

2879

NAPLES

FLORIDA SERIES

SHEET INDEX:

00	COVER SHEET
01	SLAB PLAN "ELEV. A,B,C"
01.1	SLAB PLAN "ELEV. A,B,C" (OPT. MASTER BATH)
01.2	SLAB PLAN "ELEV. A,B,C" (OPT. MASTER SITTING)
01.3	SLAB PLAN "ELEV. A,B,C" (OPT. MASTER BATH & MASTER SITTING)
02	FIRST FLOOR PLAN "ELEV. A,B,C"
02.1	FIRST FLOOR PLAN "ELEV. A,B,C" (OPT. MASTER BATH)
02.2	FIRST FLOOR PLAN "ELEV. A,B,C" (OPT. MASTER SITTING)
02.3	FIRST FLOOR PLAN "ELEV. A,B,C" (OPT. MASTER BATH & MASTER SITTING)
03	SECOND FLOOR PLAN "ELEV. A,B,C"
04.A	EXT. ELEVATION A, FRONT & REAR
04.A1	EXT. ELEVATION A, FRONT & REAR (OPT. MASTER SITTING)
04.B	EXT. ELEVATION B, FRONT & REAR
04.B1	EXT. ELEVATION B, FRONT & REAR (OPT. MASTER SITTING)
04.C	EXT. ELEVATION C, FRONT & REAR
04.C1	EXT. ELEVATION C, FRONT & REAR (OPT. MASTER SITTING)
05.A	EXT. ELEVATION A, FRONT & REAR
05.A1	EXT. ELEVATION A, FRONT & REAR (OPT. MASTER SITTING)
05.B	EXT. ELEVATION B, FRONT & REAR
05.B1	EXT. ELEVATION B, FRONT & REAR (OPT. MASTER SITTING)
05.C	EXT. ELEVATION C, FRONT & REAR
05.C1	EXT. ELEVATION C, FRONT & REAR (OPT. MASTER SITTING)
06	STAIR SECTION
07	FIRST FLOOR ELECTRICAL PLAN "ELEV. A,B,C"
07.1	FIRST FLOOR ELECTRICAL PLAN "ELEV. A,B,C" (OPT. MASTER BATH)
07.2	FIRST FLOOR ELECTRICAL PLAN "ELEV. A,B,C" (OPT. MASTER SITTING)
07.3	FIRST FLOOR ELECTRICAL PLAN "ELEV. A,B,C" (OPT. MASTER BATH & MASTER SITTING)
08	SECOND FLOOR ELECTRICAL PLAN "ELEV. A,B,C"
D1	TYPICAL DETAILS

REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:
1	11/13/17	COMPLETED MASTER PLANS REVISIONS PER PARK SQUARE	C.C.
2	10/08/18	REMOVED 2ND. LAV FROM BATH#2 PER REQUEST RECEIVED FROM M.WERLING	C.C.
3	11/23/20	SWITCHED LOCATION OF AHU AND CLOSET IN SECOND FLOOR LOFT AREA	C.C.
4	01/26/21	ADDED RIGHT HAND SWING SHEETS TO MASTER	S.B.

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www.mjshomedesigns.com

CONTRACTOR SHALL HAVE PRECEDENCE OVER WRITTEN DIMENSIONS. SCALE DIMENSIONS. OF THE JOB AND M.S.J. INC. MUST BE NOTIFIED IN WRITING OF ANY CHANGES TO THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

40-2879
NAPLES
Lot # - Subdivision
Street Address
City, State, Zip

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Phone: (407) 529-3000

ISSUE DATE: 07/26/2017

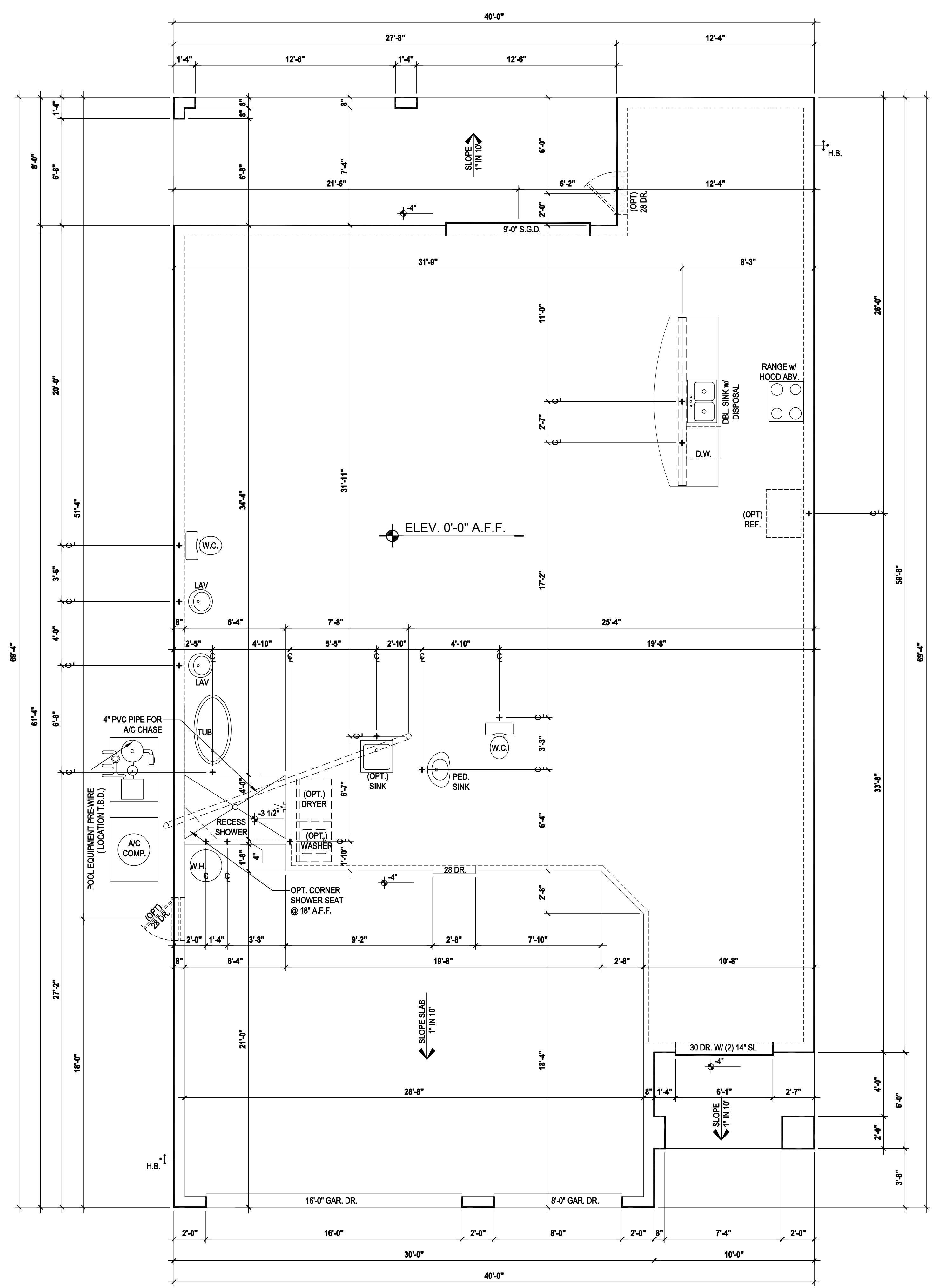
REVISIONS:

PROJECT: 17-0208
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS



COVER PAGE

00



Slab Plan "A,B,C"
 (Opt. Master Bath)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
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6. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:**
- 20 = 2'-0"
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 - 26 = 2'-6"
 - 28 = 2'-8"
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 - 40 B.F. = 4'-0" BIFOLD
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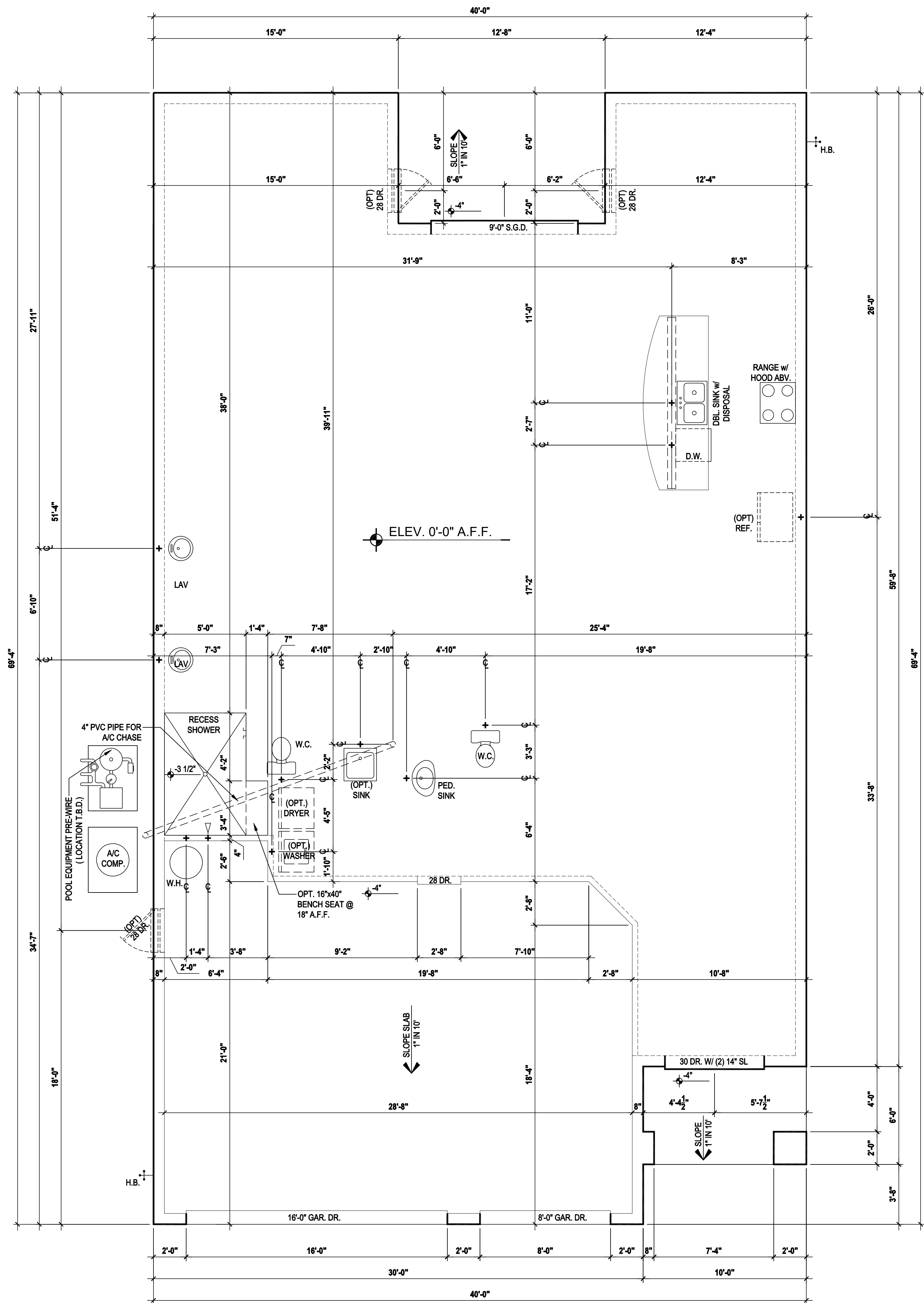
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SLAB PLAN
01.1



Slab Plan "A,B,C"

(Opt. Master Sitting)

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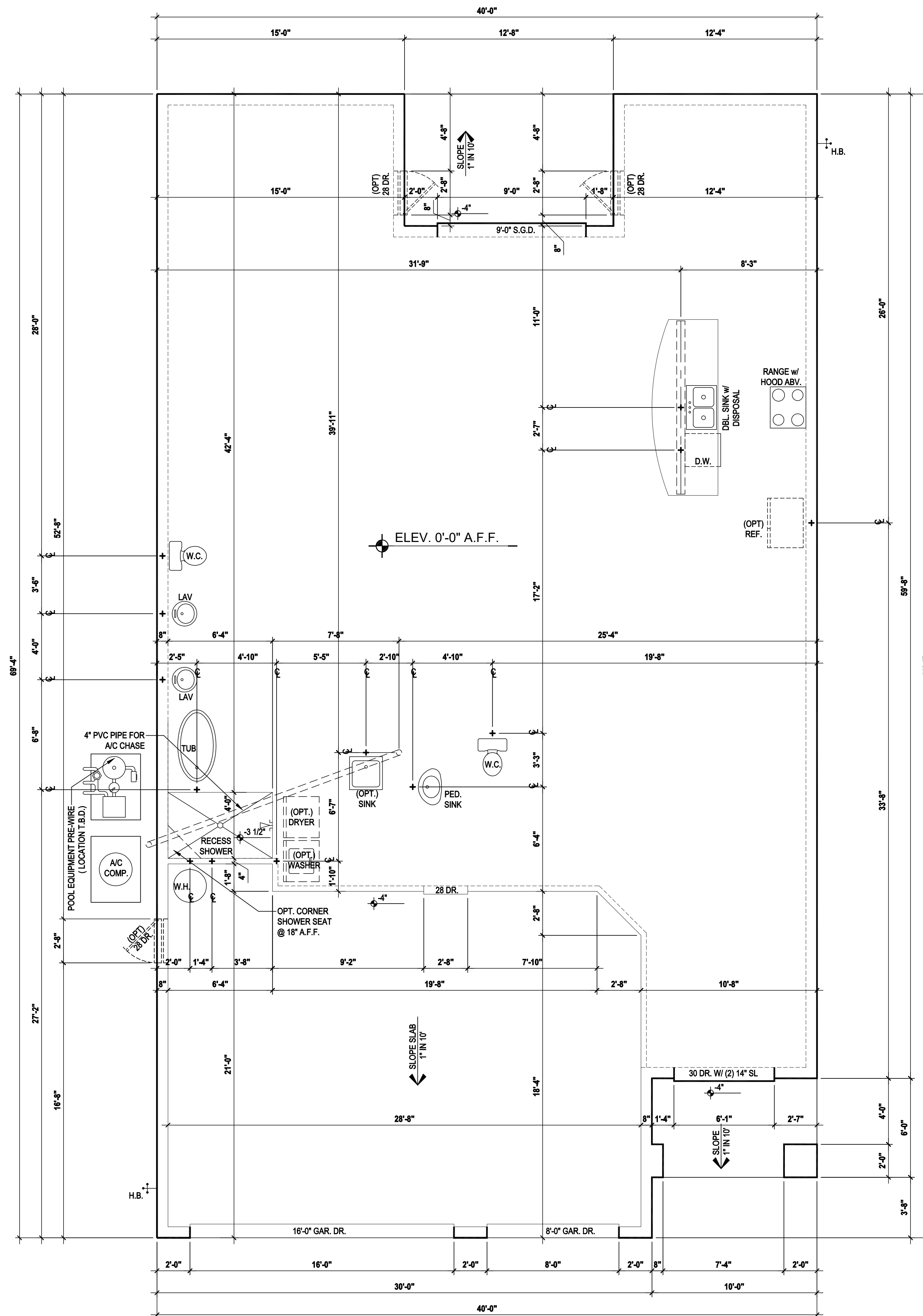
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SLAB PLAN
01.2



Slab Plan "A,B,C"
 (Opt. Master Bath & Master Sitting)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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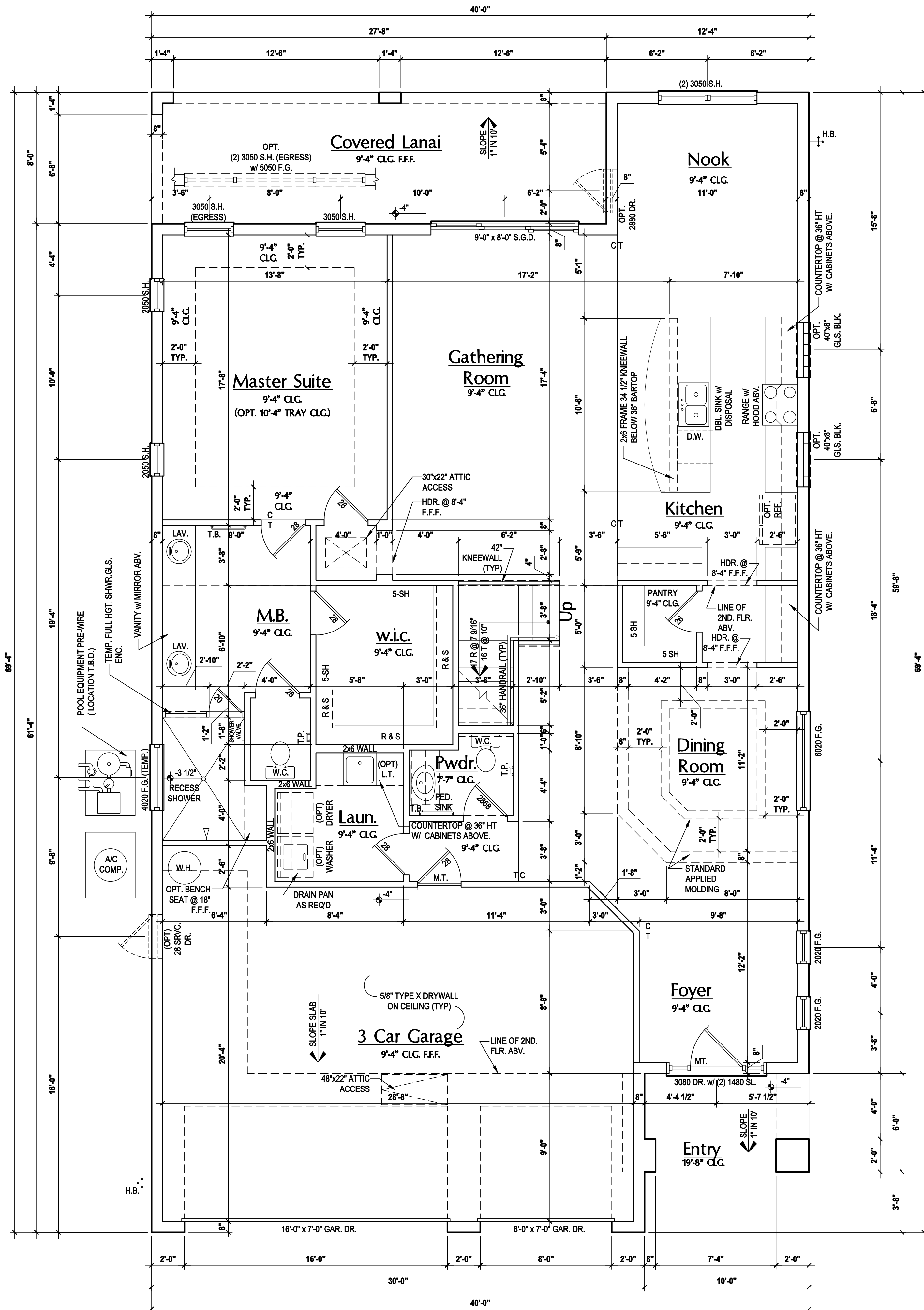
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DESIGNED BY:	MJS

SLAB PLAN

01.3



First Floor Plan "A,B,C"
(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)

- ABBREVIATIONS:**
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL

NOTE:
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 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 5. PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
 6. VENT DRYER THRU EXTERIOR WALL U.N.O.
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/8" U.N.O.
 13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/8" U.N.O.
 14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
 15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 16. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 19. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SLIDDING DEVICES INSTALLED.
 20. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 21. ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT
 22. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 23. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURERS SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
 24. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL (2000 PSF MIN). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR, TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

DOOR NOTE KEY:

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WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

2040 = 2'-0" x 4'-0"
2050 = 2'-0" x 5'-0"
2060 = 2'-0" x 6'-0"

• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:	1st floor:	1,819 sf
	2nd floor:	1,060 sf
Total Living:		2,879 sf
	Entry:	60 sf
	Lanai:	222 sf
	Garage:	637 sf
Total Area:		3,798 sf

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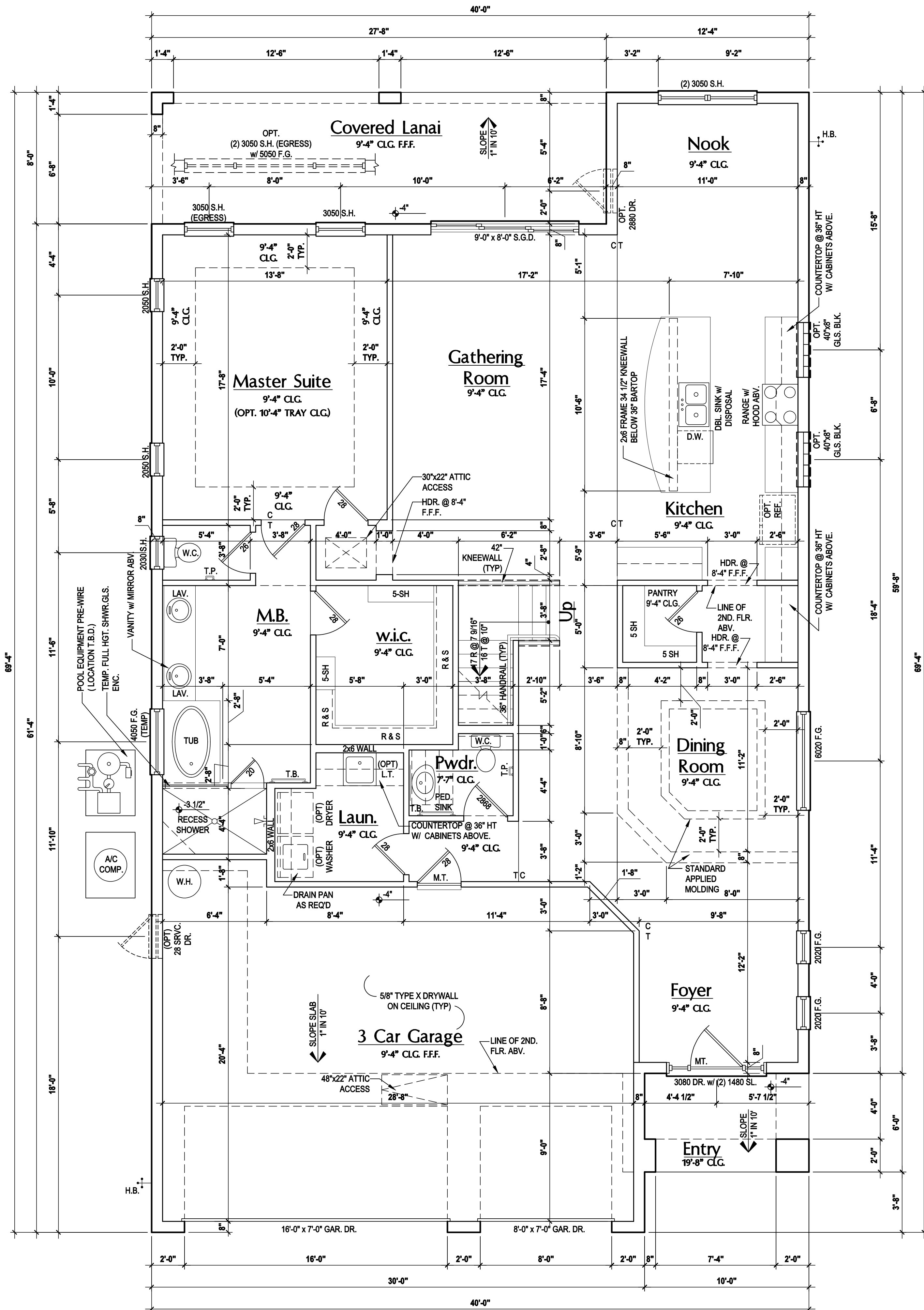
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FLOOR PLAN

02



First Floor Plan "A,B,C"
 (Opt. Master Bath)
 SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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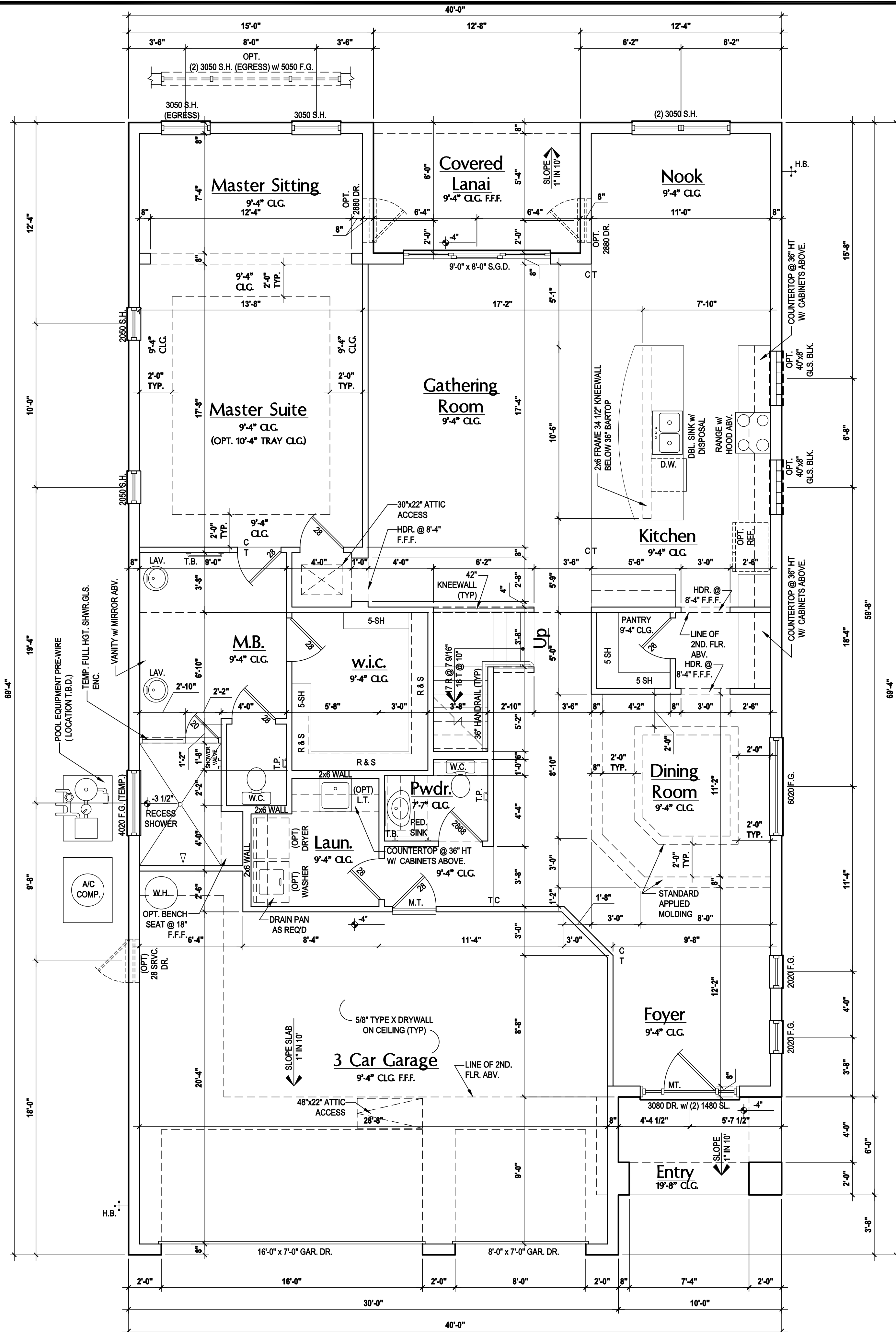
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FLOOR PLAN

02.1

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First Floor Plan "A,B,C"
 (Opt. Master Sitting)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)

- ABBREVIATIONS:**
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL

NOTE:
 SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 5. PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
 6. VENT DRYER THRU EXTERIOR WALL U.O.
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/8" U.O.
 13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/8" U.O.
 14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.
 ** ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.O.
 15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 16. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
 19. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 20. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 21. ALL INT. DOORS TO BE 6'-8" TALL U.O. OR PER BUILDER / CLIENT
 22. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
 23. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURERS SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
 24. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR, TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:

20 = 2'-0"	40 B.F. = 4'-0" BIFOLD
24 = 2'-4"	50 B.F. = 5'-0" BIFOLD
26 = 2'-6"	60 B.F. = 6'-0" BIFOLD
28 = 2'-8"	
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WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:

2040 = 2'-0" x 4'-0"
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2060 = 2'-0" x 6'-0"

• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:	1st floor:	1,939 sf
	2nd floor:	1,060 sf
Total Living:		2,999 sf
	Entry:	60 sf
	Lanai:	102 sf
	Garage:	637 sf
Total Area:		3,798 sf

GENERAL NOTES KEY:

815 Orienta Ave. Suite# 1040
 Altamonte Springs, FL 32701
 Ph: (407) 629-6711
 Fax: (407) 629-6776
 www.mjshomedesigns.com

MJS
 designers group
 residential-commercial-architecture

40-2879
NAPLES
 Lot # - Subdivision
 Street Address
 City, State, Zip

A division of Park Square
 Enterprises, Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000

Park Square HOMES

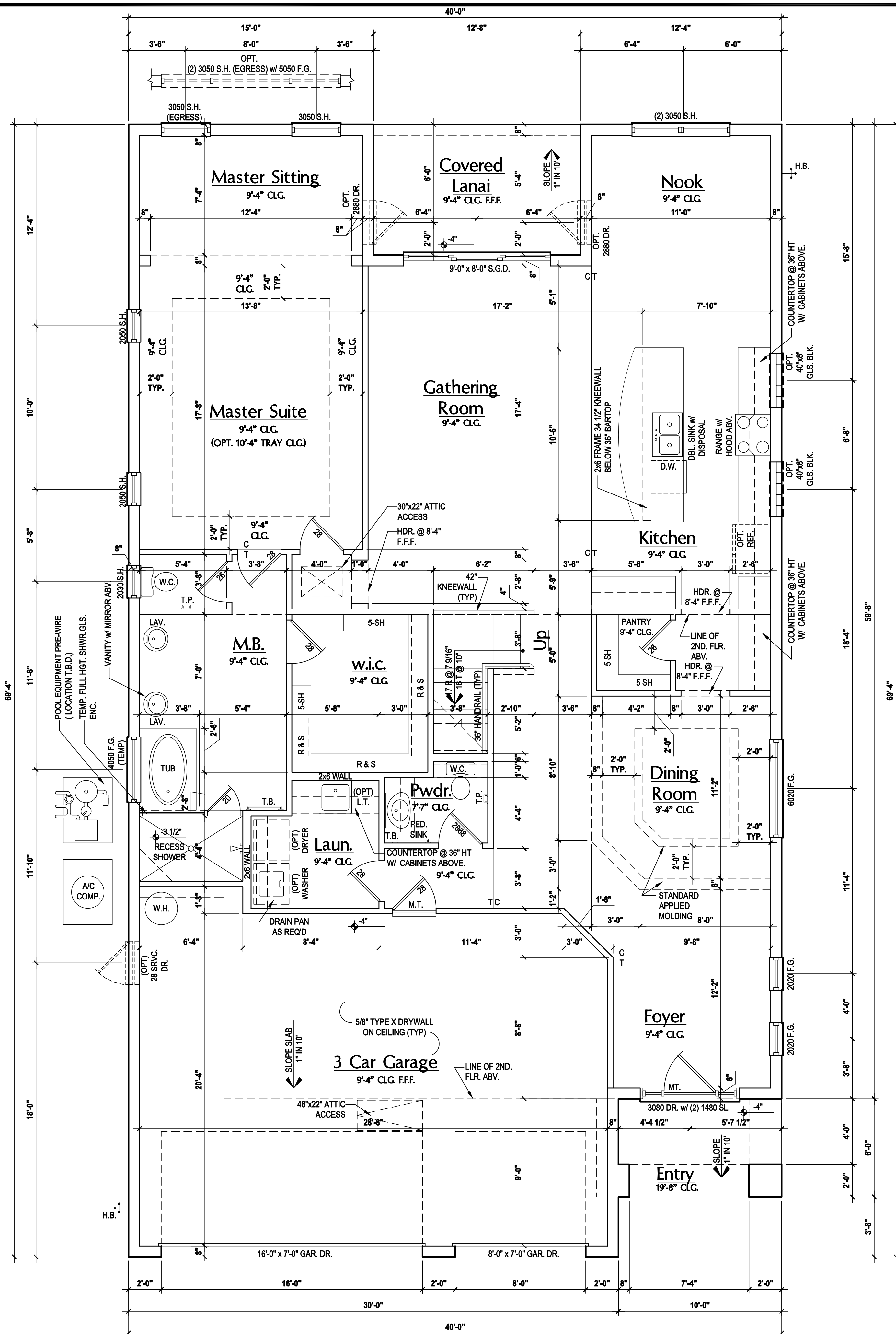
ISSUE DATE: 07/26/2017

REVISIONS:

PROJECT: 17-0208
 SCALE: AS NOTED
 DRAWN BY: KJ
 DESIGNED BY: MJS

FLOOR PLAN

02.2



GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)

- ABBREVIATIONS:**
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
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 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
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 - OBS - OBSCURED GLASS
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 - BP - BYPASS
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NOTE:
SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

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 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
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 11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/8" U.N.O.
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WINDOW NOTE KEY:

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Total Area:		3,798 sf

First Floor Plan "A,B,C"
(Opt. Master Bath & Master Sitting)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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www.mjshomedesigns.com

MJS designers group
residential-commercial-architecture

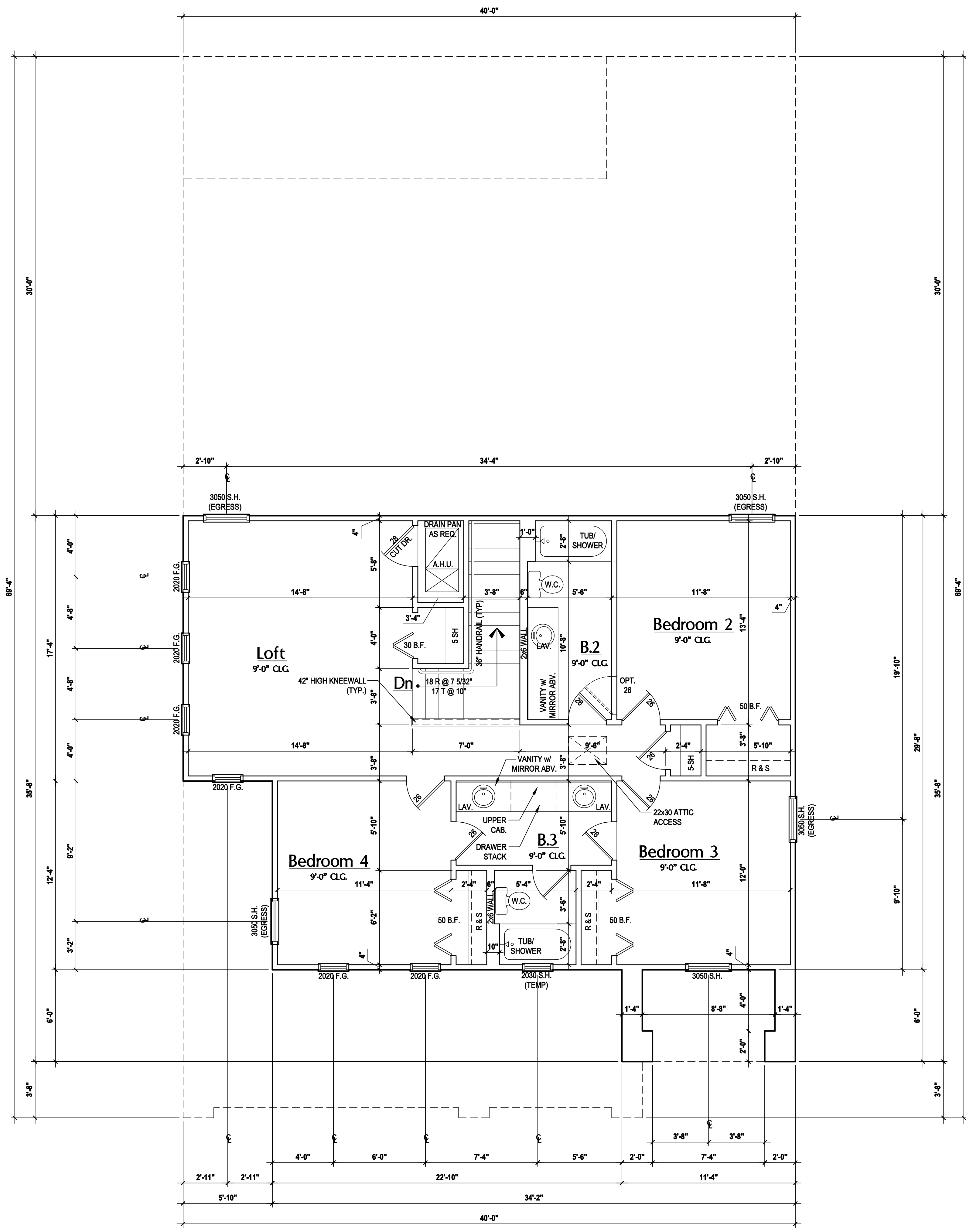
40-2879
NAPLES
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square Enterprises, Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 07/26/2017
REVISIONS:
PROJECT: 17-0208
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

FLOOR PLAN
02.3



GENERAL NOTES KEY:

- ABBREVIATIONS:**
 2- INDICATES NUMBER OF DOORS.
 MT - METAL THRESHOLD
 FR - FRENCH DOORS
 SL - SIDE LIGHT
 FG - FIXED GLASS
 TR - TRANSOM
 GB - GLASS BLOCK
 PKT - POCKET DOOR
 OBS - OBSCURED GLASS
 TEMP - TEMPERED GLASS
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 8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
 9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SEPCS.
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 12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.N.O.
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 ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
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DOOR NOTE KEY:

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 26 = 2'-6" 60 B.F. = 6'-0" BIFOLD
 28 = 2'-8"
 30 = 3'-0"
 * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

WINDOW NOTE KEY:

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Second Floor Plan "A,B,C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

815 Orienta Ave., Suite# 1040
 Altamonte Springs, FL 32701
 Ph: (407) 629-6711
 Fax: (407) 629-6776
 www.mjshomedesigns.com



40-2879
 NAPLES
 Lot # - Subdivision
 Street Address
 City, State, Zip

A division of Park Square
 Enterprises, Inc.
 5200 Vineland Rd., Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000



ISSUE DATE	07/26/2017
REVISIONS	
PROJECT:	17-0208
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

FLOOR PLAN
 03

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ATTIC VENT CALC'S:

2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN
 LOWER PORTION (EAVES)
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED
 SPACE.

TOTAL VENTED SPACE: $2,959 \div 300 = 9.86 \text{ SF.}$ NET FREE
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.94 SF.
 TO BE PROVIDED W/ OFF RIDGE VENTS:
 6 VENTS @ .652 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 5.91 SF.
 TO BE PROVIDED W/ SOFFITS @ EAVE:
 80.00 LF. @ 0.073 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Front Elevation "A"

(Standard)

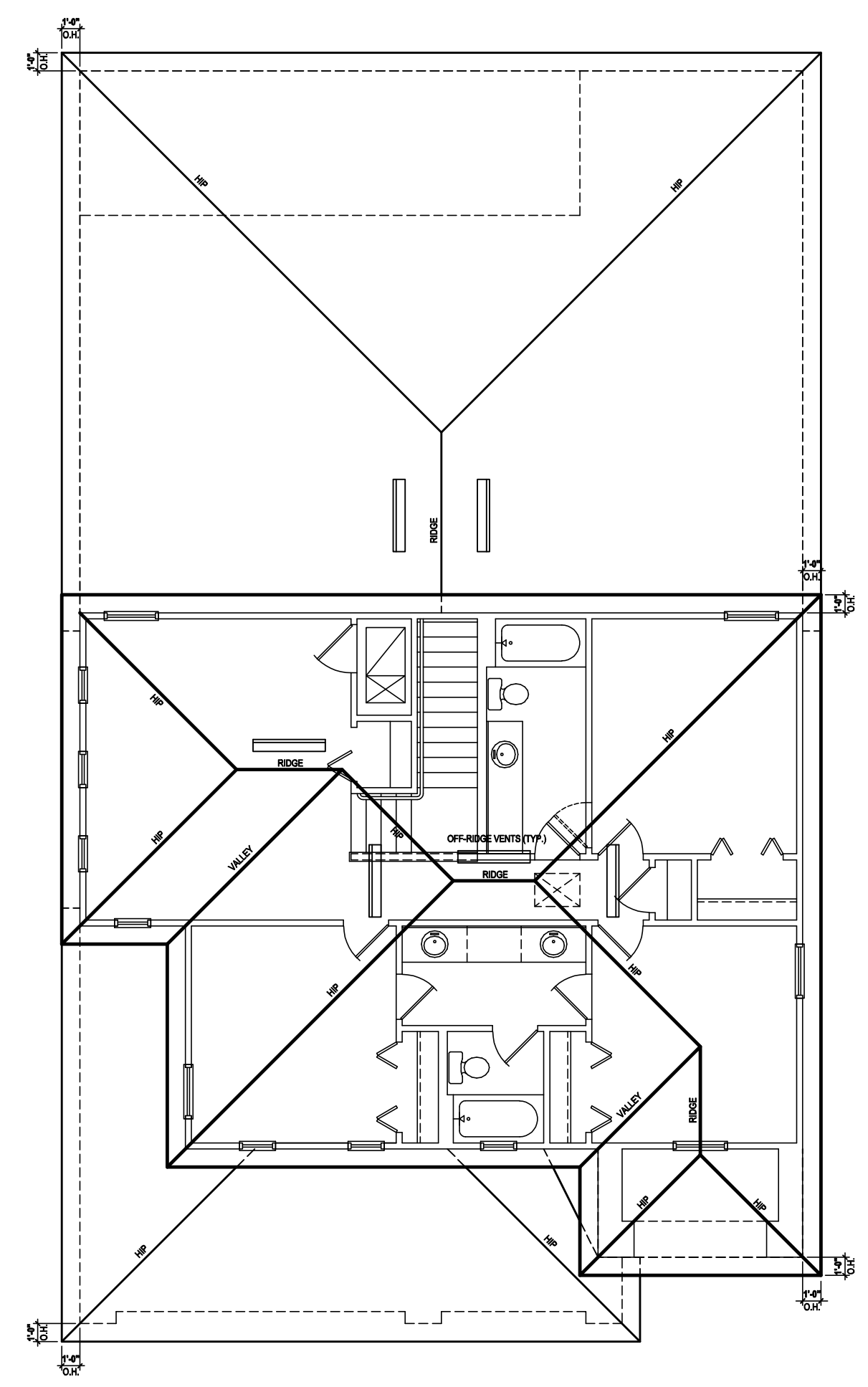
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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 Altamonte Springs, FL. 32701
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SCALE DIMENSIONS SHALL HAVE PRECEDENCE OVER WRITTEN DIMENSIONS. ALL DIMENSIONS AND CONDITIONS OF THE JOB AND A.S. INC. MUST BE NOTED IN WRITING IN THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.



40-2879
 NAPLES
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ISSUE DATE	07/26/2017
REVISIONS	
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SCALE:	AS NOTED
DRAWN BY:	KJ
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ELEVATIONS "A"

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ATTIC VENT CALC'S:

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 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
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Front Elevation "A"

(Opt. Master Sitting)

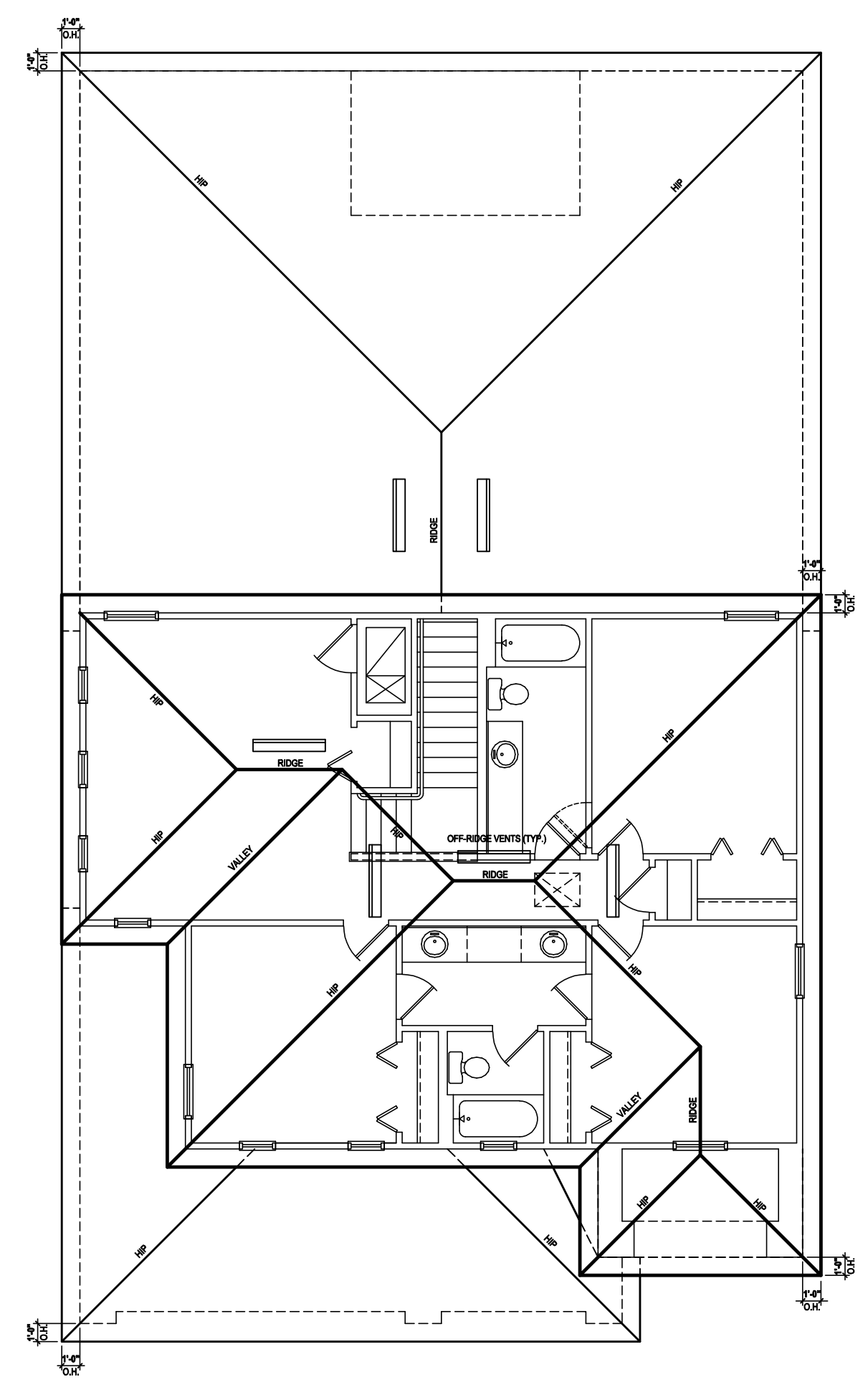
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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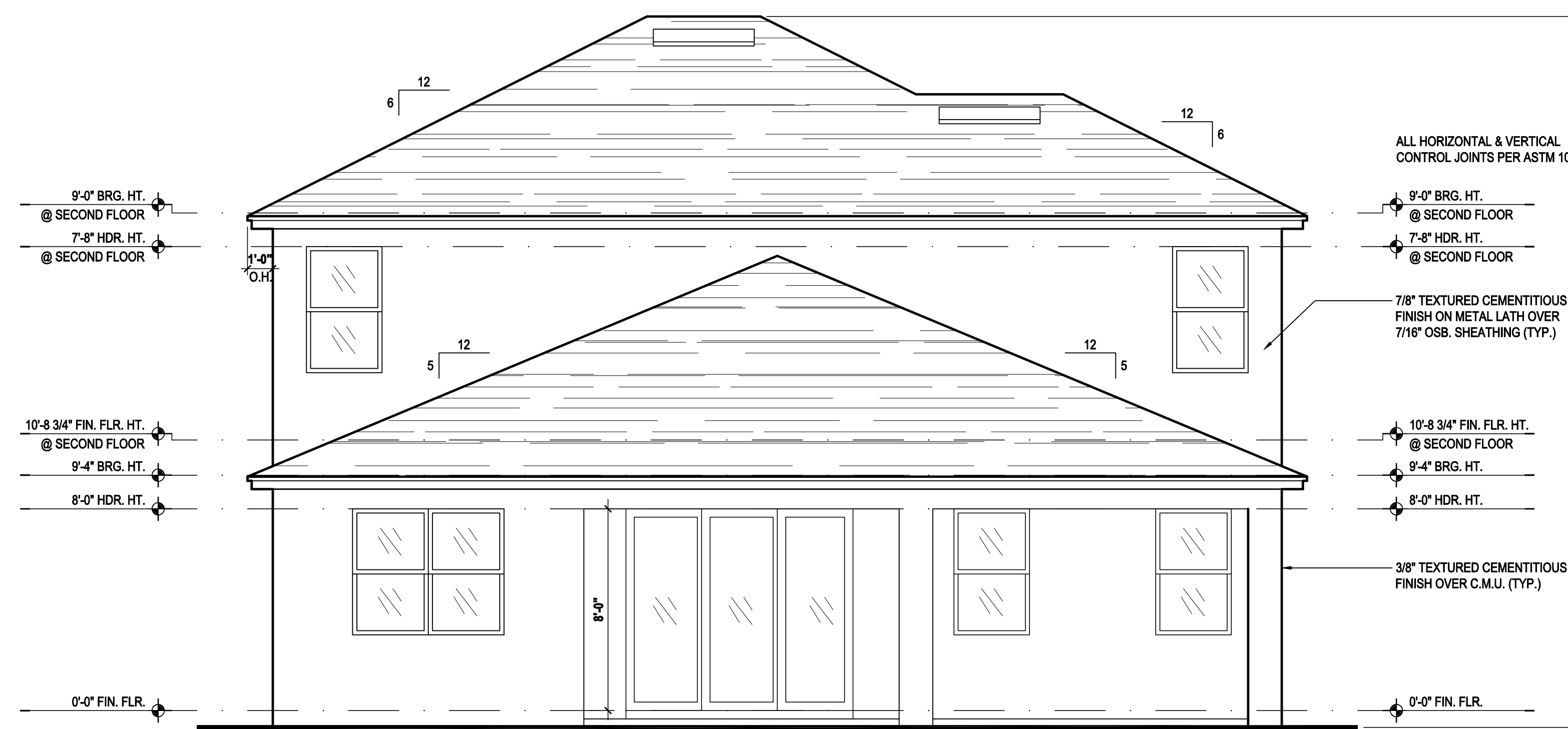
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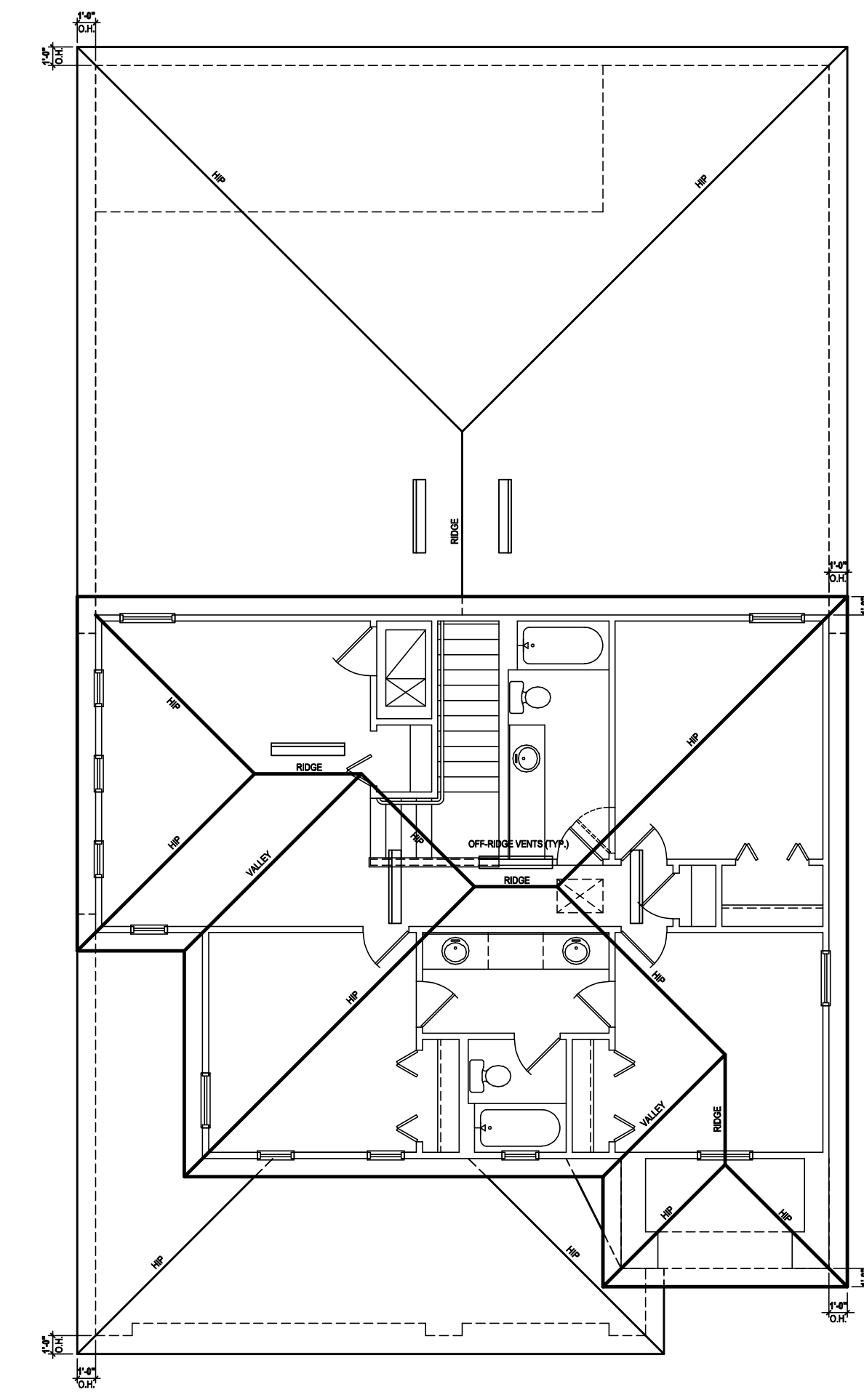
Front Elevation "B"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

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2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES)
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{2,959}{300} = 9.86 \text{ SF.}$ NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.94 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS:
6 VENTS @ .652 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

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Front Elevation "B"

(Opt. Master Sitting)

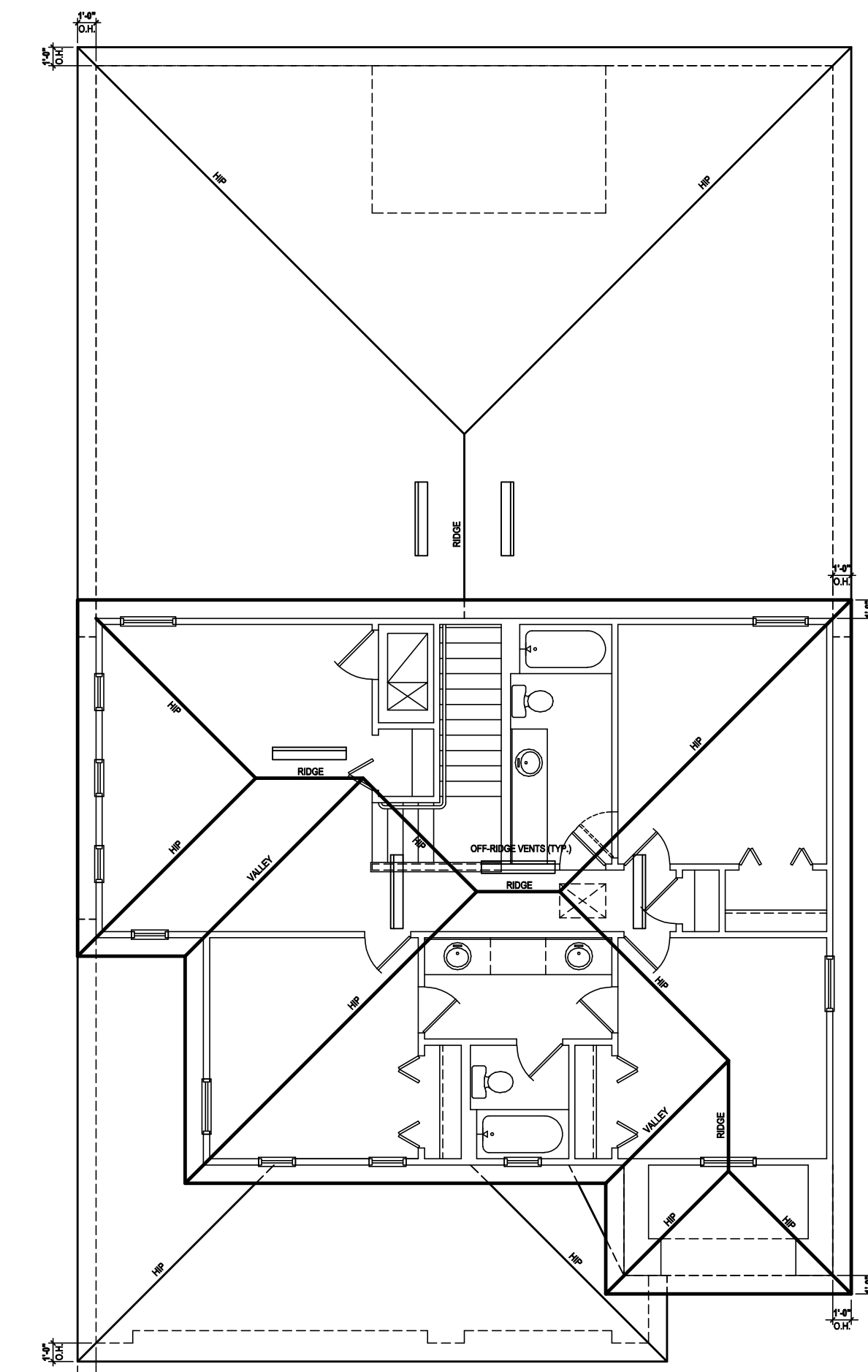
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN
IN LOWER PORTION (EAVES)
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED
SPACE.

TOTAL VENTED SPACE: $\frac{2,959}{300} = 9.86 \text{ SF.}$ NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.94 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS:
6 VENTS @ .652 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 5.91 SF.
TO BE PROVIDED W/ SOFFITS @ EAVE:
80.00 LF. @ 0.073 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

815 Orienta Ave. Suite# 1040
Altamonte Springs, FL 32701
Ph: (407) 629-6711
Fax: (407) 629-6776
www.mjshomedesigns.com



40-2879
NAPLES
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square
Enterprises, Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000



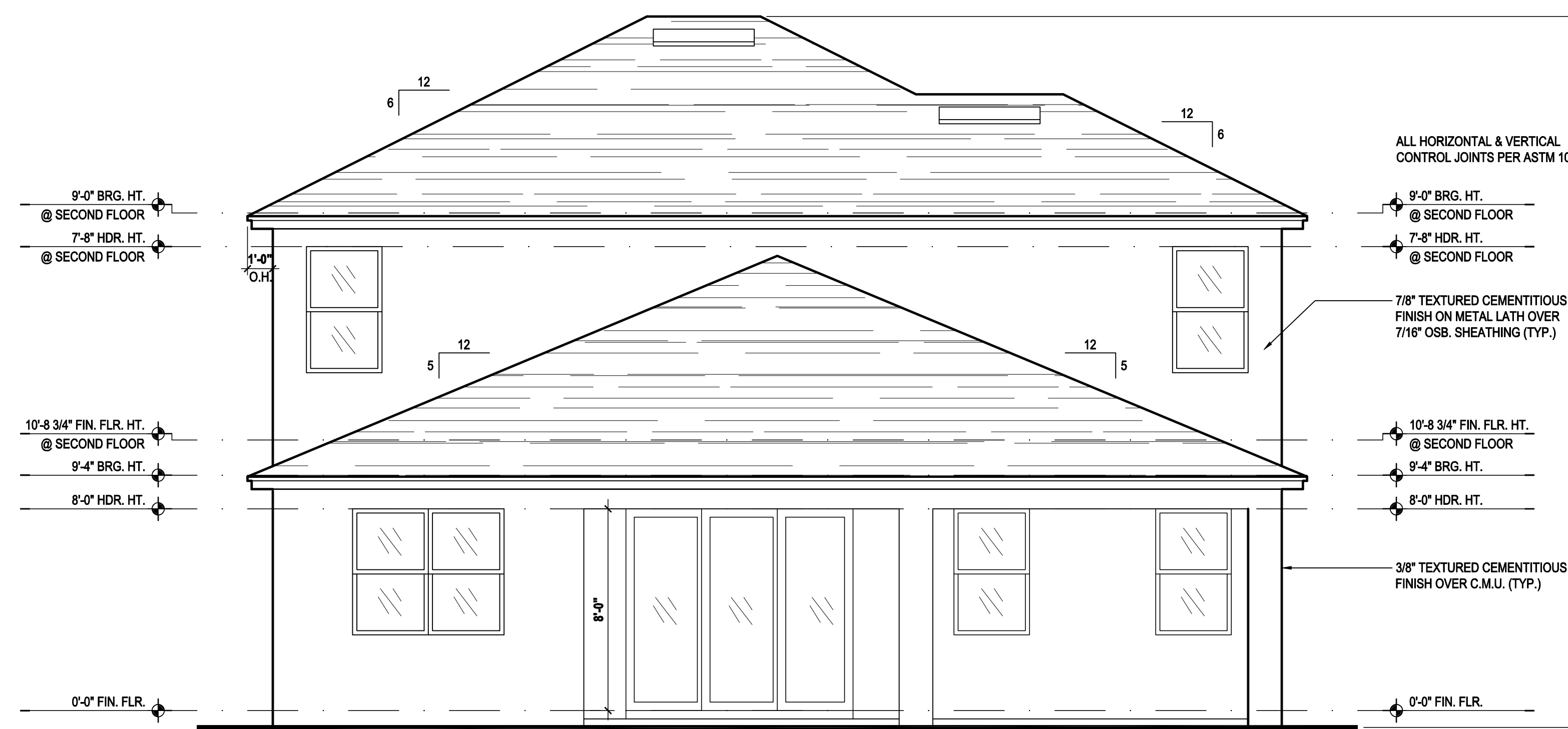
ISSUE DATE	07/26/2017
REVISIONS	
PROJECT:	17-0208
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

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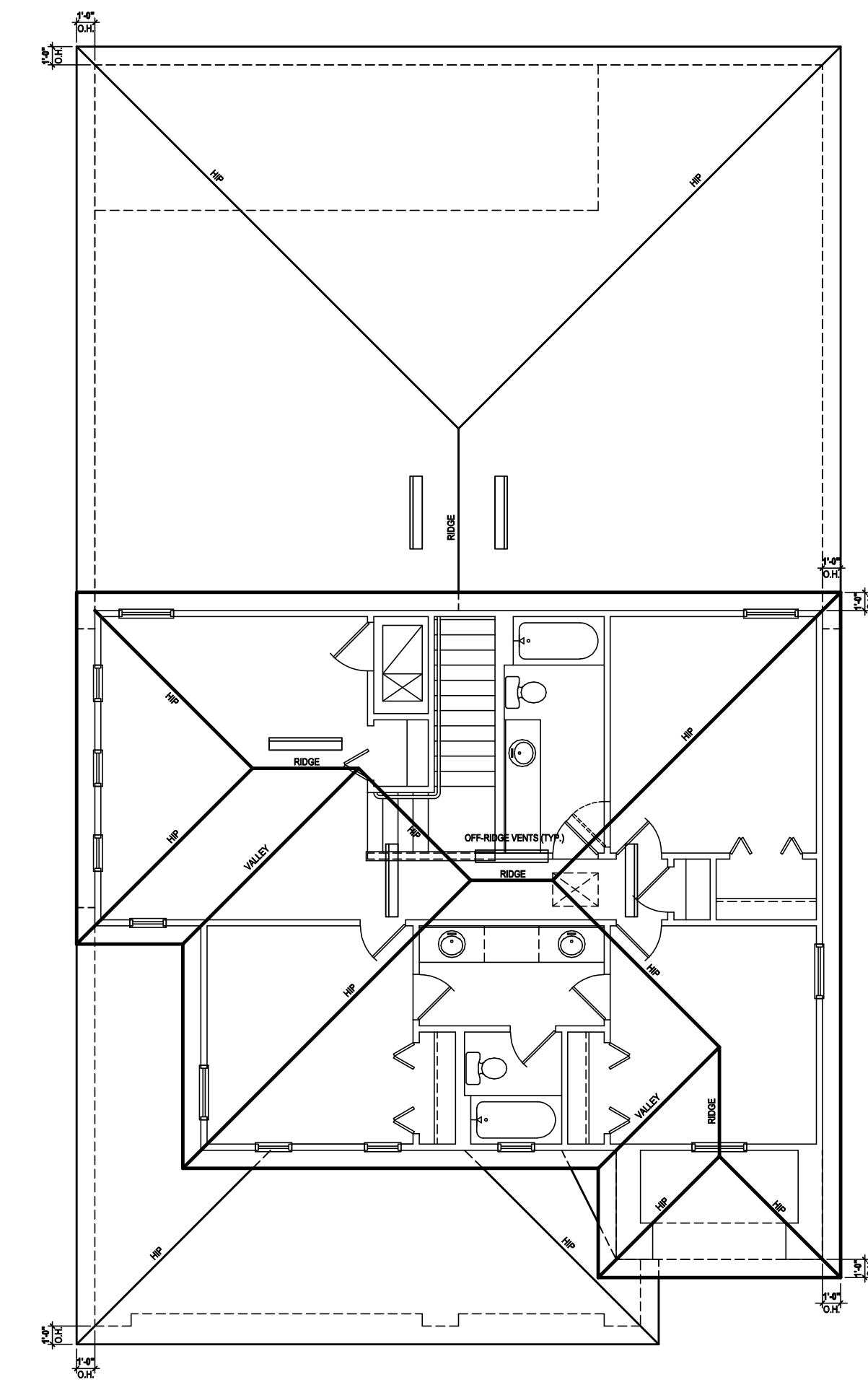
Front Elevation "C"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED
SPACE.

TOTAL VENTED SPACE: $\frac{2,959}{300} = 9.86 \text{ SF.}$ NET FREE
REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.94 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS:
6 VENTS @ .652 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

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CONTRACTORS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB AND M.J.S., INC. MUST BE NOTIFIED IN WRITING OF ANY CHANGES IN THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.



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Front Elevation "C"

(Opt. Master Sitting)

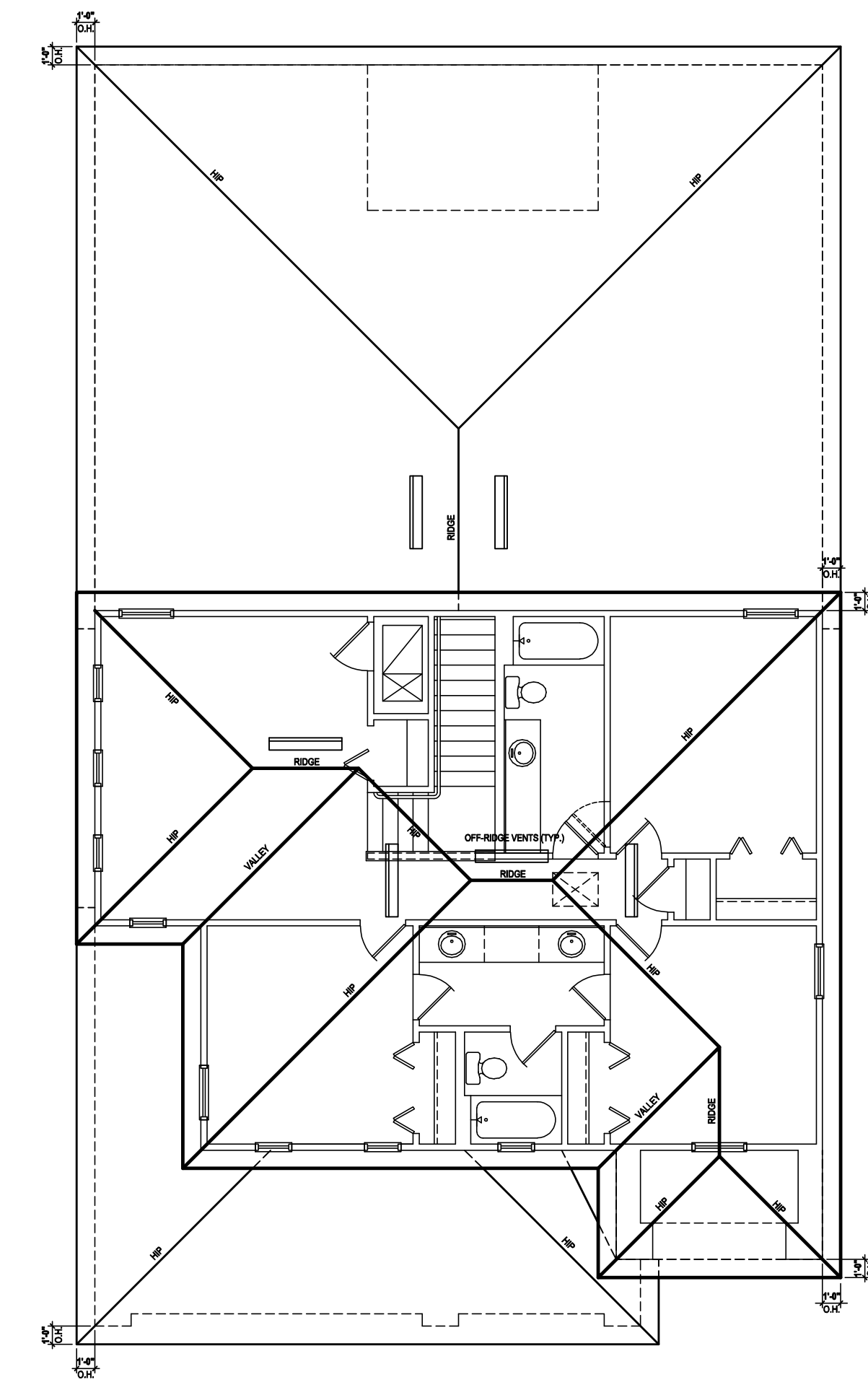
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Rear Elevation "C"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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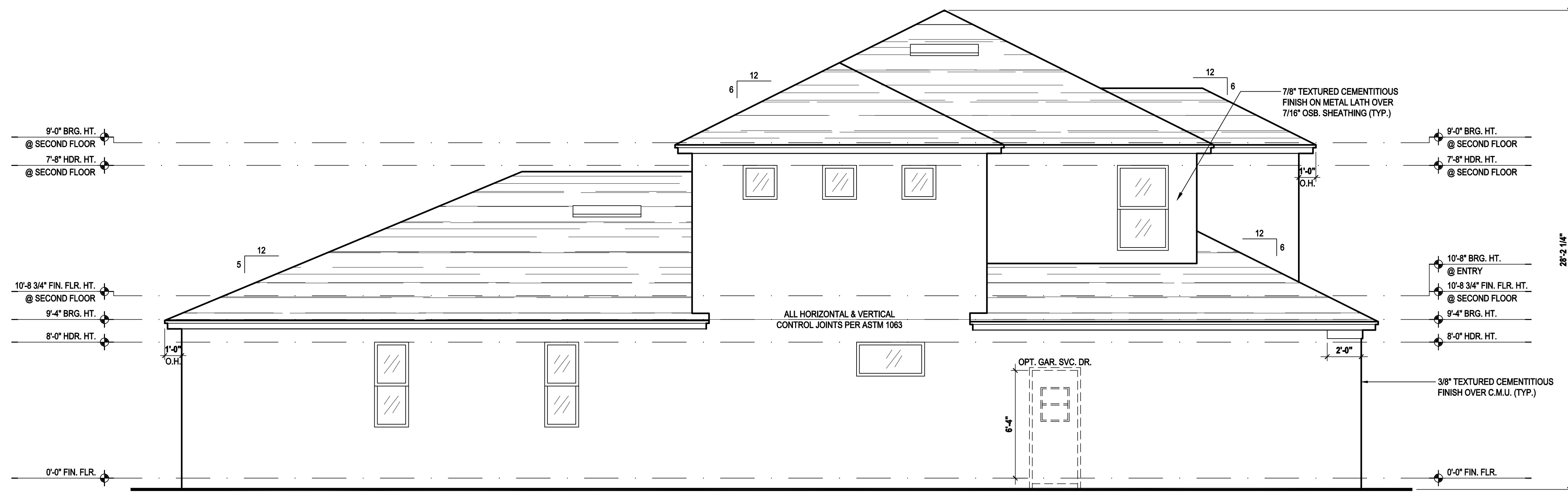
REVISIONS

PROJECT: 17-0208
SCALE: AS NOTED
DRAWN BY: KJ
DESIGNED BY: MJS

ELEVATIONS "C"

04.C1

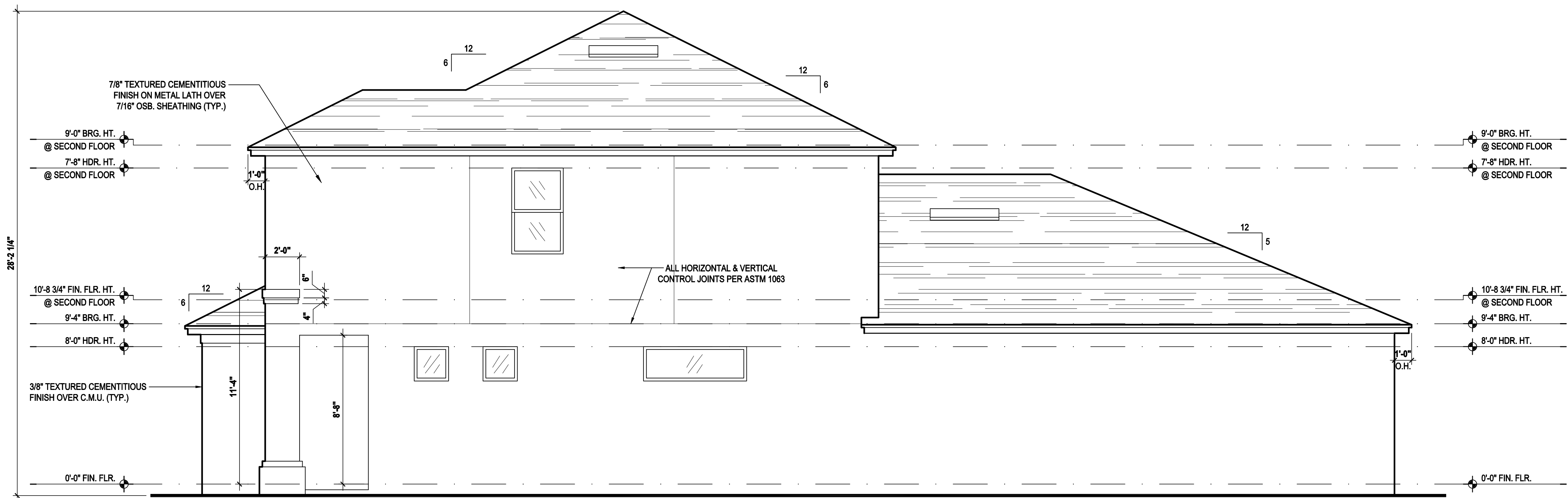
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Left Elevation "A"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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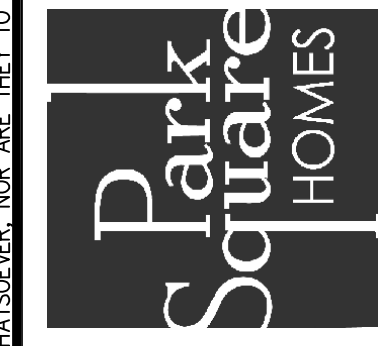
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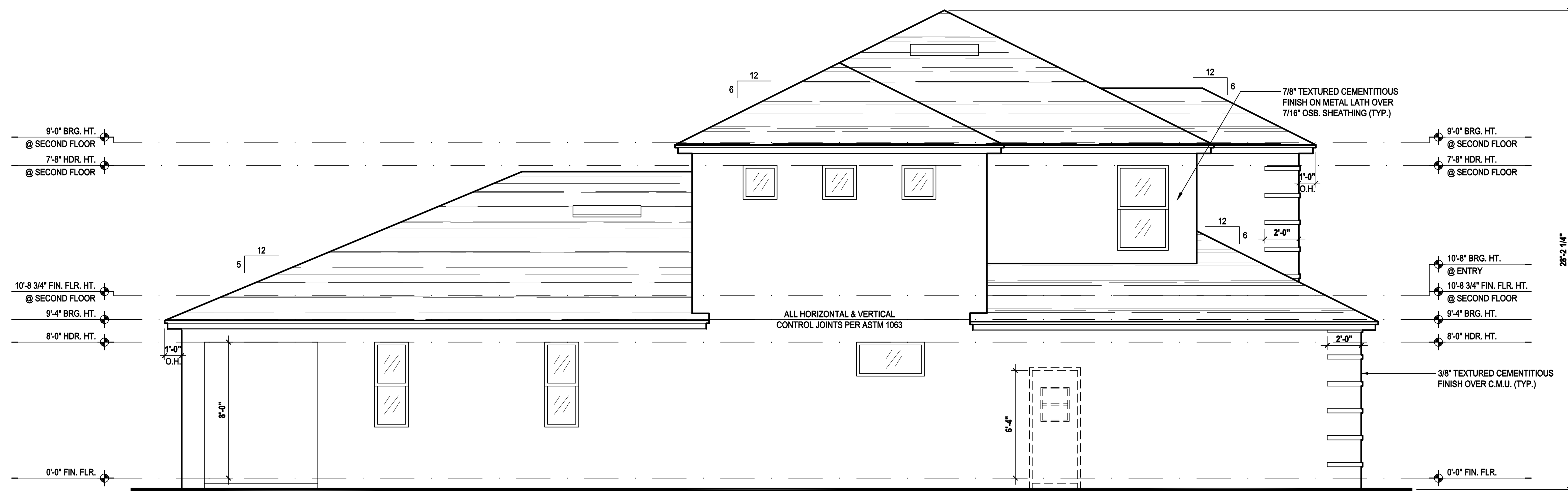


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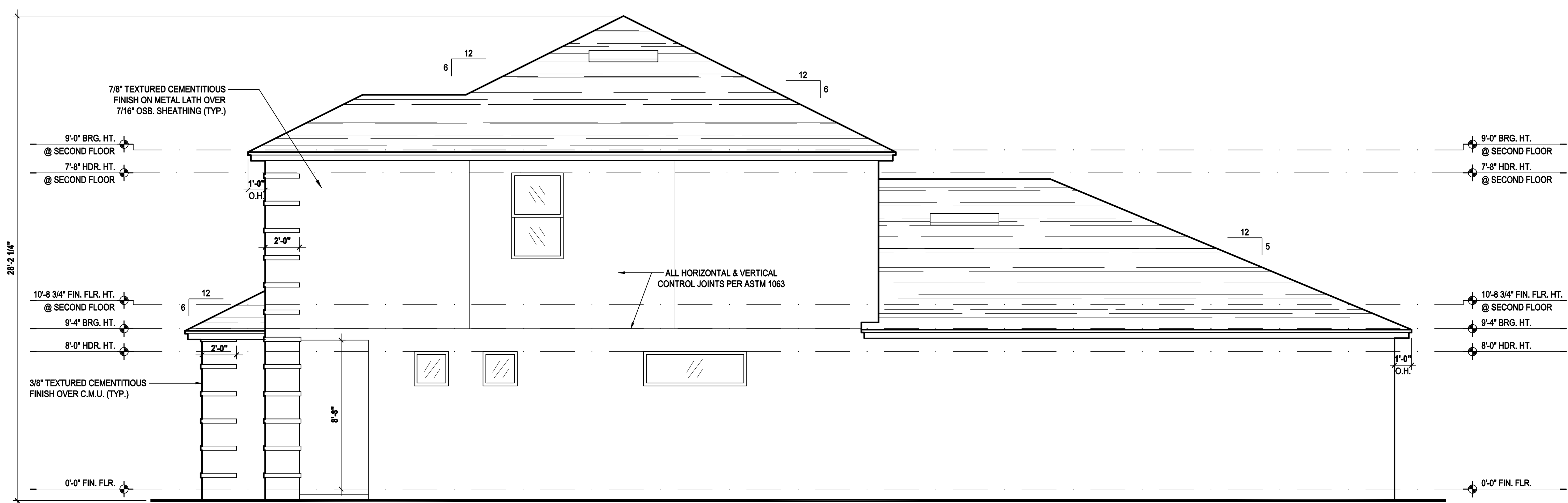


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PROJECT:	17-0208
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DRAWN BY:	KJ
DESIGNED BY:	MJS



Left Elevation "B"

(Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B"

(Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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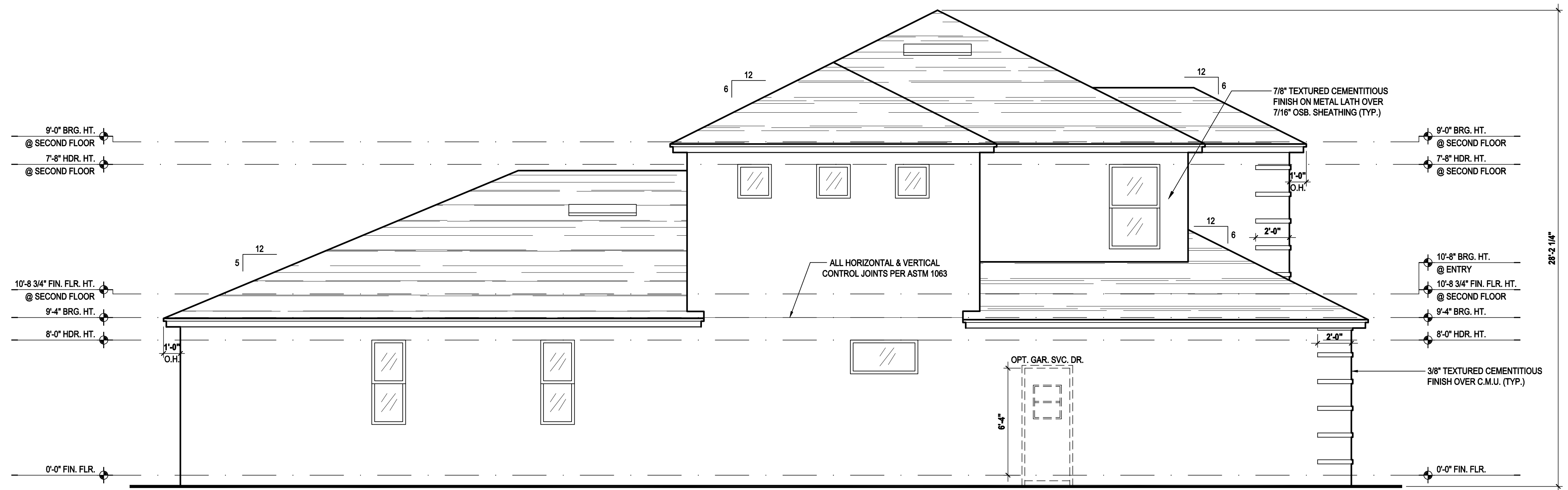
MJS
 designers group
 residential-commercial-architecture

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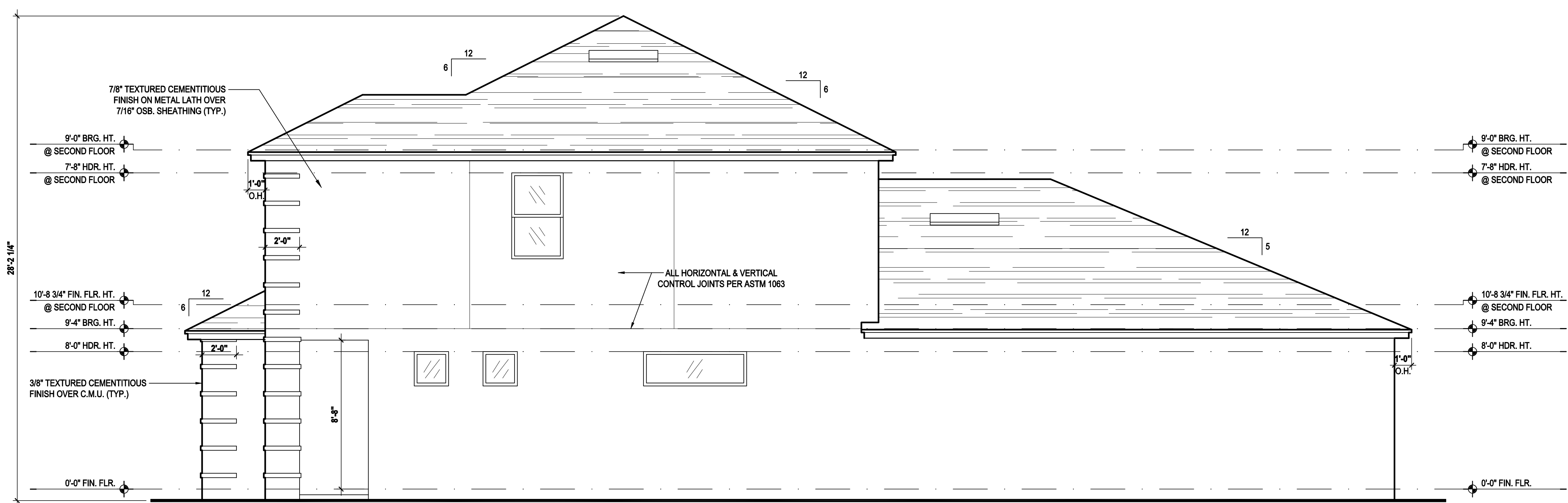
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Left Elevation "B"

(Opt. Master Sitting)

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Right Elevation "B"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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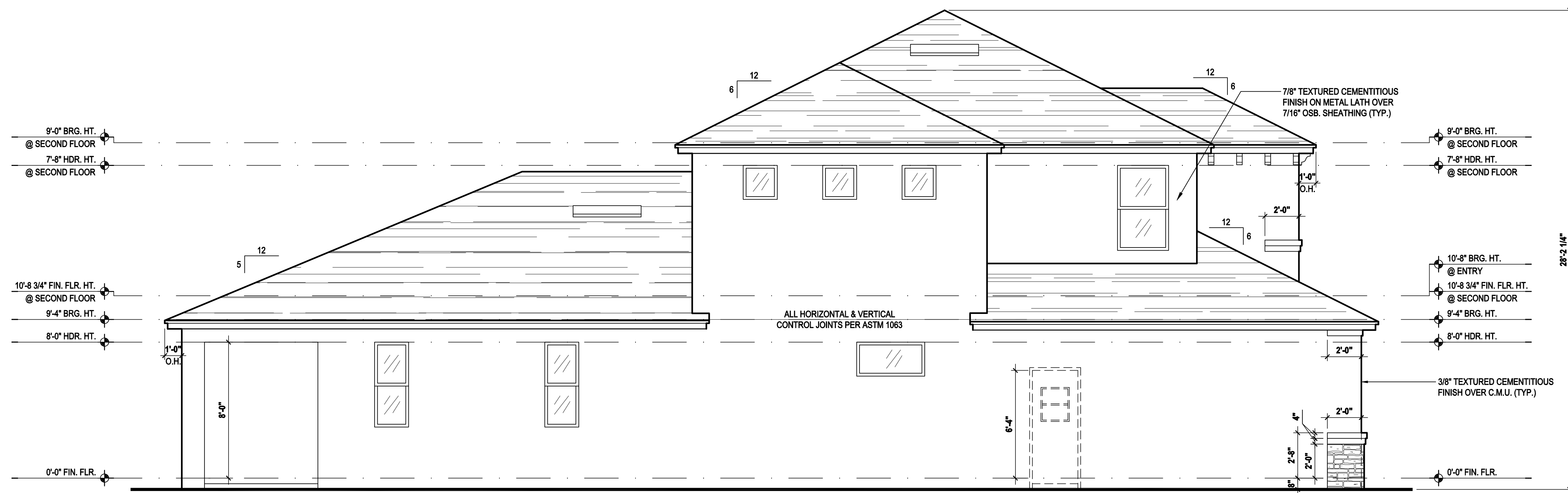
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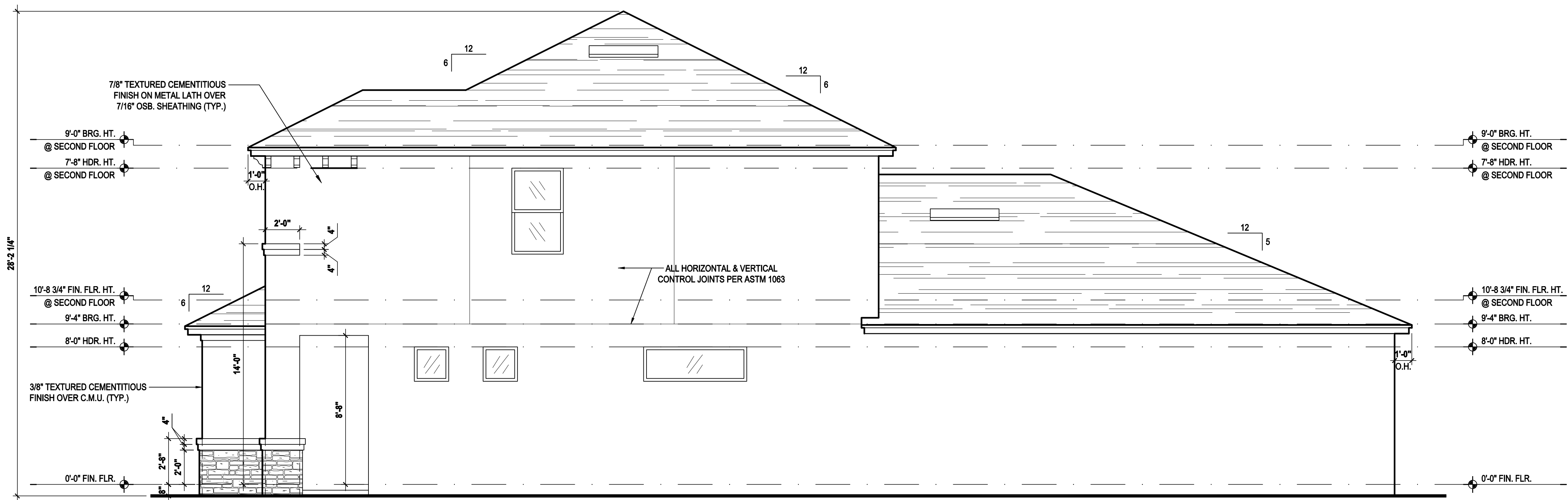
ELEVATIONS "A"
05.B1



Left Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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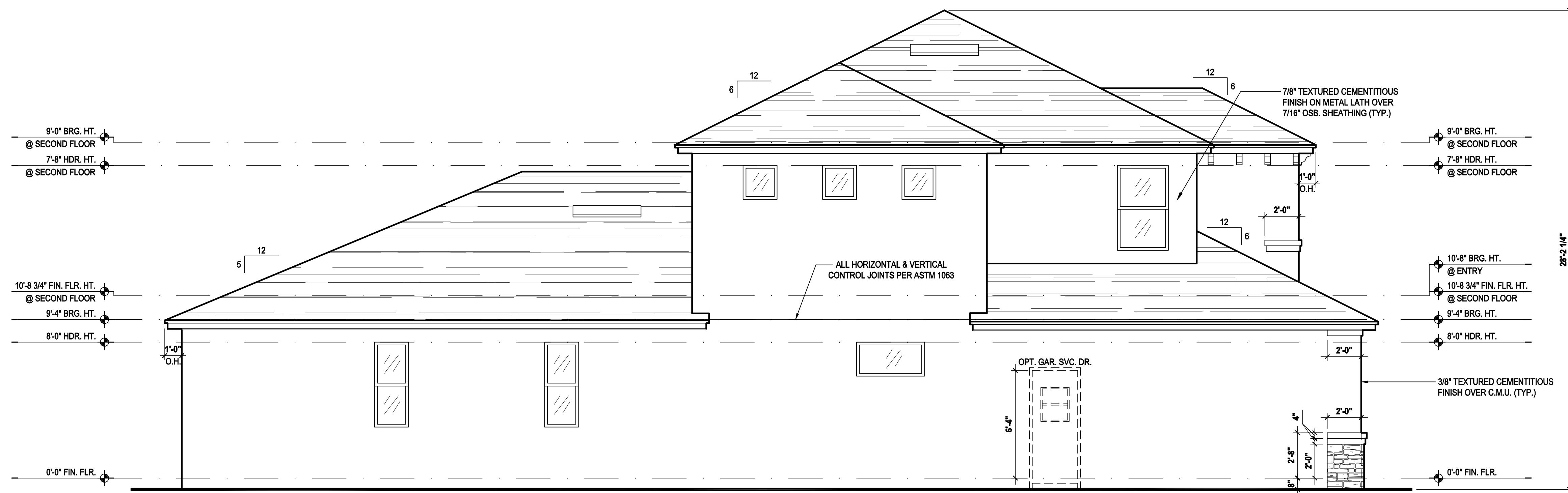
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ELEVATIONS "C"

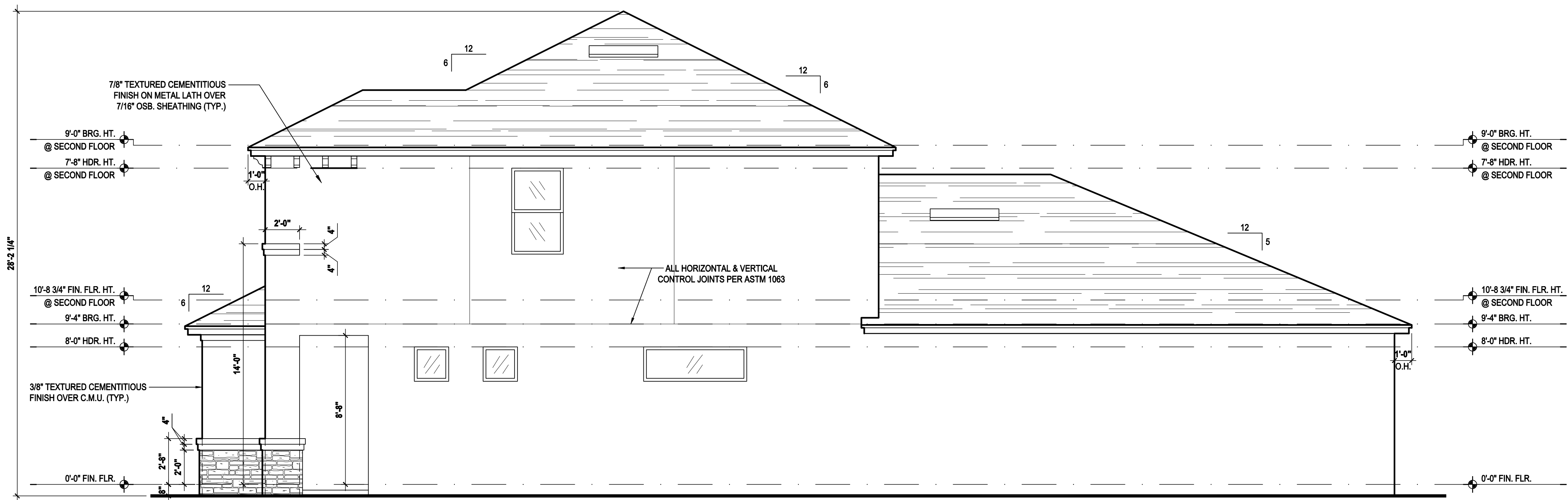
05.C



Left Elevation "C"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"

(Opt. Master Sitting)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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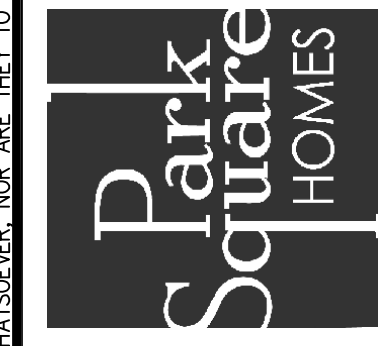
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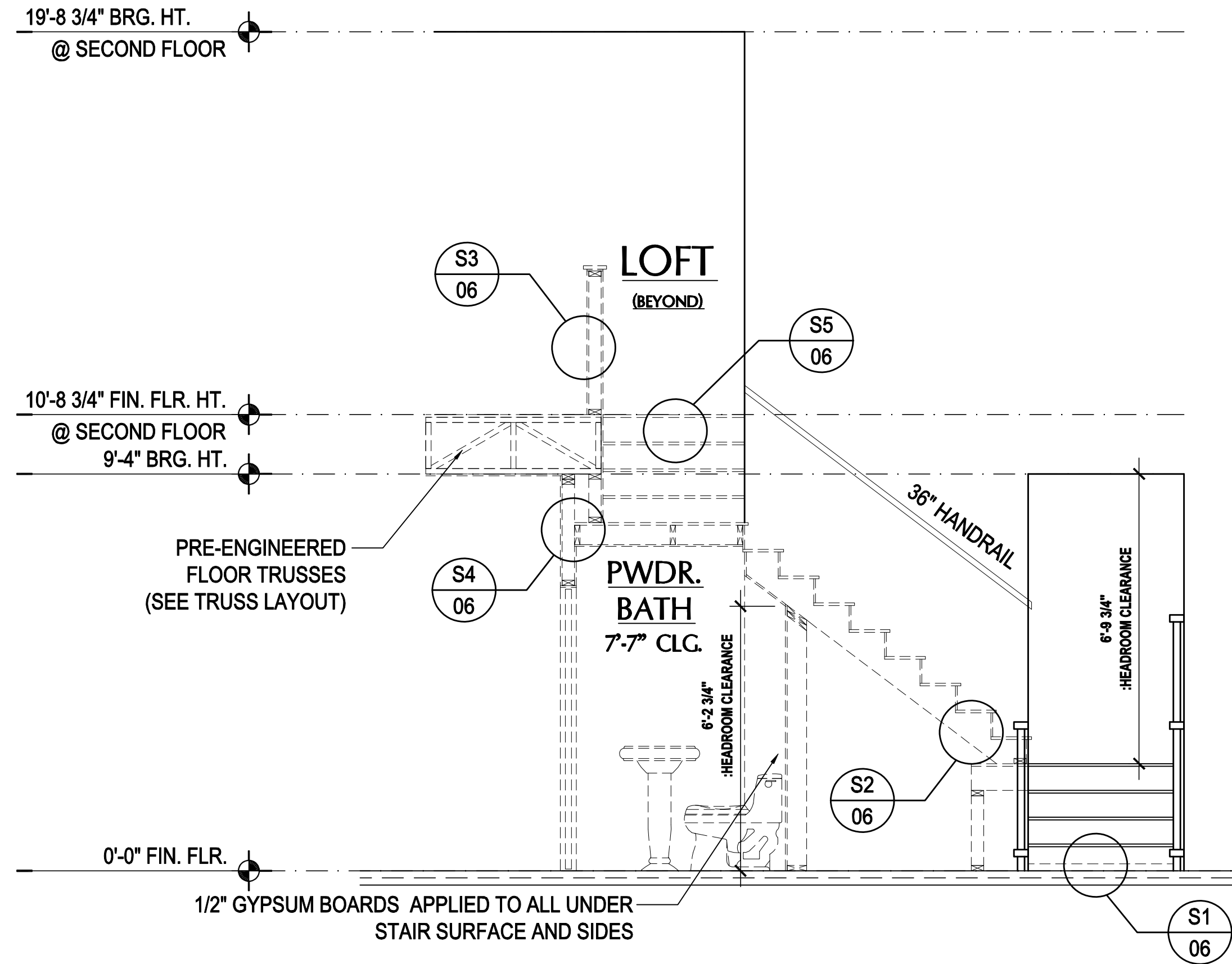


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SCALE:	AS NOTED
DRAWN BY:	KJ
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ELEVATIONS "A"
05.C1

NOTES:

1. STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 7TH EDITION SECTION R311.7
2. MAX HT. OF RISER TO BE 7 3/4".
3. MIN. WIDTH OF TREAD TO BE 9" (EXCLUSIVE OF NOSING).
4. ALL TREADS LESS THAN 10" IN WIDTH SHALL HAVE APPROX. 1" OF NOSING.
5. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
6. 3/8" MAX VARIATION IN ANY RISE/TREAD.
7. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
8. UNDER MIN. 6" WIDE @NARROW END.
9. 34'-38" HANDRAIL HT.
10. HEADROOM CLEARANCE MIN 6'-8".

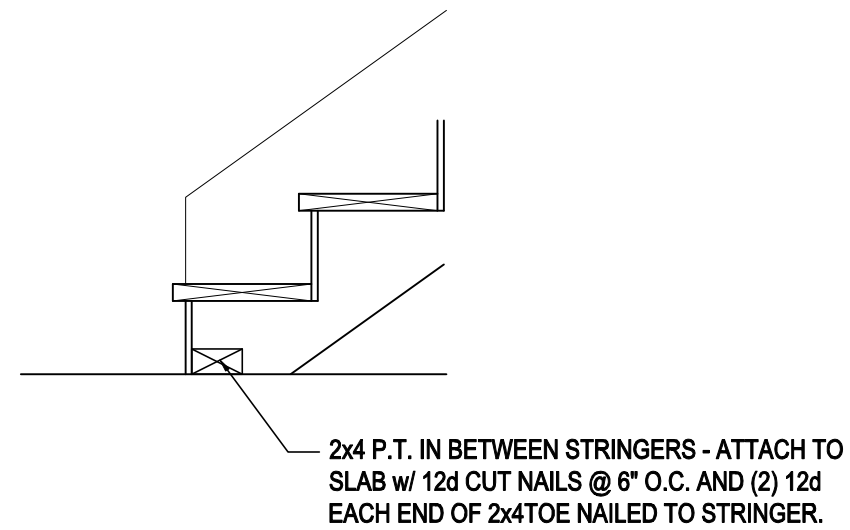


Stair Section

SCALE: 1/4" = 1'-0" (11x17) 1/2" = 1'-0" (22x34)

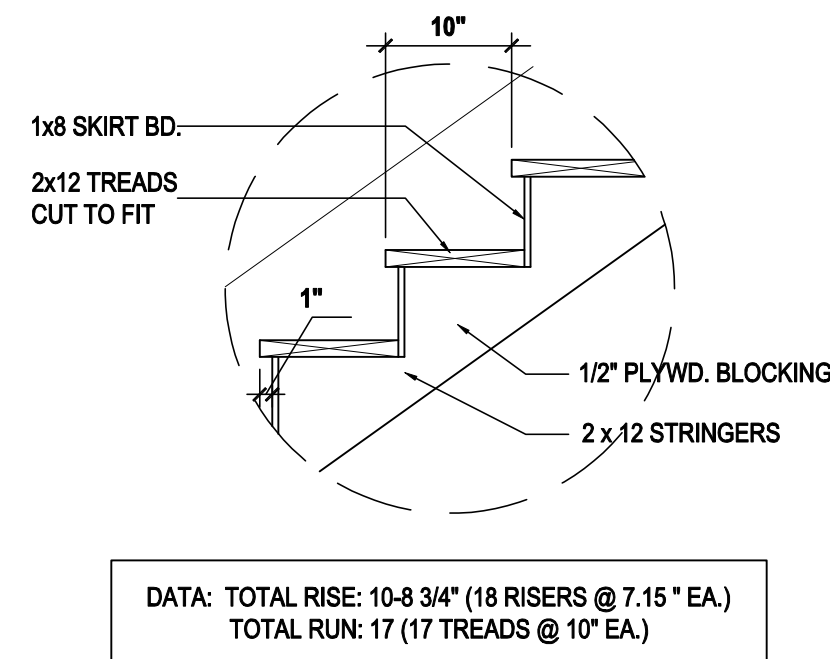
S1 TYP. STAIR CONNECT.

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



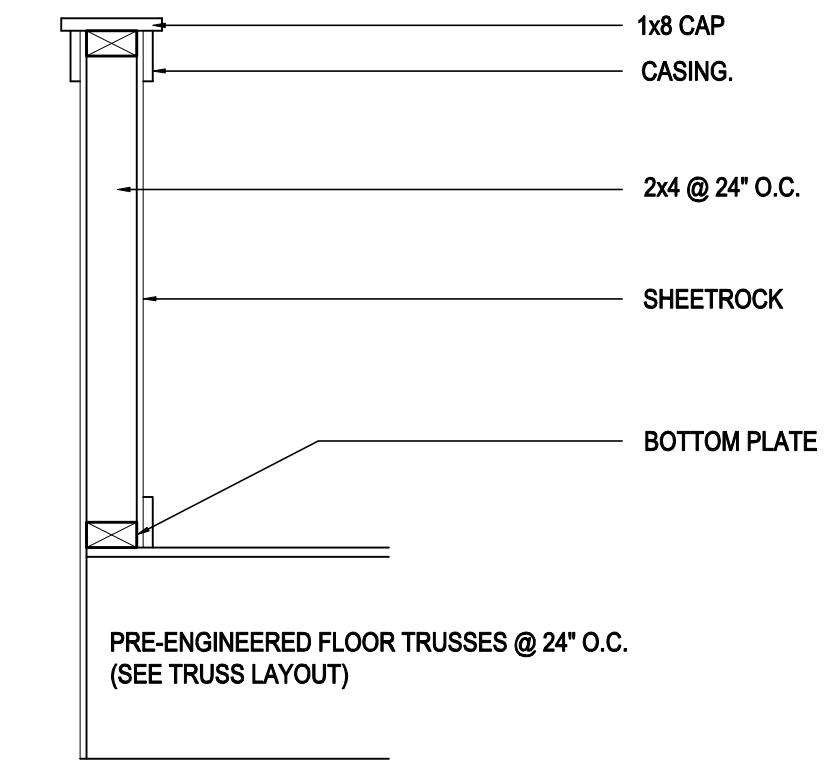
S2 TREAD & RISER DETAIL

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



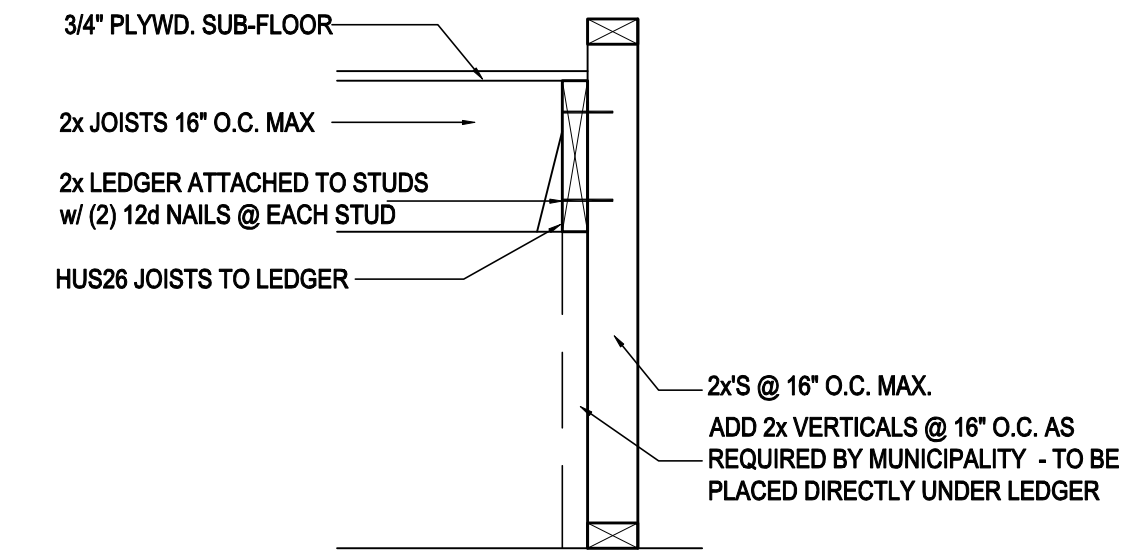
S3 HALF WALL DETAIL

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



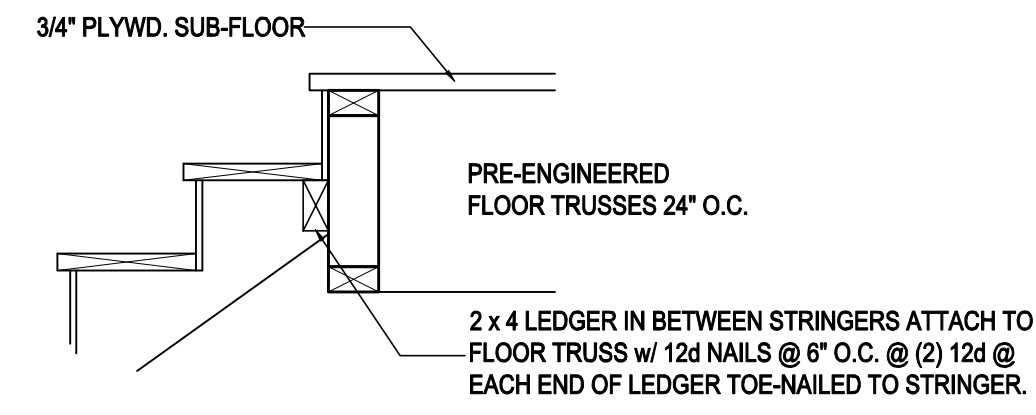
S4 LANDING CONNECT. DETAIL

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) PLATFORM FRAMING



S5 STAIR CONNECT. @ FLR. TRUSS

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) STRINGER TO FLOOR TRUSS



Stair Details

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

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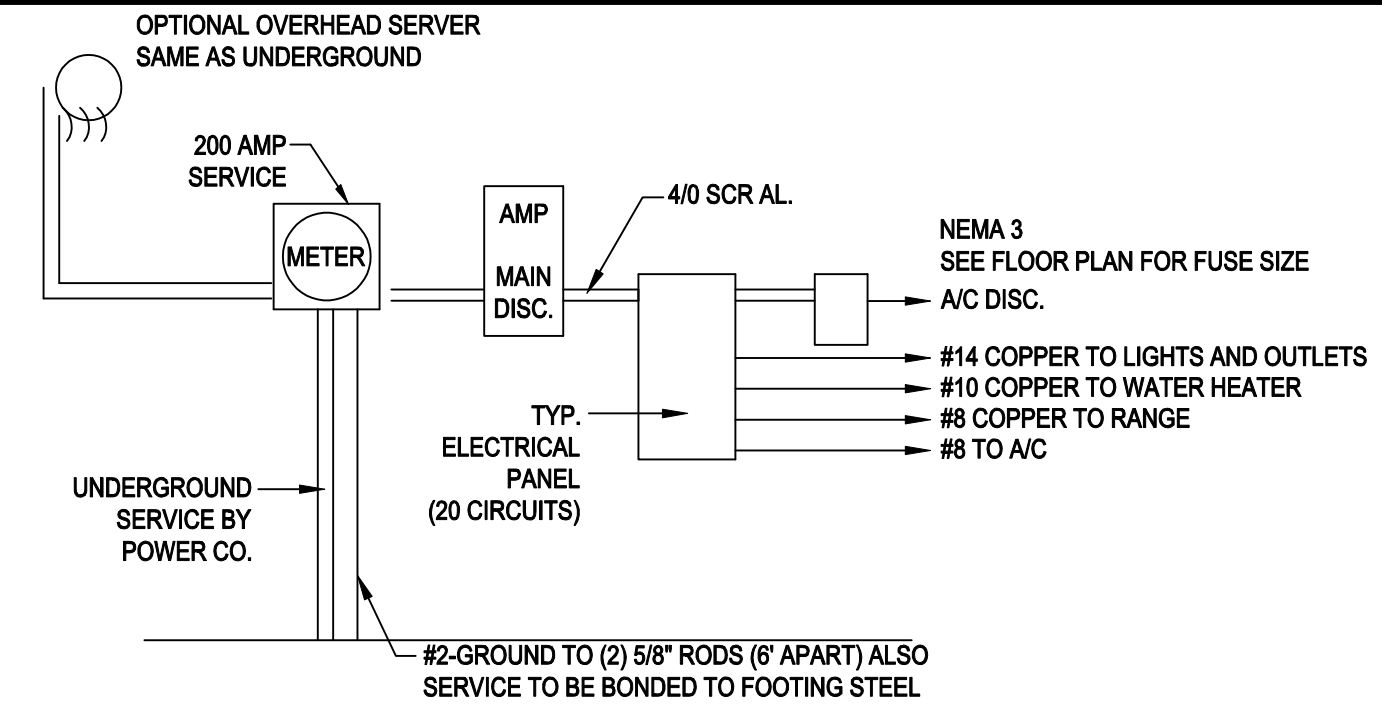
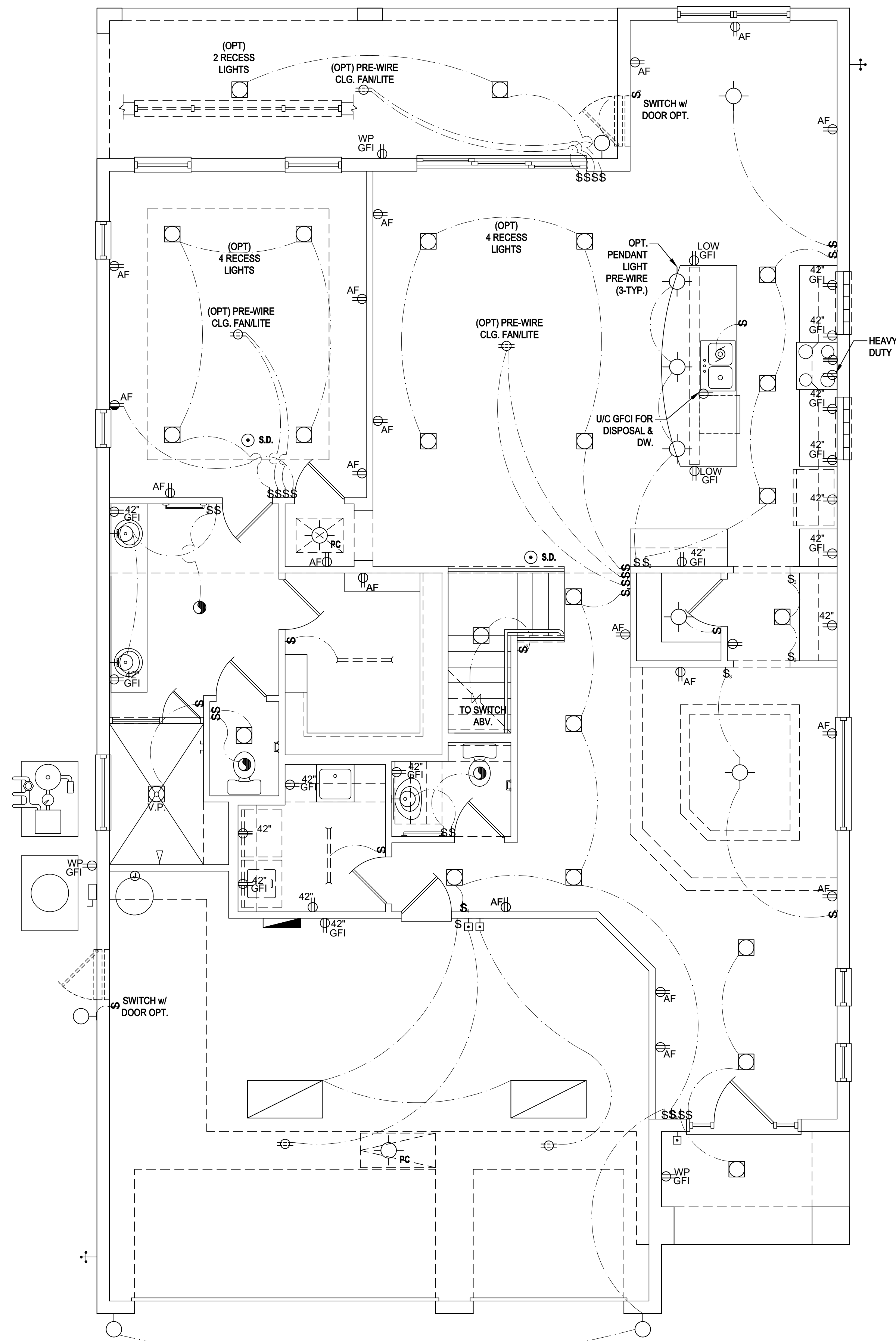
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DRAWN BY:	KJ
DESIGNED BY:	MJS

SECTIONS
06

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NOTE:
ALL ELECTRICAL WORK AND MATERIAL PROVIDED SHALL COMPLY WITH THE FLORIDA BUILDING CODE, (2020) THE ABOVE ELECTRICAL LAYOUT IS FOR BID PURPOSE ONLY.

200 AMP ELECTRICAL RISER

GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
- IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
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	DISCONNECT SWITCH
	ELECTRICAL METER
	S.M.O.K.E. DETECTOR
	C.M.S.D. CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
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	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION

First Floor Electrical Plan "A,B,C"

(Standard)

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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MJS
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residential-commercial-architecture

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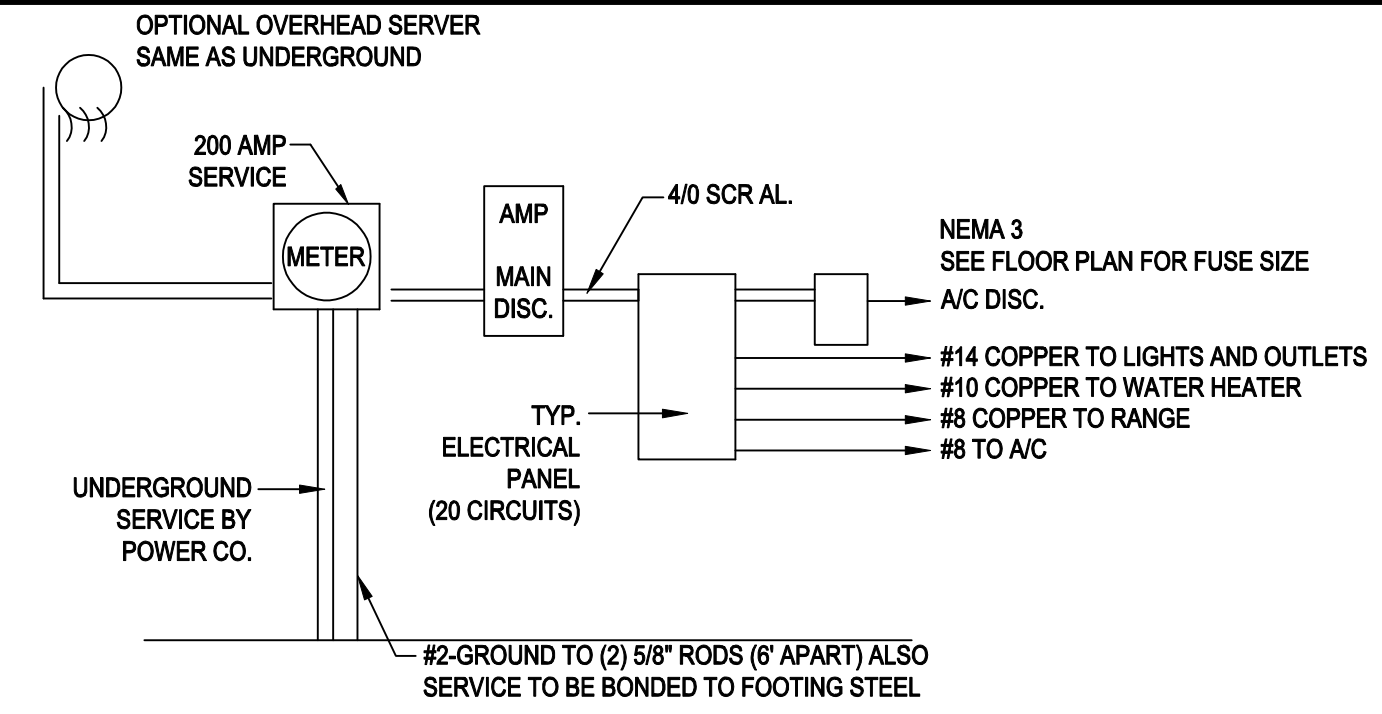
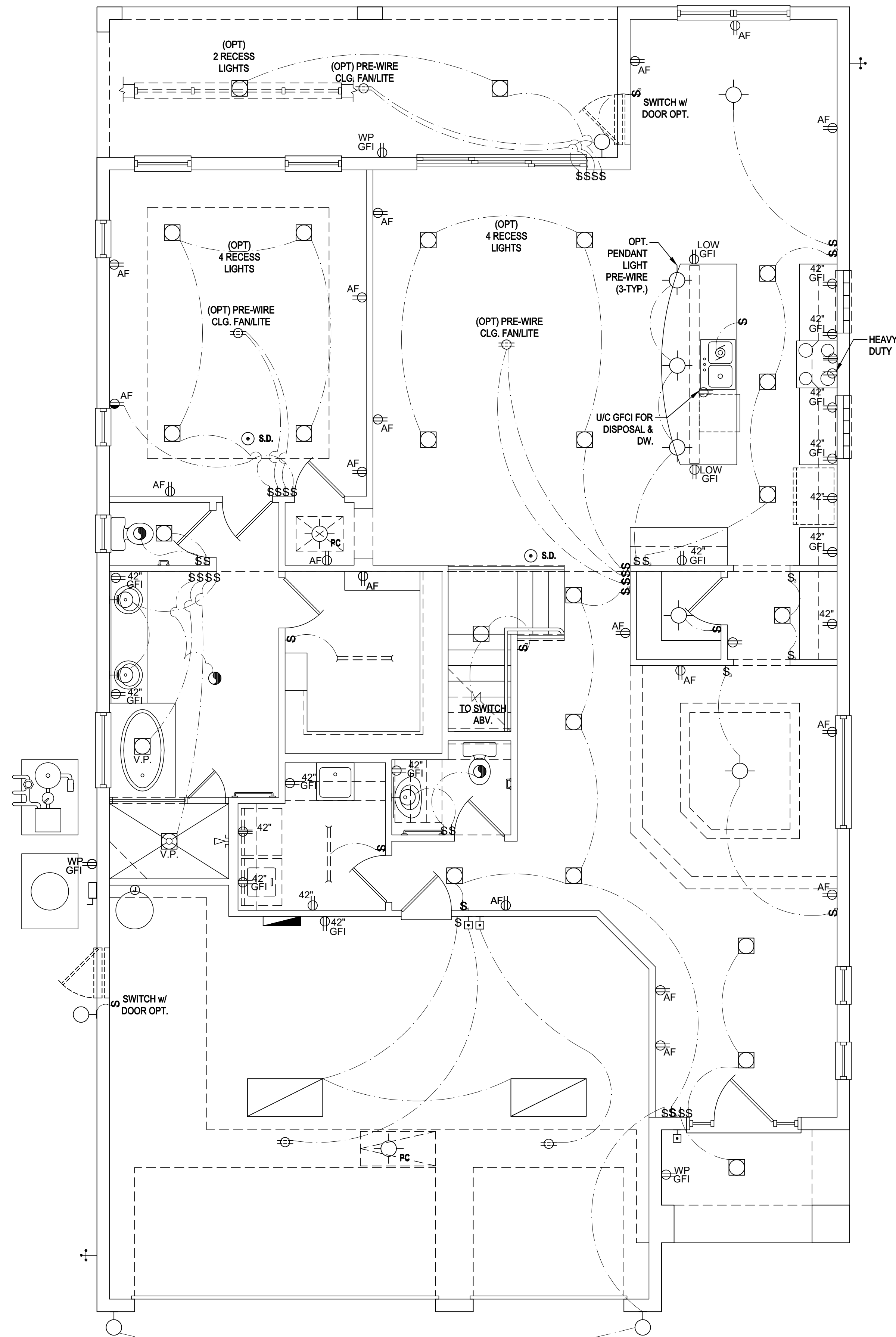
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ISSUE DATE	07/26/2017
REVISIONS	
PROJECT:	17-0208
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

ELECTRICAL LAYOUT

07 L

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200 AMP ELECTRICAL RISER

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First Floor Electrical Plan "A,B,C"

(Opt. Master Bath)

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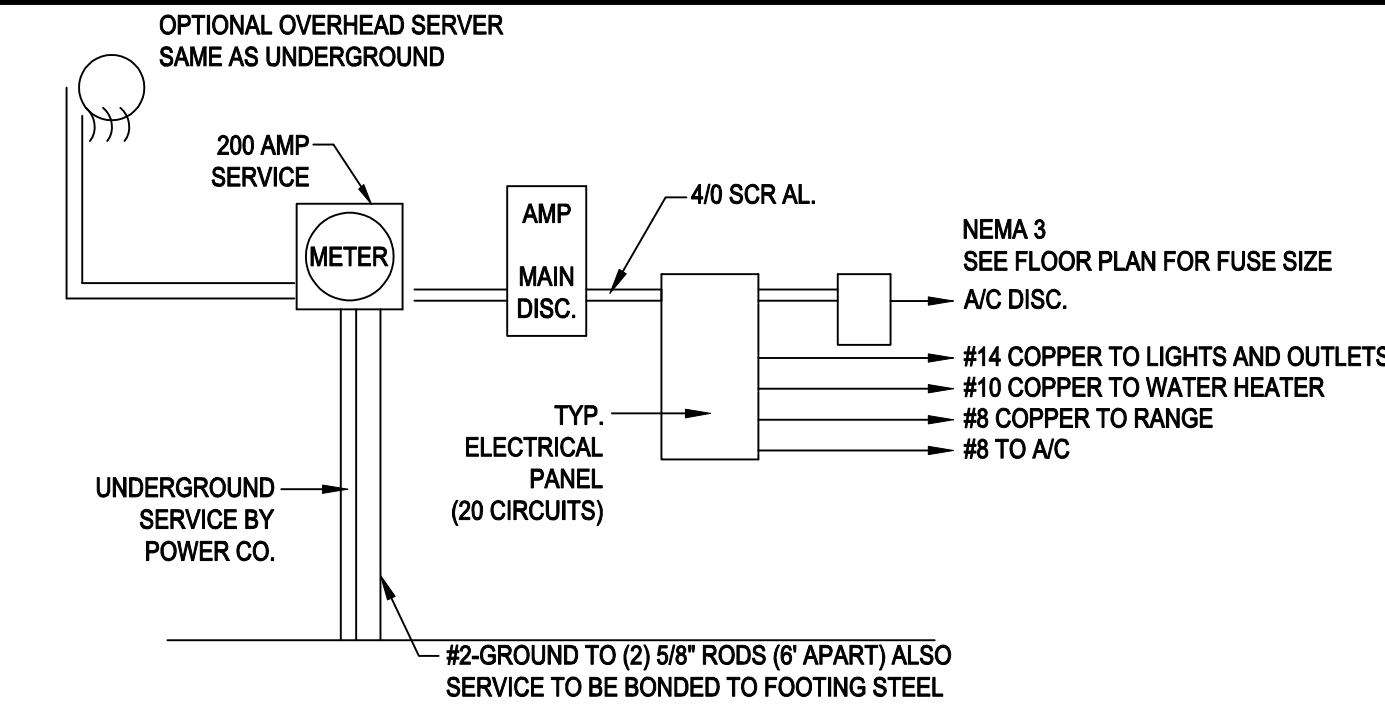
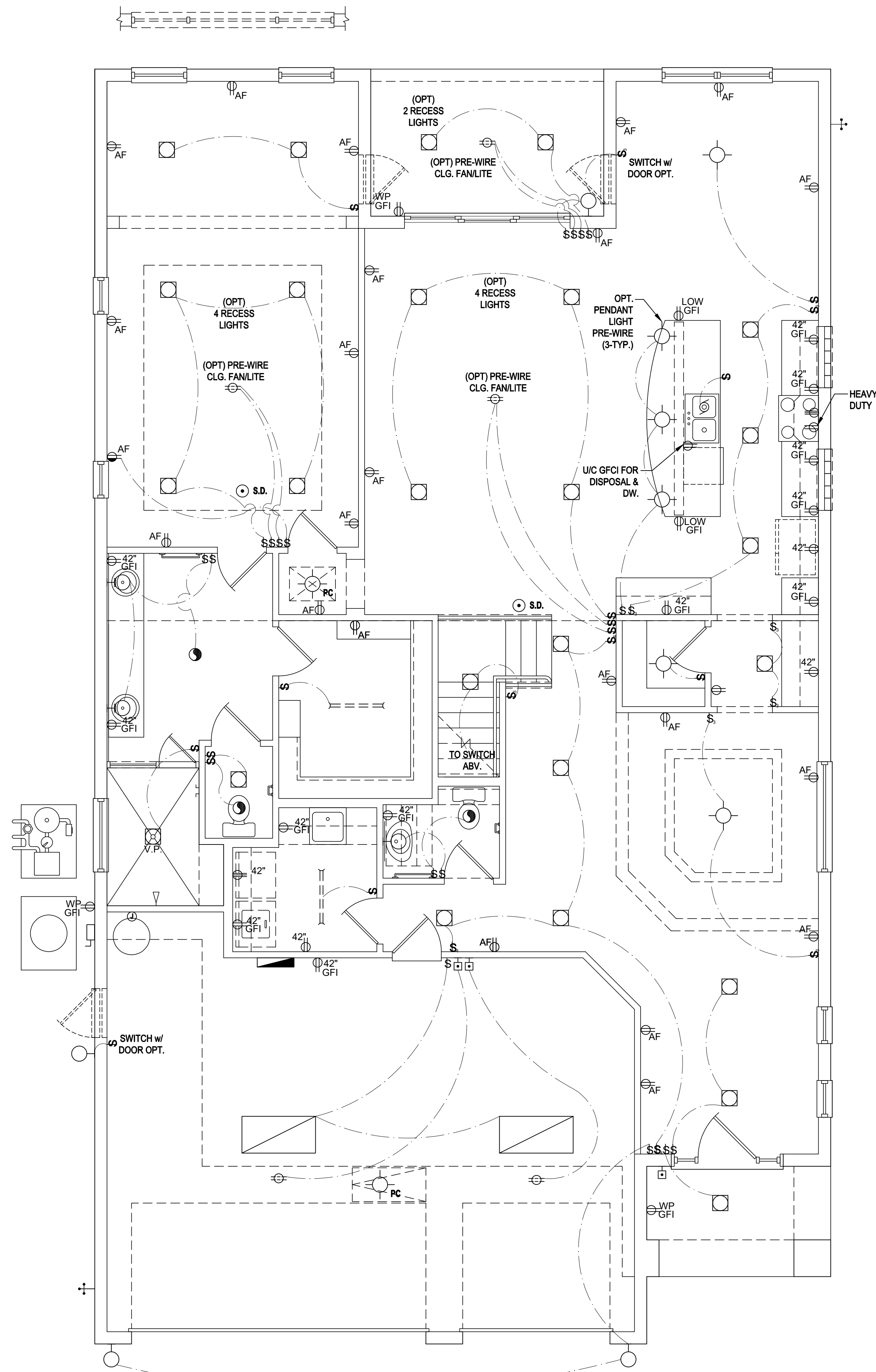
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ELECTRICAL LAYOUT



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(Opt. Master Sitting)

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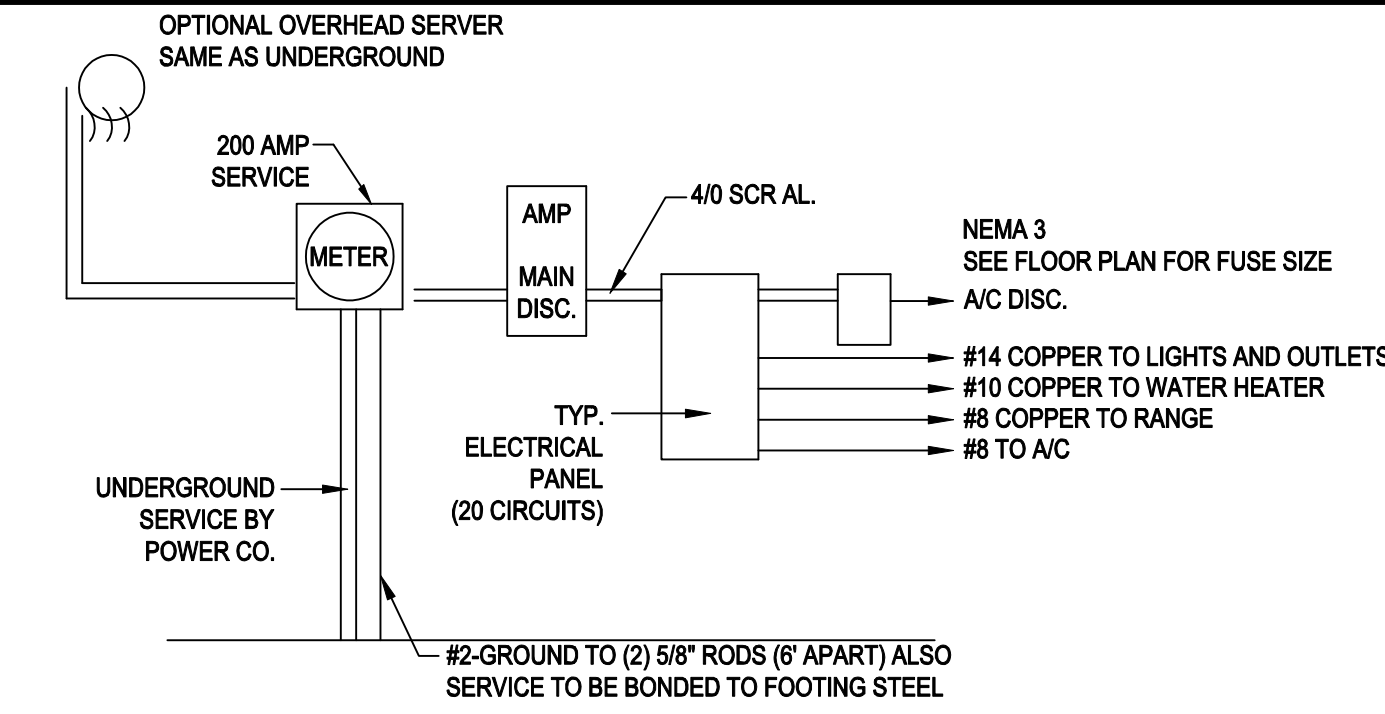
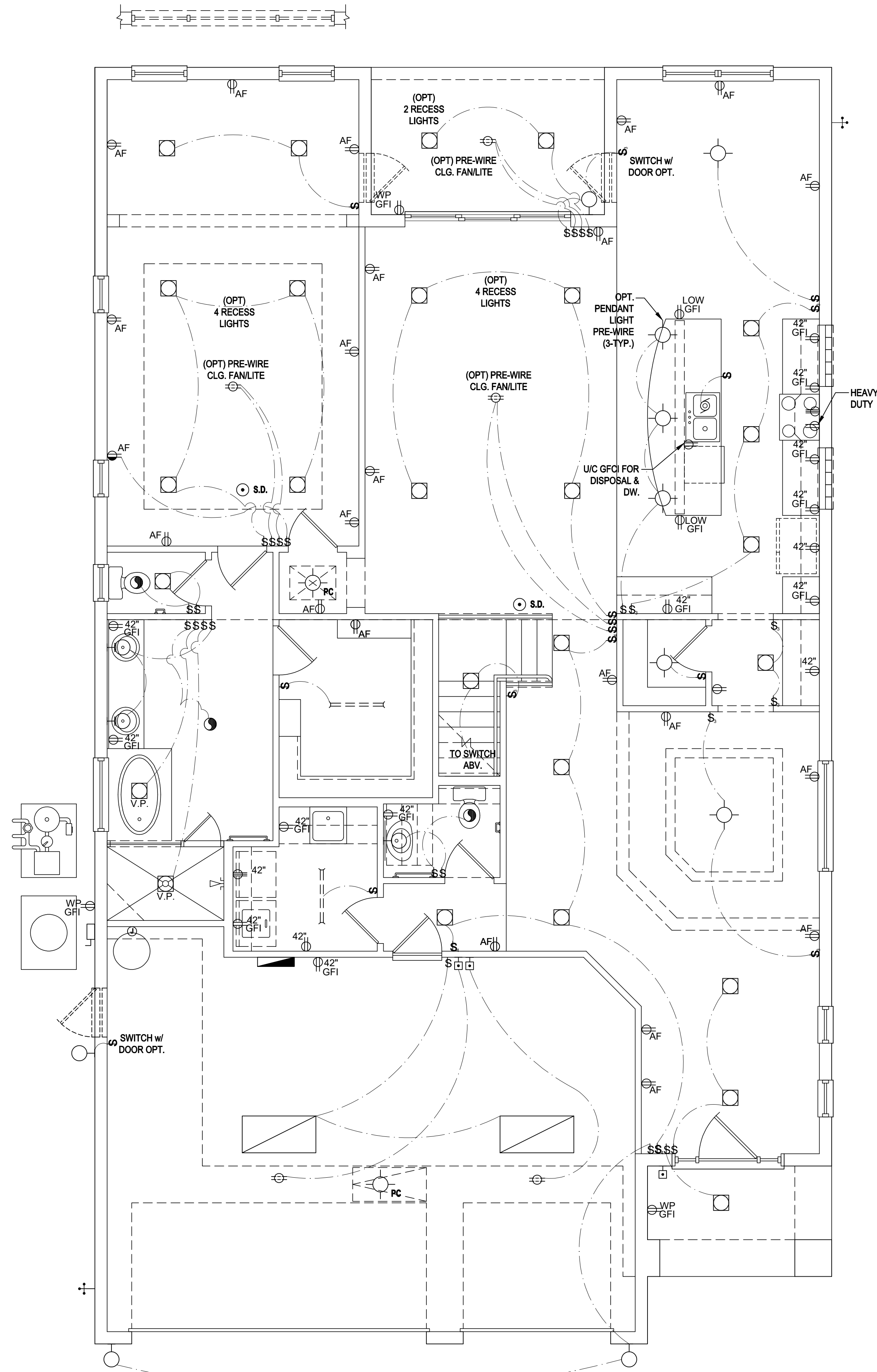
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DESIGNED BY: MJS

ELECTRICAL LAYOUT

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	VAPOR PROOF
	ARC FAULT PROTECTION

First Floor Electrical Plan "A,B,C"

(Opt. Master Bath & Master Sitting)

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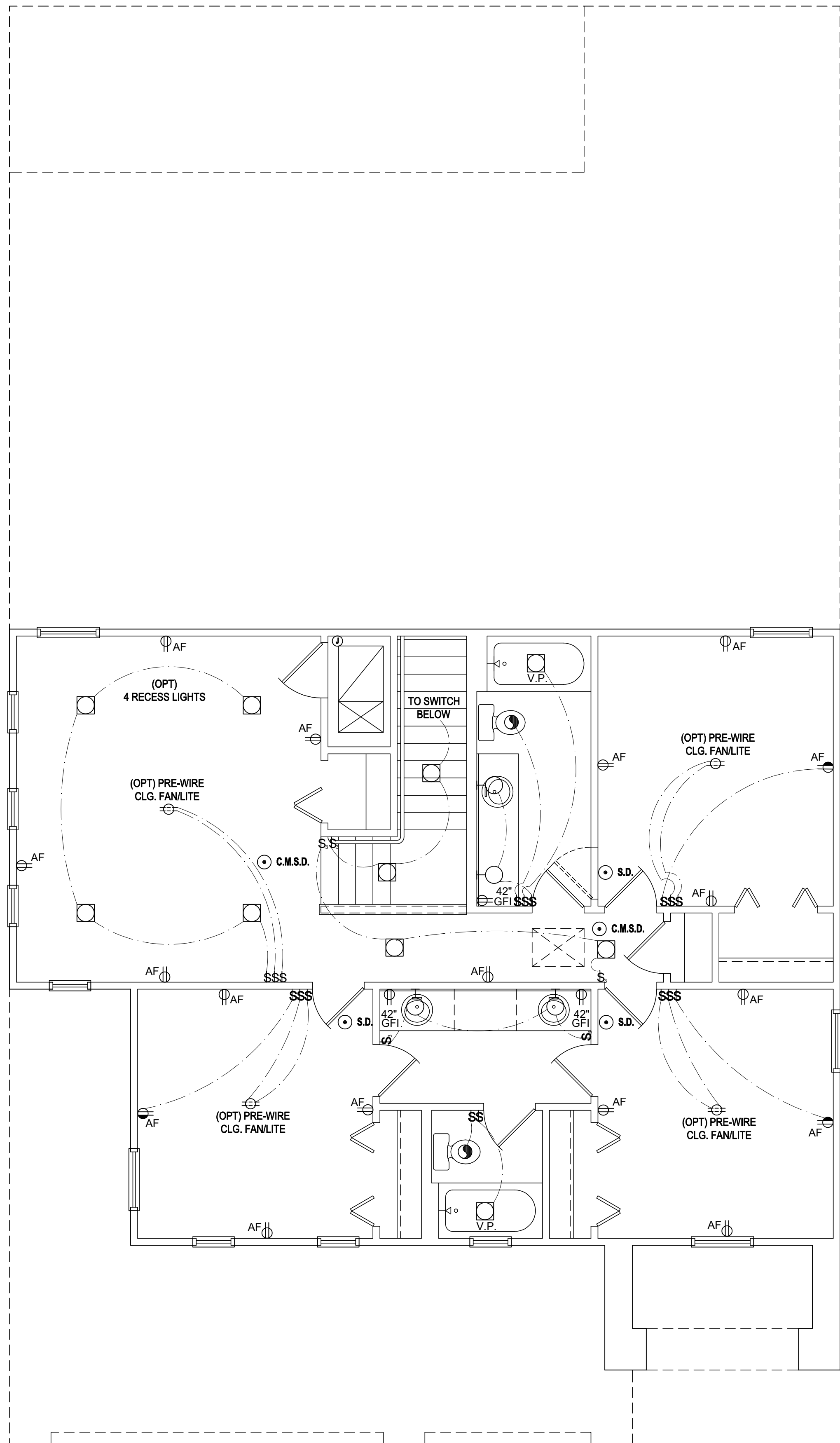


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DESIGNED BY:	MJS

ELECTRICAL LAYOUT

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Second Floor Electrical Plan "A,B,C"

(Standard)

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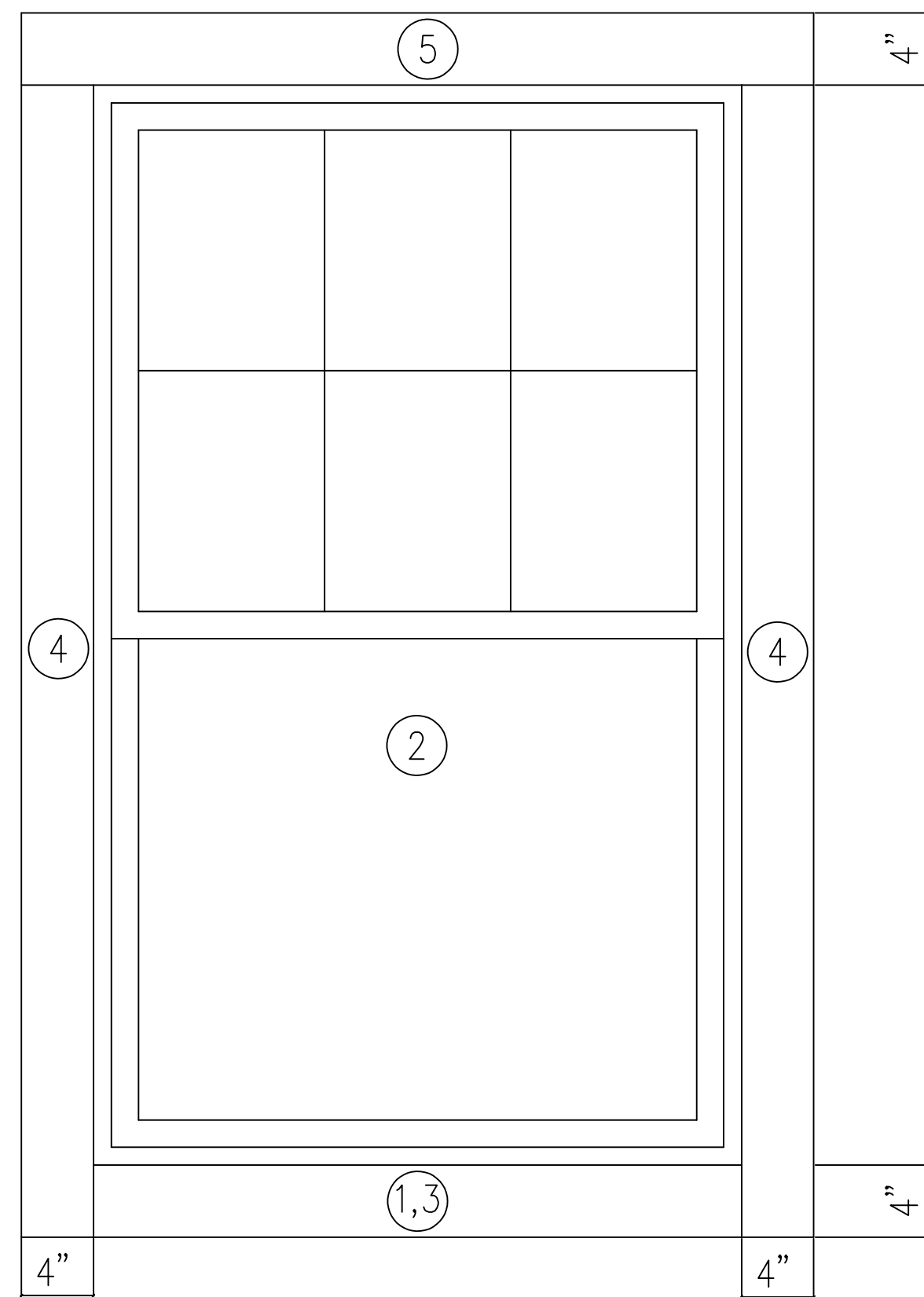
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DRAWN BY:	KJ
DESIGNED BY:	MJS

ELECTRICAL LAYOUT

08 L



INSTALLATION NOTES:

- THROUGHOUT INSTALLATION, KEEP THE WINDOW JAMBS PLUMB AND SQUARE. KEEP HEAD AND SILL LEVEL AND SQUARE. MAKE SURE HEAD AND SILL ARE NOT CROWNED UP OR DOWN. CONSTANTLY CHECK WIDTH AT MEETING RAILS (i.e. DOUBLE HUNG) TO AVOID "BOWED OUT" INSTALLATION.
- APPLY GENEROUS BEAD OF CAULK ALONG INTERIOR SURFACE OF NAILING FIN ON ALL SIDES PRIOR TO SETTING WINDOW INTO OPENING.
- PLACE 1/4" SHIMS AT SILL CORNERS AND SET WINDOW INTO SHIMS. CENTER THE WINDOW IN THE OPENING ALLOWING A 1/4" GAP BETWEEN WINDOW AND FRAMING MATERIAL ON EACH SIDE. WHEN INSTALLATION IS COMPLETE, THESE SHIMS MAY BE REMOVED.
- INSTALL FASTENERS (STRAIGHT, NOT ANGLED) IN EVERY OTHER FASTENER SLOT STARTING AT THE MIDDLE OF THE WINDOW. FASTENER MUST BE EMBEDDED INTO SOLID WOOD A MINIMUM OF 1". KEEP WINDOW LOCKED UNTIL ALL SIDES ARE SECURED.
- CAULK OVER FASTENERS AND ANY FASTENER SLOTS NOT USED.
- CAULK OUTSIDE PERIMETER OF INSTALLED WINDOW.
- INSULATE AROUND PERIMETER WITH BATT TYPE INSULATION. **DO NOT USE EXPANDABLE FOAM.** THE USE OF EXPANDABLE FOAM WILL VOID WARRANTY.
- FOR ANY INSTALLATION FINISHED WITH BRICK OR STONE, ALLOW 1/4" GAP AT SILL BETWEEN STRUCTURE AND WINDOW. THEN, CAULK THIS GAP.
- CAULK GAP BETWEEN INSTALLED WINDOW EXTERIOR PERIMETER AND J-CHANNEL (OR BRICK OR OTHER EXTERIOR FINISHING MATERIAL WHICH SURROUNDS WINDOW).

FLASHING SEQUENCING:

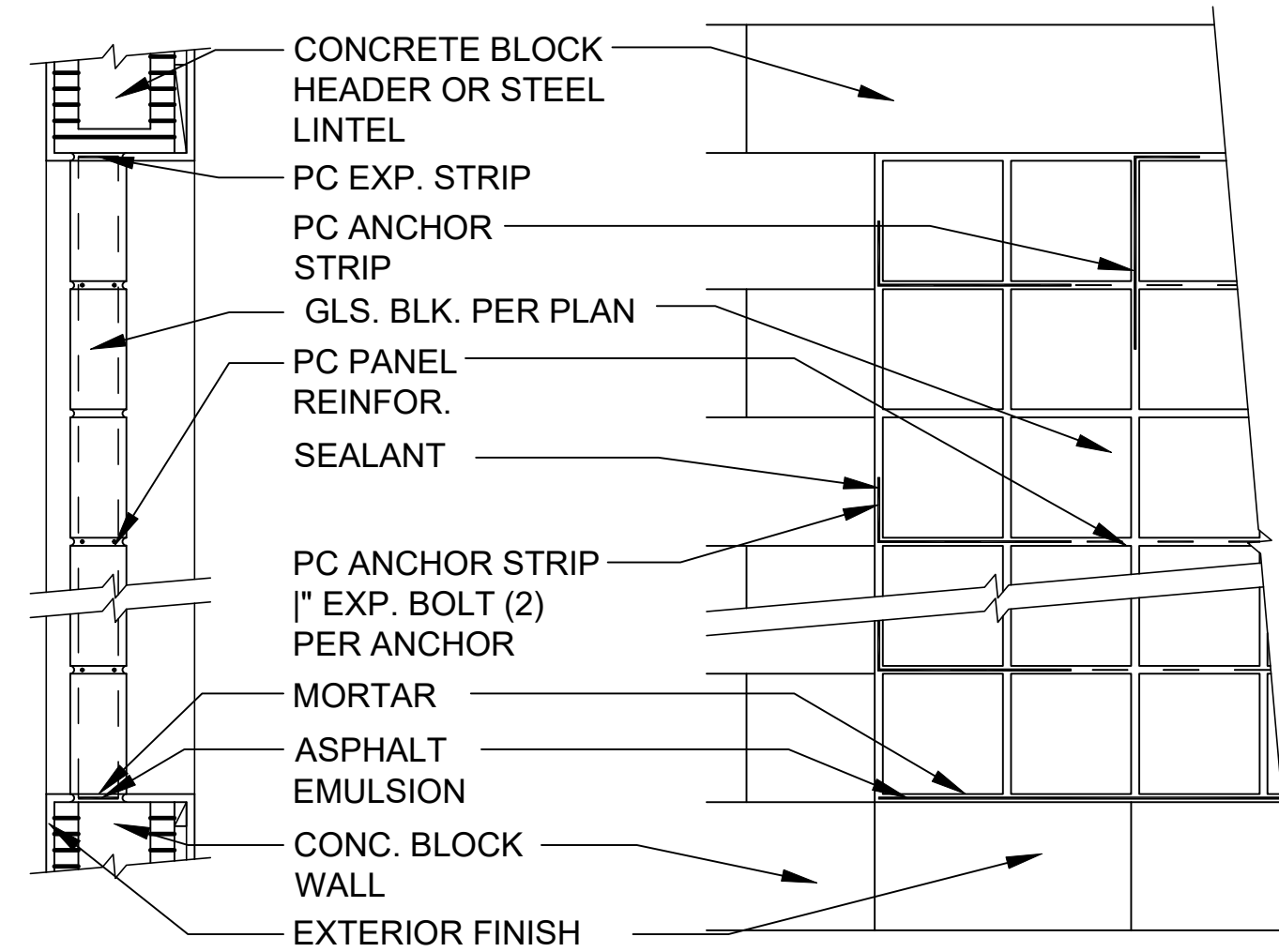
- APPLY BOTTOM PIECE OF SELF-ADHESIVE TYPE FLASHING OVER ALL OF ROUGH OPENING.
- SET WINDOW UNIT.
- APPLY 2ND BOTTOM PIECE OF SELF-ADHESIVE TYPE FLASHING OVER NAILING FIN AND BLDG PAPER.
- APPLY SIDE STRIPS OF SELF-ADHESIVE TYPE FLASHING.
- APPLY TOP PIECE OF SELF-ADHESIVE TYPE FLASHING.

NOTE:

SELF-ADHESIVE TYPE FLASHING IS A GENERIC TERM. SEE SPECIFICATIONS FOR MATERIAL TO BE USED.

IMPORTANT:

IT IS THE RESPONSIBILITY OF THE OWNER OR BUILDER TO SELECT PRODUCTS IN COMPLIANCE WITH APPLICABLE LAWS AND BUILDING CODES. DO NOT USE MURIATIC ACID ON HOMES AFTER INSTALLING THIS WINDOW. THE ACID MAY DESTROY THE COIL SPRING BALANCE SYSTEM. WINDOWS WILL NOT BE UNDER WARRANTY IF EXPOSED TO MURIATIC ACID. DO NOT LAY WINDOWS FLAT OR STORE IN SUN BEFORE INSTALLING. ALL WARRANTIES NULL AND VOID IF ANY VERTICAL HOLES ARE PUT INTO WINDOW SILL AREA OF ANY WINDOW.



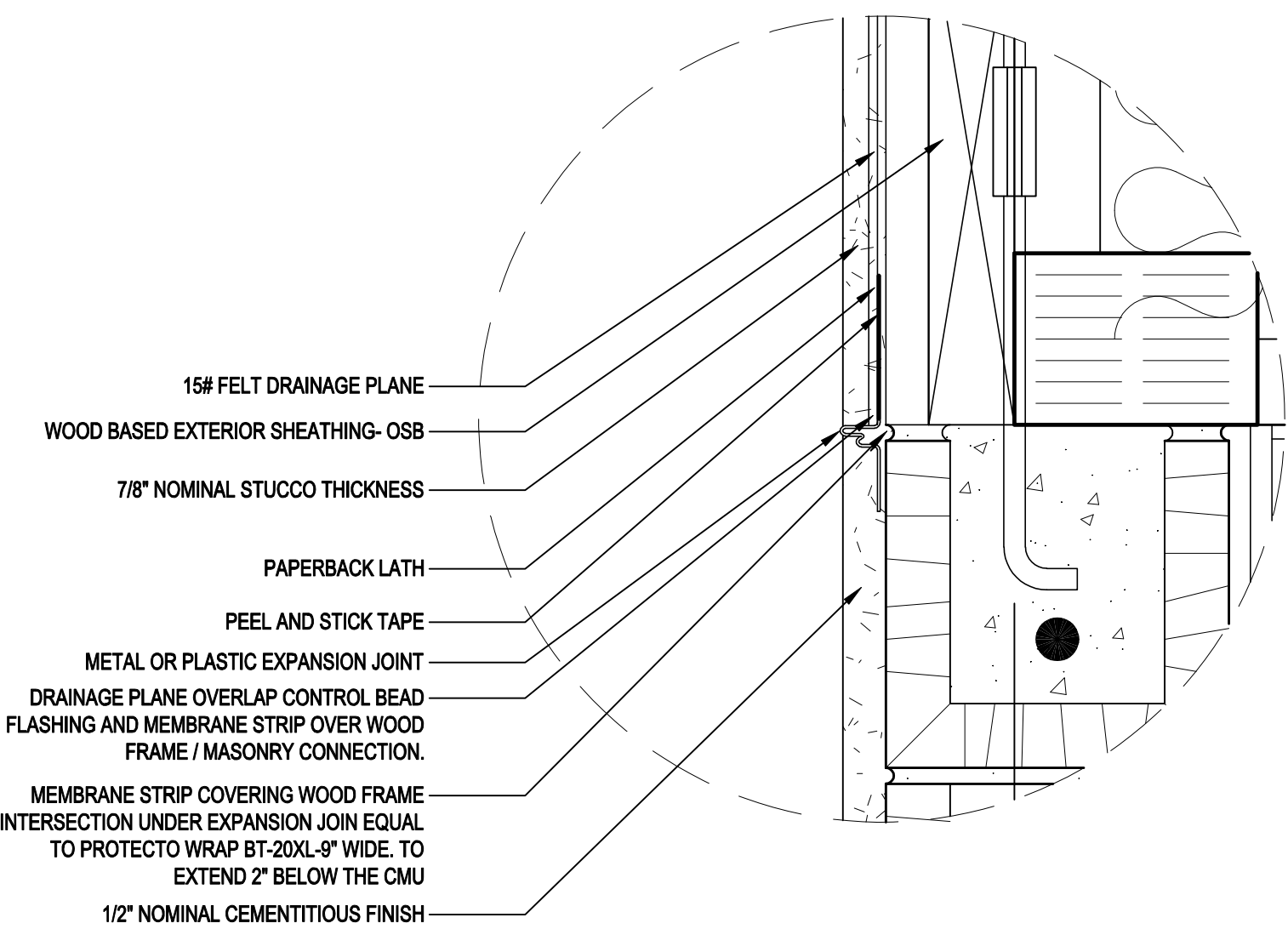
PANEL ANCHOR CONSTRUCTION

PC PANEL REINFORCING (TOP): USED IN PANELS OVER 25" S.F. IN AREA, IS EMBEDDED HORIZONTALLY IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1" O.C. (FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/ "PREMIERE" SERIES GLS. BLK.). W/ BUTT WELDED CROSSWIRES AT REGULAR INTERVALS. 4' AND 10' LENGTHS AVAILABLE.

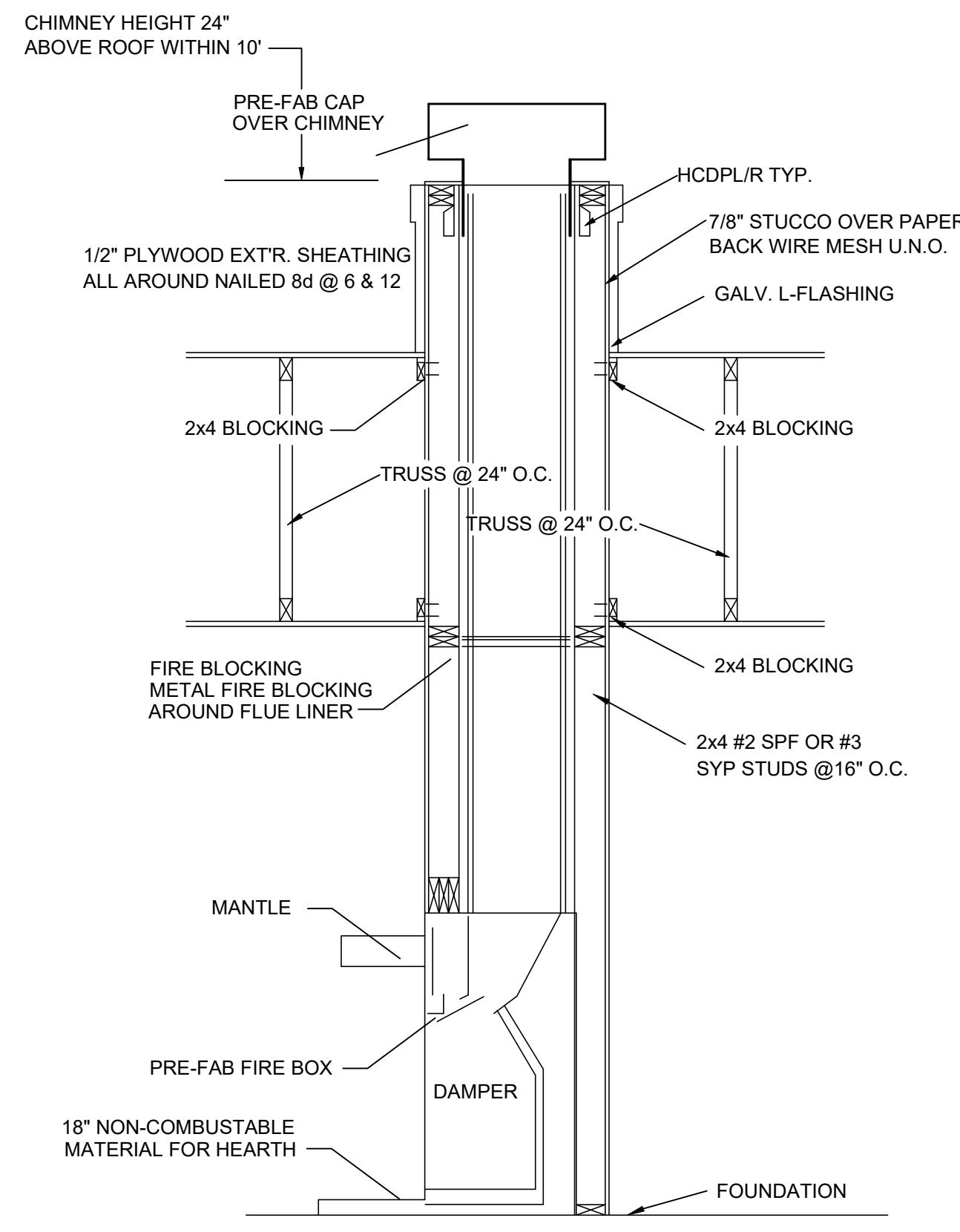
PC PANEL ANCHORS (MIDDLE): ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED-THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1" WIDTHS X 24" LENGTHS.

EXPANSION STRIPS (BOTTOM): MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE " THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3" "PREMIERE" SERIES BLK., AND TO 2" WIDTH, FOR 3" "THINLINE" SERIES BLOCK.

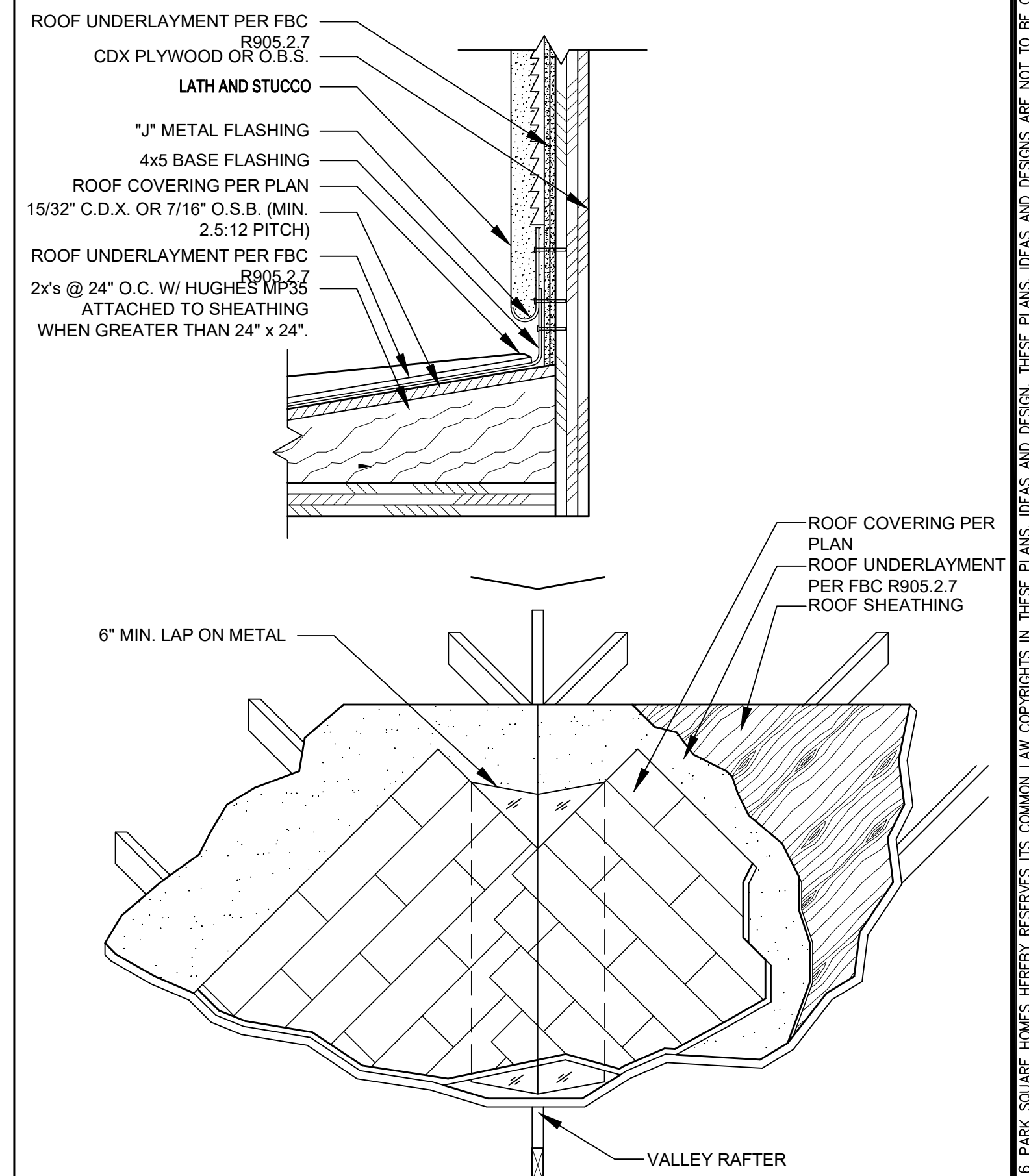
6 GLASS BLOCK DETAILS SCALE: N.T.S.



SCALE: 3" = 1'-0"



SCALE: N.T.S.



SCALE: N.T.S.

2 WINDOW FLASHING DETAILS

SCALE: N.T.S.

20 STUCCO BOND BREAK/FLASHING DETAIL

PRE-FAB FIREBOX

FLASHING DETAIL

DETAILS

D1

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ISSUE DATE	07/26/2017
REVISIONS	
PROJECT:	17-0208
SCALE:	AS NOTED
DRAWN BY:	KJ
DESIGNED BY:	MJS

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