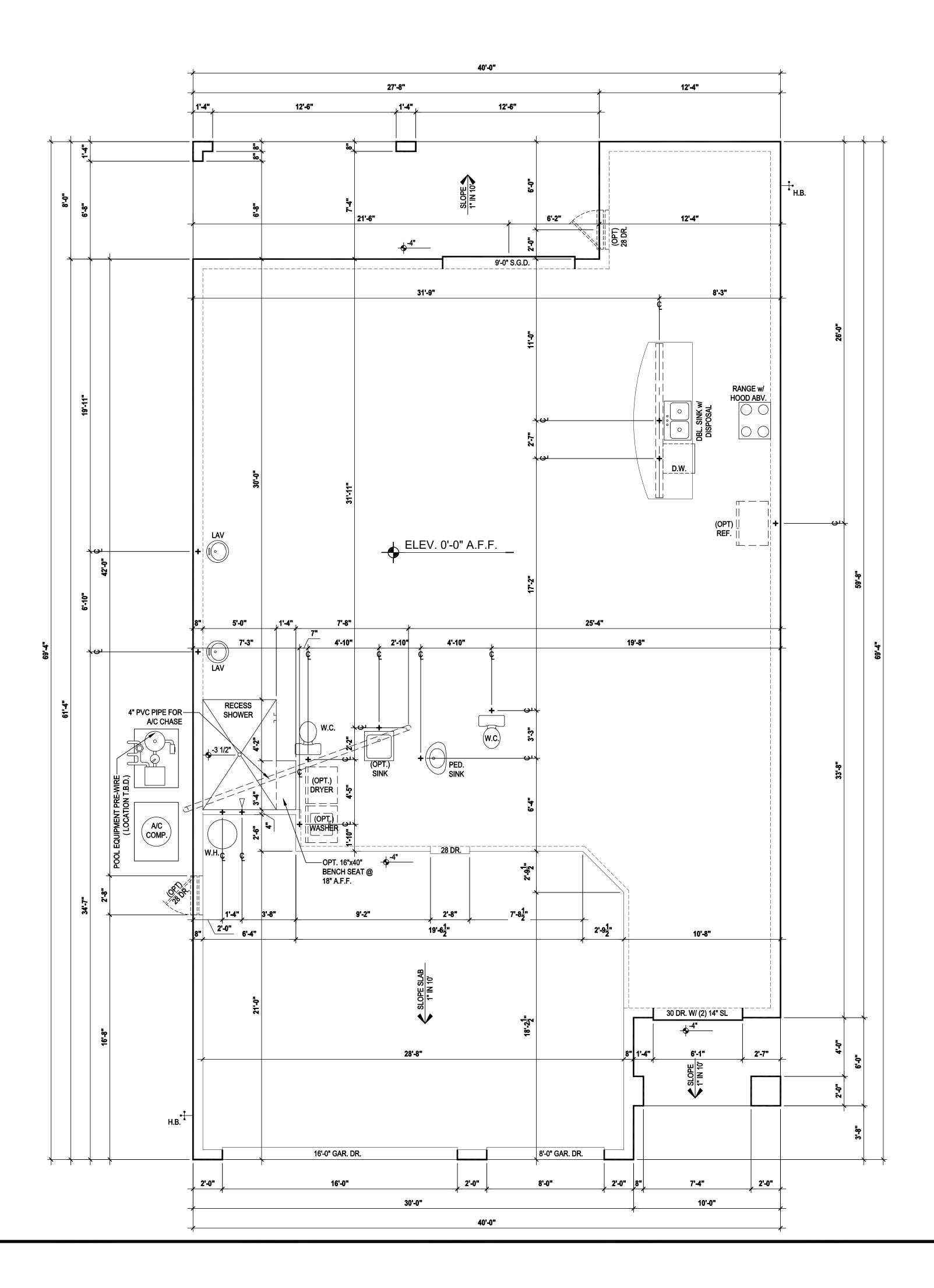
2879 NAPLES FLORIDA SERIES

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08	SECOND FLOOR ELECTRICAL PLAN "ELEV. A,B,C"
D1	TYPICAL DETAILS

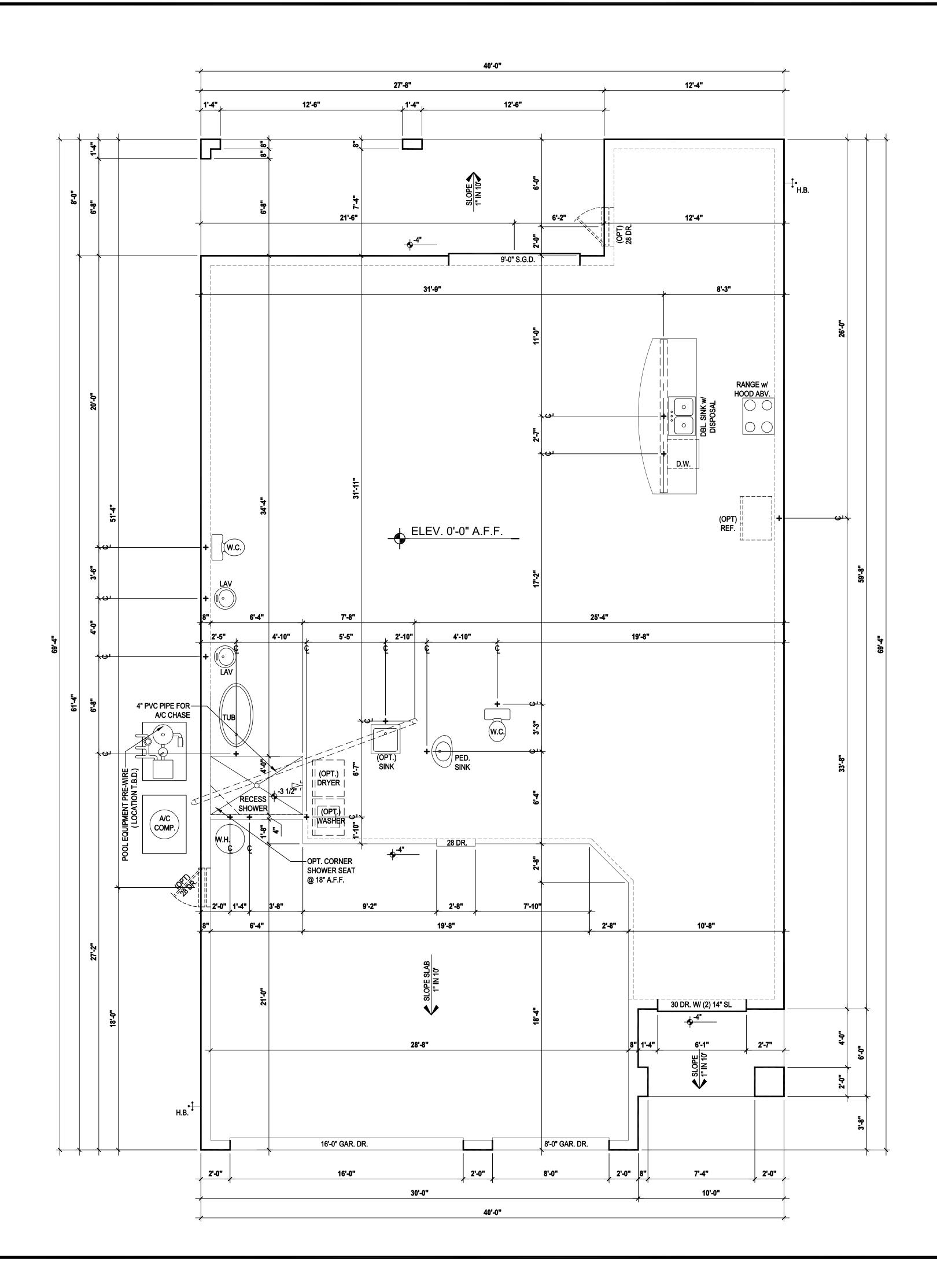
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NO:	DATE:	DESCRIPTION:	BY:
1	11/13/17	COMPLETED MASTER PLANS REVISIONS PER PARK SQUARE	C.C.
2	10/08/18	REMOVED 2ND. LAV FROM BATH#2 PER REQUEST RECEIVED FROM M.WERLING	C.C.
3	11/23/20	SWITCHED LOCATION OF AHU AND CLOSET IN SECOND FLOOR LOFT AREA	C.C.
4	01/26/21	ADDED RIGHT HAND SWING SHEETS TO MASTER	S.B.

	815 Orienta Ave. Suite# 1040 Altamonte Springs, FL. 32701 Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com written DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and MS, Inc. must be notified in writing of any changes in the dimensions, conditions and specifications oppearing on these plans.
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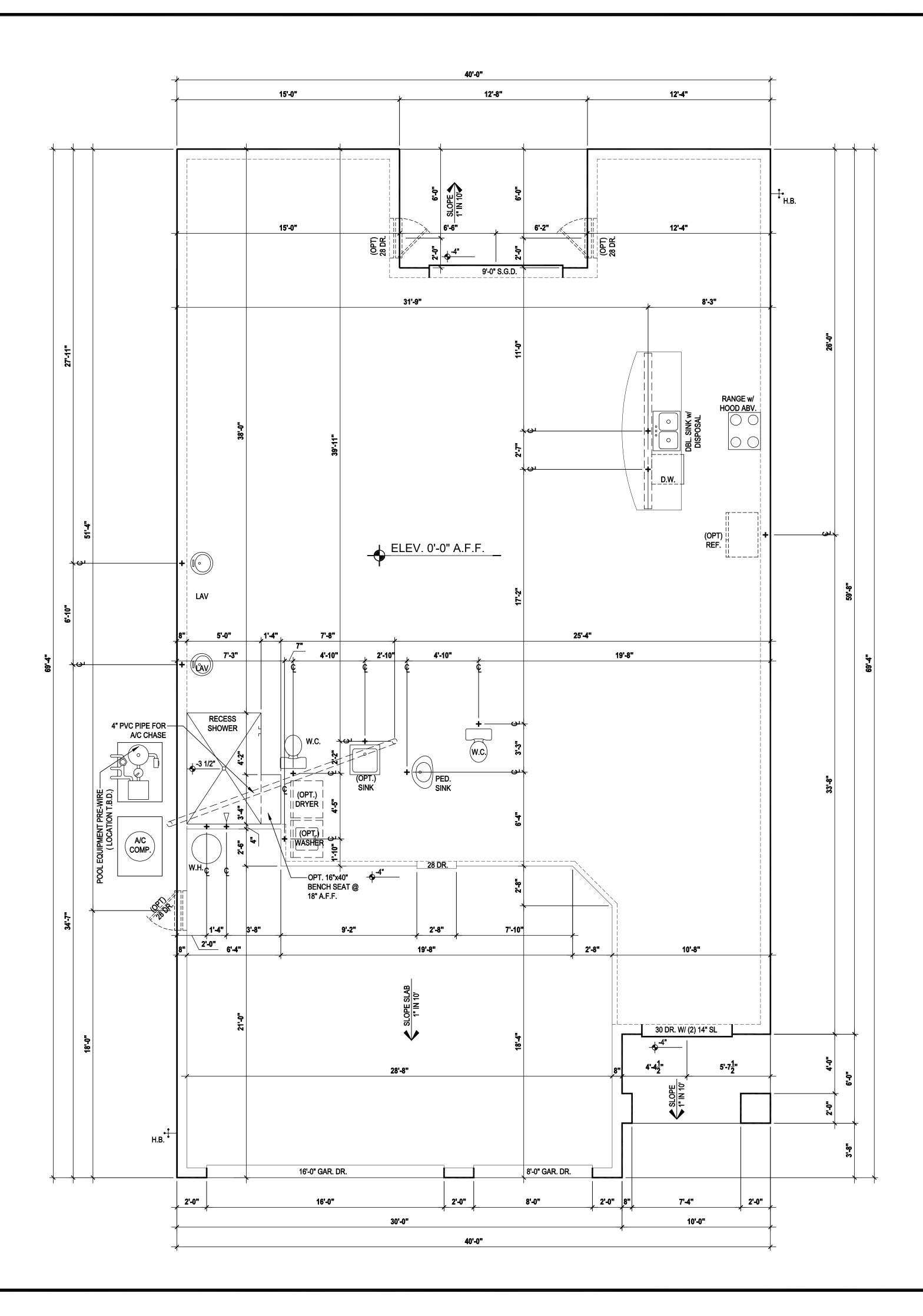
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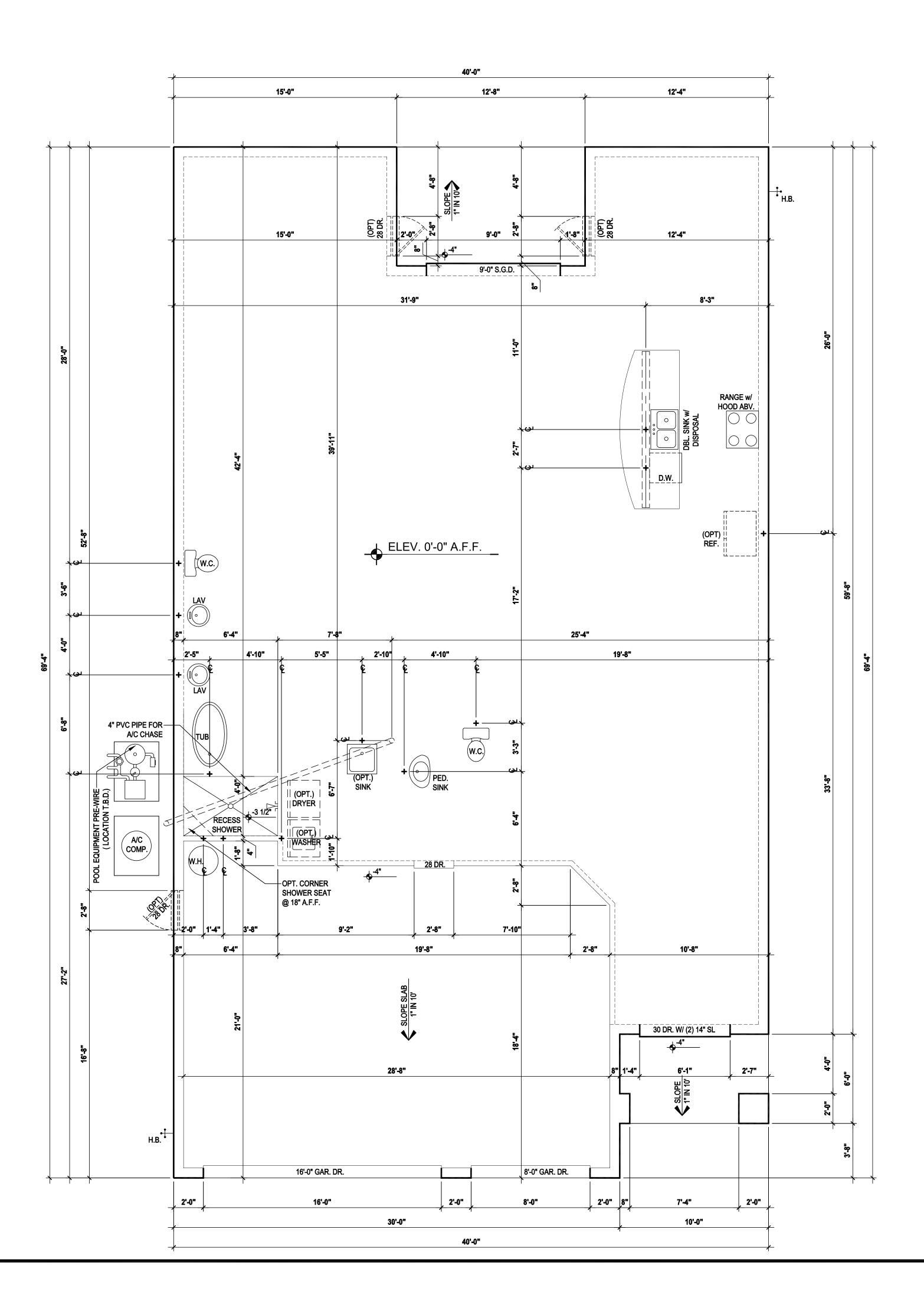


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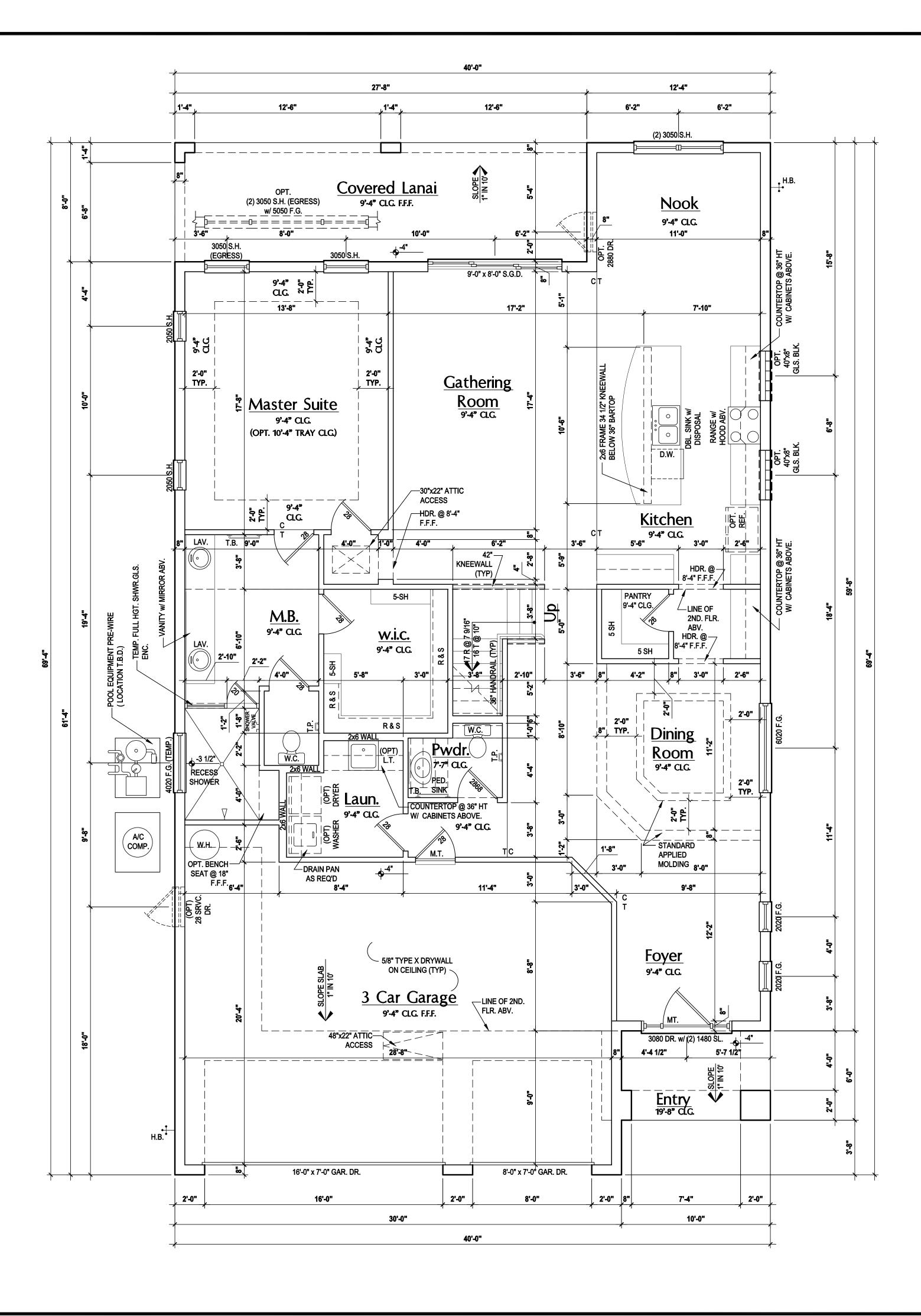
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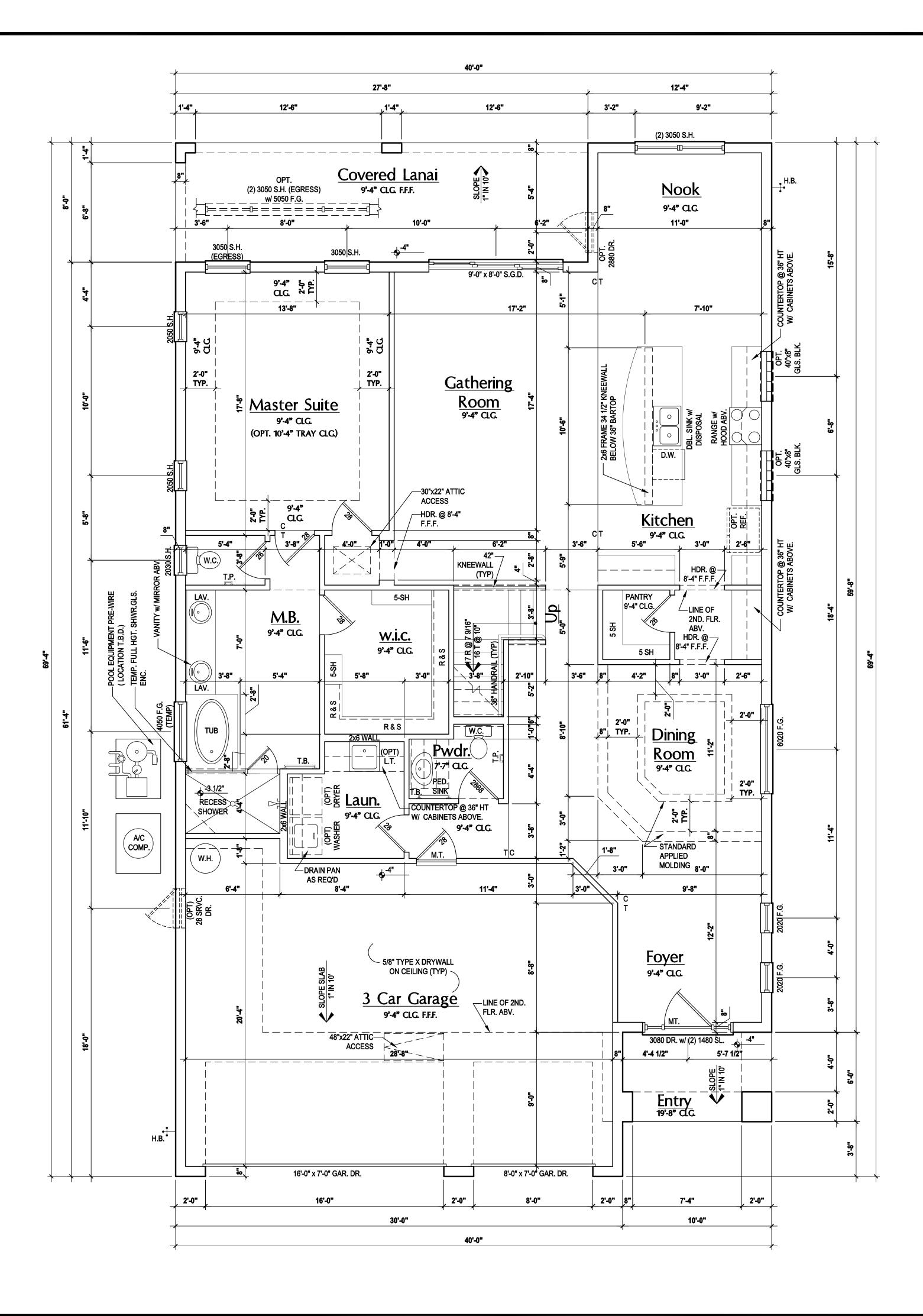
Slab Plan "	'A,B,C"
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(Opt. Master Bath & Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



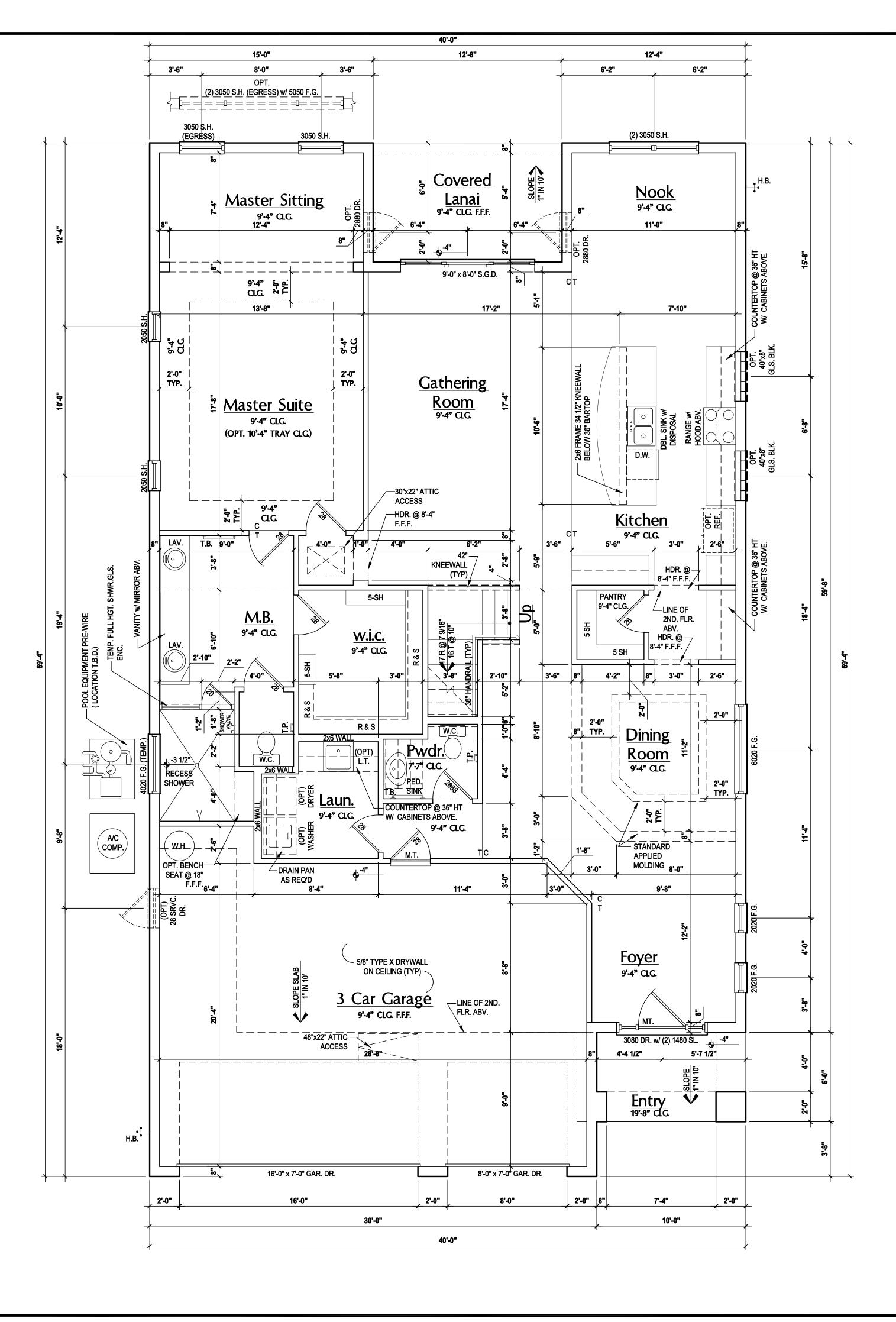
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•	MT - METAL THRESHOLD FR - FRENCH DOORS SL - SIDE LIGHT			
•	FG - FIXED GLASS TR - TRANSOM			
•	GB - GLASS BLOCK PKT - POCKET DOOR			م ن
•	OBS - OBSCURED GLASS TEMP - TEMPERED GLASS			
•	SH - SINGLE HUNG DH - DOUBLE HUNG			
•	HR - HORIZONTAL ROLLER BP - BYPASS			
•	BF - BIFOLD TYP TYPICAL			
SF WI	OTE: ECIALTY WINDOWS/DOORS, FIXED GLASS NDOWS, AND TRANSOMS ARE NOTED ON			HOMPSON ENGINEERING GROUP, INC 1401 Vineland Road Suite A6 Orlando, FL. 32811 hr. (407) 734-1790 ww.tegfl.com
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1.	CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.			MPS NMPS Vinet 407) 7 (407) 7 (407) 7
2.	DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.			
3.	MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.		040 2701	NS.COM PRECEDENCE OVER Simensions and conditions writing of any changes in
4.	A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.		# 32	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com keltten DIMENSIONS SHALL HAVE PRECEDENCE SCALE DIMENSIONS. the job and MJS, Inc. must be notified in writing of any ch the job and MJS, Inc. must be notified in writing of any ch
5.	PROVIDE RECESS H&C WATER w/ DRAIN @ WASHER SPACE.		Suite: , FL.	
6. 7.	VENT DRYER THRU EXTERIOR WALL U.N.O. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.			Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigi <u>RITTEN DIMENSIONS SHALL HAVE</u> <u>SCALE DIMENSION</u> tractors shall verify and be responsible for the job and MS; inc. must be notified in dimensions and MS; inc. must be notified in
7. 8.	PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		a Av Spri	629-6 0706 0706 0706 0706 0706 0706 0706 07
9.	PULL ALL DIMENSIONS FROM THE REAR OF PLAN.			(7) 62 (07) 6 1 1 1 1 1 1 1 1 1 1
10.	REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S.		815 Orient Altamonte	(407) (407) (407) (407) (407) (40) (40) (40) (40) (40) (40) (40) (40
11.	REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.		815 Alta	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigi written DIMENSIONS SHALL HAVE SCALE DIMENSIONS SHALL HAVE Contractors shall verify and be responsible for contractors shall verify and be responsible for the dimensions and MJS, inc. must be notified in the dimensions and MJS.
12.	ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 $\frac{1}{2}$ " U.N.O.			ē
	ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE $7\frac{1}{2}$ U.N.O.			tectu
	ALL INT. FIRST FLOOR CEILINGS AT <u>9'-4"</u> U.N.O. ALL INT. SECOND FLOOR CEILINGS AT <u>9'-0"</u> U.N.O.			oul
15.	C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.			rs greecial-al
16.	OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.	Modified Are homes.		designers group esidential-commercial-architecture
	INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)	OR I SQU/		de
	GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES	COPIED PARK		ě
	INSTALLED. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR	BE (ROM		
21.	OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2). ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT	NS ARE NOT TO		
22.	1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING	DESIGNS WRITTEN	2	E livisik lress . Zip
23.	UNDERSIDE OF DECKING ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN	IS, IDEAS AND DESIGNS	40-2879	NAPLES Lot # - Subdivision Street Address City, State. Zip
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	INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.	ININ		
24.	SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E.O.R STRONGLY RECOMMEND A SOIL	<u> </u>		
	TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON	ESIGN. T FIRST		
	UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR	S AND DE MTHOUT		#200
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	DOOR NOTE KEY:)ark	רכ. d Rd 281: 529
		N THESE TO ANY	A division of Park Square	Enterprises Inc. 5200 Vineland Rd. Suit Orlando, Fl. 32811 Phone: (407) 529-3000
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	WINDOW NOTE KEY:	MON L THEY		
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	950 = 2'-0" x 5'-0" 960 = 2'-0" x 6'-0"	ves its r, nor		
•	ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.	RESERVE SOEVER,		
ŀ	Area Tabulations	REBY F WHATS		
_	ving:	Es hereby Form what	ISSUE	DATE 07/26/2017
	1st floor: 1,819 sf	10ME OR		REVISIONS
т	otal Living: 2nd floor: 1,060 sf 2,879 sf	NUARE IATTER	PROJ	ECT: 17-0208
1	otal Living: 2,879 sf Entry: 60 sf	ARK SQUARE I ANY MATTER	SCAL	E: AS NOTED
	Lanai: 222 sf	6 P/ N	DRAW DESIG	/N BY: KJ NED BY: MJS
т	otal Area: Garage: 637 sf 3 798 sf	F 201		
-	otal Area: 3,798 sf	COP YRIGH		FLOOR PLAN
		© COP		02

First Floor I	Plan "A,B,C'
(Star	ndard)
SCALE: 1/8" = 1'-0" (11	x17) 1/4" = 1'-0" (22x34)



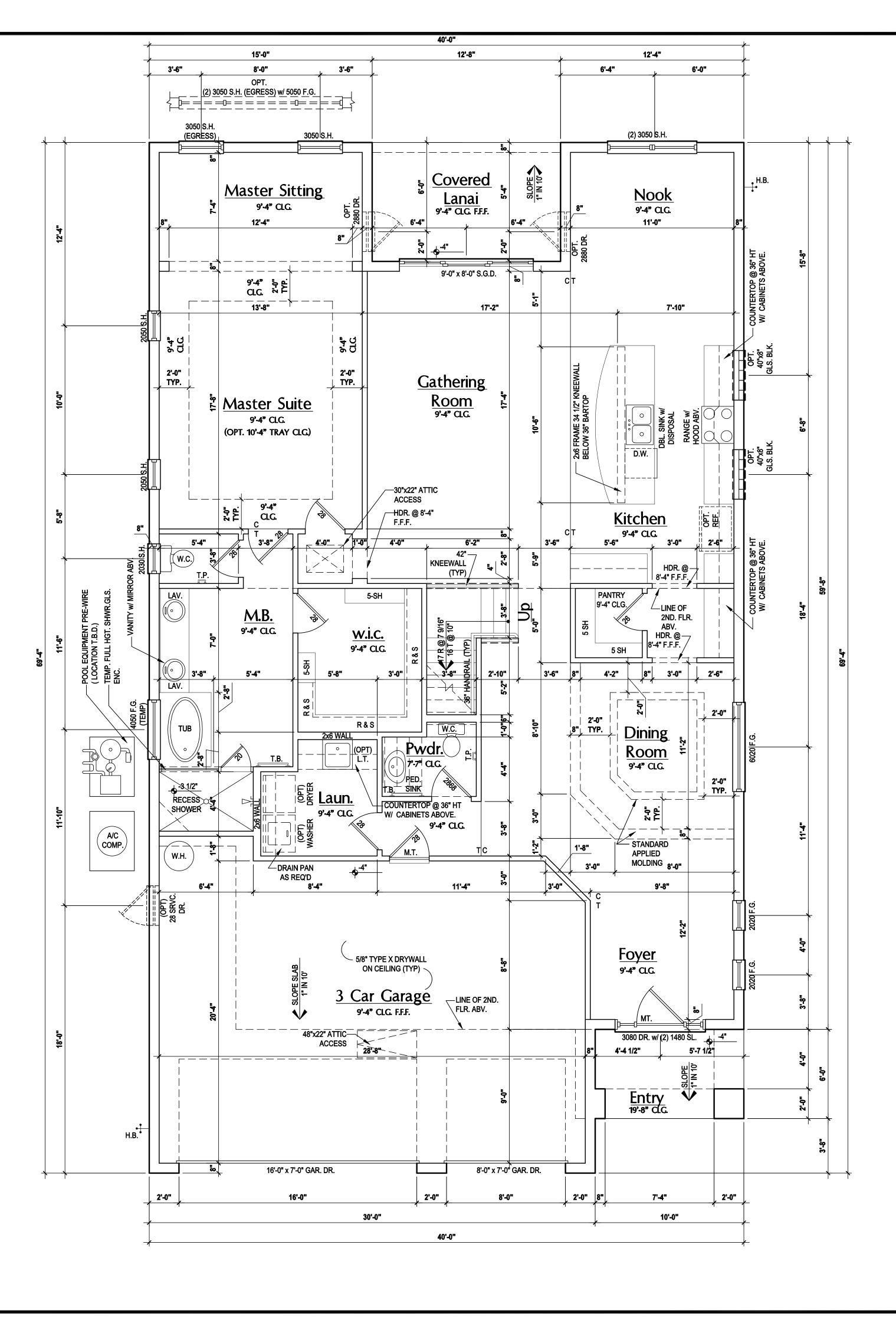
	GENERAL NOTES KEY:			
	THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)			
	ABBREVIATIONS: • 2- # OF DOORS.			
	2- # OF WINDOWS.MT - METAL THRESHOLD			
	 FR - FRENCH DOORS SL - SIDE LIGHT FG - FIXED GLASS 			
	 TR - TRANSOM GB - GLASS BLOCK 			
	 PKT - POCKET DOOR OBS - OBSCURED GLASS TEMP - TEMPERED GLASS 			
	 SH - SINGLE HUNG DH - DOUBLE HUNG 			
	 HR - HORIZONTAL ROLLER BP - BYPASS BF - BIFOLD 			
	• TYP TYPICAL NOTE:			
	SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.			
	NOTES: 1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.			
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	ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.			tions s in s
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	 A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3. 		++	DR.COM PRECEDENCE OV S. dimensions and condi writing of any change oppearing on these pl
	 PROVIDE RECESS H&C WATER w/ DRAIN @ WASHER SPACE. VENT DRYER THRU EXTERIOR WALL U.N.O. 		Suite Is, FL	
	7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.		a Ave. S Springs,	629-6711) 629-6776 nomedesig ONS SHALL HAVE SCALE DIMENSION and be responsible for me. must be notified in for and specifications
	 SAG RESISTANT DRYWALL ON ALL CEILINGS. PULL ALL DIMENSIONS FROM THE REAR OF PLAN. 		inta / te Sp	(7) 629 (07) 62 (07) 6
	 POLL ALL DIMENSIONS FROM THE REAR OF PLAN. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S. 		815 Orienta Ave. Altamonte Spring	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com <u>WITTEN DIMENSIONS SHALL HAVE PRECEDENC</u> <u>SCALE DIMENSIONS.</u> ontractors shall verify and be responsible for dimensions and f the job and M.S., Inc. must be notified in writing of any he dimensions, conditions and specifications appearing on th
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	12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE $3\frac{1}{2}$ " U.N.O.			
	13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 $\frac{1}{2}$ " U.N.O.			ectur
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	STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.	Modified Are homes		designers group
	17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)	SQU		
	 GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED. 	BE COPIED ROM PARK		Đ
	20. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER	NOT TO ISSION FF		
	PER (FBC-R312.2). 21. ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT	(A		
	22. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING) DESIGNS WRITTEN	379	EC divisi ldress e. Zip
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	MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.	s and Wthou	لە	Suite #200 3000
		NS, IDEAS	Sauar	Suite 3000
	DOOR NOTE KEY:	ISE PLANS, VY THIRD P	A division of Park Square	Enterprises Inc. 5200 Vineland Rd. Suit Orlando, Fl. 32811 Phone: (407) 529-3000
	DOOR SIZE CALLOUT: 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD	IN THESE) TO ANY	n of	Enterprises Inc. 5200 Vineland Rd. Orlando, Fl. 32811 Phone: (407) 529-
	24 = 2'-4" 50 B.F. = 5'-0" BIFOLD 26 = 2'-6" 60 B.F. = 6'-0" BIFOLD	COPYRIGHTS BE ASSIGNED	Jivisic	iterpr 00 Vi lando one:
	28 = 2'-8" 30 = 3'-0"	ВВ	Ā	
	WINDOW NOTE KEY:	MMON LAW		MES
	<u>WINDOW SIZE CALLOUT:</u> 2040 = 2'-0" x 4'-0" 2050 = 2'-0" x 5'-0"	ITS COM NOR ARE		di di
	2060 = 2'-0" x 6'-0" • ALL WINDOW CALLOUTS ARE MEASURED IN FEET &	reserves i Tsoever, no	Ļ	
	INCHES AS PER THE EXAMPLE TABLE ABOVE.	、 ⁻		$\overline{\mathbf{O}}$
		ES HEF Form	ISSUE	DATE 07/26/2017
	1st floor: 1,825 sf 2nd floor: 1,060 sf	HOME R OR		REVISIONS
	Total Living: 2,885 sf	<pre>< SQUARE </pre>	PROJI SCALE	
C "	Entry: 60 sf Lanai: 222 sf	6 PARK 3 IN ANY	DRAW	
,	Garage: 631 sf	T 201		
	Total Area: 3,798 sf	COPYRIGH	4	FLOOR PLAN
)		Ó		

First	Floor	Plan	"A,B,C"
	(Opt. N	Master Bat	:h)



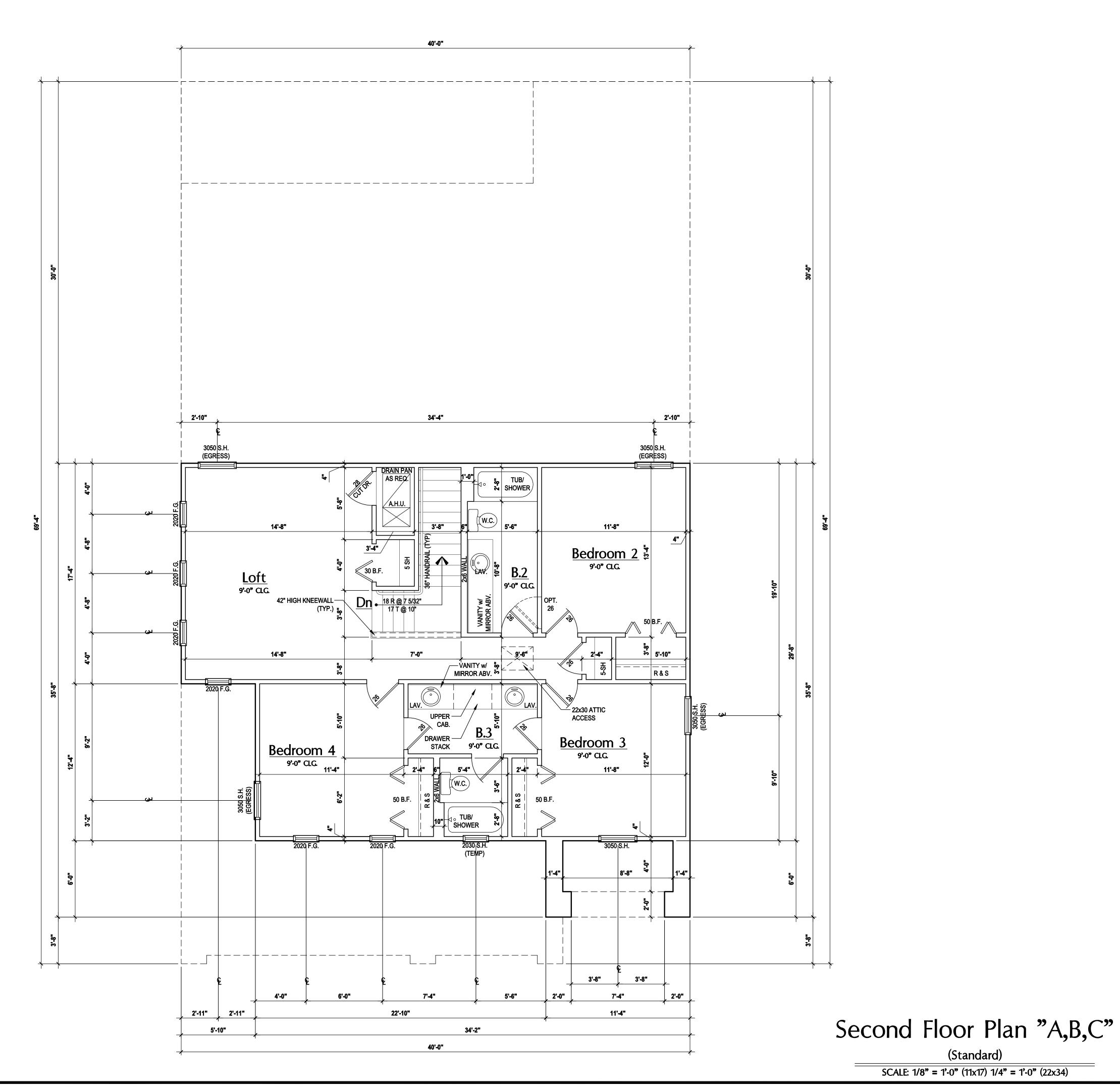
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	BUILDING CODE (7TH EDITION) ABBREVIATIONS:			
	 2- # OF DOORS. 2- # OF WINDOWS. 			
	MT - METAL THRESHOLDFR - FRENCH DOORS			
	 SL - SIDE LIGHT FG - FIXED GLASS 			
	TR - TRANSOMGB - GLASS BLOCK			
	PKT - POCKET DOOROBS - OBSCURED GLASS			
	TEMP - TEMPERED GLASSSH - SINGLE HUNG			
	DH - DOUBLE HUNGHR - HORIZONTAL ROLLER			
	BP - BYPASSBF - BIFOLD			
	• TYP TYPICAL NOTE:			
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	PLANS. Notes:			
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	13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE $7\frac{1}{2}$ " U.N.O.			tect
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	HABITABLE ROOMS (TYP.)			iden d
	18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.	SE COPIED OM PARK		Les
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	STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.		are	()
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	DOOR NOTE KEY:	se plans, Υ third f	A division of Park Souare	Enterprises Inc. 5200 Vineland Rd. Suit Orlando, Fl. 32811 Phone: (407) 529-3000
		COPYRIGHTS IN THESE BE ASSIGNED TO ANY	of F	Enterprises Inc. 5200 Vineland Rd. Orlando, Fl. 32811 Phone: (407) 529-
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	2050 = 2'-0" x 5'-0" 2060 = 2'-0" x 6'-0"	ÆS ITS R, NOR		<u>ד ק</u> טיך
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	Area Tabulations	REBY F WHATS		
	Living:	ES HER Form V	ISSUE	DATE 07/26/2017
	1st floor: 1,939 sf	C HOME R OR F		REVISIONS
	2nd floor: 1,060 sf Total Living: 2,999 sf	rk square Any matter	PROJ	ECT: 17-0208
	Entry: 60 sf	PARK SQ IN ANY M	SCAL	E: AS NOTED
("	Lanai: 102 sf	2016 PA IN		INED BY: KJ
,~	Garage:637 sfTotal Area:3,798 sf			
	3,/98 ST	COP YRIGHT		FLOOR PLAN
.)		Ō		02.2

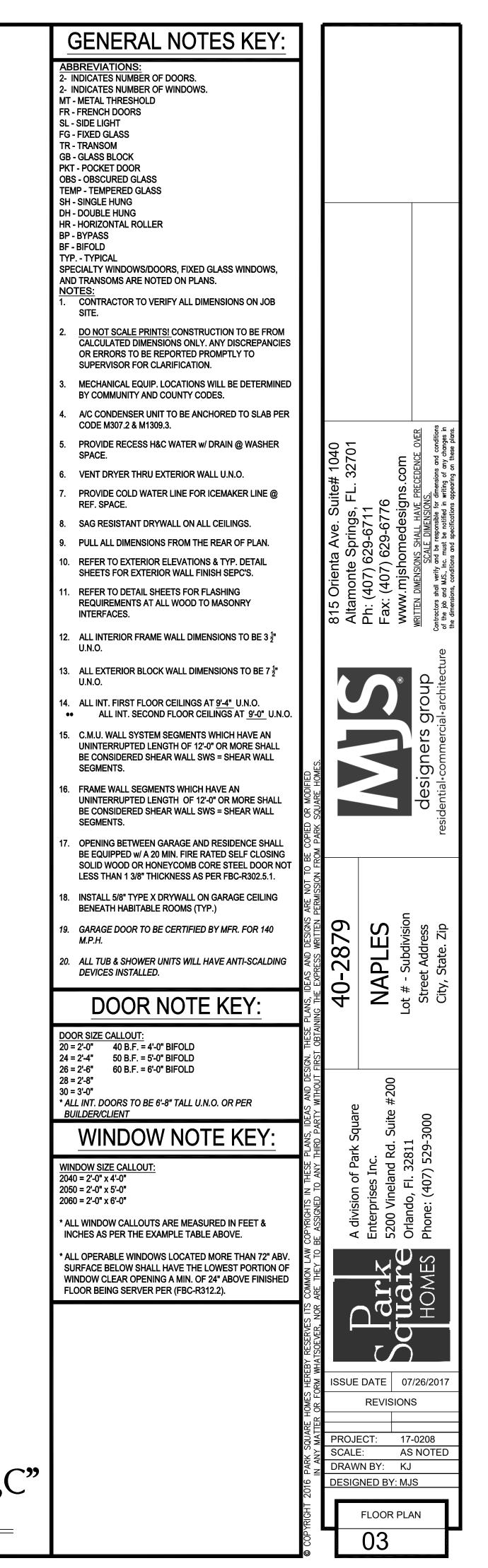
First	Floor	Plan	"A,B,C
	(Opt. <i>M</i>	laster Sitti	ng)



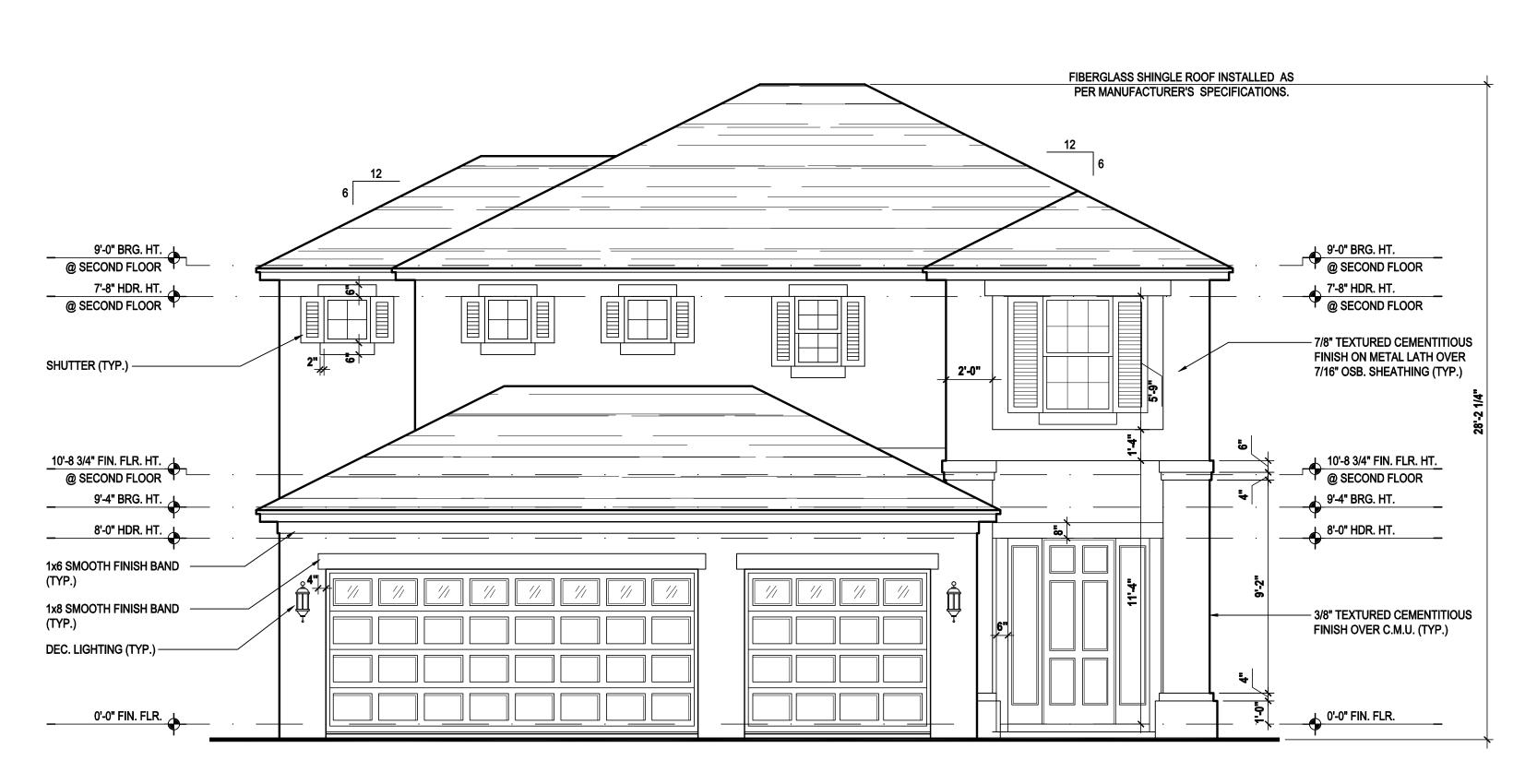
First Floor Plan "A,B,C" (Opt. Master Bath & Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

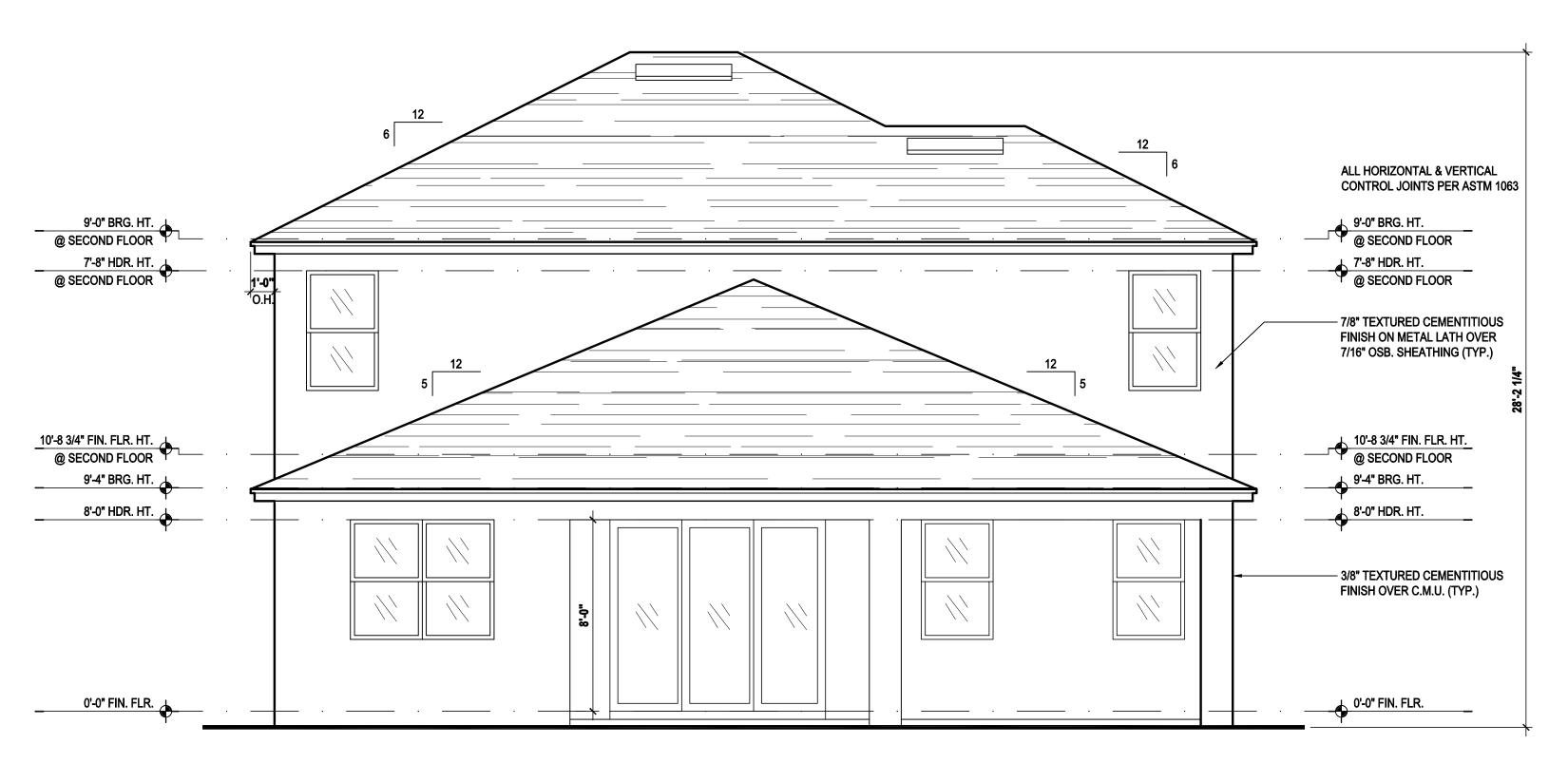
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	 A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3. 		Suite# 1040 s, FL. 32701	com	
	5. PROVIDE RECESS H&C WATER w/ DRAIN @ WASHER SPACE.		óuite / , FL.		
	 VENT DRYER THRU EXTERIOR WALL U.N.O. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE. 		a Ave. Si Springs,	-671)-677 ∍desi	DNS SHALL HAVE F SCALE DIMENSIONS and be responsible for c nc. must be notified in w ons and specifications a
	8. SAG RESISTANT DRYWALL ON ALL CEILINGS.		ita A Spr	629-) 629 10m6	IENSIONS SHA SCALE [verify and be rei MJS., Inc. must b conditions and sp
	 PULL ALL DIMENSIONS FROM THE REAR OF PLAN. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR)rien onte	407) 407) mjsh	
	 REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL 	(815 Orienta Altamonte S	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com	<u>WRITTEN DIMENSIONS SHALL HAVE</u> <u>SCALE DIMENSION</u> Contractors shall verify and be responsible for of the job and MJS., Inc. must be notified in the dimensions, conditions and specifications
	 WOOD TO MASONRY INTERFACES. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3¹/₂" U.N.O. 		00 «L	шш>	<u>WR</u> Contr of the
	13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE $7\frac{11}{2}$ U.N.O.		_		cture
	 ALL INT. FIRST FLOOR CEILINGS AT <u>9'-4"</u> U.N.O. ALL INT. SECOND FLOOR CEILINGS AT <u>9'-0"</u> U.N.O. 				group al·archite
	 C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS. 				S gro ercial-ar
	 OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1. 	FIED Homes.	5		designers group residential.commercial.architecture
	17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)	or modified square hom			des ^{dentia}
	18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.	COPIED O PARK S(resid
	 ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE 	to Be N From I			
	BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).	are not Permissioi		F	
	 ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO 	DESIGNS WRITTEN	79	NAPLES	ress . Zip
	UNDERSIDE OF DECKING 23. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER	IDEAS AND [IE EXPRESS M	40-2879	NAPLES t # - Subdivisio	Street Address City, State. Zip
	MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT	i, IDEAS HE EXP	-t	A # 1	Street City, S
	REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.	se plans, ic Taining the	V	Lot –	
	24. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E.O.R STRONGLY RECOMMEND A SOIL	빌명			
	TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF	and design. Athout firs: I		0	
	MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.	~	<u>à</u>	e #200	
		NS, IDEAS	Squar	Suite	3000
	DOOR NOTE KEY:	SE PLANS, VY THIRD P	A division of Park Square	nc. d Rd. 32811	Phone: (407) 529-3000
	DOOR SIZE CALLOUT: 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD	IN THESE) TO ANY	on of	ises I nelan , Fl. 3	(407)
	24 = 2'-4" 50 B.F. = 5'-0" BIFOLD 26 = 2'-6" 60 B.F. = 6'-0" BIFOLD	COPYRIGHTS BE ASSIGNED	livisic	Enterprises Inc. 5200 Vineland Rd Orlando, Fl. 3281	one:
	28 = 2'-8" 30 = 3'-0"		A	52(Orl	ЪЧ
	WINDOW NOTE KEY:	AMON LAW THEY TO		LY.	MES
	WINDOW SIZE CALLOUT: 2040 = 2'-0" x 4'-0" 2050 = 2'-0" x 5'-0"	s its com Nor are		ar Ia	HON
	2060 = 2'-0" x 6'-0" • ALL WINDOW CALLOUTS ARE MEASURED IN FEET &	RESERVES I SOEVER, NC			
	INCHES AS PER THE EXAMPLE TABLE ABOVE.			\mathcal{L}	
	Area Tabulations	- L <u>r</u>	ISSUE		/26/2017
	1st floor: 1,939 sf	HOME P OR		REVISION	S
	Image: 2nd floor: 1,060 sf Total Living: 2,999 sf	×~⊢	PROJE		-0208
D ~"	Entry: 60 sf Lanai: 102 sf	PARK IN ANY	SCALE DRAW	'N BY: KJ	NOTED
,B,C" itting)	Garage: 637 sf	[20	DESIG	NED BY: MJ	S
itting)	Total Area: 3,798 sf	COPYRIGHT		FLOOR PLA	٨N
22x34)		© COF		02.3	





(Standard)

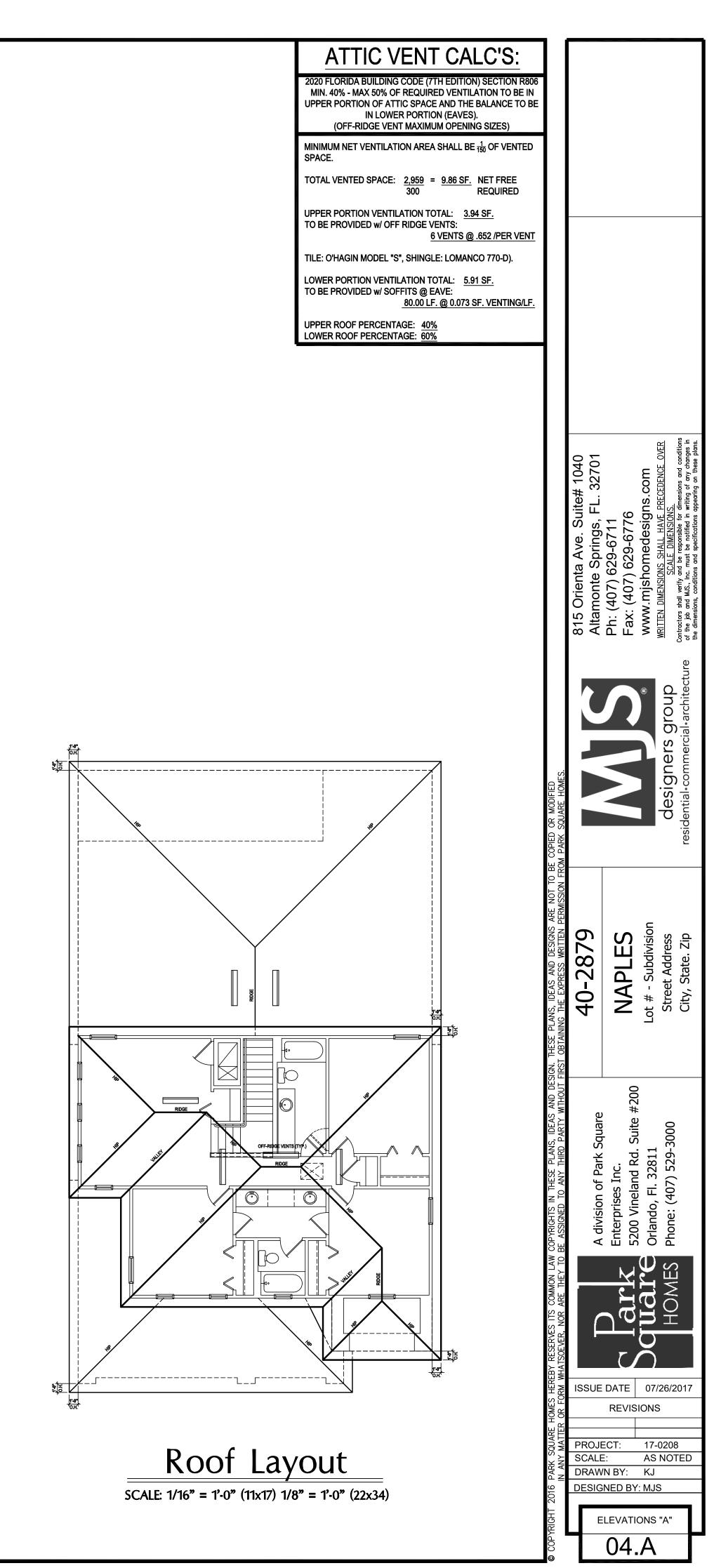


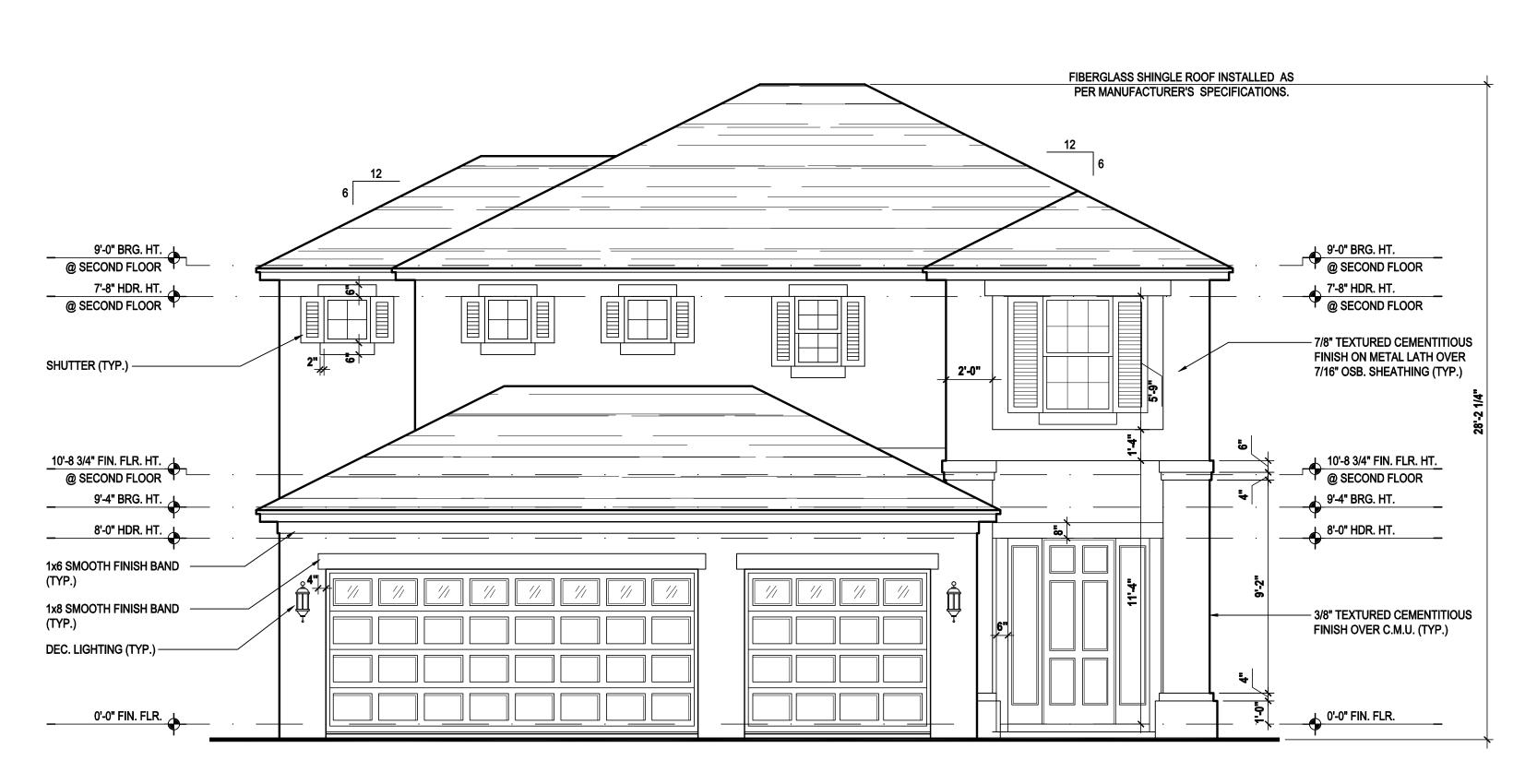


Front Elevation "A"

(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Rear Elevation "A" (Standard)





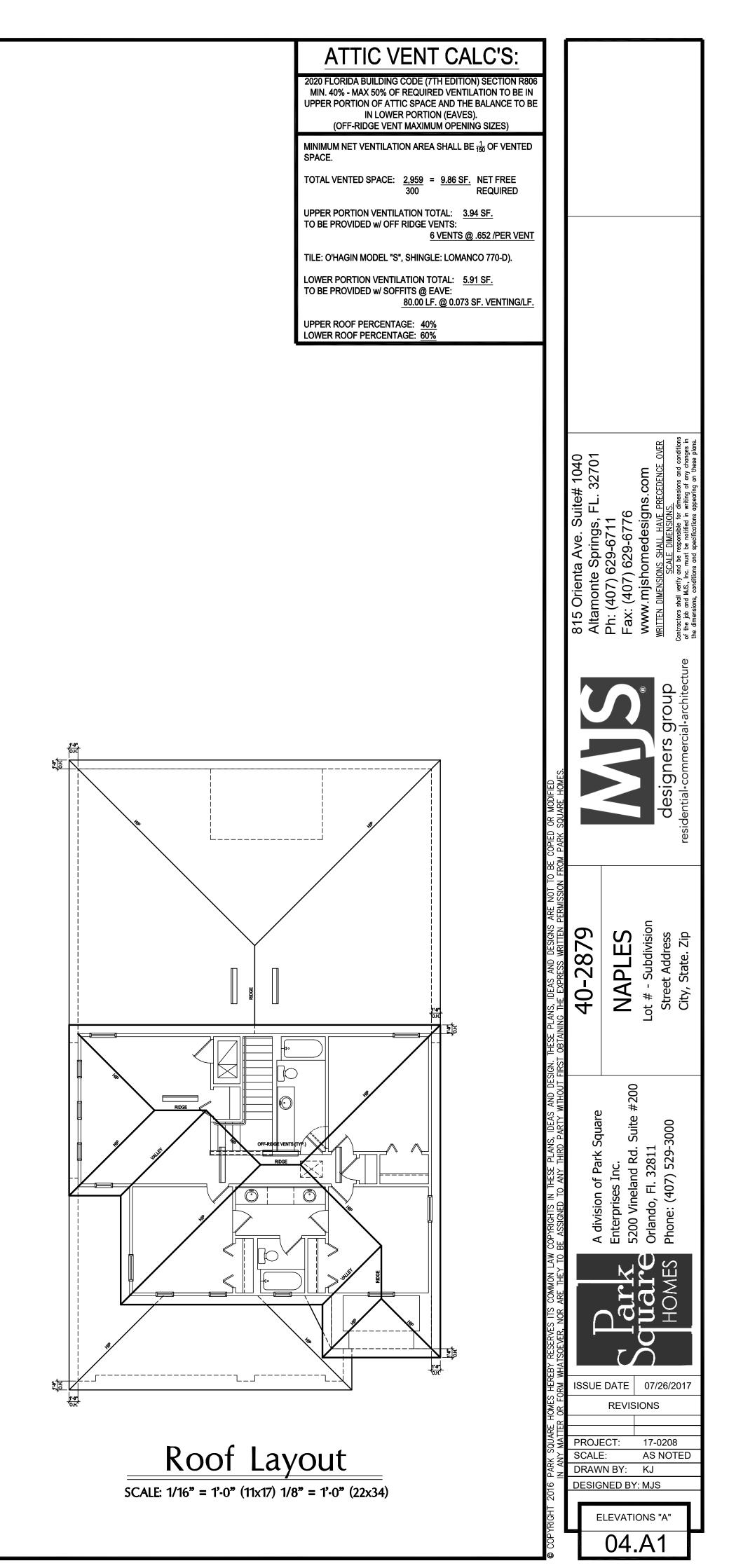


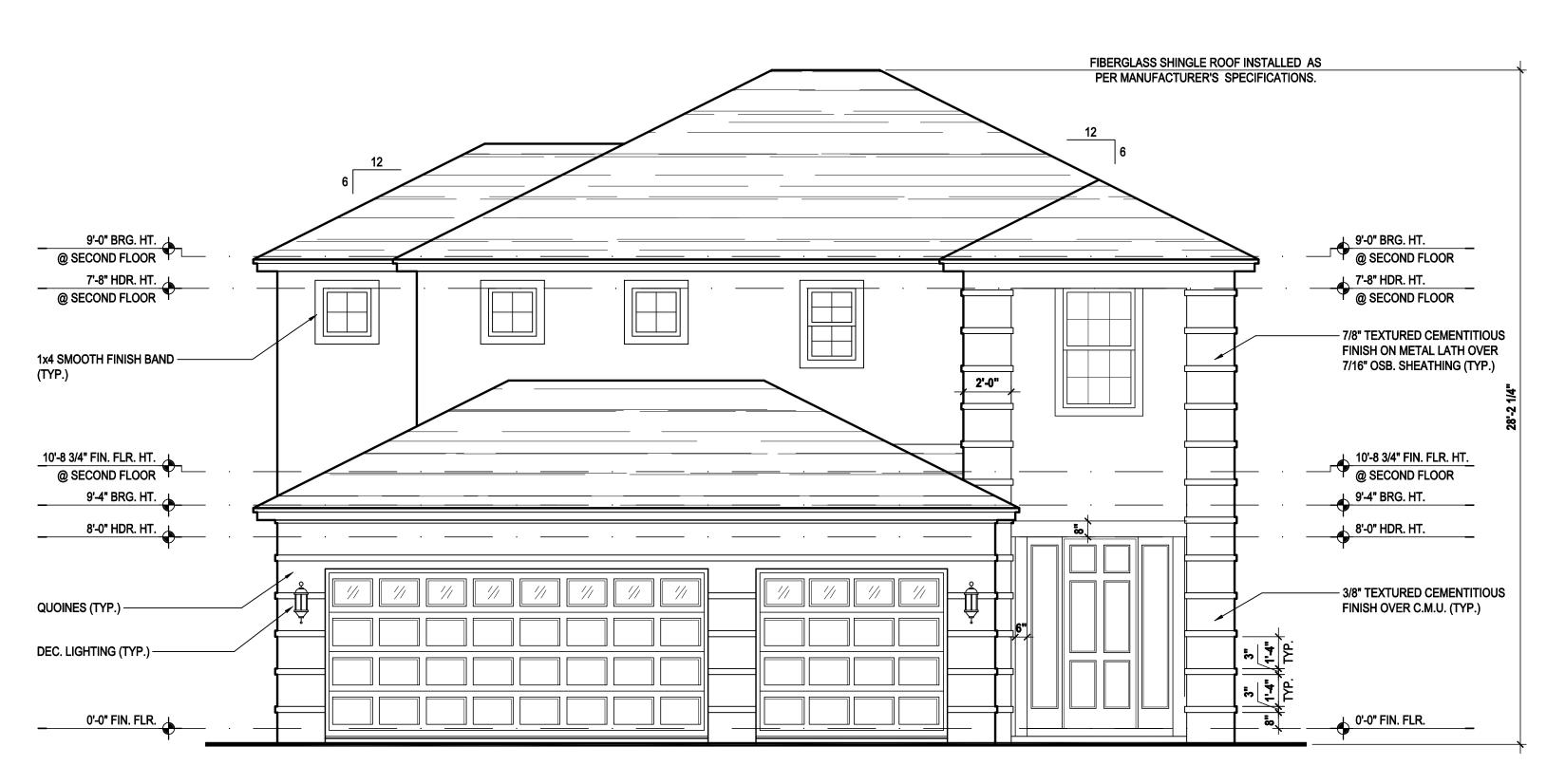
Front Elevation "A"

(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Rear Elevation "A"

(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



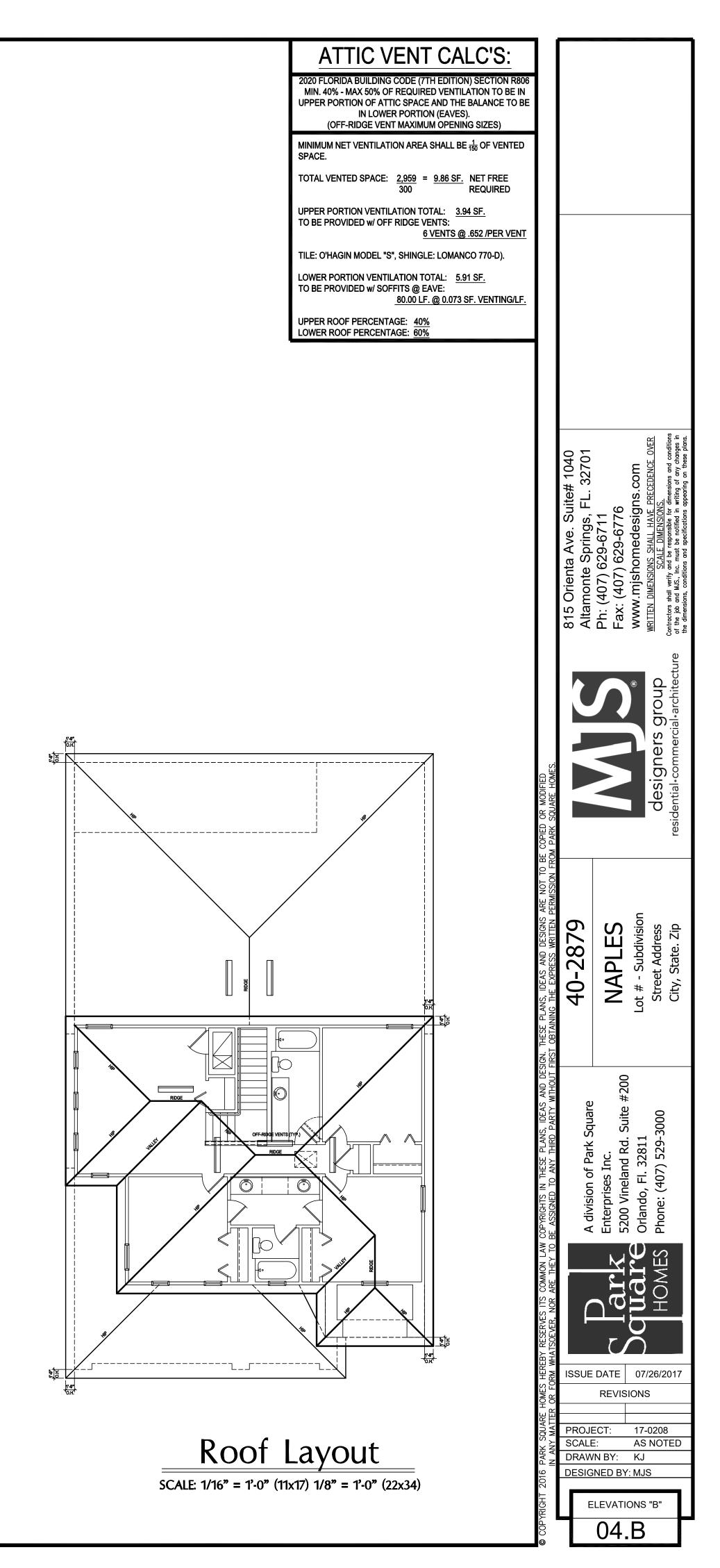


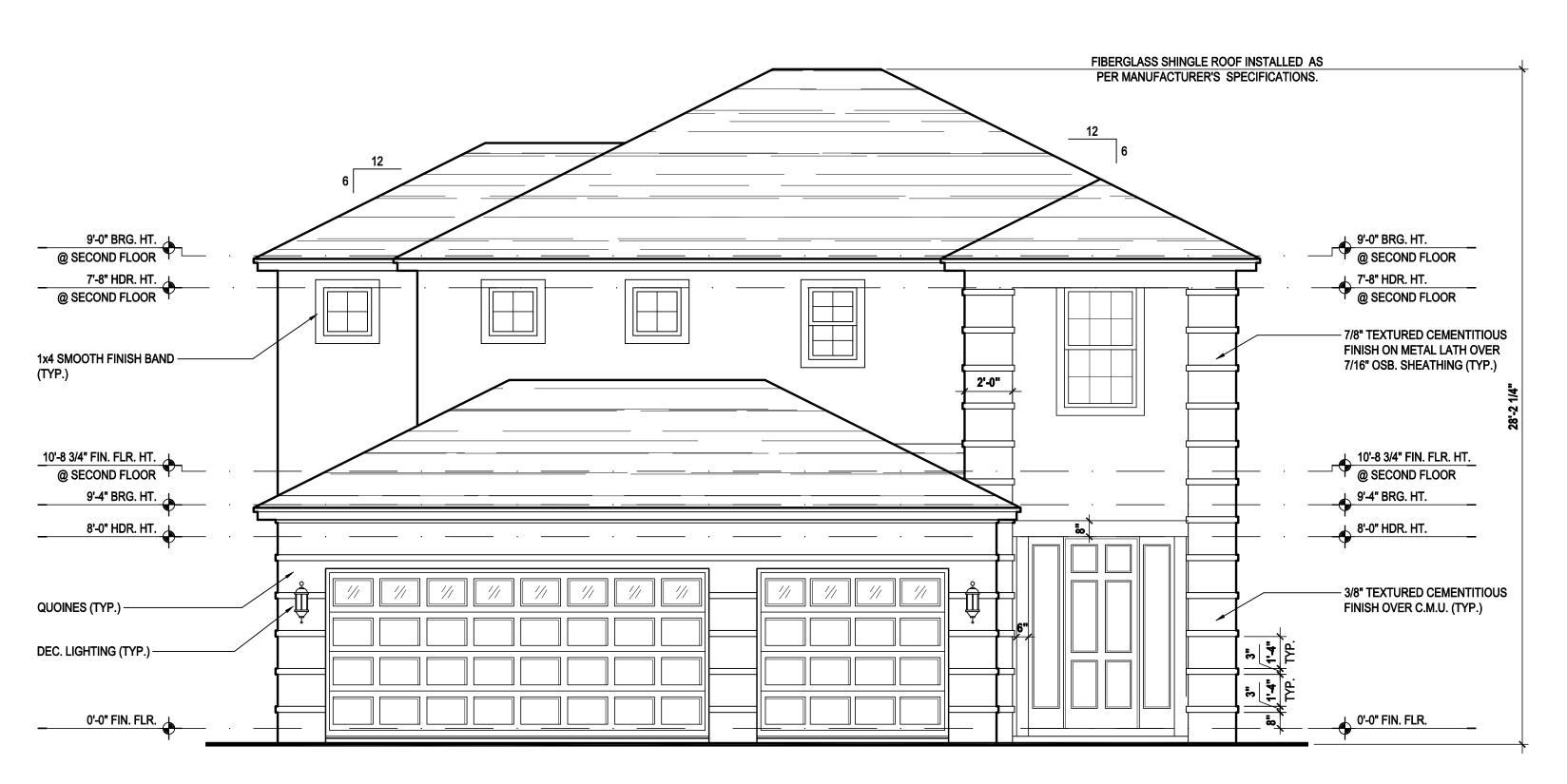


Front Elevation "B"

(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Rear Elevation "B"





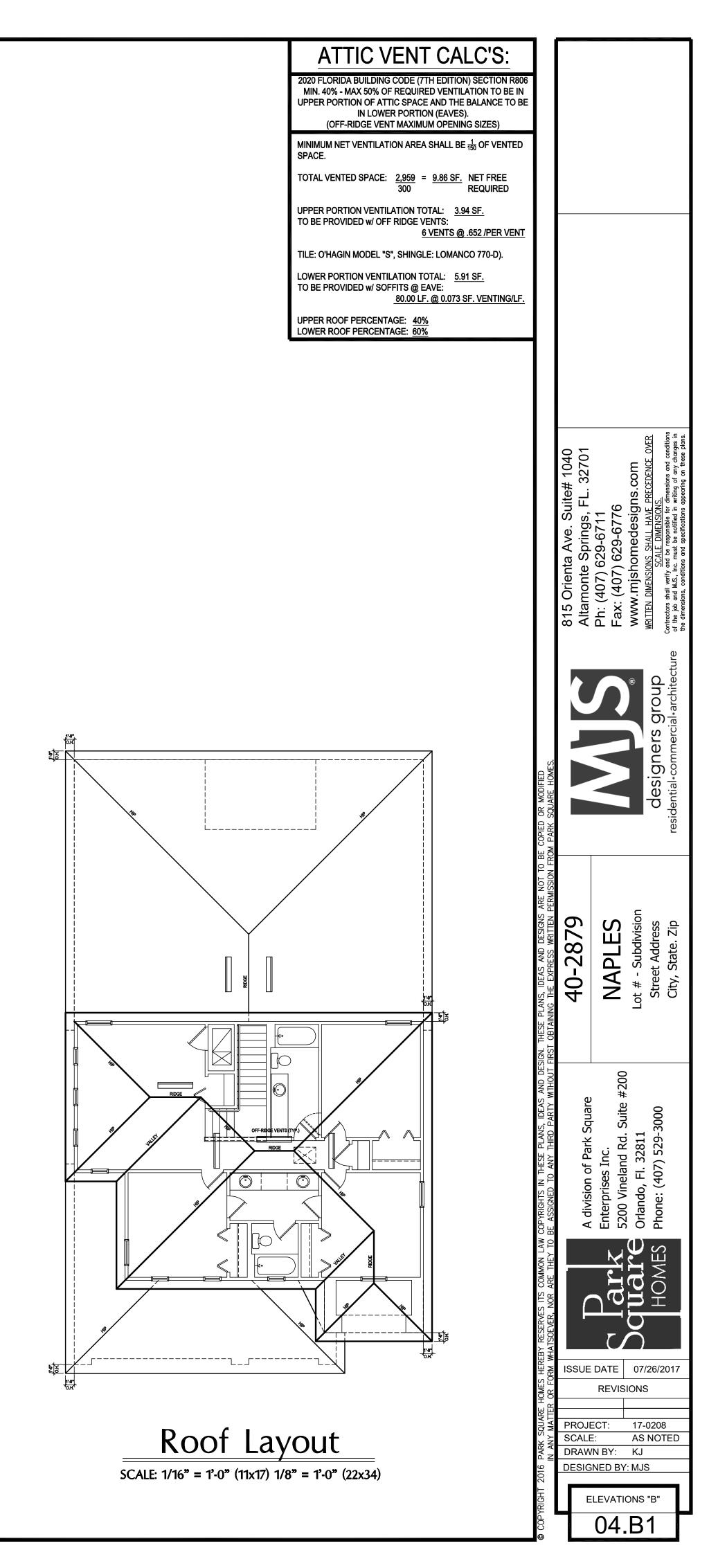


Front Elevation "B"

(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Rear Elevation "B"

(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



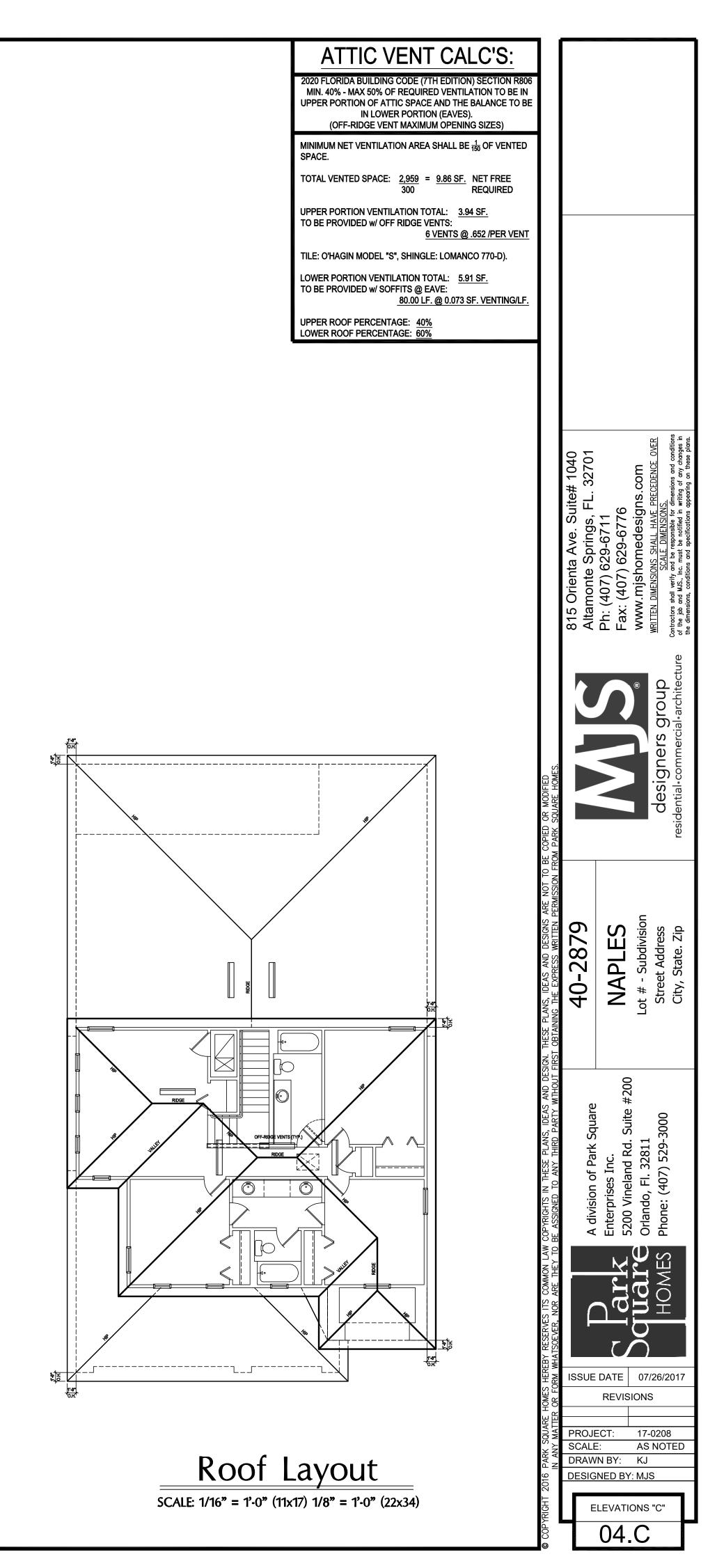


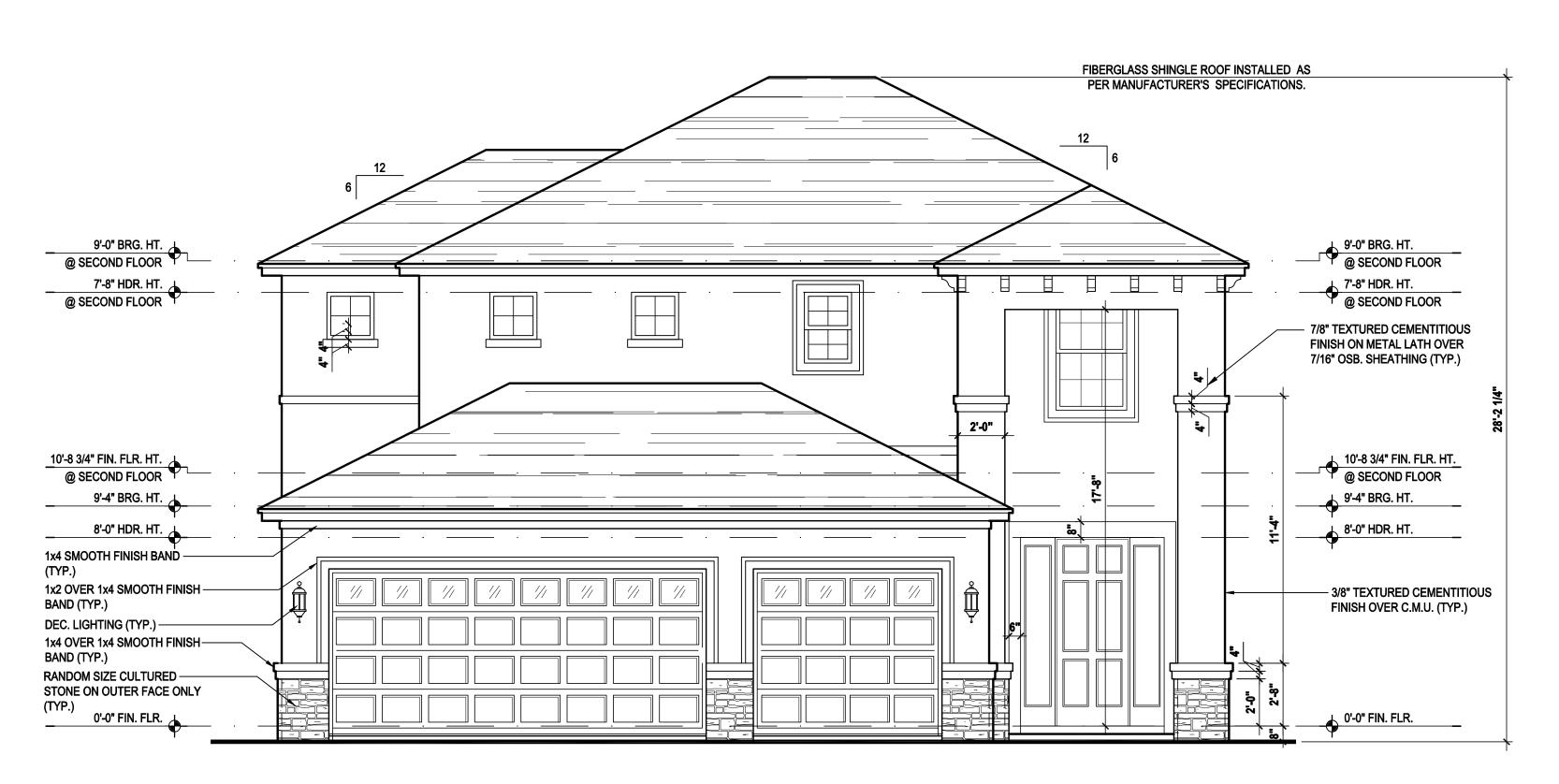


Front Elevation "C"

(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Rear Elevation "C" (Standard)





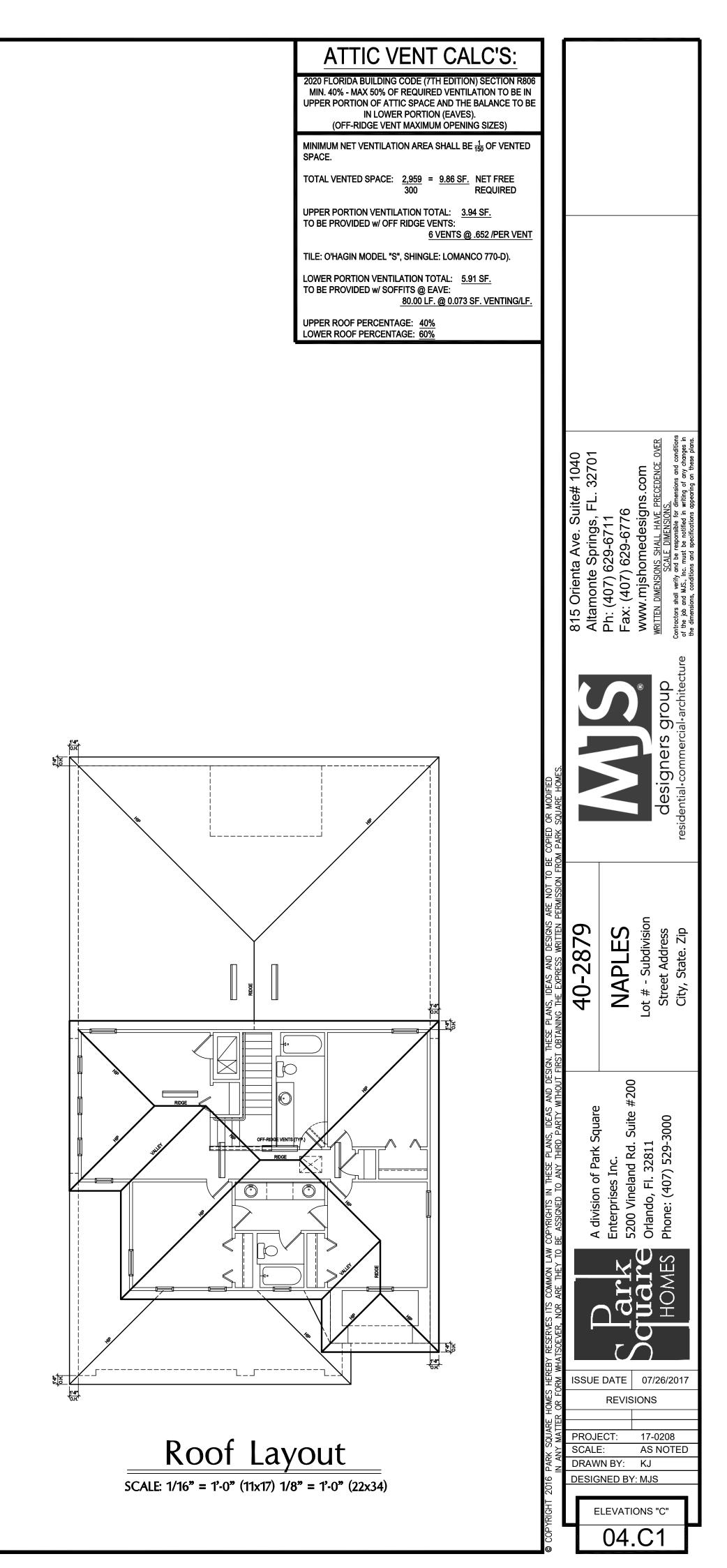


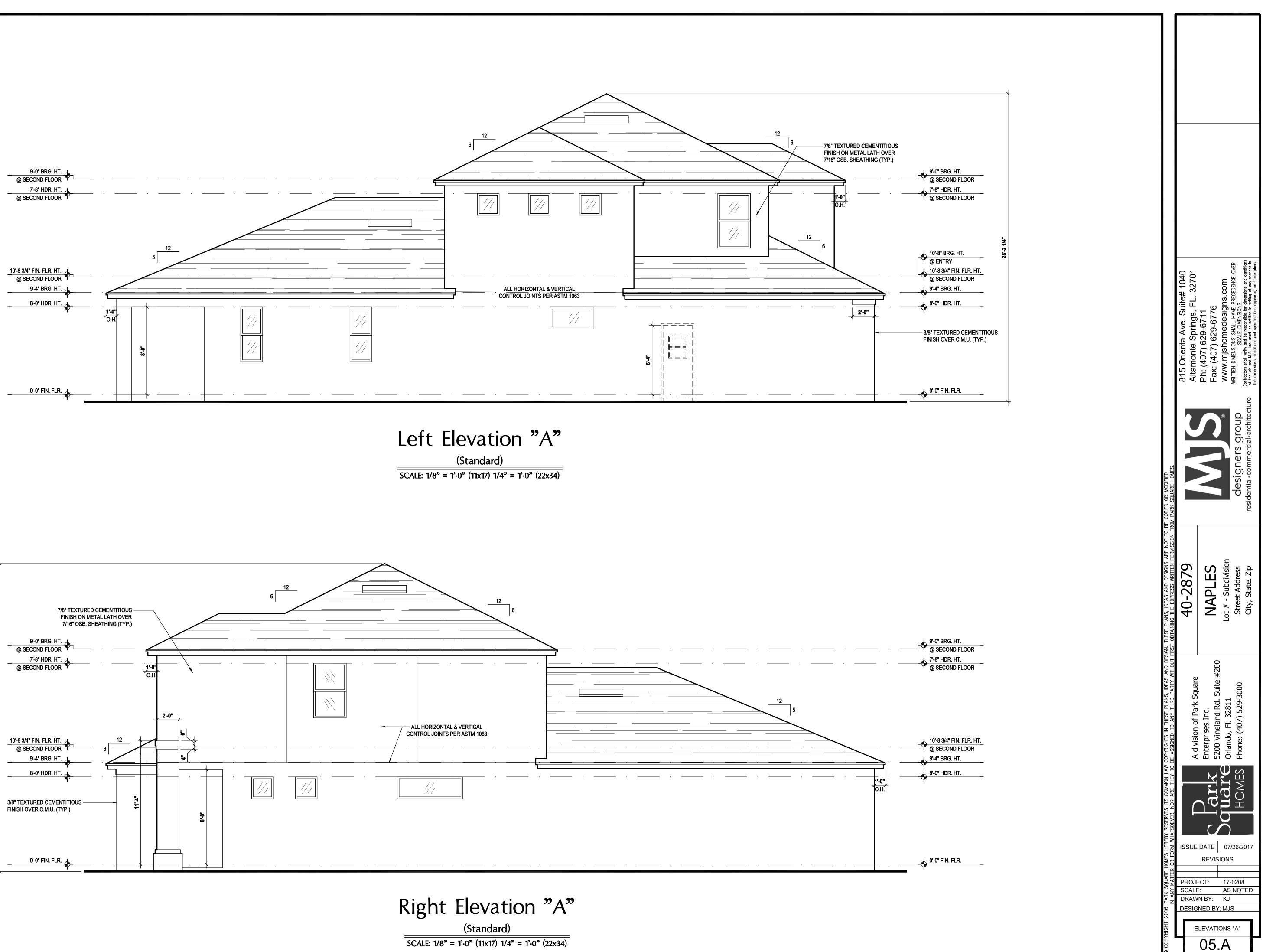
Front Elevation "C"

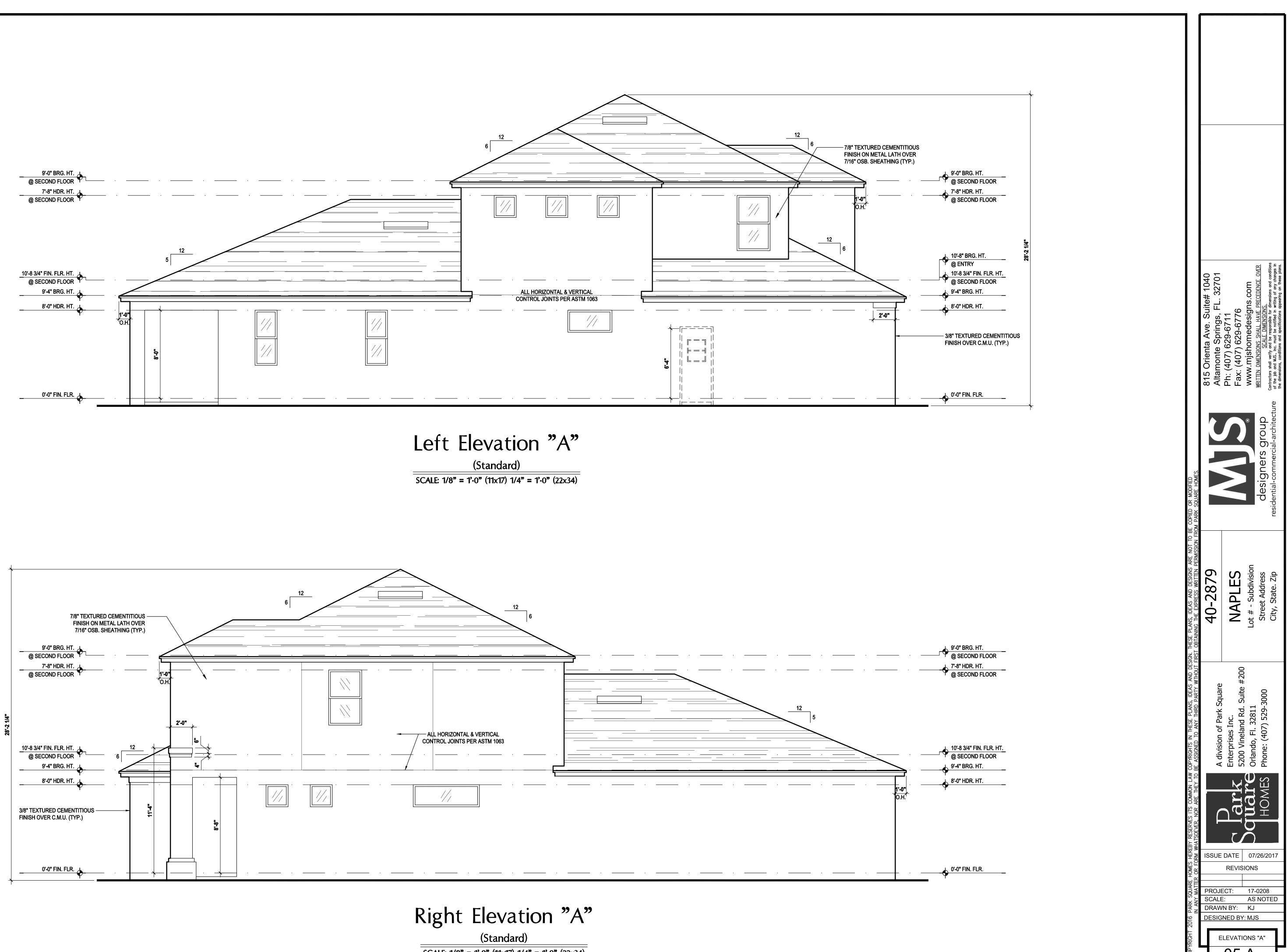
(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

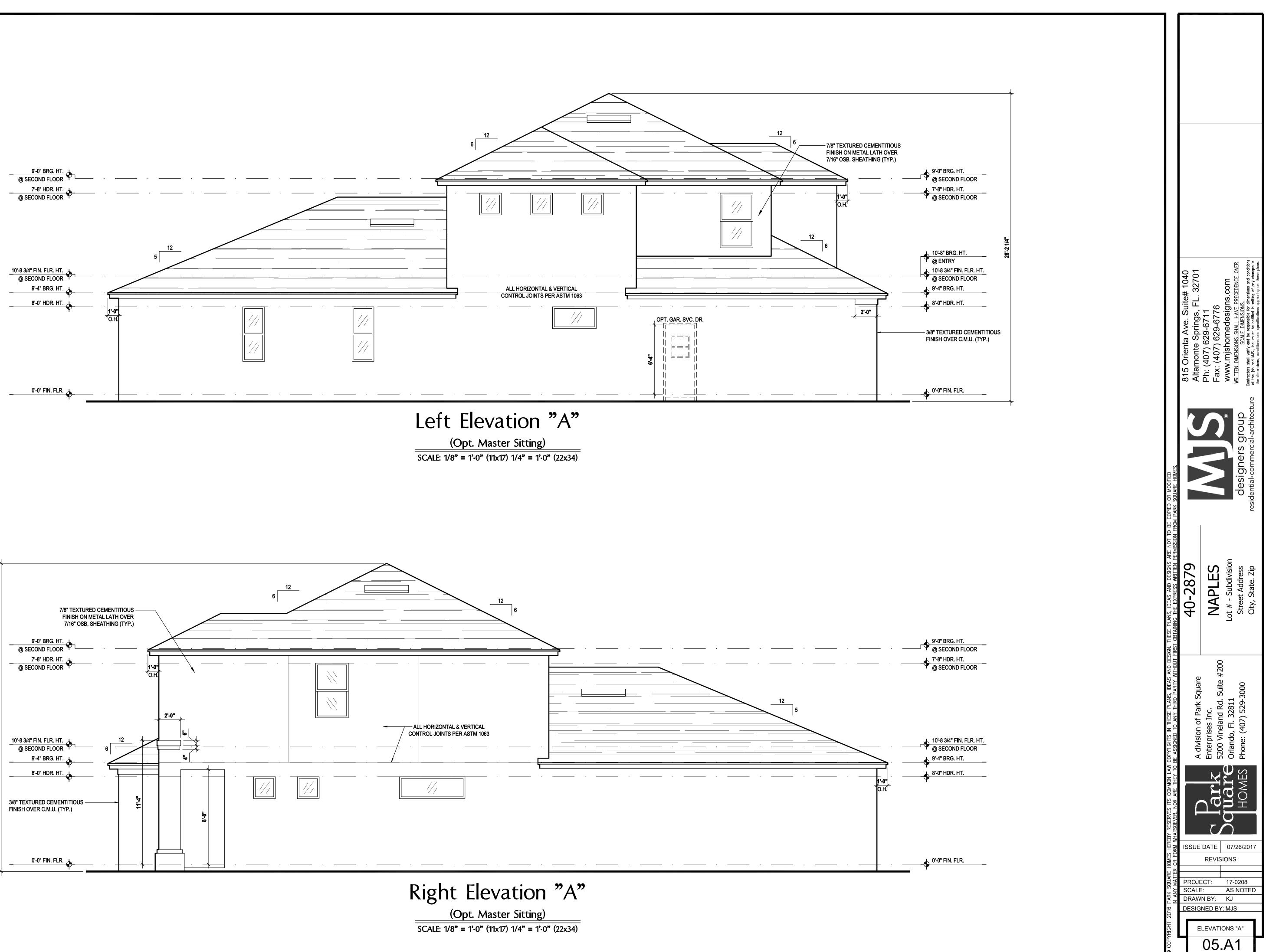
Rear Elevation "C"

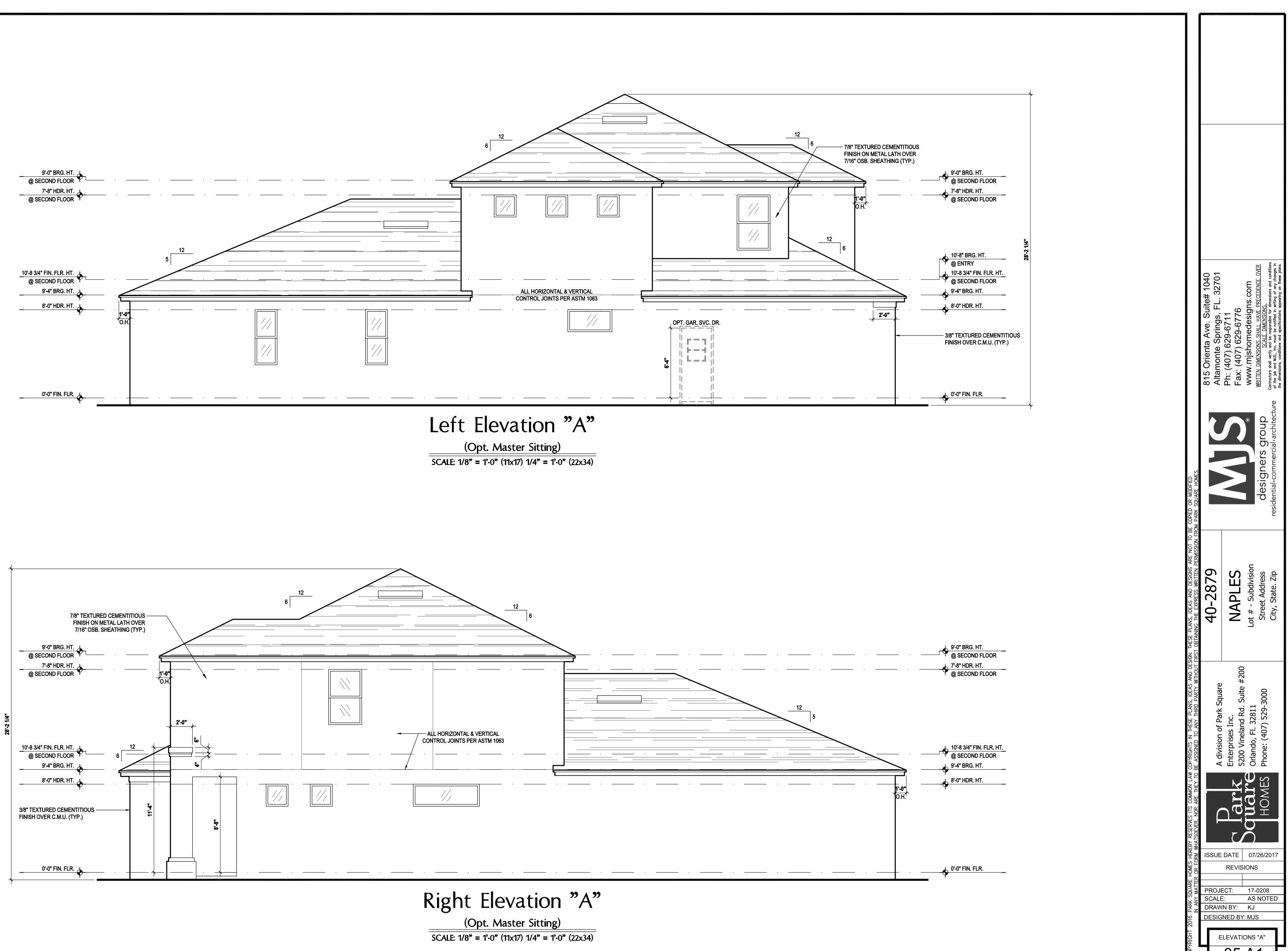
(Opt. Master Sitting) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

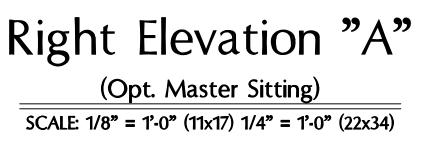


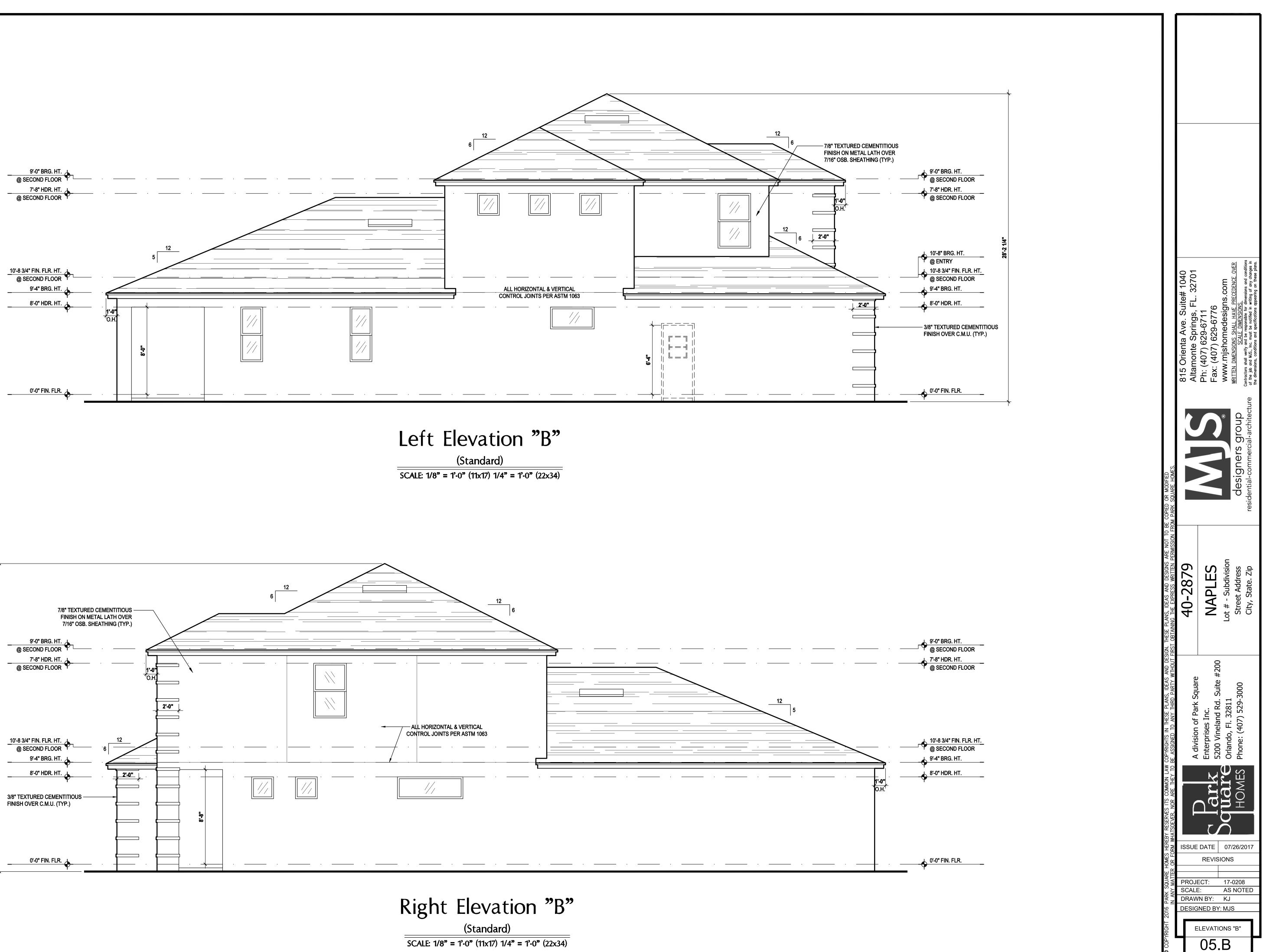


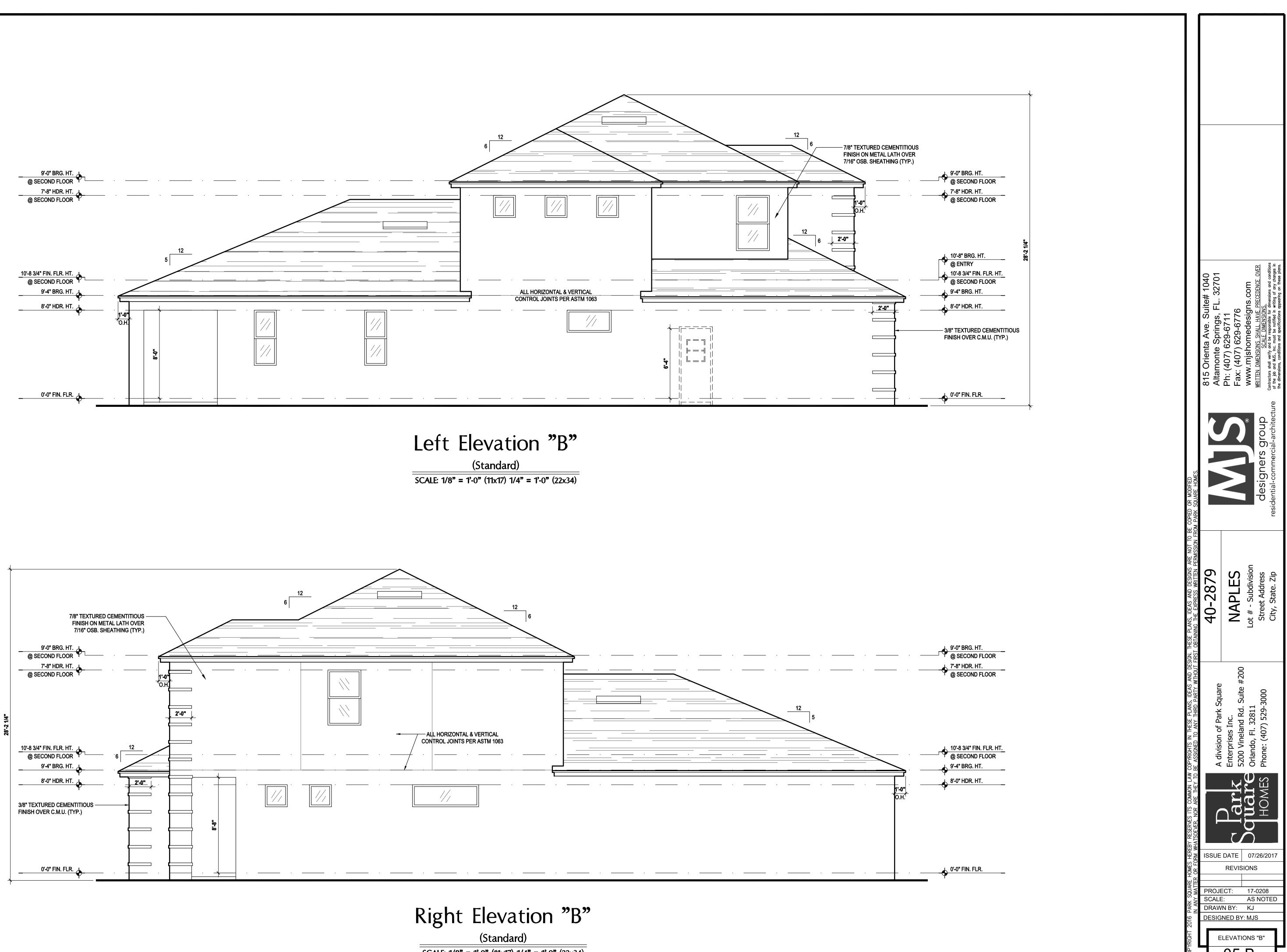


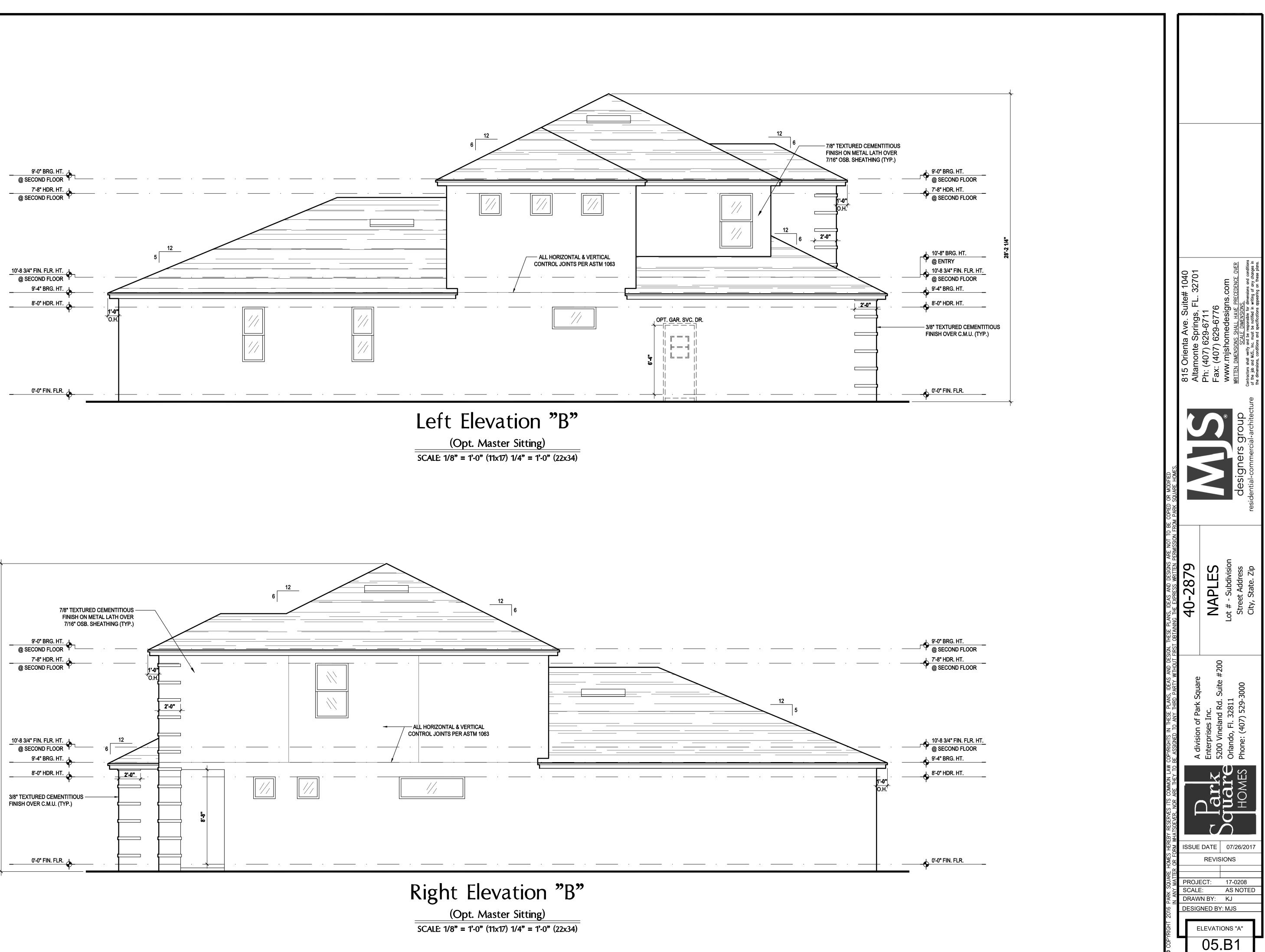


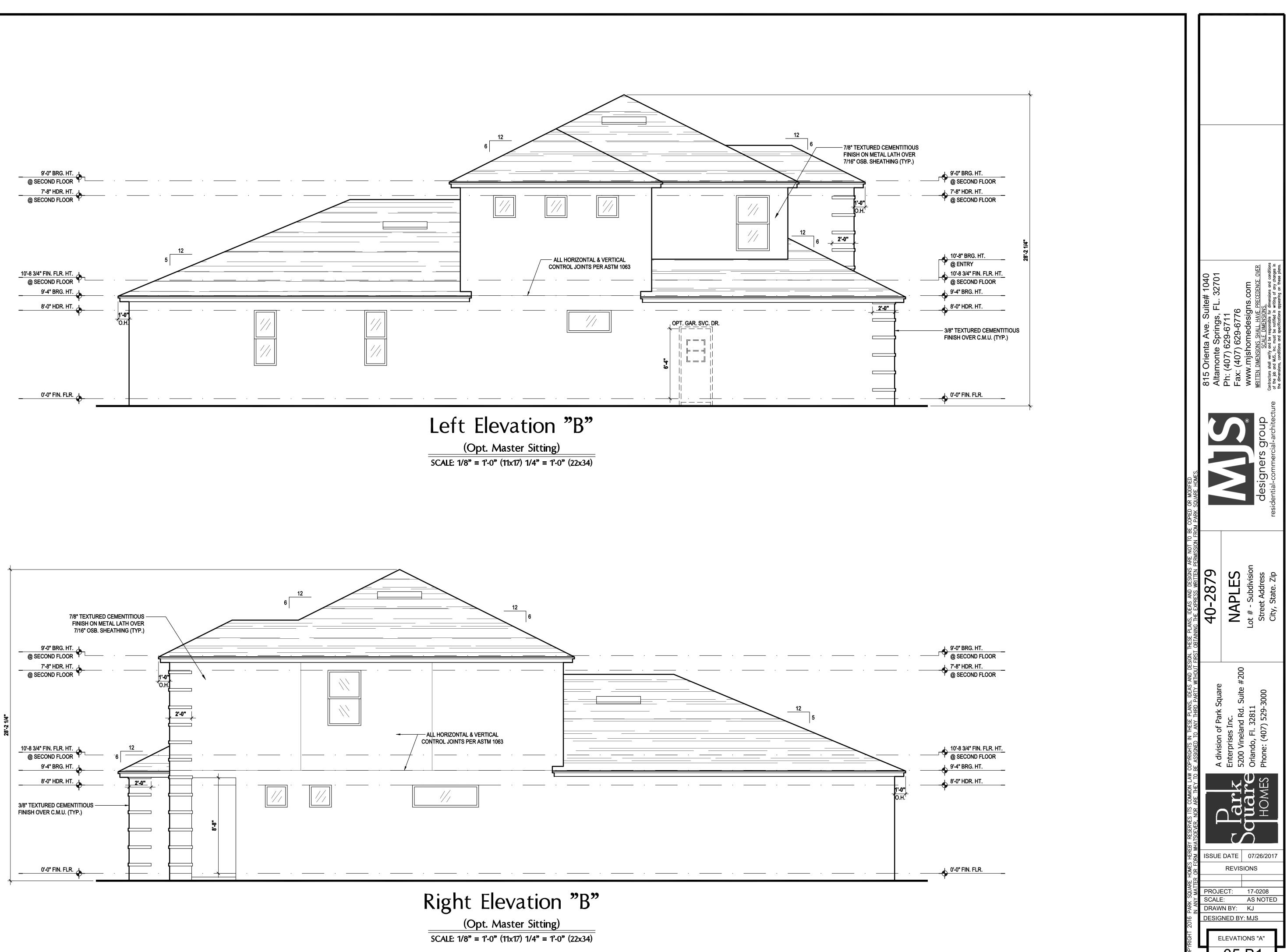


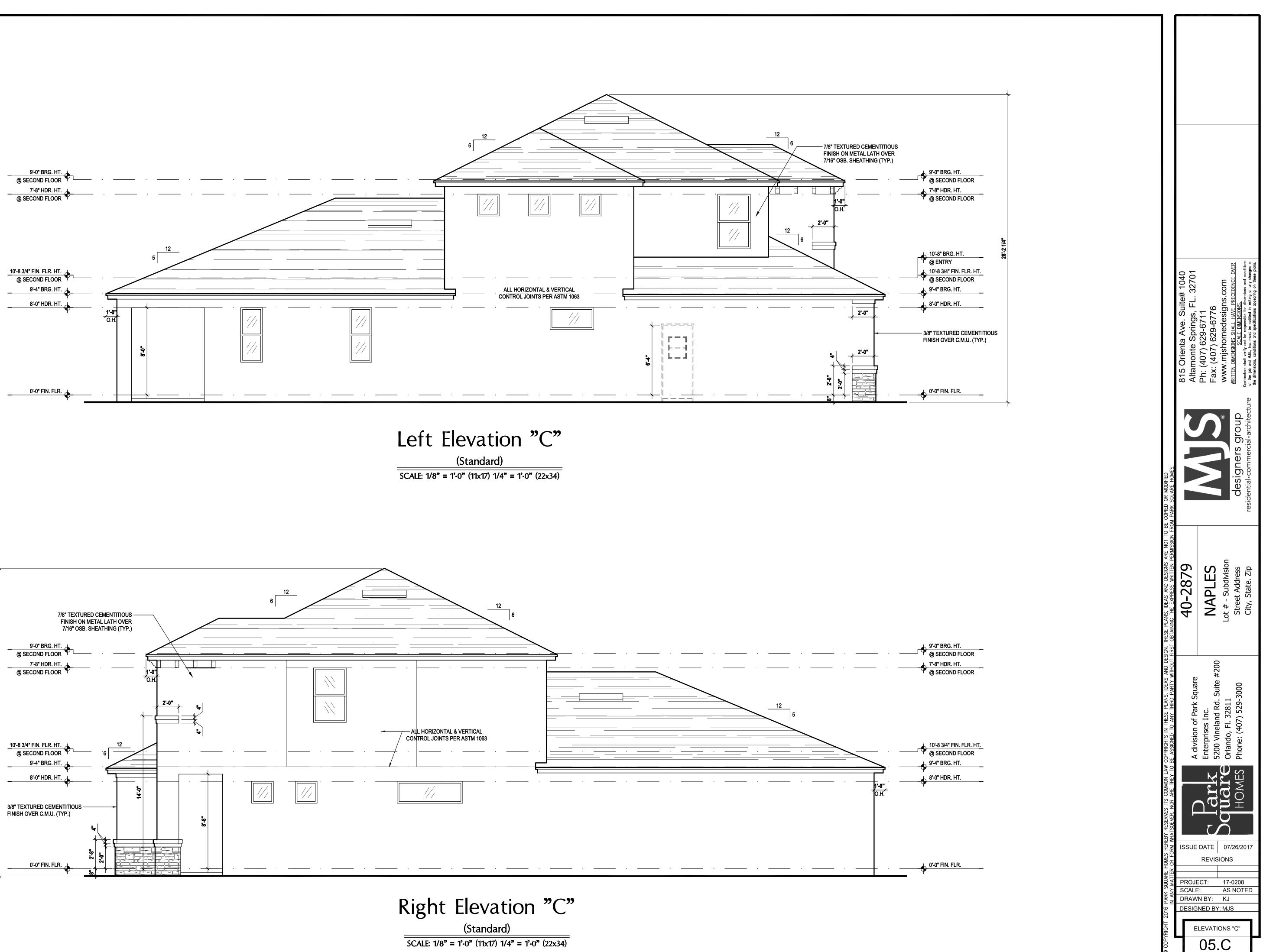


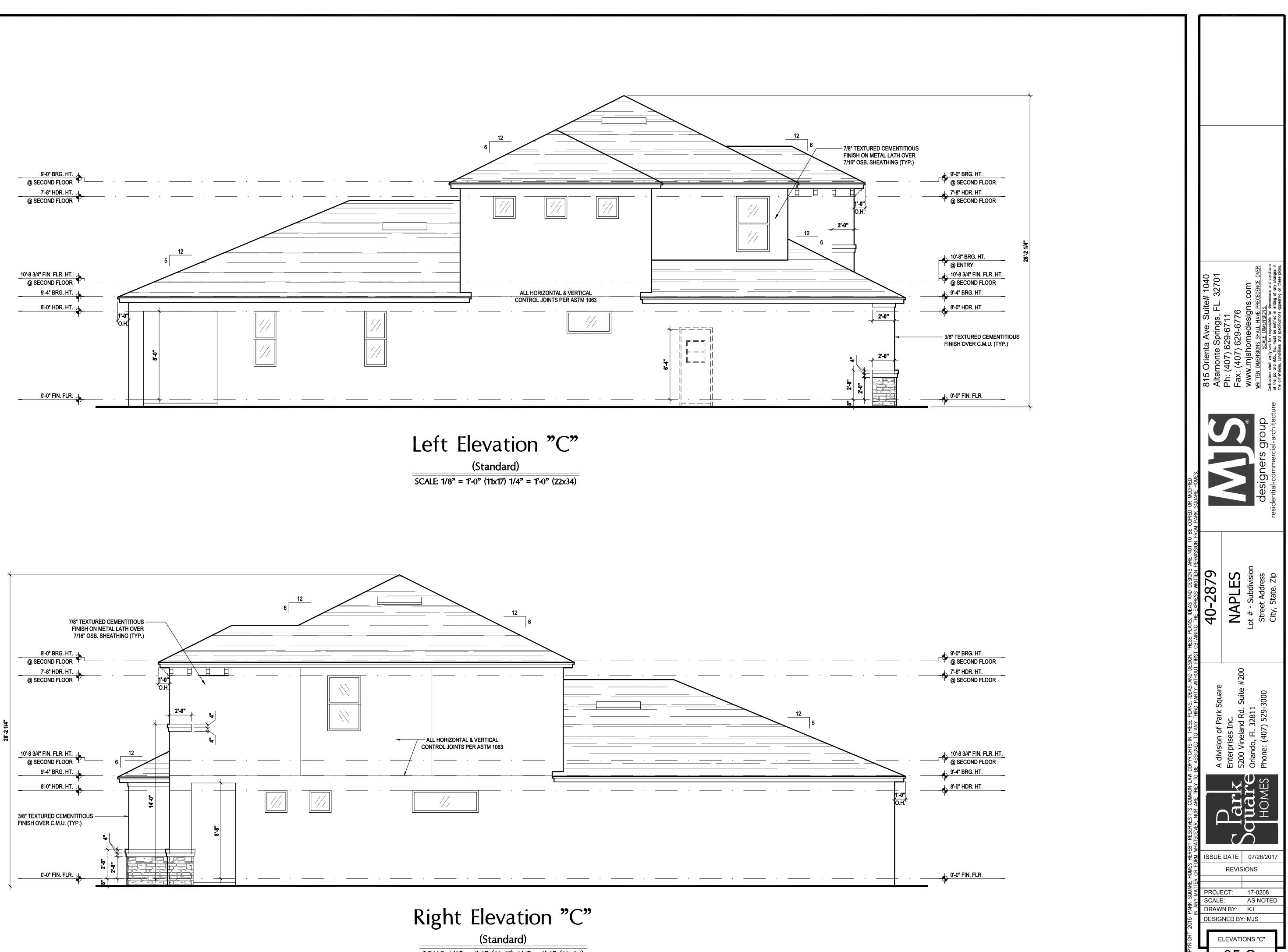


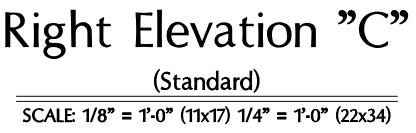


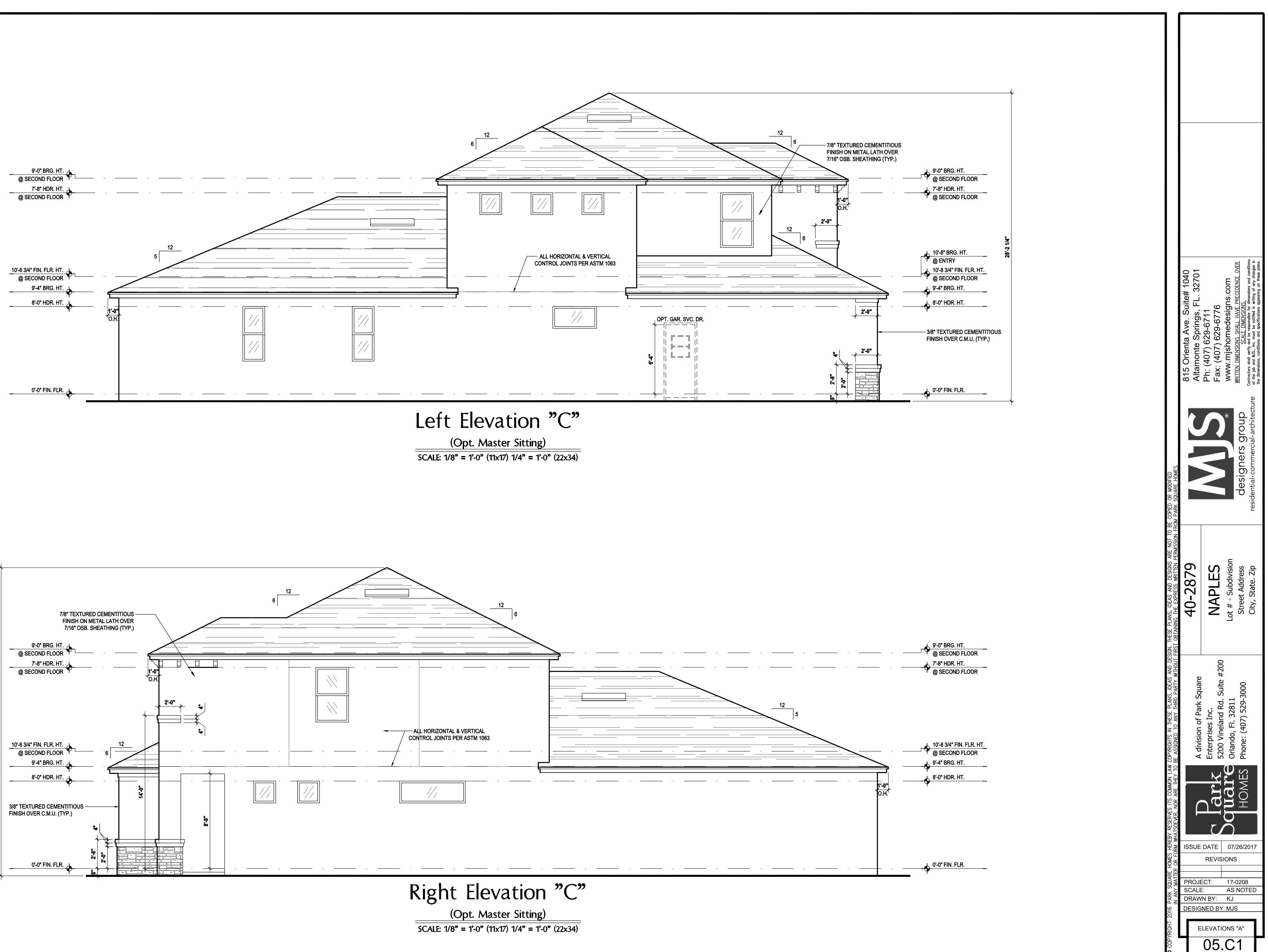


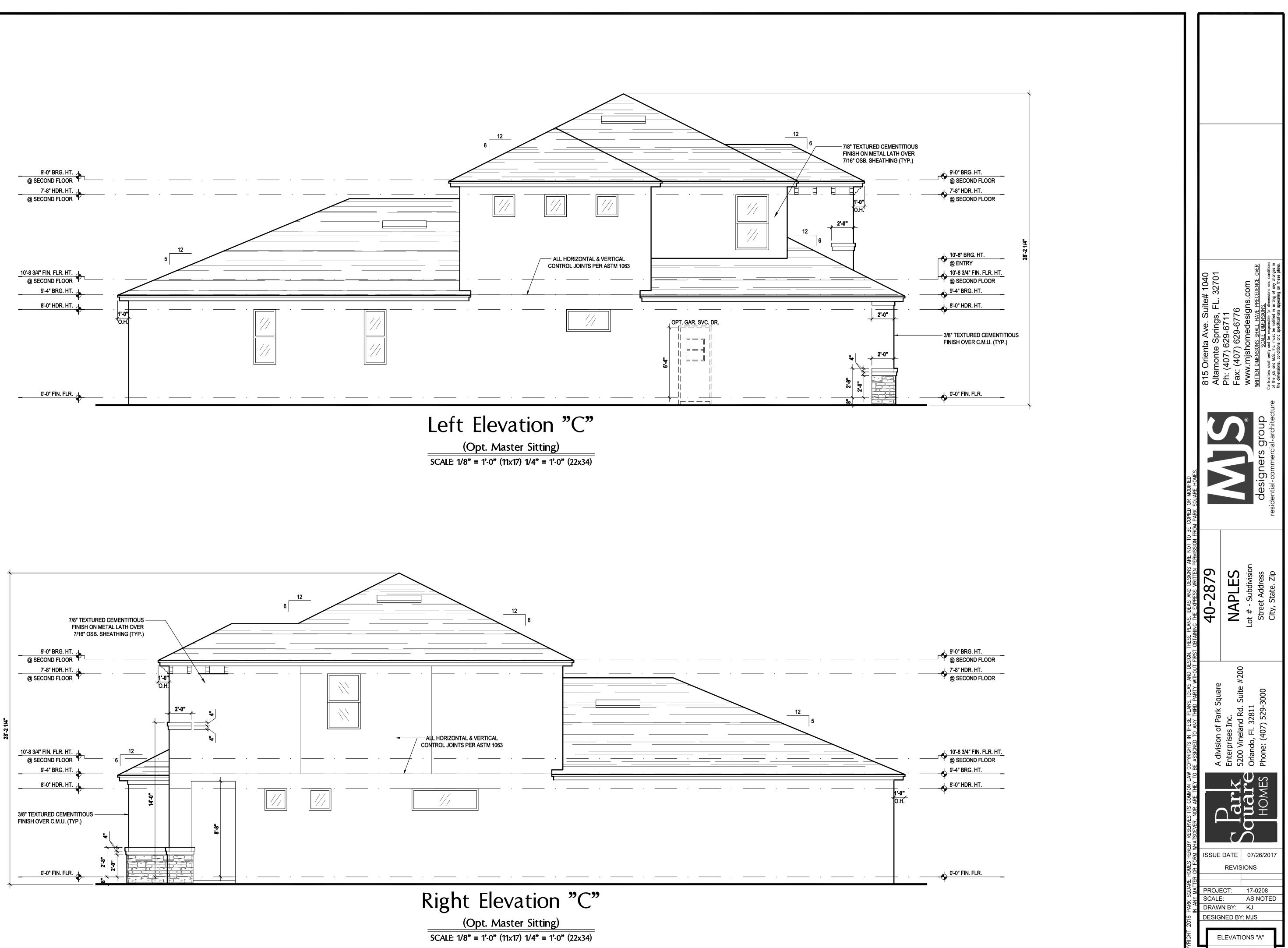








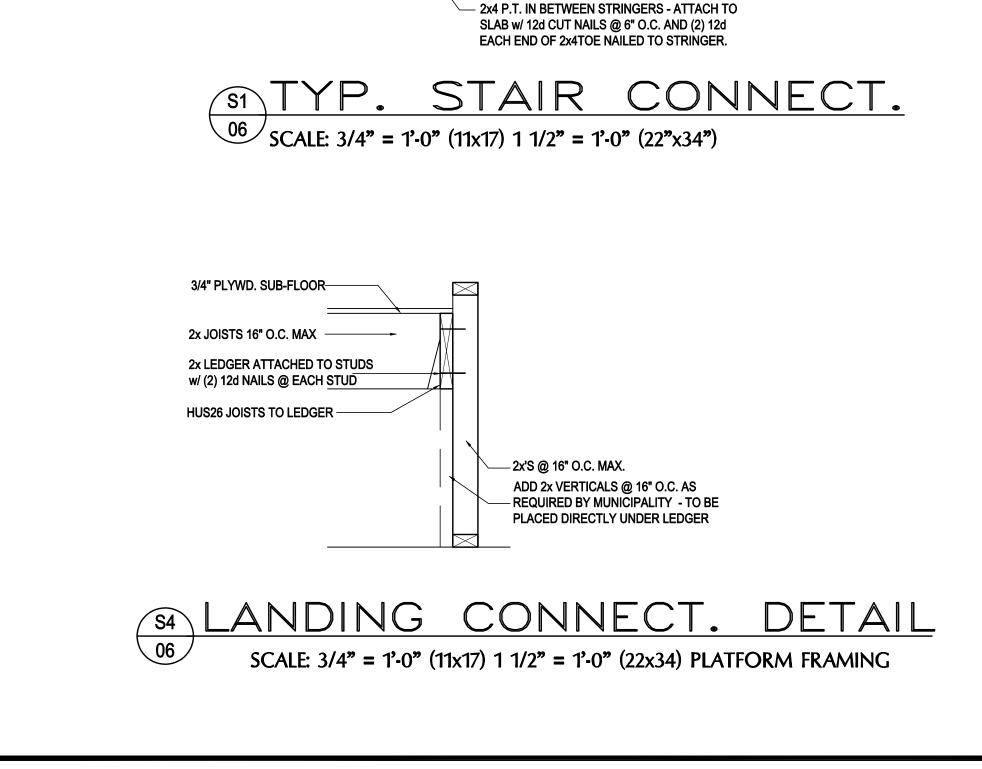


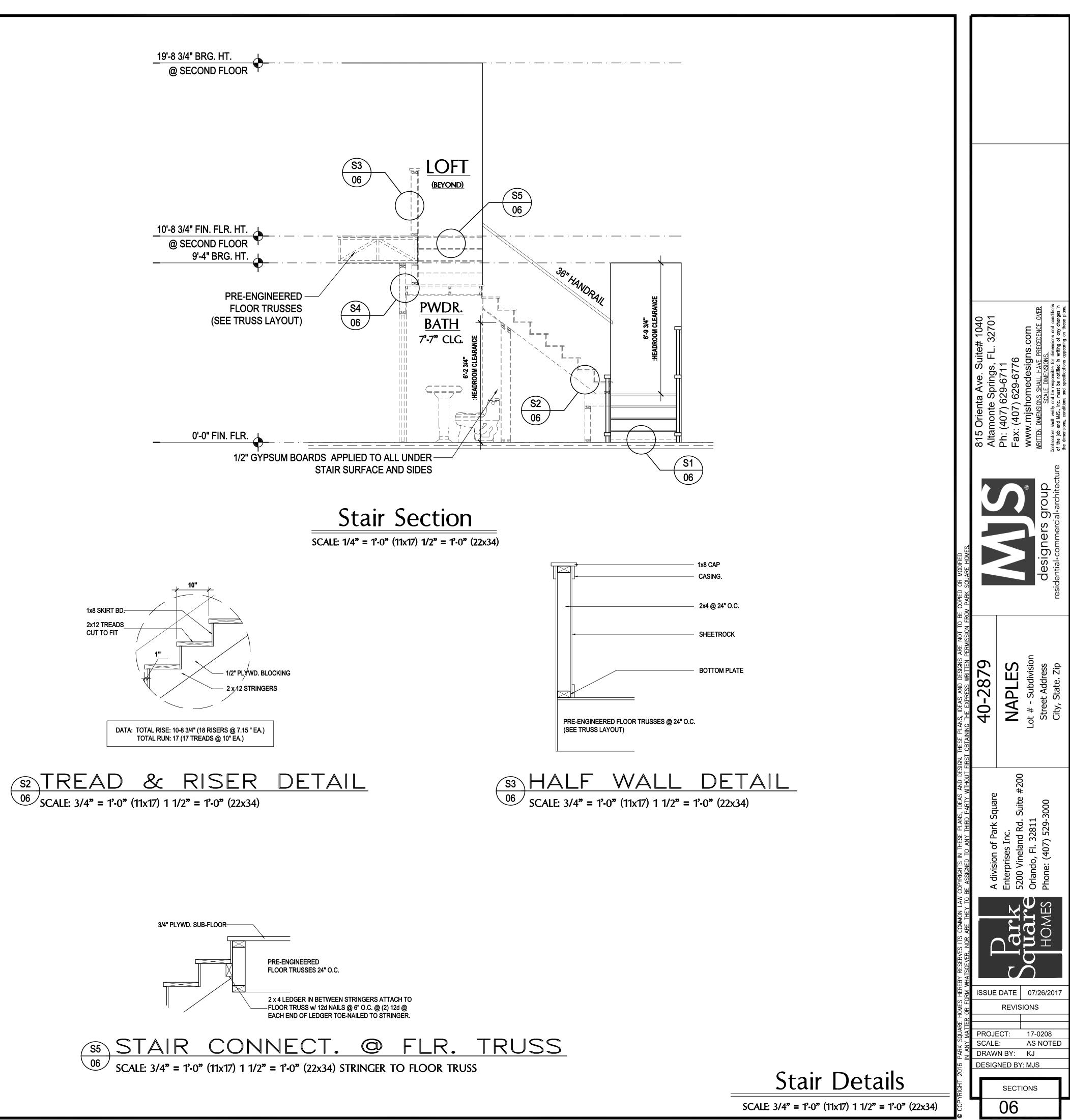


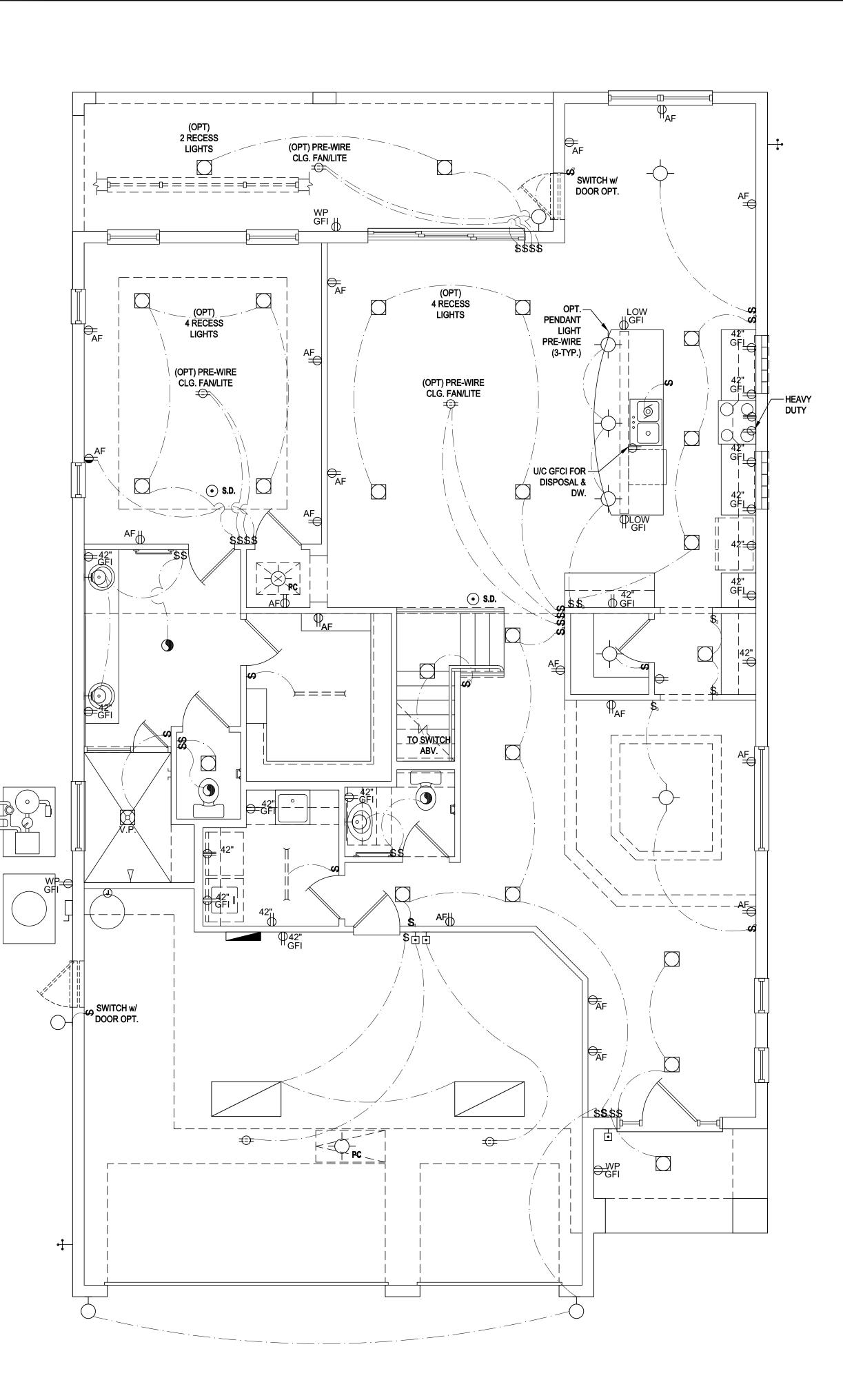


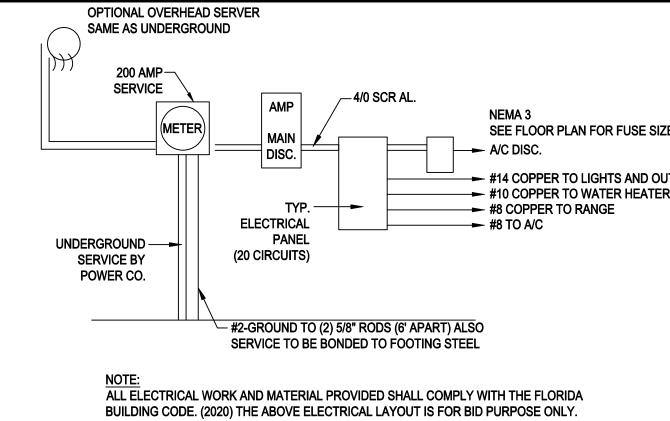
NOTES:

- 1. STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 7TH EDITION SECTION R311.7
- 2. MAX HT. OF RISER TO BE 7 3/4".
- 3. MIN. WIDTH OF TREAD TO BE 9" (EXCLUSIVE OF NOSING.
- 4. ALL TREADS LESS THAN 10" IN WIDTH SHALL HAVE APPROX. 1" OF NOSING.
- 5. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
- 6. 3/8" MAX VARIATION IN ANY RISE/TREAD.
- 7. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
- 8. UNDER MIN. 6" WIDE @NARROW END.
- 9. 34'-38" HANDRAIL HT.
- 10. HEADROOM CLEARANCE MIN 6'-8".





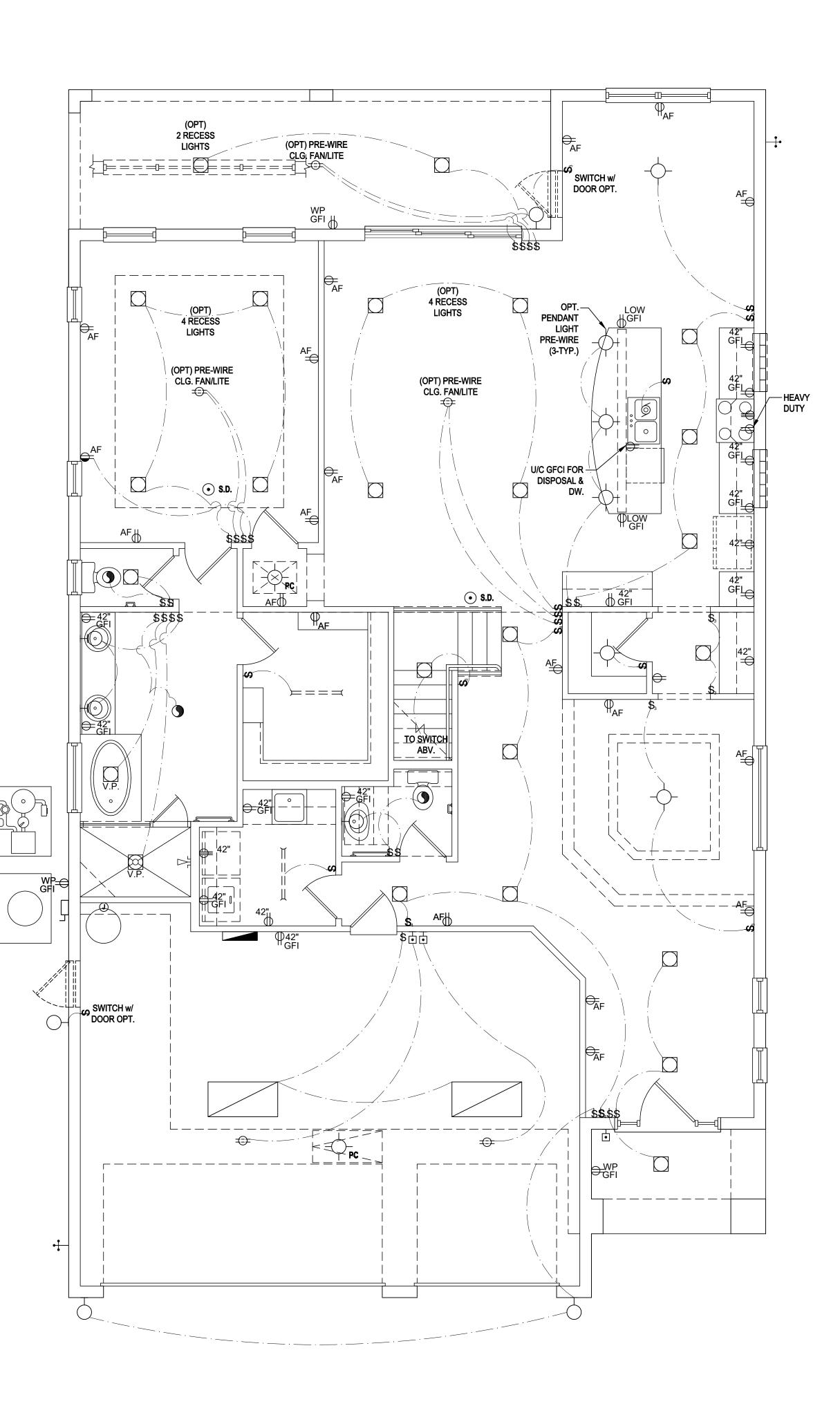


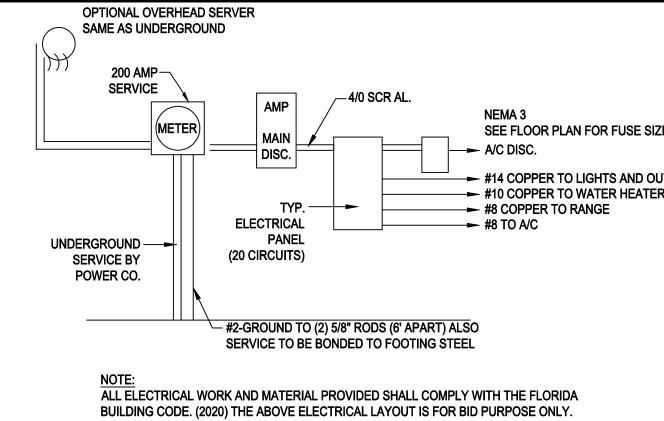


First Floor Electrical Plan "A,B, (Standard)



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	GEN	IERAL NOT	ES KEY:			
	-	R TO VERIFY EXACT LOCA TS IN FIELD.	TION OF FLOOR			
		ITLETS ARE TO BE AFCI PF				
SE SIZE		A AND 20A 120V BRANCH C ROTECTED.	IRCUITS WILL BE			
ND OUTLETS EATER	-	A AND 20A 120V BRANCH C GARAGE AND LAUNDRY W CTED				
	_	RAGE BAYS WILL HAVE DE	EDICATED GFCI			
	6. ALL OU	ITLETS LOCATED IN THE K	-			
		OOMS ARE TO BE GFCI PR D GARBAGE DISPOSAL AR				
	PROTE 8. EXCEP	CTED. TIONS TO THE GFCI STIPU				i GRO ndo, Fi
		ED ONLY IF ALLOWED PER				HOMPSON ENGINEERING GROUP, INC 1401 Vineland Road Suite A6 Orlando, FL. 32811 Dh. (407) 734-1790 www.tegfl.com
		TS LOCATED IN THE LAUNI ND AFCI PROTECTED.	DRY ARE TO BE			
		TS LOCATED WITHIN 6'-0" () BE GFCI PROTECTED.	OF A WET AREA			N EN N EN d Road t-1450 4-1790 m
	11. ALL OU	TLETS OVER COUNTERTO	PS TO BE 42" A.F.F.			THOMPSON EN THOMPSON EN 4401 Vineland Road Ph: (407) 734-1790 Eax: (407) 734-1790 www.tegfl.com
		OKE/CARBON MONOXIDE				THOI Ph: (4 Fax: (4
	PROTE					D CE OVER d conditions these plans.
		IGHT VANITY LIGHTS IN M 0" IN ALL OTHER BATHROO			≰ 1040 32701	DTD DENCE O any chang
	15- ANE	AS SPECIFIED IN SECTION 20-AMPERE RECEPTACLE TAMPER-RESISTANT REC	ES SHALL BE		Suite# 1040 s, FL. 32701	DS.COM <u>PRECEDENCE</u> <u>siting</u> of any chaptering of any chaptering on the
	NOTES:	TAMPER-RESISTANT REC			. Sui gs, F	O D U S S S S
	LIGHTIN	AGRAMMATIC PLAN IS INT NG AND CONVENIENCE OU ECTRICAL CONTRACTORS	TLETS ONLY. IT IS		815 Orienta Ave. Altamonte Spring	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigi written Dimensions SHALL HAVE SCALE DIMENSION scale Dimensions on the responsible for it the job and M.S., Inc. must be notified in the dimensions, conditions and specifications
	TO VEF ALL EL	RIFY THE REQUIREMENT A ECTRICAL EQUIPMENT, (IN	ND LOCATIONS OF CLUDING KITCHEN		enta ìte S	Ph: (407) 629-6 Fax: (407) 629-(www.mjshomed WRITTEN DIMENSIONS SHALL SCALE DIM SCALE DIM ontractors shall verify and be respond of the job and MJS., Inc. must be t
	COMPL PER NF	MENT) AND PROVIDE AND I ETE ELECTRICAL SERVICE PA, NEC, FBC CODES AND	AS REQUIRED		5 Oriv amor	Ph: (407) Fax: (407 www.mjsl <u>WRITTEN DIMENSI</u> Contractors shall verify of the job and MJS., 1 the dimensions, condit
	ORDINA	PALITY CODES, STANDAR ANCES. ON OF FIXTURES AND / OF			815 Alta	Ph:
	SUGGE CODE F	STED LOCATIONS AND ME REQUIREMENTS. ADDITION TMENTS MAY BE MADE BE	ET MOST LOCAL IS OR			ē
	• ALL EL	R AND BUILDER IN THE FIE ECTRICAL WORK AND APP	LD. LIANCES ARE IN			tectu
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	VARIOU	JS SYMBOLS ON ELECTRIC Y NOT BE USED ON THIS P	CAL LEGEND MAY			s g
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				Modified Are Homes		designers ential-commerci
	ELEC	TRICAL KE	Y:	or Modified Square Homes		designers group
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				T TO BE (ON FROM		
		PULL CHAIN LIGHT				
		PULL CHAIN LIGHT		re no ⁻ Ermissi		
				ARE PERMI	6,	Ssion Ssion
		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSE)		879	LES ubdivision vddress ate. Zip
		RECESSED LIGHT WALL MOUNTED LIGHT))-2879	APLES + - Subdivision eet Address y, State. Zip
		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED			40-2879	NAPLES Lot # - Subdivision Street Address City, State. Zip
		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE			40-2879	NAPLES Lot # - Subdivision Street Address City, State. Zip
		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED WATER PROOF RECEP FLOOR RECEPTACLE PRE-WIRE FOR CLG. FA	TACLE	THESE PLANS, IDEAS AND DESIGNS OBTAINING THE EXPRESS WRITTEN	40-2879	NAPLES Lot # - Subdivision Street Address City, State. Zip
		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED WATER PROOF RECEP FLOOR RECEPTACLE	TACLE	I I I I I I I I I I I I I I I I I I I	40-2879	
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		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED WATER PROOF RECEP FLOOR RECEPTACLE PRE-WIRE FOR CLG. FA GROUND FAULT INTER WALL SWITCH 3-WAY SWITCH DIMMER SWITCH DIMMER SWITCH TELEPHONE JACK CABLE JACK PRE-WIRE GARAGE DO FLUORESCENT LIGHT ELECTRICAL PANEL	TACLE	IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGNS TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN		Rd. Suite #200 311 29-3000
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		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED WATER PROOF RECEP FLOOR RECEPTACLE PRE-WIRE FOR CLG. FA GROUND FAULT INTER WALL SWITCH 3-WAY SWITCH DIMMER SWITCH DIMMER SWITCH TELEPHONE JACK CABLE JACK PRE-WIRE GARAGE DO FLUORESCENT LIGHT ELECTRICAL PANEL CHIME	TACLE N RUPT OR OPENER	I I I I I I I I I I I I I I I I I I I		Rd. Suite #200 311 29-3000
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		RECESSED LIGHT WALL MOUNTED LIGHT WALL WASH RECESSED DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED WATER PROOF RECEP FLOOR RECEPTACLE PRE-WIRE FOR CLG. F/ GROUND FAULT INTER WALL SWITCH 3-WAY SWITCH DIMMER SWITCH TELEPHONE JACK CABLE JACK PRE-WIRE GARAGE DO FLUORESCENT LIGHT ELECTRICAL PANEL CHIME DOOR BELL / GARAGE I DISCONNECT SWITCH ELECTRICAL METER	TACLE	S ITS COMMON LAW COPYRIGHTS IN THESE PLANS, IDEAS AND DESIGN. THESE PLANS, IDEAS AND DESIGNS AND ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN		Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000
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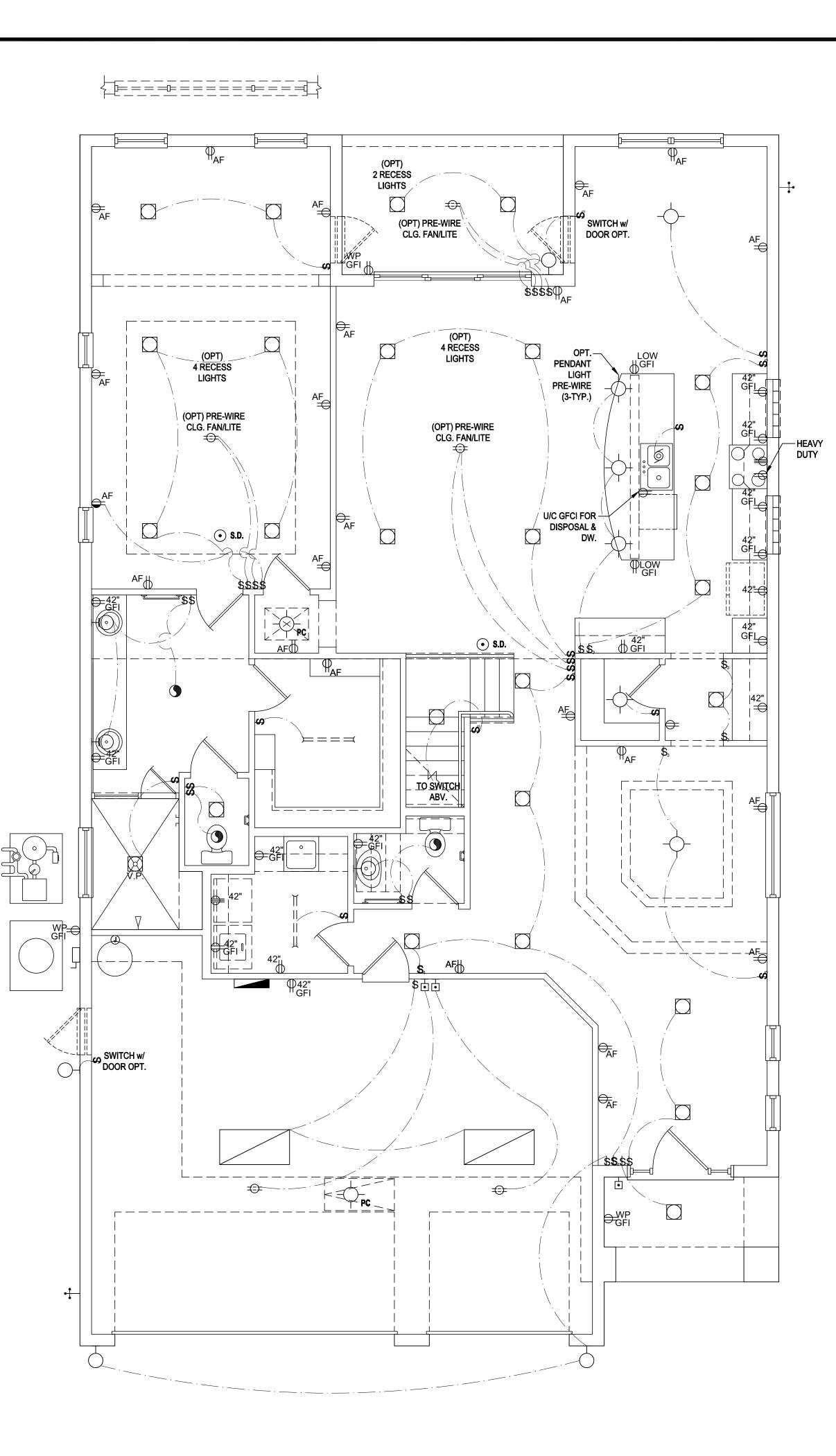


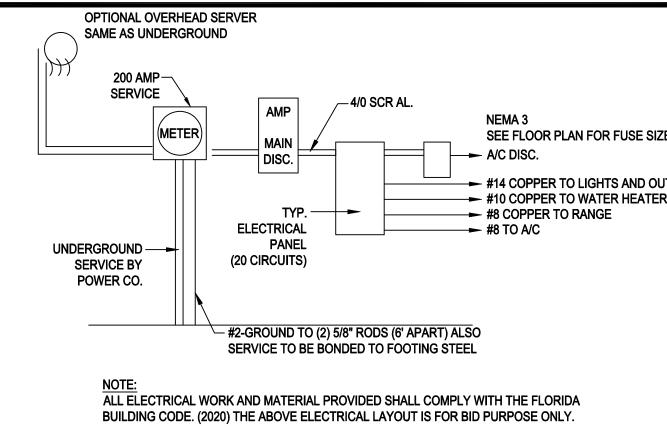


First Floor Electrical Plan "A,B, (Opt. Master Bath)



	GEN	IERAL NOTES KEY:	_		
	-	R TO VERIFY EXACT LOCATION OF FLOOR TS IN FIELD.			
SE SIZE	3. ALL 154	ITLETS ARE TO BE AFCI PROTECTED. A AND 20A 120V BRANCH CIRCUITS WILL BE ROTECTED.			
ND OUTLETS EATER	4. ALL 154	A AND 20A 120V BRANCH CIRCUITS LOCATED GARAGE AND LAUNDRY WILL BE GFCI)		
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		ITLETS LOCATED IN THE KITCHEN AND OOMS ARE TO BE GFCI PROTECTED.			P , IX
	7. DW. AN PROTE	ID GARBAGE DISPOSAL ARE TO BE GFCI CTED.			
		TIONS TO THE GFCI STIPULATION WILL BE /ED ONLY IF ALLOWED PER CURRENT NFPA /			HOMPSON ENGINEERING GROUP, IN HOMPSON ENGINEERING GROUP, IN #01 Vineland Road Suite A6 Orlando, FL. 32811 ax: (407) 734-1790 ax: (407) 734-1790 ww.tegfl.com
		TS LOCATED IN THE LAUNDRY ARE TO BE ND AFCI PROTECTED.			VGINEE VGINEE
		TS LOCATED WITHIN 6'-0" OF A WET AREA D BE GFCI PROTECTED.			SON ENC SON ENC Hand Road 734-1450 734-1790 .com
	11. ALL OU (U.N.O.)	ITLETS OVER COUNTERTOPS TO BE 42" A.F.F).			THOMPSON EN THOMPSON EN 4401 Vineland Roa Ph: (407) 734-1450 Fax: (407) 734-1799 www.tegfl.com
		IOKE/CARBON MONOXIDE DETECTORS ARE HARD WIRED, INTERCONNECTED AND AFCI CTED.			
		EIGHT VANITY LIGHTS IN MASTER BATHROOM 0" IN ALL OTHER BATHROOMS.	1	f 1040 32701	DTT DENCE_OVER is and conditions on these plans.
	15- ANE	AS SPECIFIED IN SECTION E3901.1, 125-VOLT 0 20-AMPERE RECEPTACLES SHALL BE 1 TAMPER-RESISTANT RECEPTACLES.		Suite# 1(s, FL. 32	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com written DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. scale DIMENSIONS. scale DIMENSIONS. If the job and M.S., Inc. must be notified in writing of any changes in the dimensions, conditions and specifications appearing on these plans.
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	LIGHTIN THE EL	NG AND CONVENIENCE OUTLETS ONLY. IT IS ECTRICAL CONTRACTORS RESPONSIBILITY		Orienta Ave. S monte Springs	Ph: (407) 629-6711 Fax: (407) 629-677 www.mjshomedesi <u>WRITTEN DIMENSIONS SHALL HAV</u> <u>SCALE DIMENSIONS shall HAV</u> ntractors shall verify and be responsible t the job and MJS, Inc. must be notified the job and MJS, Inc. must be notified
	ALL EL	RIFY THE REQUIREMENT AND LOCATIONS OF ECTRICAL EQUIPMENT, (INCLUDING KITCHEN MENT) AND PROVIDE AND INSTALL		enta nte S	(17) 629 (07) 62 (07)
	COMPL	MENT) AND PROVIDE AND INSTALL ETE ELECTRICAL SERVICE AS REQUIRED PA, NEC, FBC CODES AND ALL REIGNING		815 Orient Altamonte	Ph: (407) Fax: (407 www.mjsl <u>written Dimensi</u> sl of the job and MJS., li the dimensions, condit
	ORDINA			815 Altaı	Ph: Fax www wklitte ontractor the jar
	SUGGE	ION OF FIXTURES AND / OR OUTLETS ARE ESTED LOCATIONS AND MEET MOST LOCAL REQUIREMENTS. ADDITIONS OR			
	ADJUS ⁻ OWNEF	TMENTS MAY BE MADE BETWEEN THE R AND BUILDER IN THE FIELD.			cture
	FULL C	ECTRICAL WORK AND APPLIANCES ARE IN OMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 7TH N (2020) RESIDENTIAL, AND ALL APPLICABLE			chite B
	LOCAL	STANDARDS, CODES, AND ORDINANCES. JS SYMBOLS ON ELECTRICAL LEGEND MAY			grou ial-archit
	OR MAY	Y NOT BE USED ON THIS PLAN.			
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	₩P	WATER PROOF RECEPTACLE	THESE PLANS, IC OBTAINING THE	4	C C C
	₽	FLOOR RECEPTACLE	HESE F DBTAIN		
	-⊕ =⊖ _{GFI}	PRE-WIRE FOR CLG. FAN GROUND FAULT INTERRUPT	<u> </u>		
	\$	WALL SWITCH	AND DESIGN.		500
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	\$₀ ▼	DIMMER SWITCH TELEPHONE JACK	ഹ്പ്	Sour	Suit 3000
	\leftarrow	CABLE JACK	e Plans, Y Third F	A division of Park Souare	Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000
		PRE-WIRE GARAGE DOOR OPENER FLUORESCENT LIGHT	N THESE TO ANY) of l	es Ir elan FI. 3 407)
		ELECTRICAL PANEL	COPYRIGHTS IN THESE	visior	Enterprises Inc. 5200 Vineland Rd. Orlando, Fl. 32811 Phone: (407) 529-
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		DOOR BELL / GARAGE DOOR SWITCH DISCONNECT SWITCH	≥○		
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		FLUSH MOUNT FLUORESCENT LIGHT			
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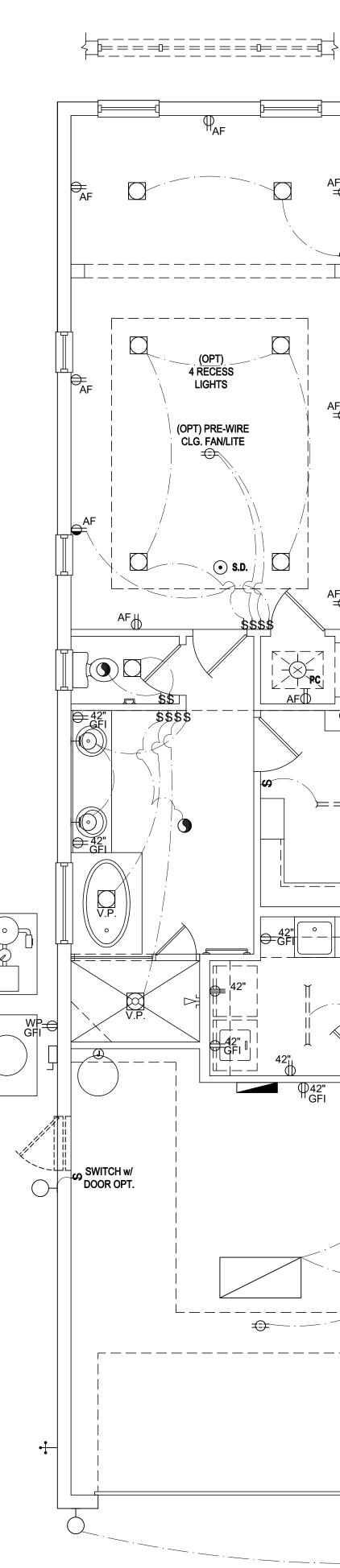


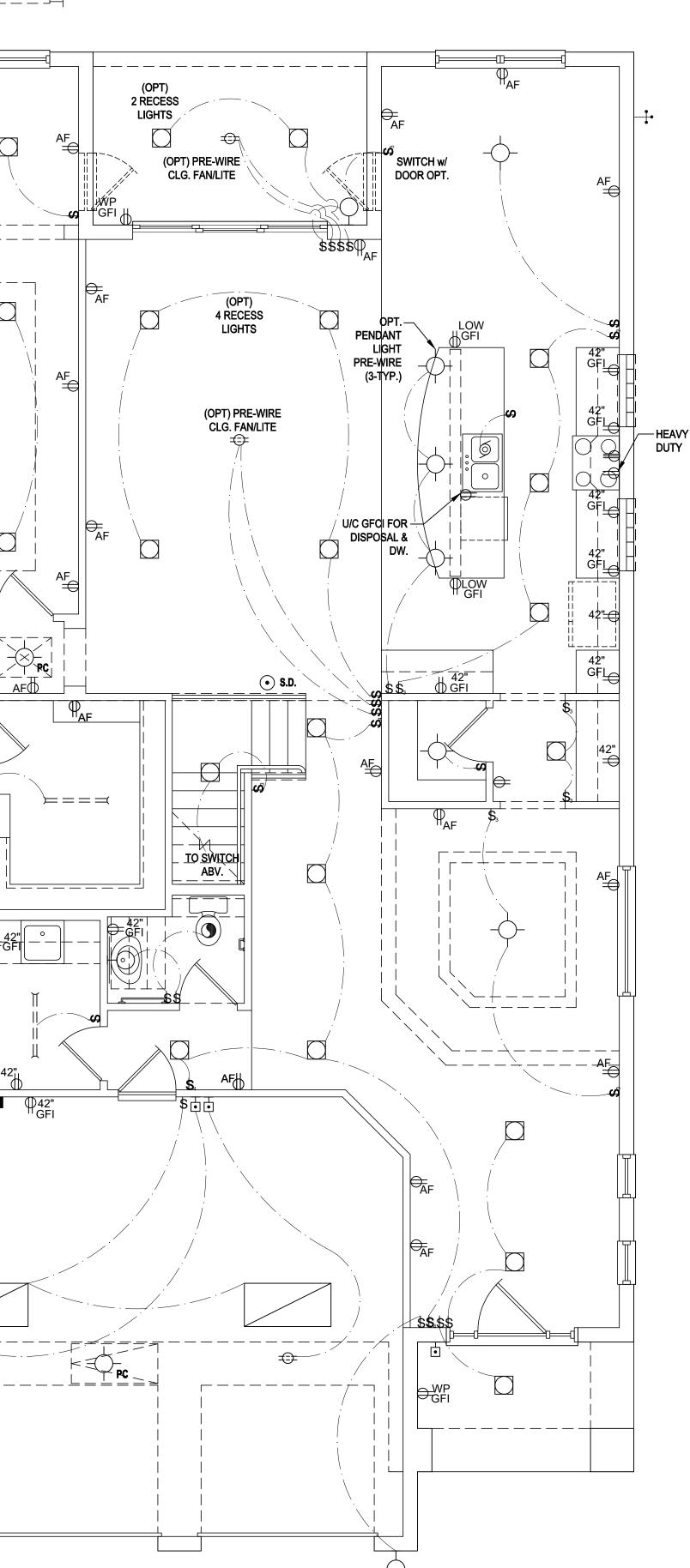


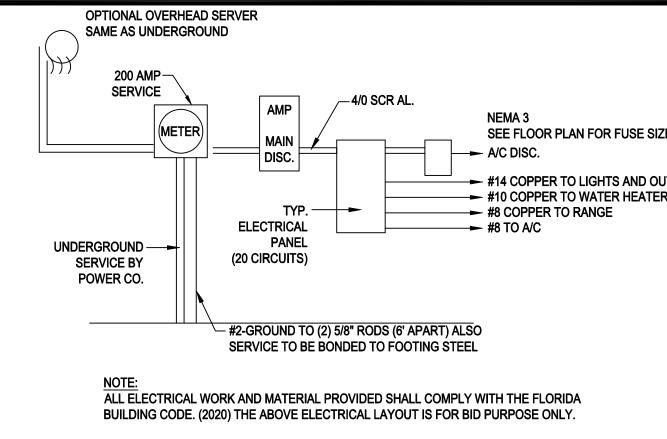
First Floor Electrical Plan "A,B (Opt. Master Sitting)



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	9. OUTLE	TS LOCATED IN THE LAUNDF ND AFCI PROTECTED.	Y ARE TO BE			Suite A6
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	AND 7'-	EIGHT VANITY LIGHTS IN MAS	IS.		Suite# 1040 s, FL. 32701	ы <u>с</u>
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		IAGRAMMATIC PLAN IS INTEI			815 Orienta Ave. Si Altamonte Springs,	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com kITTEN DIMENSIONS SHALL HAVE PRECEDENC SCALE DIMENSIONS. tractors shell verify and be responsible for dimensions and the job and MJS, Inc. must be notified in writing of any e dimensions, conditions and specifications appearing on the
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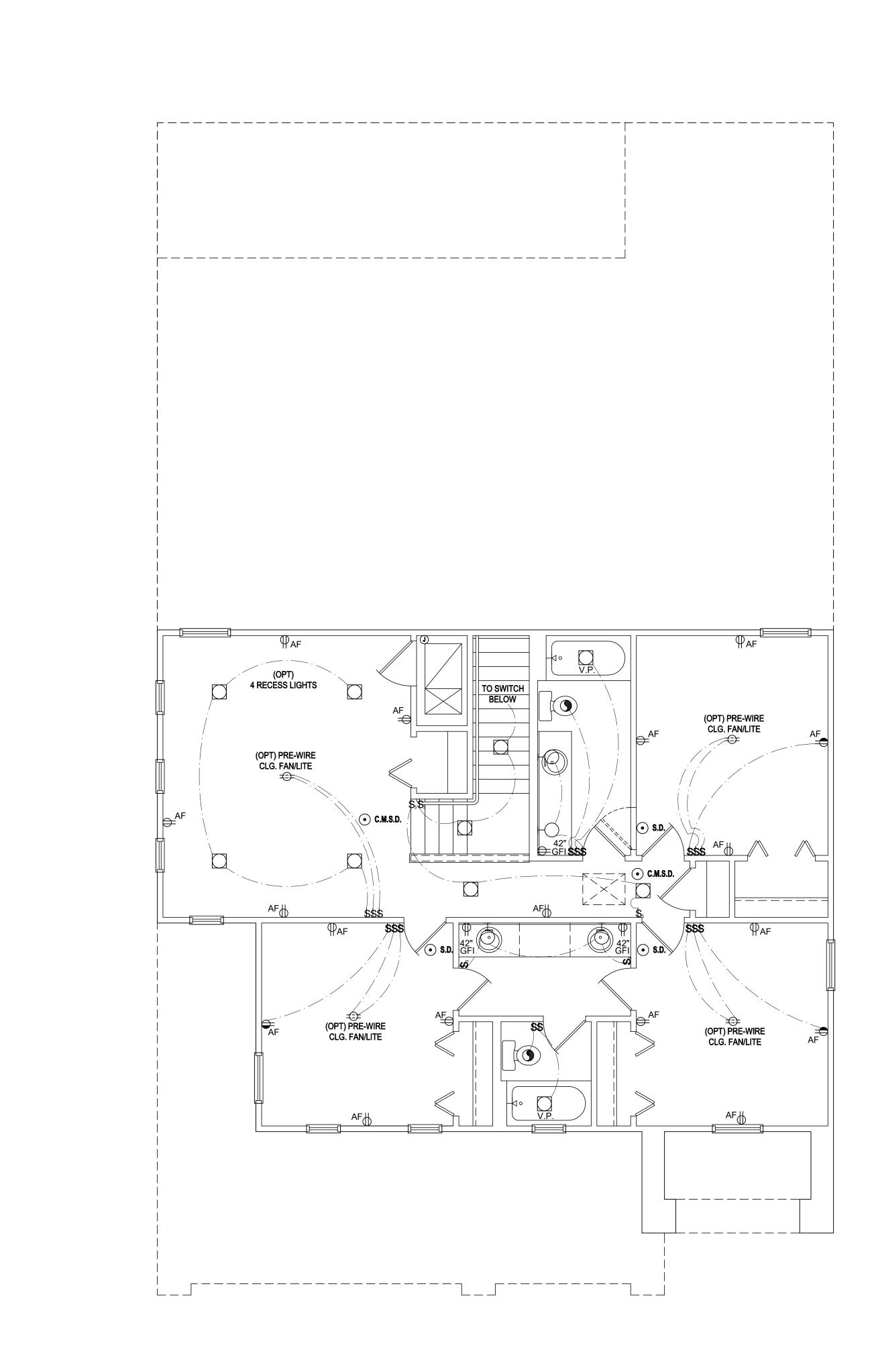




First Floor Electrical Plan "A,B (Opt. Master Bath & Master Sitting)

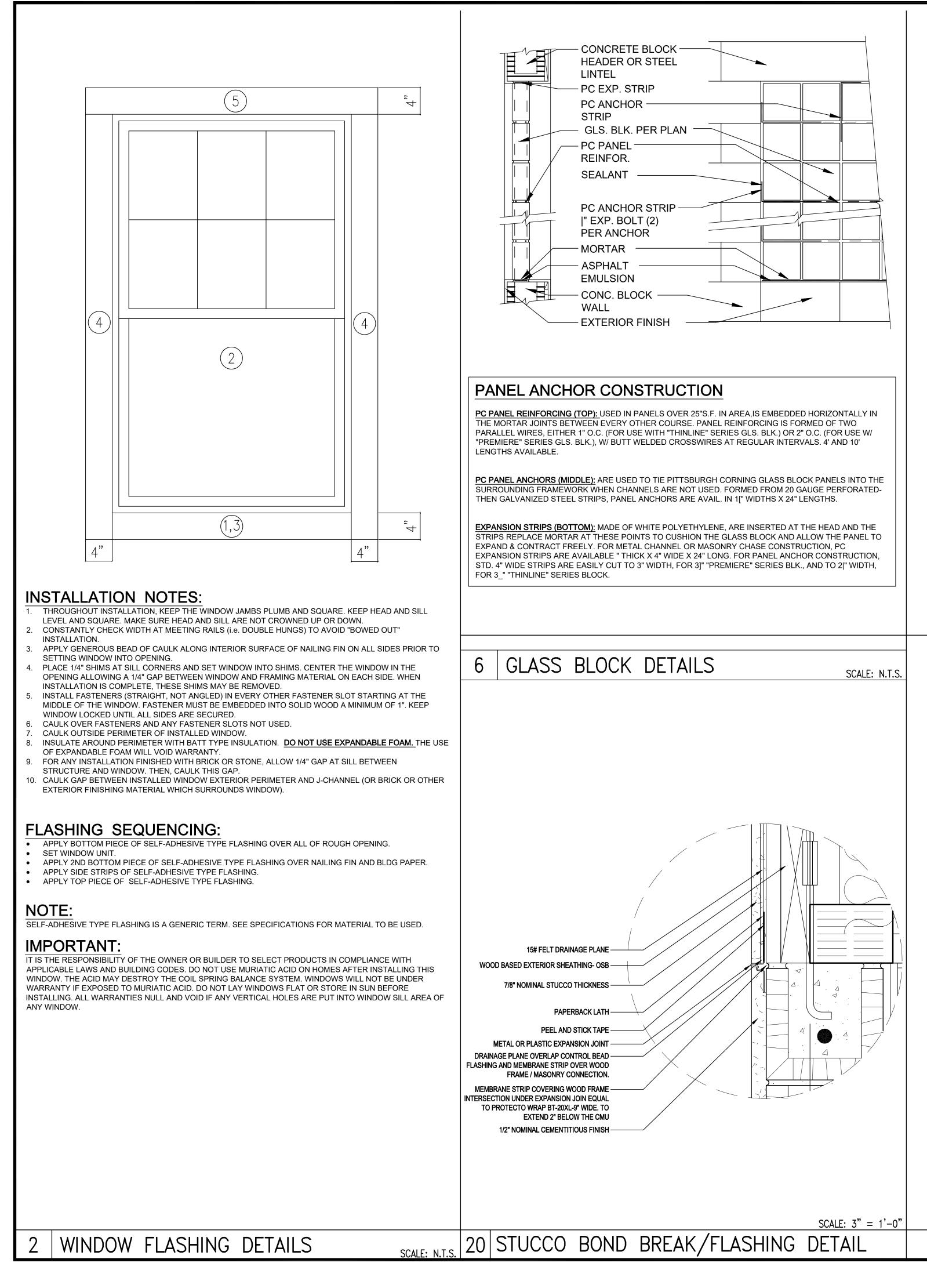


	GEN	IERAL NOTES KEY:			
	-	ER TO VERIFY EXACT LOCATION OF FLOOR TS IN FIELD.			
USE SIZE		ITLETS ARE TO BE AFCI PROTECTED. A AND 20A 120V BRANCH CIRCUITS WILL BE			
AND OUTLETS	AFCI P	A AND 20A 120V BRANCH CIRCUITS LOCATED			
HEATER	-	GARAGE AND LAUNDRY WILL BE GFCI			
	5. ALL GA OUTLE	RAGE BAYS WILL HAVE DEDICATED GFCI T.			
		ITLETS LOCATED IN THE KITCHEN AND OOMS ARE TO BE GFCI PROTECTED.			
	7. DW. AN PROTE	ID GARBAGE DISPOSAL ARE TO BE GFCI CTED.			, FL. 32
		TIONS TO THE GFCI STIPULATION WILL BE /ED ONLY IF ALLOWED PER CURRENT NFPA /			FINDER COLOR CONTRACTING CONTR
		TS LOCATED IN THE LAUNDRY ARE TO BE ND AFCI PROTECTED.			GINEE GINEE
		TS LOCATED WITHIN 6'-0" OF A WET AREA D BE GFCI PROTECTED.			SON EN SON EN 734-1450 734-1790 734-1790
	11. ALL OU (U.N.O.	JTLETS OVER COUNTERTOPS TO BE 42" A.F.F. ).			MPSON MPSON HVineland 407) 734- (407) 734- (407) 734- /tegfl.com
	TO BE	IOKE/CARBON MONOXIDE DETECTORS ARE HARD WIRED, INTERCONNECTED AND AFCI			
		EIGHT VANITY LIGHTS IN MASTER BATHROOM -0" IN ALL OTHER BATHROOMS.		1040 82701	M NCE OVER and conditions my changes in n these plans.
	15- ANE	AS SPECIFIED IN SECTION E3901.1, 125-VOLT, D 20-AMPERE RECEPTACLES SHALL BE D TAMPER-RESISTANT RECEPTACLES.		Suite# 1040 s, FL. 32701	<b>DS.COT</b> <u>PRECEDEN</u> <u>S</u> writing of an appearing on
	NOTES:	IAMPER-RESISTANT RECEPTACLES.		Ö	711 3776 esig esig ENSION naible for naible for naible for naible for naible for naible for naible for
	LIGHTII THE EL	NG AND CONVENIENCE OUTLETS ONLY. IT IS ECTRICAL CONTRACTORS RESPONSIBILITY RIFY THE REQUIREMENT AND LOCATIONS OF		815 Orienta Ave. S Altamonte Springs,	Ph: (407) 629-6711 Fax: (407) 629-677 www.mjshomedesi <u>MRITTEN DIMENSIONS SHALL HAN</u> <u>SCALE DIMENSIONS CHALL HAN</u> antroctors shall verity and be responsible of the job and MJS., Inc. must be notified the dimensions, conditions and specification
	ALL EL EQUIPI	ECTRICAL EQUIPMENT, (INCLUDING KITCHEN MENT) AND PROVIDE AND INSTALL .ETE ELECTRICAL SERVICE AS REQUIRED		815 Orient Altamonte	07) 6; 407) ( mjsho <u>MENSIONS</u> SC ML verity and MSS, Inc. 1
	PER NF MUNICI	PA, NEC, FBC CODES AND ALL REIGNING PALITY CODES, STANDARDS AND		15 O Itam	Ph: (407) Fax: (407 www.mjsh <u>wRITTEN DIMENSI</u> of the job and MJS., lit the dimensions, condit
	<ul> <li>LOCAT SUGGE</li> </ul>	ANCES. ION OF FIXTURES AND / OR OUTLETS ARE ESTED LOCATIONS AND MEET MOST LOCAL		8 A	СЩ > Щ с ц
	ADJUS	REQUIREMENTS. ADDITIONS OR TMENTS MAY BE MADE BETWEEN THE R AND BUILDER IN THE FIELD.			cture
	FULL C	ECTRICAL WORK AND APPLIANCES ARE IN OMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 7TH N (2020) RESIDENTIAL, AND ALL APPLICABLE			oup chiteo
	<ul><li>LOCAL</li><li>VARIOU</li></ul>	STANDARDS, CODES, AND ORDINANCES. JS SYMBOLS ON ELECTRICAL LEGEND MAY Y NOT BE USED ON THIS PLAN.			grou sial-archit
		TNOT DE USED ON THIS FLAN.			ers
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	ELEC	TRICAL KEY:	OR MODIFIED SQUARE HOM		designers group
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		WALL WASH RECESSED	DESIGNS	379	.ES divisid dress e. Zip
	<b>₽</b>		AND	-28	NAPLES t # - Subdivisi Street Address City, State. Zip
	<b>€</b>	220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED	$=$ $\square$	40-2879	<b>NAPLES</b> Lot # - Subdivision Street Address City, State. Zip
	₩P ₩P	WATER PROOF RECEPTACLE		V	Lo
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	⊅ \$₃	3-WAY SWITCH	s and de mthout	ġ	Suite #200 3000
	\$₀ ►	DIMMER SWITCH TELEPHONE JACK	S, IDEAS PARTY	Sauar	Suite 3000
	4	CABLE JACK	e plans, / Third F	ark 9	ic. 1 Rd. 2811 529-
		PRE-WIRE GARAGE DOOR OPENER FLUORESCENT LIGHT	N THESE TO ANY	A division of Park Square	Enterprises Inc. 5200 Vineland Rd. Suite Orlando, Fl. 32811 Phone: (407) 529-3000
		ELECTRICAL PANEL	ED _	ivisio	erpris 0 Vir ando, ne: (
	E H•	CHIME DOOR BELL / GARAGE DOOR SWITCH	COPYRIGH BE ASSIGN	Ρq	Ente 520 Orla Pho
		DISCONNECT SWITCH	N LAW EY TO		
	(•) S.D.	ELECTRICAL METER SMOKE DETECTOR	COMMON ARE THEN		urk ar
	• C.M.S.D.	CARBON MONOXIDE / SMOKE DETECTOR	ES ITS NOR		ן <u>ה</u> שר
		CEILING FAN	RESERVE TSOEVER,		
		WALL SCONCE CHANDELIER	ES HEREBY Form wha	ISSUE	DATE 07/26/2017
	42	SPOT LIGHT	HOMES OR FOI		REVISIONS
		FLUSH MOUNT FLUORESCENT LIGHT FAN / LIGHT COMBINATION	SQUARE   MATTER	PROJ	ECT: 17-0208
		GARBAGE DISPOSAL MOTOR	PARK SC	SCALE DRAW	-
<b>B,C</b> "	(5) (J)	SPEAKER JUNCTION BOX	2016 P		NED BY: MJS
	• L.V.	LOW VOLTAGE	COP YRIGHT	ELE	CTRICAL LAYOUT
	V.P. A.F.	VAPOR PROOF ARC FAULT PROTECTION			07.3
		•	Θ		



Second Floor Elec

	GEN	IERAL NOTES KE	Y:		
	1. BUILDE	R TO VERIFY EXACT LOCATION OF FLO TS IN FIELD.			
		ITLETS ARE TO BE AFCI PROTECTED. A AND 20A 120V BRANCH CIRCUITS WILI	_ BE		
	AFCI PF 4. ALL 154	ROTECTED. A AND 20A 120V BRANCH CIRCUITS LOC			
	PROTE	GARAGE AND LAUNDRY WILL BE GFCI CTED. RAGE BAYS WILL HAVE DEDICATED GF	CI		
	OUTLE				
	7. DW. AN	OOMS ARE TO BE GFCI PROTECTED. ID GARBAGE DISPOSAL ARE TO BE GFC	1		
		TIONS TO THE GFCI STIPULATION WILL			
	NEC.	ED ONLY IF ALLOWED PER CURRENT N			
	GFCI AI	ND AFCI PROTECTED.			
	ARE TC	) BE GFCI PROTECTED. ITLETS OVER COUNTERTOPS TO BE 42"			
		IOKE/CARBON MONOXIDE DETECTORS			
	PROTE			0 4	DE OVER changes in changes in hese plans.
	AND 7'-	GIGHT VANITY LIGHTS IN MASTER BATH 0" IN ALL OTHER BATHROOMS. AS SPECIFIED IN SECTION E3001 1, 125-		£ 1040 32701	<b>NS.COM</b> <u>PRECEDENCE C</u> <u>S.</u> writing of any chan appearing on these
	15- AND	AS SPECIFIED IN SECTION E3901.1, 125- ) 20-AMPERE RECEPTACLES SHALL BE TAMPER-RESISTANT RECEPTACLES.	VULI,	ùuite# , FL.	Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com <u>RITTEN DIMENSIONS SHALL HAVE PRECEDENC</u> <u>SCALE DIMENSIONS.</u> ntractors shall verify and be responsible for dimensions and the job and MJS, Inc. must be notified in writing of any e dimensions, conditions and specifications appearing on th
		AGRAMMATIC PLAN IS INTENDED TO SI		ve. ring	29-6711 629-677 0medesi 0 <u>SHALL HAV</u> <u>CALE DIMENSIC</u> 0 be responsible t must be notified must be notified
	THE EL TO VER ALL EL	ECTRICAL CONTRACTORS RESPONSIB RIFY THE REQUIREMENT AND LOCATION ECTRICAL EQUIPMENT, (INCLUDING KIT	LITY IS OF		) 629. 7) 629. shome shome <u>scale</u> fig and be r
	EQUIPN COMPL PER NF	/ENT) AND PROVIDE AND INSTALL ETE ELECTRICAL SERVICE AS REQUIRE PA, NEC, FBC CODES AND ALL REIGNIN	ED	815 Orienta Altamonte S	(407) 62 ((407) 62 ((407) 6 (1407) 6 (1
	• LOCATI	ON OF FIXTURES AND / OR OUTLETS A		815 Alta	Ph: (40 Fax: (4 www.n <u>written Din</u> contractors shall of the job and h the dimensions,
	CODE F ADJUS	STED LOCATIONS AND MEET MOST LOO REQUIREMENTS. ADDITIONS OR TMENTS MAY BE MADE BETWEEN THE	CAL		ure
	ALL ELE     FULL C	R AND BUILDER IN THE FIELD. ECTRICAL WORK AND APPLIANCES ARE OMPLIANCE WITH N.F.P.A., N.E.C., F.B.C	. 7TH		hitect
	LOCAL     VARIOL	N (2020) RESIDENTIAL, AND ALL APPLIC/ STANDARDS, CODES, AND ORDINANCE JS SYMBOLS ON ELECTRICAL LEGEND I	S.		group ial-archite
	OR MAY	Y NOT BE USED ON THIS PLAN.			
			JIFIED HOMES.		designers ential-commerc
	ELEC	TRICAL KEY:	OR MOD SQUARE		designers group
		CEILING MOUNTED LIGHT	BE COPIED ROM PARK		<u>e</u>
		PULL CHAIN LIGHT	ARE NOT TO BE (		
		RECESSED LIGHT	S ARE N		ц
		WALL MOUNTED LIGHT WALL WASH RECESSED	) DESIGNS	379	APLES - Subdivision et Address , State. Zip
	 €	DUPLEX RECEPTACLE 220 V RECEPTACLE	THESE PLANS, IDEAS AND OBTAINING THE EXPRESS	40-2879	NAPLES ot # - Subdivisio Street Address City, State. Zip
	= ₽ ₩P	1/2 HOT, 1/2 SWITCHED WATER PROOF RECEPTACLE	ANS, IDE	40	NA Lot # - Stree City,
		FLOOR RECEPTACLE	HESE PL		
	⊕ ⊕ _{GFI}	PRE-WIRE FOR CLG. FAN GROUND FAULT INTERRUPT			
	\$ \$₃	WALL SWITCH 3-WAY SWITCH	; AND DE MTHOUT		Suite #200 3000
	\$₀	DIMMER SWITCH TELEPHONE JACK	PLANS, IDEAS AND DESIGN.	зquare	Suite 3000
	←	CABLE JACK		division of Park Square	Enterprises Inc. 5200 Vineland Rd. Suitt Orlando, Fl. 32811 Phone: (407) 529-3000
		PRE-WIRE GARAGE DOOR OPENER FLUORESCENT LIGHT	S IN THESE	on of	Enterprises Inc. 5200 Vineland Rd. Orlando, Fl. 32811 Phone: (407) 529-
		ELECTRICAL PANEL CHIME	COPYRIGHTS IN T	divisi	Enterprises ] 5200 Vinelar Orlando, Fl. Phone: (407
		DOOR BELL / GARAGE DOOR SWITCI DISCONNECT SWITCH	LAW COP	A	
		ELECTRICAL METER	COMMON I ARE THEY		ark
	• S.D. • C.M.S.D.	SMOKE DETECTOR CARBON MONOXIDE / SMOKE DETEC			ר £ <b>מ</b>
		CEILING FAN	RESERVE ISOEVER,		
		WALL SCONCE CHANDELIER	S HEREBY RESERVES ITS ORM WHATSOEVER, NOR	ISSUE	DATE 07/26/2017
	*** 4}	SPOT LIGHT	HOMES		REVISIONS
		FLUSH MOUNT FLUORESCENT LIGHT	SQUARE MATTEF	PROJE	
Electrical Plan "A,B,C"	<u>(</u> (5)	GARBAGE DISPOSAL MOTOR SPEAKER	PARK IN AN		N BY: KJ
		JUNCTION BOX	HT 2016	_	NED BY: MJS
(Standard)	V.P.	VAPOR PROOF	COPYRIGHT		
1'-0" (11×17) 1/4" = 1'-0" (22×34)	A.F.	ARC FAULT PROTECTION	——— <u> </u>	l,	08 L I





CHIMNEY HEIGHT 24"

PRE-FAB CAP

OVER CHIMNEY

-HCDPL/R TYP. 7/8" STUCCO OVER PAPER BACK WIRE MESH U.N.O. 1/2" PLYWOOD EXT'R. SHEATHING ALL AROUND NAILED 8d @ 6 & 12 GALV. L-FLASHING 2x4 BLOCKING 2x4 BLOCKING TRUSS @ 24" O.C. TRUSS @ 24" O.C.-FIRE BLOCKING METAL FIRE BLOCKING AROUND FLUE LINER — 2x4 BLOCKING > 2x4 #2 SPF OR #3 SYP STUDS @16" O.C. MANTLE PRE-FAB FIRE BOX -DAMPER 18" NON-COMBUSTABLE MATERIAL FOR HEARTH -FOUNDATION

SCALE: N.T.S.

