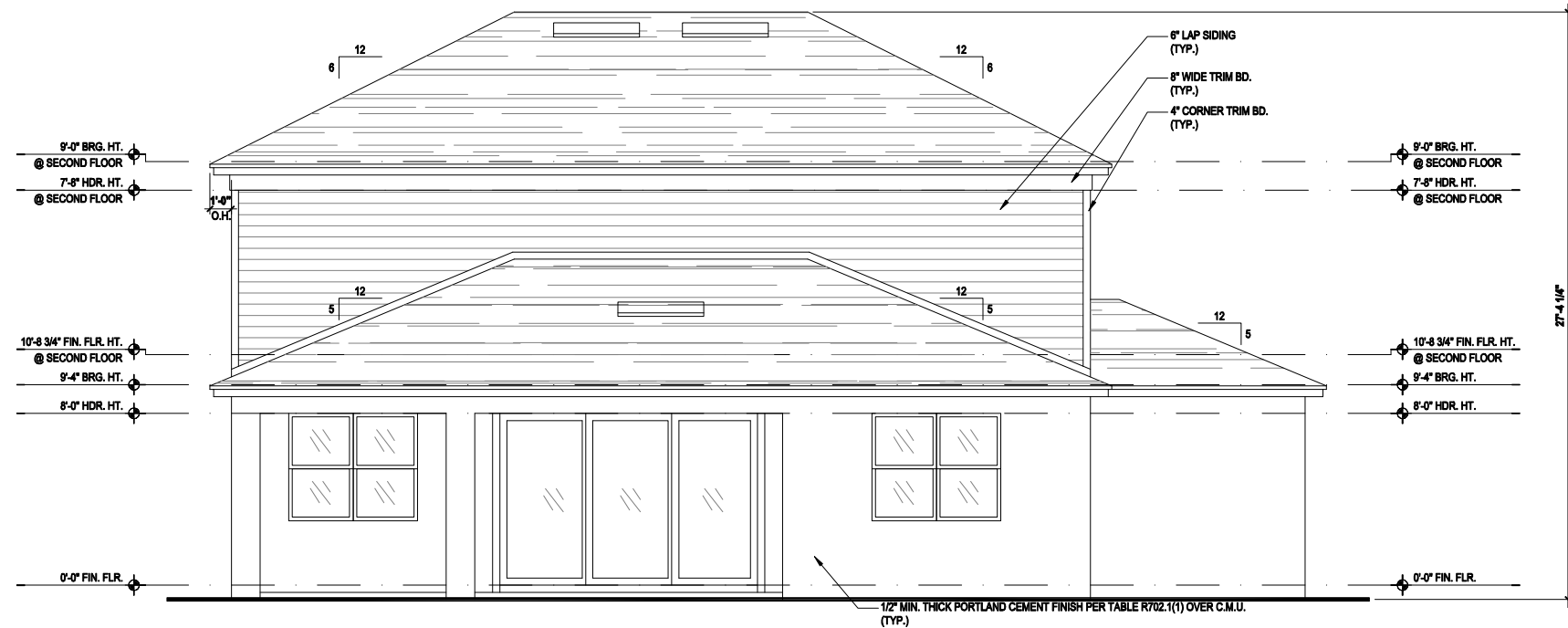
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Front Elevation "A" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
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IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

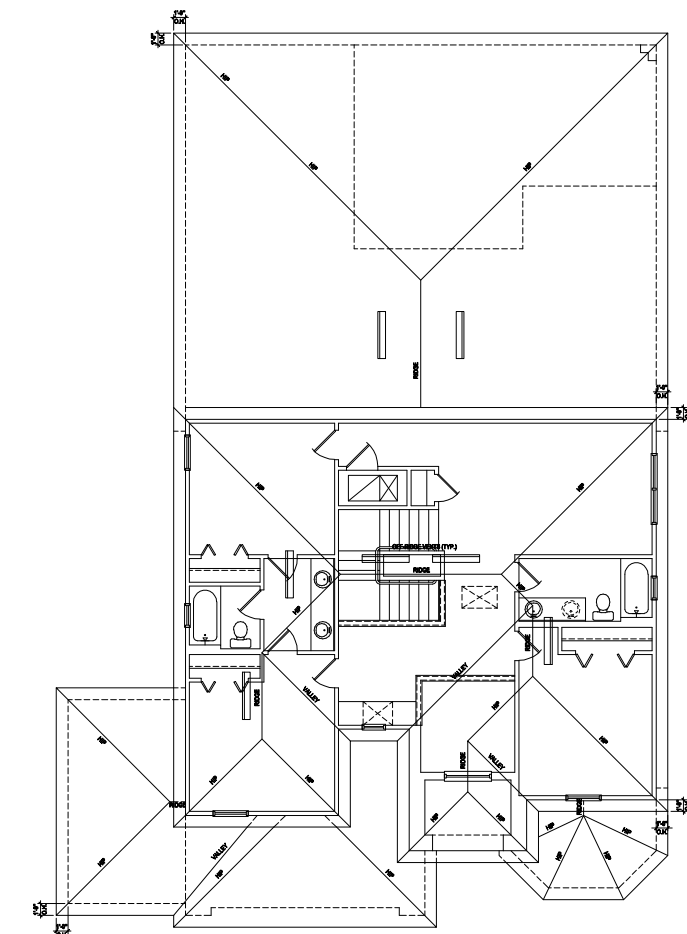
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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40-3145
VENICE
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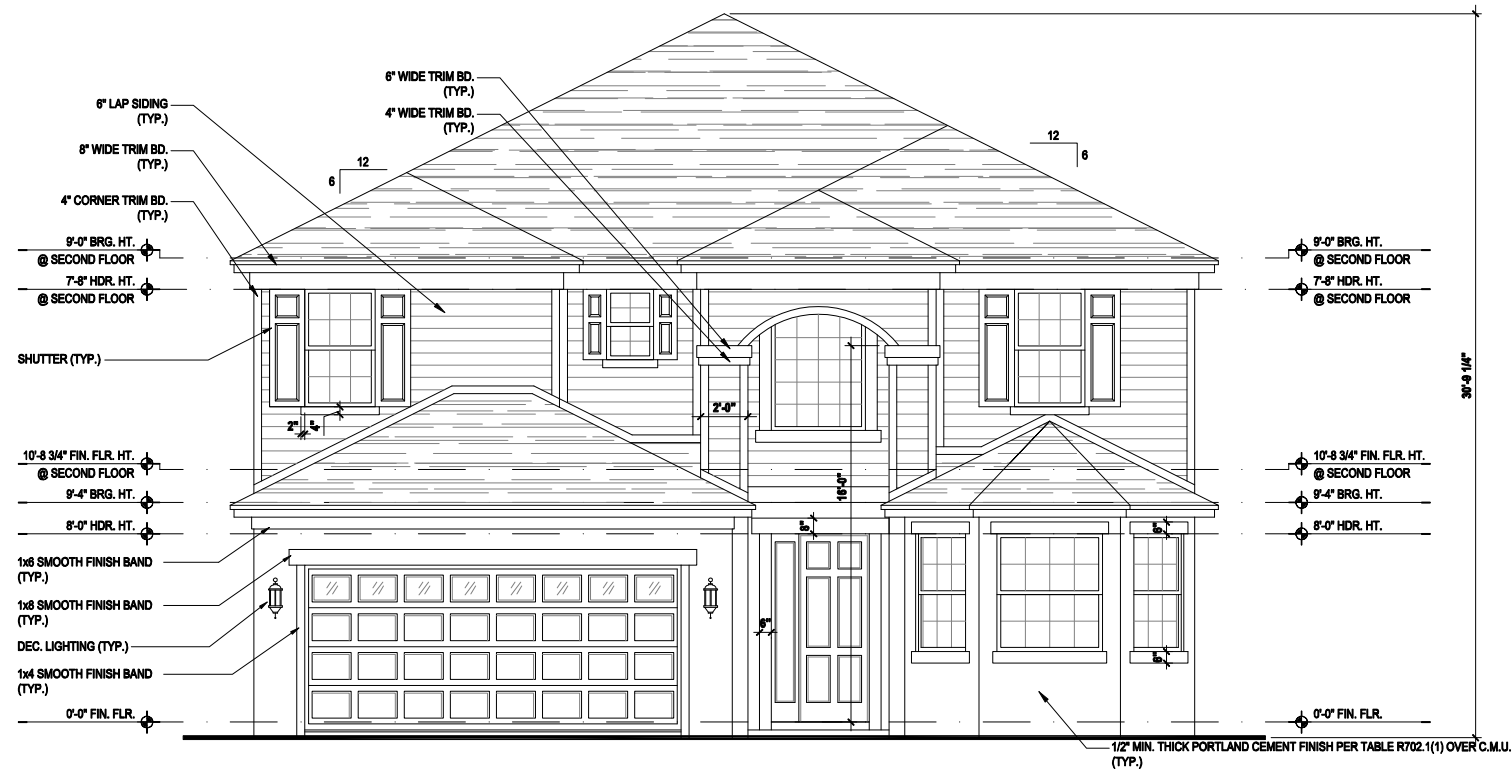
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Park Square HOMES

ISSUE DATE: 11/03/2017
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PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
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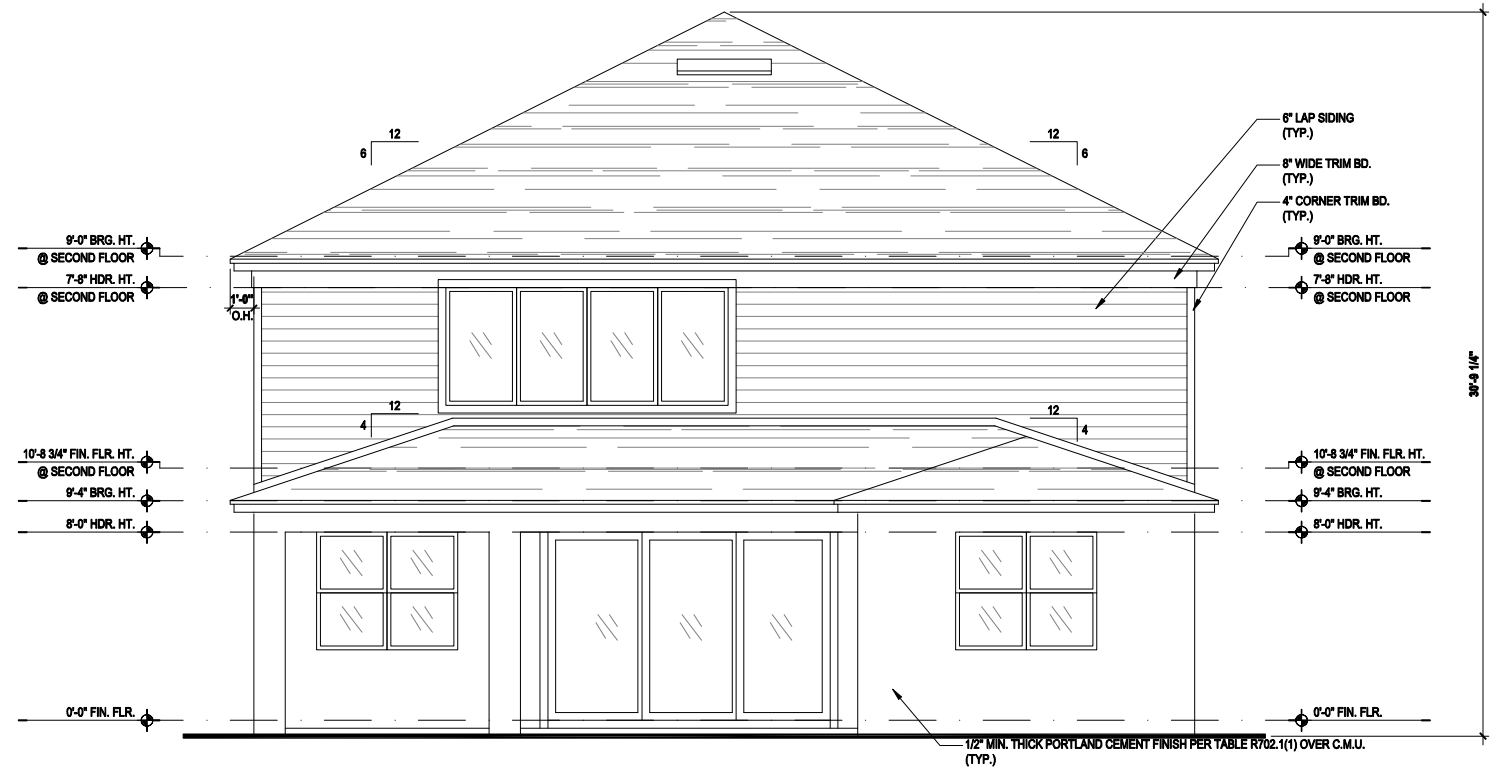
ELEVATIONS "A"
04-A1.7

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Front Elevation "A" w/ Siding

(Opt. Extended Bonus Rm.)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A" w/ Siding

(Opt. Extended Bonus Rm.)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
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 SPACE.

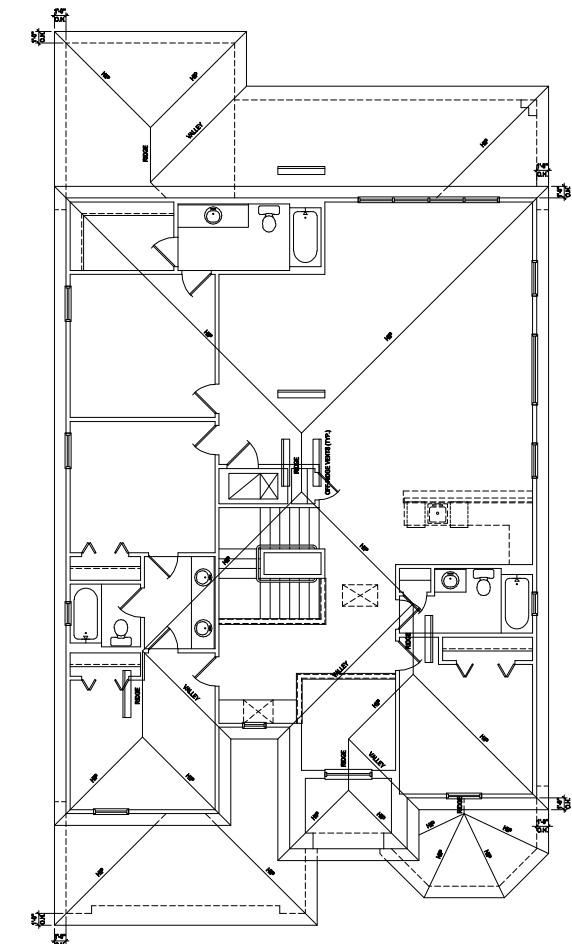
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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40-3145
VENICE
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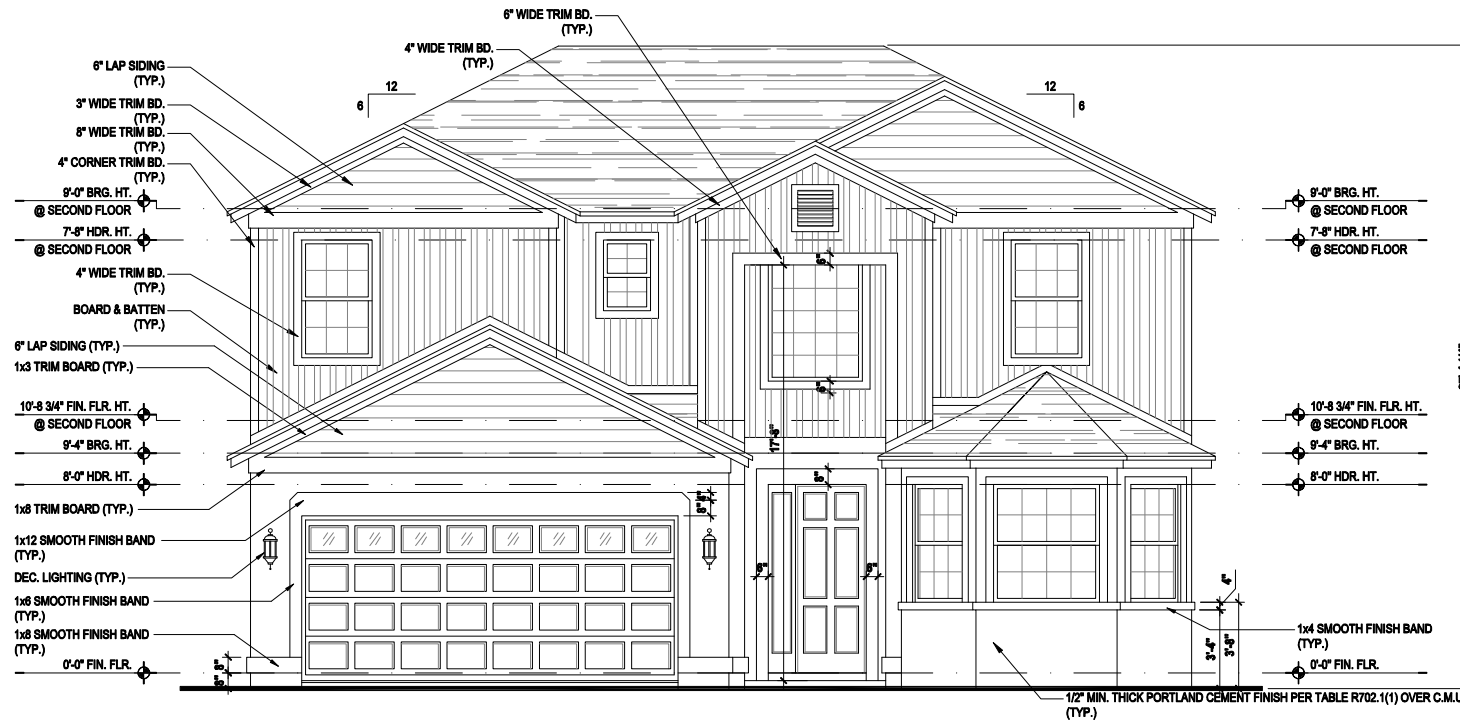
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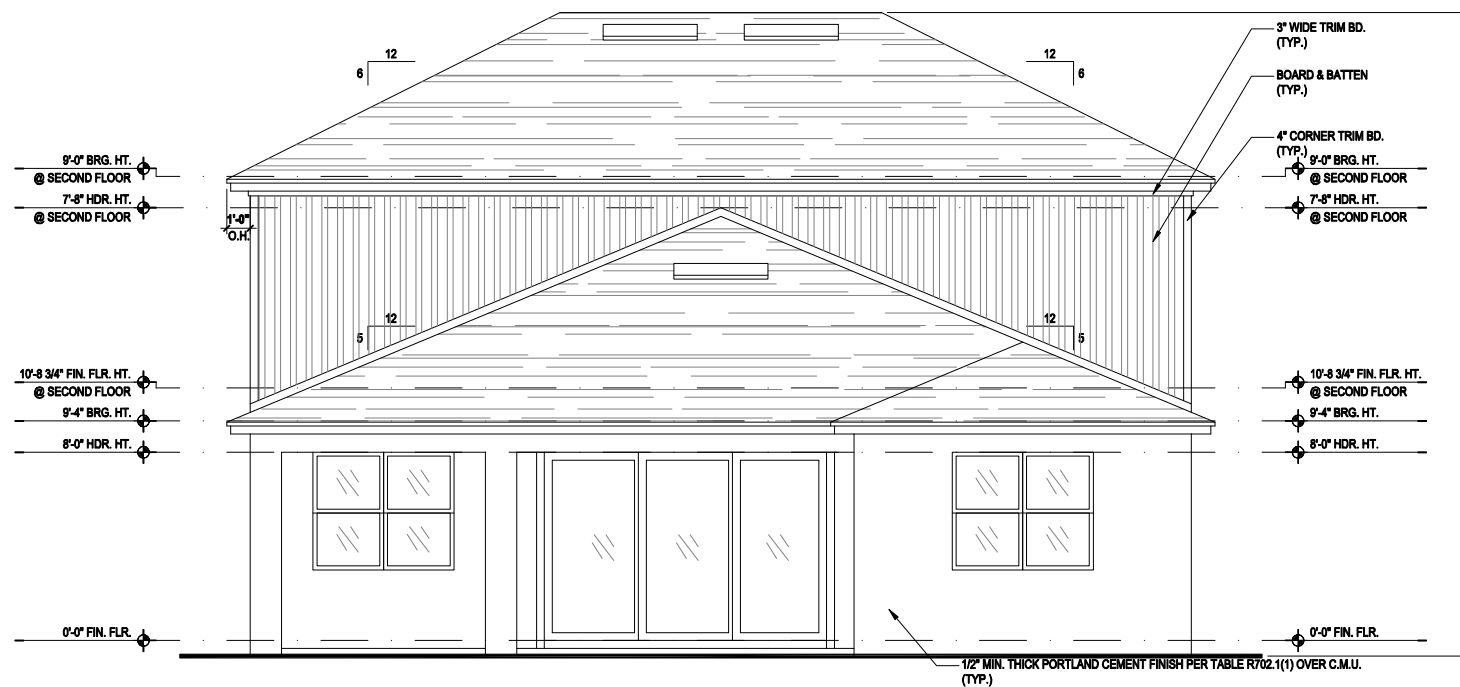
ELEVATIONS "A"
04-A1.8

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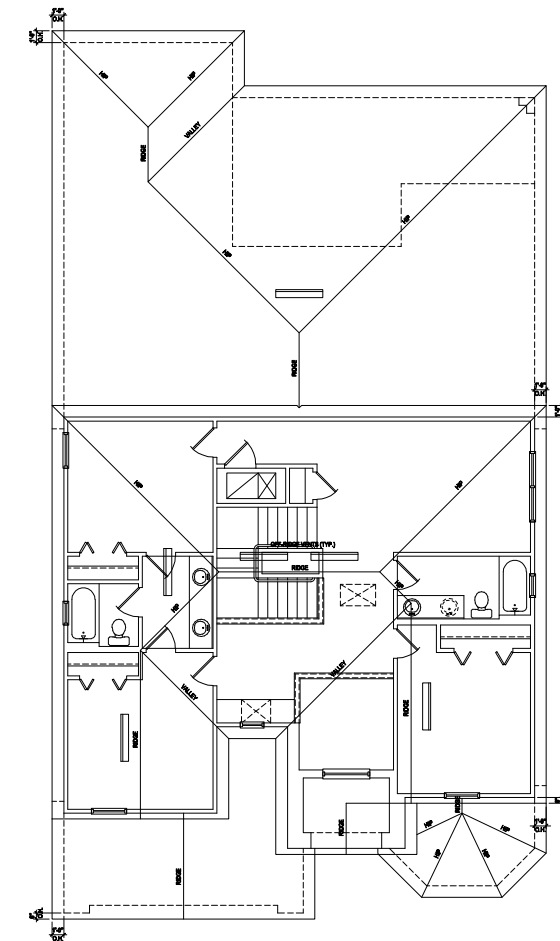
Front Elevation "B" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

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(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED W/ SOFFITS @ EAVE:
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UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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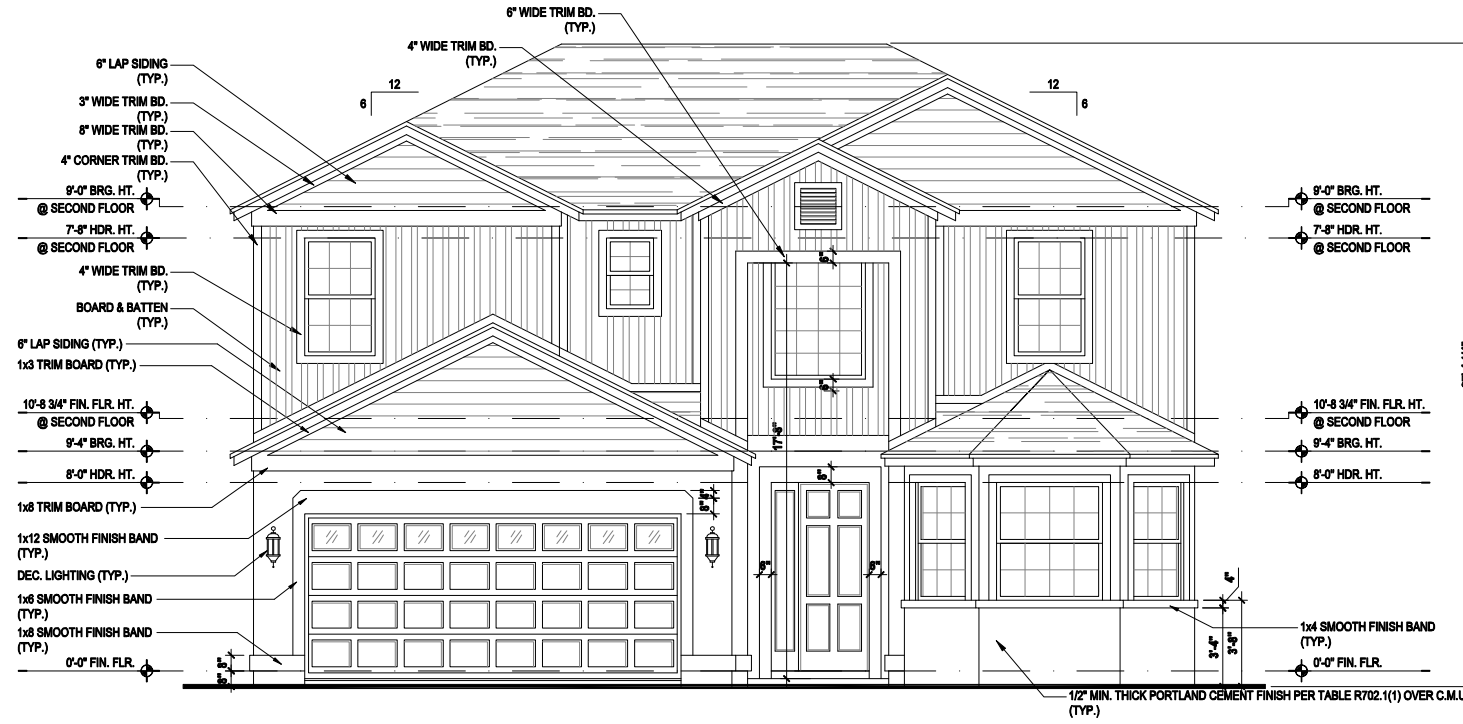
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Park Square
HOMES

ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "B"
04-B1

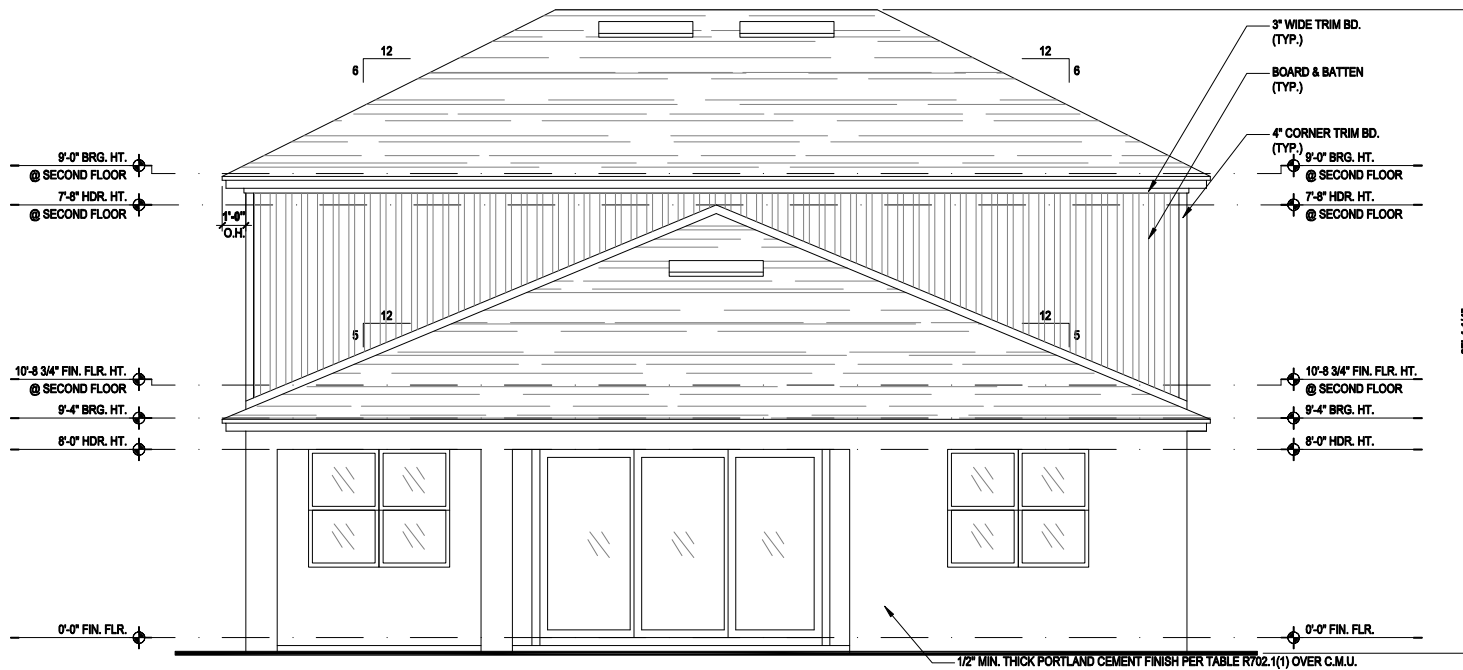
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Front Elevation "B" w/ Siding

(Opt. Ext. Cov. Patio)

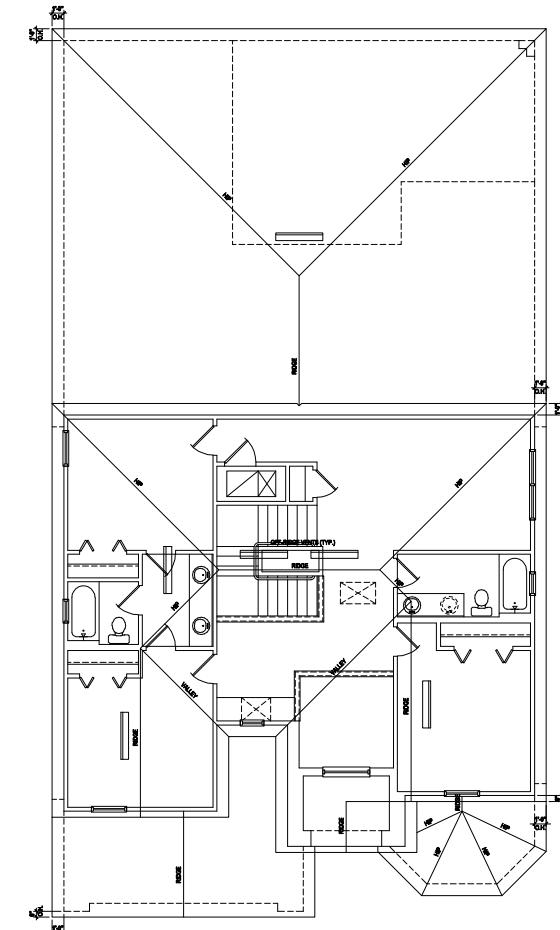
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/6 OF VENTED
SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

815 Orienta Ave. Suite# 1040
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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
Check for errors and omissions. All dimensions are in feet and inches unless
notified in writing of any changes to the dimensions, conditions and specifications appearing on these plans.

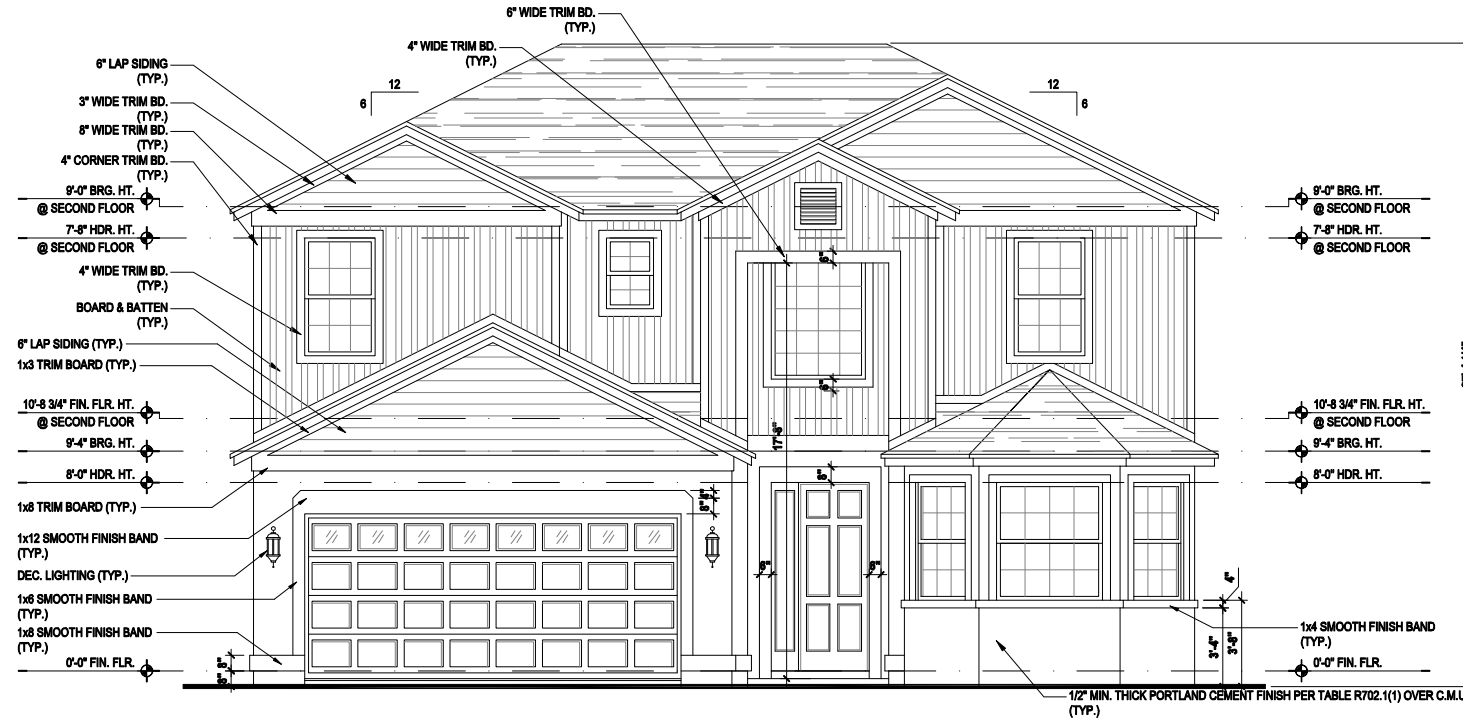
40-3145
VENICE
Lot # - Subdivision
Street Address
City, State, Zip

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Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

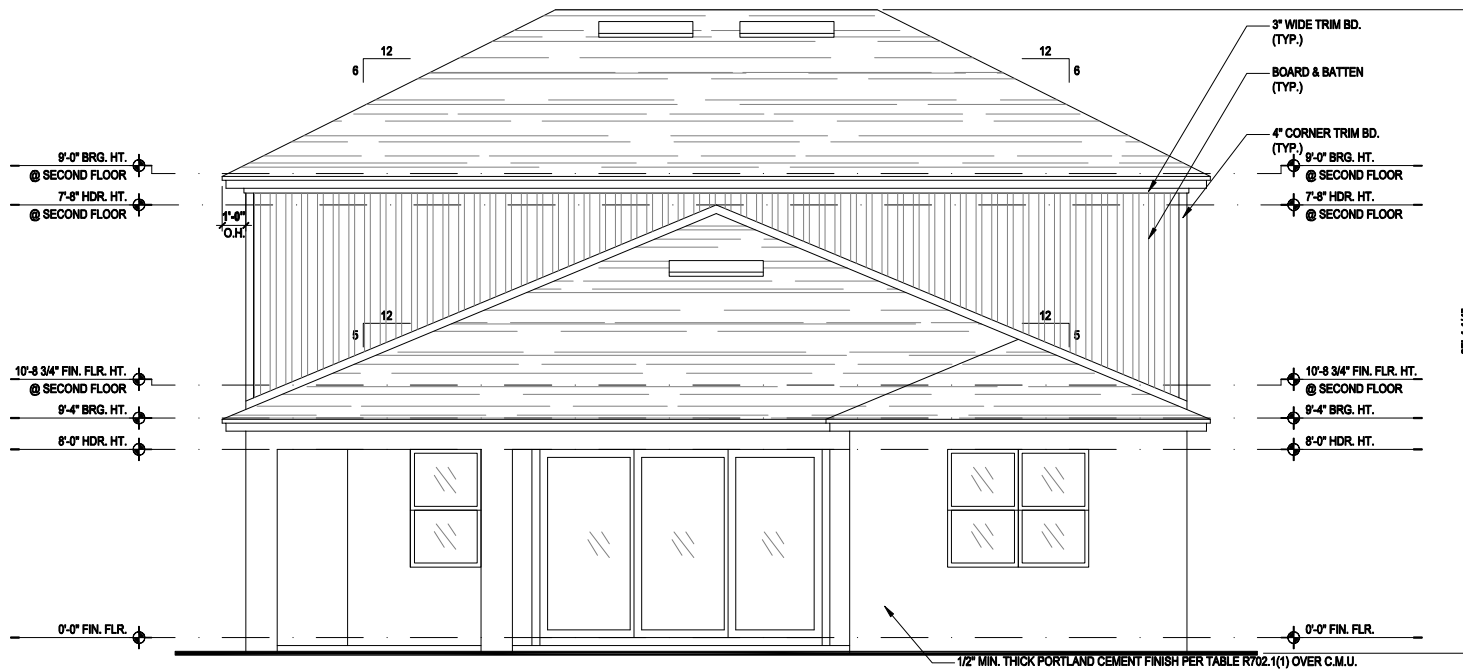
ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

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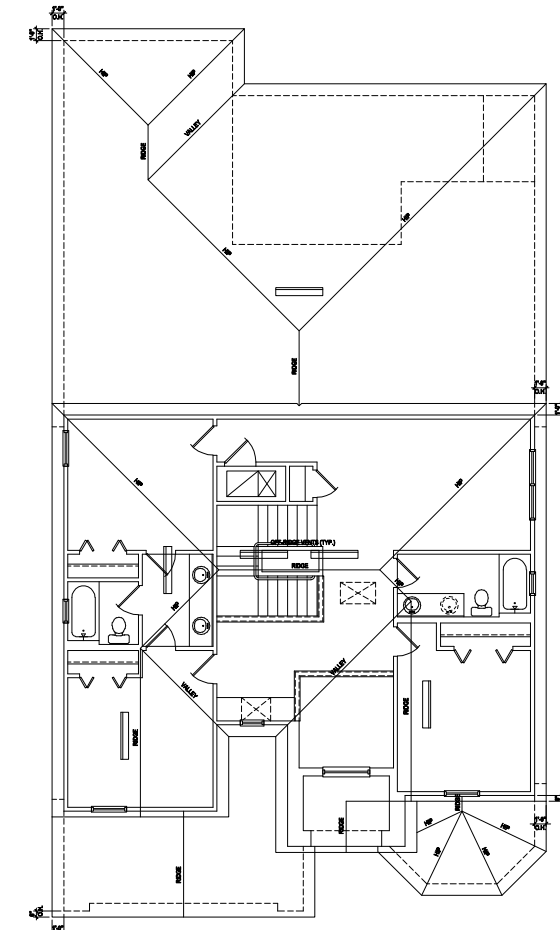
Front Elevation "B" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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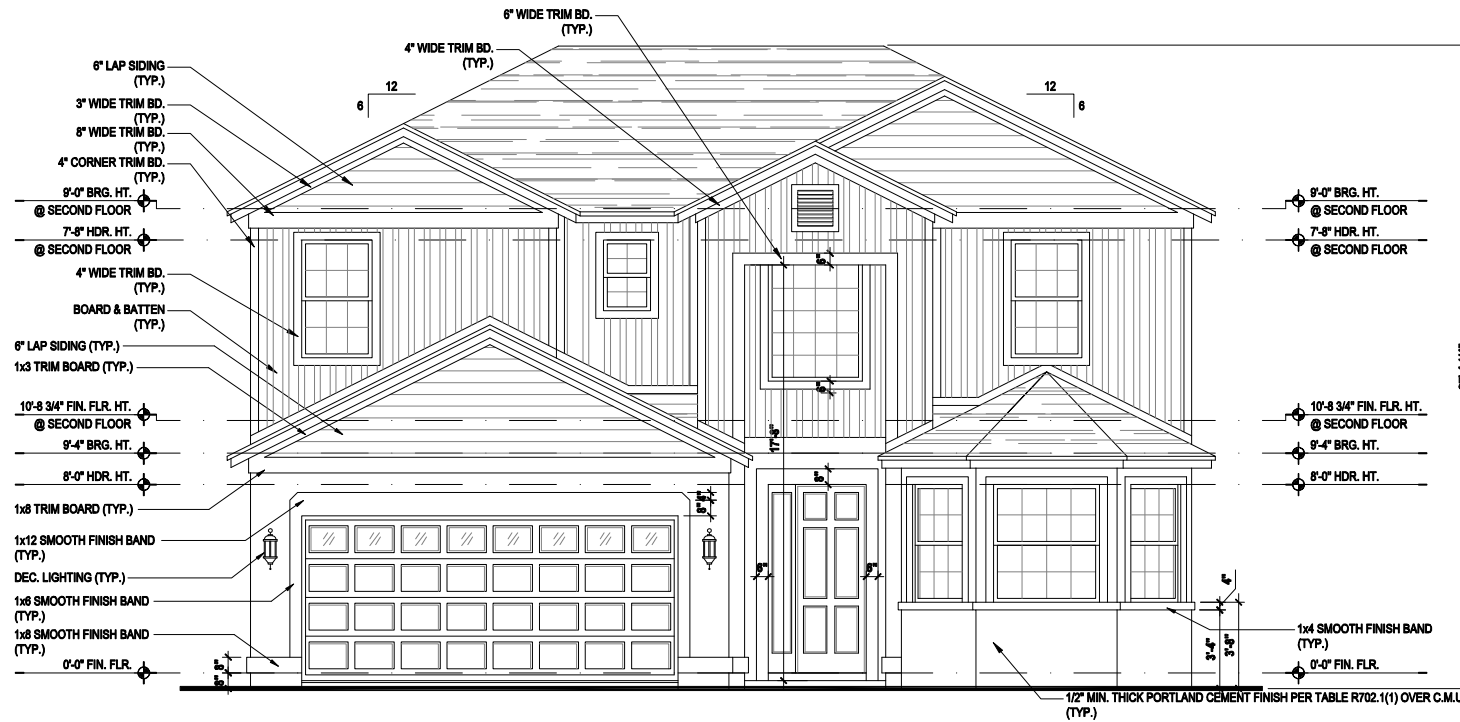
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Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

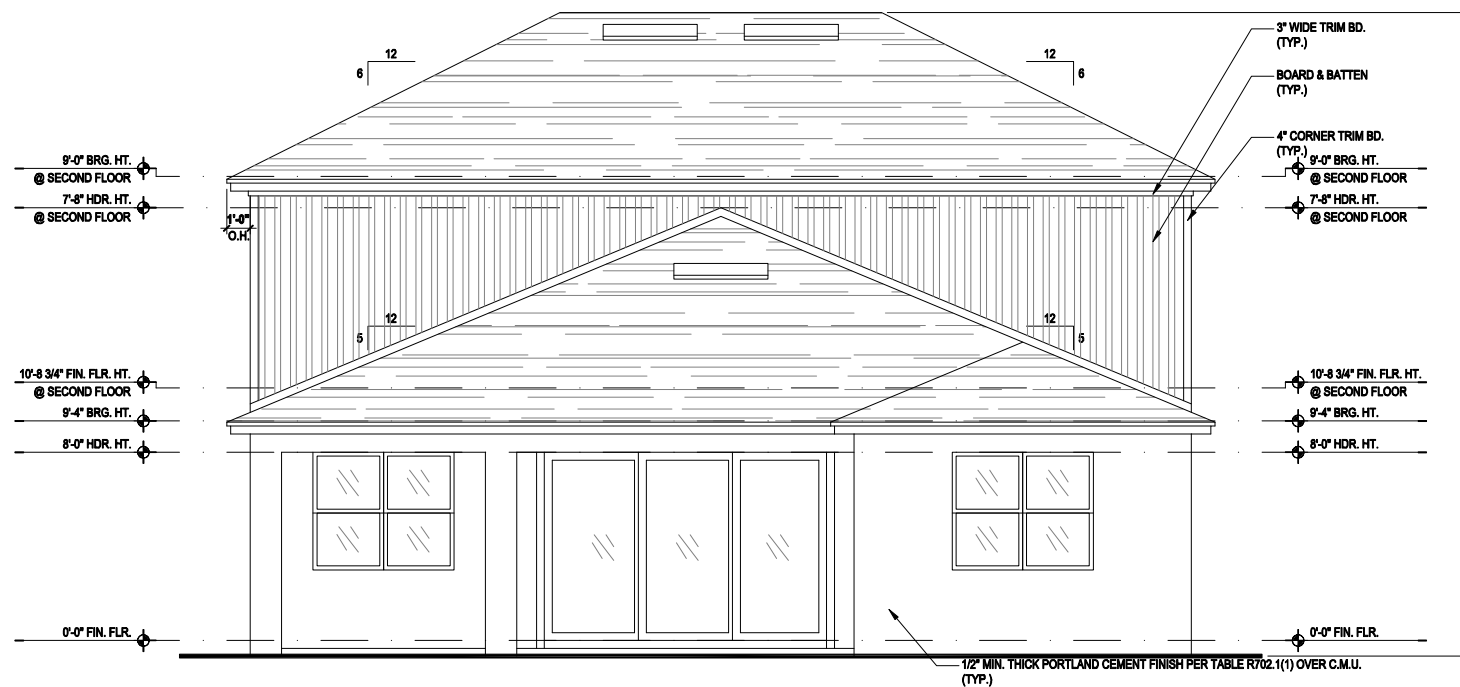
ELEVATIONS "B"
04-B1.2

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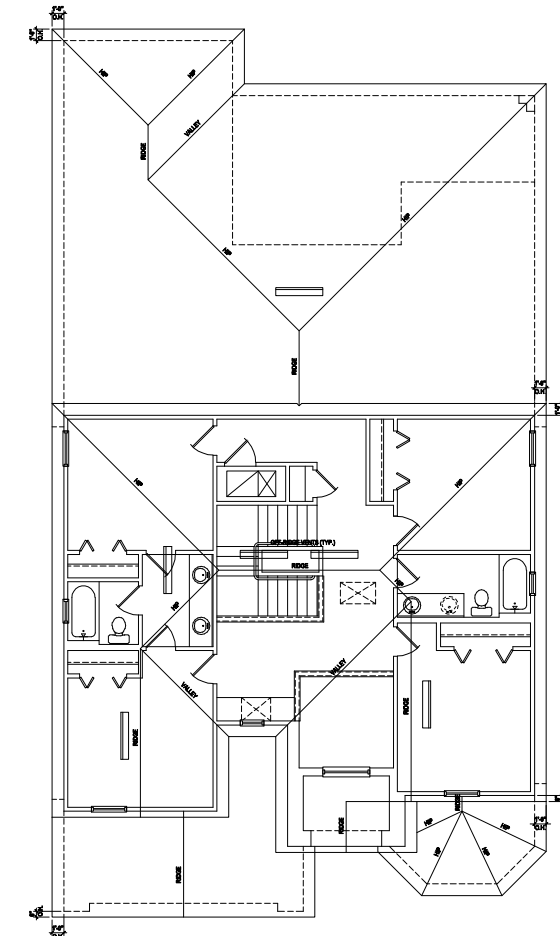
Front Elevation "B" w/ Siding
(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding
(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
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IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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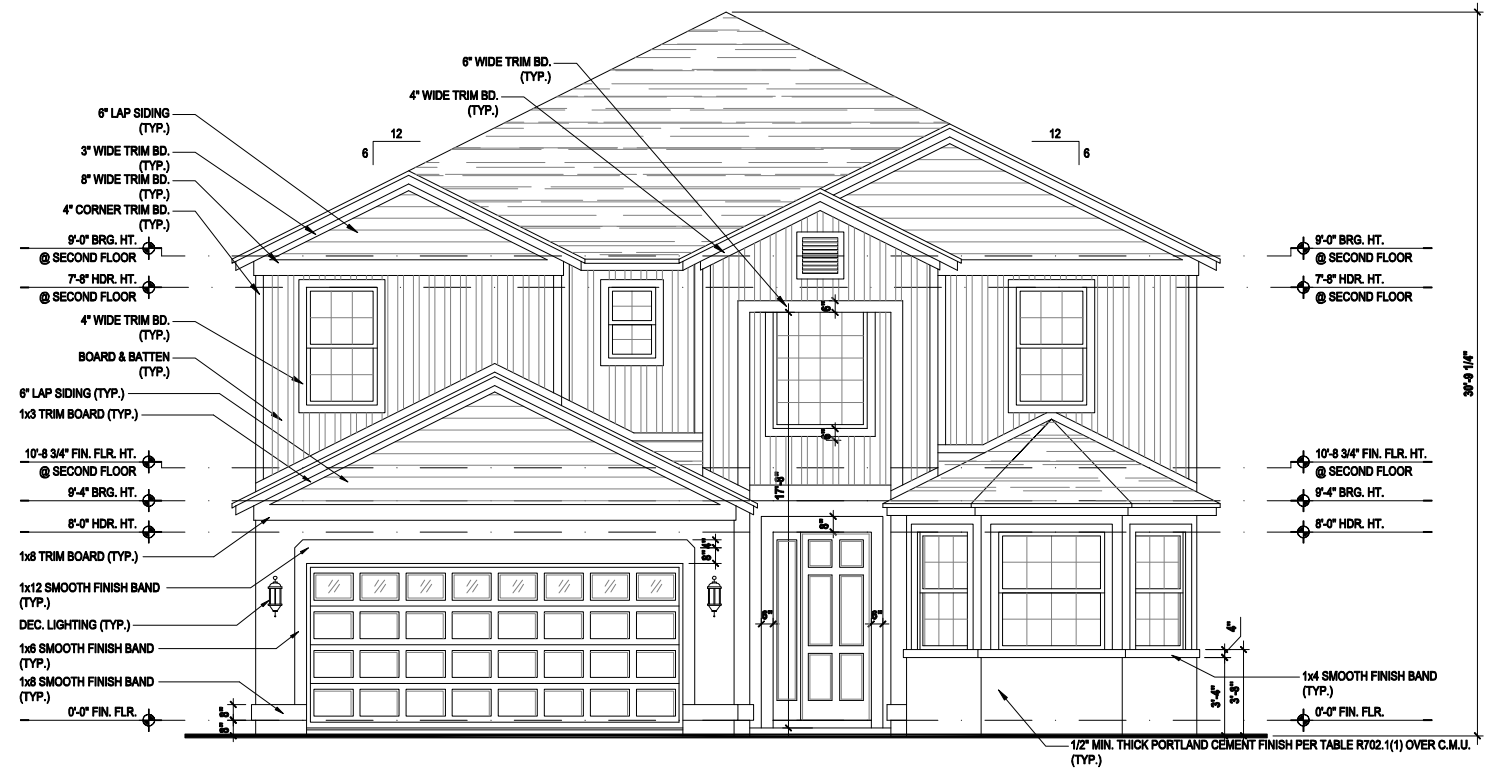
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ISSUE DATE	11/03/2017
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "B"
04-B1.3

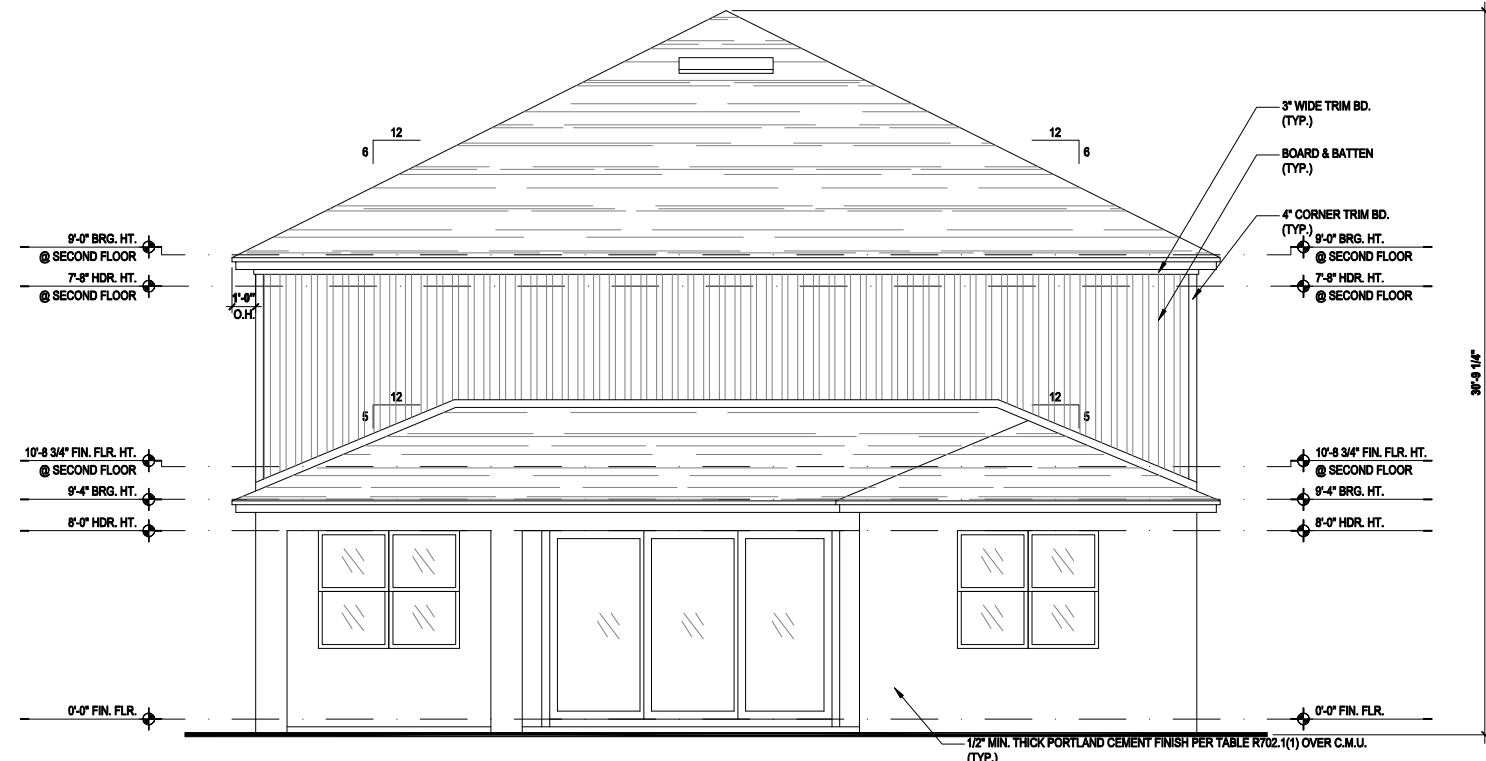
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Front Elevation "B" w/ Siding

(Opt. Bed 5, 6 & Flex)

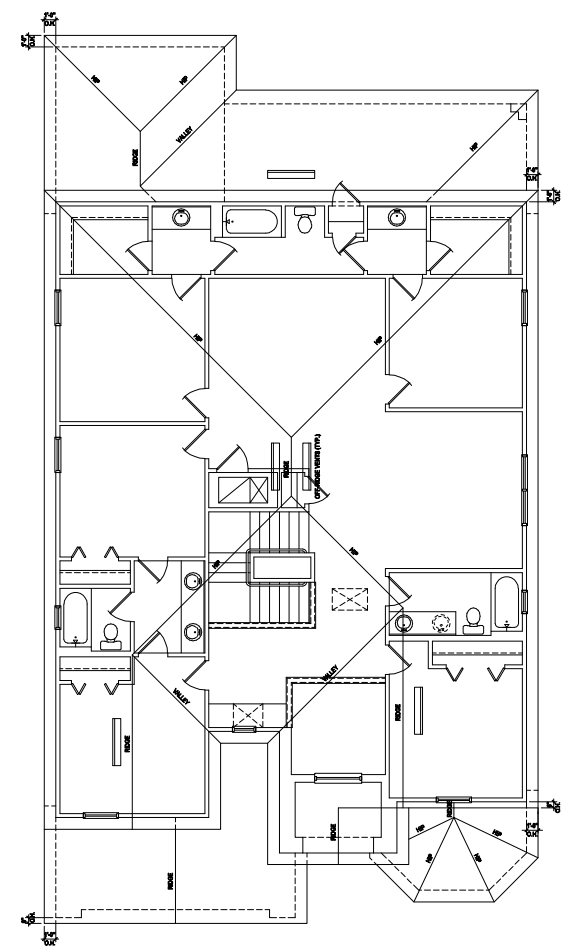
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 Conflicts shall be resolved in favor of the written dimensions, conditions and specifications appearing on these plans.
 Conflicts in writing shall be resolved in the dimensions, conditions and specifications appearing on these plans.

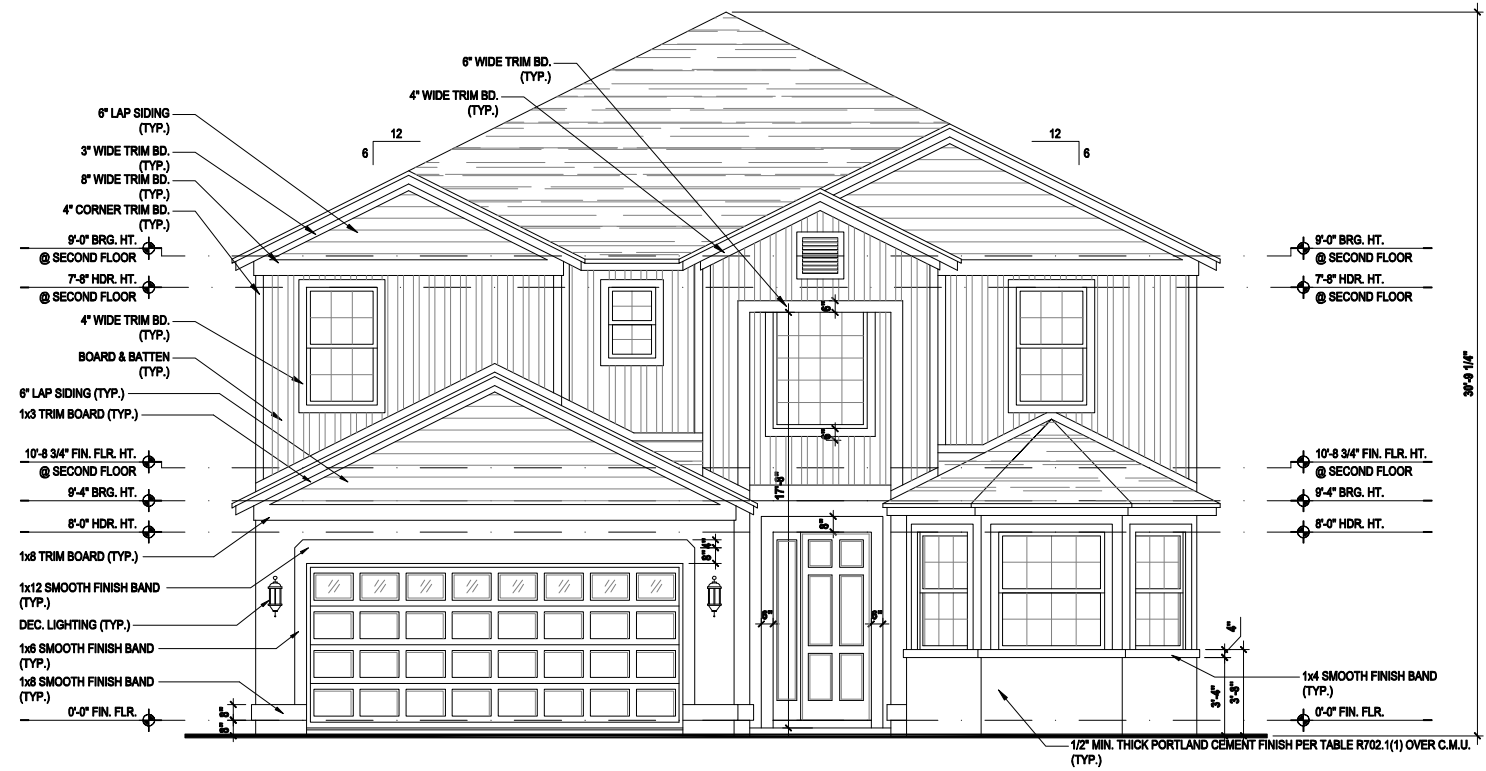
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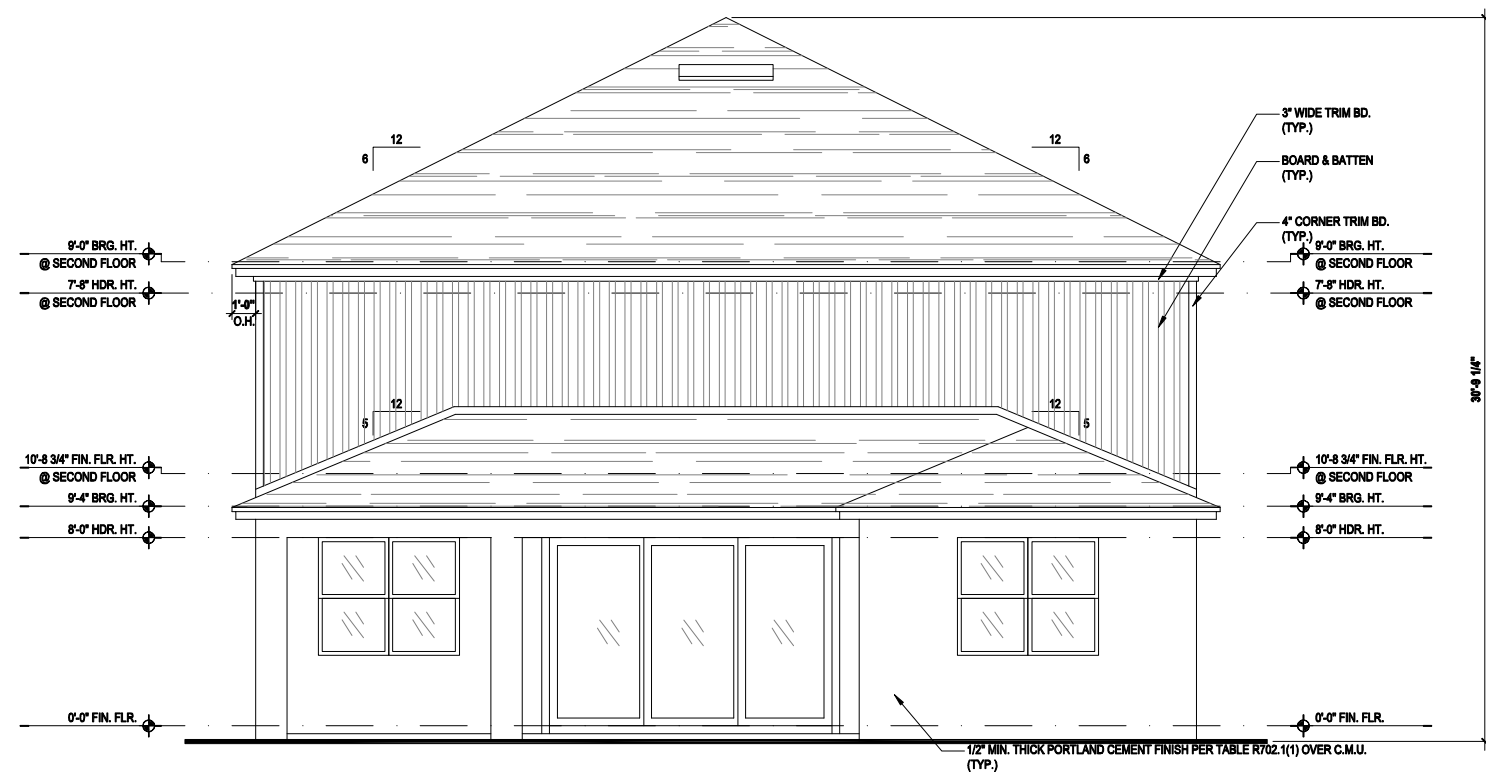
ISSUE DATE: 11/03/2017
 REVISIONS:
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

ELEVATIONS "B"
04-B1.4



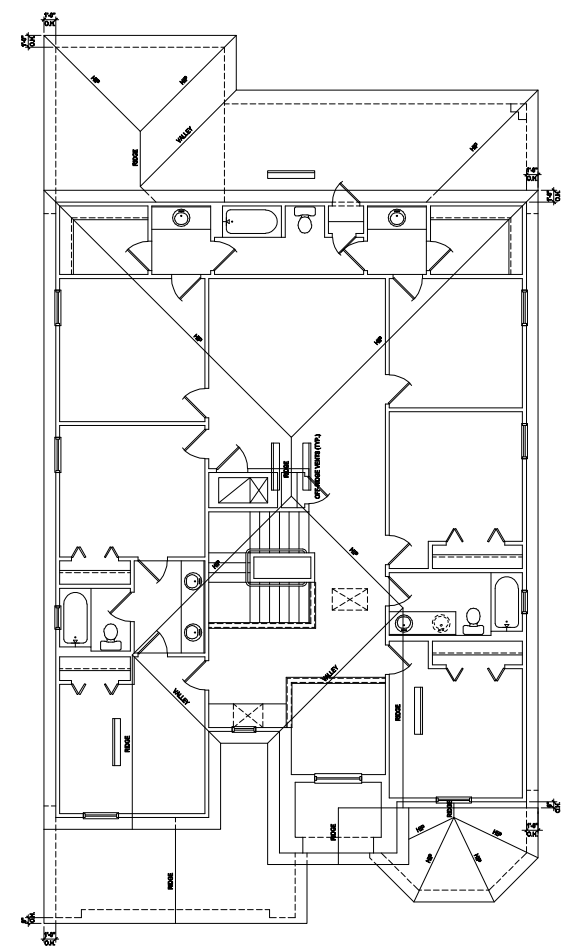
Front Elevation "B" w/ Siding
(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding
(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

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MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
Consult with manufacturer for dimensions, conditions and specifications regarding all finish products.

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Street Address
City, State, Zip

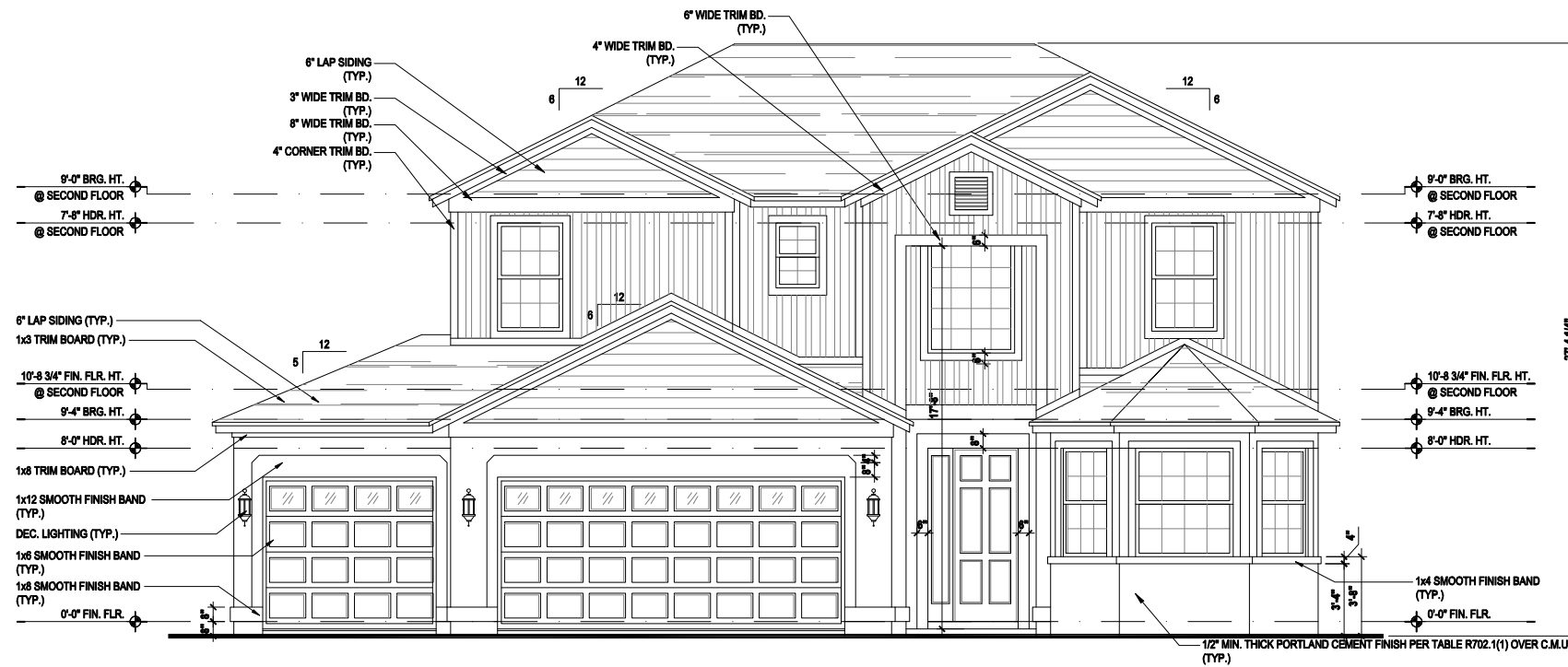
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Park Square HOMES

ISSUE DATE: 11/03/2017
REVISIONS:
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

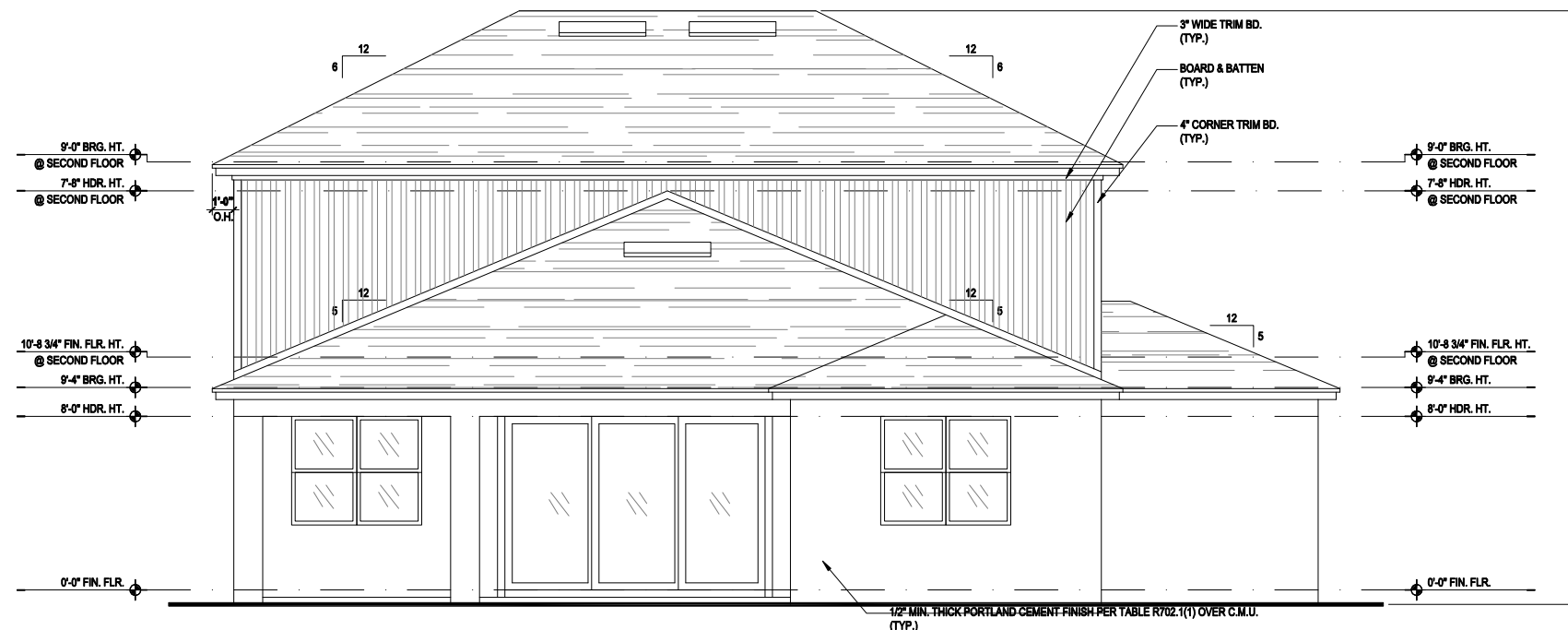
ELEVATIONS "B"
04-B1.5

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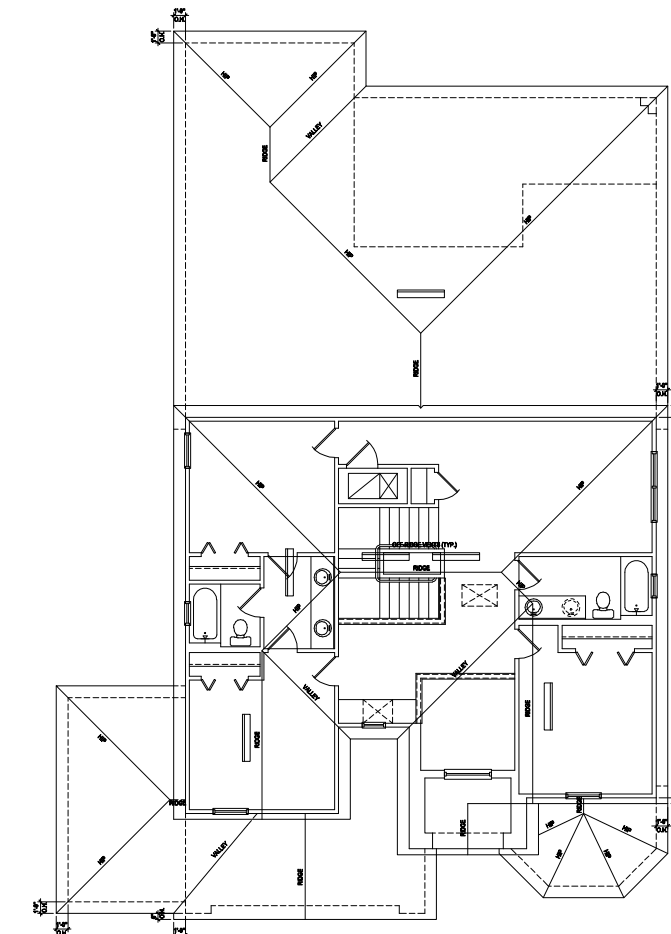
Front Elevation "B" w/ Siding
(Opt. 3-Car Garage)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding
(Opt. 3-Car Garage)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE REQUIRED
300

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED W/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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Check for consistency between drawings. All dimensions are in feet and inches unless otherwise noted. All dimensions are to the centerline unless otherwise noted.

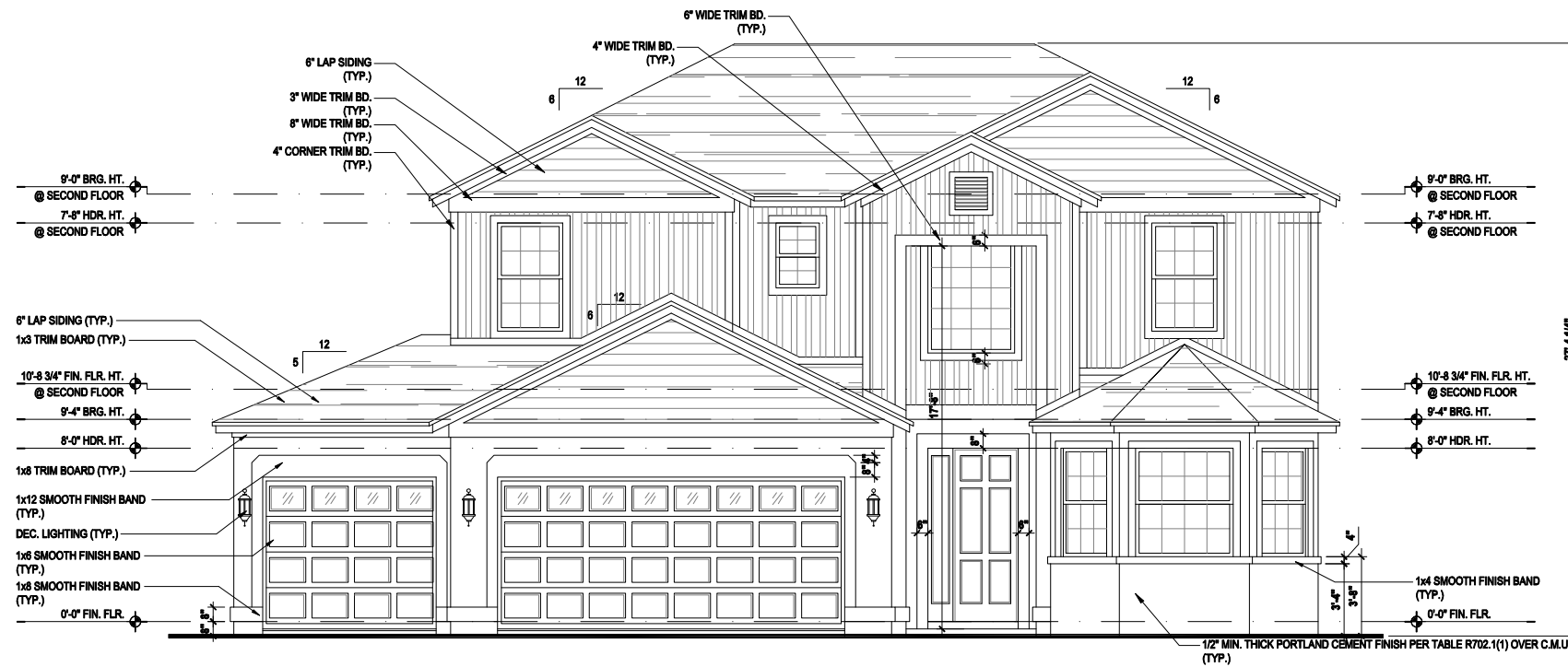
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Park Square HOMES

ISSUE DATE: 11/03/2017
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SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

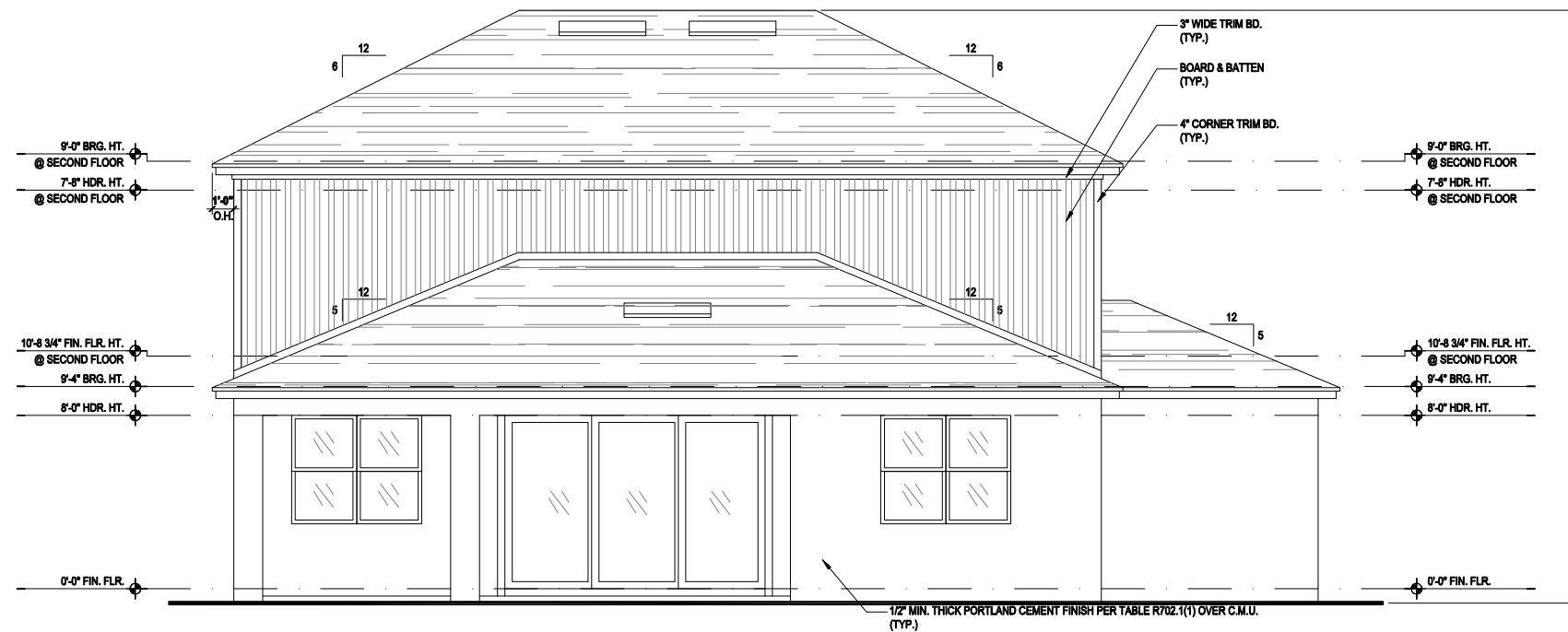
ELEVATIONS "A"
04-B1.6



Front Elevation "B" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/150 OF VENTED SPACE.

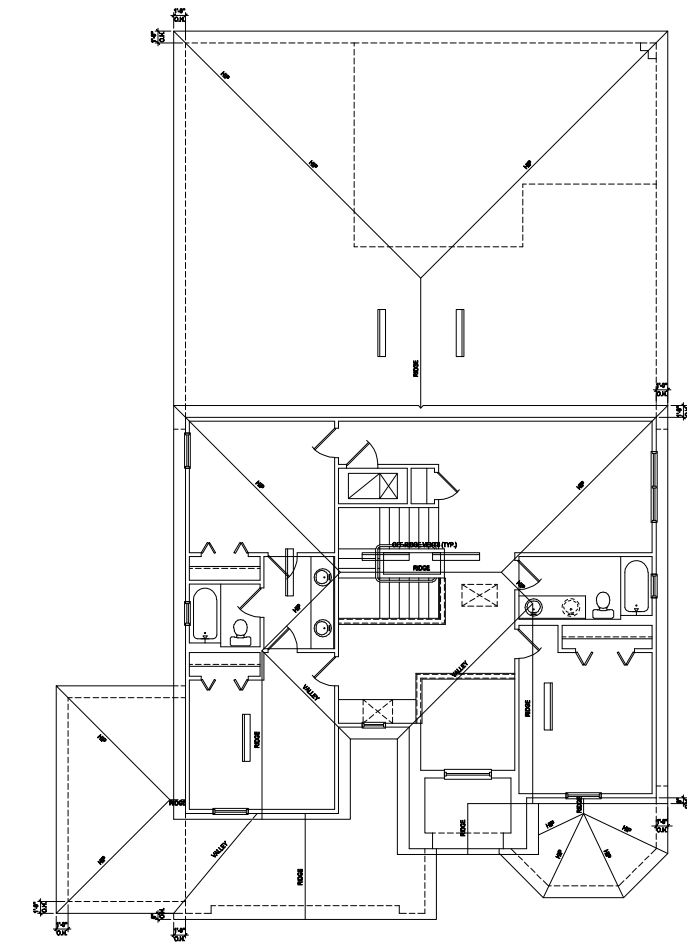
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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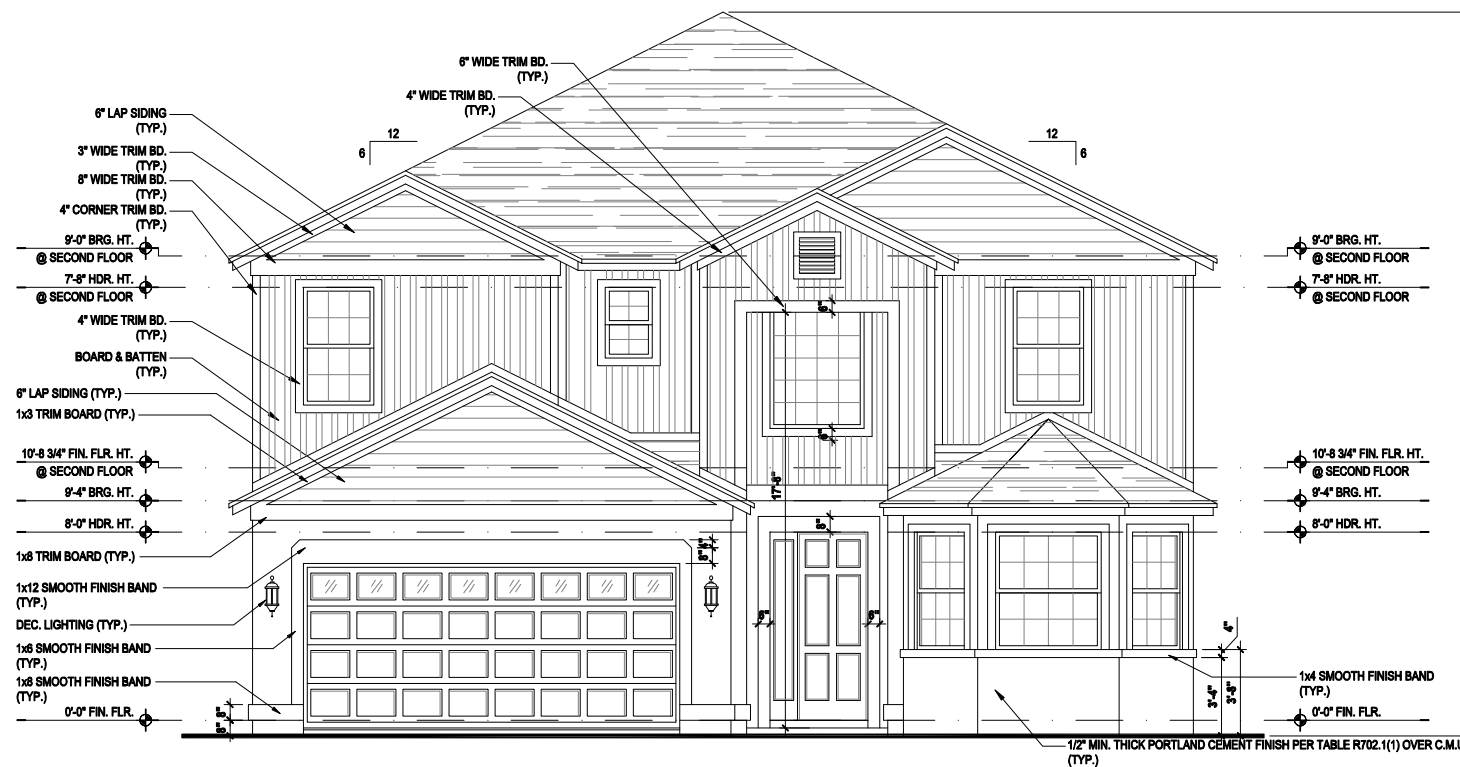
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ISSUE DATE	11/03/2017
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
04-B1.7

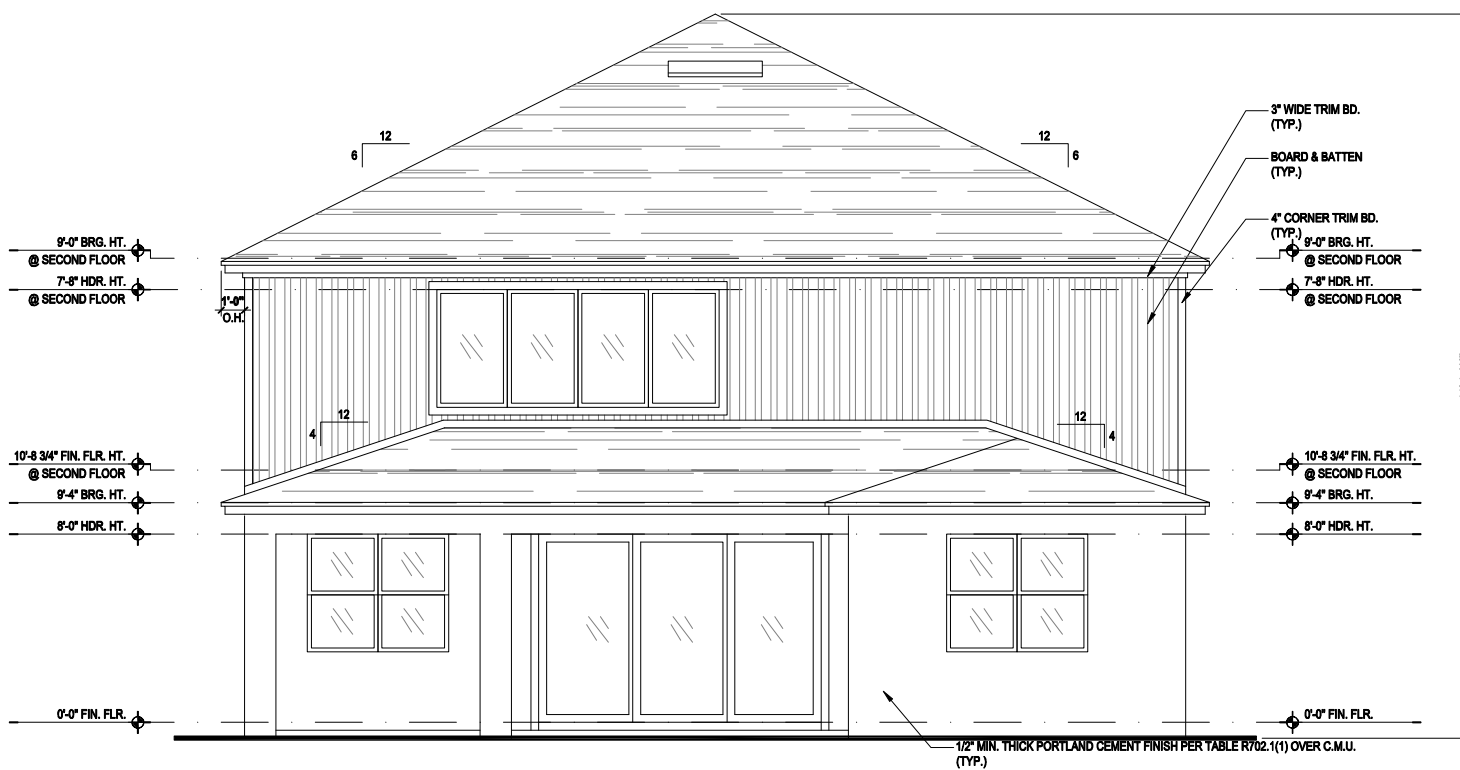
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Front Elevation "B" w/ Siding

(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B" w/ Siding

(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
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 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

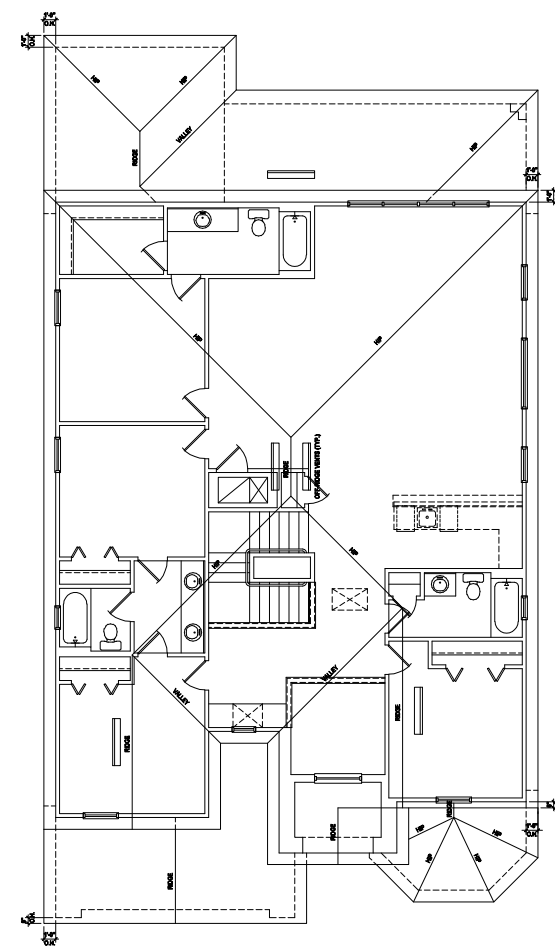
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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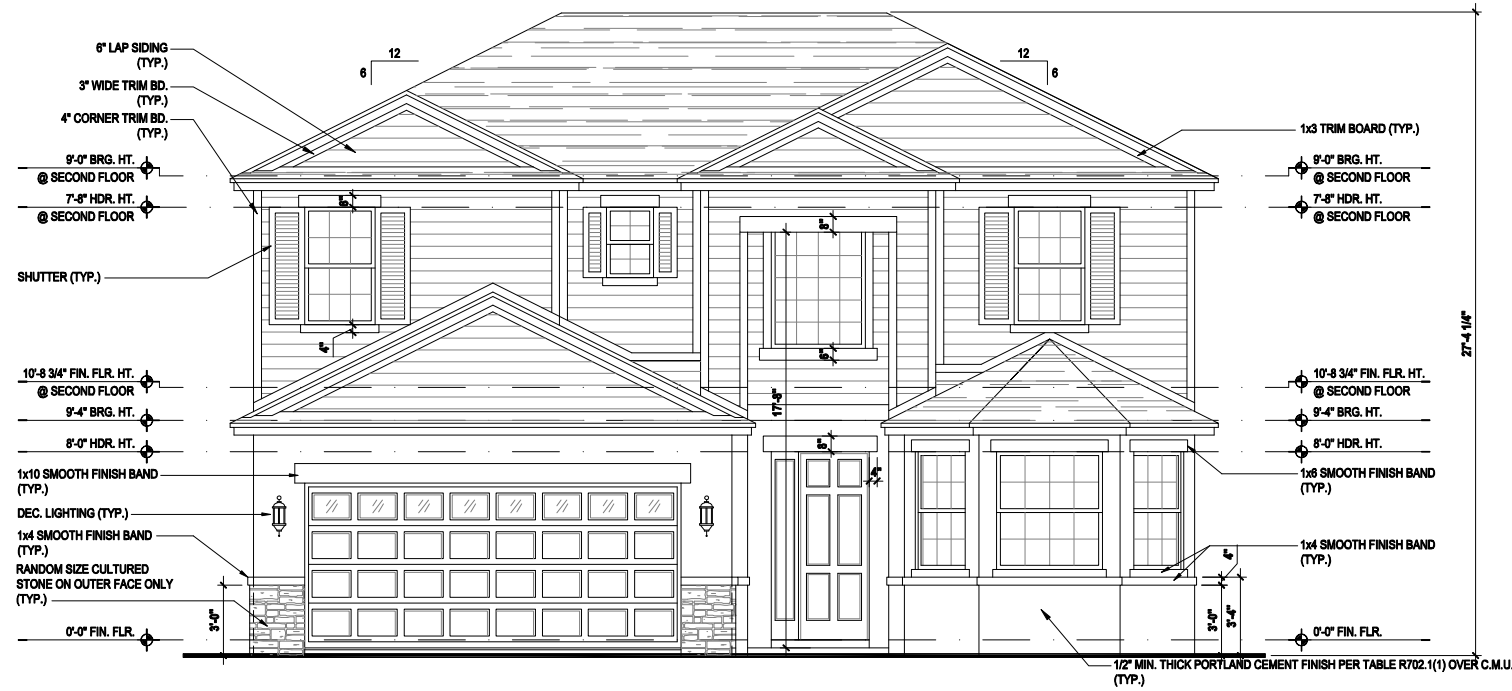
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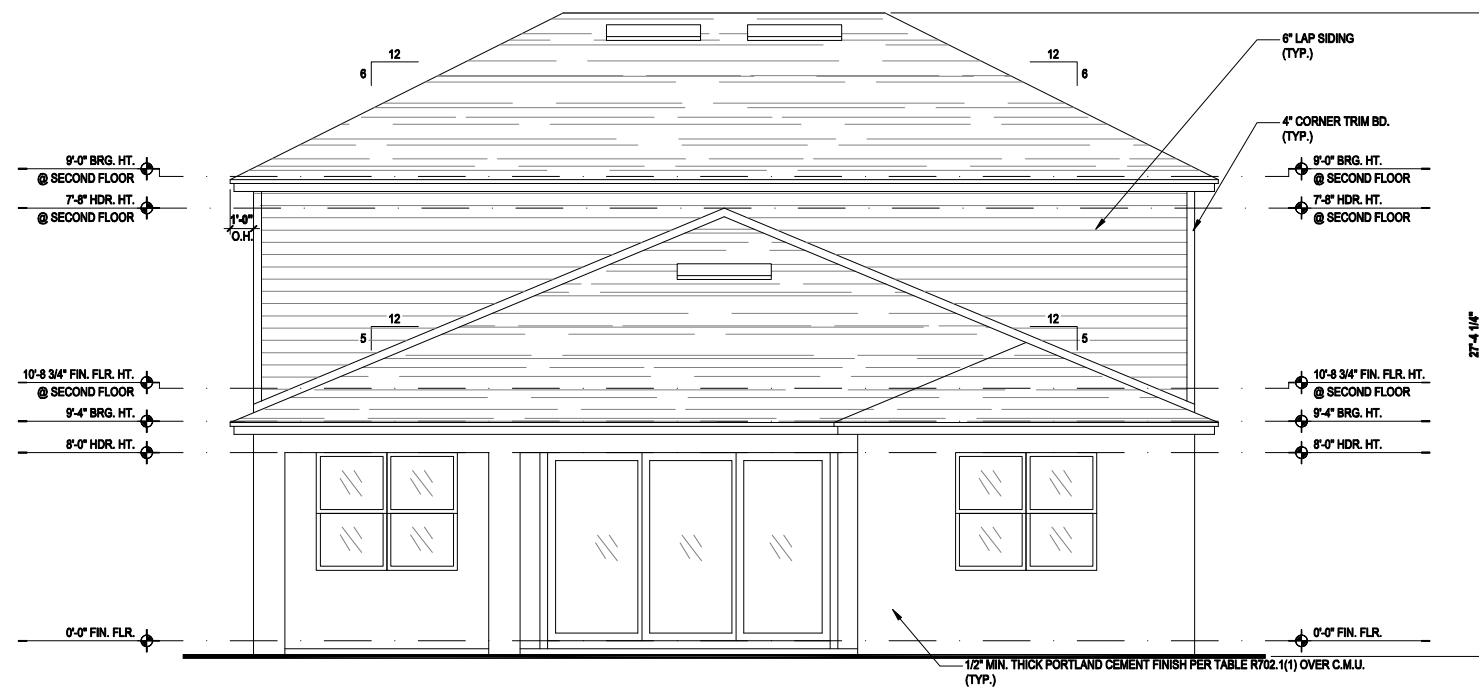
ELEVATIONS "B"
04-B1.8

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Front Elevation "C" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED
SPACE.

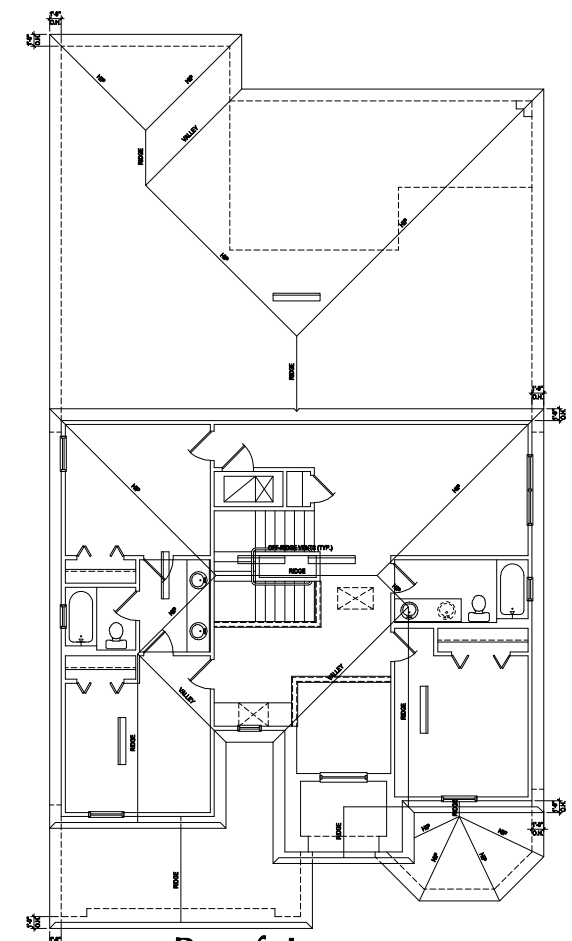
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

815 Orienta Ave. Suite# 1040
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Fax: (407) 629-6776
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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
Check all dimensions and specifications against the drawings.
No field in writing or by change in the dimensions, conditions and specifications appearing on these plans.

40-3145
VENICE
Lot # - Subdivision
Street Address
City, State, Zip

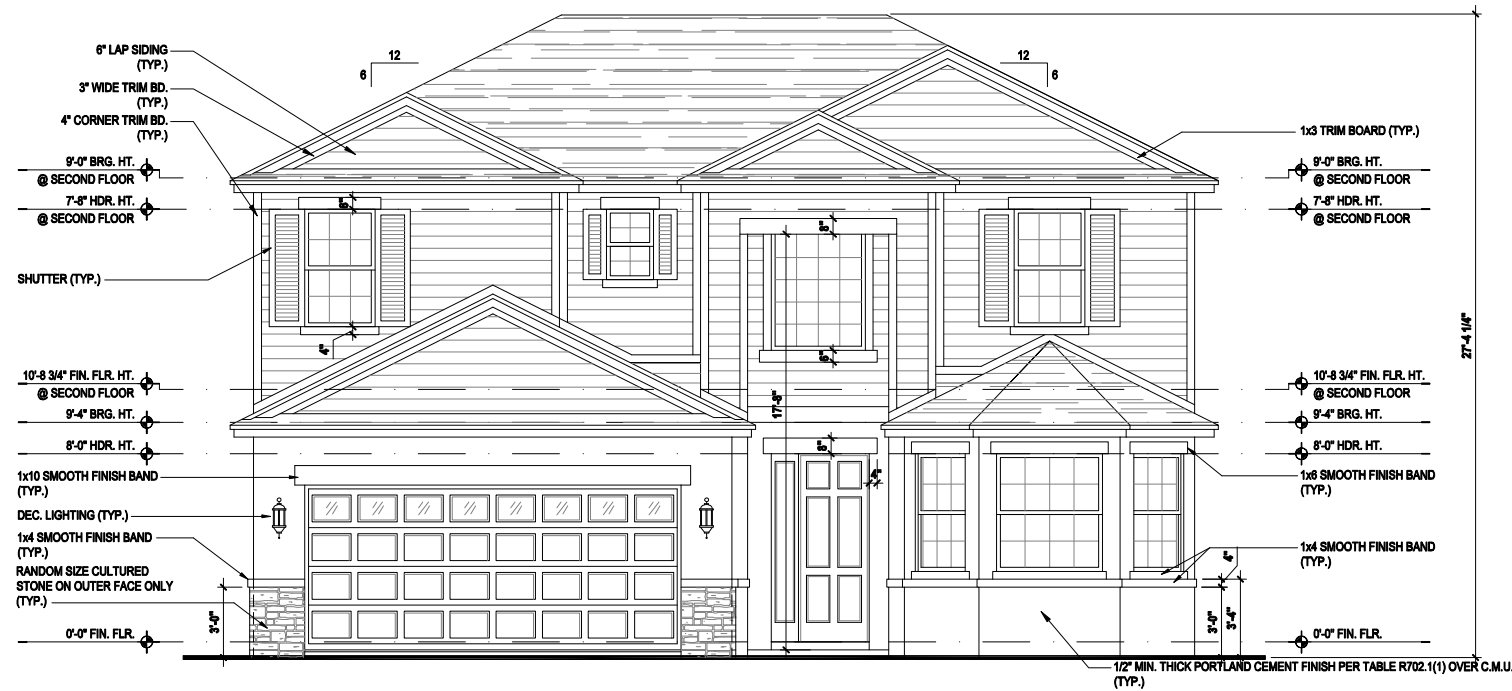
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Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 11/03/2017
REVISIONS:
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

ELEVATIONS "C"
04-C1

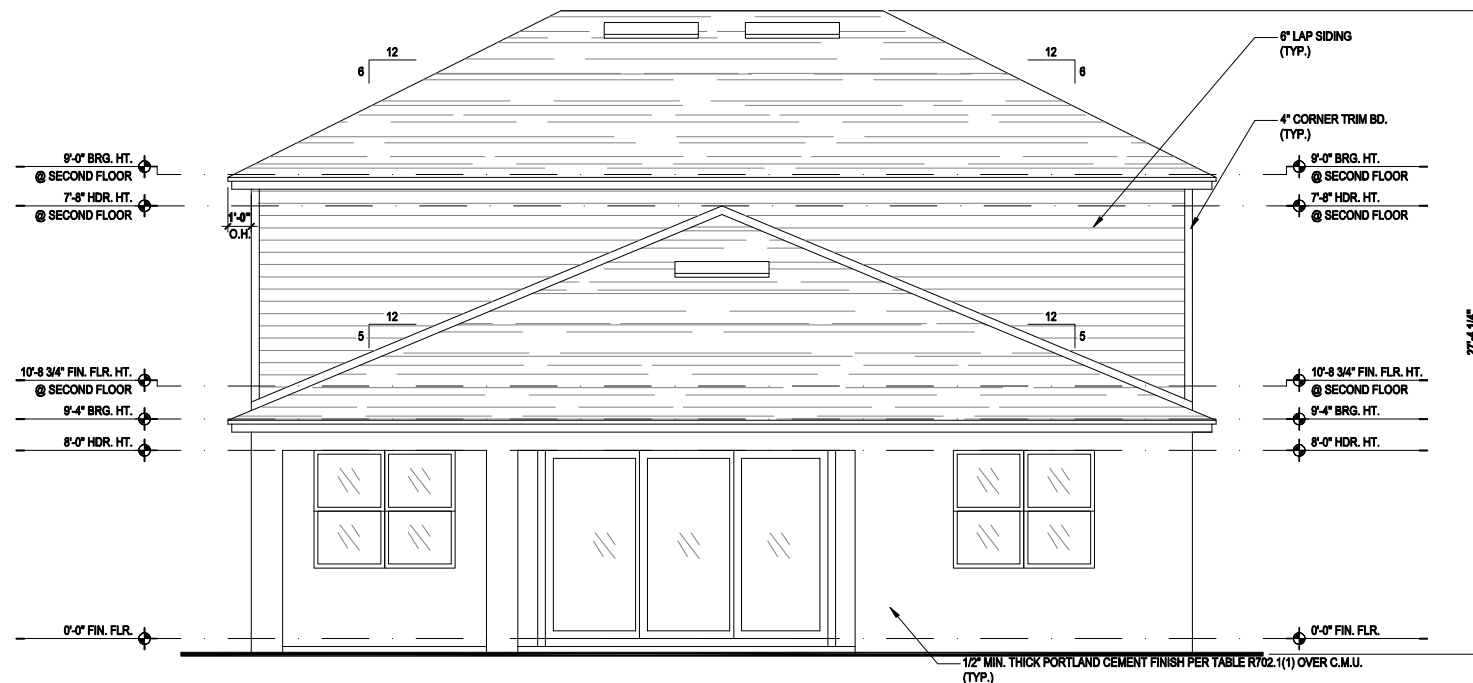
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Front Elevation "C" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
 SPACE.

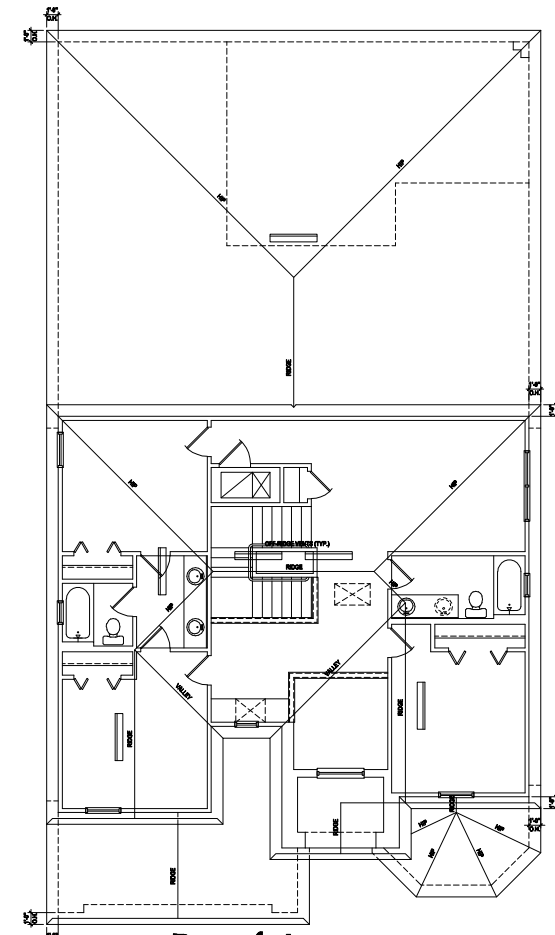
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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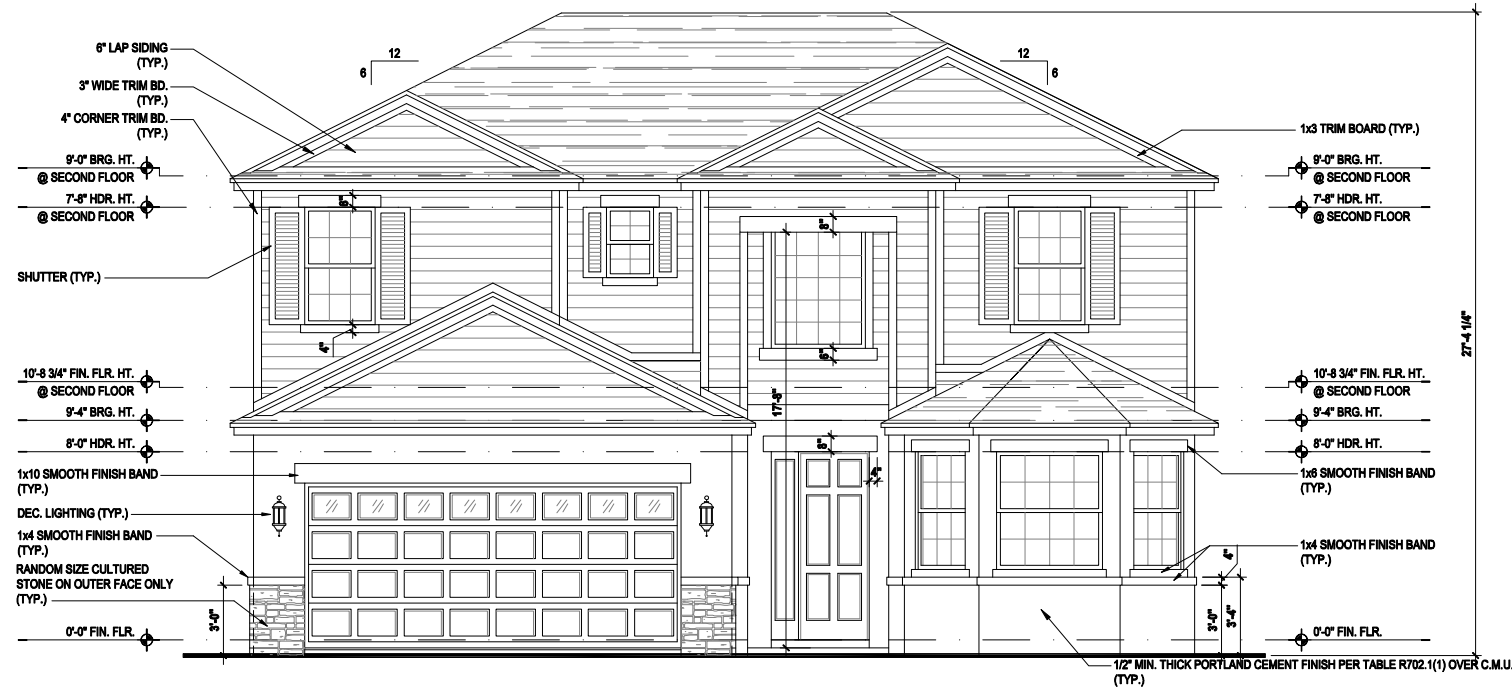
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ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

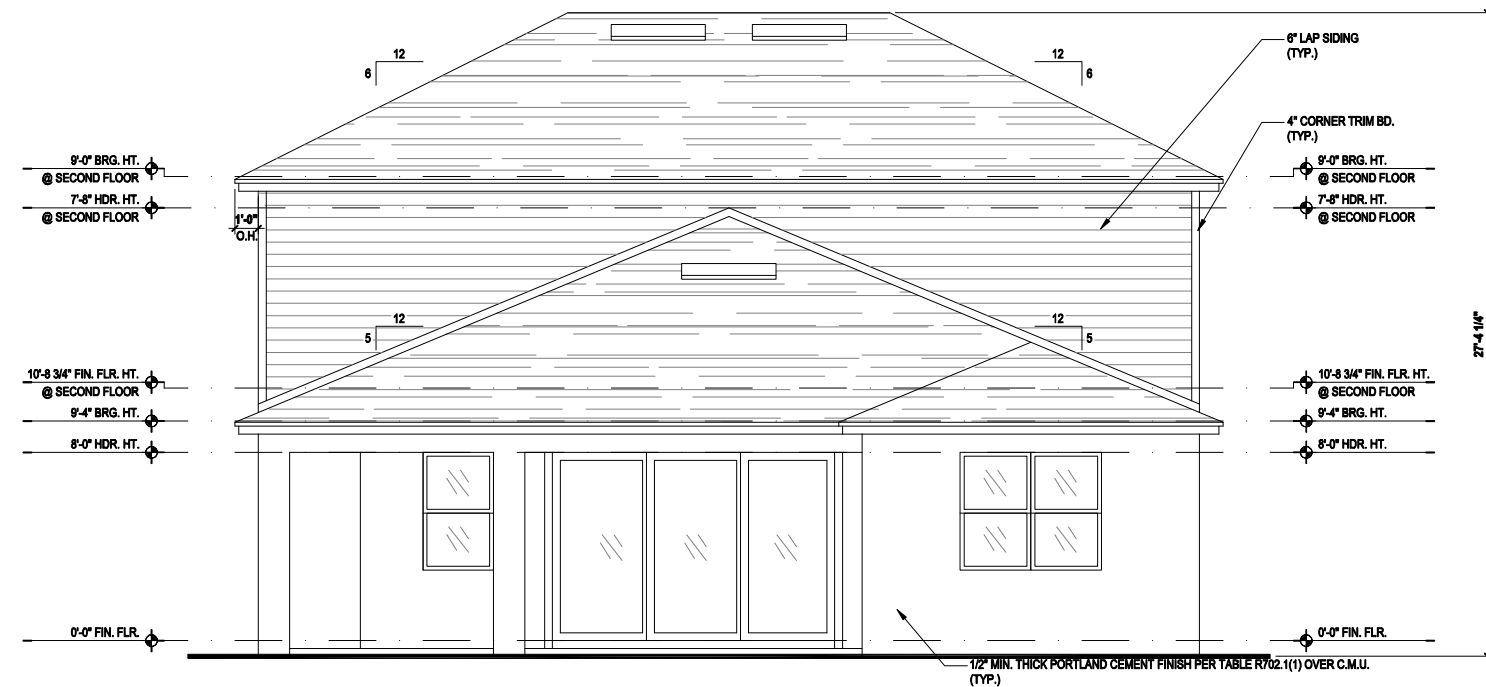
ELEVATIONS "C"
04-C1.1

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Front Elevation "C" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

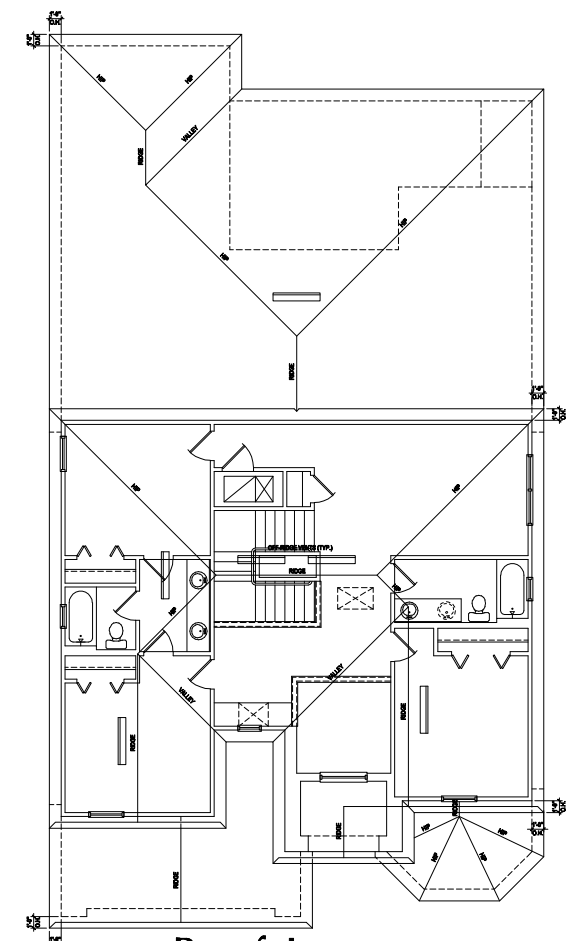
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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40-3145
VENICE
Lot # - Subdivision
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Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 11/03/2017
REVISIONS:
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

ELEVATIONS "C"
04-C1.2

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ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/6 OF VENTED
 SPACE.

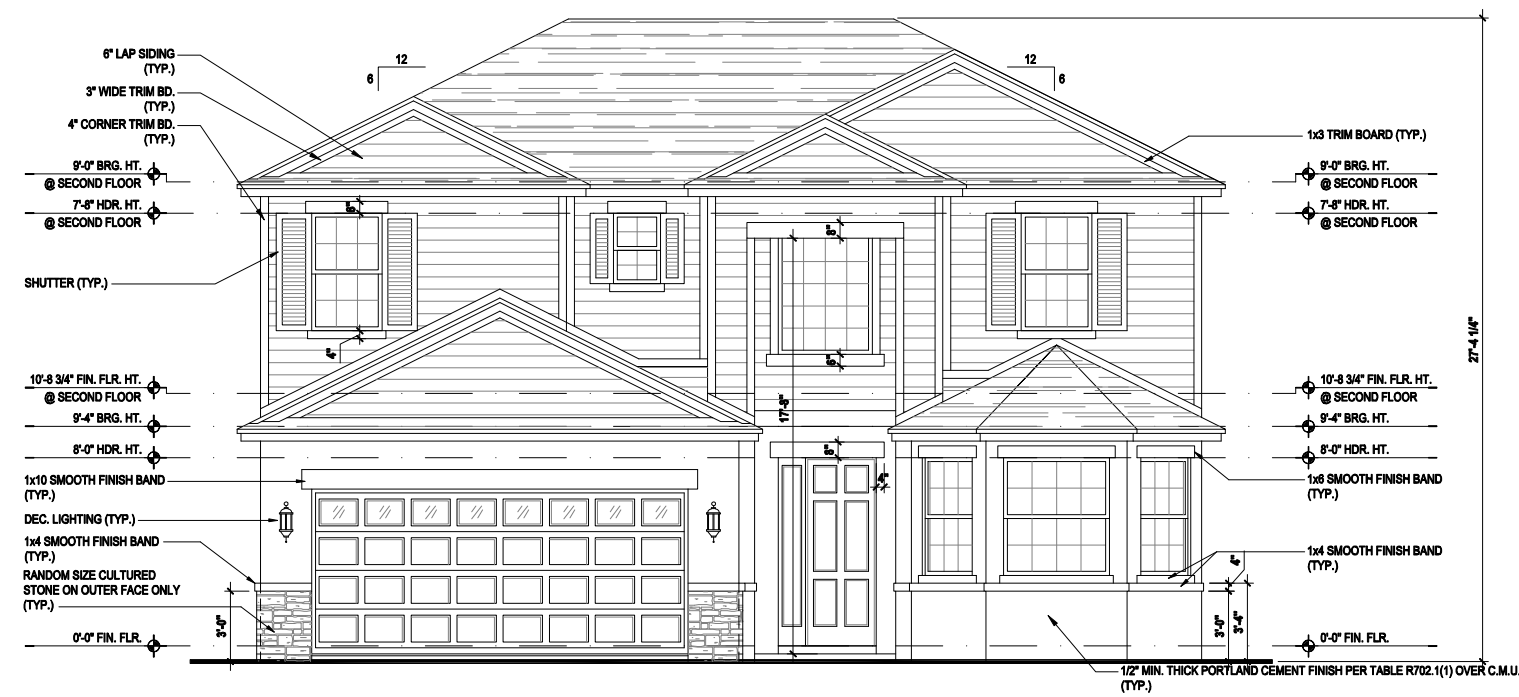
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

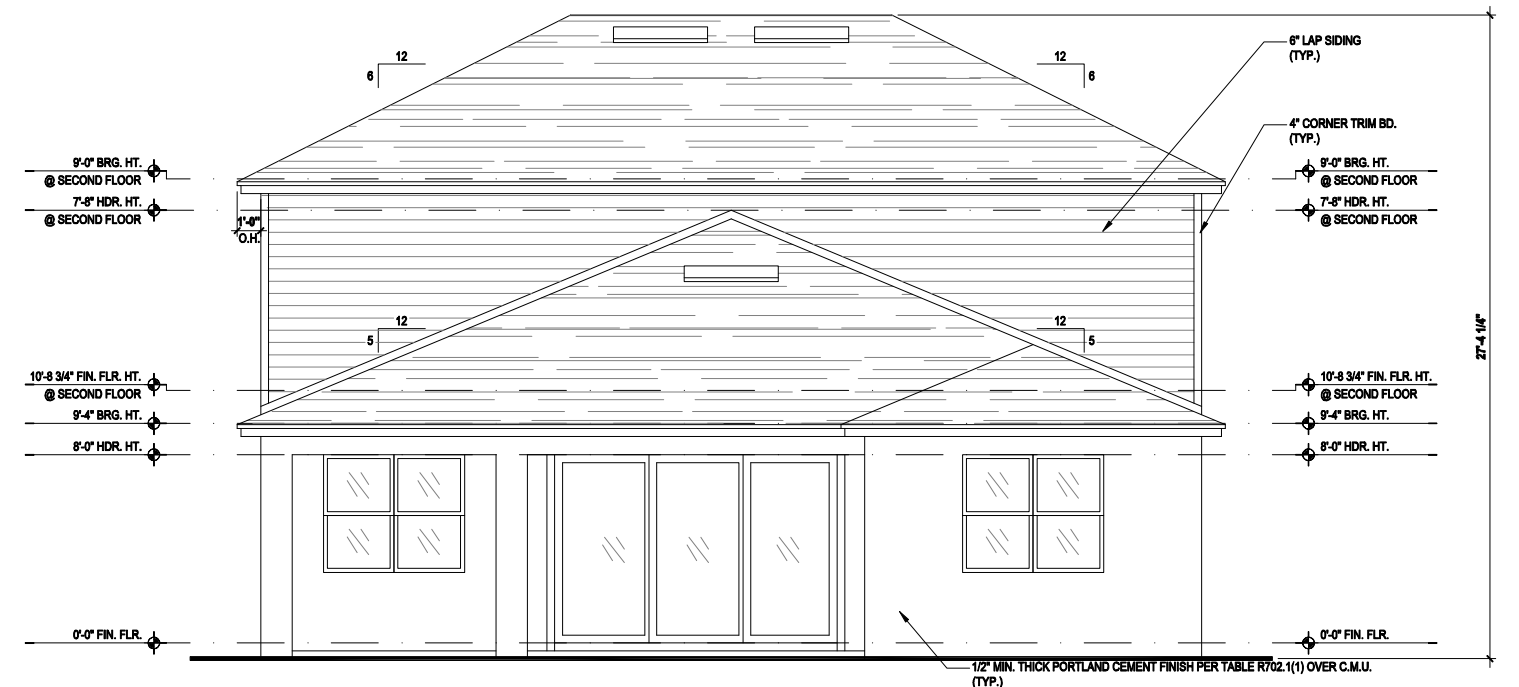
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 $\frac{80.00 \text{ LF.}}{12} @ 0.083 \text{ SF. VENTING/LF.}$

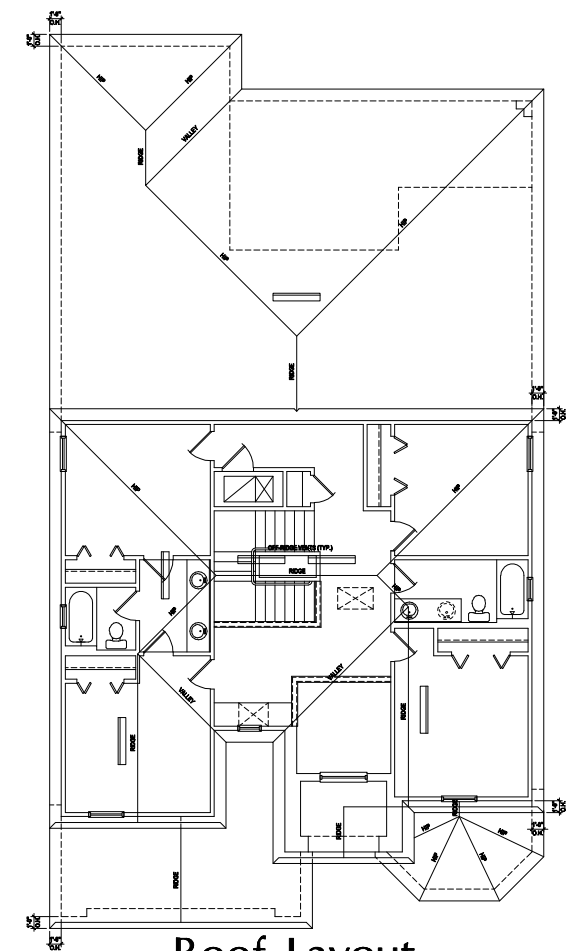
UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Front Elevation "C" w/ Siding
 (Opt. Bed 5 ilo Loft)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding
 (Opt. Bed 5 ilo Loft)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
 SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS.
 Conflicts shall be resolved in favor of the written dimensions. Conditions and specifications appearing on these plans
 prevail in the event of any change in the dimensions, conditions and specifications appearing on these plans.

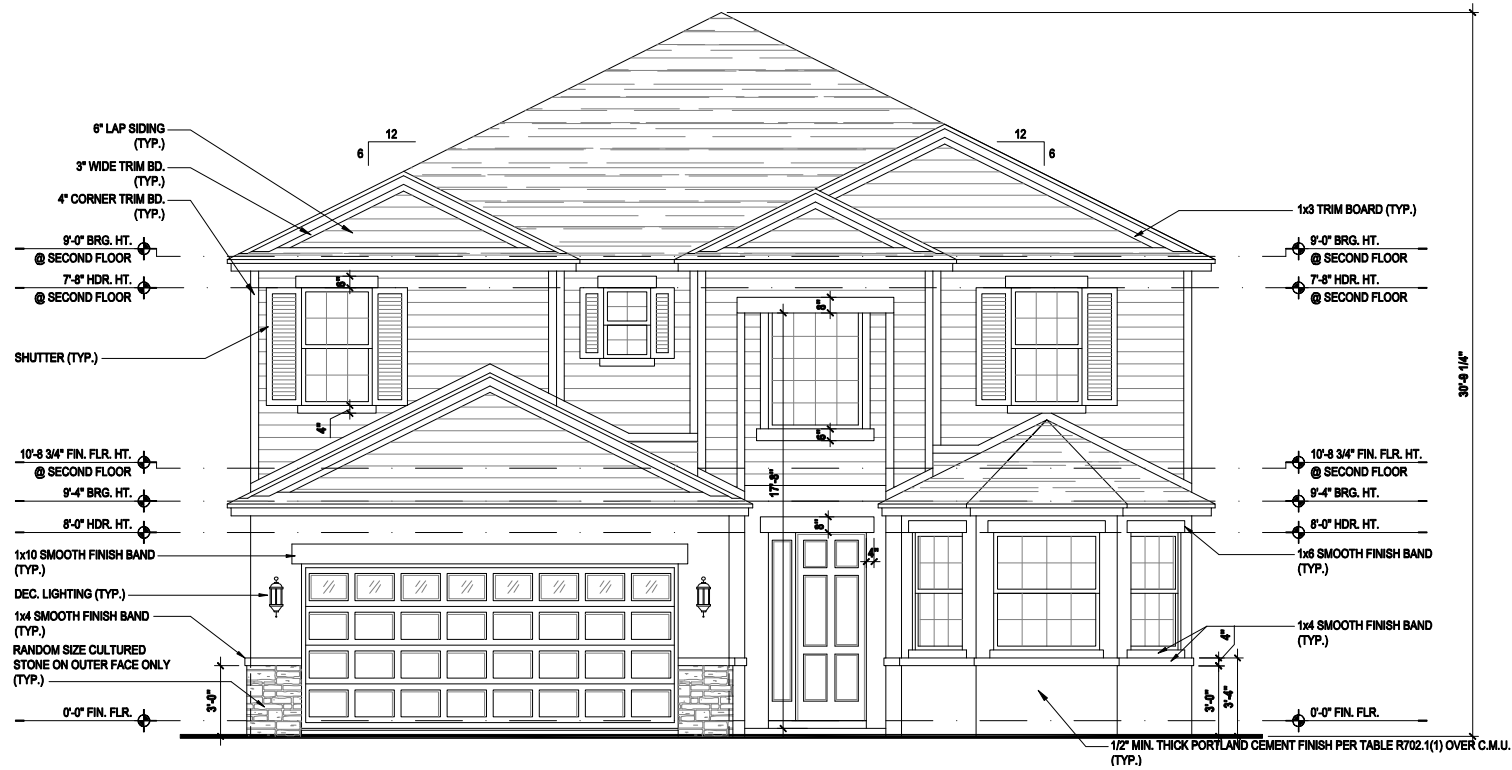
40-3145
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 Phone: (407) 529-3000

ISSUE DATE: 11/03/2017
 REVISIONS:
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

ELEVATIONS "C"
04-C1.3

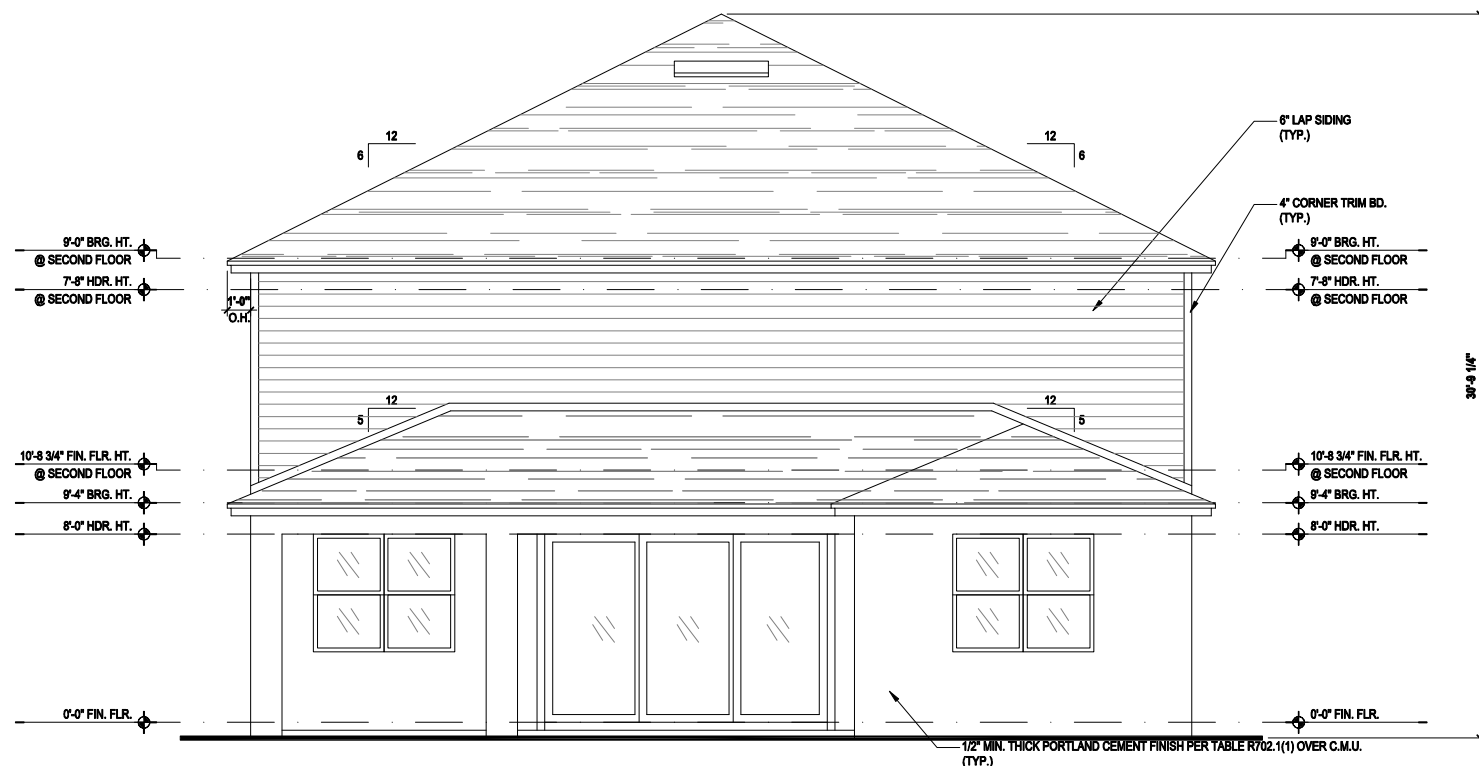
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Front Elevation "C" w/ Siding

(Opt. Bed 5, 6 & Flex)

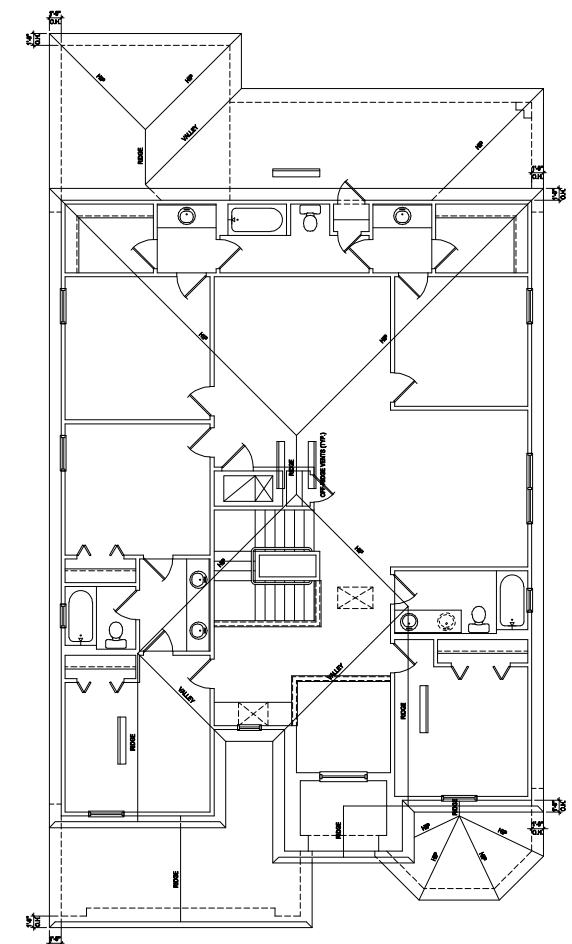
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D.

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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 Conflicts shall be resolved by the dimensions, conditions and specifications appearing on these plans.
 Conflicts in writing shall be resolved in the dimension, conditions and specifications appearing on these plans.

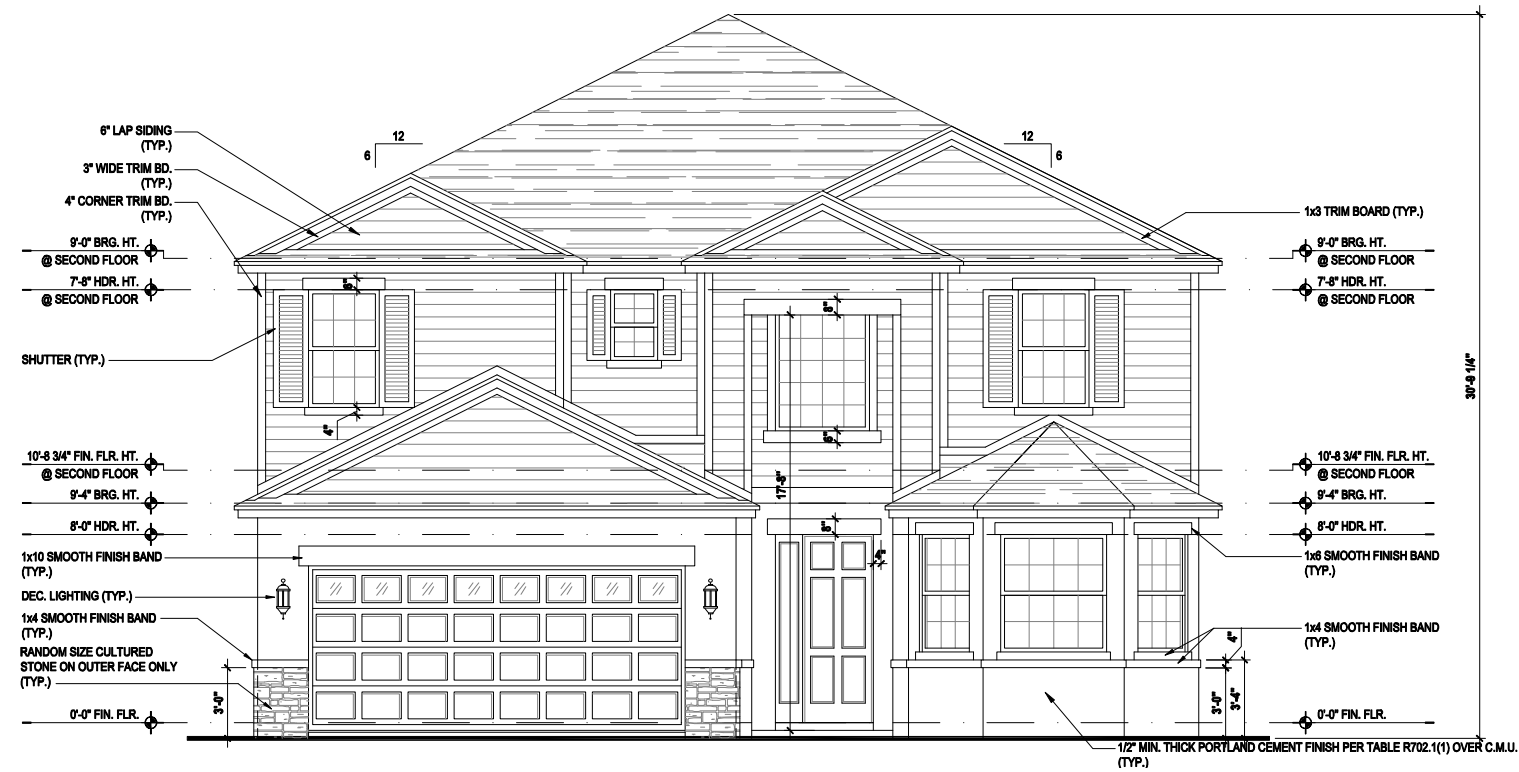
40-3145
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 Lot # - Subdivision
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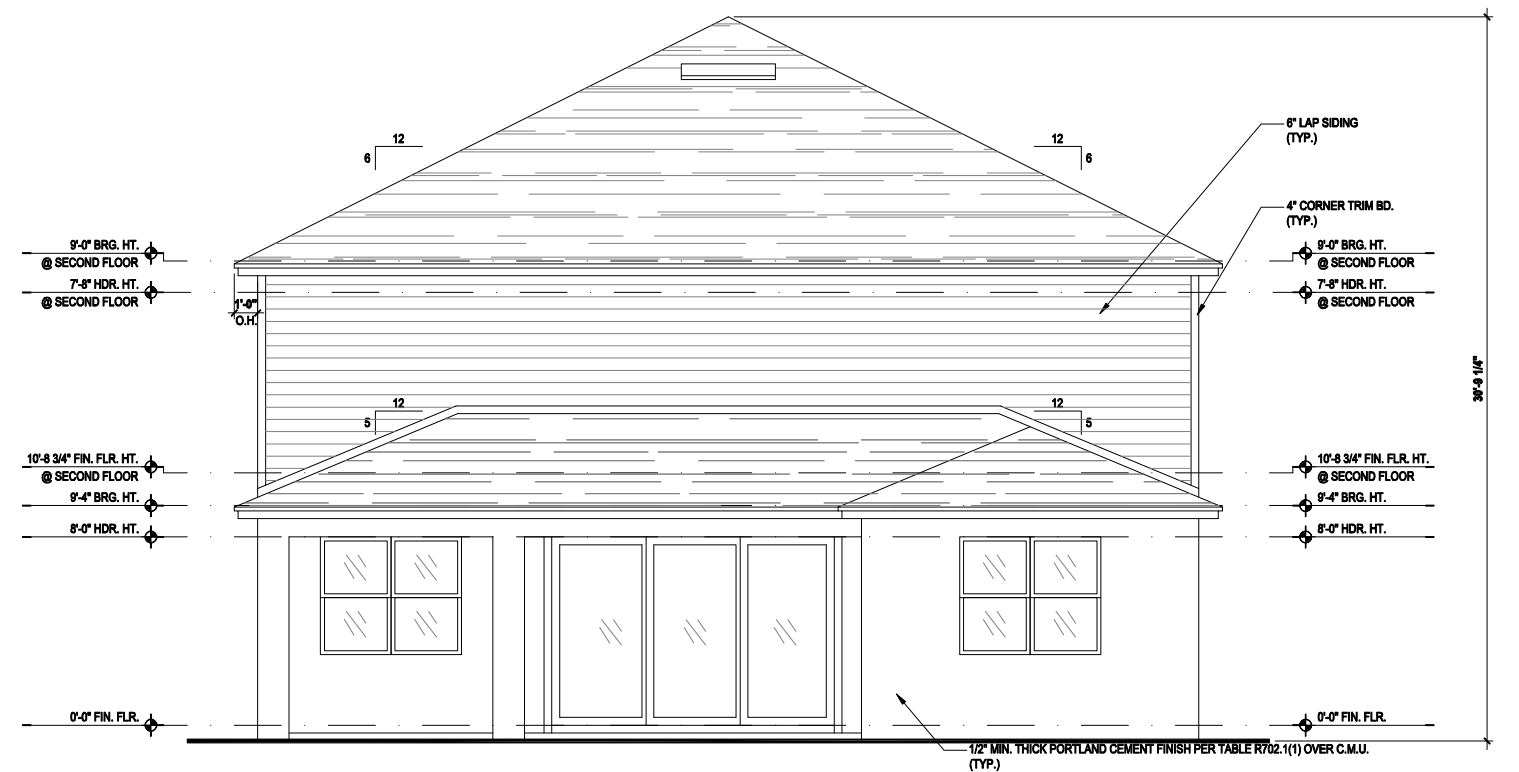
ISSUE DATE: 11/03/2017
 REVISIONS:
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

ELEVATIONS "C"
04-C1.4

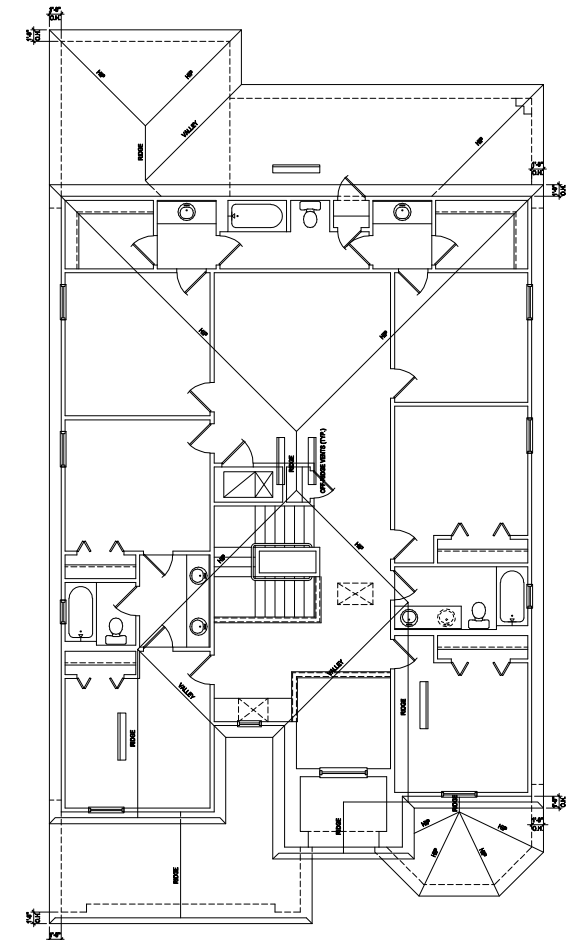
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Front Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & 7)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & 7)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
 SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D.

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 $\frac{80.00 \text{ LF}}{12} @ 0.083 \text{ SF. VENTING/LF.}$

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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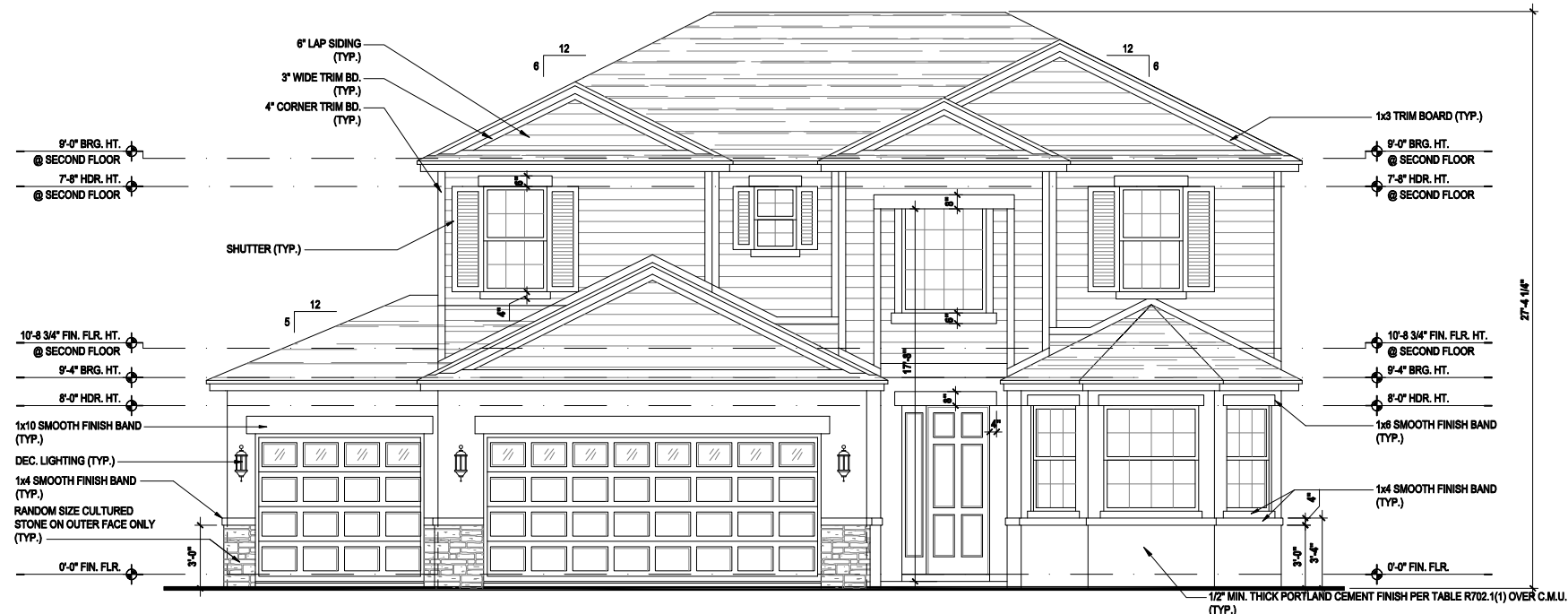
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Park Square HOMES

ISSUE DATE: 11/03/2017
 REVISIONS:
 PROJECT: 17-0206
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

ELEVATIONS "C"
04-C.1.5

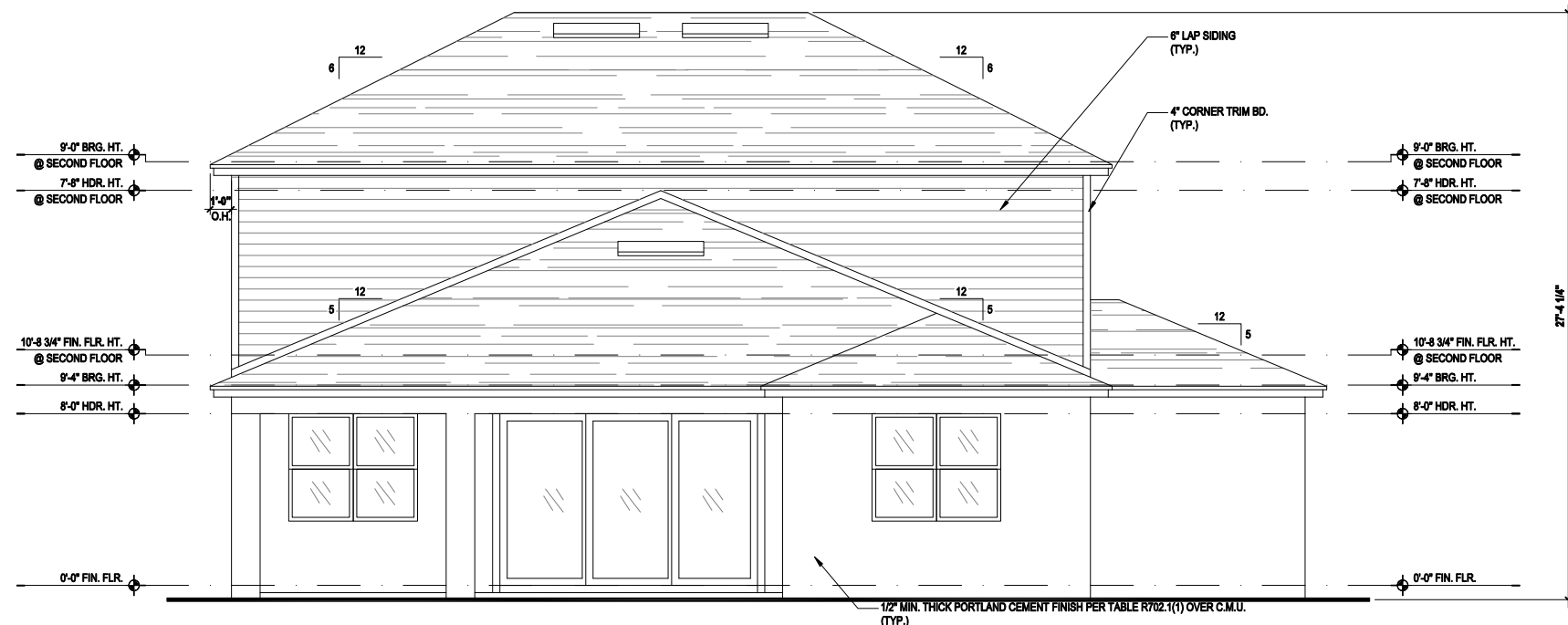
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Front Elevation "C" w/ Siding

(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding

(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
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(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

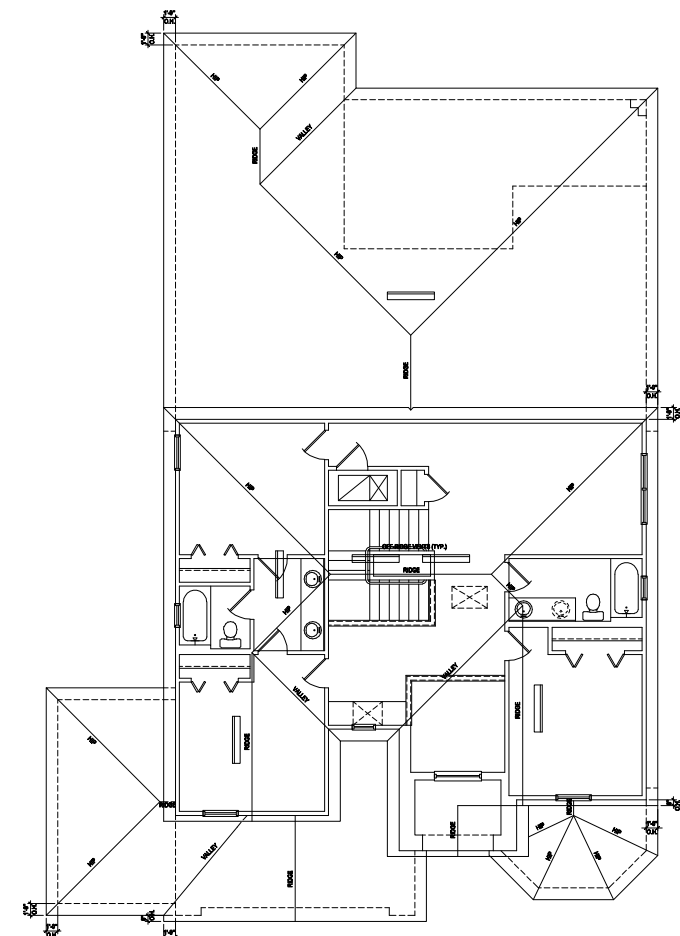
TOTAL VENTED SPACE: 3,354 = 11.18 SF. NET FREE
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6,708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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Phone: (407) 529-3000



ISSUE DATE: 11/03/2017

REVISIONS

PROJECT: 17-0206

SCALE: AS NOTED

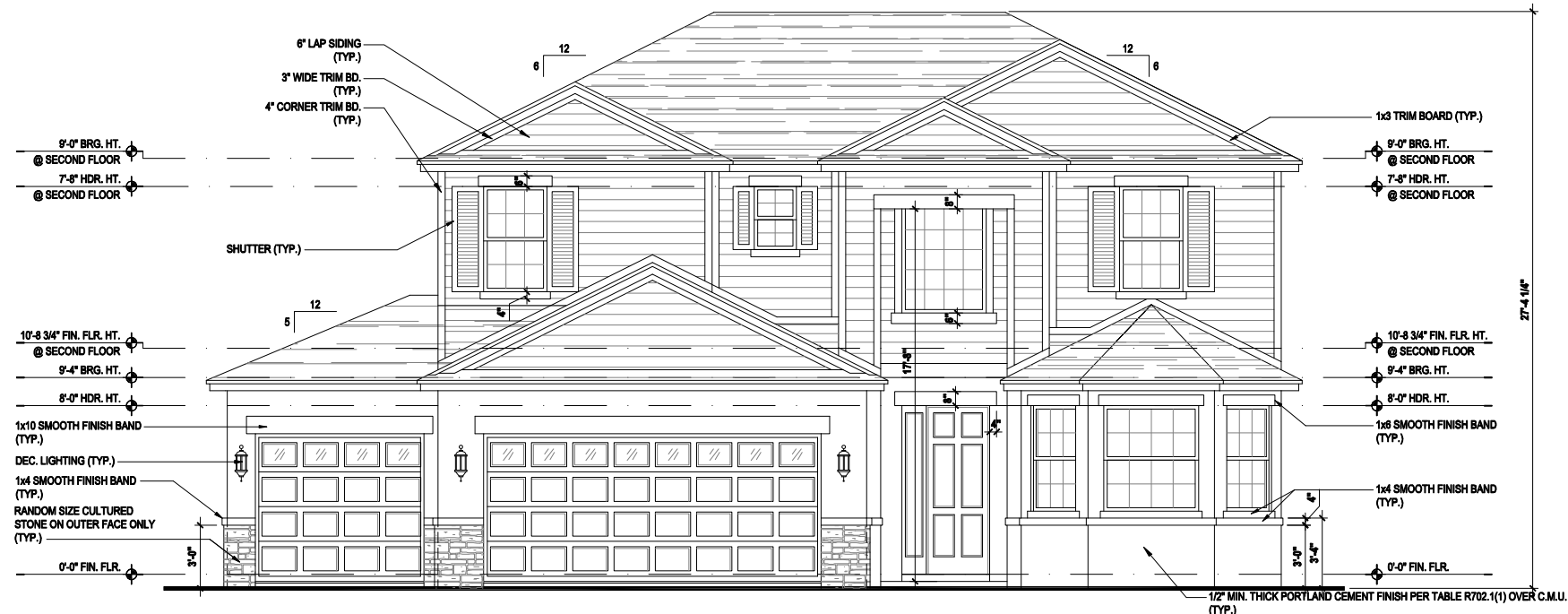
DRAWN BY: KJ

DESIGNED BY: MJS

ELEVATIONS "A"

04-C-1.6

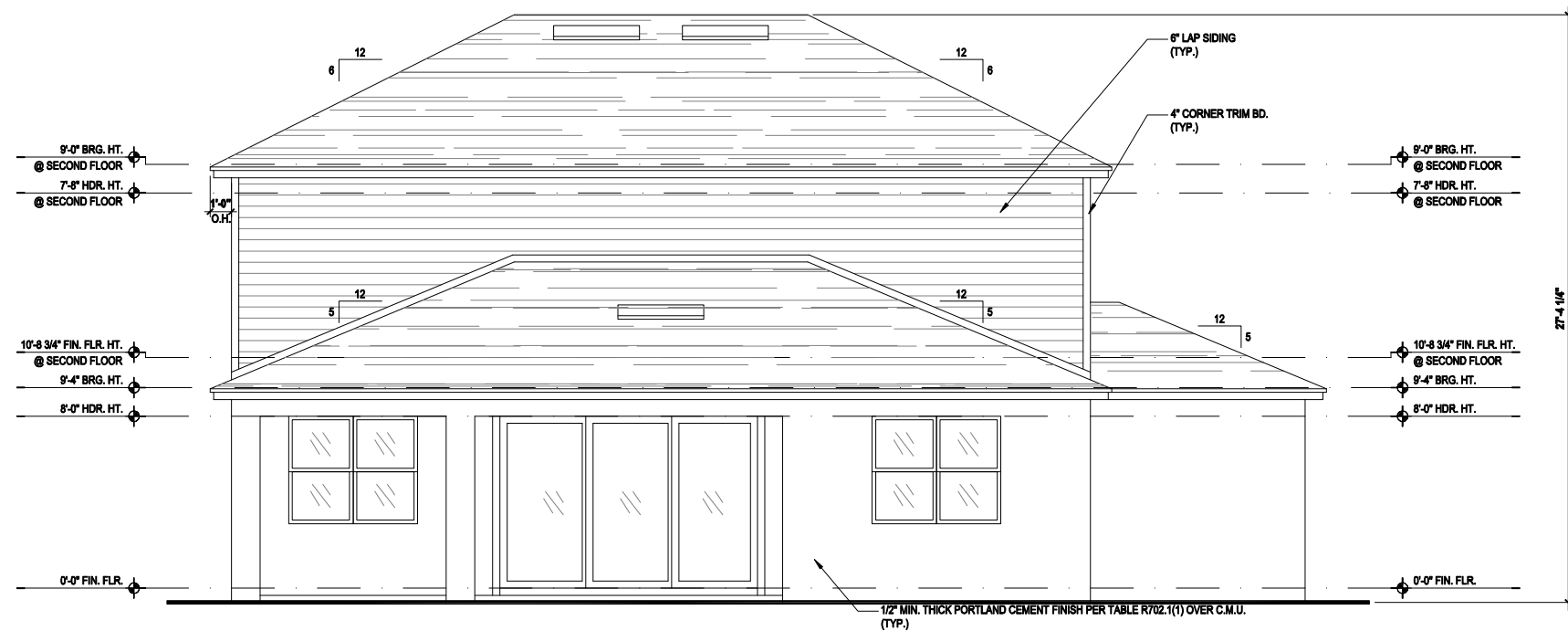
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Front Elevation "C" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
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(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
SPACE.

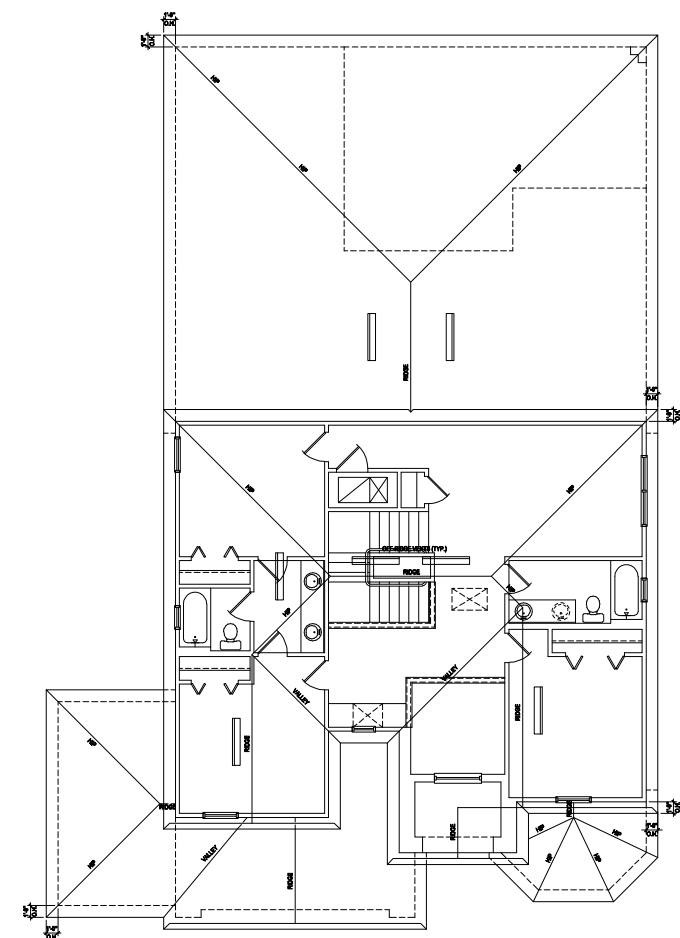
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
6 VENTS @ .745 /PER VENT

TILE: OHAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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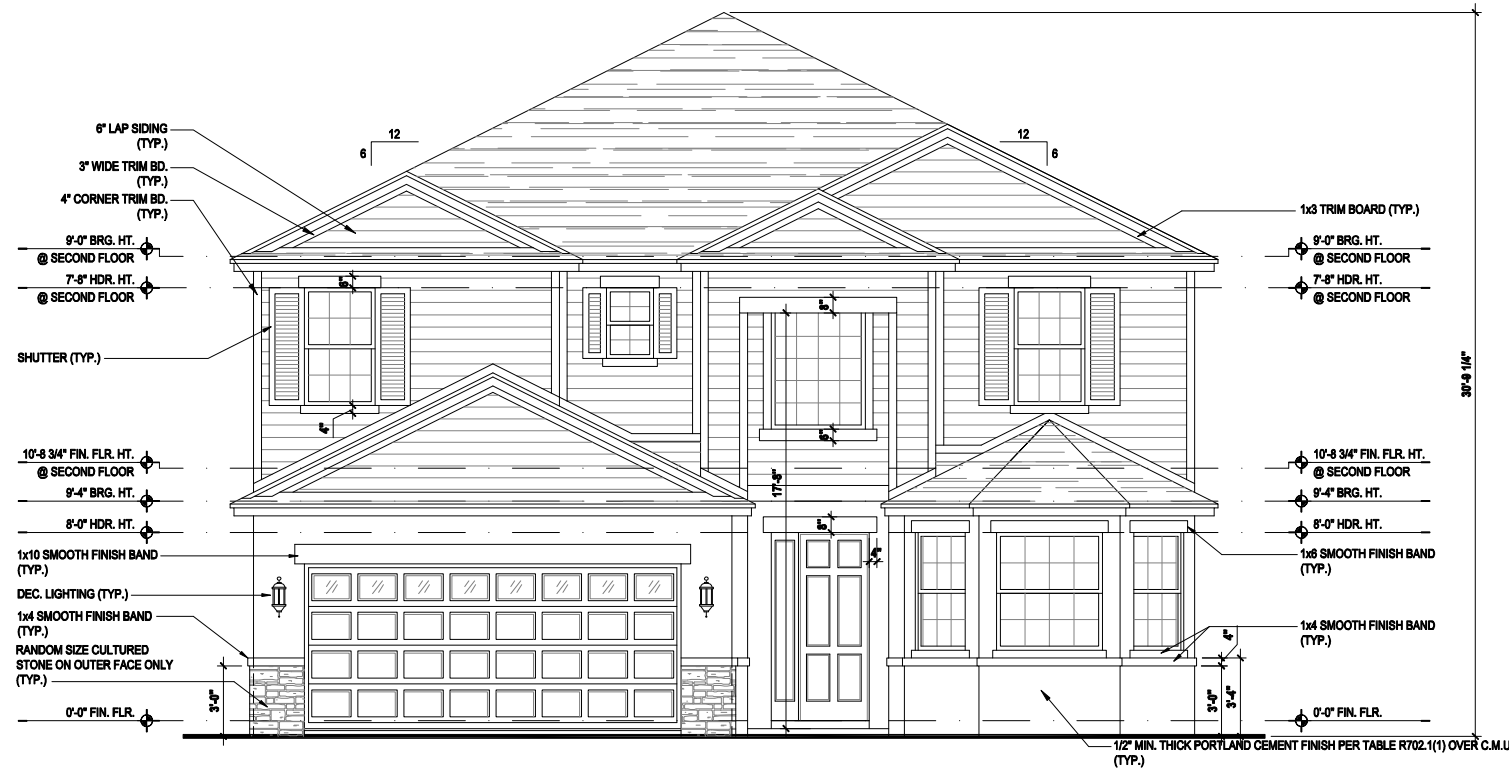
40-3145
VENICE
Lot # - Subdivision
Street Address
City, State, Zip

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Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

ISSUE DATE: 11/03/2017
REVISIONS:
PROJECT: 17-0206
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

ELEVATIONS "A"
04-C-1.7

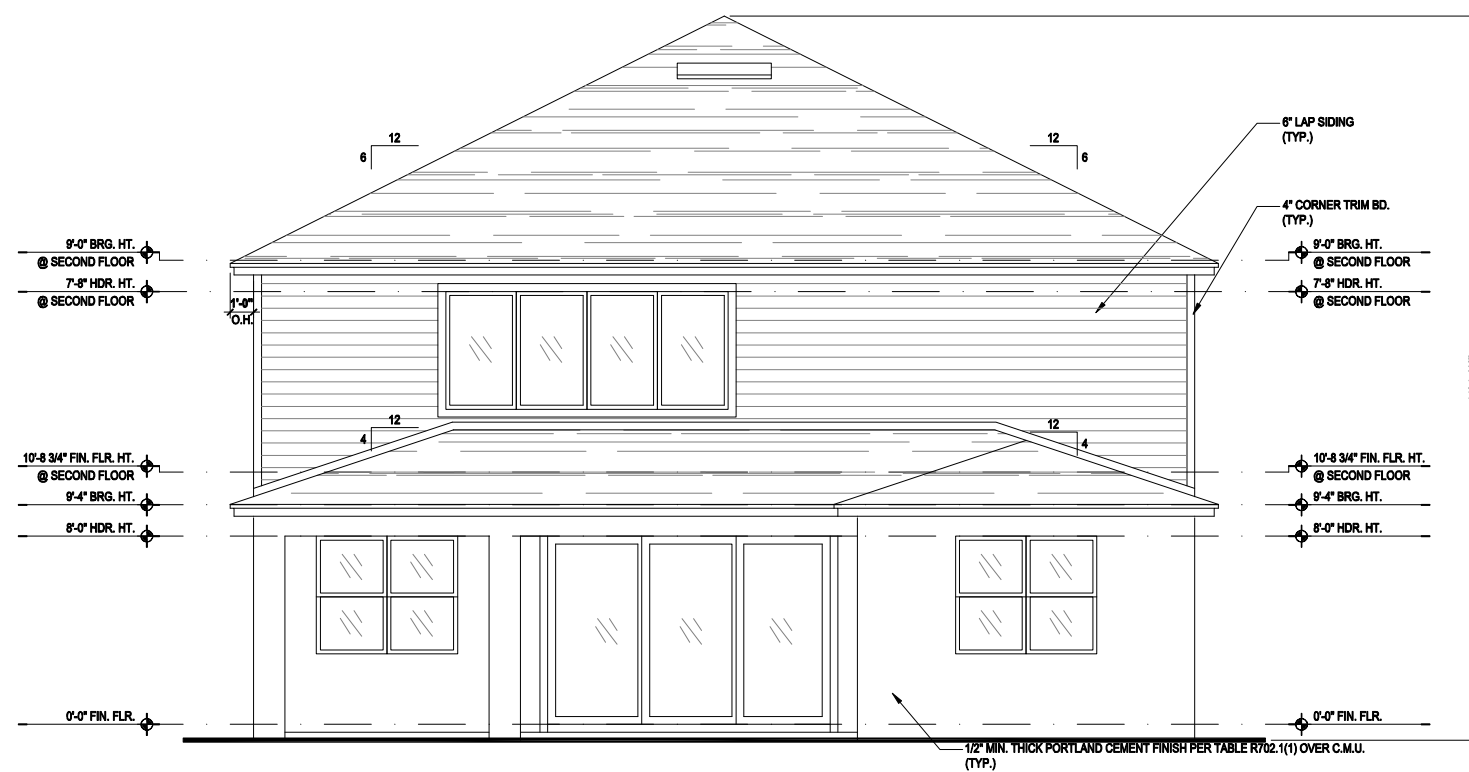
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Front Elevation "C" w/ Siding

(Opt. Extended Bonus Rm.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C" w/ Siding

(Opt. Extended Bonus Rm.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R808
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
 IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/60 OF VENTED
 SPACE.

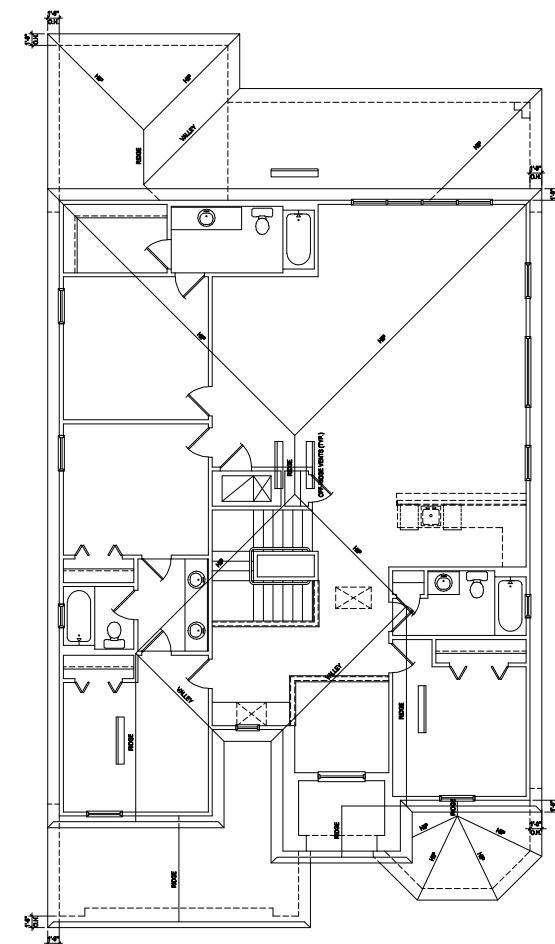
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D.

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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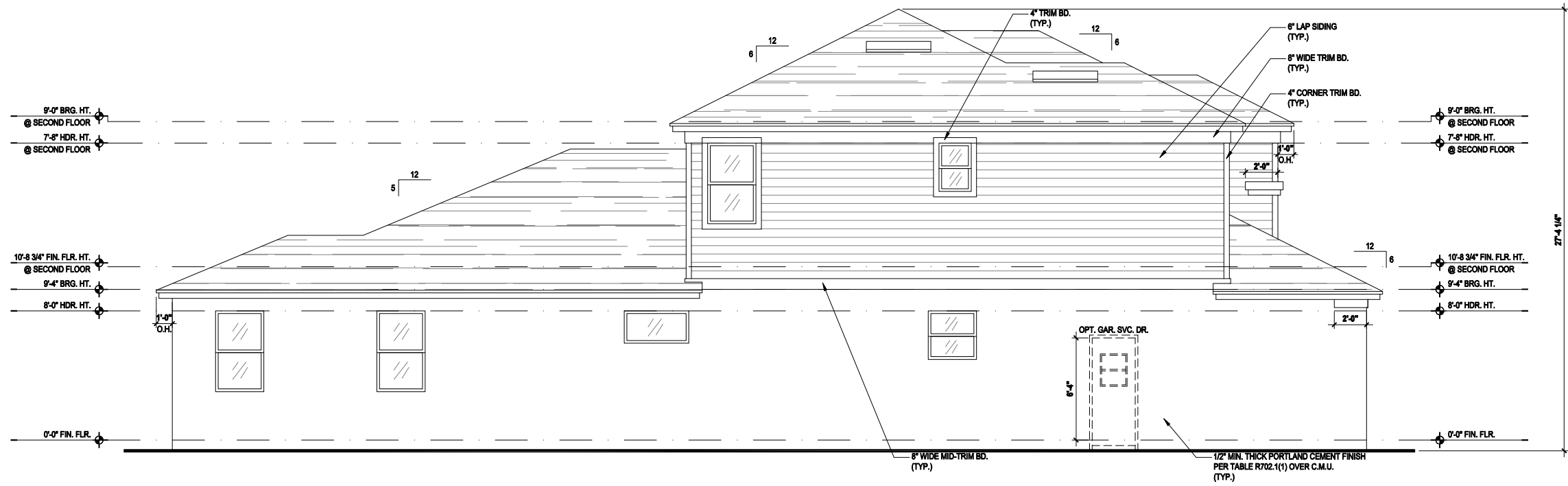
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ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

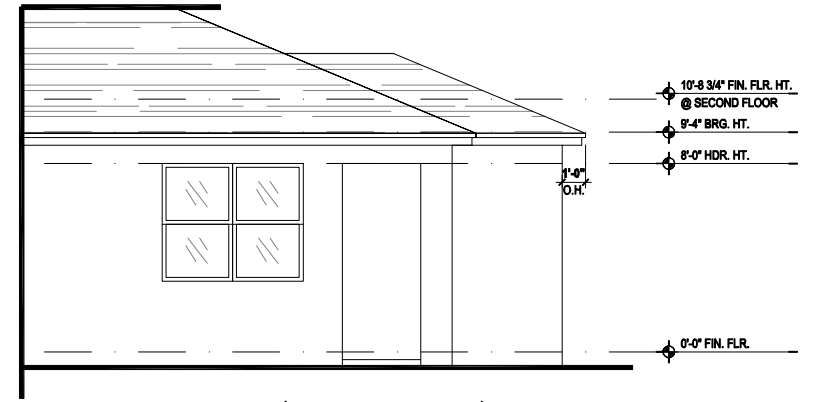
ELEVATIONS "C"
04-C1.8

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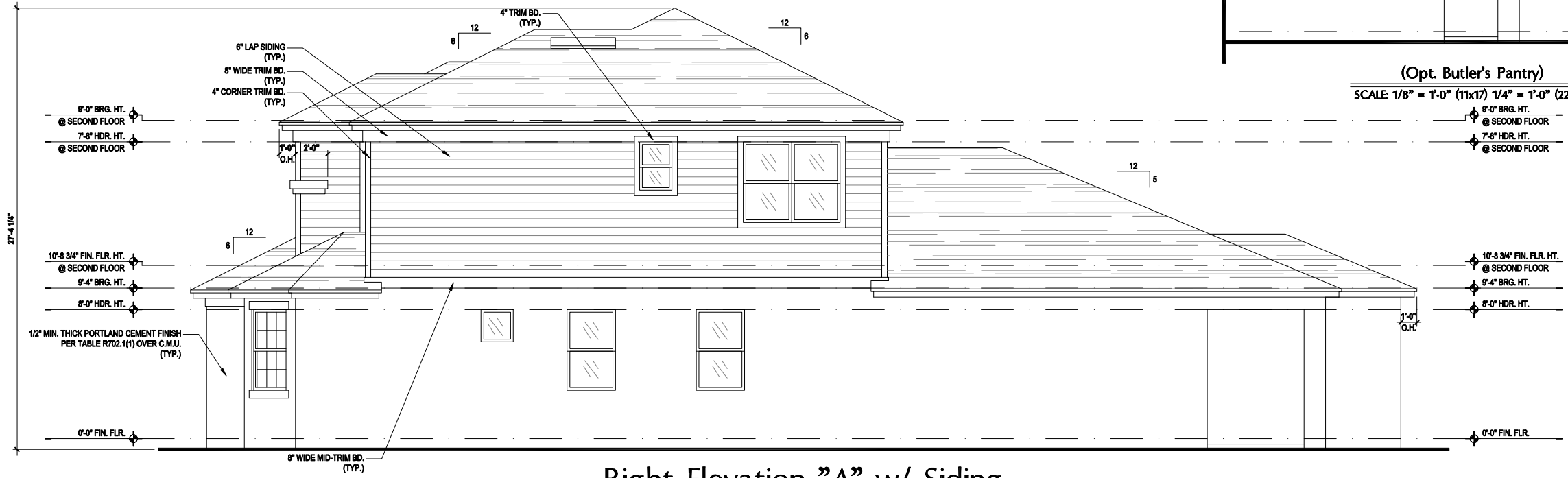
Left Elevation "A" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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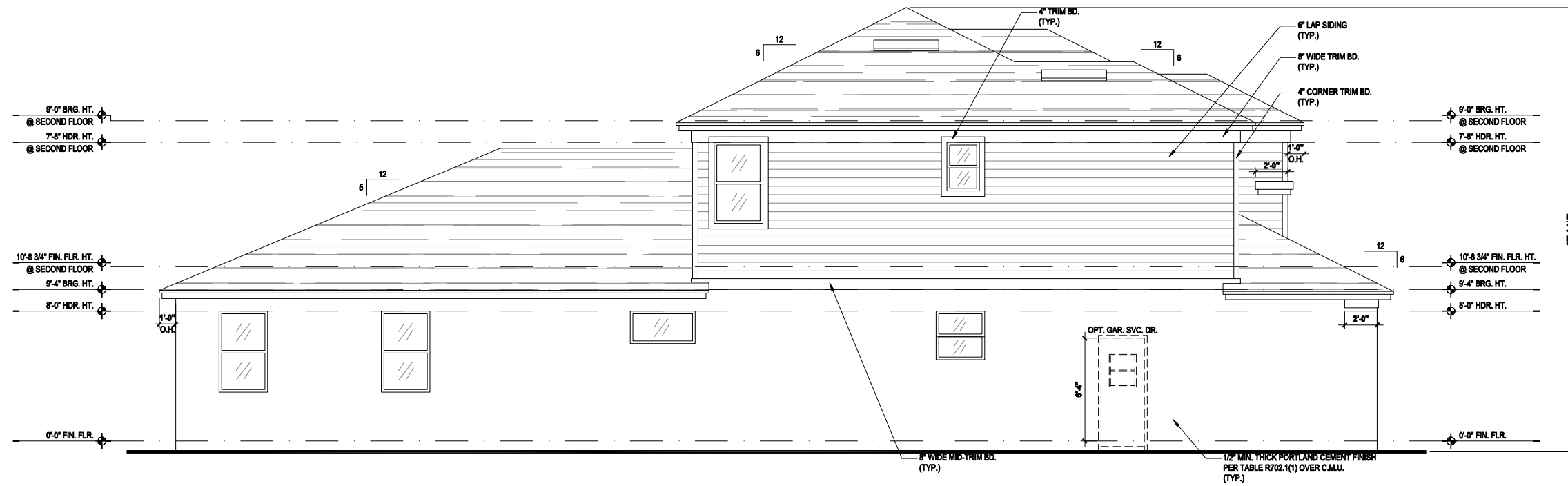
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ISSUE DATE	11/03/2017
REVISIONS	
PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
05-A1

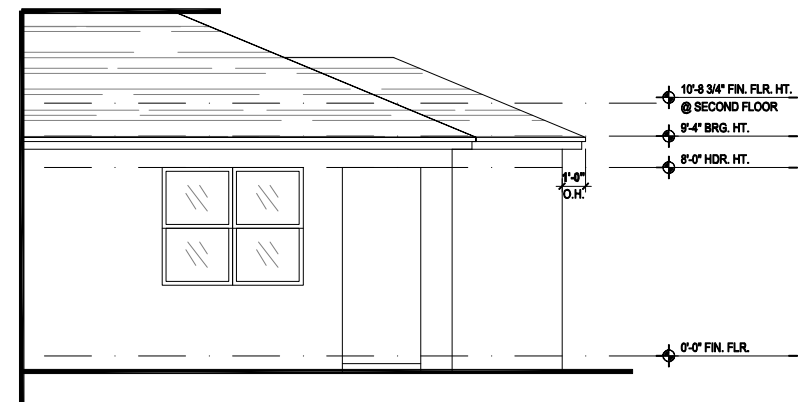
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Left Elevation "A" w/ Siding

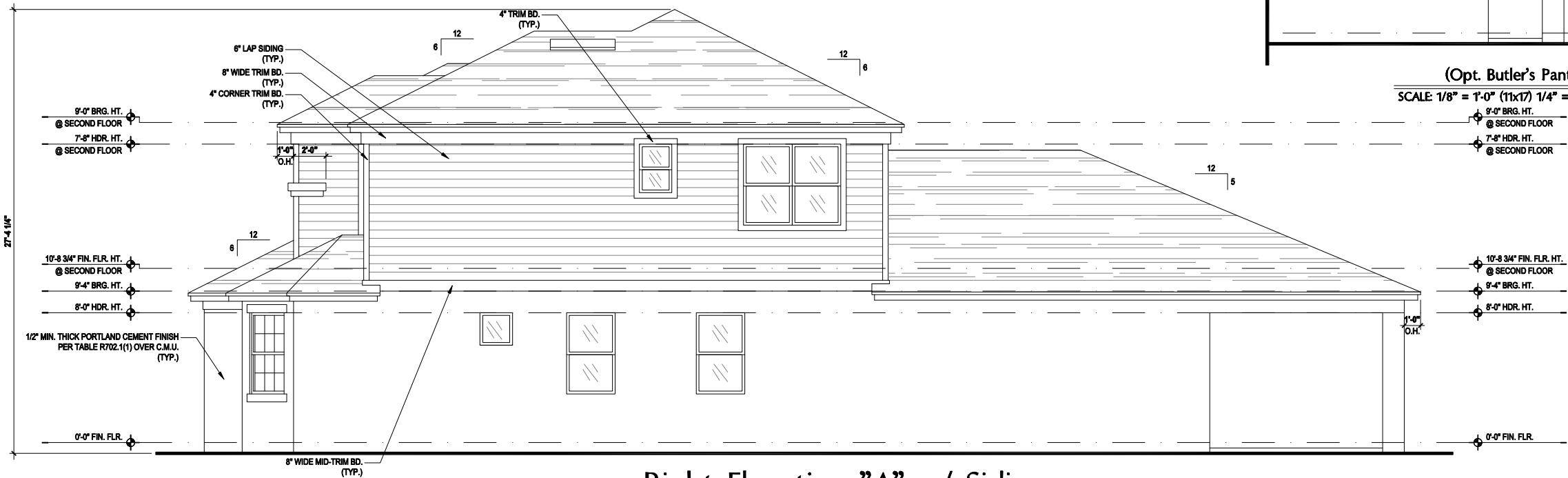
(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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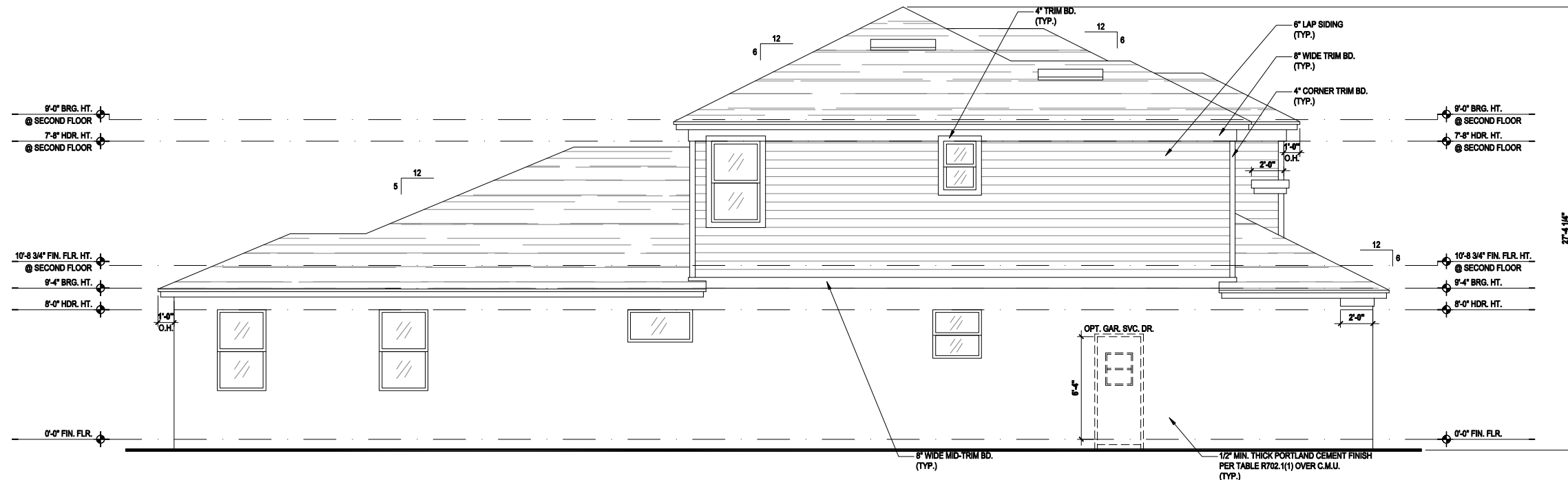
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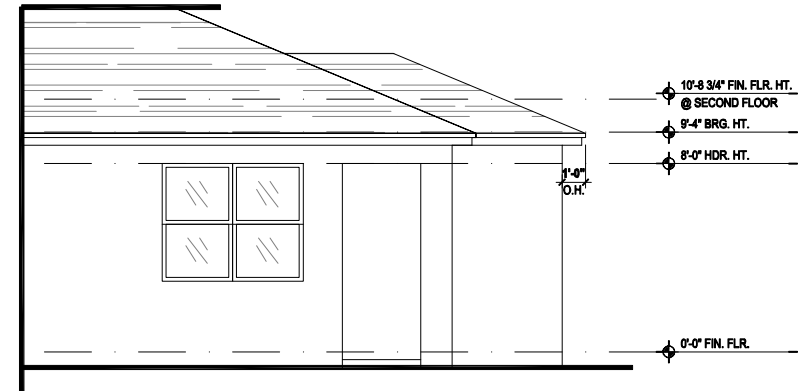
ELEVATIONS "A"
05-A1.1

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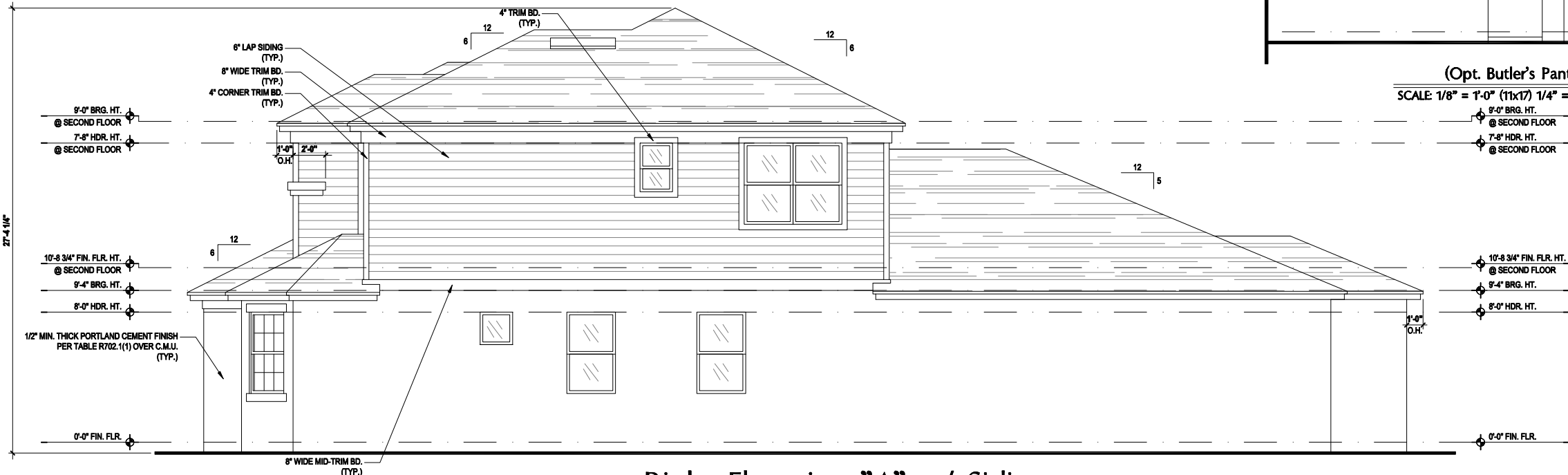
Left Elevation "A" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding
(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding
(Opt. Pool Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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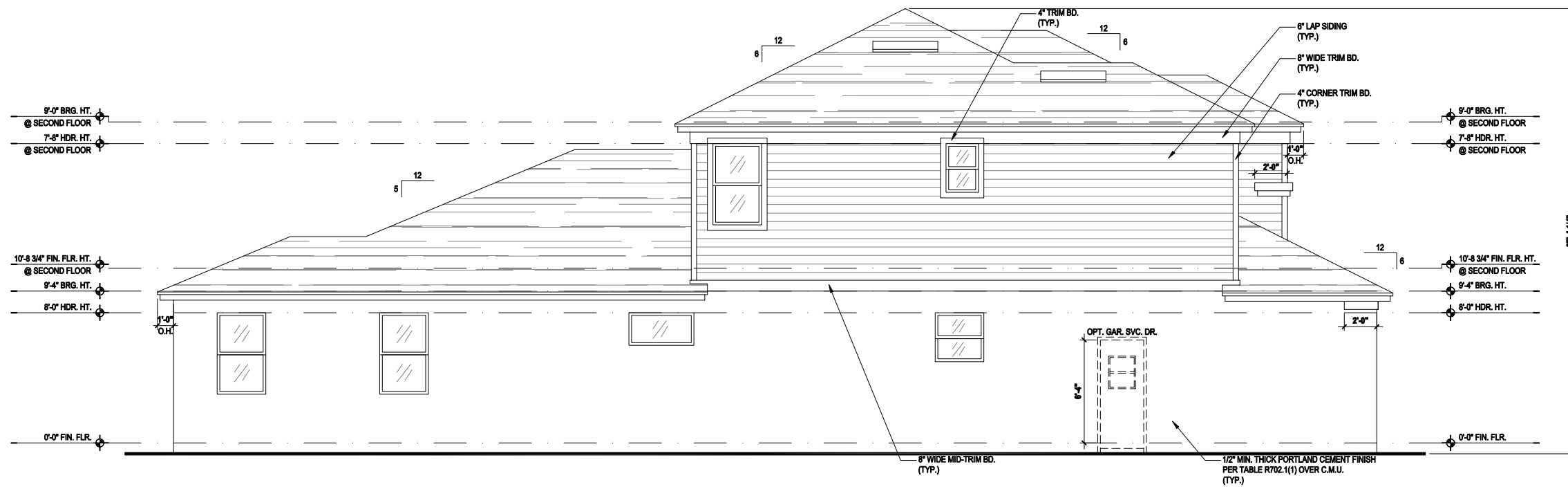
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SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "B"
05-A1.2

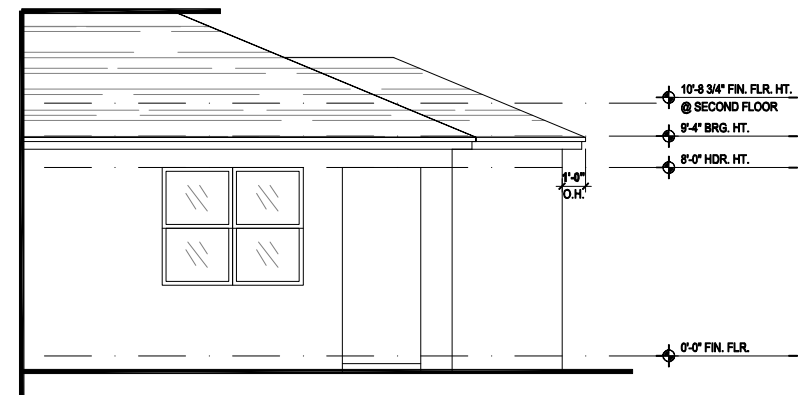
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Left Elevation "A" w/ Siding

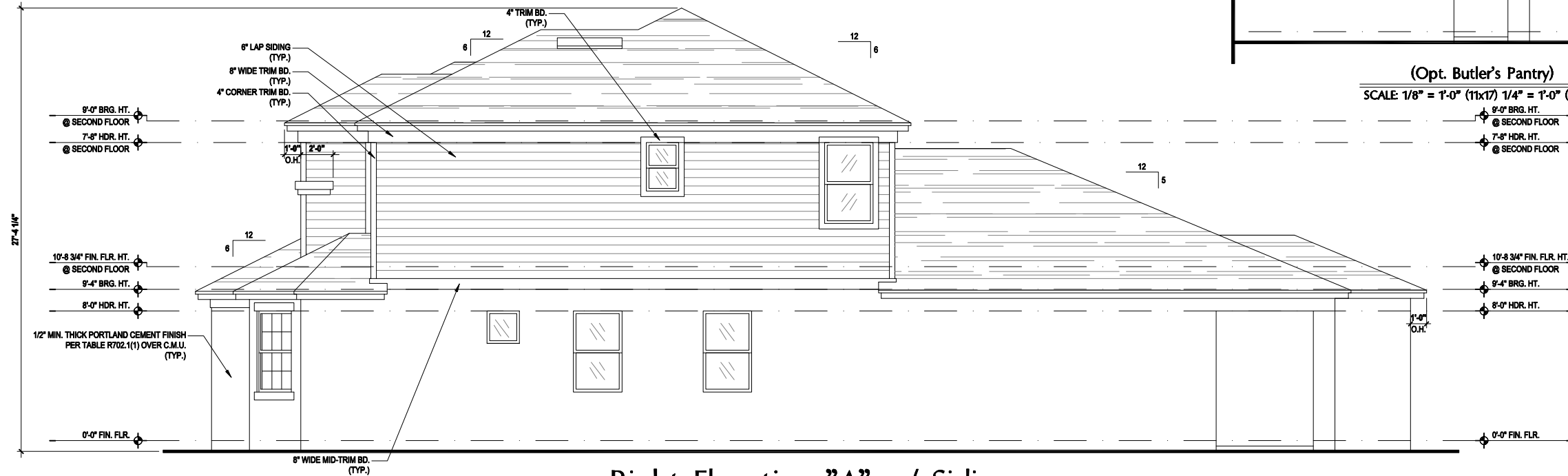
(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. Bed 5 ilo Loft)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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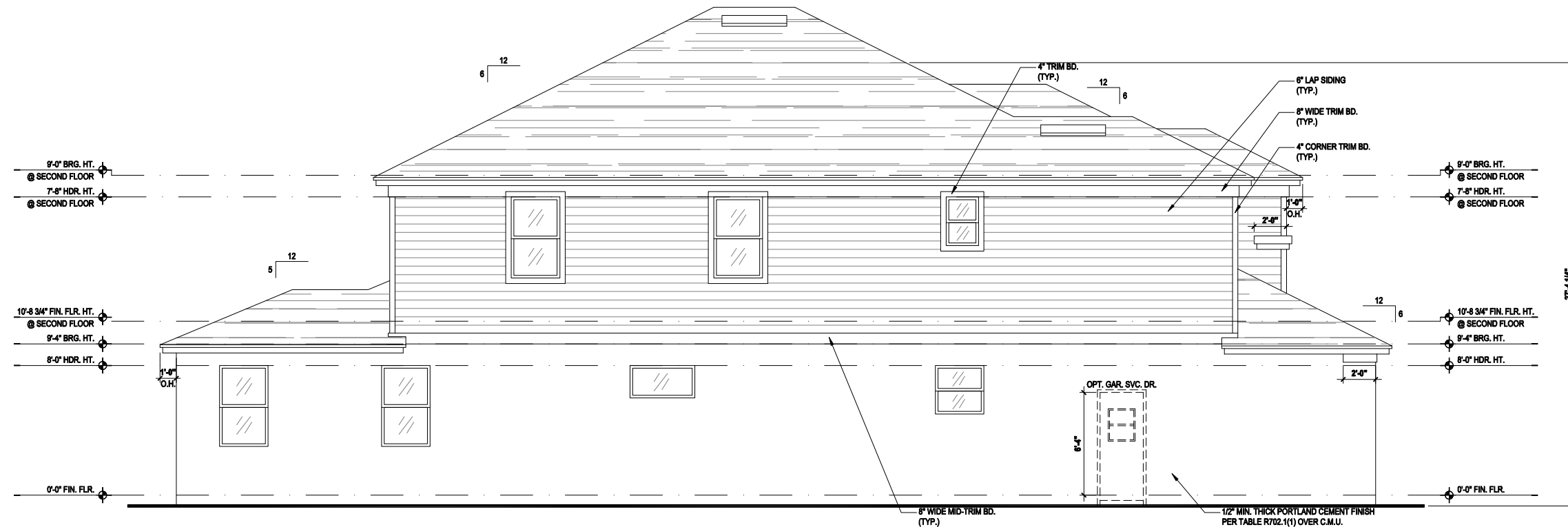
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SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
05-A1.3

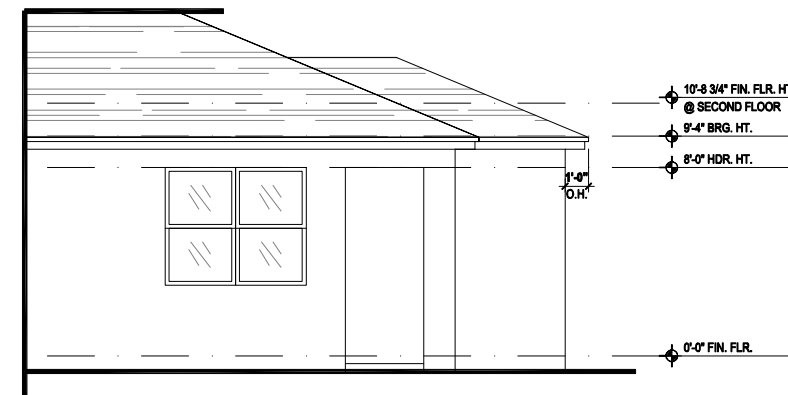
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Left Elevation "A" w/ Siding

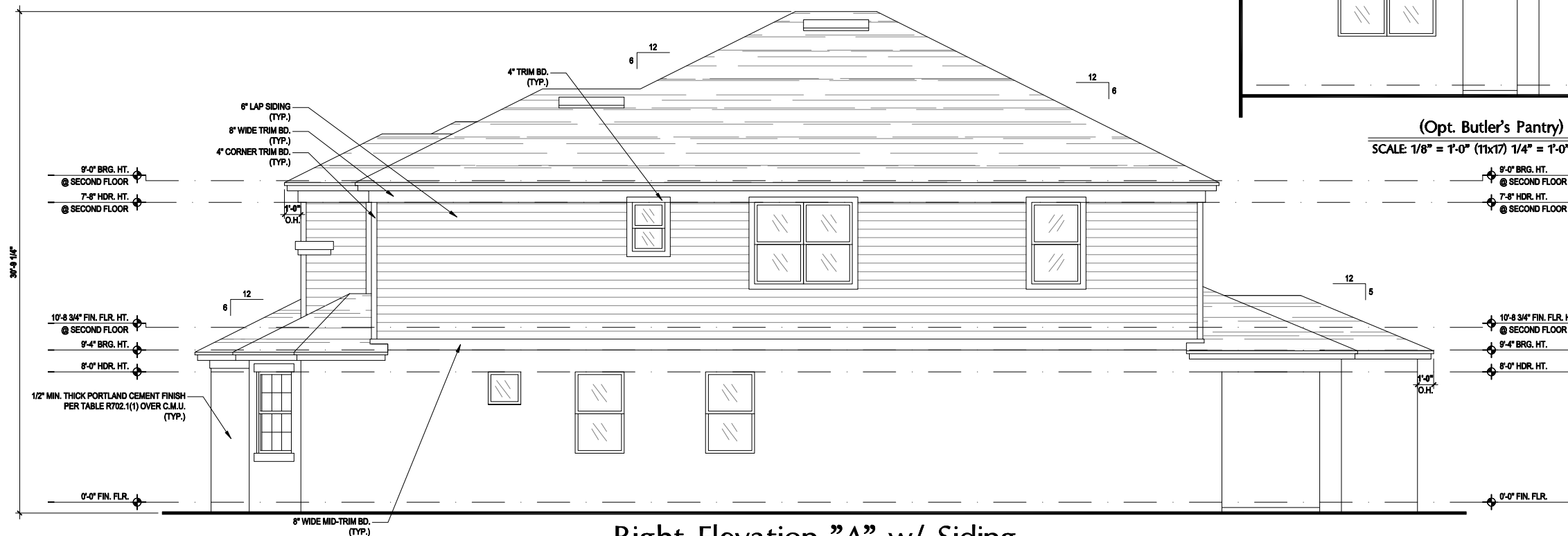
(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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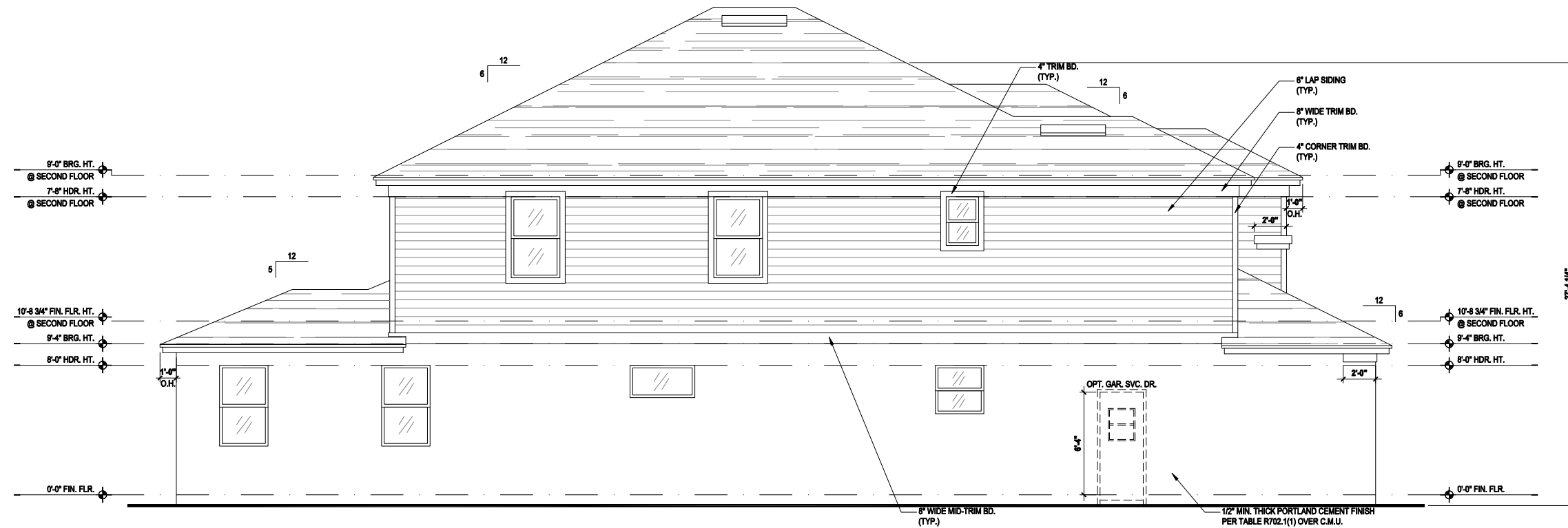
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DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
05-A1.4

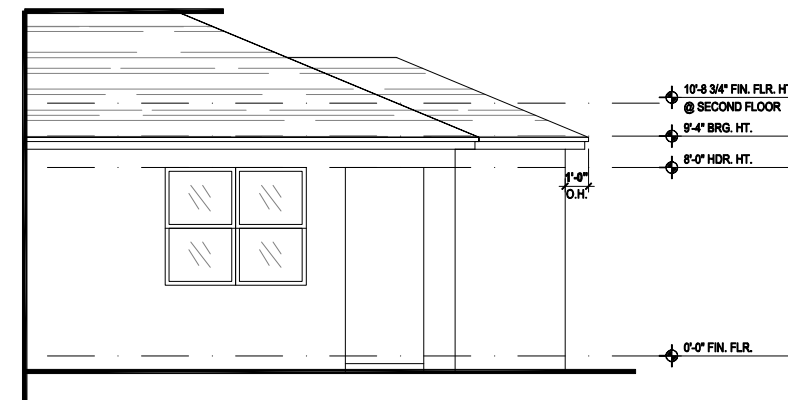
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Left Elevation "A" w/ Siding

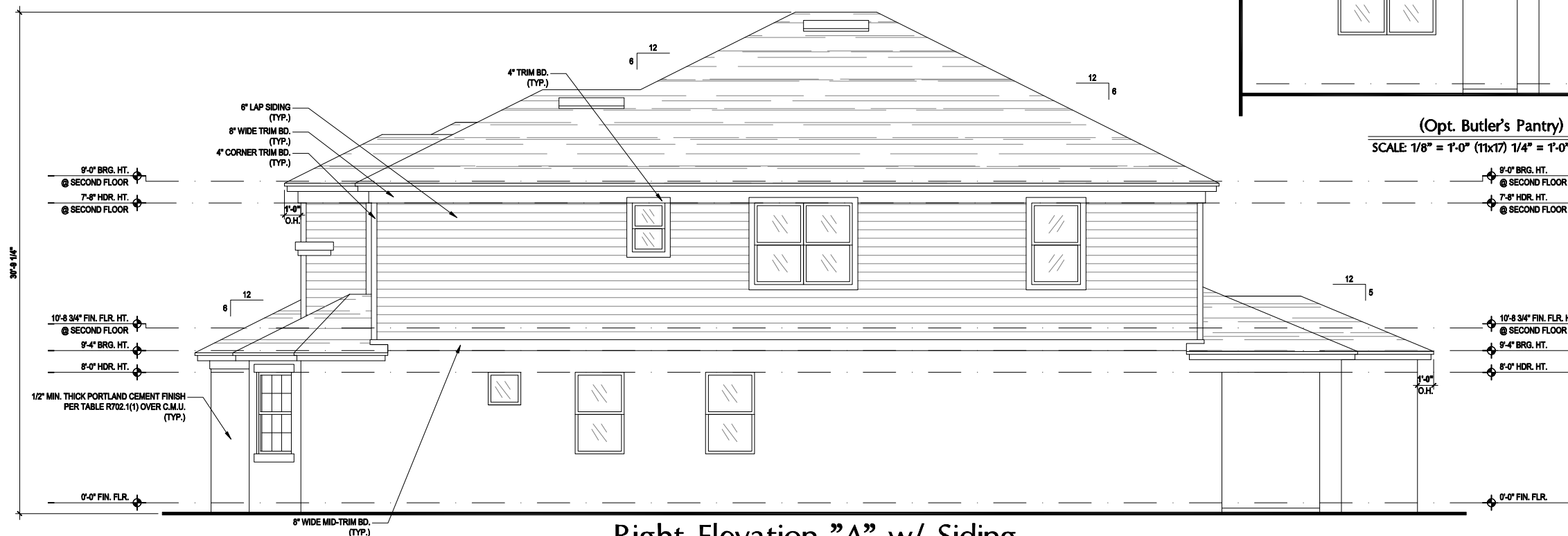
(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. Bed 5, 6 & 7)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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SCALE: AS NOTED

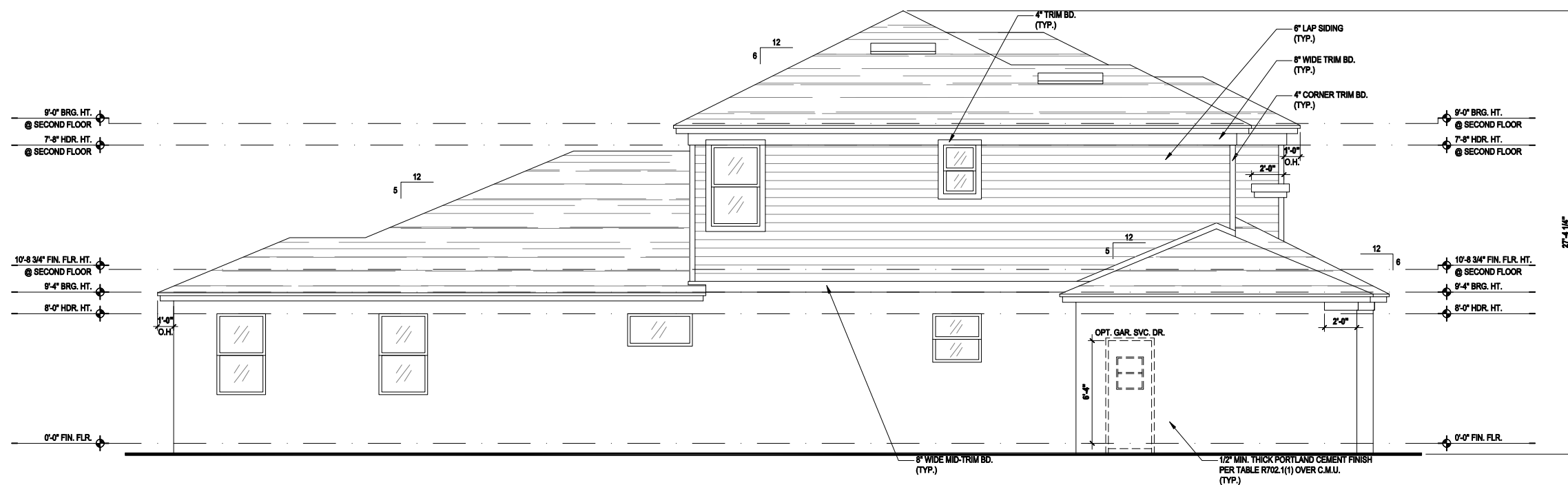
DRAWN BY: KJ

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ELEVATIONS "A"

05-A1.5

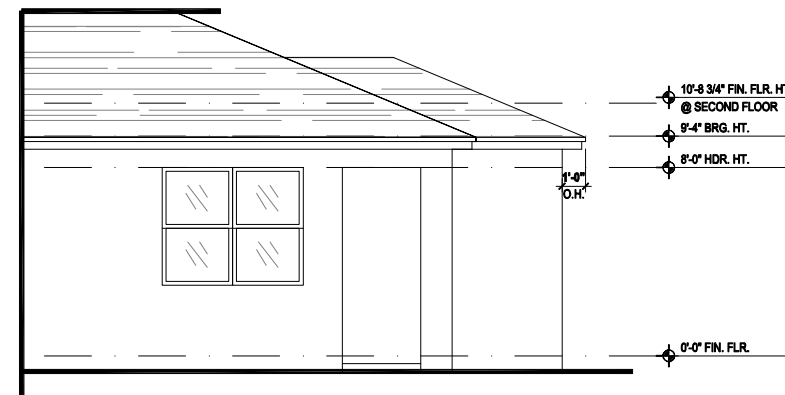
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Left Elevation "A" w/ Siding

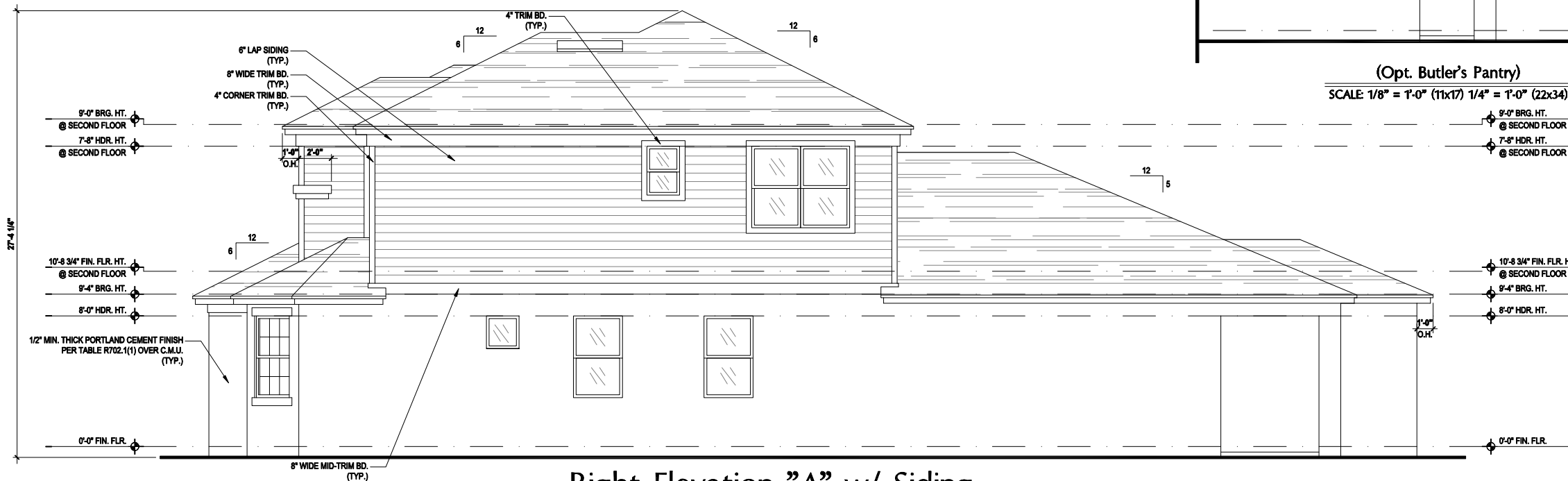
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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SCALE: AS NOTED

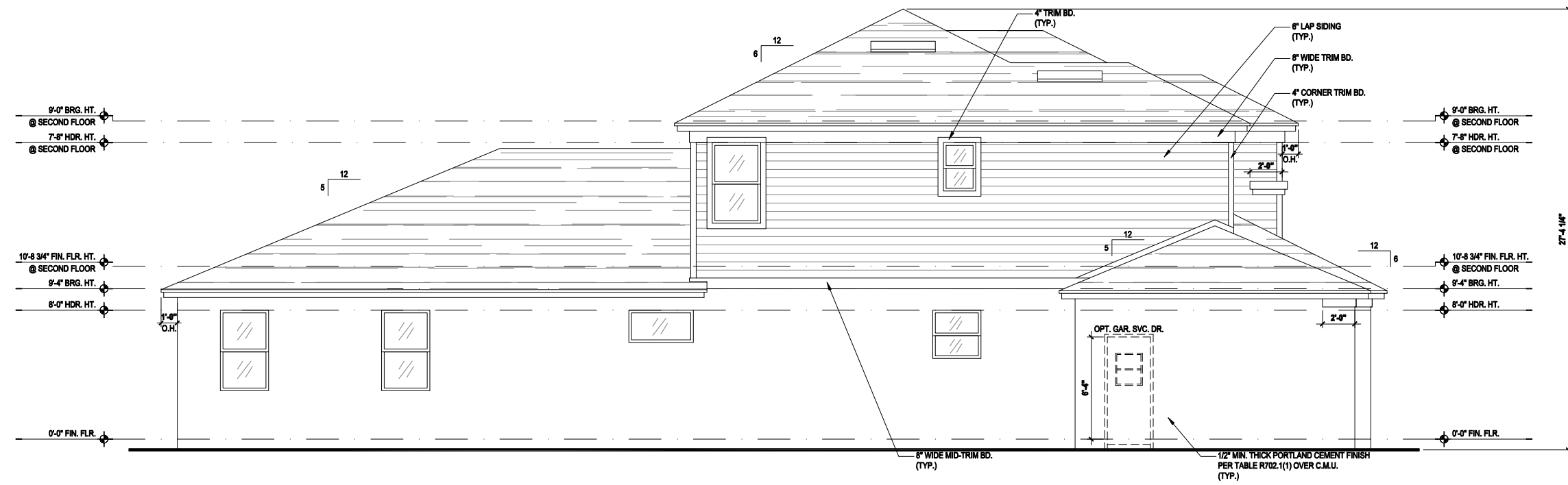
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DESIGNED BY: MJS

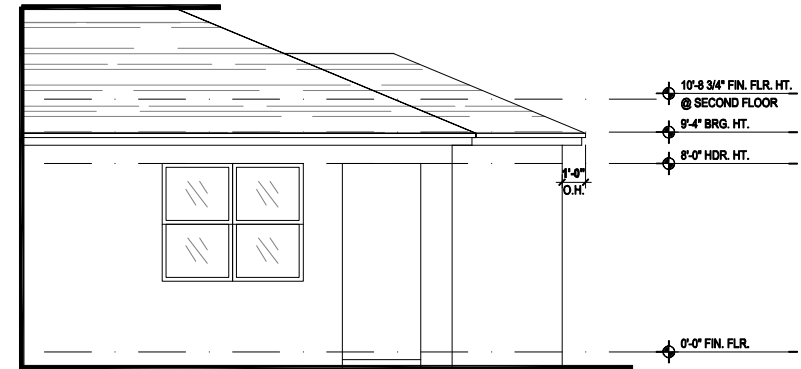
ELEVATIONS "A"

05-A1.6

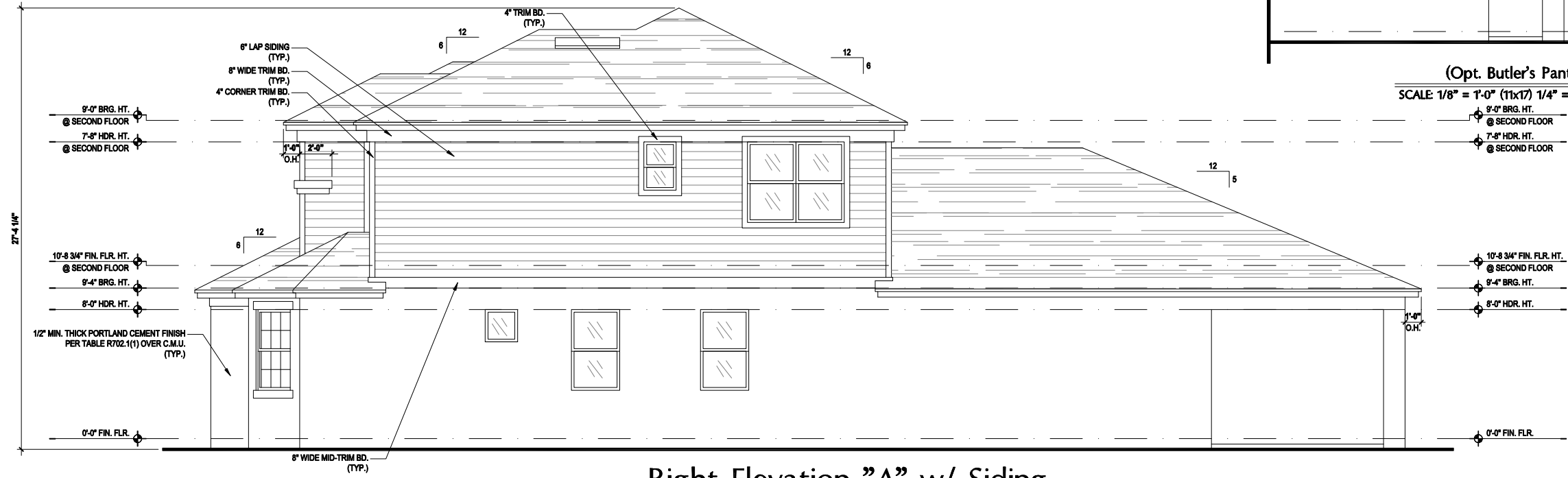
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Left Elevation "A" w/ Siding
 (Opt. 3-Car Garage & Ext. Cov. Patio)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding
 (Opt. 3-Car Garage & Ext. Cov. Patio)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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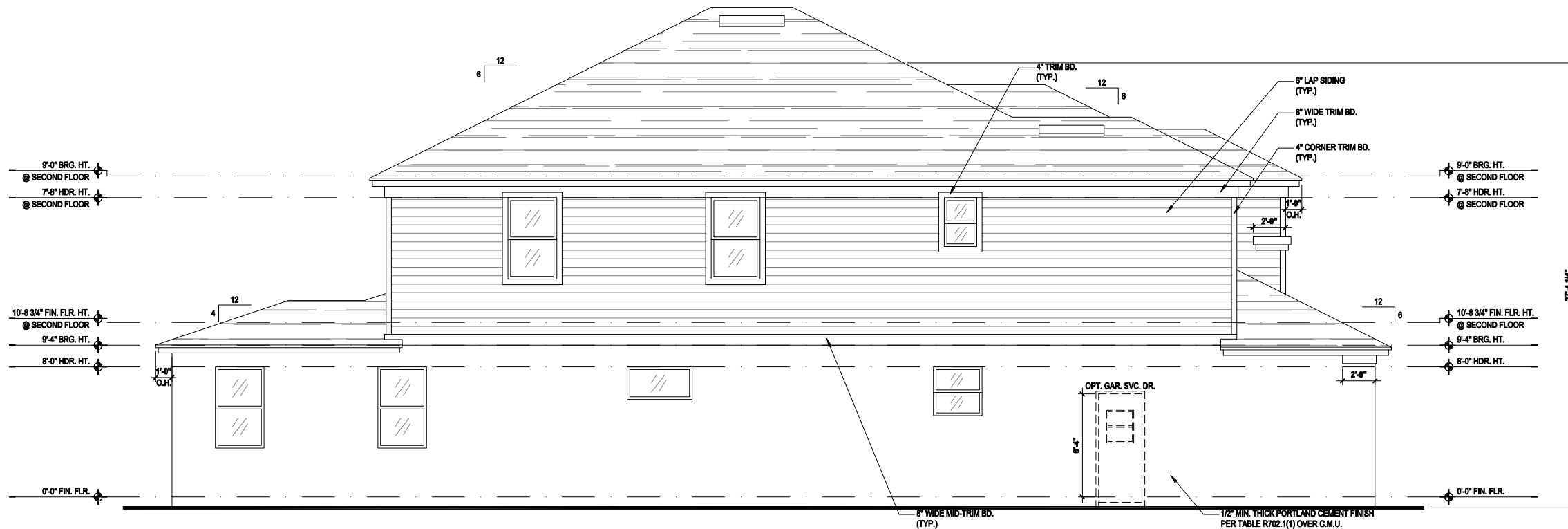
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ELEVATIONS "A"
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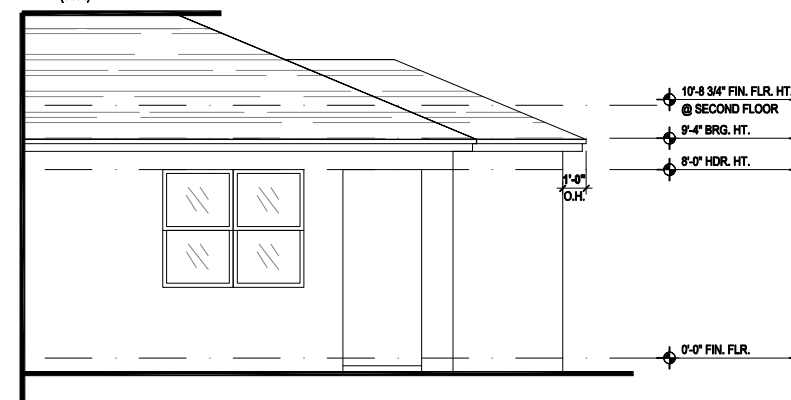
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Left Elevation "A" w/ Siding

(Opt. Extended Bonus Rm.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A" w/ Siding

(Opt. Extended Bonus Rm.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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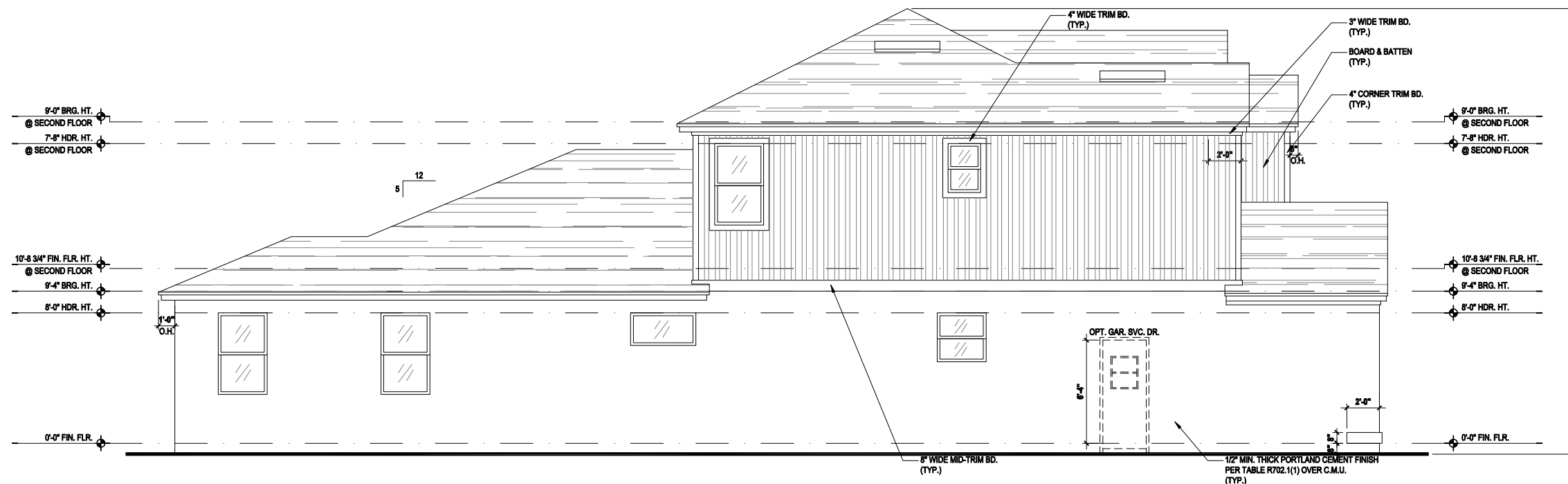


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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
05-A1.8

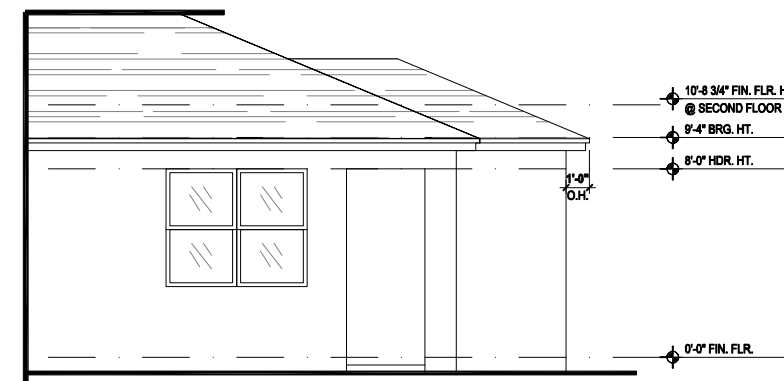
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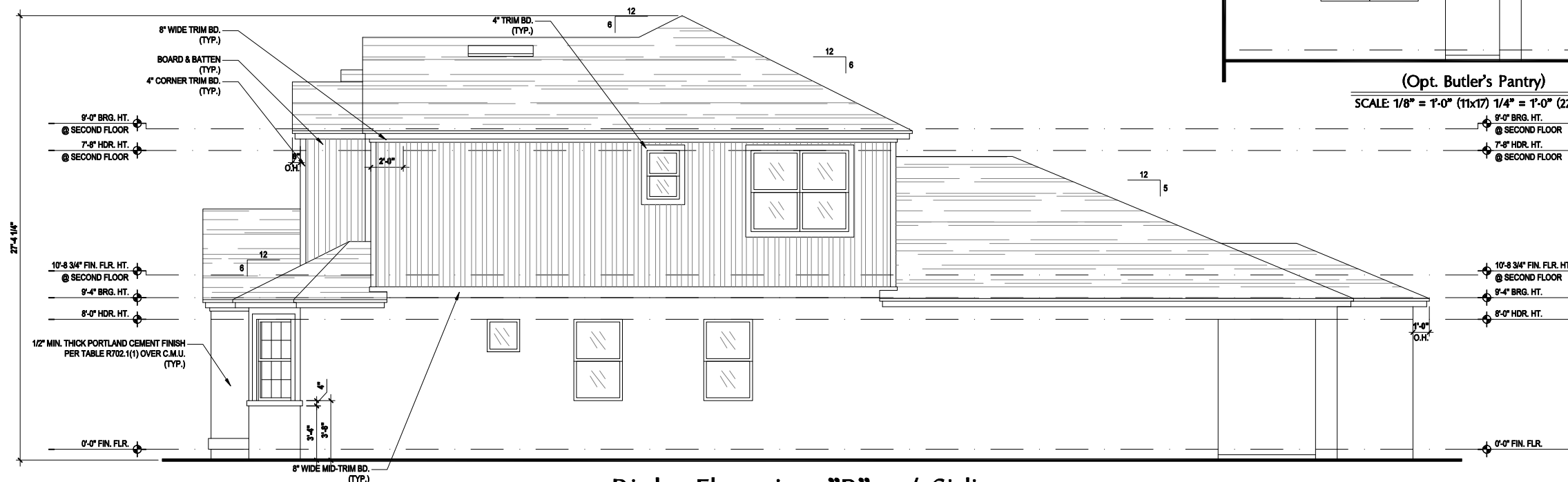
Left Elevation "B" w/ Siding
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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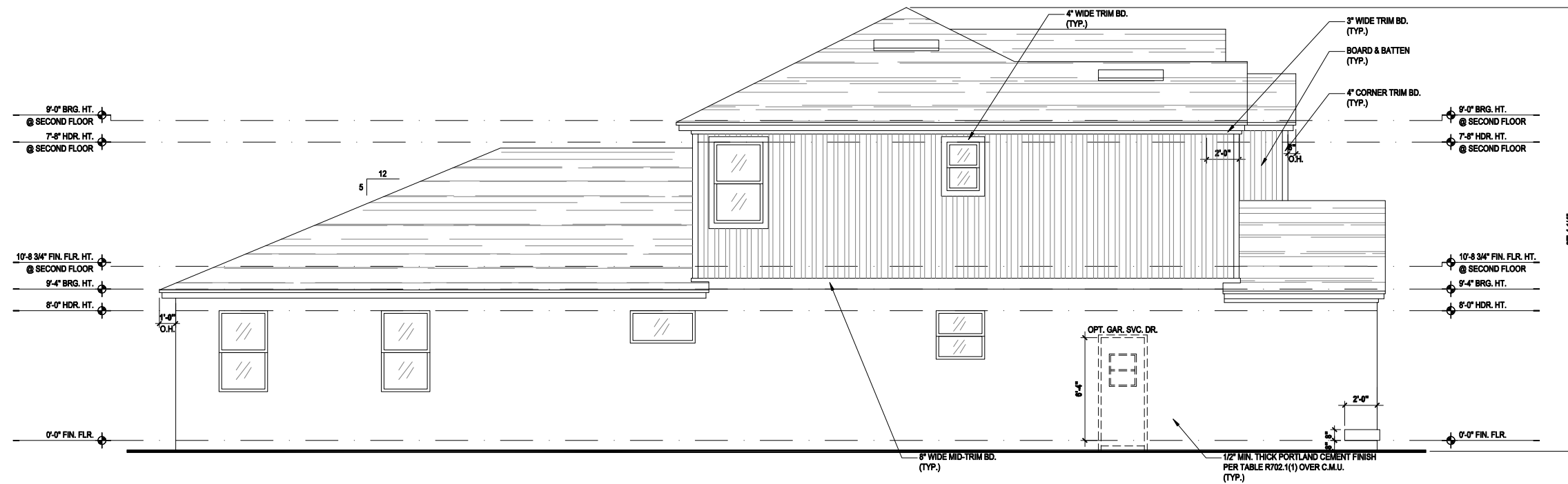
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "B"
05-B1

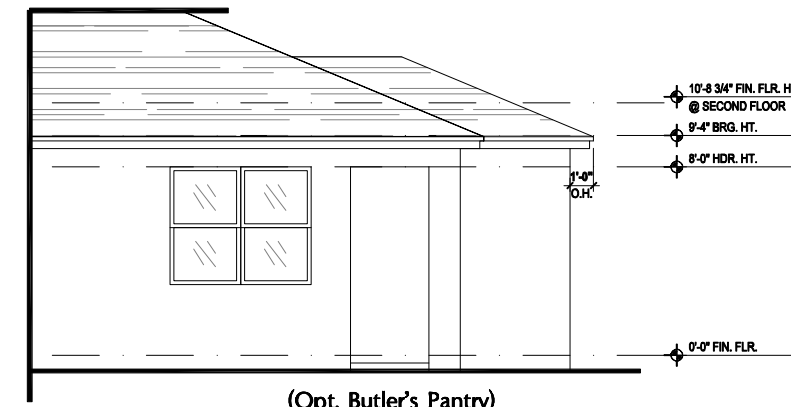
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Left Elevation "B" w/ Siding

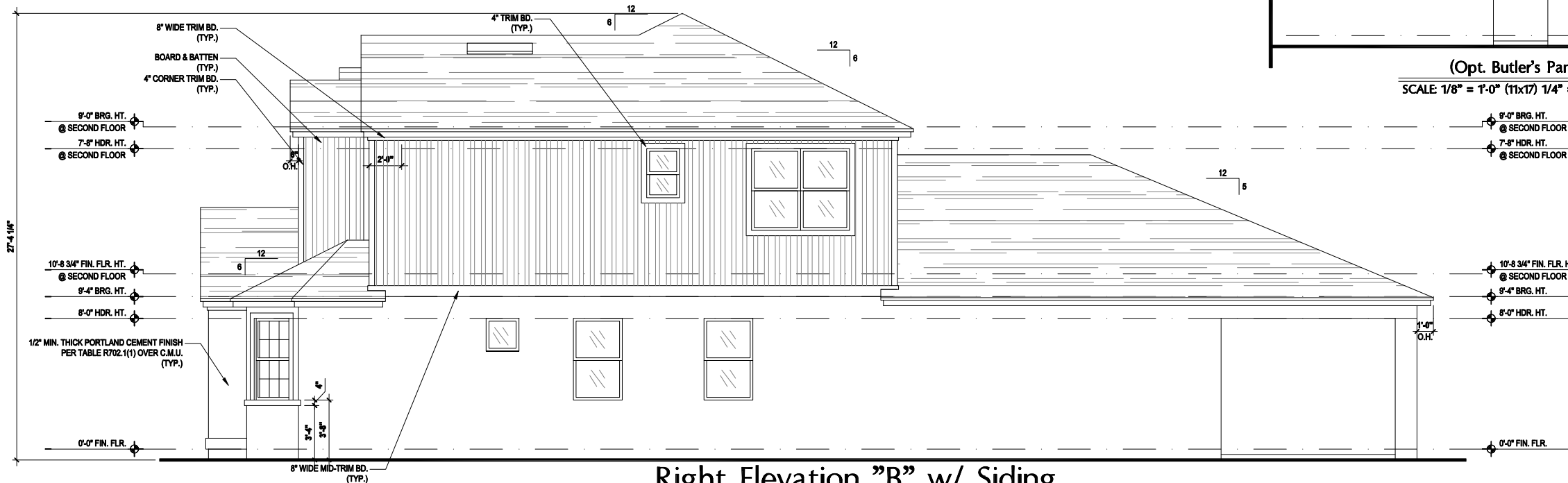
(Opt. Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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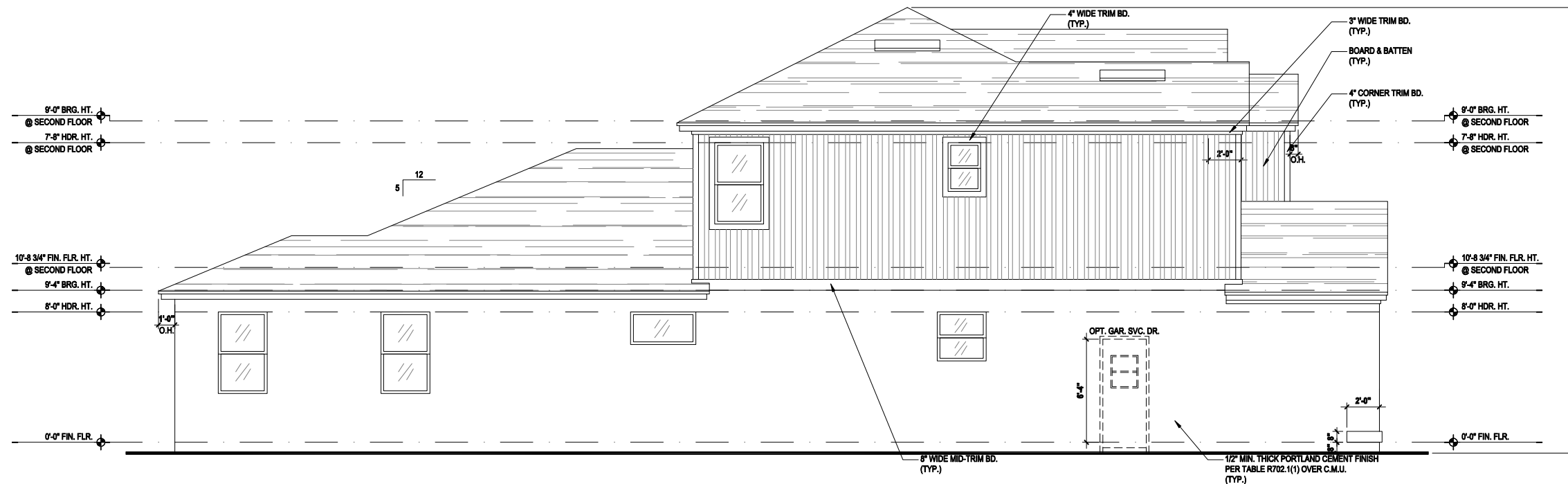
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

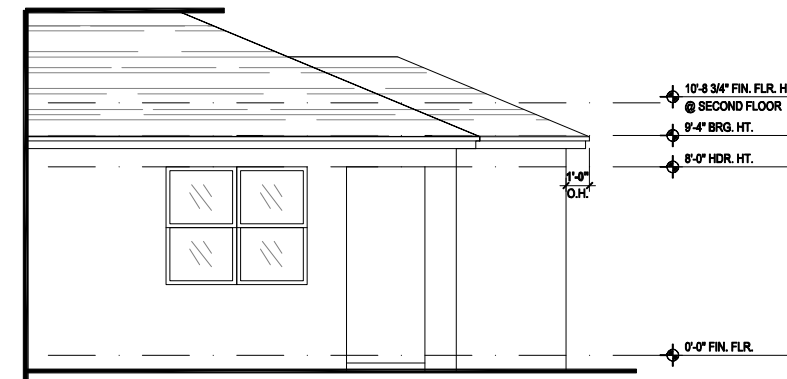
ELEVATIONS "B"
05-B1.1

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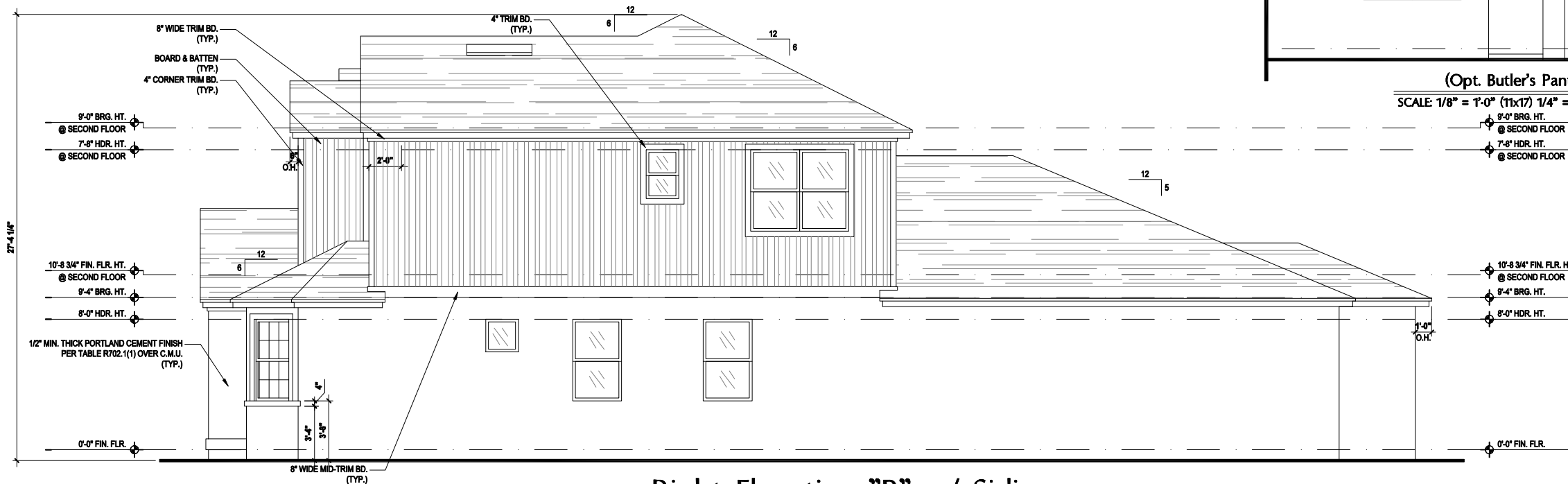
Left Elevation "B" w/ Siding
(Opt. Pool Bath)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding
(Opt. Pool Bath)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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SCALE: AS NOTED

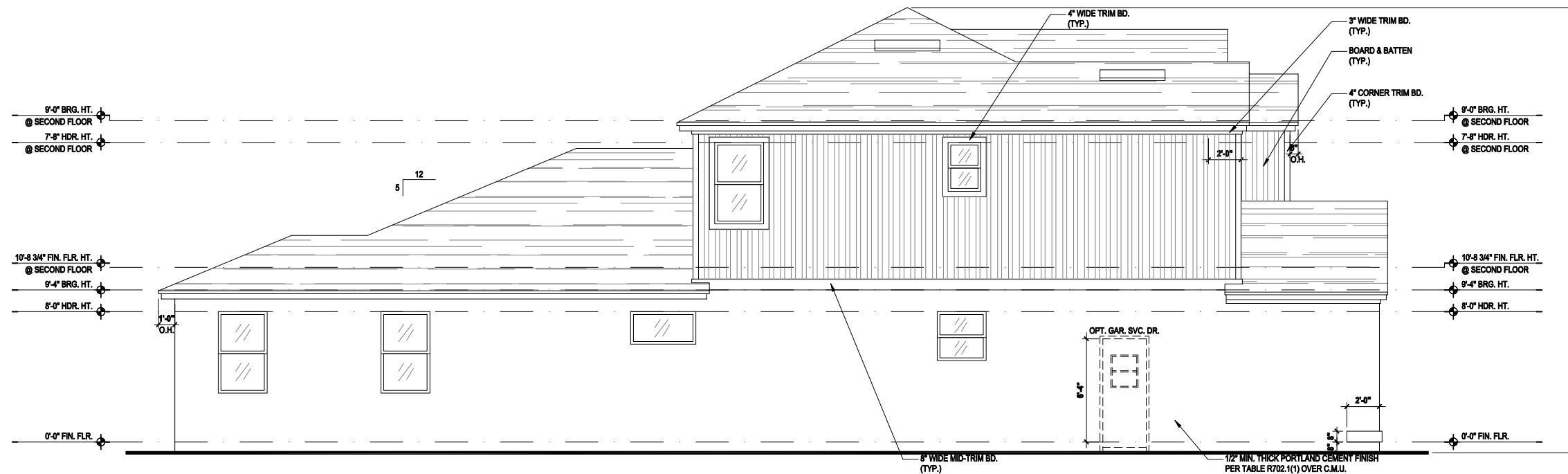
DRAWN BY: KJ

DESIGNED BY: MJS

ELEVATIONS "B"

05-B1.2

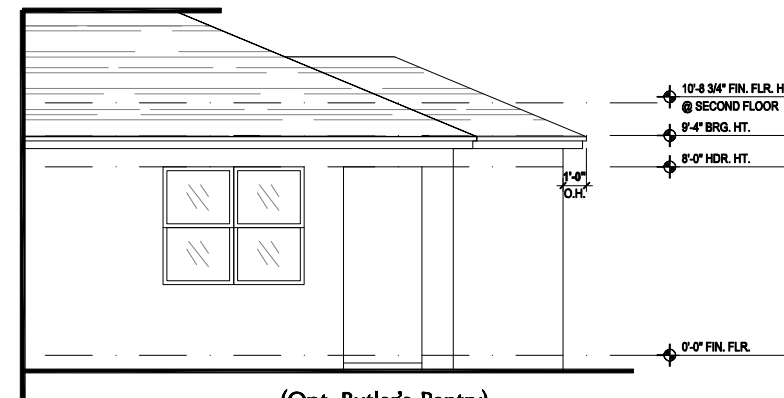
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Left Elevation "B" w/ Siding

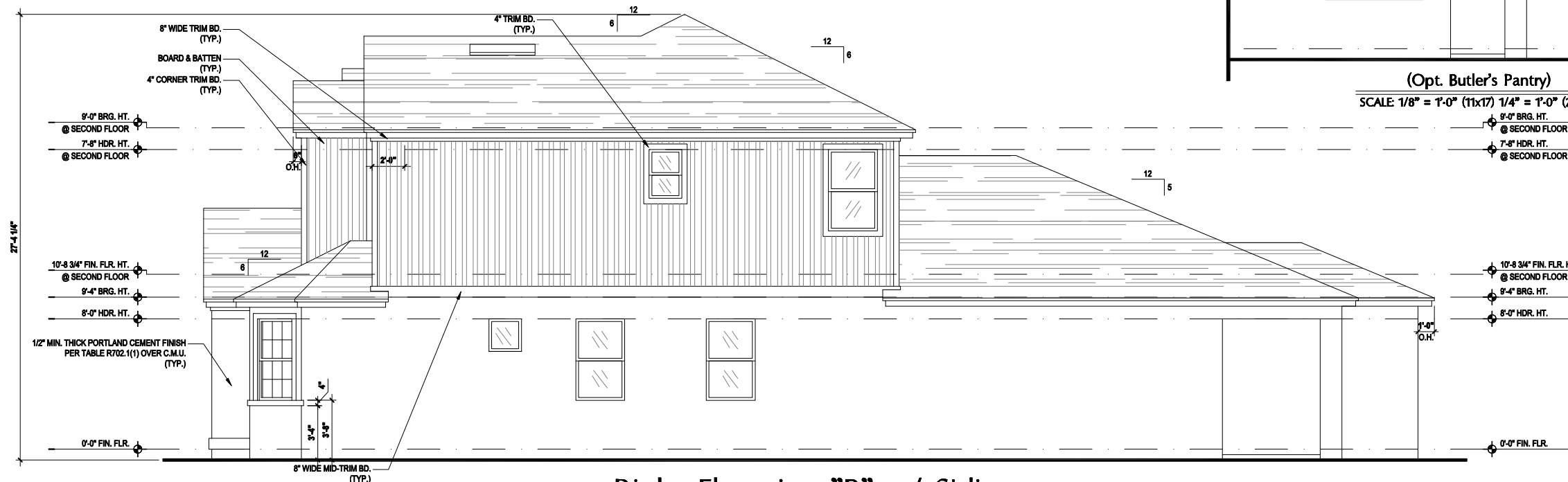
(Opt. Bed 5 ilo Loft)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding

(Opt. Bed 5 ilo Loft)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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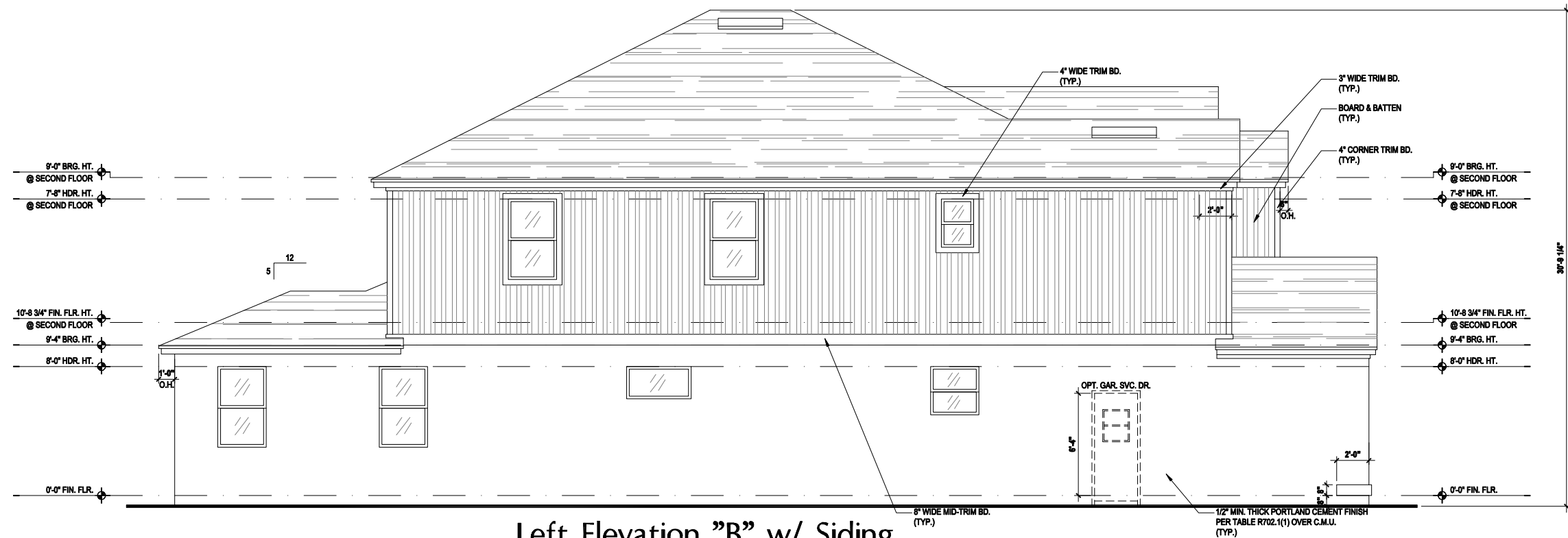
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ELEVATIONS "B"
05-B1.3

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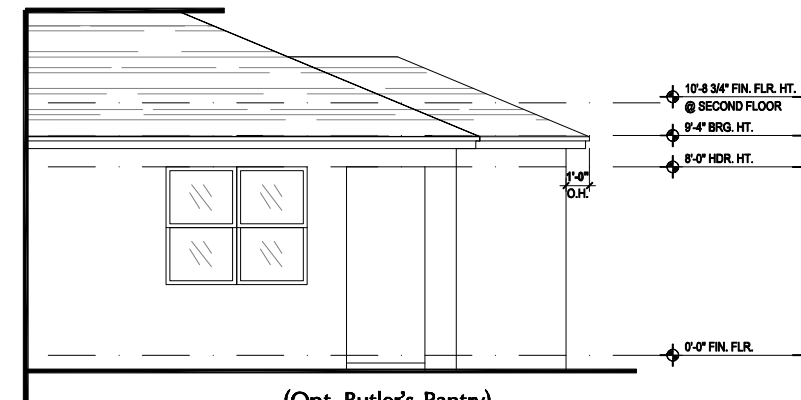
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Left Elevation "B" w/ Siding

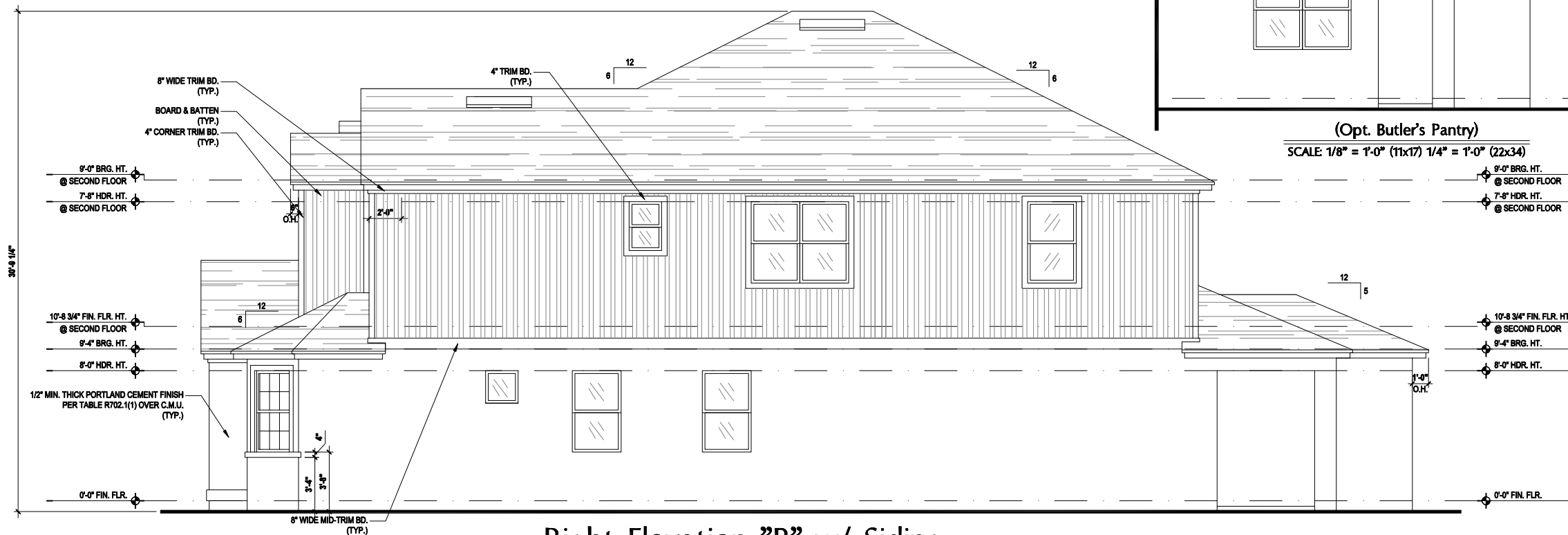
(Opt. Bed 5, 6 & Flex)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding

(Opt. Bed 5, 6 & Flex)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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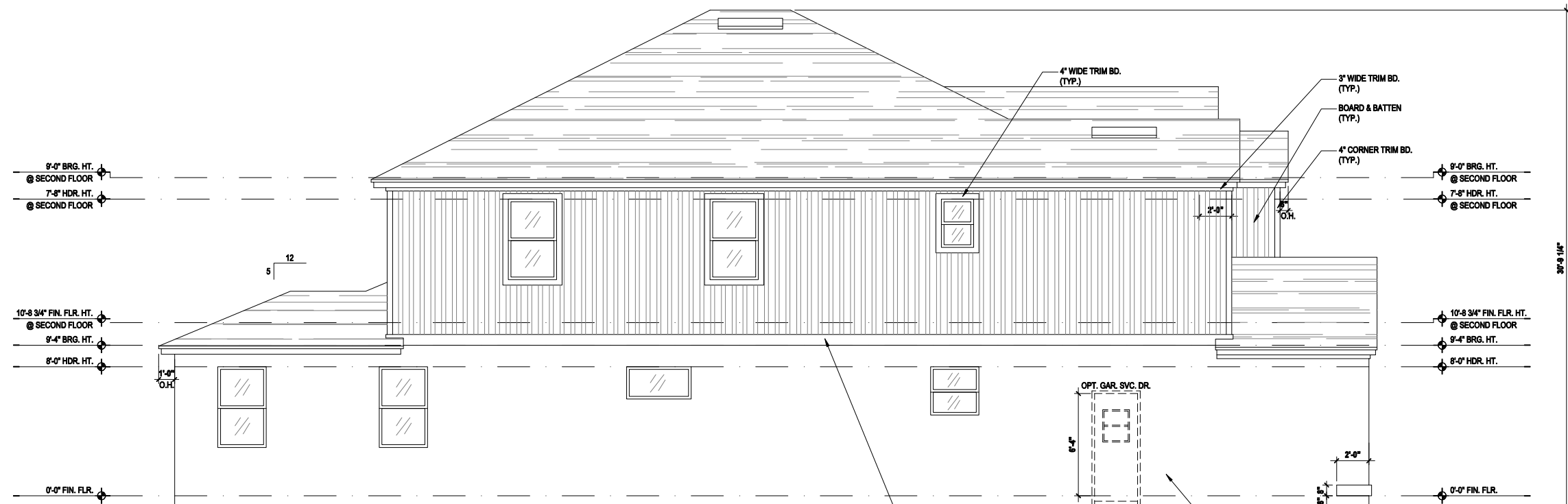
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DESIGNED BY:	MJS

ELEVATIONS "B"
05-B1.4

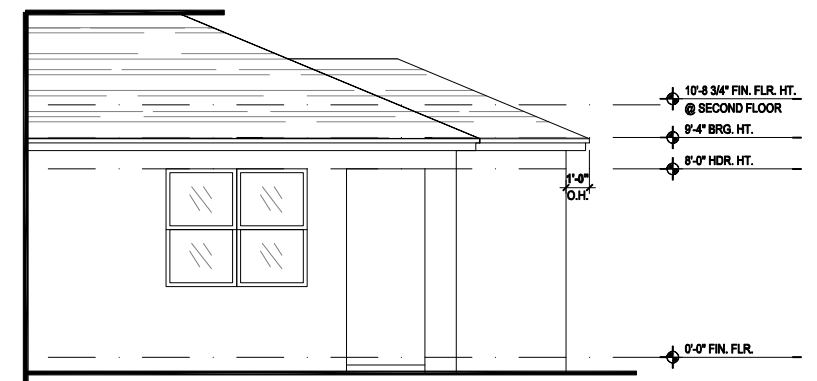
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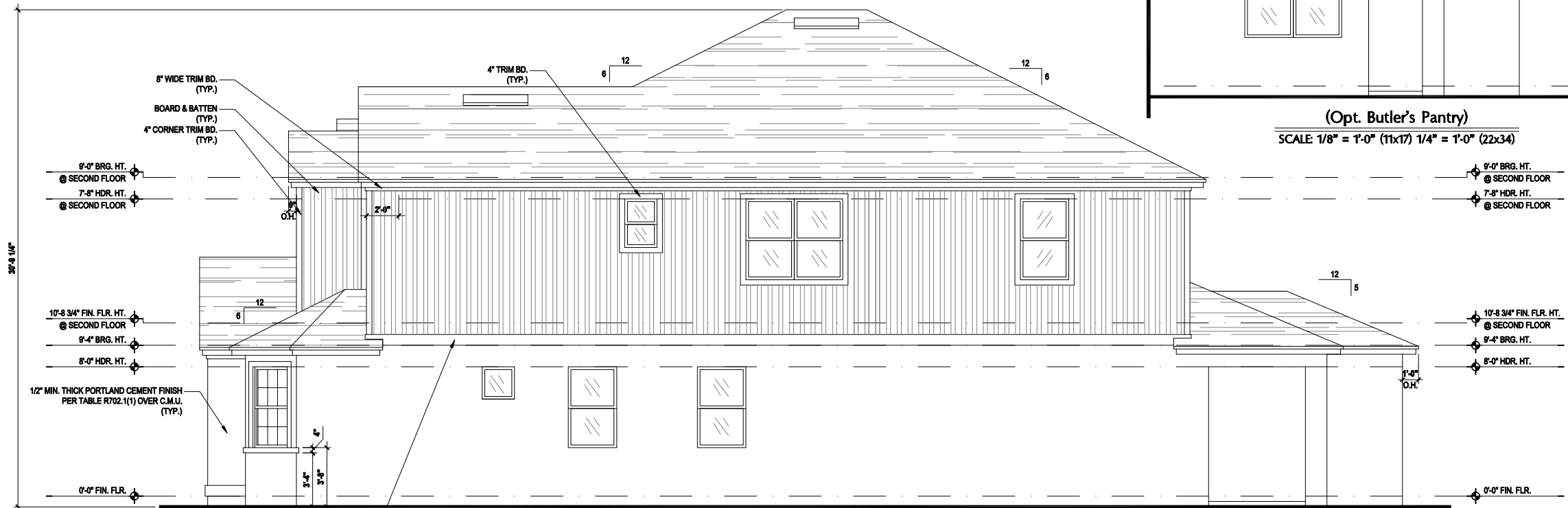


Left Elevation "B" w/ Siding

(Opt. Bed 5, 6 & 7)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding

(Opt. Bed 5, 6 & 7)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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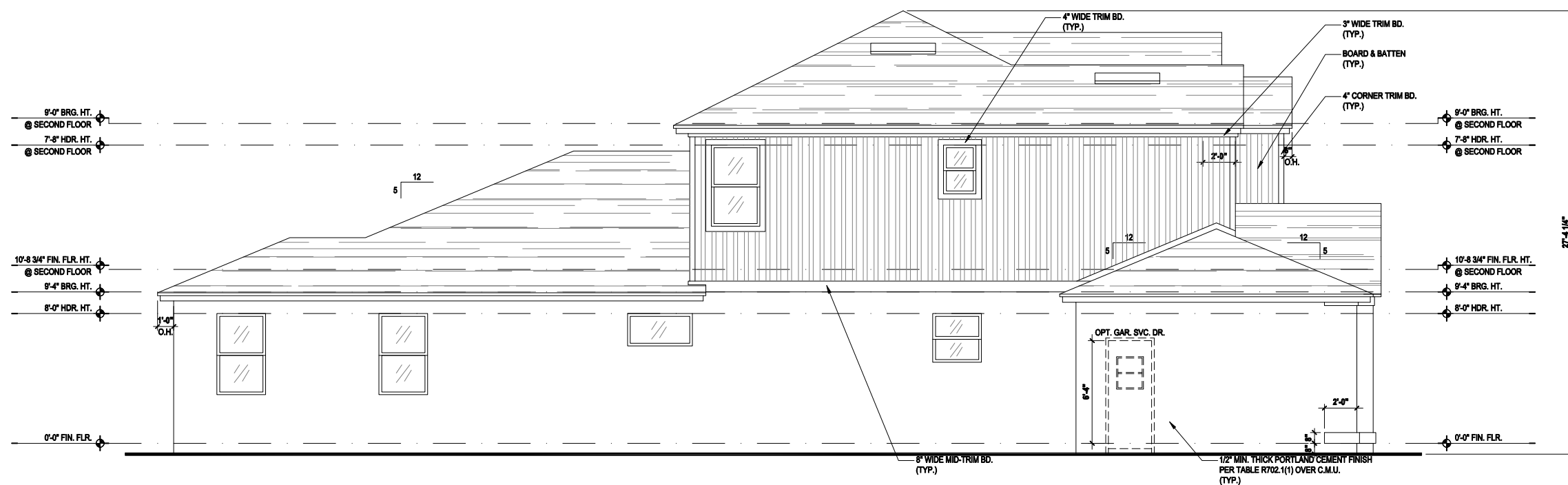
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DESIGNED BY:	MJS

ELEVATIONS "B"
05-B1.5

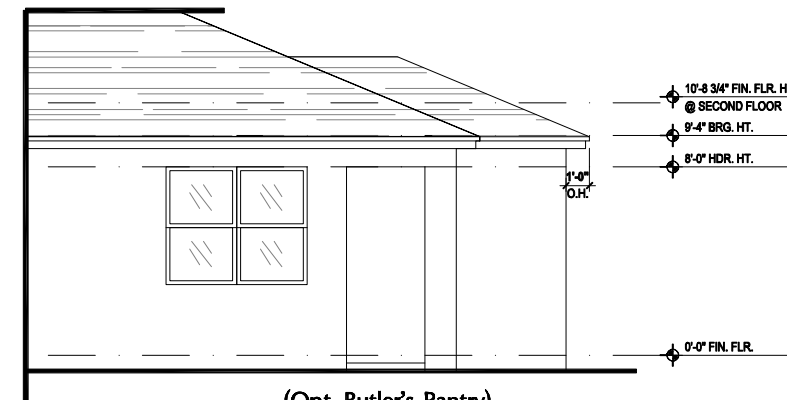
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Left Elevation "B" w/ Siding

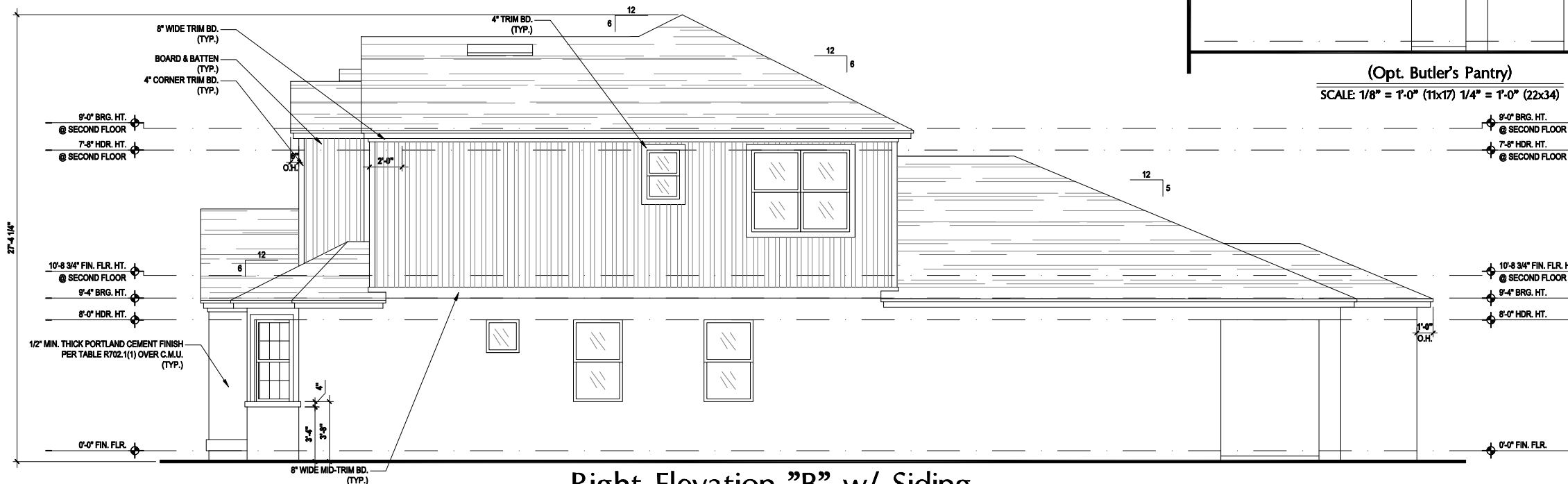
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding

(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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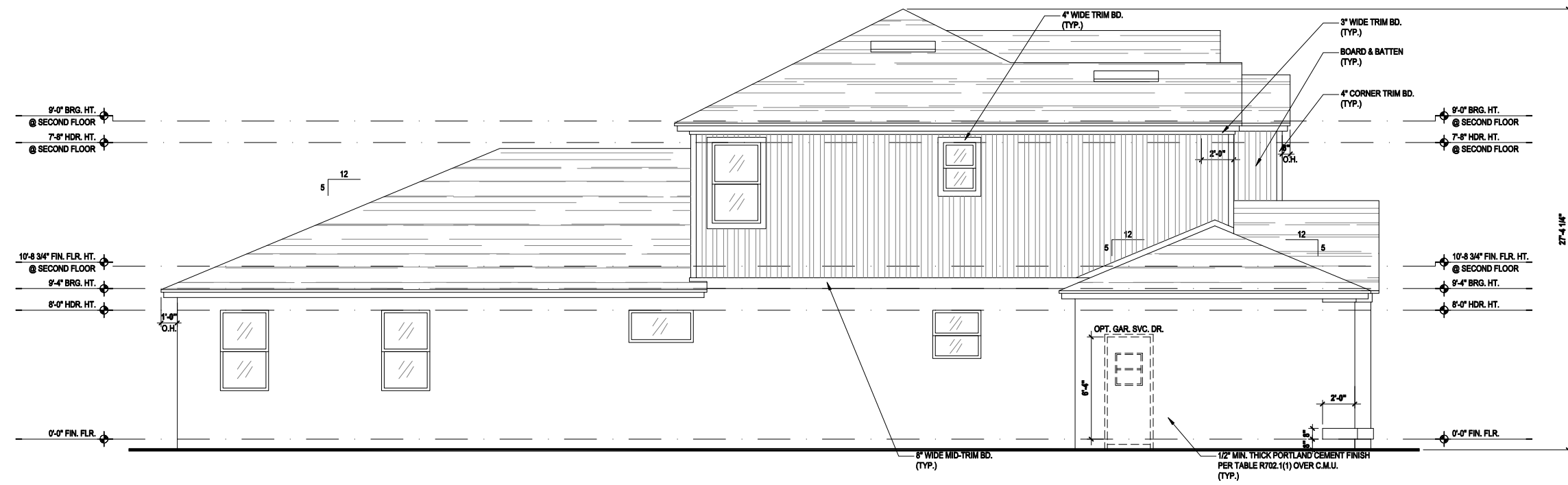
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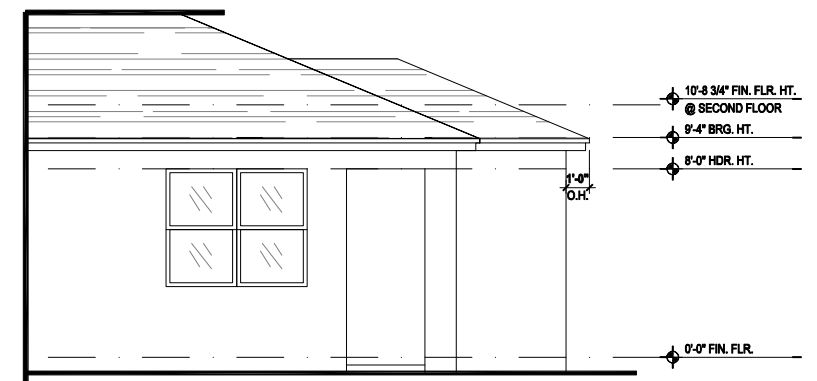
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DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "A"
05-B1.6

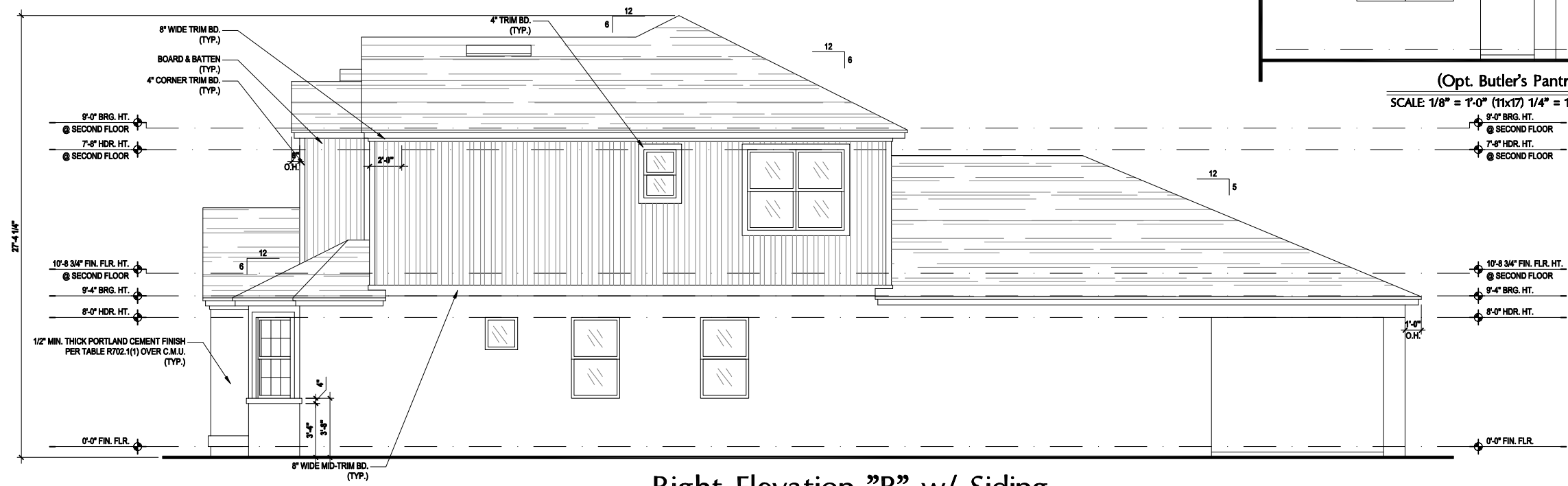
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Left Elevation "B" w/ Siding
 (Opt. 3-Car Garage & Ext. Cov. Patio)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding
 (Opt. 3-Car Garage & Ext. Cov. Patio)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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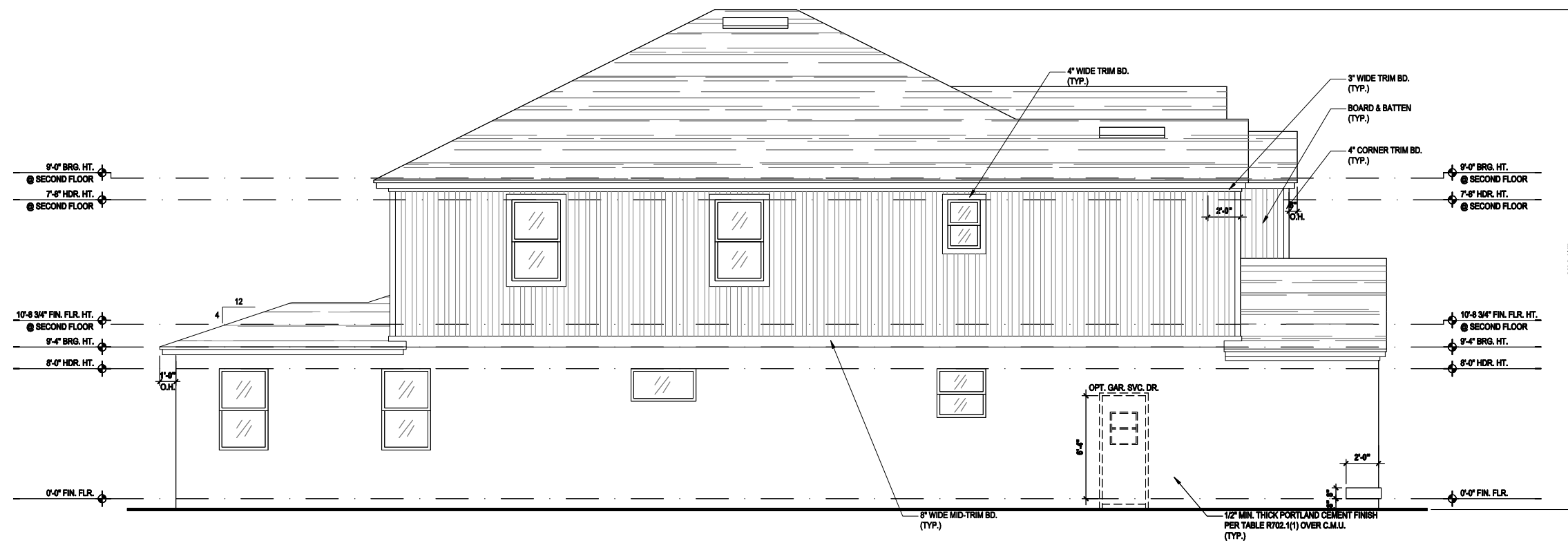
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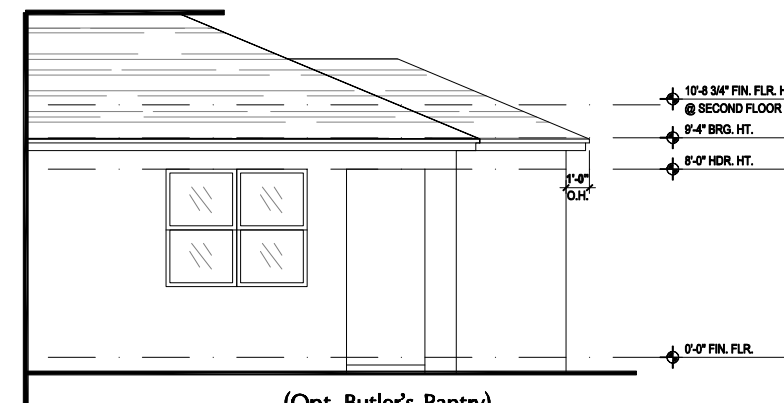
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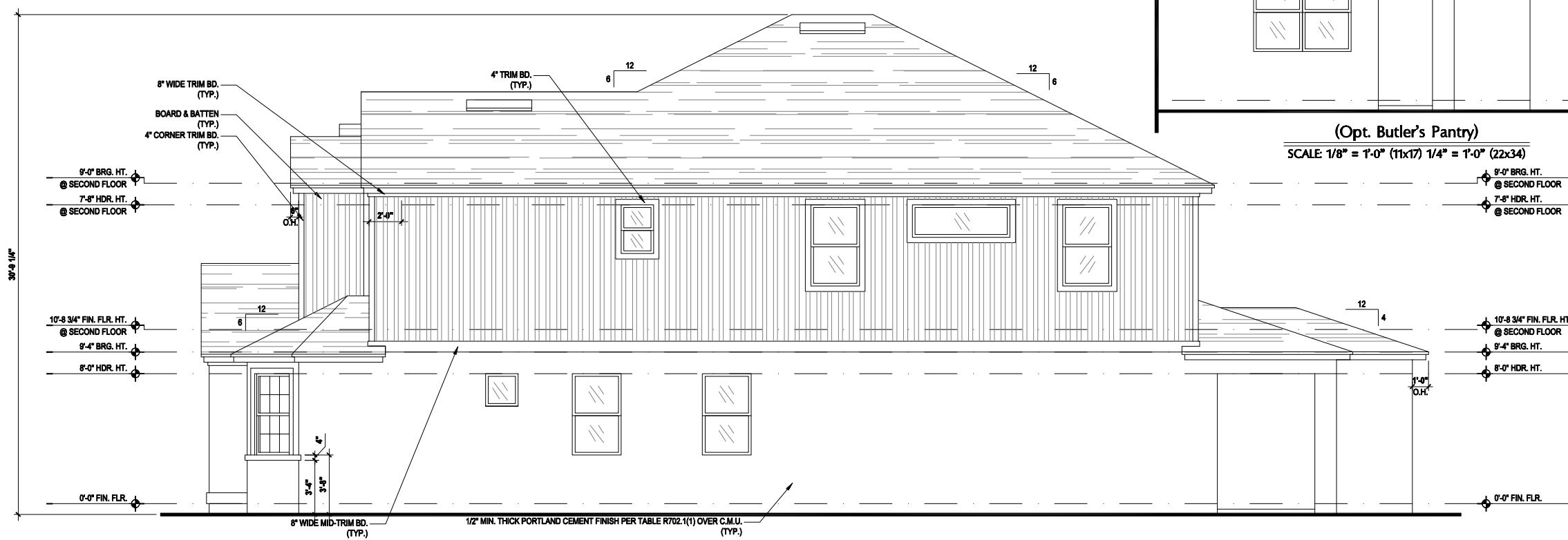
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Left Elevation "B" w/ Siding
 (Opt. Extended Bonus Rm.)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B" w/ Siding
 (Opt. Extended Bonus Rm.)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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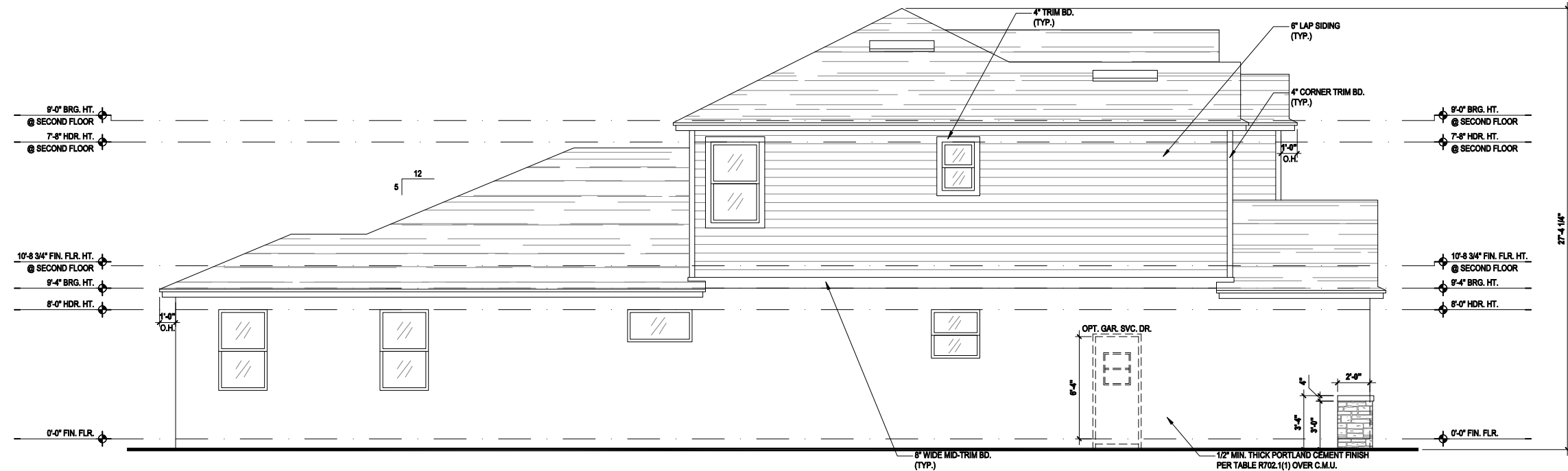
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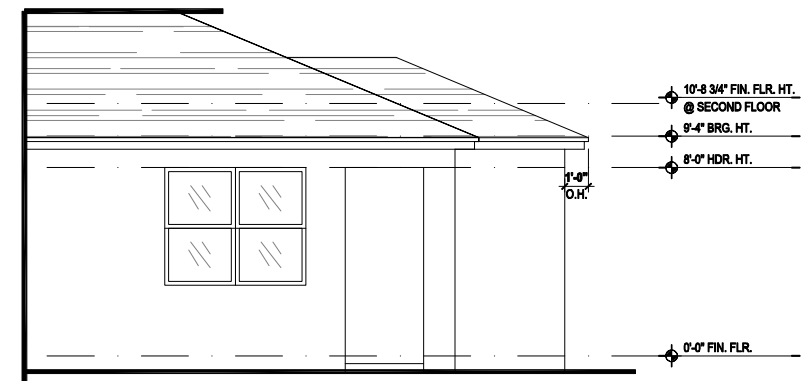
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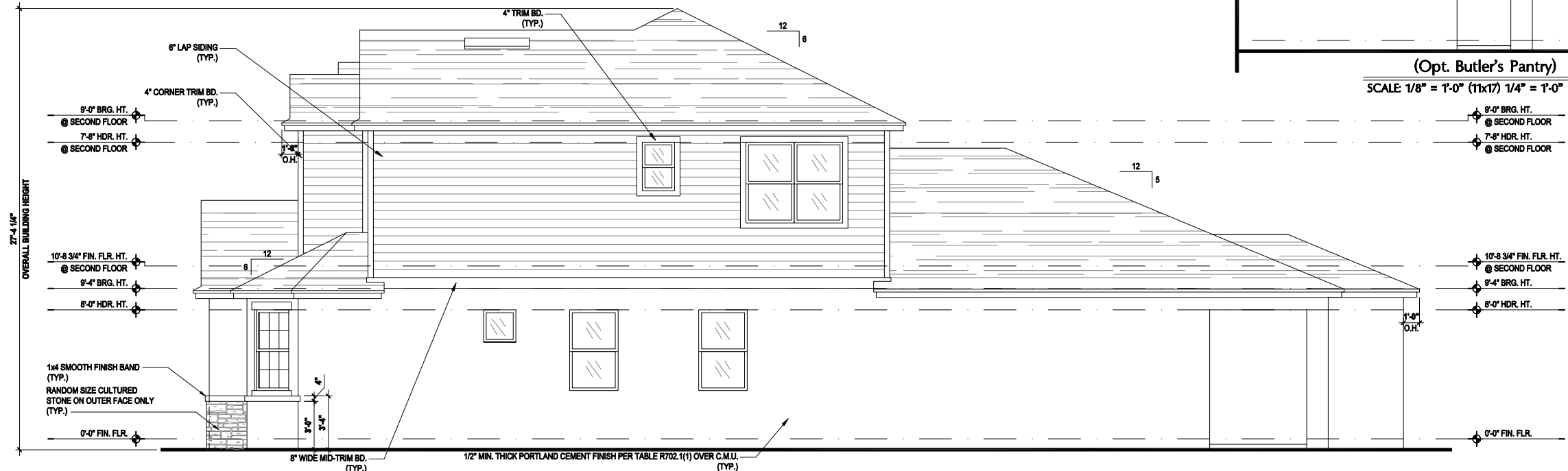
Left Elevation "C" w/ Siding
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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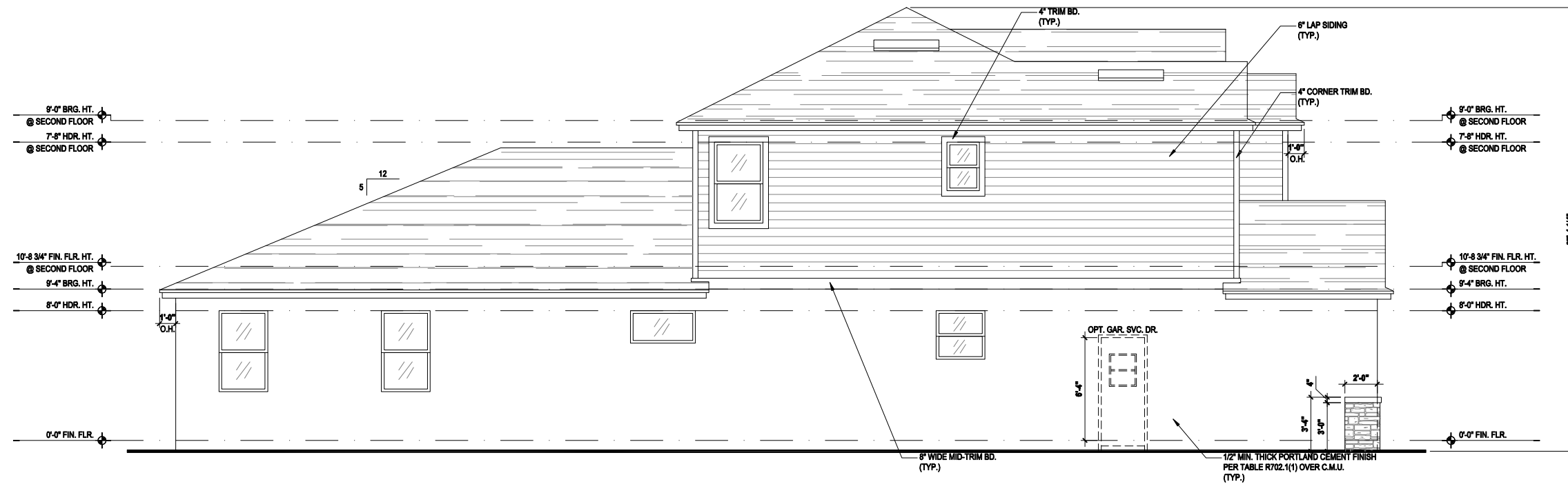
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DRAWN BY:	KJ
DESIGNED BY:	MJS

ELEVATIONS "C"
05-C1

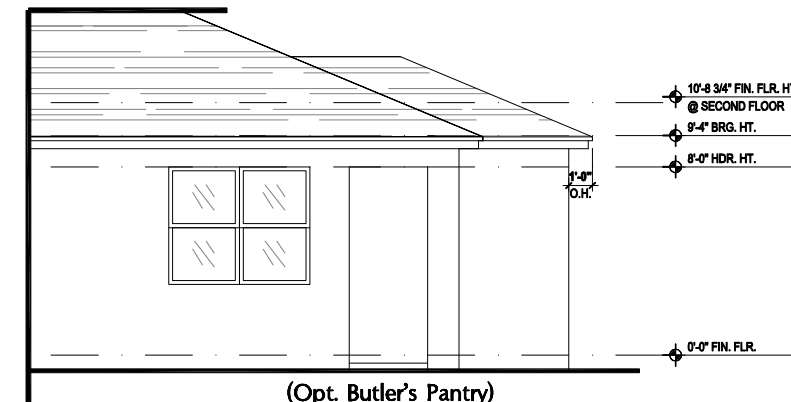
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Left Elevation "C" w/ Siding

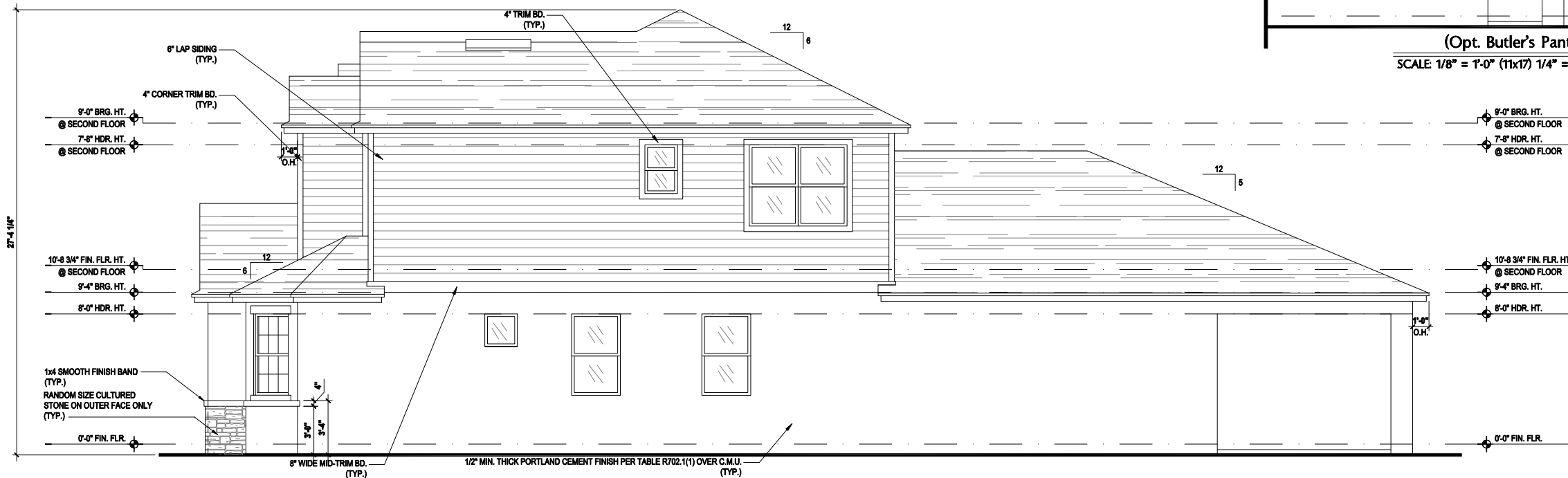
(Opt. Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding

(Opt. Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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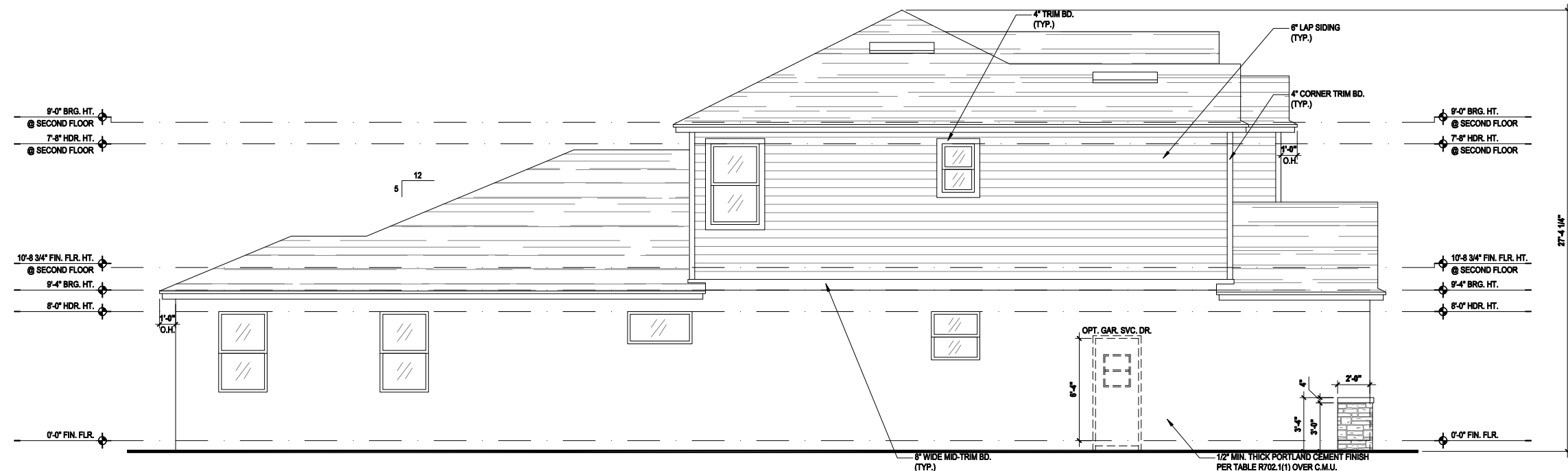
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PROJECT:	17-0206
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

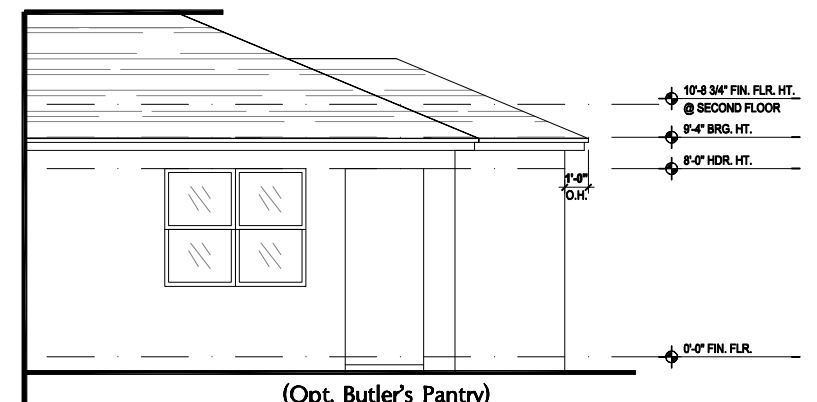
ELEVATIONS "C"
05-C1.1

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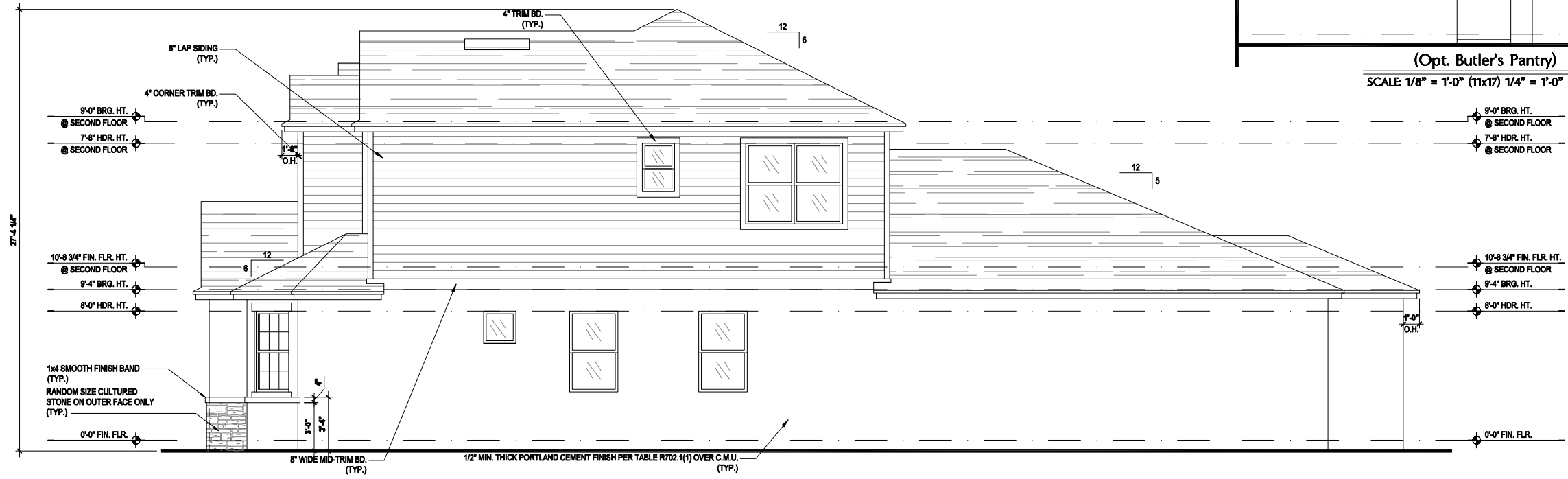


Left Elevation "C" w/ Siding
(Opt. Pool Bath)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
(Opt. Pool Bath)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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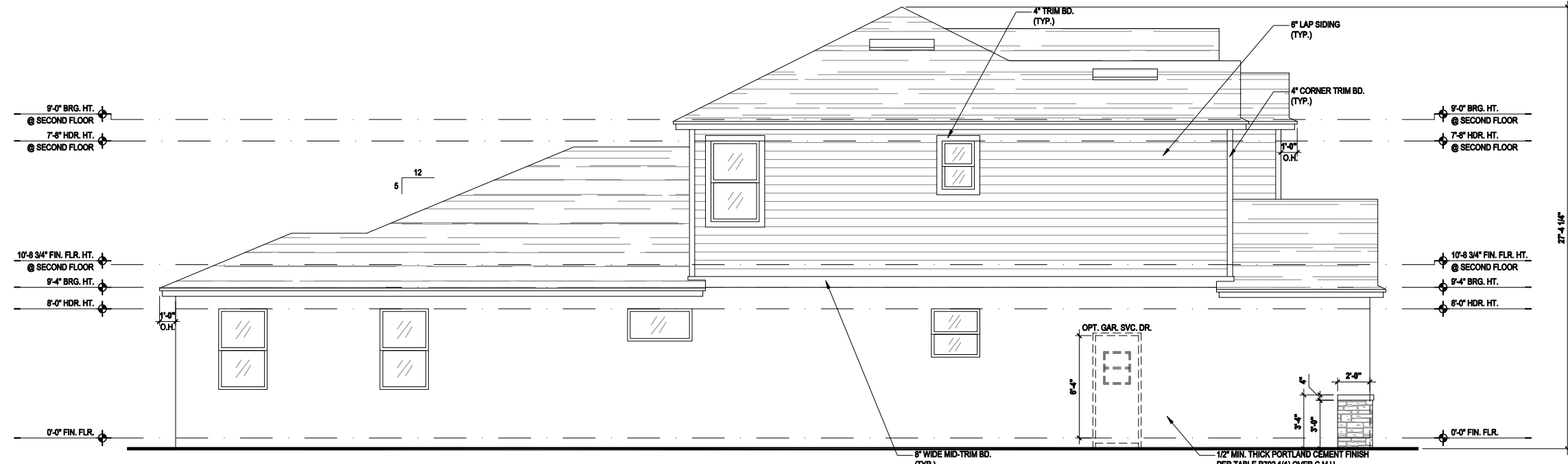
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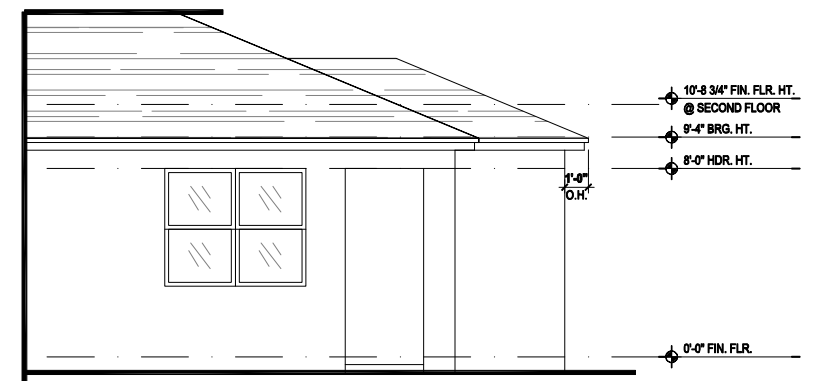
ELEVATIONS "C"
05-C1.2

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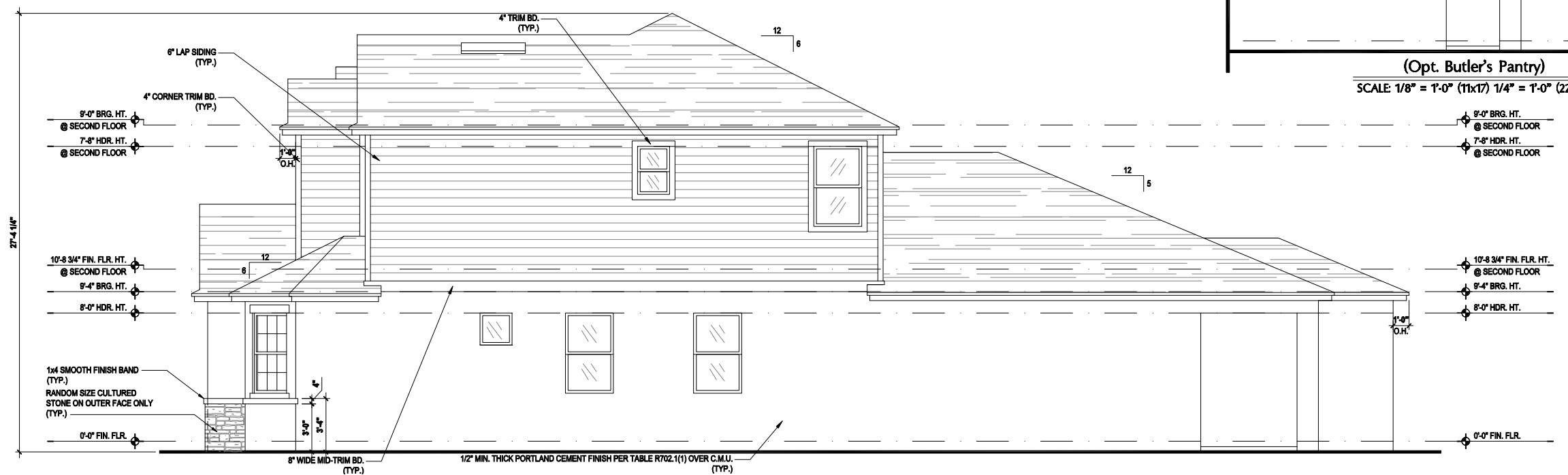


Left Elevation "C" w/ Siding
(Opt. Bed 5 ilo Loft)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
(Opt. Bed 5 ilo Loft)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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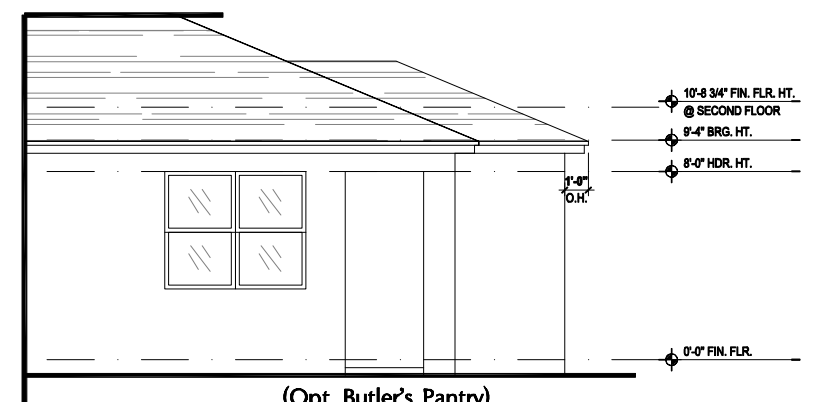
ELEVATIONS "C"
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Left Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & Flex)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & Flex)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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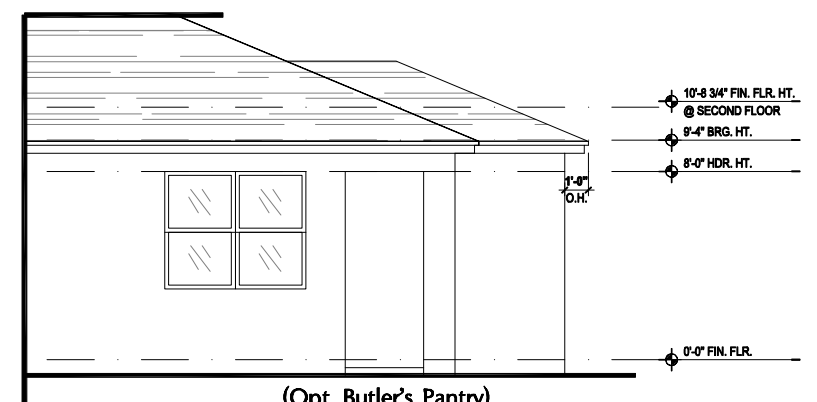
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ELEVATIONS "C"
05-C1.4

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Left Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & 7)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
 (Opt. Bed 5, 6 & 7)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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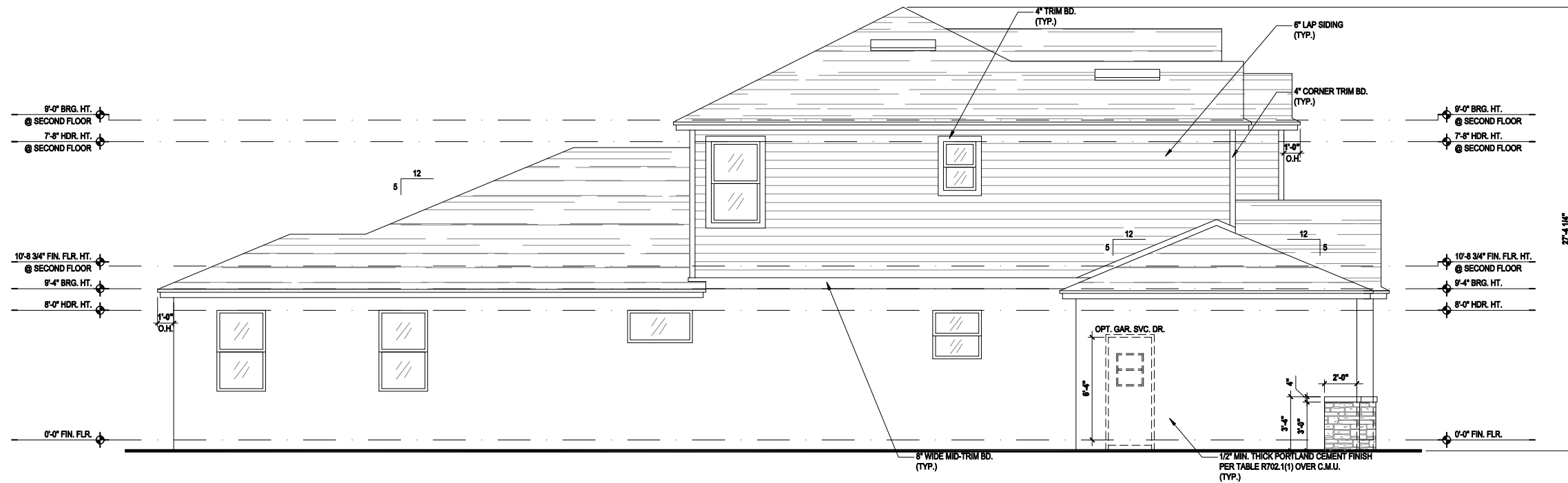
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ELEVATIONS "C"
05-C.1.5

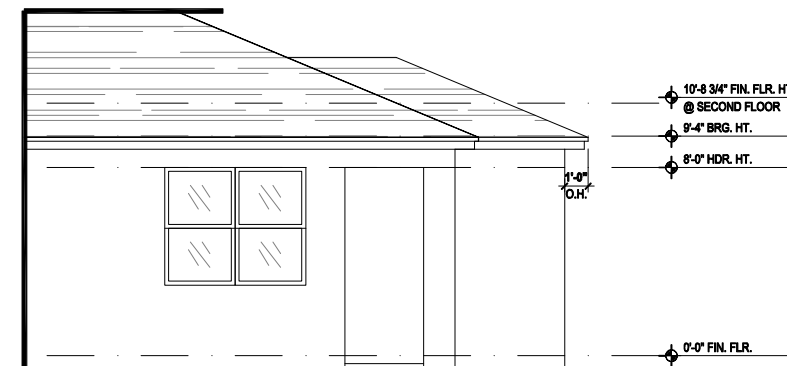
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Left Elevation "C" w/ Siding

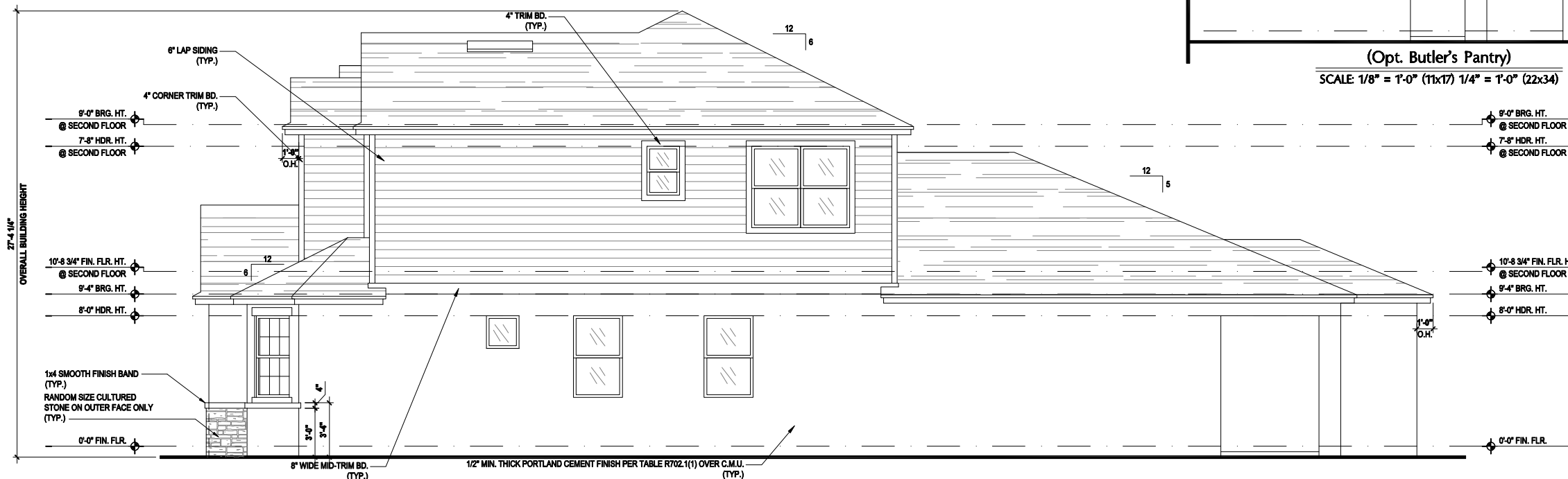
(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding

(Opt. 3-Car Garage)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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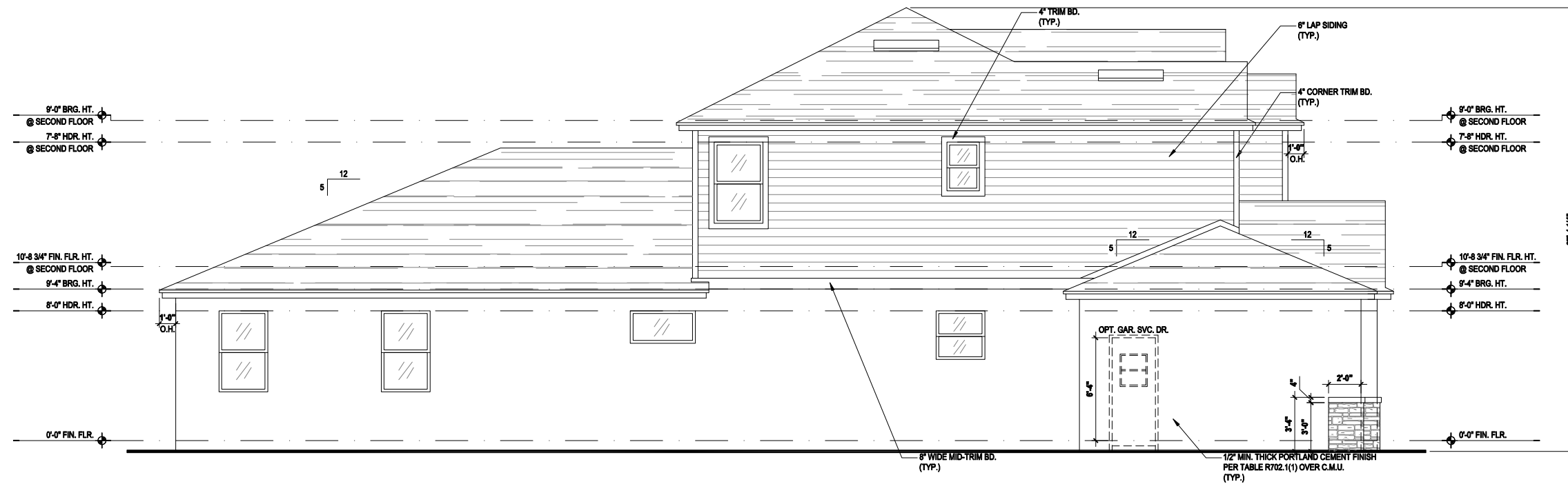
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ELEVATIONS "A"
05-C1.6

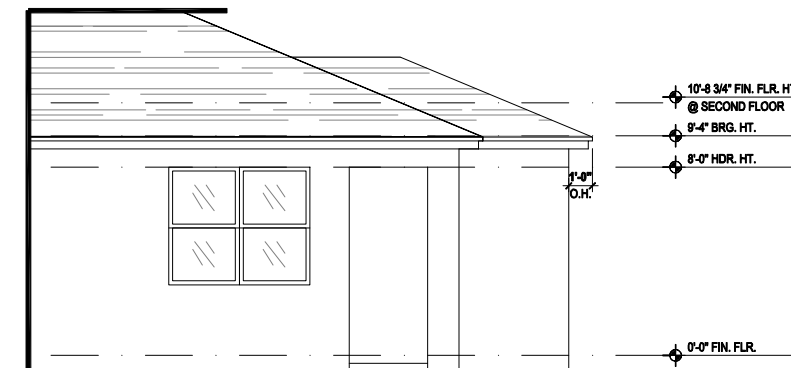
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Left Elevation "C" w/ Siding

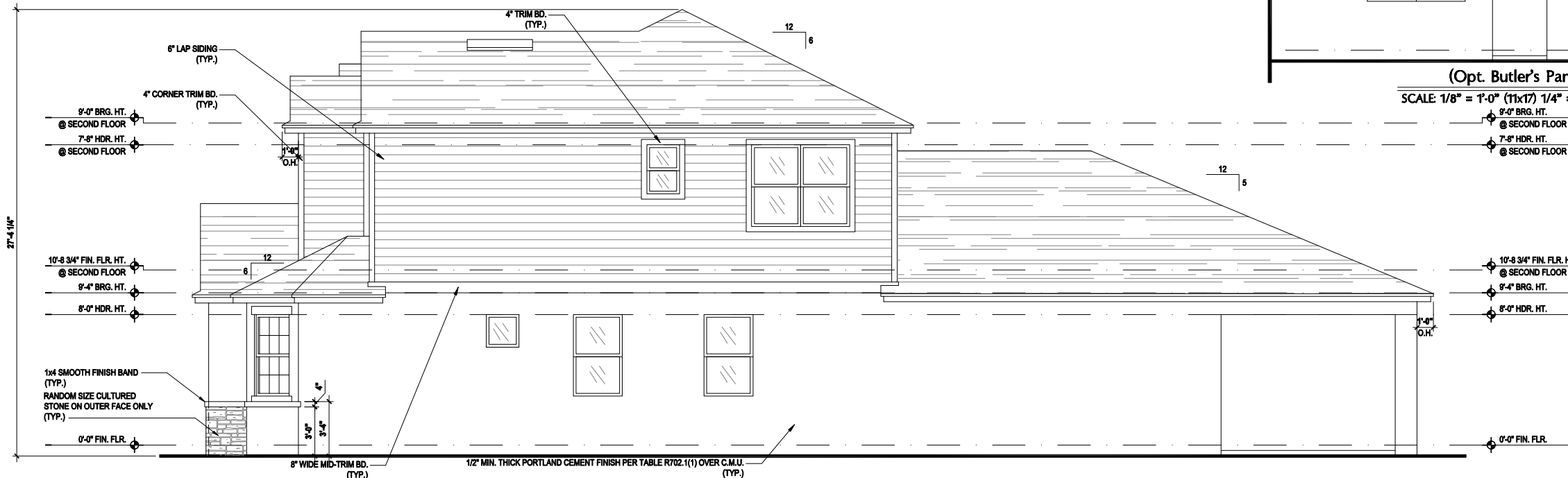
(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding

(Opt. 3-Car Garage & Ext. Cov. Patio)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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ISSUE DATE 11/03/2017

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PROJECT: 17-0206

SCALE: AS NOTED

DRAWN BY: KJ

DESIGNED BY: MJS

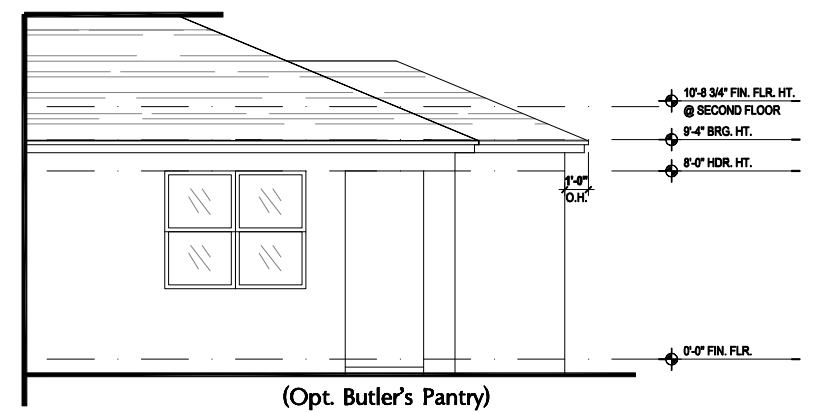
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Left Elevation "C" w/ Siding
 (Opt. Extended Bonus Rm.)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Butler's Pantry)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C" w/ Siding
 (Opt. Extended Bonus Rm.)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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