



2384 HAMPTON (ORL) FLORIDA SERIES



SHEET INDEX:

ARCH SHEET SET		STRUCTURAL SHEET SET	
00	COVER SHEET	S1.A	FOUNDATION PLAN
A1.A	SLAB PLAN "ELEV. A"	S1.A1	FOUNDATION PLAN (OPT. 10'-0" BRG. HT.)
A1.A1	SLAB PLAN "ELEV. A" (OPT. 3-CAR GARAGE)	S1.A2	FOUNDATION PLAN (OPT. TRAY)
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A2.A	FLOOR PLAN "ELEV. A"	S2.A2	PRE-CAST LINTEL (OPT. TRAY)
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A2.B1	FLOOR PLAN "ELEV. B" (OPT. 10'-0" BRG. HT.)	S3.A	ROOF FRAMING PLAN (MID FLORIDA)
A2.B2	FLOOR PLAN "ELEV. A" (OPT. 3-CAR GARAGE)	S3.A1	ROOF FRAMING (OPT. 10'-0" BRG. HT.) (MID FLORIDA)
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A2.C2	FLOOR PLAN "ELEV. A" (OPT. 3-CAR GARAGE)	S1.B1	FOUNDATION PLAN (OPT. 10'-0" BRG. HT.)
A3.A	FRONT & REAR ELEVATIONS "ELEV. A"	S1.B2	FOUNDATION PLAN (OPT. TRAY)
A3.A1	FRONT & REAR ELEVATIONS "ELEV. A" (OPT. 10'-0" BRG. HT.)	S2.B	PRE-CAST LINTEL PLAN
A3.A2	FRONT & REAR ELEVATIONS "ELEV. A" (OPT. 3-CAR GARAGE)	S2.B1	PRE-CAST LINTEL (OPT. 10'-0" BRG. HT.)
A3.B	FRONT & REAR ELEVATIONS "ELEV. B"	S2.B2	PRE-CAST LINTEL (OPT. TRAY)
A3.B1	FRONT & REAR ELEVATIONS "ELEV. B" (OPT. 10'-0" BRG. HT.)	S3.B	ROOF FRAMING PLAN (CCA)
A3.B2	FRONT & REAR ELEVATIONS "ELEV. B" (OPT. 3-CAR GARAGE)	S3.B1	ROOF FRAMING (OPT. 10'-0" BRG. HT.) (CCA)
A3.C	FRONT & REAR ELEVATIONS "ELEV. C"	S3.B2	ROOF FRAMING (OPT. TRAY) (CCA)
A3.C1	FRONT & REAR ELEVATIONS "ELEV. C" (OPT. 10'-0" BRG. HT.)	S3.B	ROOF FRAMING PLAN (MID FLORIDA)
A3.C2	FRONT & REAR ELEVATIONS "ELEV. C" (OPT. 3-CAR GARAGE)	S3.B1	ROOF FRAMING (OPT. 10'-0" BRG. HT.) (MID FLORIDA)
A4.A	LEFT & RIGHT ELEVATIONS "ELEV. A"	S3.B2	ROOF FRAMING (OPT. TRAY) (MID FLORIDA)
A4.A1	LEFT & RIGHT ELEVATIONS "ELEV. A" (OPT. 10'-0" BRG. HT.)	S1.C	FOUNDATION PLAN
A4.A	LEFT & RIGHT ELEVATIONS "ELEV. A" (OPT. 3-CAR GARAGE)	S1.C1	FOUNDATION PLAN (OPT. 10'-0" BRG. HT.)
A4.B	LEFT & RIGHT ELEVATIONS "ELEV. B"	S1.C2	FOUNDATION PLAN (OPT. TRAY)
A4.B1	LEFT & RIGHT ELEVATIONS "ELEV. B" (OPT. 10'-0" BRG. HT.)	S2.C	PRE-CAST LINTEL PLAN
A4.B	LEFT & RIGHT ELEVATIONS "ELEV. B" (OPT. 3-CAR GARAGE)	S2.C1	PRE-CAST LINTEL (OPT. 10'-0" BRG. HT.)
A4.C	LEFT & RIGHT ELEVATIONS "ELEV. C"	S2.C2	PRE-CAST LINTEL (OPT. TRAY)
A4.C1	LEFT & RIGHT ELEVATIONS "ELEV. C" (OPT. 10'-0" BRG. HT.)	S3.C	ROOF FRAMING PLAN (CCA)
A4.C	LEFT & RIGHT ELEVATIONS "ELEV. C" (OPT. 3-CAR GARAGE)	S3.C1	ROOF FRAMING (OPT. 10'-0" BRG. HT.) (CCA)
A5.A	ELECTRICAL PLAN "ELEV. A"	S3.C2	ROOF FRAMING (OPT. TRAY) (CCA)
A5.A1	ELECTRICAL PLAN "ELEV. A" (OPT. 3-CAR GARAGE)	S3.C	ROOF FRAMING PLAN (MID FLORIDA)
A5.BC	ELECTRICAL PLAN "ELEV. B,C"	S3.C1	ROOF FRAMING (OPT. 10'-0" BRG. HT.) (MID FLORIDA)
A5.BC1	ELECTRICAL PLAN "ELEV. B,C" (OPT. 3-CAR GARAGE)	S3.C2	ROOF FRAMING (OPT. TRAY) (MID FLORIDA)
A6	ARCHITECTURAL DETAILS	D1	STRUCTURAL NOTES & DETAILS
		D2	STRUCTURAL DETAILS
		D3	STRUCTURAL DETAILS
		D4	STRUCTURAL DETAILS
		D5	STRUCTURAL DETAILS
		D6	SOFFIT INSTALL DETAILS
		D7	PRODUCT APPROVAL (NORTH RIVER RANCH ONLY)

DISTRIBUTED LIVE LOAD

(IN POUNDS PER SQ. FT.)

UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD-IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	40
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

ANSI STANDARD FOR MEASURING HOUSES

THE ANSI STANDARD FOR MEASURING HOUSES: NATIONAL STANDARD Z765-1996 NEW CONSTRUCTION THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS. FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS ARENT USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE USUALLY LISTED SEPARATELY.

THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS SEPARATED INTO TWO AREAS:

- AIR-CONDITIONED SPACE
- NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES, BREEZEWAYS)

THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE USUALLY LISTED SEPARATELY.

GENERAL CONTRACTOR:

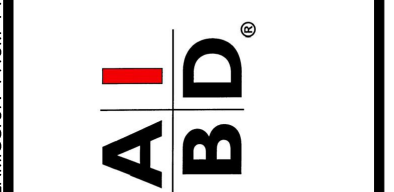
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH SINGLE FAMILY HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.

REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:
1	07/17/19	REVISED STUDY WINDOW FROM F.G. TO S.H. / CHANGED FOYER HEIGHT TO 9'-4" CLG. / CHANGED DBL. WINDOWS IN MASTER TO TRIPLE / REMOVED FOYER F.G. TRANSOM IN "C" ELEV.	C.C.
2	08/29/19	ADDED WINDOW GRIDS TO ELEVATIONS	C.C.
3	09/18/19	REVISED KITCHEN BARTOP	C.C.
4	10/17/19	REVISED KITCHEN PER REVISIONS RECEIVED FROM MONICA WERLING	C.C.
5	02/18/20	REVISED FLOOR PLAN PER VIRTUAL FRAME WALK	C.C.
6	03/15/20	RE-REVISED FLOOR PLAN, ELEVATIONS & ELEC. PAGES PER NEW REVISIONS	C.C.
7	12/04/20	ADDED OPT. RECESSED CANS TO BEDROOM #2, 3 & 4	C.C.
8	12/04/20	REVISED FRONT ENTRY OF ELEVATION "C" TO 13'-4" BLK. BRG.	C.C.
9	08/18/21	REVISED PLANS PER REVISION REQUESTS AND MASTER REVIEW	C.C.
10	02/18/22	ADDED ROOF VENT NOTES TO ELEVATIONS	M.C.
11	03/31/22	FOR ELEVATION "C", REMOVED SHELF BEHIND W.C. IN MASTER BATH. RELOCATED SWITCHES AT STUDY TO BLOCK WALL.	M.C.
12	08/08/22	FOR ELEVATIONS "A&B", REMOVED SHELF BEHIND W.C. IN MASTER BATH. RELOCATED WALL MOUNTED LIGHT AT LANAI.	M.C.
13	08/08/22	LABEL A/C ROOM DOOR AS 2868, CHANGE THE 6" WIDE SMOOTH FINISH BAND ON DETAIL #3 TO FOAM AND SHOW THICKNESS FOR THE 2" WIDE 72"x28" FOAM BAND.	A.M.
14	08/30/22	ADDED WATER PROOFING NOTE	A.M.
15	12/12/22	DEVELOPED 3-CAR GARAGE OPTION	C.C.
16	06/08/23	REPLACED CROWN MOLDING FOR ELEV.C WITH 4" WIDE STUCCO BAND & REMOVED WING WALLS FROM HALLWAYS	C.C.
17	08/23/23	DELETED TAMPA HAMPTON MASTER, MADE TANKLESS WH OPTIONAL AND TANK WH STANDARD, CHANGED T&G ON ELEVATION A TO SCORED STUCCO.	C.C.
18	11/28/23	INCLUDED A WINDOW BAND ON THE TOP OF THE DOUBLE WINDOW FOR THE ELEVATION A.	G.P.
19	11/28/23	INCLUDED A WINDOW BAND ON THE TOP OF THE DOUBLE WINDOW FOR THE ELEVATION A.	G.P.
20	04/12/2024	UPDATED SQ FEET FROM 2375 TO 2384	D.M.
21			
22			
23			
24			
25			
26			



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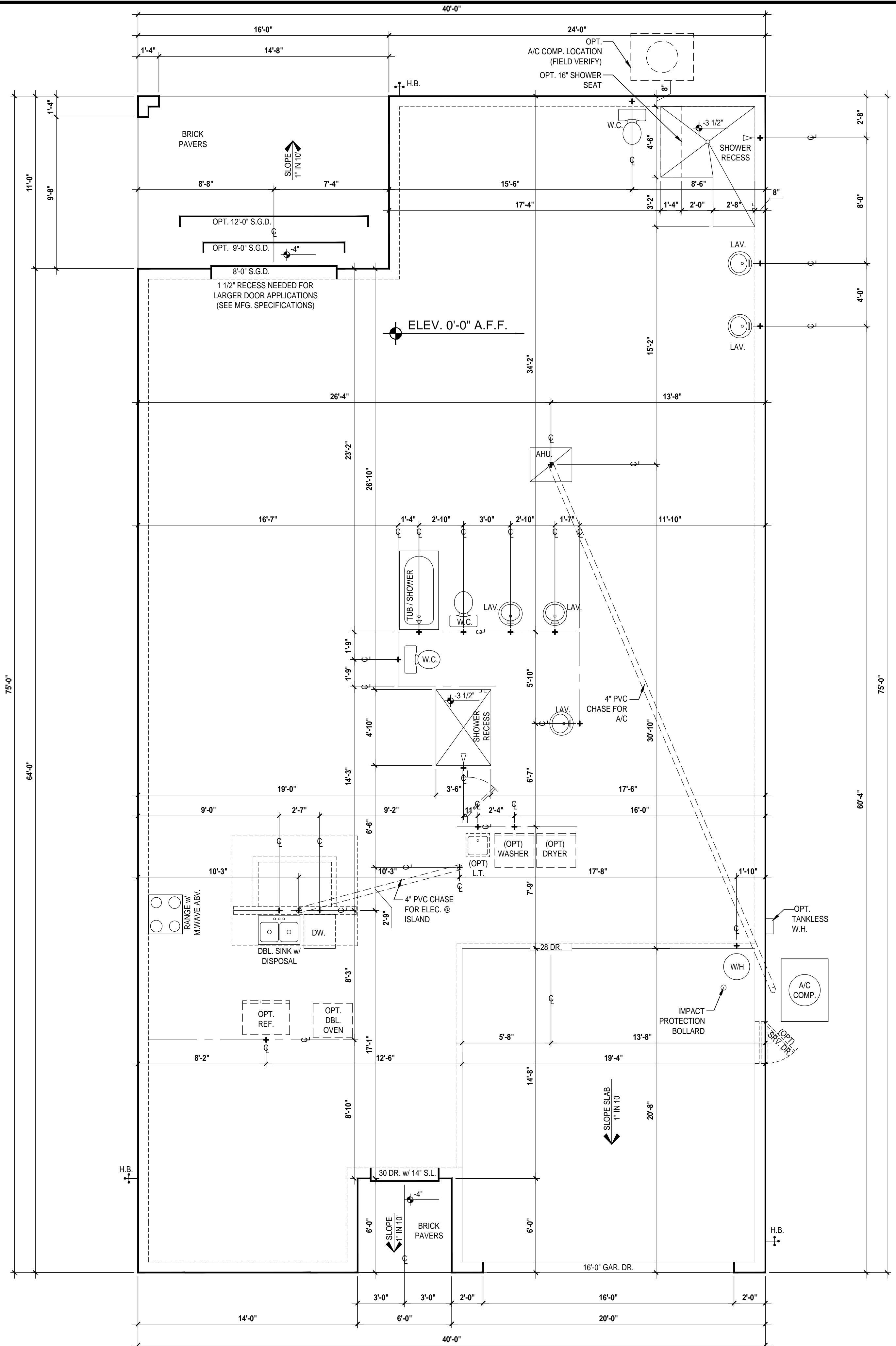
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ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

COVER PAGE
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Slab Plan "A"
(Standard)
SCALE: 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:**
- 20 = 2'-0"
 - 24 = 2'-4"
 - 28 = 2'-8"
 - 30 = 3'-0"
 - 40 B.F. = 4'-0" BIFOLD
 - 50 B.F. = 5'-0" BIFOLD
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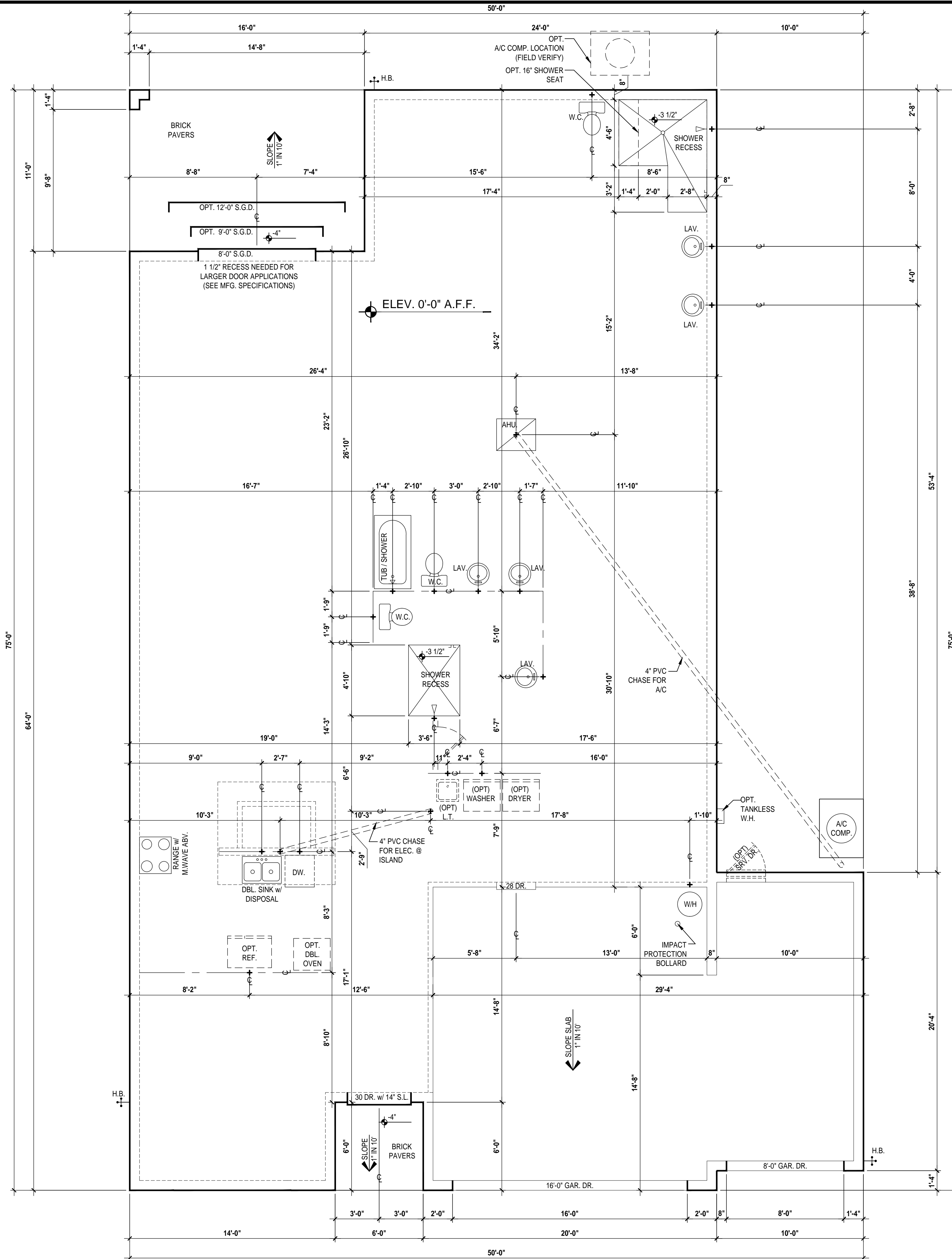
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SLAB PLAN
A1.A

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Slab Plan "A"
 (Opt. 3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)

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2. DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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 30 = 3'-0"

* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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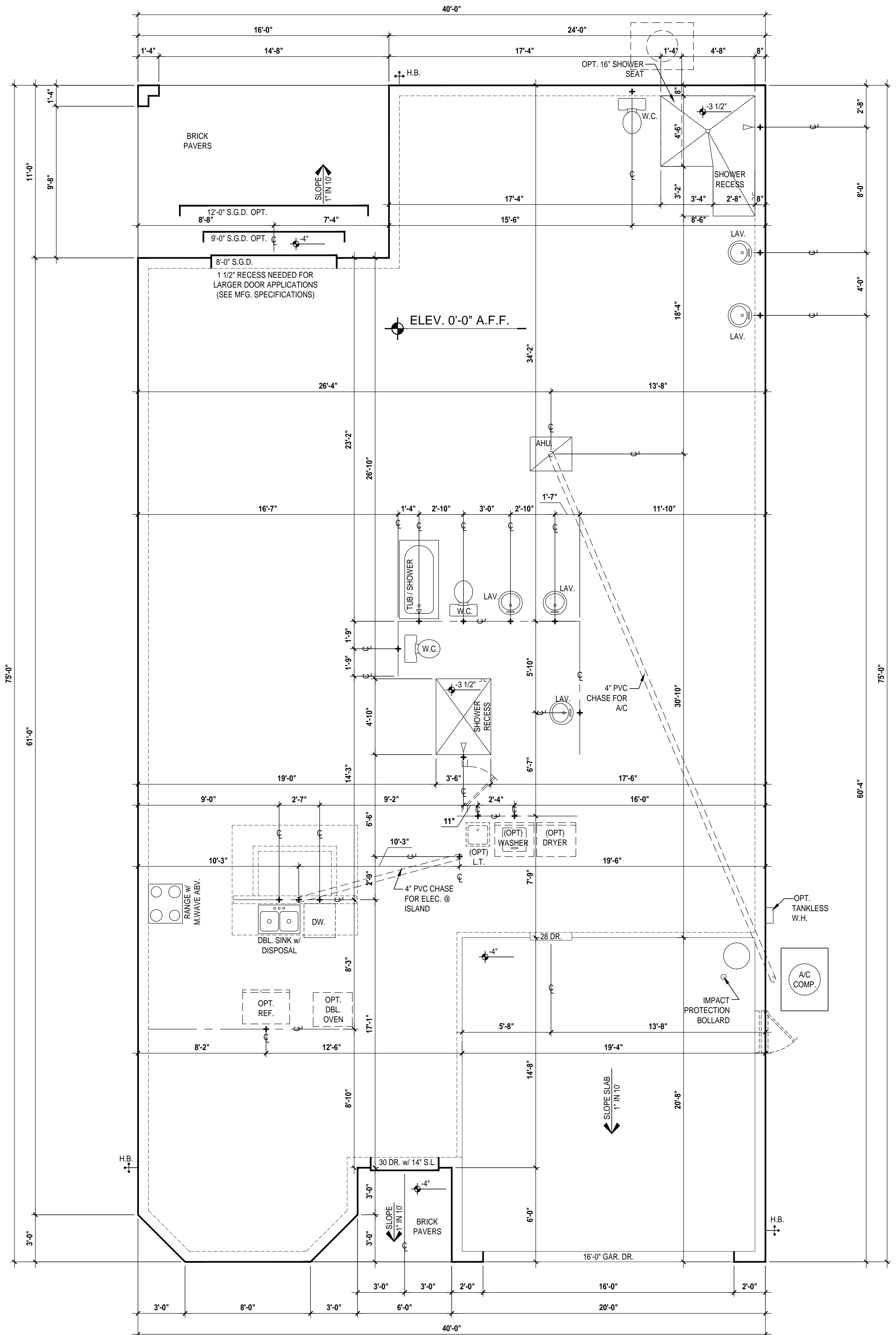
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Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

SLAB PLAN
A1.A1

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Slab Plan "B,C"
(Standard)

SCALE: 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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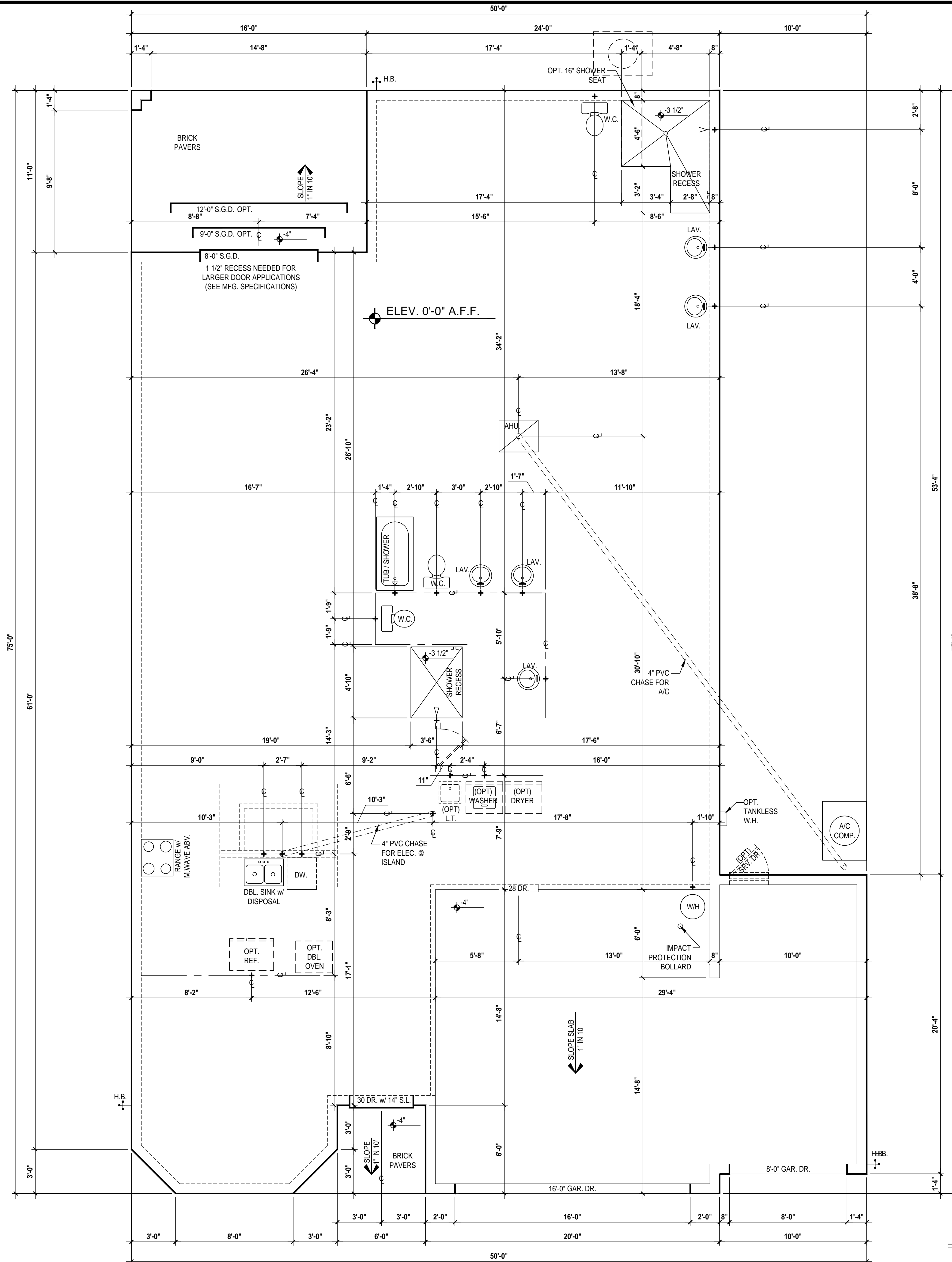
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SLAB PLAN
A1.BC

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Slab Plan "B,C"
(Standard)
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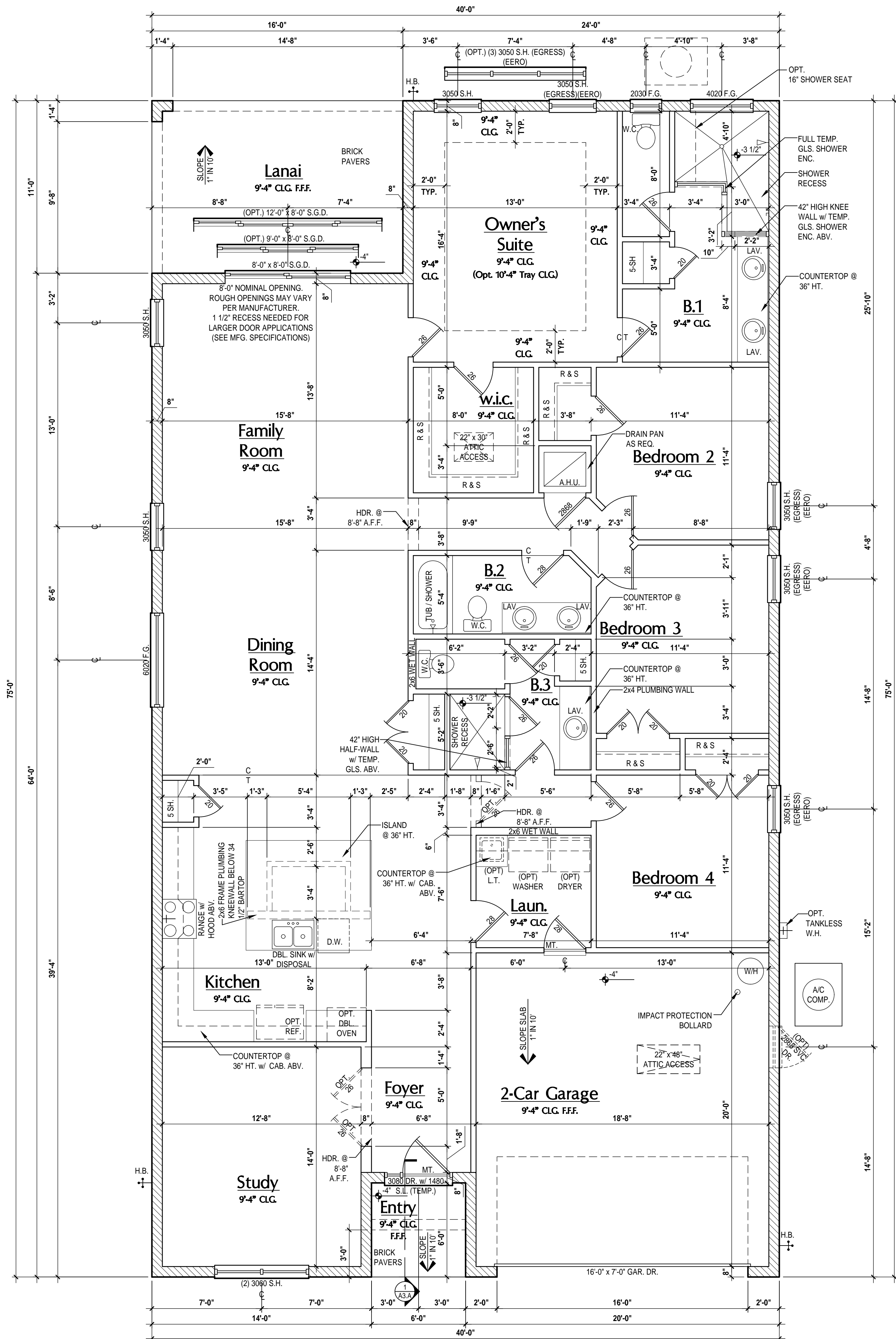
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PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

SLAB PLAN
A1.BC



BRG. HT. LEGEND

POURED CONCRETE FILLED CELL WITHIN AN 8" CMU WALL, U.N.O. w/ (1) VERT. #5 REBAR CONT. FROM FOUNDATION SLAB TO BOND BEAM. (MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS)

	9'-4\"/>	PER PLAN
	10'-0\"/>	

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2023) FLORIDA BUILDING CODE (6TH EDITION)

2 - # OF DOORS.	GLASS
2 - # OF WINDOWS.	SH - SINGLE HUNG
MT - METAL THRESHOLD	DH - DOUBLE HUNG
FR - FRENCH DOORS	HR - HORIZONTAL ROLLER
SL - SIDE LIGHT	BP - BYPASS
FG - FIXED GLASS	BF - BIFOLD
TR - TRANSOM	TYP. - TYPICAL
GB - GLASS BLOCK	NOTE: SPECIALTY WINDOWS/DOORS
PKT - POCKET DOOR	FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
OBS - OBSCURED GLASS	
TEMP - TEMPERED	

- FLOOR PLAN NOTES:**
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 - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
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 - PROVIDE RECESS H3C WATER W/ DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
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 - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SVS = SHEAR WALL SEGMENTS.
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DOOR NOTE KEY:

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20 = 2'-0"	30 = 3'-0"
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2040 = 2'-0" x 4'-0"	
2050 = 2'-0" x 5'-0"	
2060 = 2'-0" x 6'-0"	

Area Tabulations

Living:	
1st floor:	2,384 sf
Total Living:	2,384 sf
entry:	36 sf
covered lanai:	176 sf
garage:	404 sf
Total Area:	3,000 sf

Floor Plan "A"
(Standard)
SCALE: 1/4" = 1'-0" (22x34)

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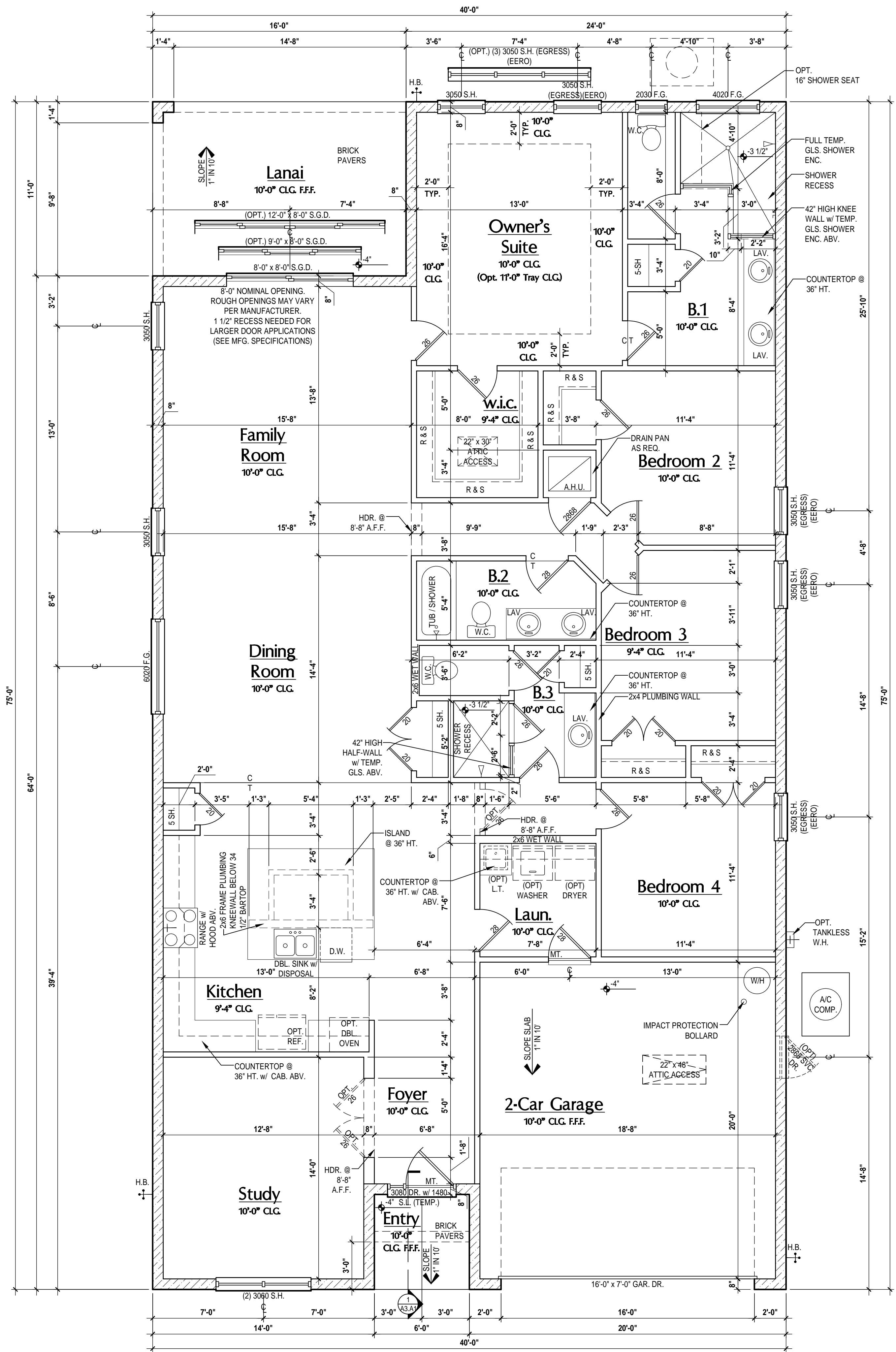
40-2384
The Hampton
Lot #X- Subdivision
Street Address
City, State, Zip

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Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A2.A



BRG. HT. LEGEND

POURED CONCRETE FILLED CELL WITHIN AN 8" CMU WALL, U.N.O. w/ (1) VERT. #5 REBAR CONT. FROM FOUNDATION SLAB TO BOND BEAM. (MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS)

9'-4" BRG. HT. 10'-0" BRG. HT. FRAME WALL PER PLAN

GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

ABBREVIATIONS:

2 - # OF DOORS.	GLASS
2 - # OF WINDOWS.	SH - SINGLE HUNG
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FR - FRENCH DOORS	HR - HORIZONTAL ROLLER
SL - SIDE LIGHT	BP - BYPASS
FG - FIXED GLASS	BF - BIFOLD
TR - TRANSOM	TYP. - TYPICAL
GB - GLASS BLOCK	NOTE: SPECIALTY WINDOWS/DOORS
PKT - POCKET DOOR	FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
OBS - OBSCURED GLASS	
TEMP - TEMPERED	

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Total Area:	3,000 sf

Floor Plan "A"
(Opt. 10'-0" Brg. Ht.)
SCALE: 1/4" = 1'-0" (22x34)

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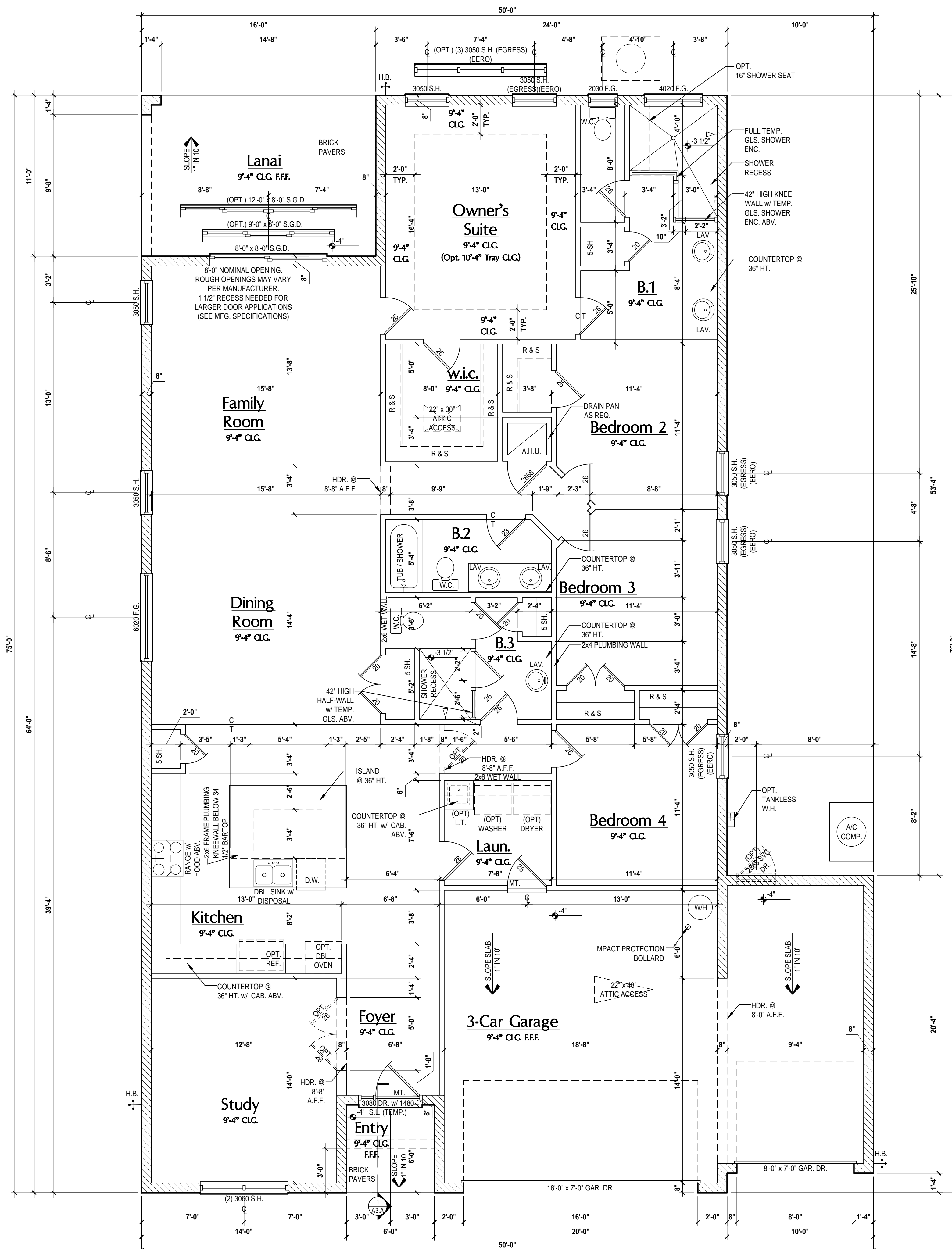
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Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A2.A1



BRG. HT. LEGEND

POURED CONCRETE FILLED CELL WITHIN AN 8" CMU WALL, U.N.O. w/ (1) VERT. #5 REBAR CONT. FROM FOUNDATION SLAB TO BOND BEAM. (MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS)

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Living:	
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Total Living:	2,384 sf
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covered lanai:	176 sf
garage:	607 sf
Total Area:	3,203 sf

Floor Plan "A"
(Standard)
SCALE: 1/4" = 1'-0" (22x34)

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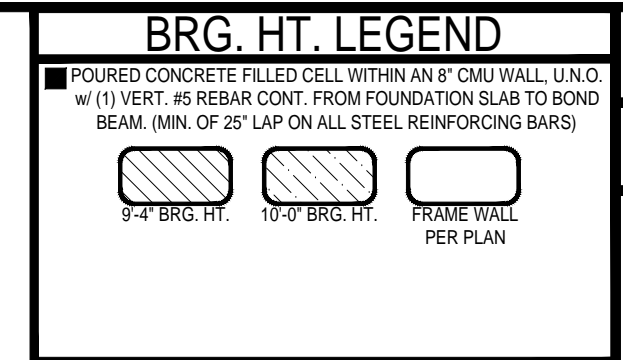
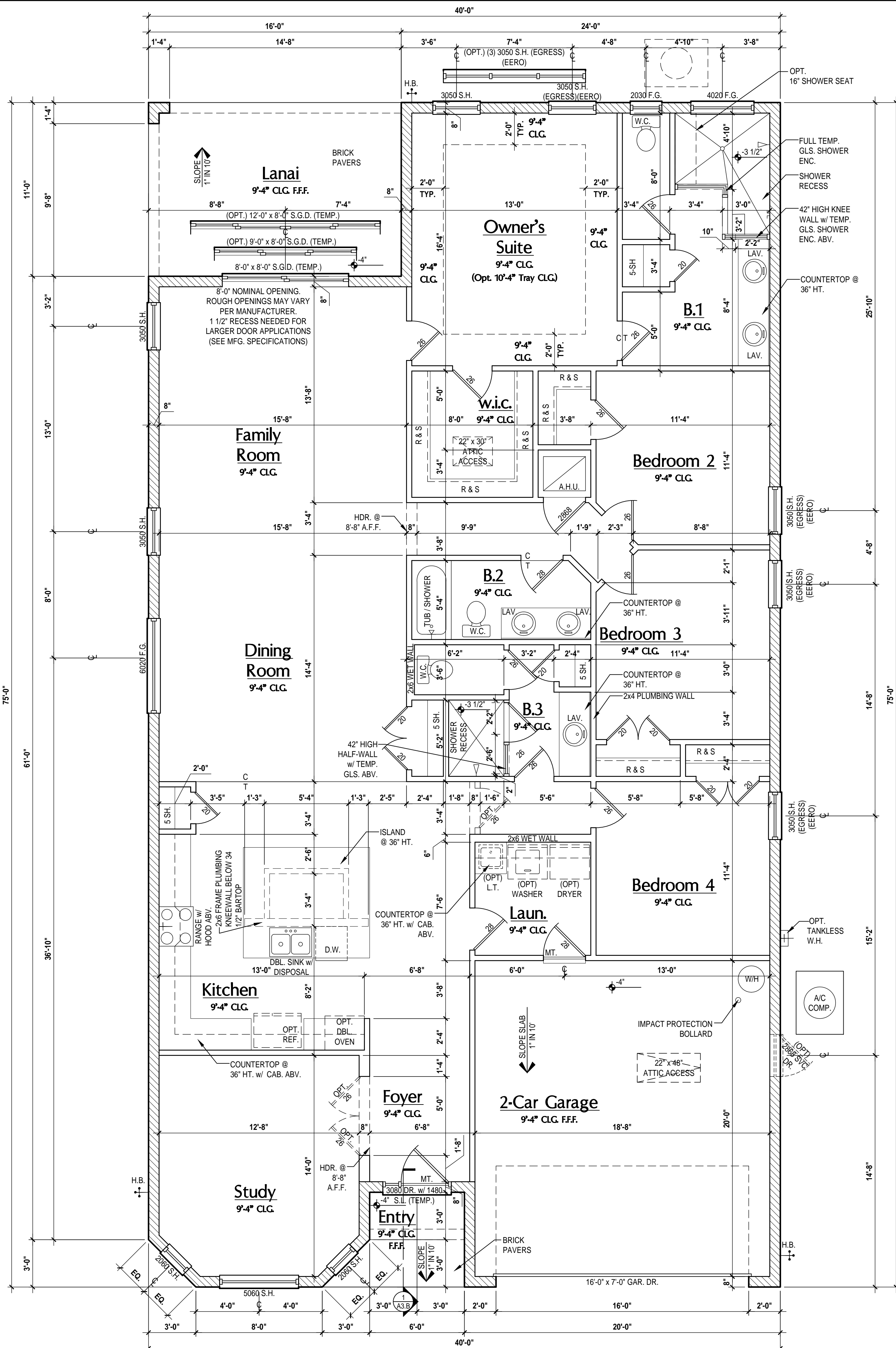
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Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A2.A2

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2040 = 2'-0" x 4'-0"	ARE MEASURED IN FEET
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Area Tabulations

Living:	
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Total Living:	2,384 sf
entry:	41 sf
covered lanai:	176 sf
garage:	404 sf
Total Area:	3,005 sf

Floor Plan "B"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)

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ISSUE DATE 12/06/2022

REVISIONS

PROJECT: 22-1082

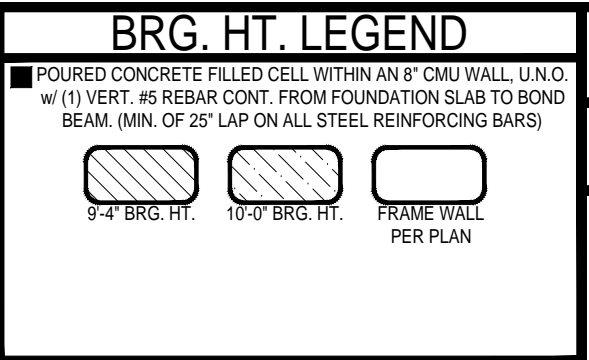
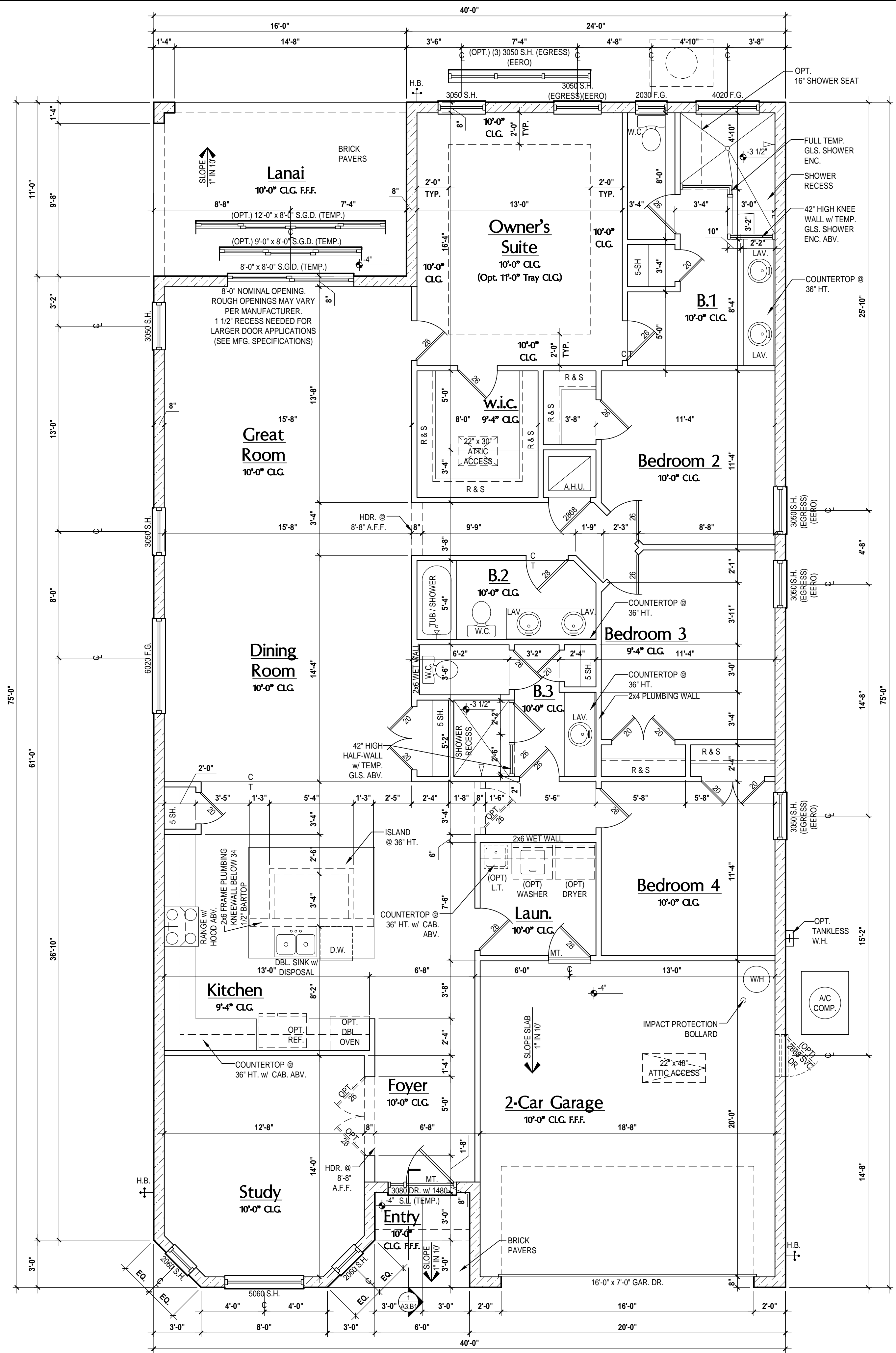
SCALE: AS NOTED

DRAWN BY: M.C.

DESIGNED BY: MJS

FLOOR PLAN

A2.B



GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

ABBREVIATIONS:	GLASS
2 - # OF DOORS.	SH - SINGLE HUNG
2 - # OF WINDOWS.	DH - DOUBLE HUNG
MT - METAL THRESHOLD	HR - HORIZONTAL ROLLER
FR - FRENCH DOORS	BP - BYPASS
SL - SIDE LIGHT	BF - BIFOLD
FG - FIXED GLASS	TYP. - TYPICAL
TR - TRANSOM	
GB - GLASS BLOCK	NOTE: SPECIALTY WINDOWS/DOORS
PKT - POCKET DOOR	FIXED GLASS WINDOWS, AND
OBS - OBSCURED GLASS	TRANSOMS ARE NOTED ON PLANS.
TEMP - TEMPERED	

- FLOOR PLAN NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 - PROVIDE RECESS H3C WATER W/ DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.N.O.
 - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
 - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
 - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SVS = SHEAR WALL SEGMENTS.
 - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H. U.N.O.
 - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 - 1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND SIDES.
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WINDOW NOTE KEY:

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Area Tabulations

Living:	
1st floor:	2,384 sf
Total Living:	2,384 sf
entry:	41 sf
covered lanai:	176 sf
garage:	404 sf
Total Area:	3,005 sf

Floor Plan "A&B"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)

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 THOMPSON ENGINEERING GROUP, INC.
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MJS
 designers group
 residential-commercial-architecture

AI BID

GOBA
 GREATER ORLANDO BUILDERS ASSOCIATION

40-2384

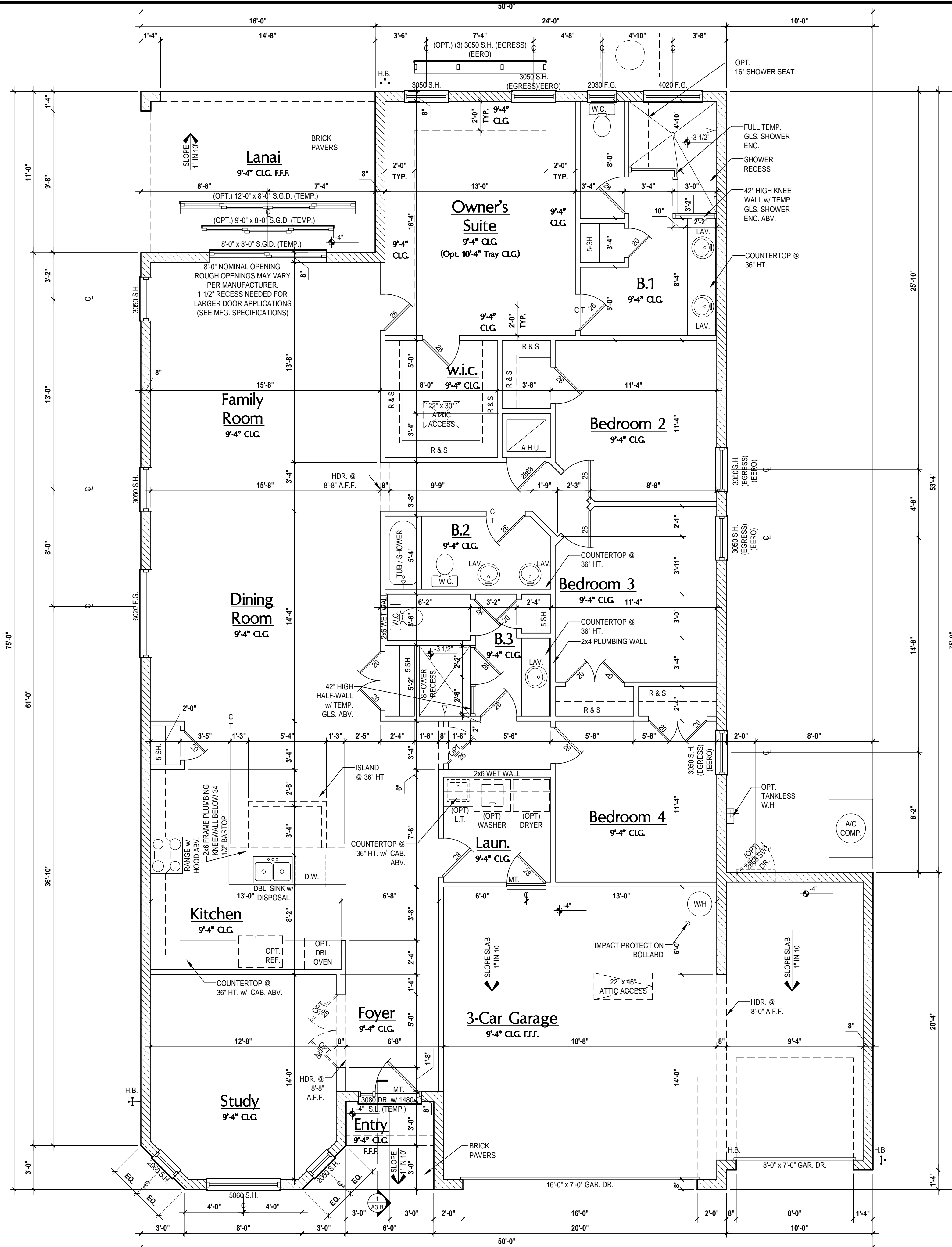
The Hampton
 Lot #X- Subdivision
 Street Address
 City, State, Zip

A division of Park Square
 Enterprises Inc.
 5200 Vineland Rd. Suite # 200
 Orlando, FL 32811
 Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A2.B1



BRG. HT. LEGEND	
	9-4 BRG. HT.
	10-0 BRG. HT.
	FRAME WALL PER PLAN

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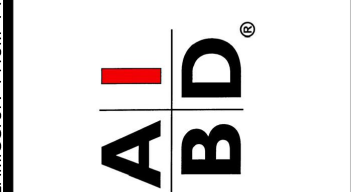
Area Tabulations

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Total Living:	2,384 sf
entry:	41 sf
covered lanai:	176 sf
garage:	607 sf
Total Area:	3,208 sf

Floor Plan "B"
(Opt. 3-car Garage)
SCALE: 1/4" = 1'-0" (22x34)



815 Orienta Ave. Suite# 1040
Altamonte Springs, FL 32701
Ph: (407) 629-6711
Fax: (407) 629-6776
www.mjshomedesigns.com



40-2384
The Hampton
Lot #X- Subdivision
Street Address
City, State, Zip

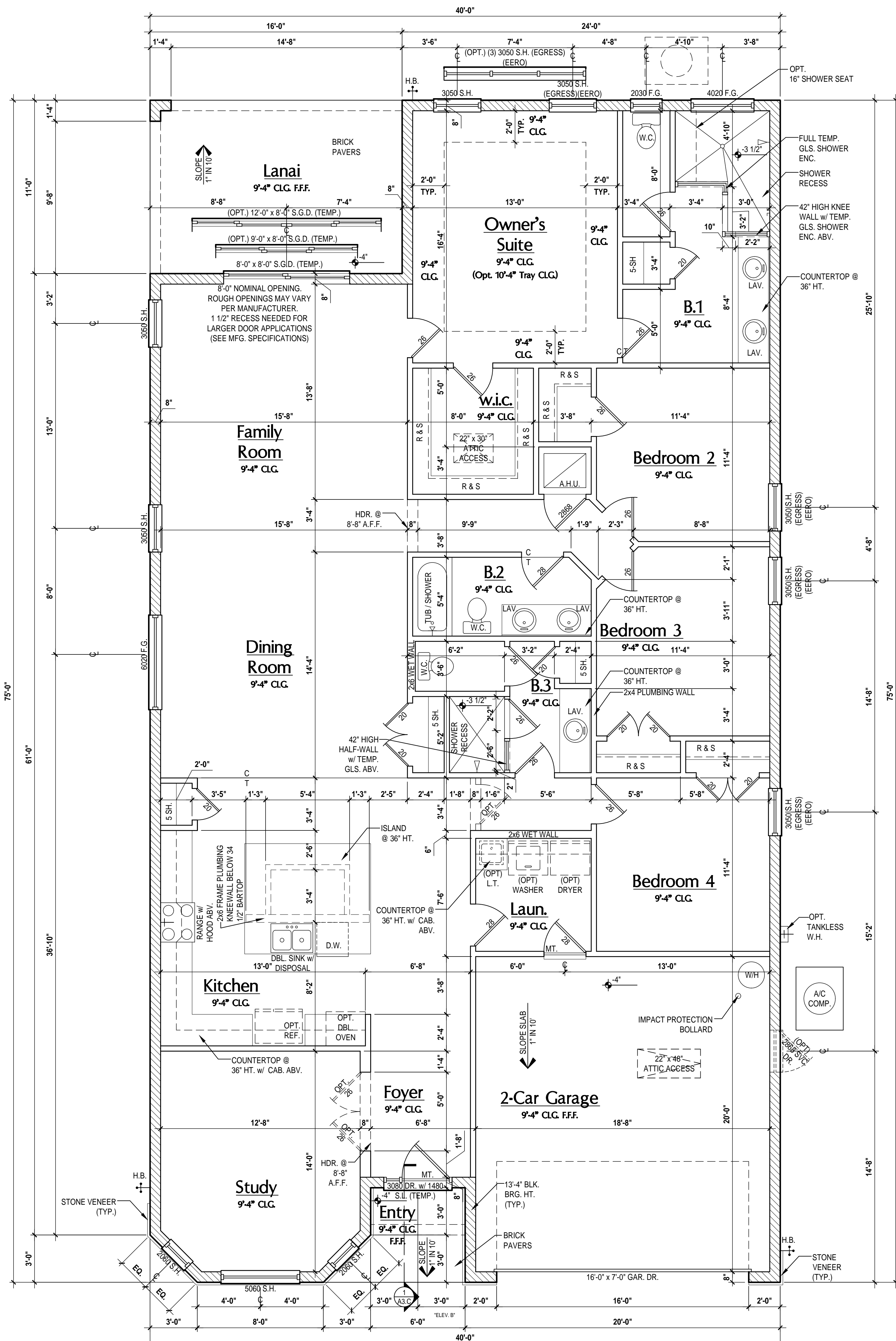
A division of Park Square Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A2.B2

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Floor Plan "C"
 (Standard)
 SCALE: 1/4" = 1'-0" (22x34)



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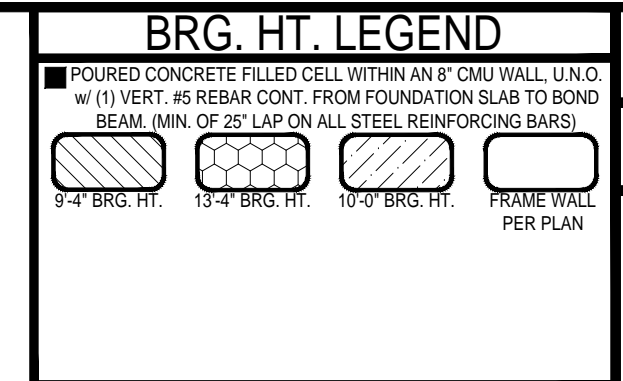
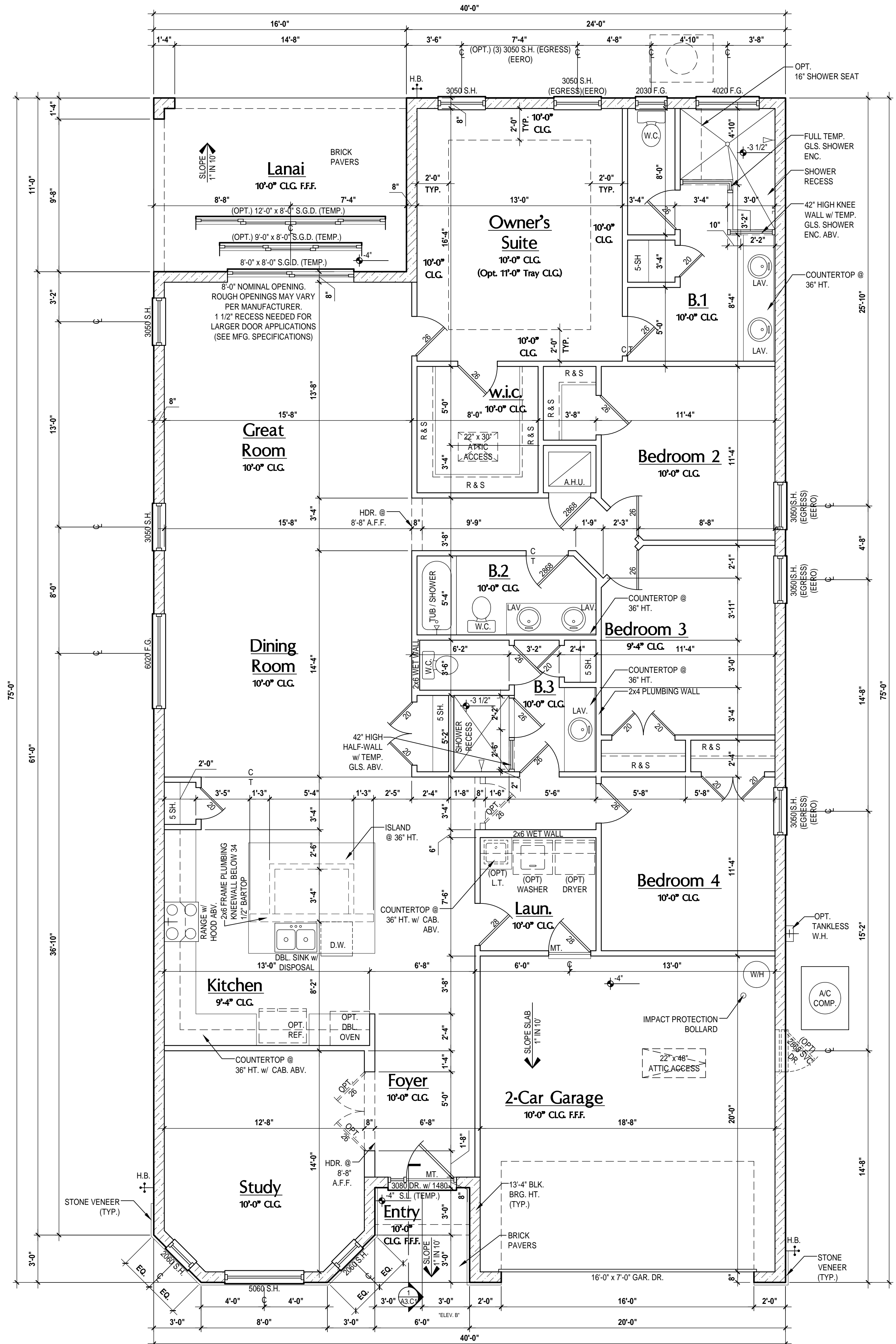
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FLOOR PLAN
A2.C

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 FR - FRENCH DOORS.
 SL - SIDE LIGHT.
 FG - FIXED GLASS.
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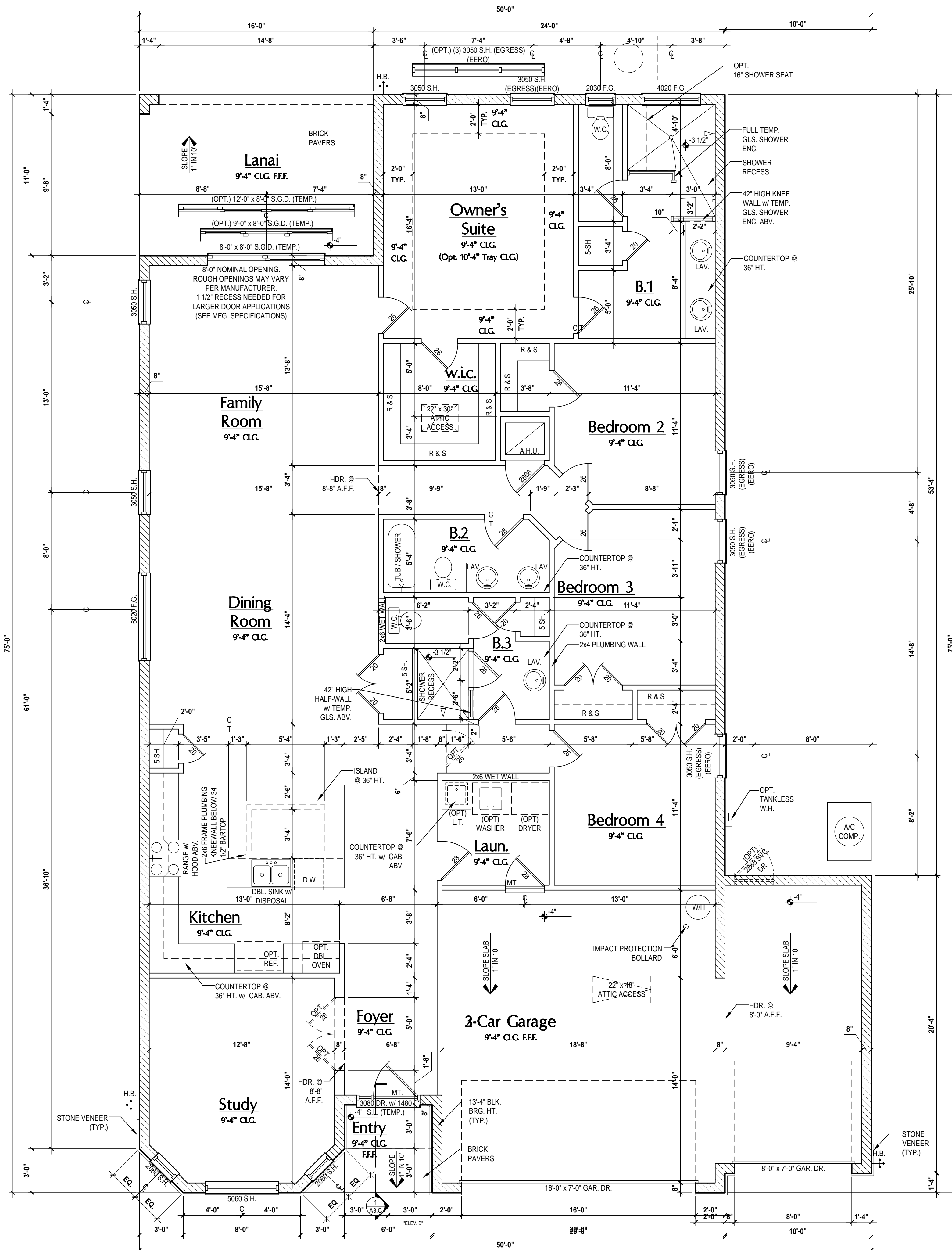
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FLOOR PLAN
A2.C1

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BRG. HT. LEGEND

	9'-4" BRG. HT.
	13'-4" BRG. HT.
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	FRAME WALL PER PLAN

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	60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:	ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.
2040 = 2'-0" x 4'-0"	
2050 = 2'-0" x 5'-0"	
2060 = 2'-0" x 6'-0"	

Area Tabulations

Living:	
1st floor:	2,384 sf
Total Living:	2,384 sf
entry:	41 sf
covered lanai:	176 sf
garage:	404 sf
Total Area:	3,005 sf

Floor Plan "C"
(Opt. 3-car Garage)
SCALE: 1/4" = 1'-0" (22x34)

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40-2384

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Lot #XX- Subdivision
Street Address
City, State, Zip

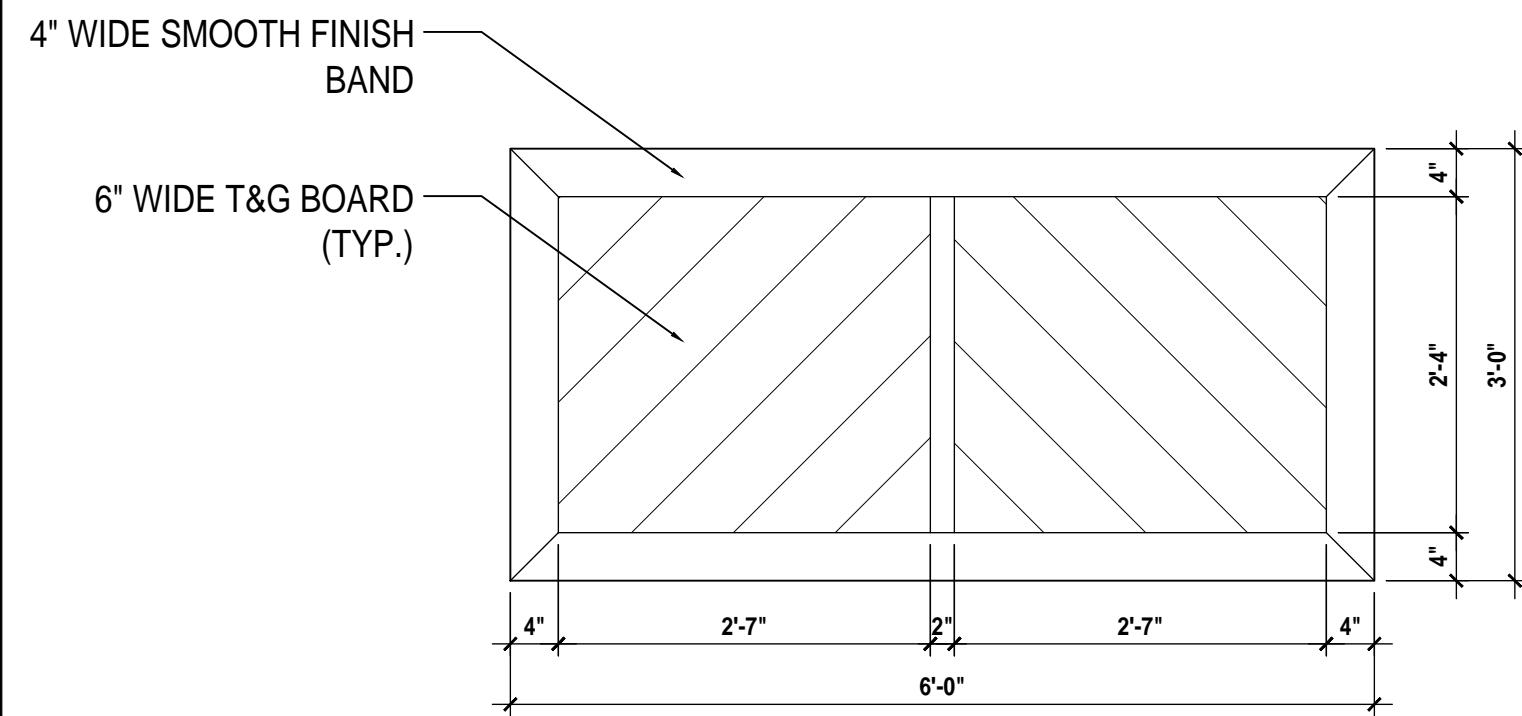
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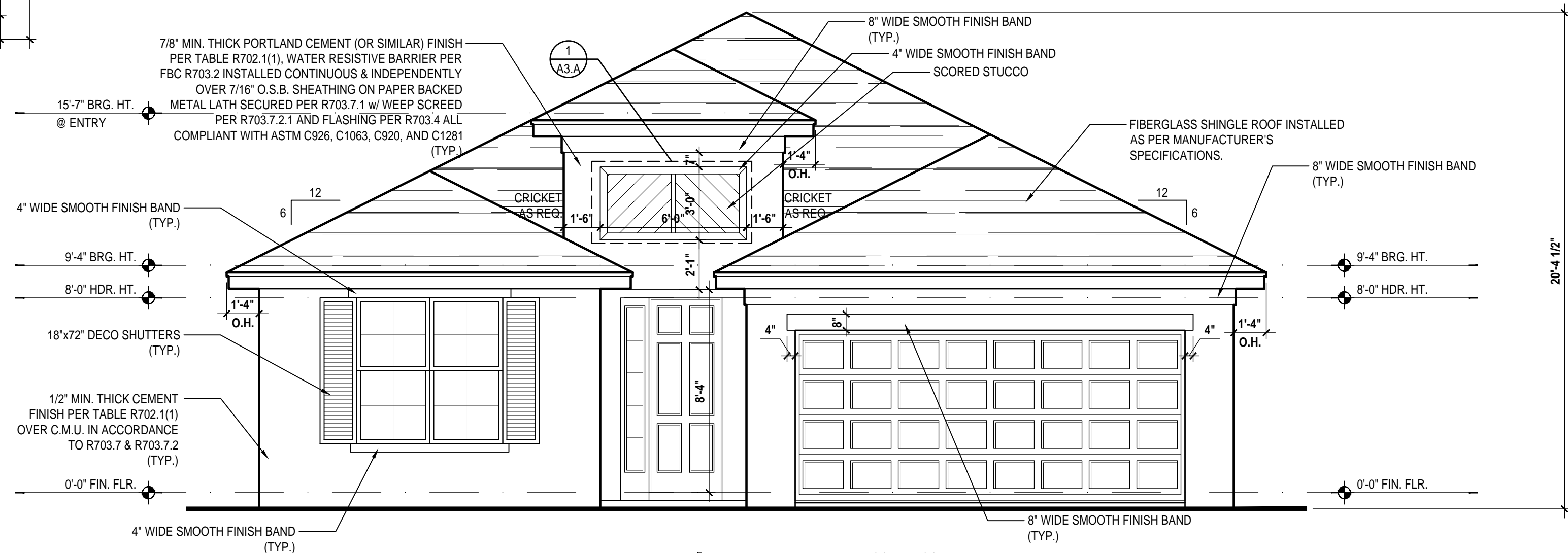
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FLOOR PLAN
A2.C2

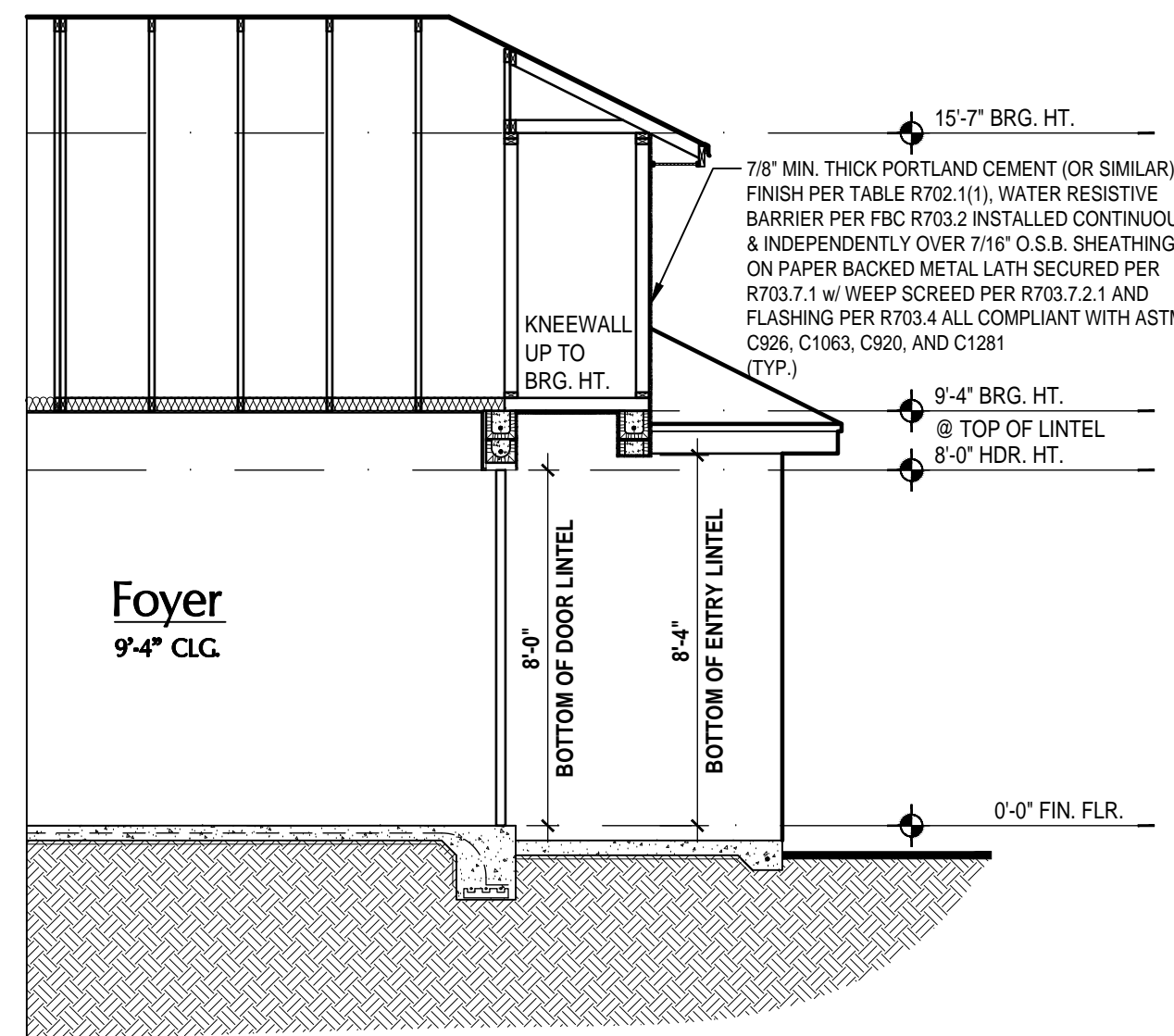
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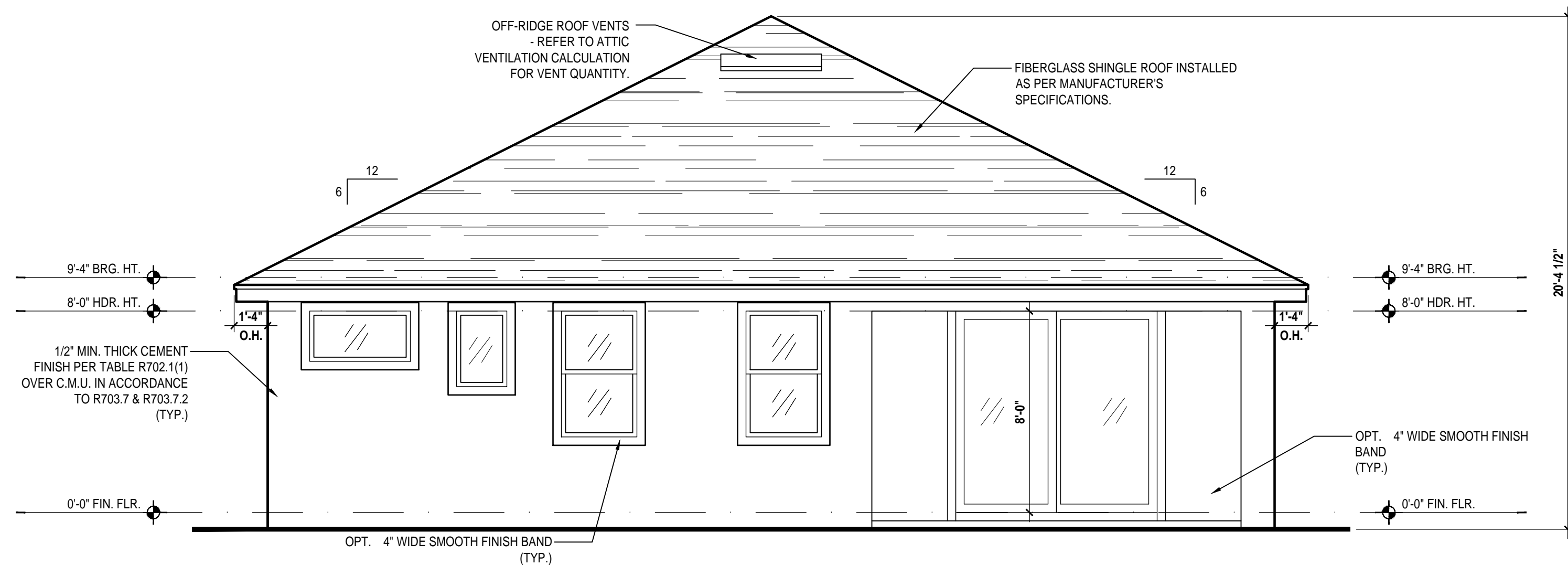
Detail #1
SCALE 3/4" = 1'-0"



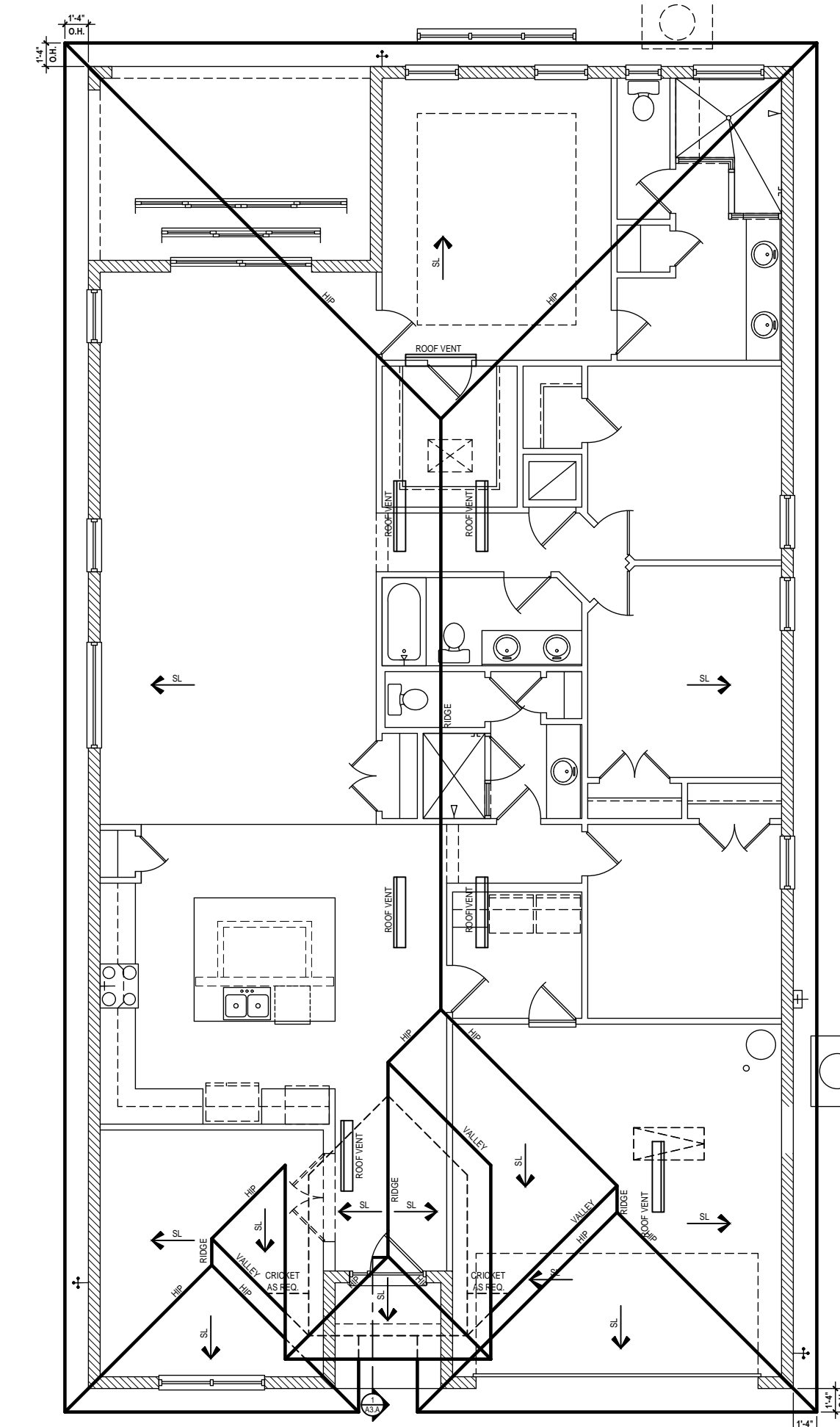
Front Elevation "A"
(Standard)
SCALE 1/4" = 1'-0" (22x34)



1
A3.A
Entry Section
SCALE 1/4" = 1'-0" (22x34)



Rear Elevation "A"
(Standard)
SCALE 1/4" = 1'-0" (22x34)



Roof Layout
(Standard)
SCALE 1/8" = 1'-0" (24x36)

ATTIC VENT CALC'S:

2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE.

FIRST FLOOR:
TOTAL VENTED SPACE: 3,290 = 10.96 SF. NET FREE

300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,386 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 7 VENTS @ .683 /PER VENT

LOWER PORTION VENTILATION TOTAL: 6.58 SF. TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 LF. @ 0.082 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%

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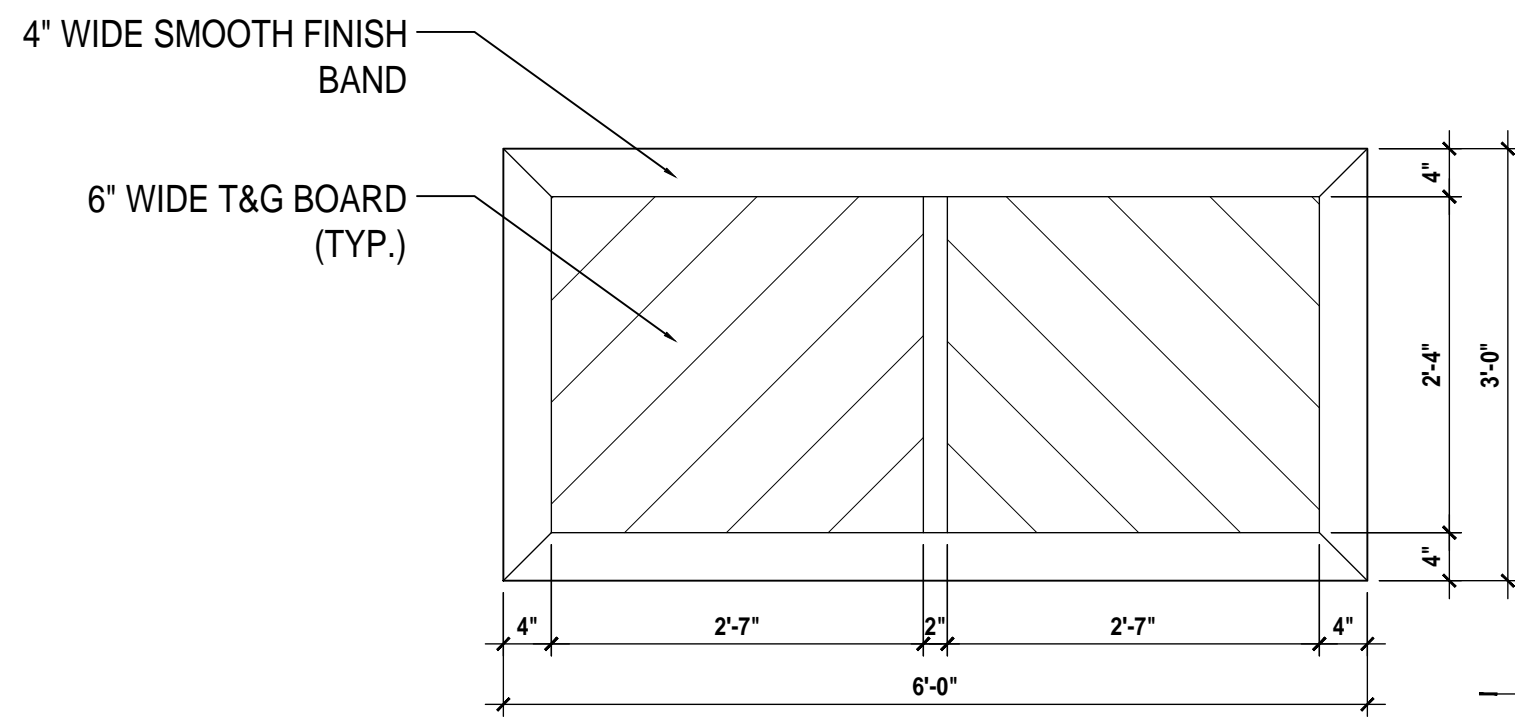
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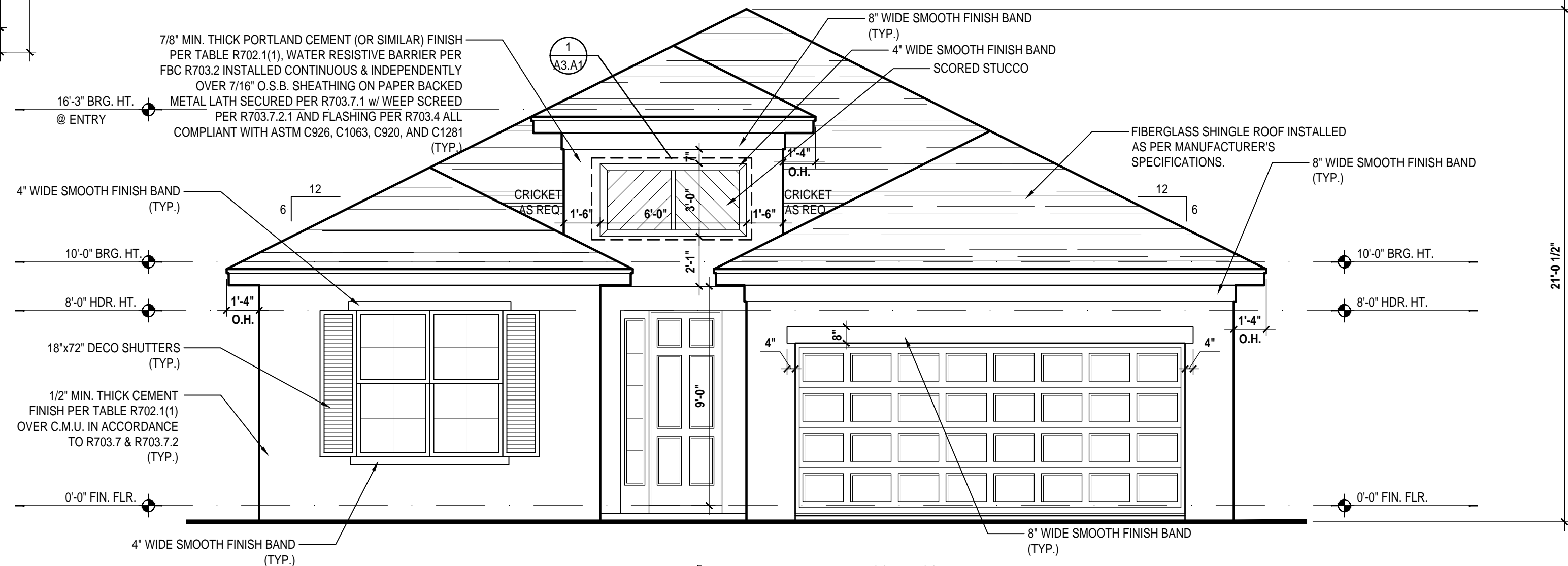
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ELEVATIONS "A"
A3.A

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Detail #1
SCALE 3/4" = 1'-0"

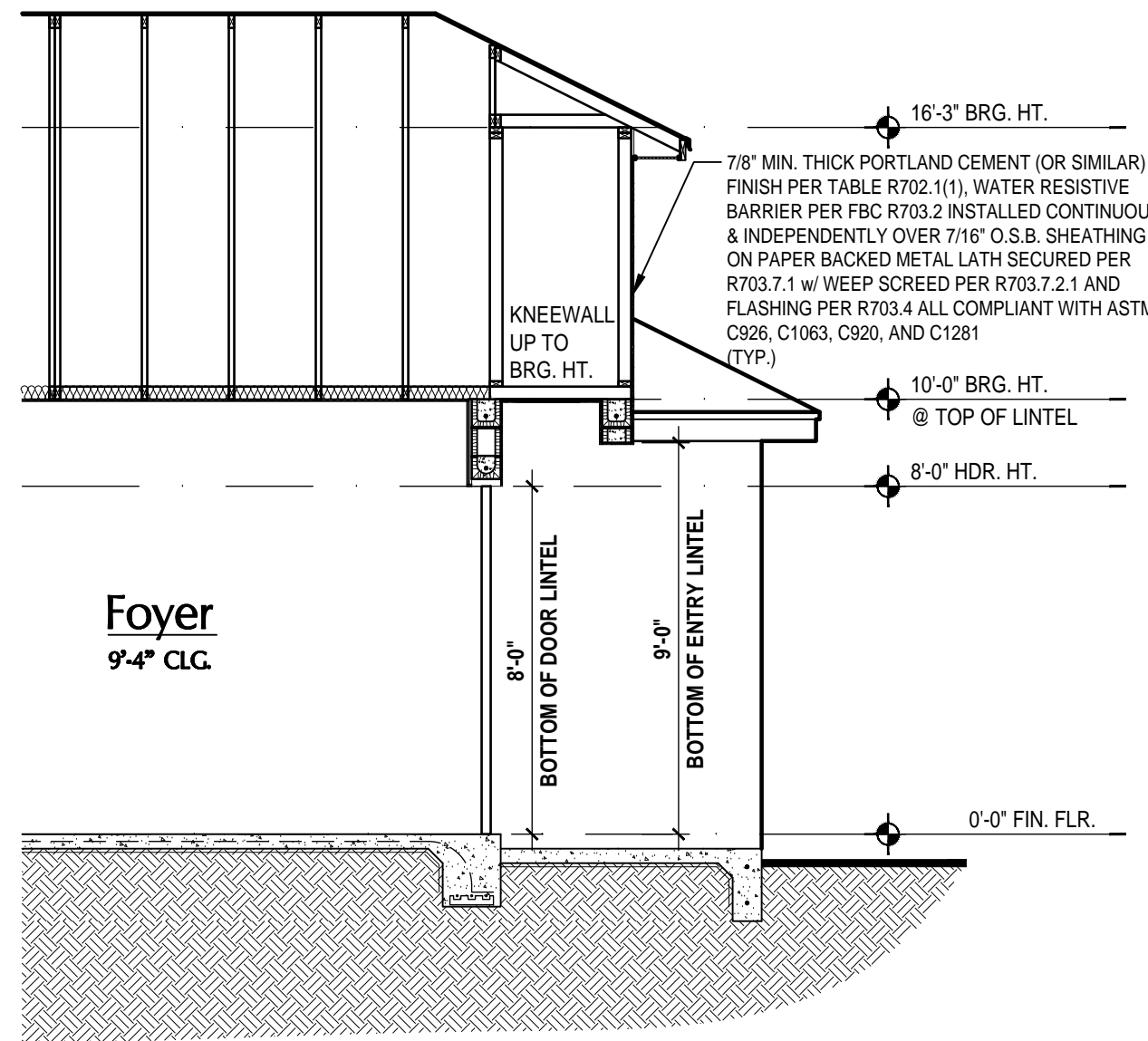


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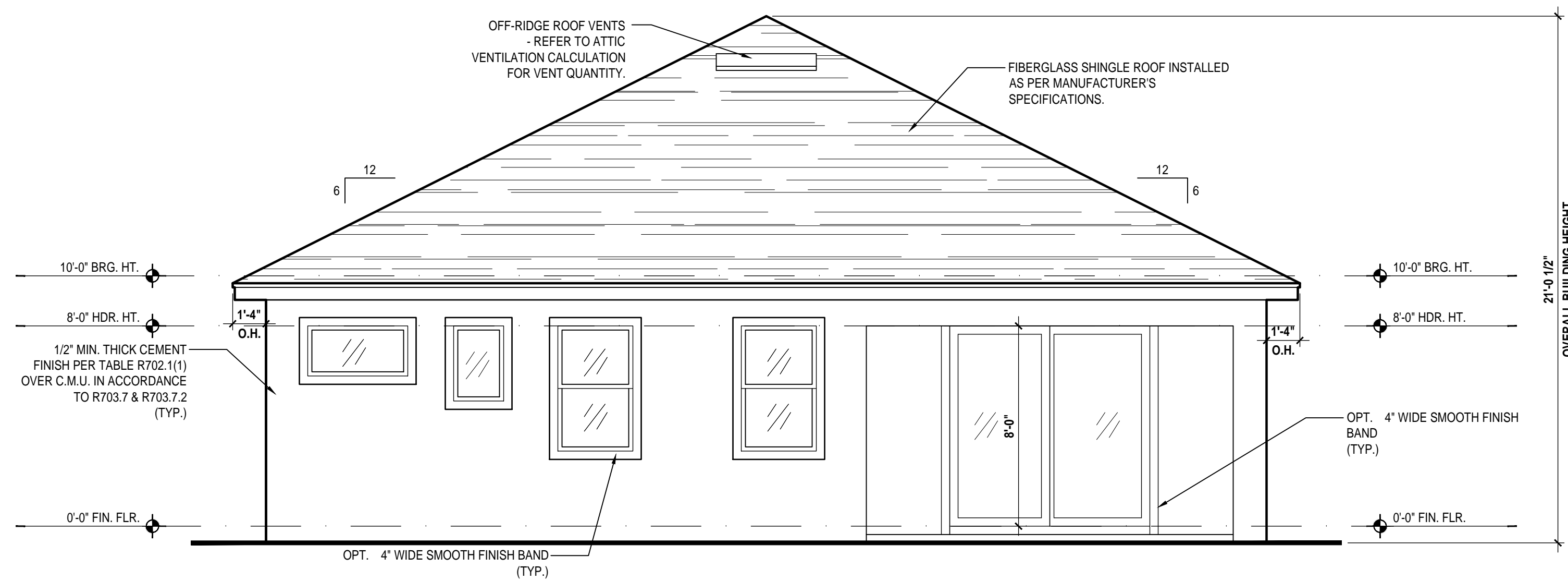
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SCALE 1/4" = 1'-0" (22x34)

10'



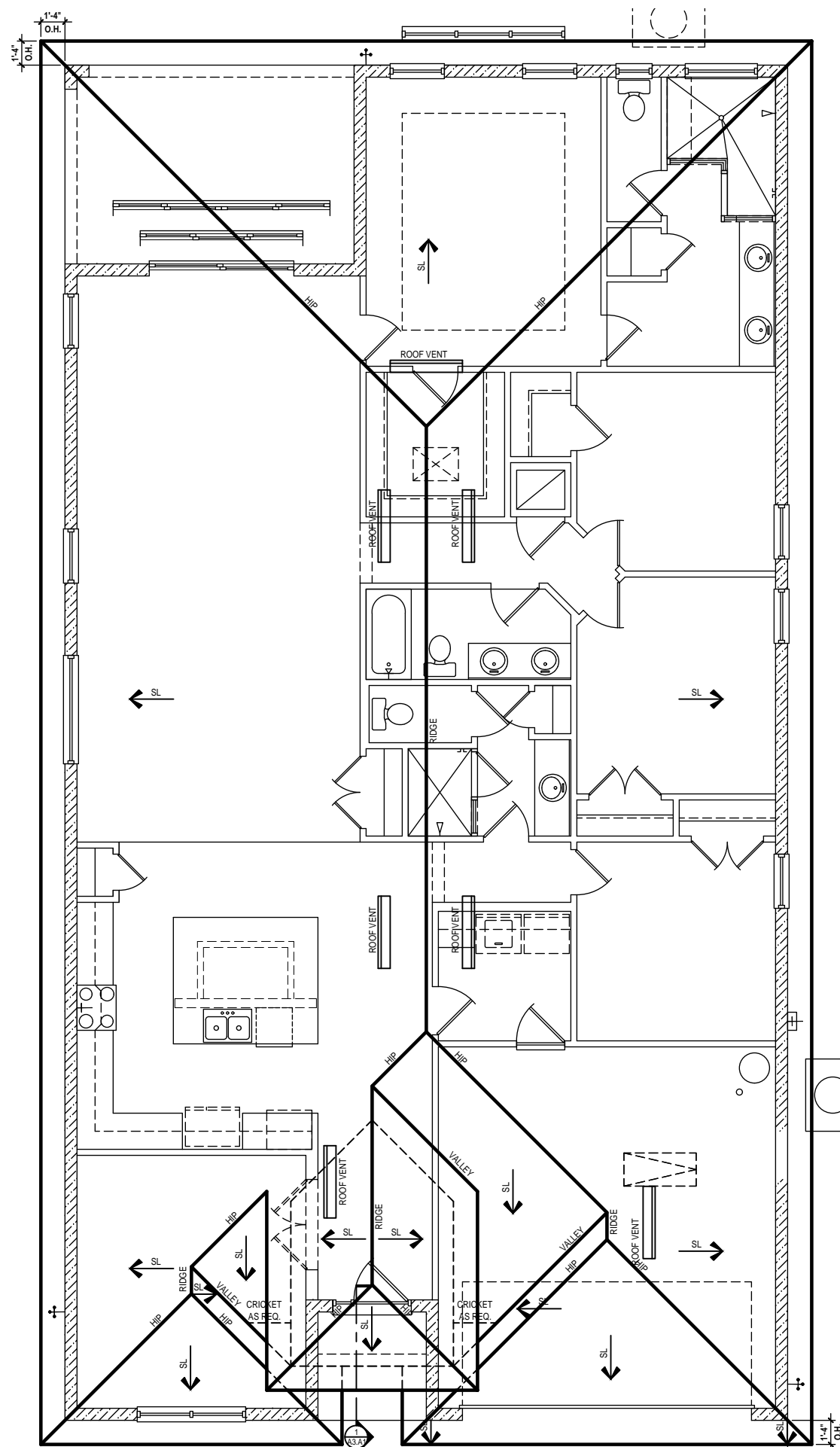
Entry Section
SCALE 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Opt. 10'-0" Brg. Ht.)

SCALE 1/4" = 1'-0" (22x34)



Roof Layout

(Opt. 10'-0" Brg. Ht.)

SCALE 1/8" = 1'-0" (24x36)

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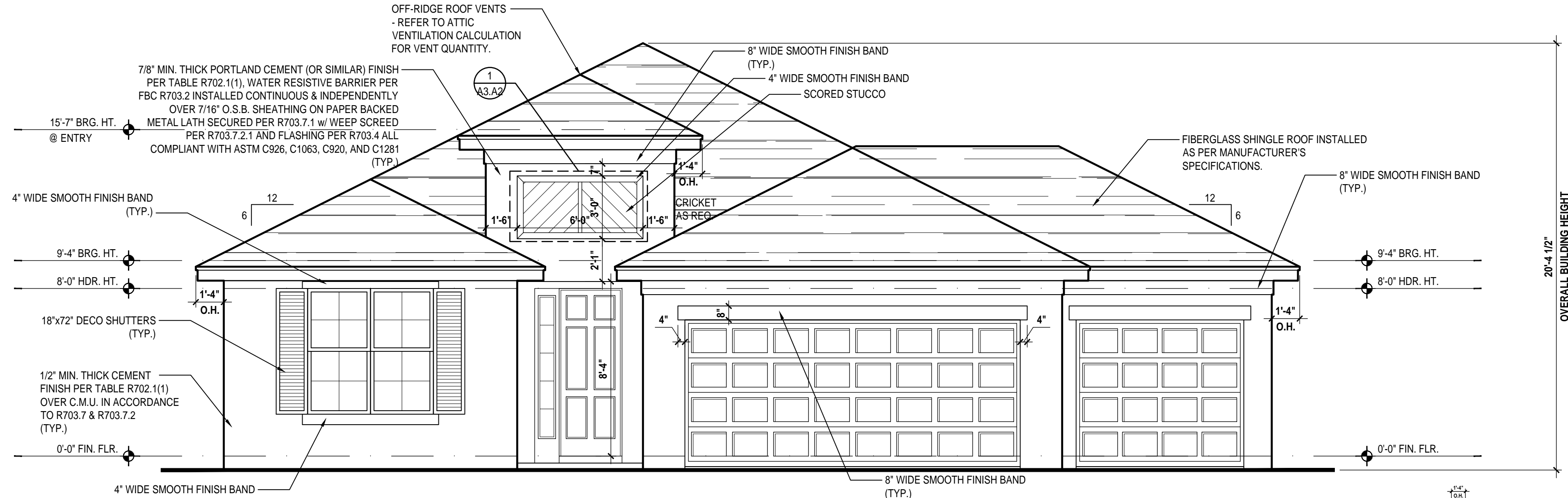
ELEVATIONS "A"
A3.A1

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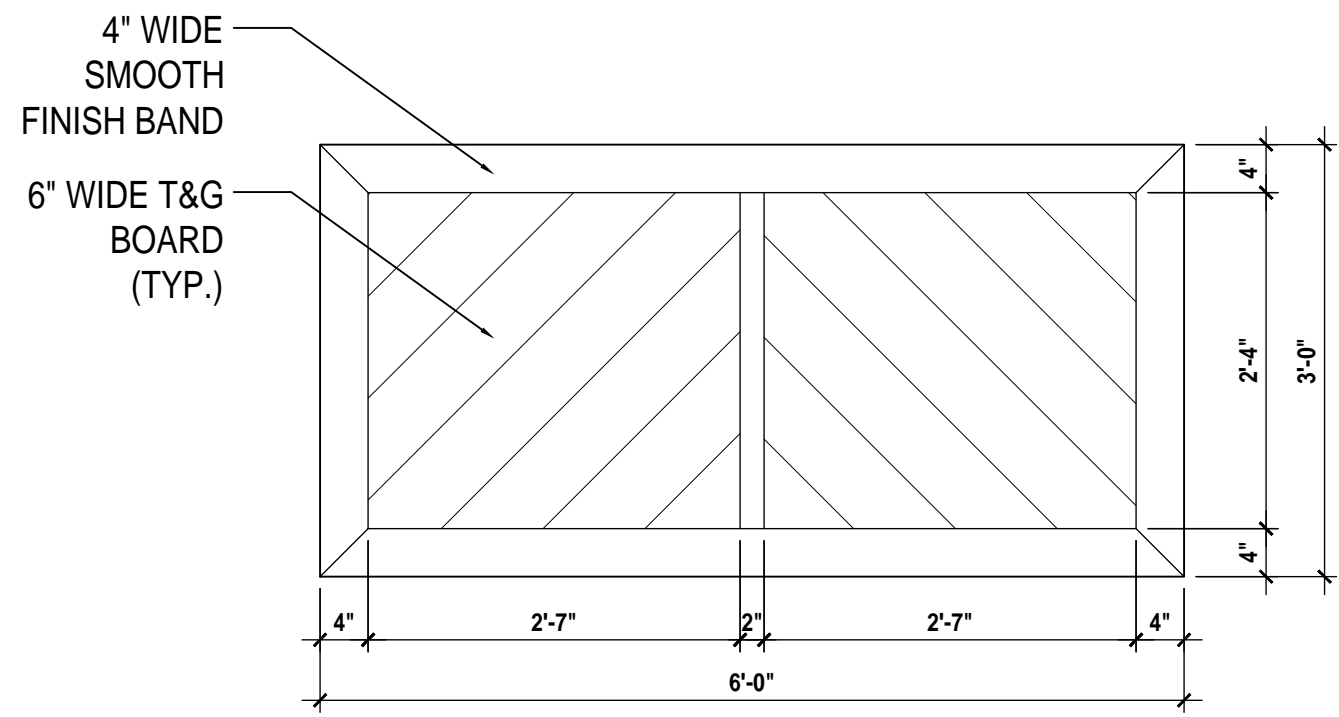
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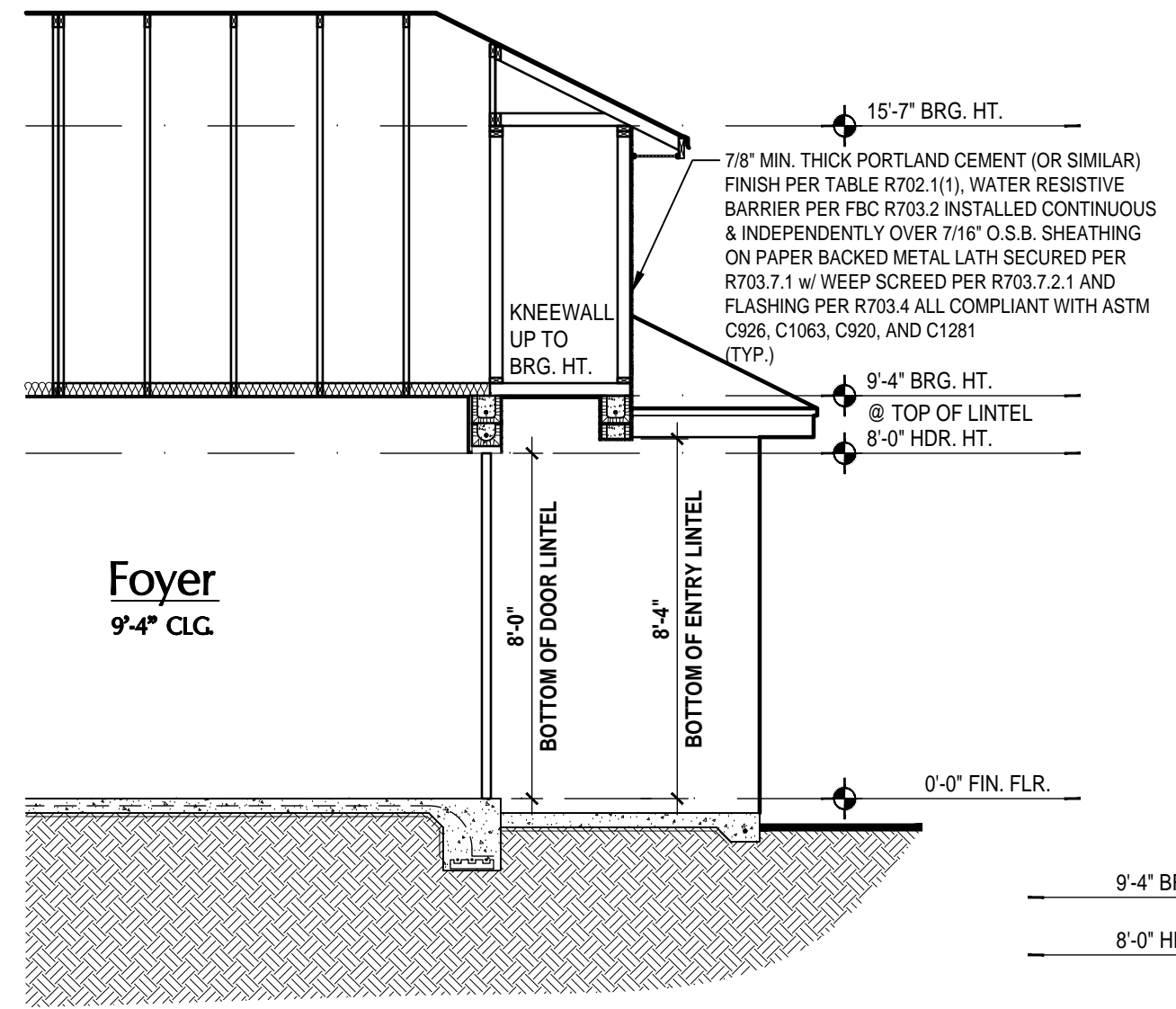
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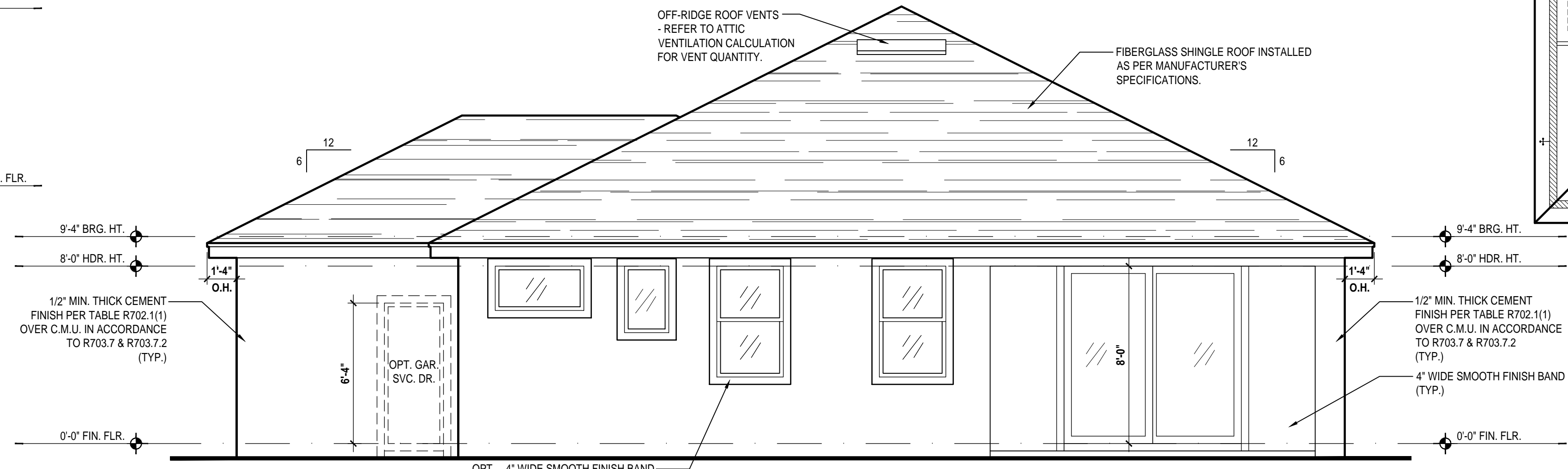
Front Elevation "A"
 (3-Car Garage)
 SCALE 1/4" = 1'-0" (22x34)



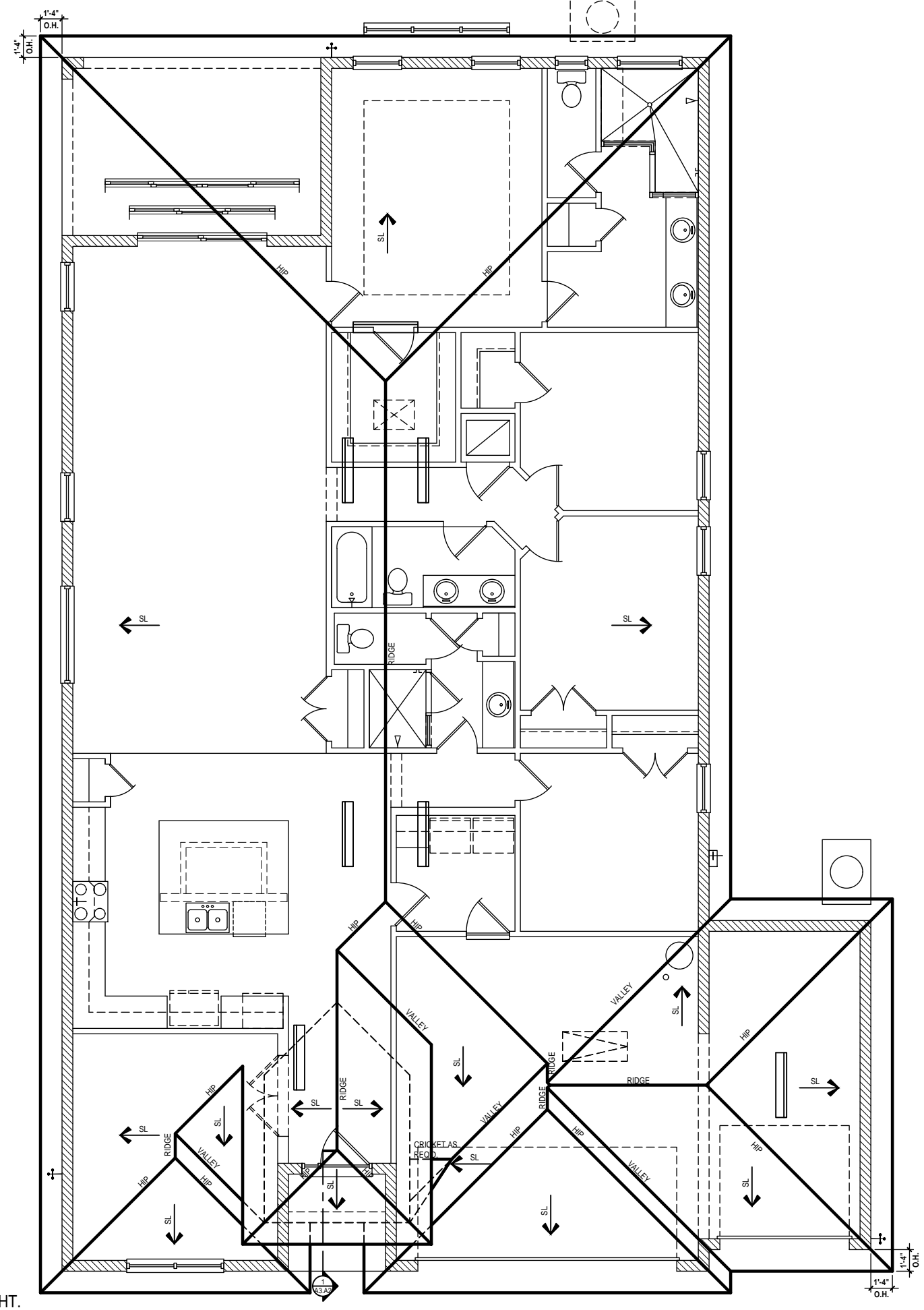
Detail #1
 SCALE 3/4" = 1'-0"



Entry Section
 SCALE 1/4" = 1'-0" (22x34)



Rear Elevation "A"
 (3-Car Garage)
 SCALE 1/4" = 1'-0" (22x34)



Roof Layout
 (3-Car Garage)
 SCALE 1/8" = 1'-0" (24x36)

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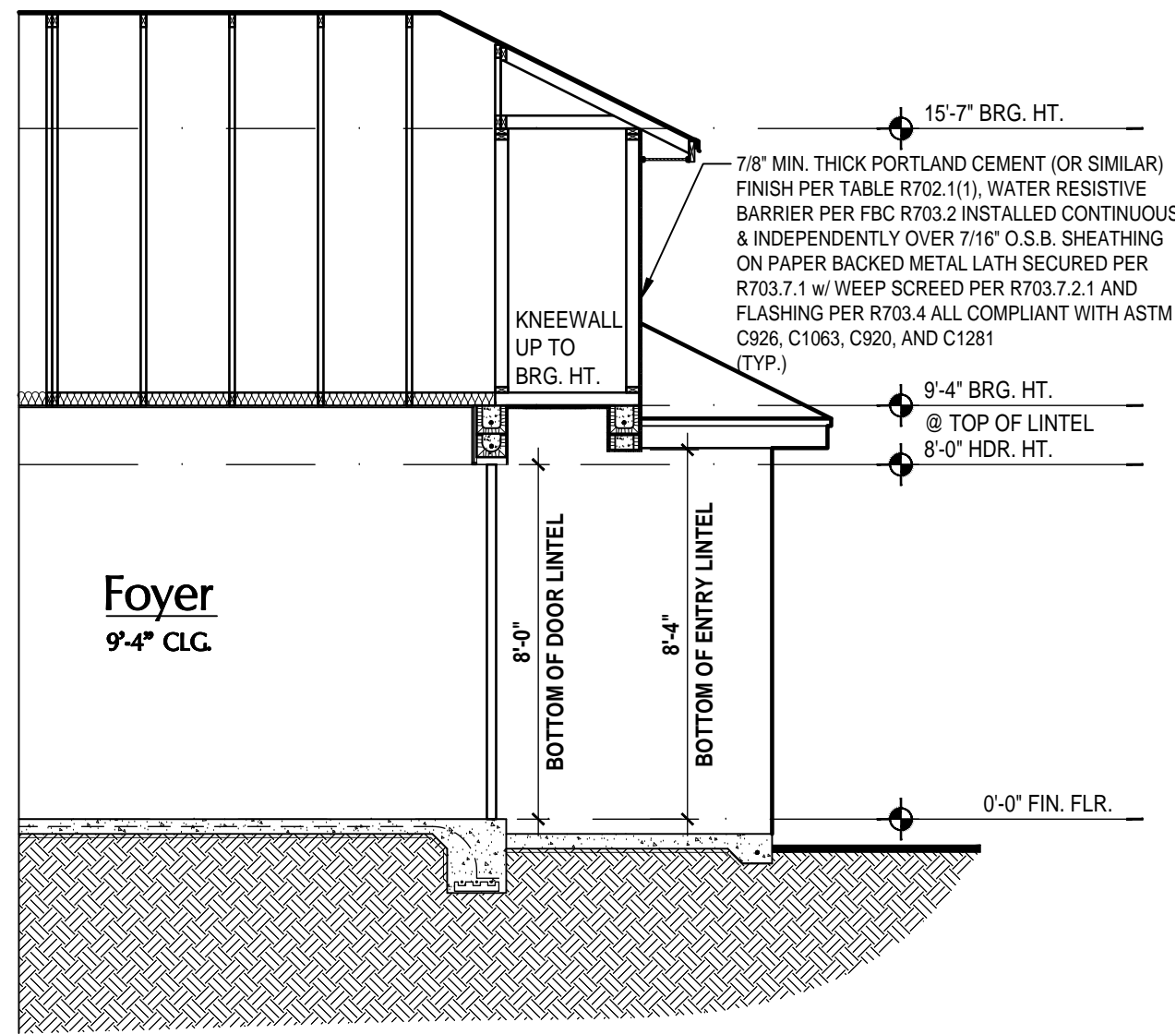
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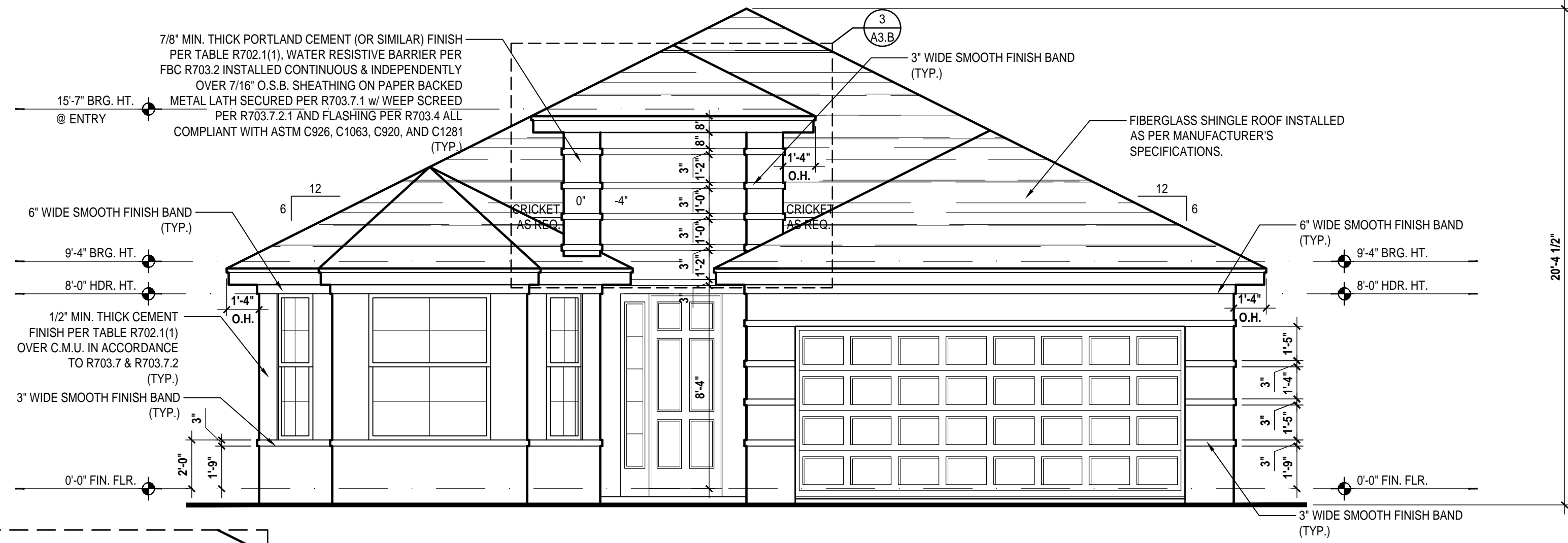
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DESIGNED BY:	MJS

ELEVATIONS "A"
A3.A2

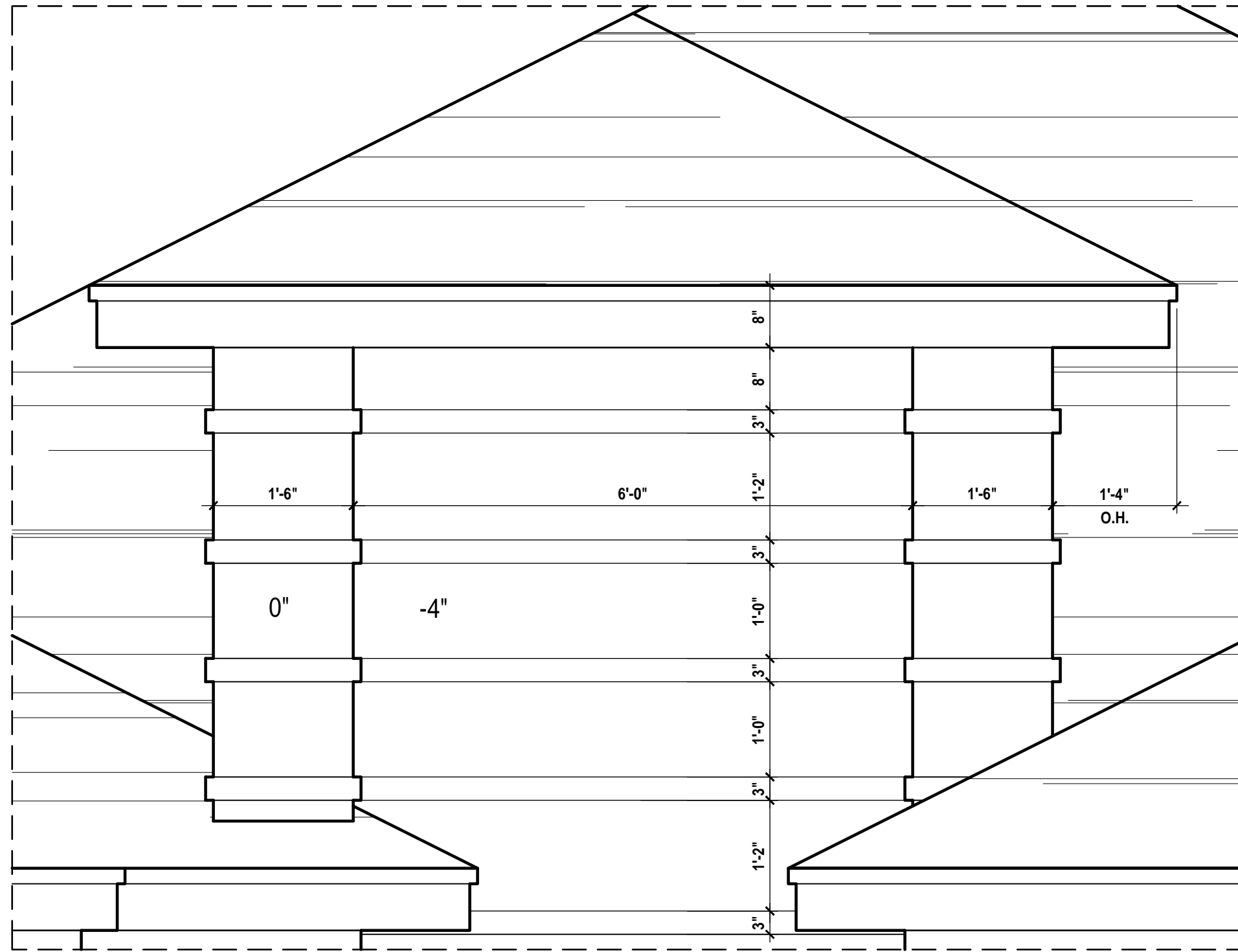
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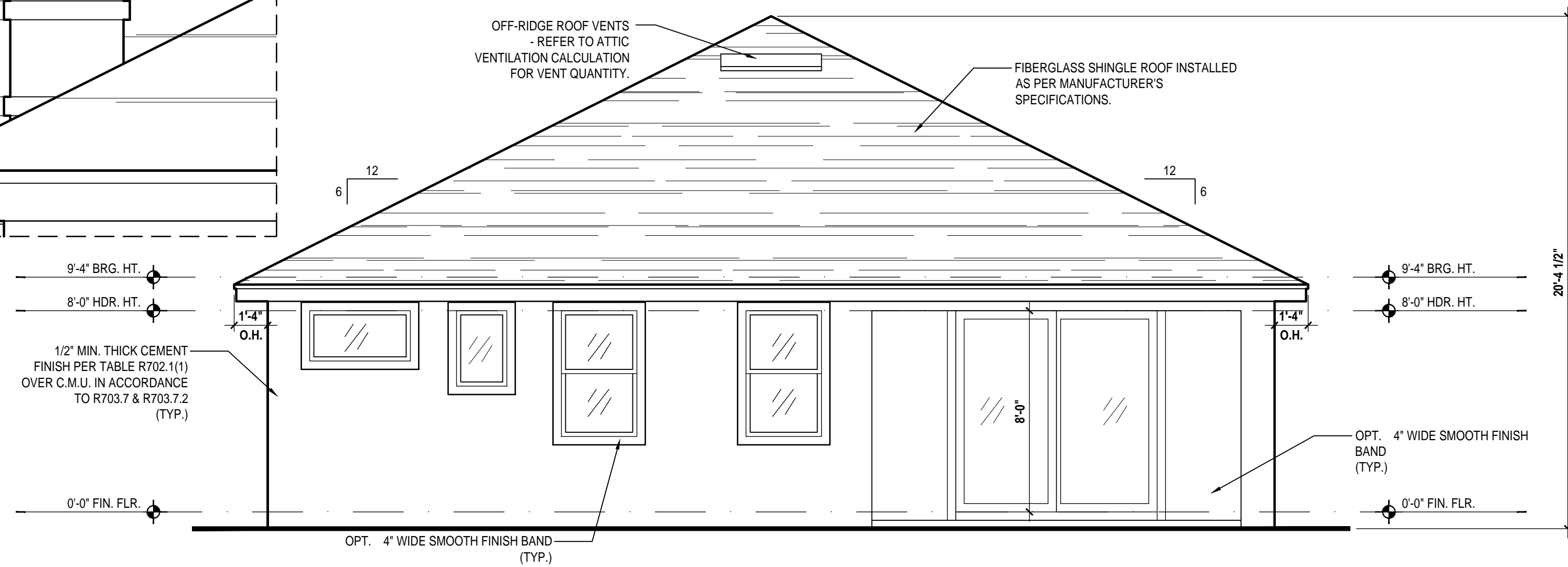
1
A3.B
Entry Section
SCALE 1/4" = 1'-0" (22x34)



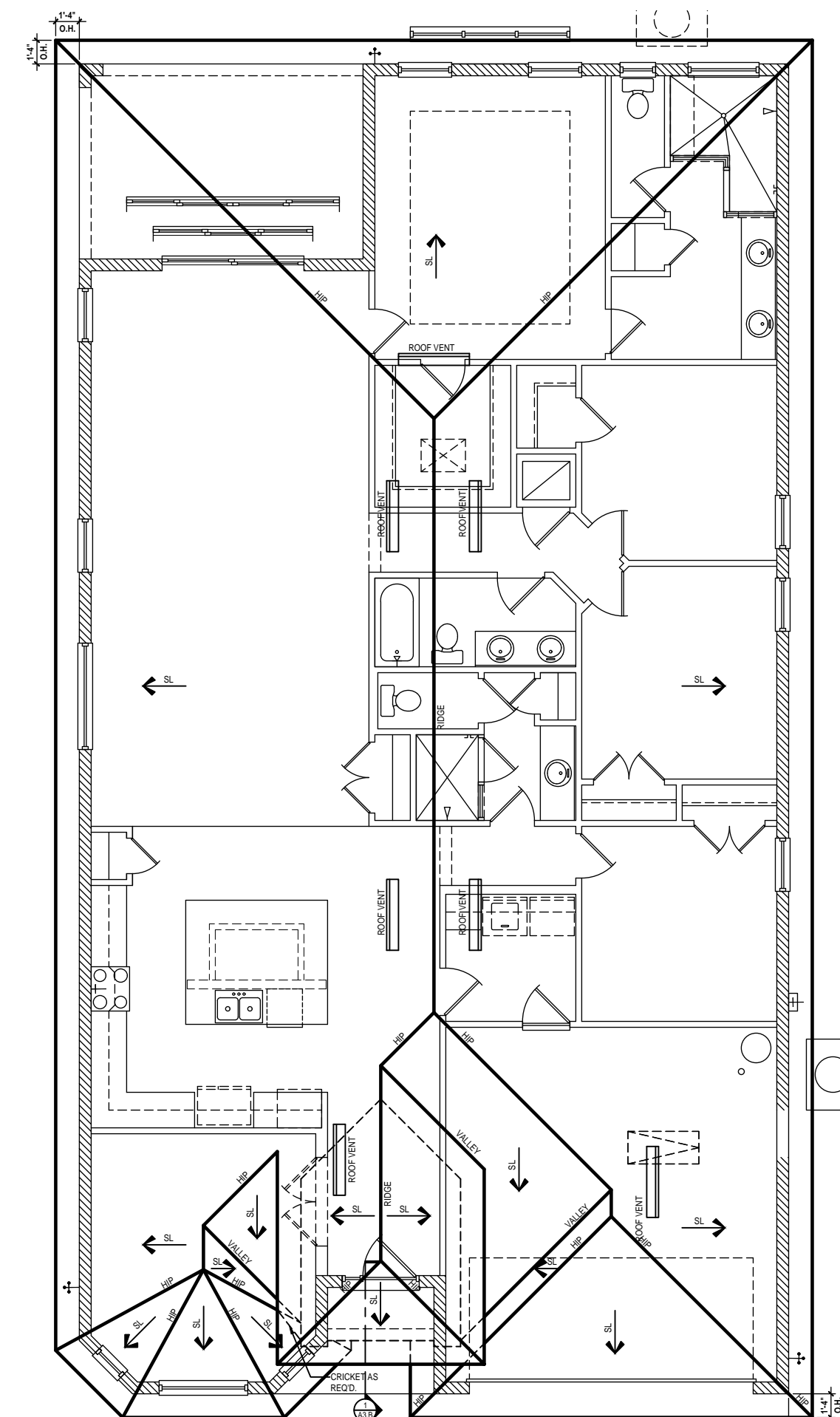
Front Elevation "B"
(Standard)
SCALE 1/4" = 1'-0" (22x34)



Detail #3
SCALE 3/4" = 1'-0"



Rear Elevation "B"
(Standard)
SCALE 1/4" = 1'-0" (22x34)



Roof Layout
(Standard)
SCALE 1/8" = 1'-0" (24x36)

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LOWER ROOF PERCENTAGE: 60%

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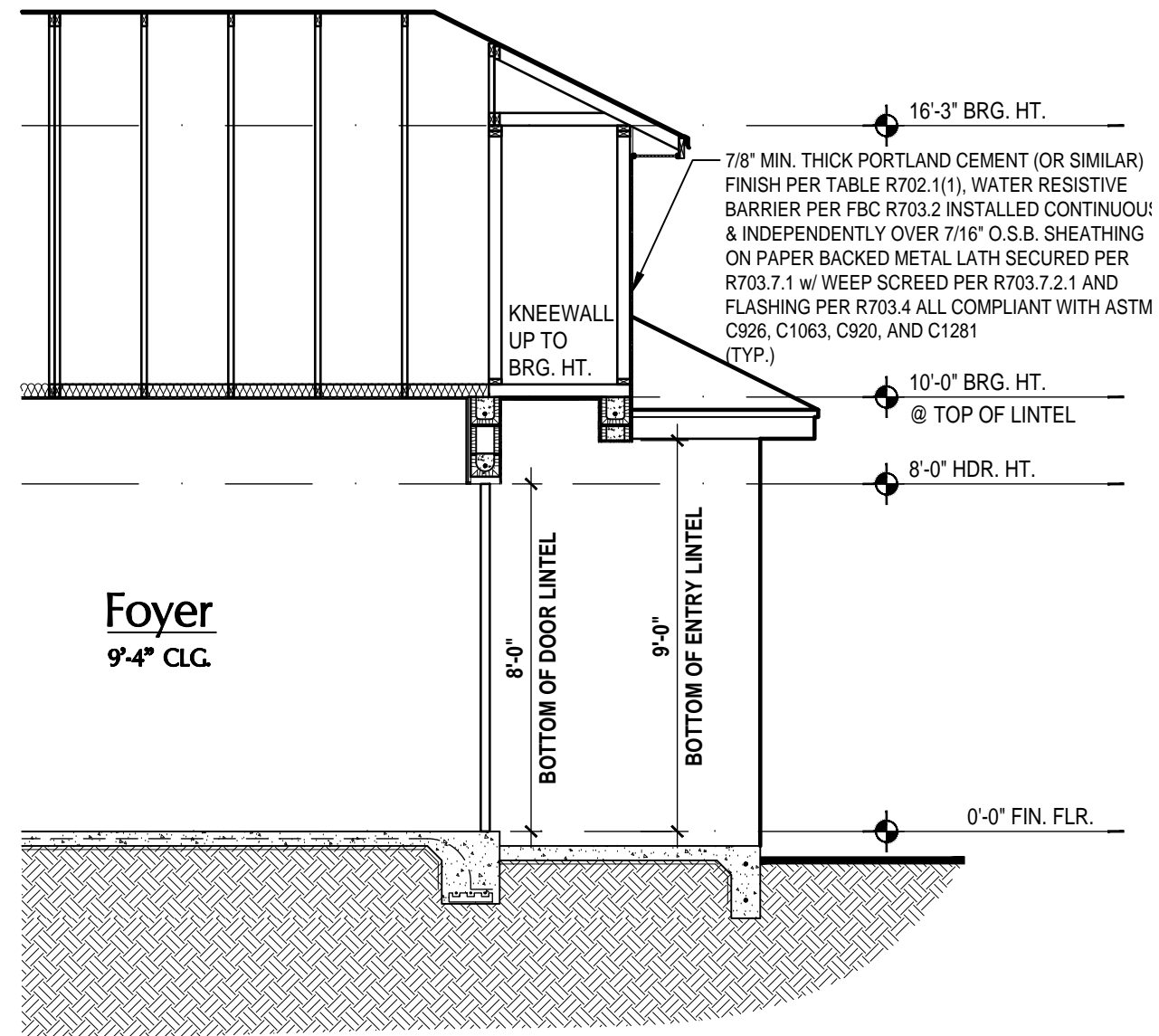
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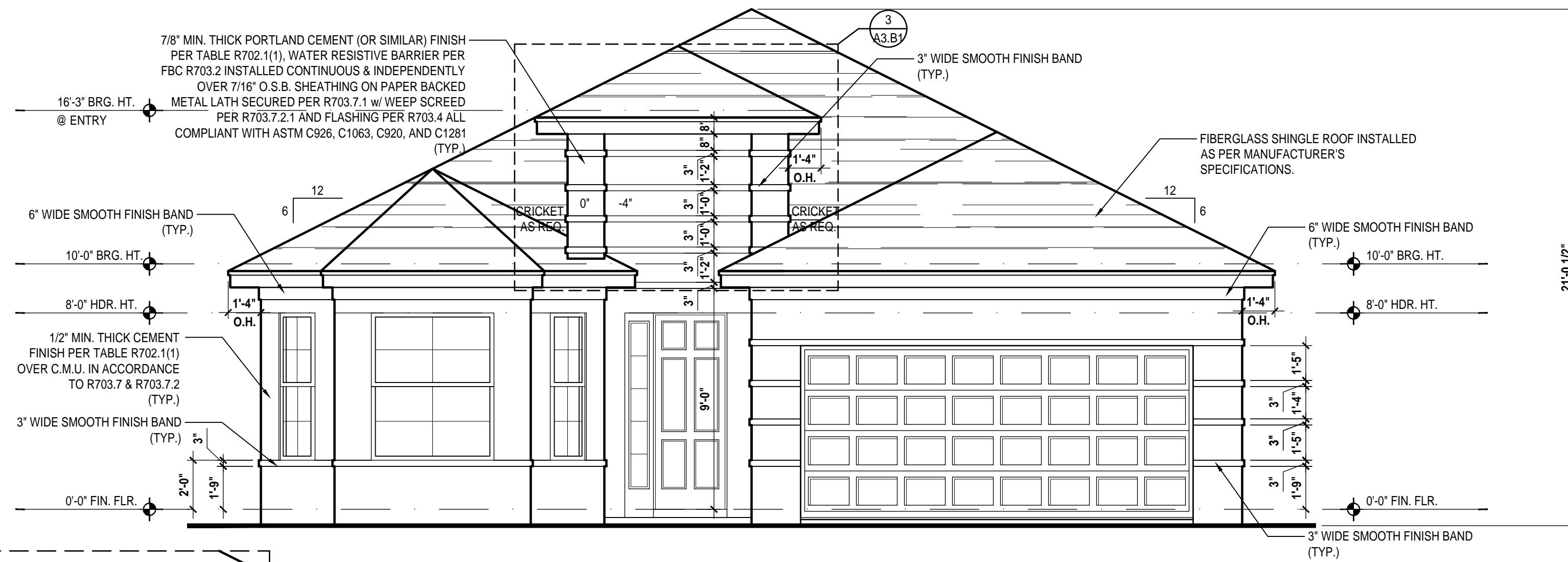
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DESIGNED BY: MJS

ELEVATIONS "A"
A3.B

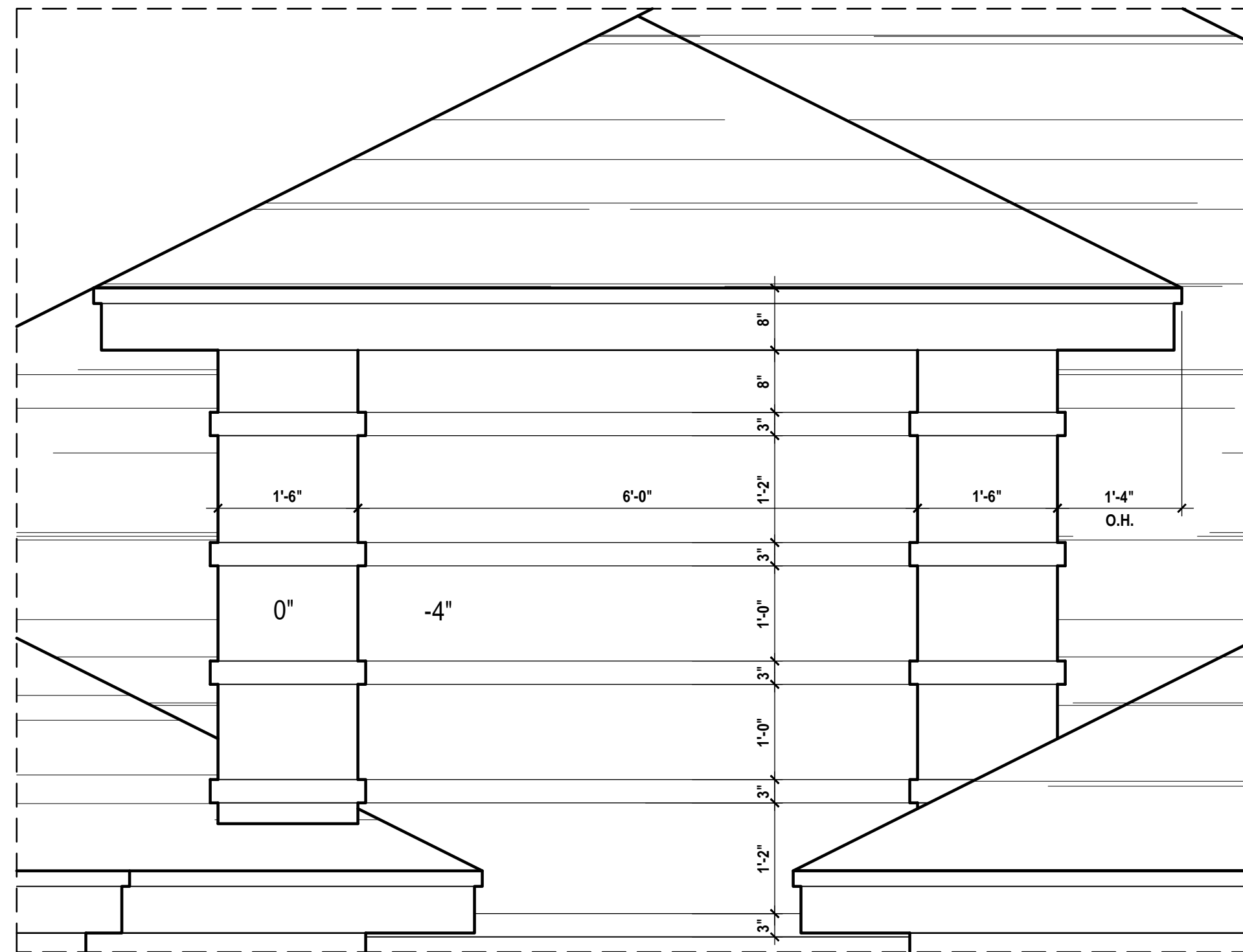
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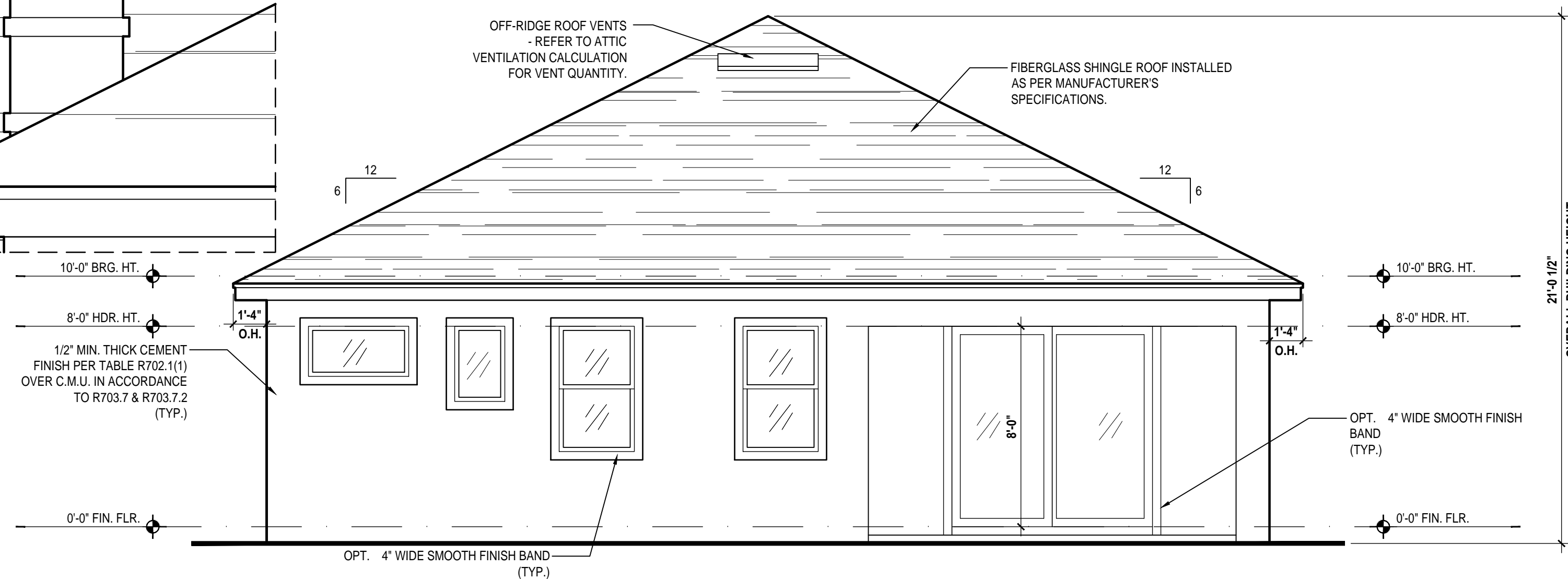
1 Entry Section
 A3.B1 SCALE 1/4" = 1'-0" (22x34)



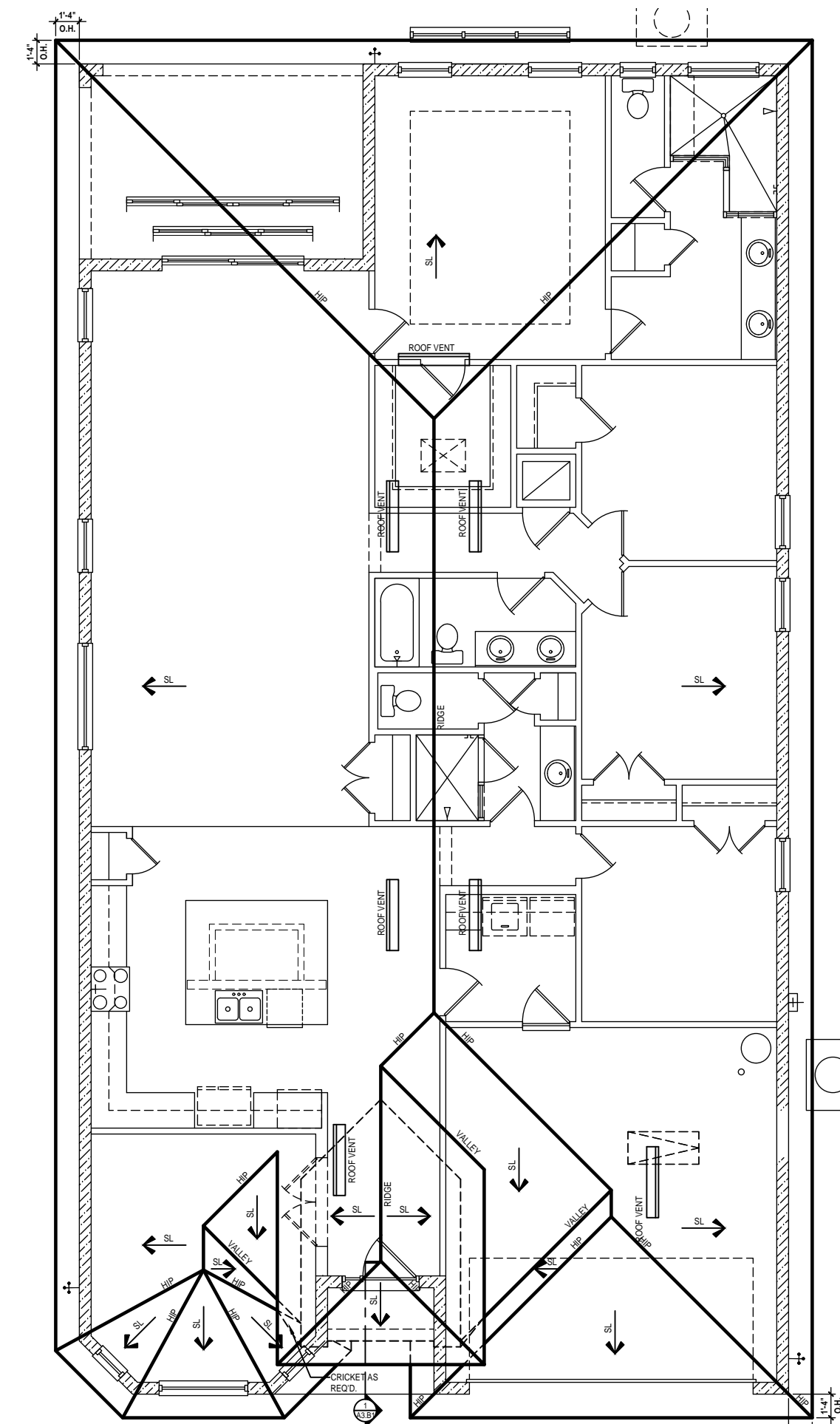
Front Elevation "B"
 (Opt. 10'-0" Brg. Ht.)
 SCALE 1/4" = 1'-0" (22x34)



Detail #3
 SCALE 3/4" = 1'-0"



Rear Elevation "B"
 (Opt. 10'-0" Brg. Ht.)
 SCALE 1/4" = 1'-0" (22x34)



Roof Layout
 (Opt. 10'-0" Brg. Ht.)
 SCALE 1/8" = 1'-0" (24x36)

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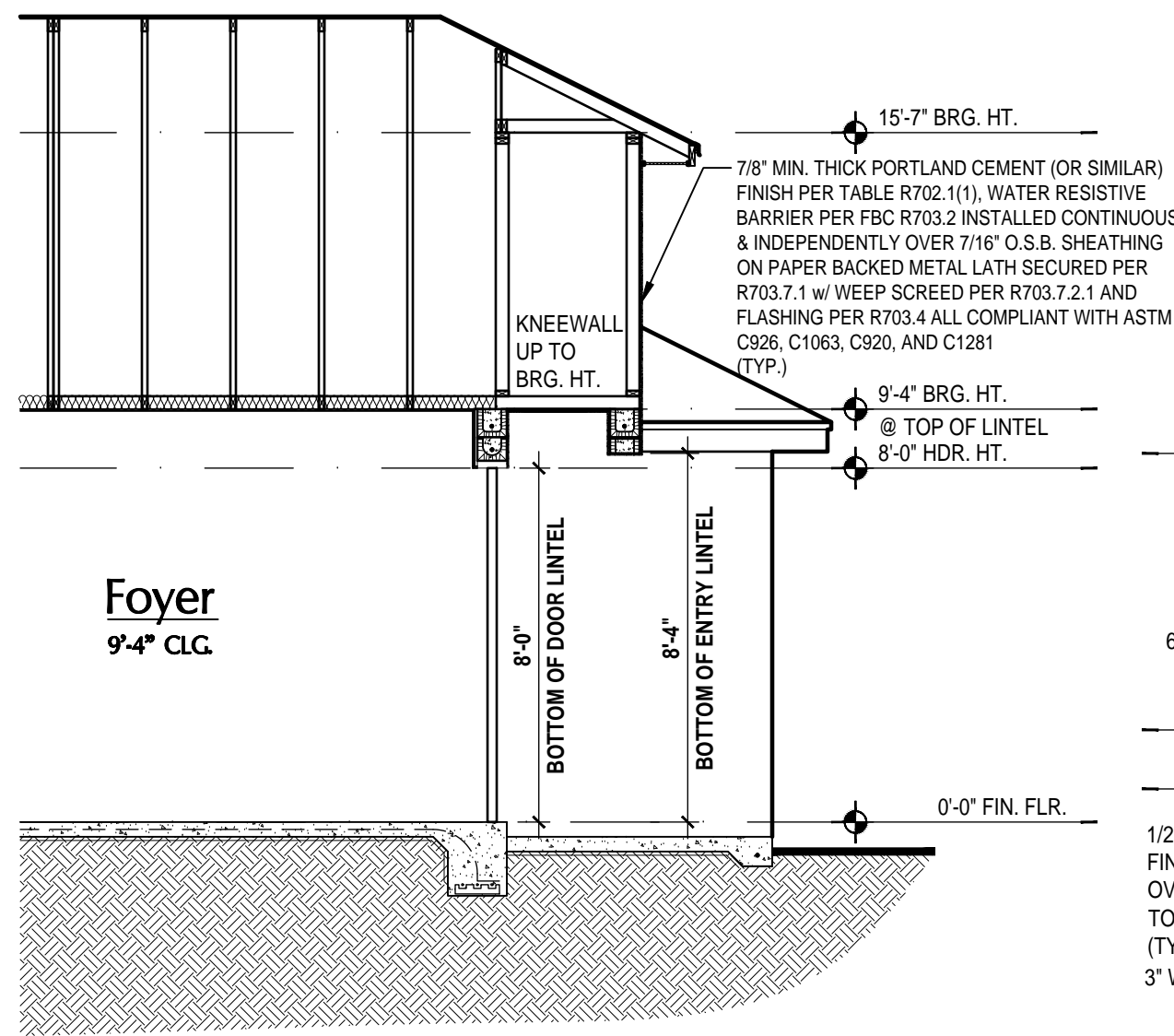
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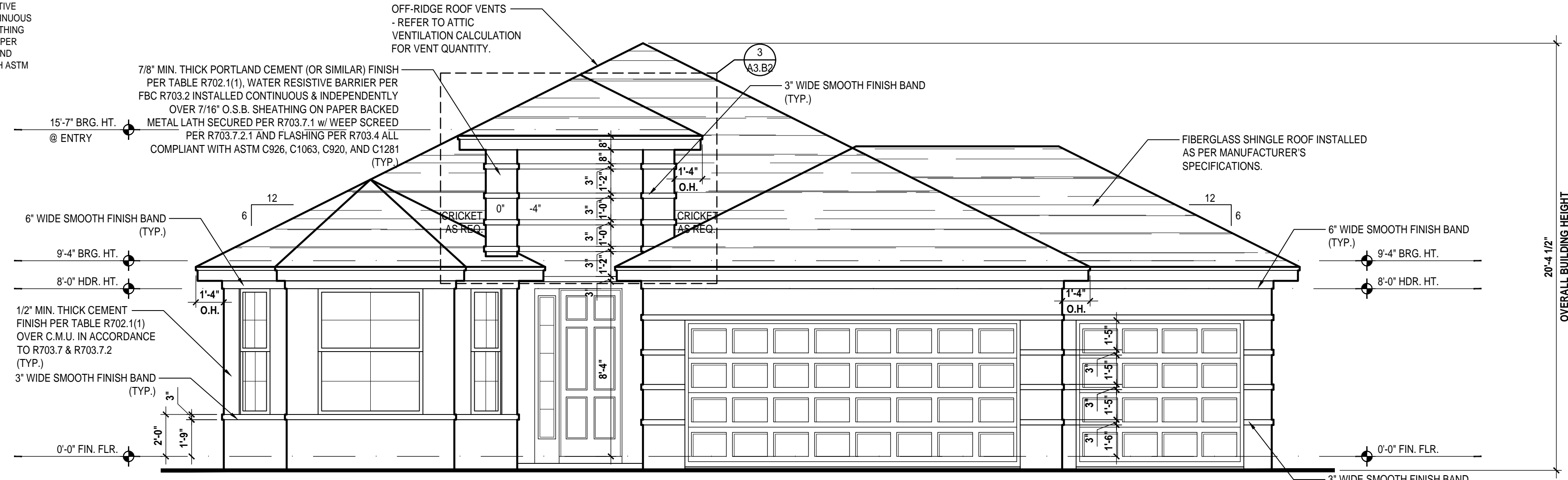
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ELEVATIONS "A"
A3.B1

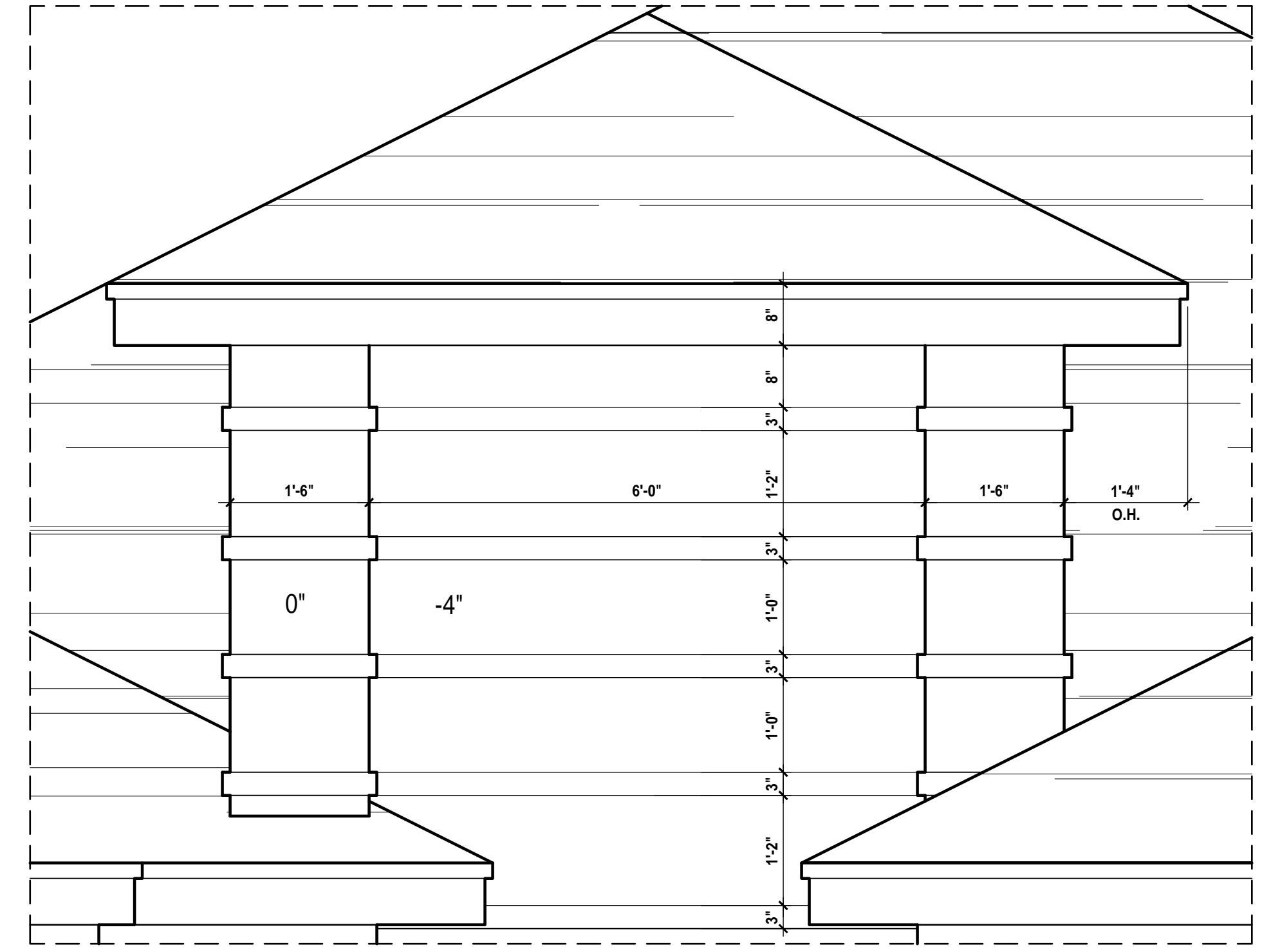
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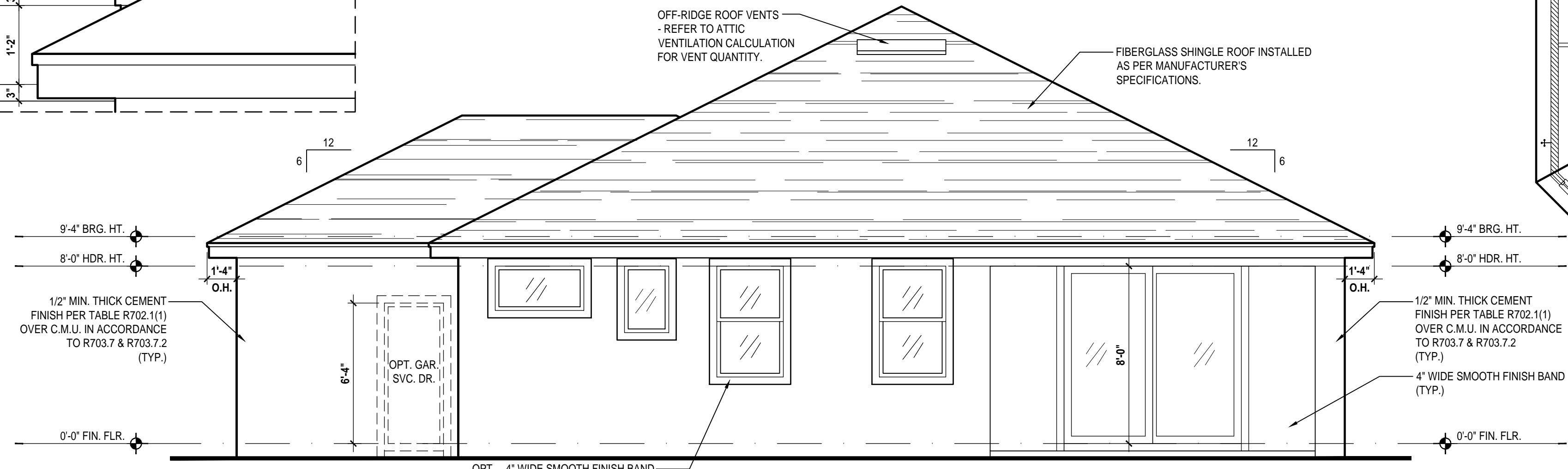
1 Entry Section
 A3.B2 SCALE: 1/4" = 1'-0" (22x34)



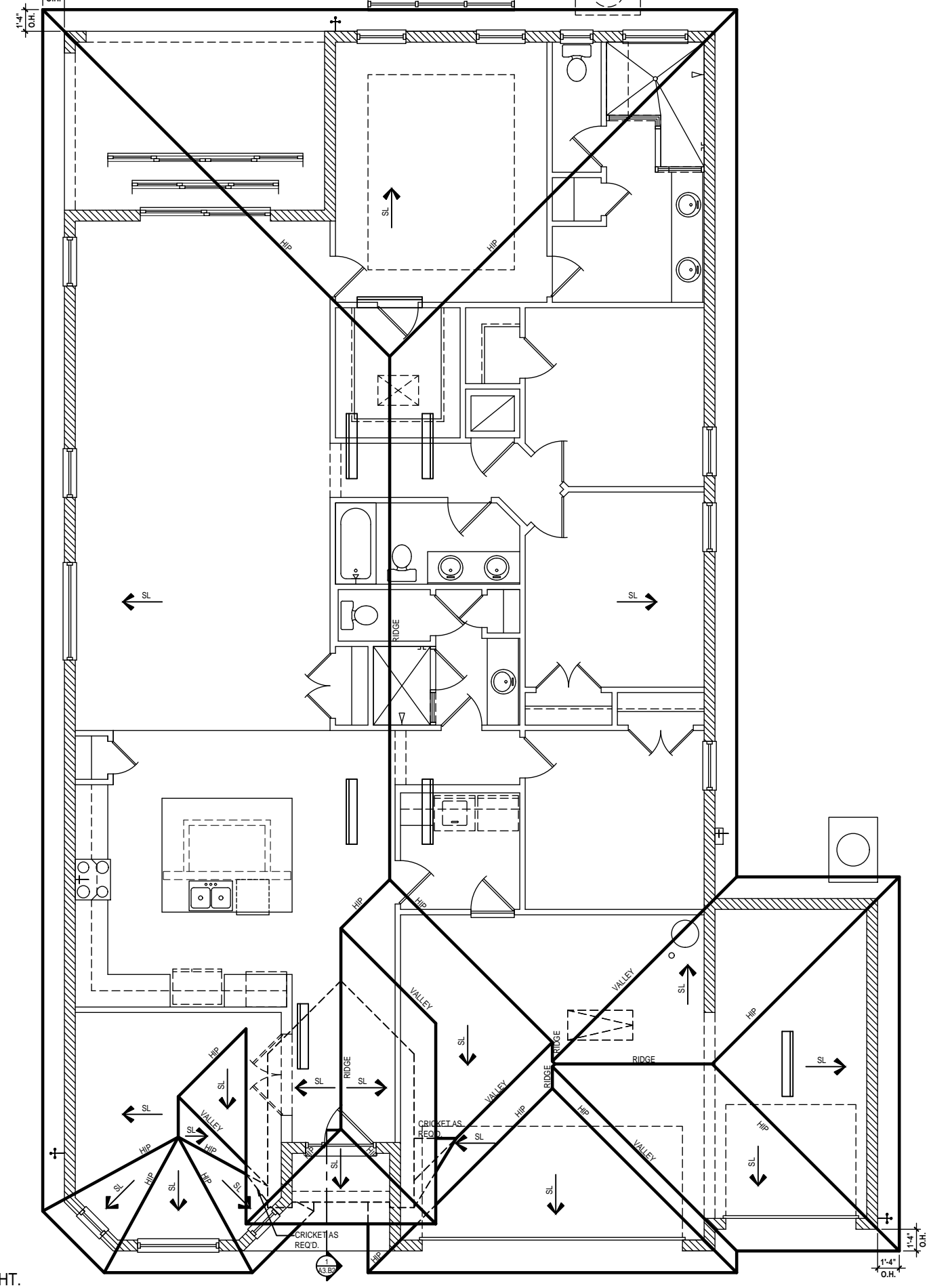
Front Elevation "B"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)



Detail #3
 SCALE: 3/4" = 1'-0"



Rear Elevation "B"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)



Roof Layout
 (3-Car Garage)
 SCALE: 1/8" = 1'-0" (24x36)

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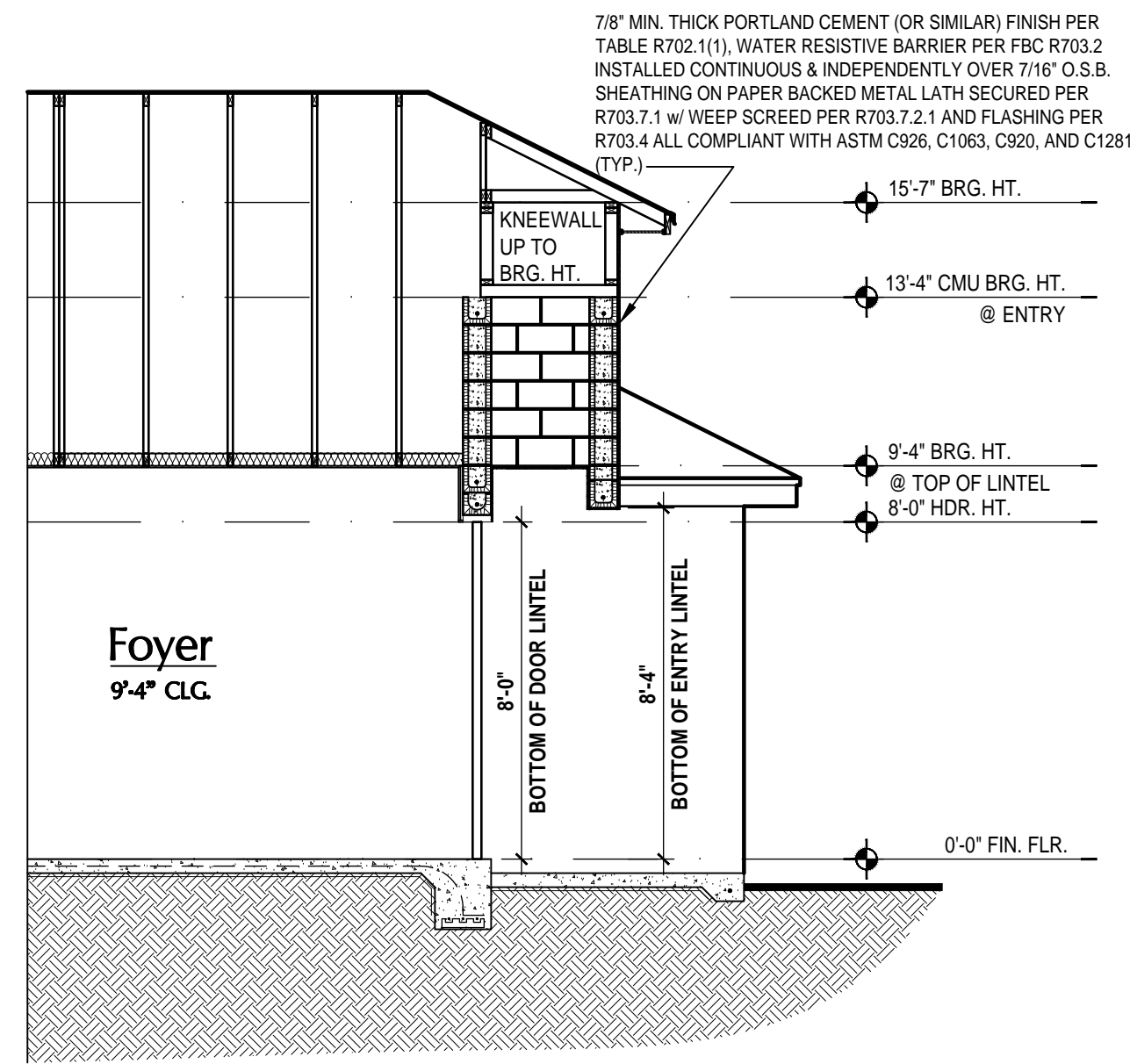
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ISSUE DATE: 12/06/2022
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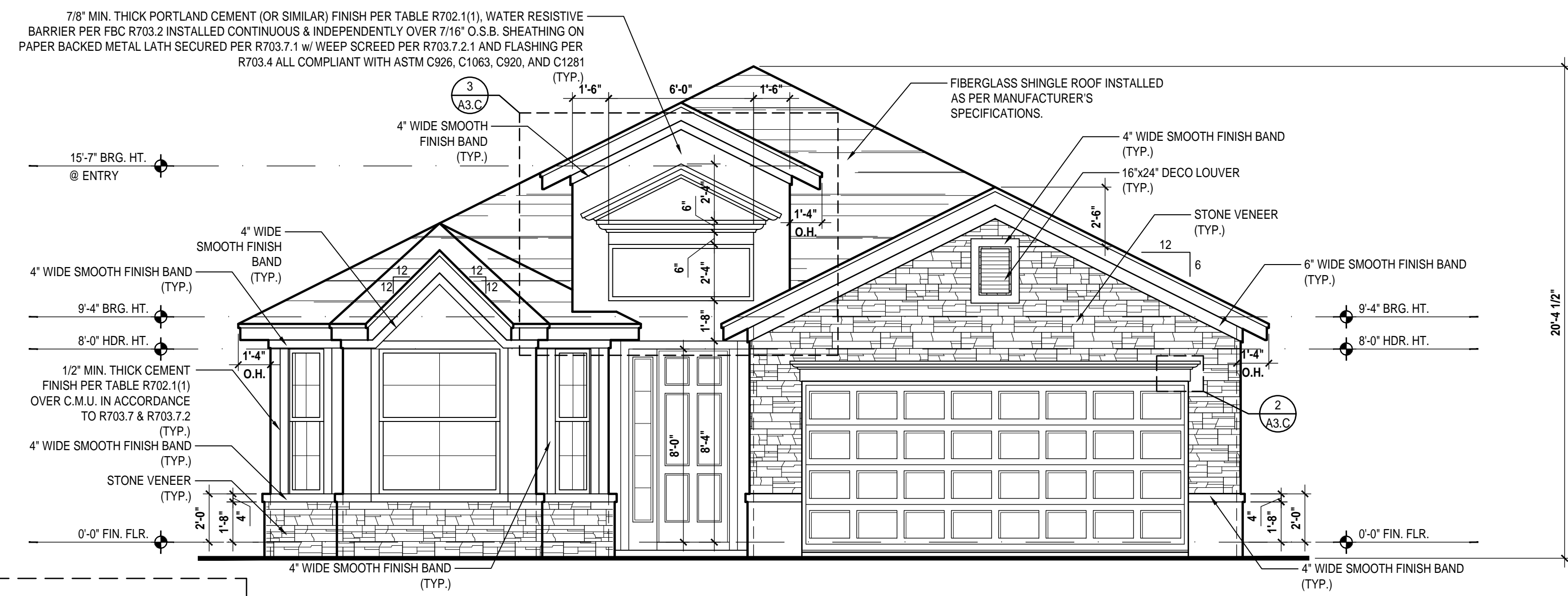
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ELEVATIONS "A"
A3.B2

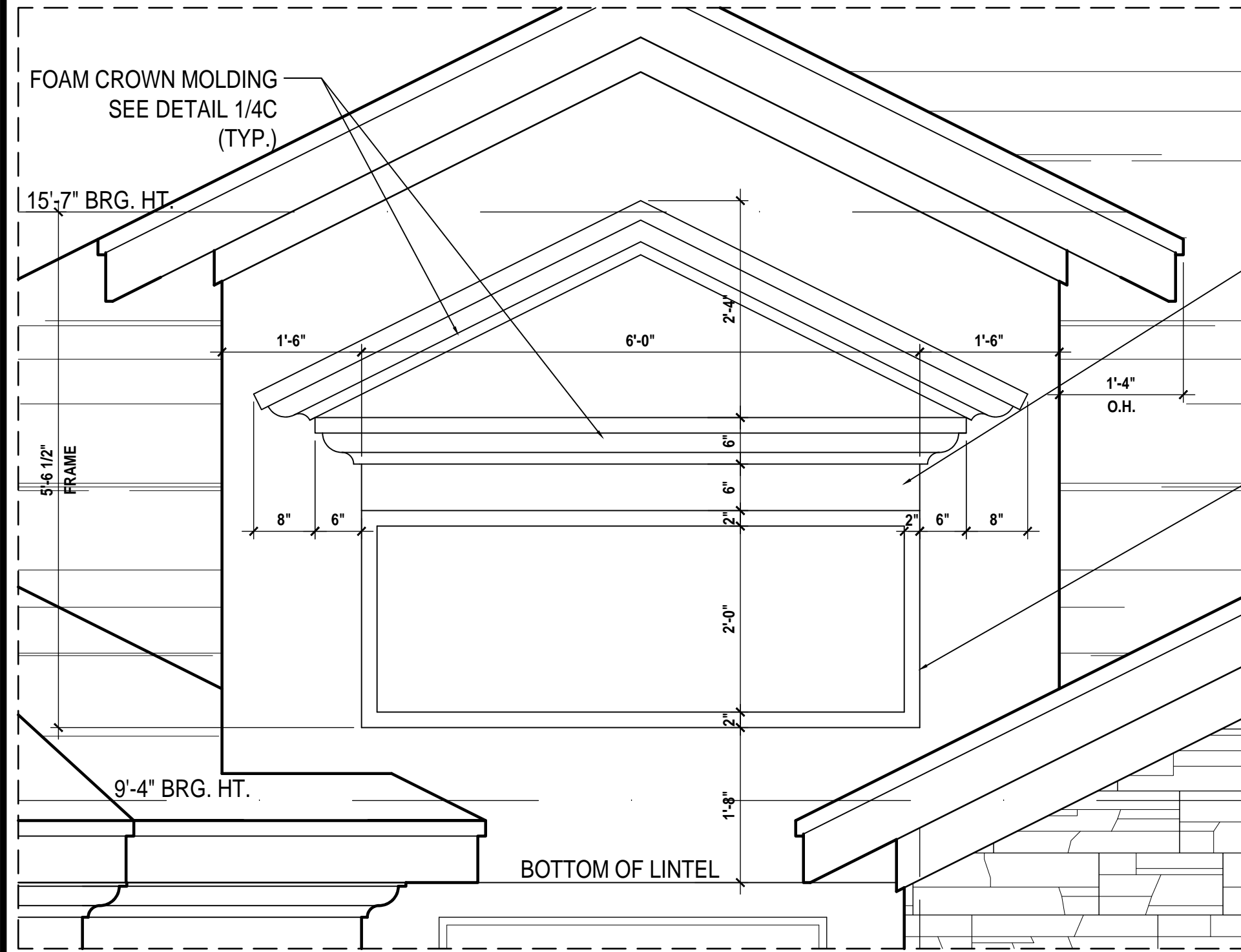
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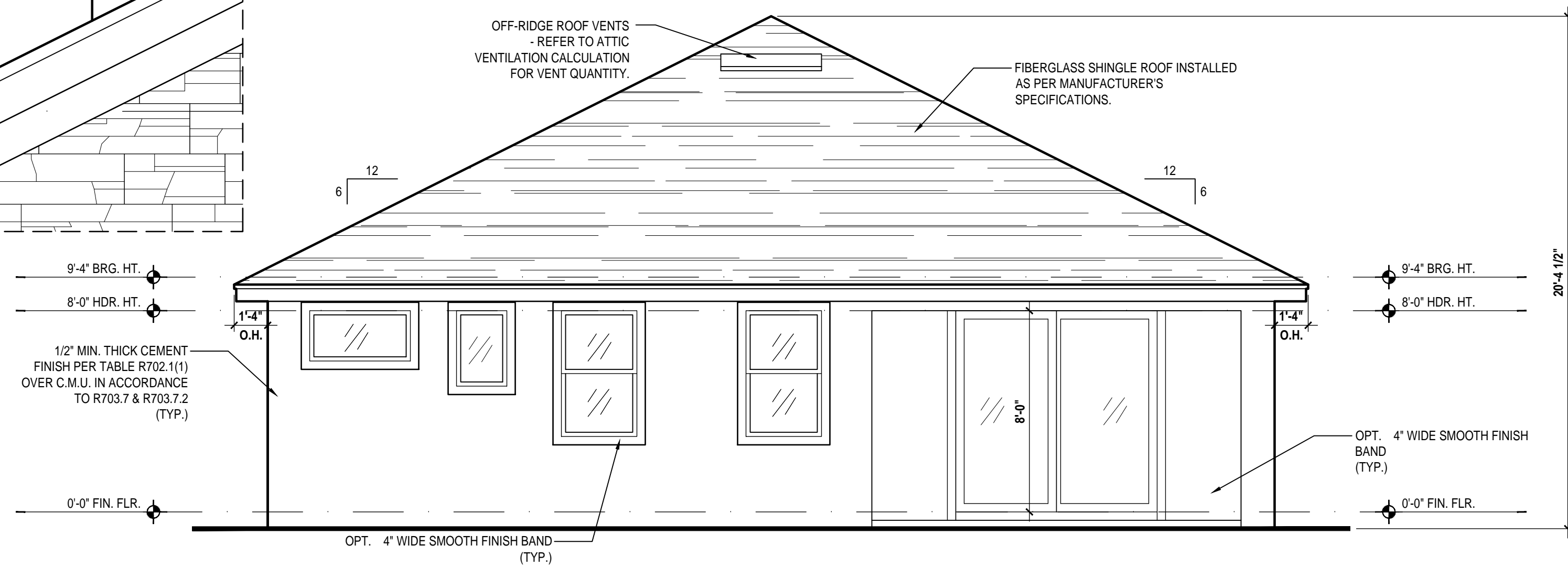
1 Entry Section
 A3.C SCALE 1/4" = 1'-0" (22x34)



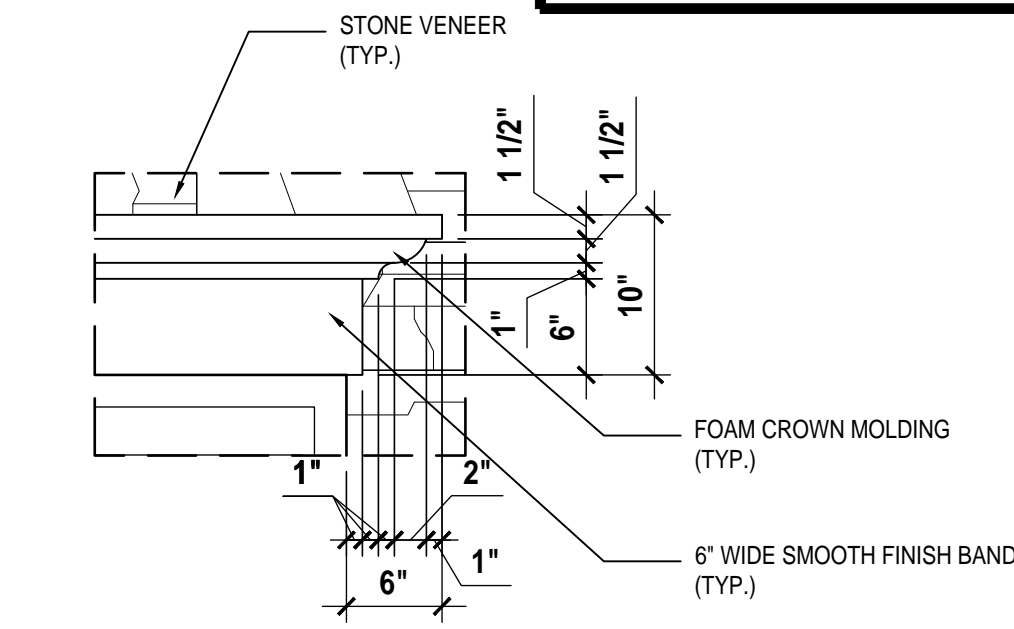
Front Elevation "C"
 (Standard)
 SCALE 1/4" = 1'-0" (22x34)



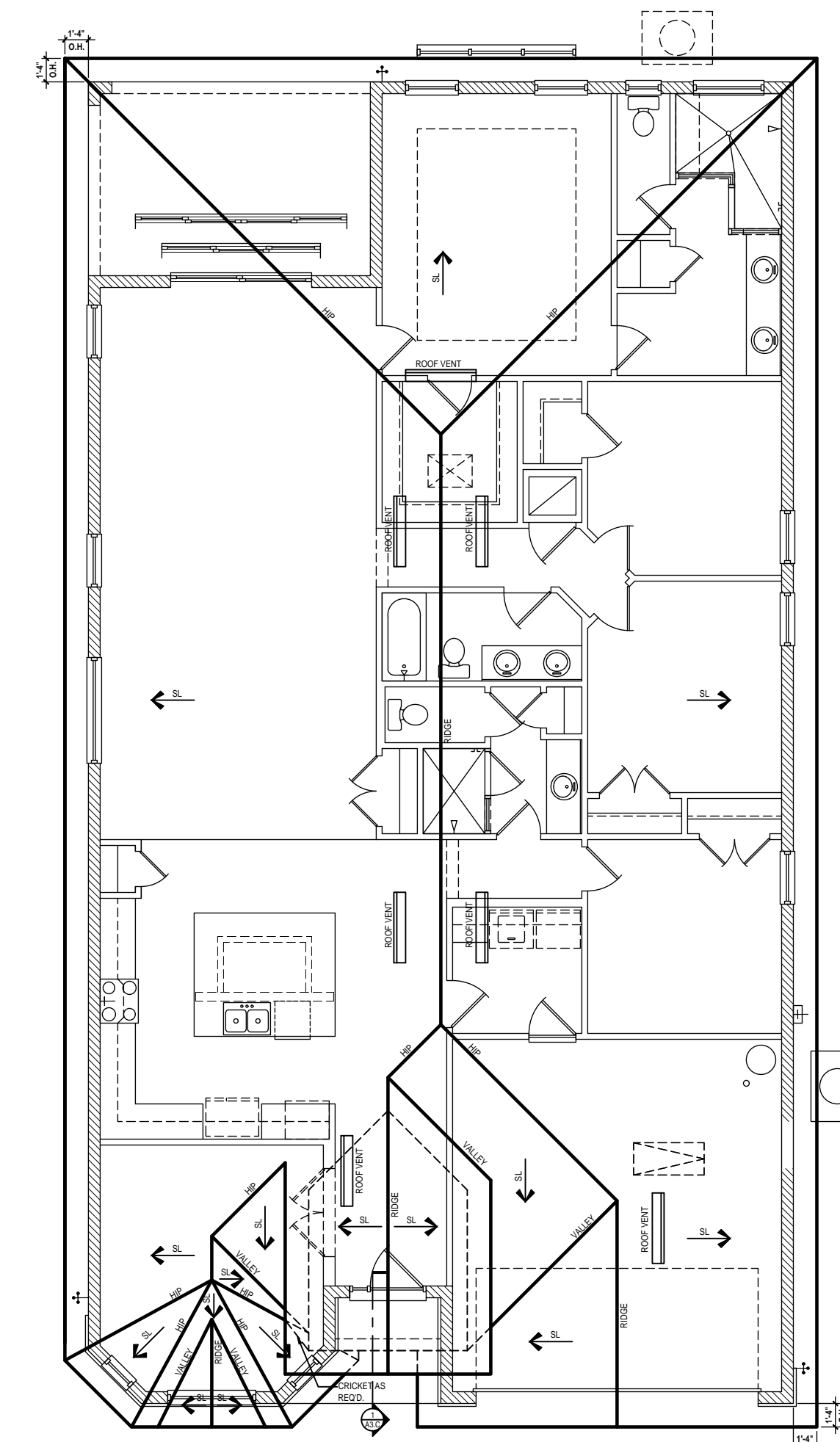
Detail #3
 SCALE 3/4" = 1'-0"



Rear Elevation "C"
 (Standard)
 SCALE 1/4" = 1'-0" (22x34)



Detail #2
 SCALE 1" = 1'-0"



Roof Layout
 (Standard)
 SCALE 1/8" = 1'-0" (24x36)

ATTIC VENT CALC'S:

2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE.
 FIRST FLOOR:
 TOTAL VENTED SPACE: 3,290 = 10.96 SF. NET FREE
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4,386 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 7 VENTS @ .683 /PER VENT

LOWER PORTION VENTILATION TOTAL: 6.58 SF. TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 LF. @ 0.082 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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 residential-commercial-architecture

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Park Square HOMES

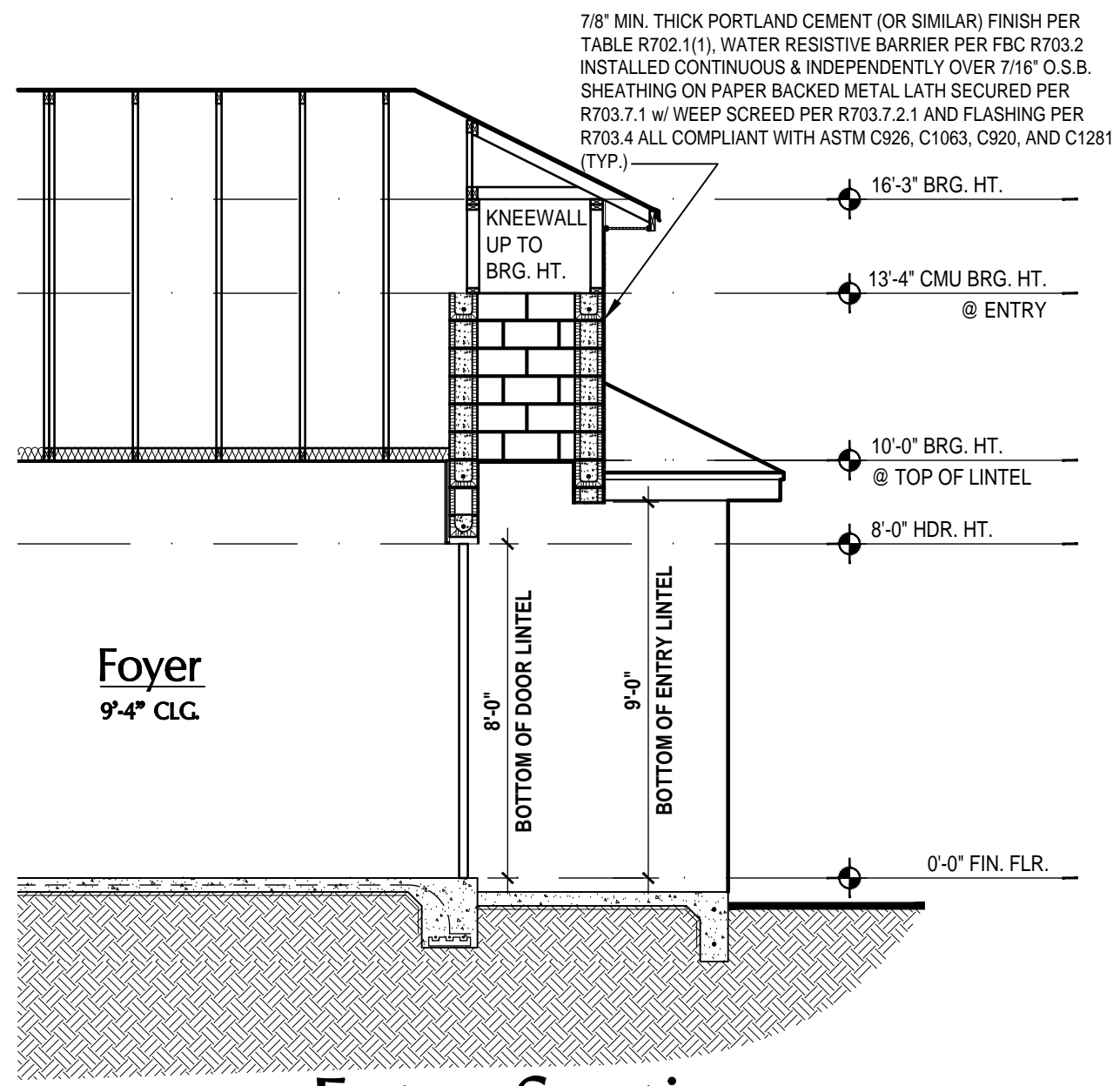
ISSUE DATE: 12/06/2022

REVISIONS

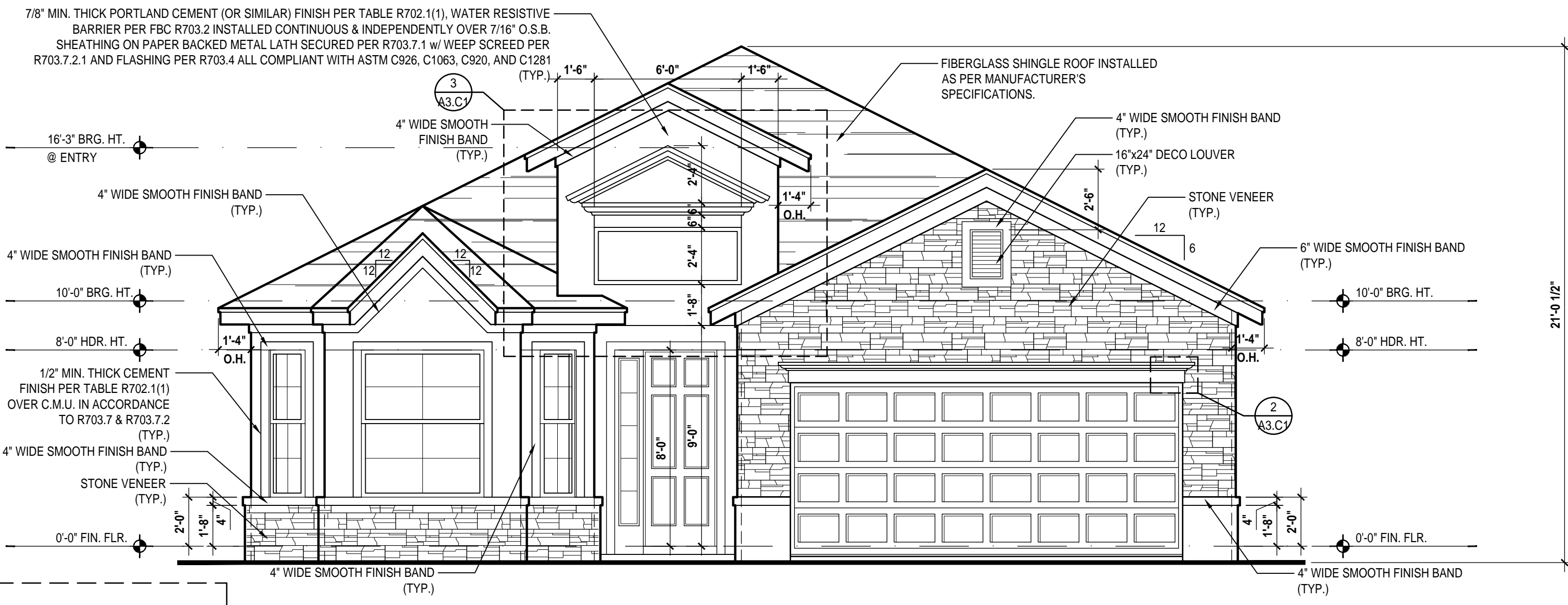
PROJECT: 22-1082
 SCALE: AS NOTED
 DRAWN BY: M.C.
 DESIGNED BY: MJS

ELEVATIONS "A"
A3.C

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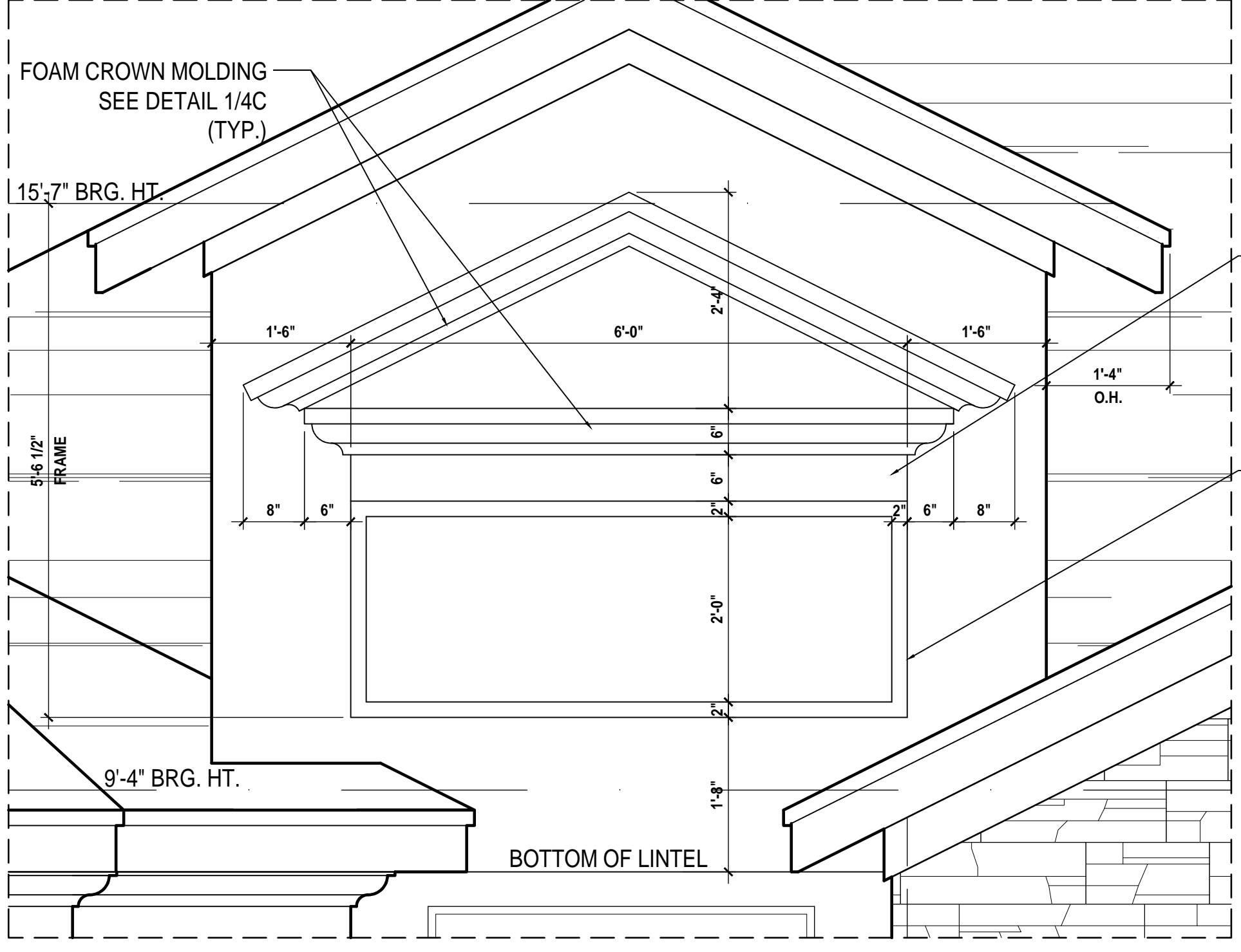


1 Entry Section
 SCALE: 1/4" = 1'-0" (22x34)
 A3.C1

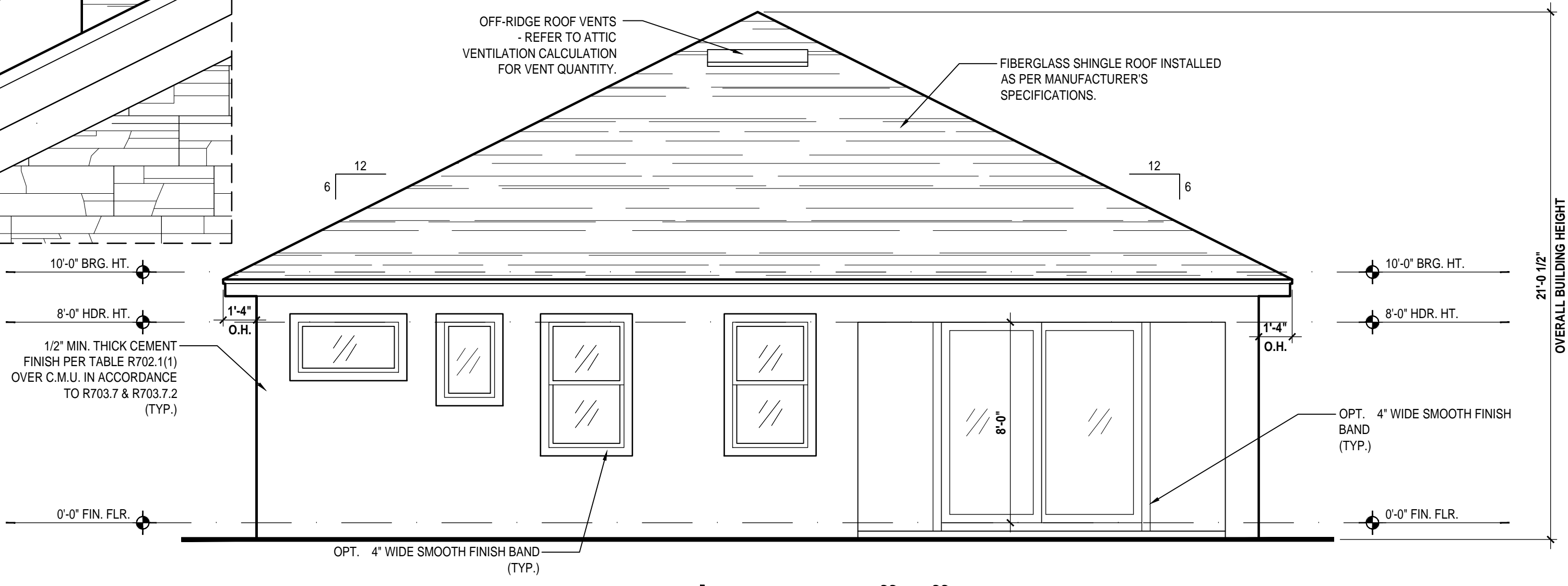


Front Elevation "C"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)

10'



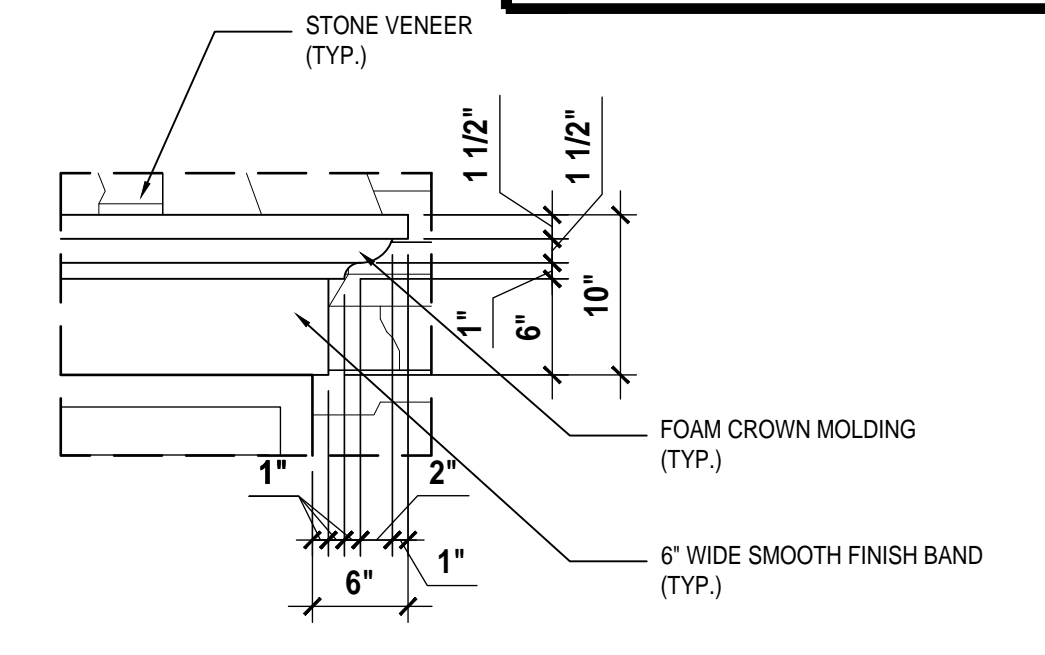
Detail #3
 SCALE: 3/4" = 1'-0"



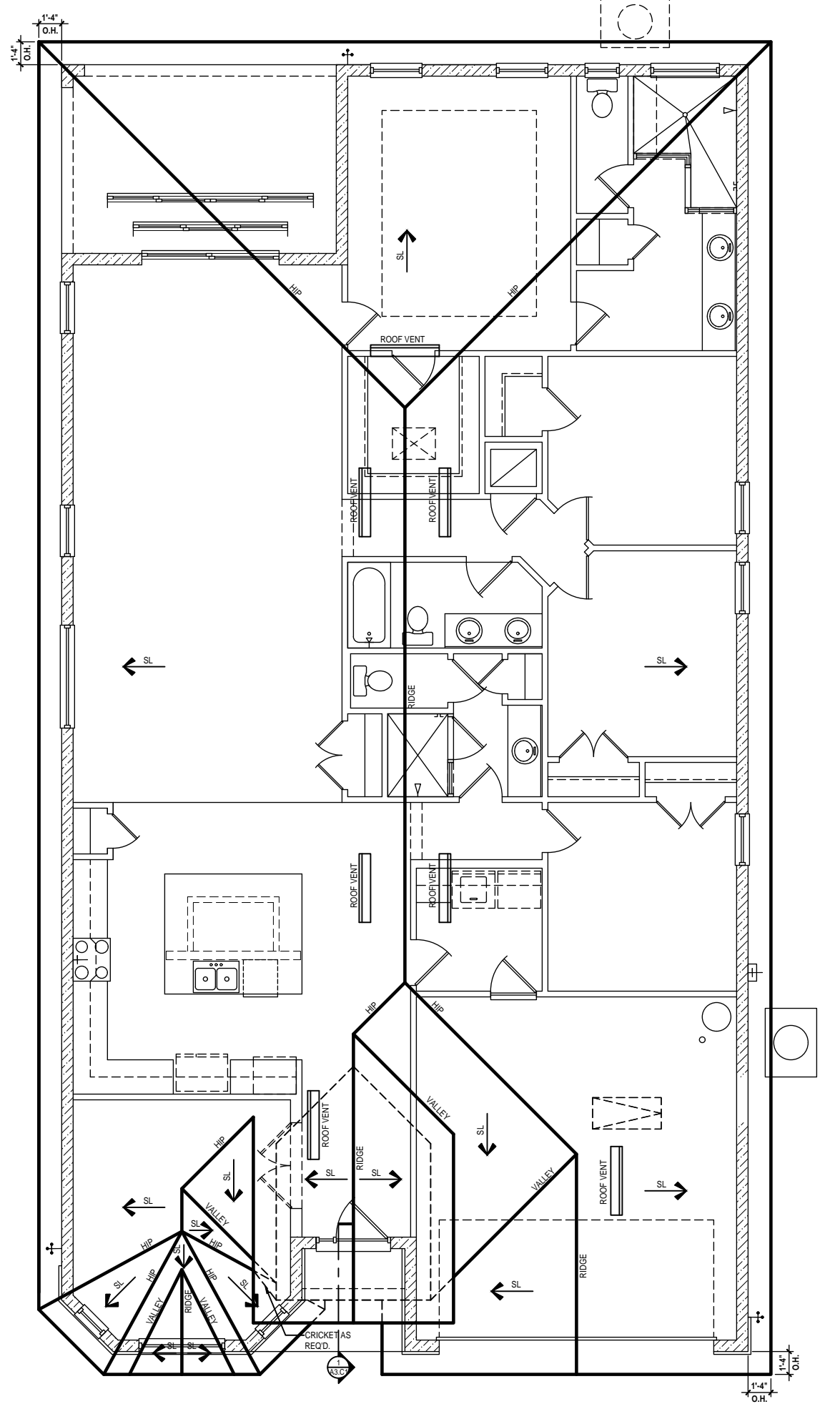
Rear Elevation "C"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

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 UPPER ROOF PERCENTAGE: 40%
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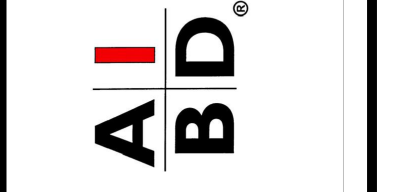
Detail #2
 SCALE: 1" = 1'-0"



Roof Layout
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/8" = 1'-0" (24x36)



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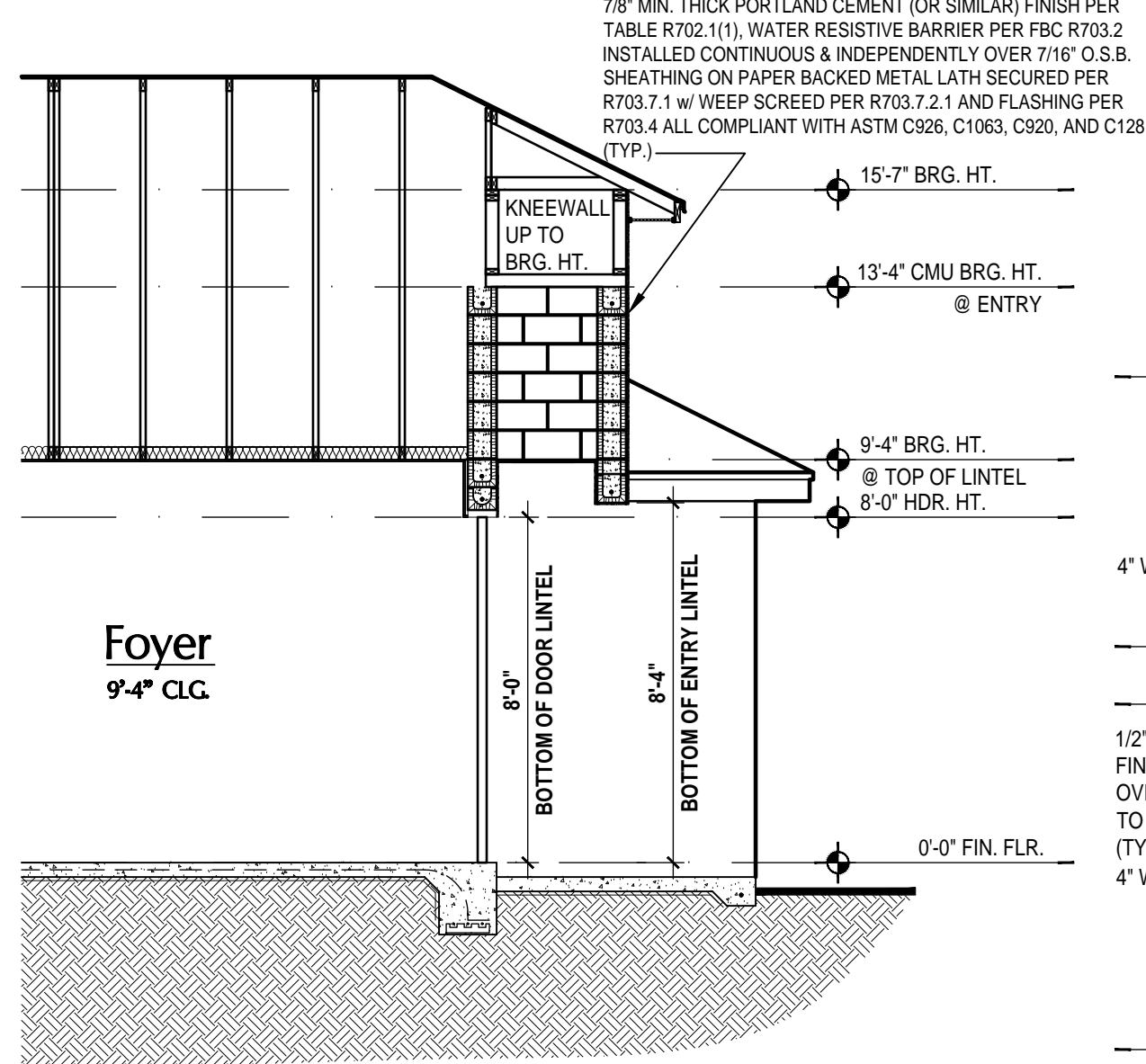
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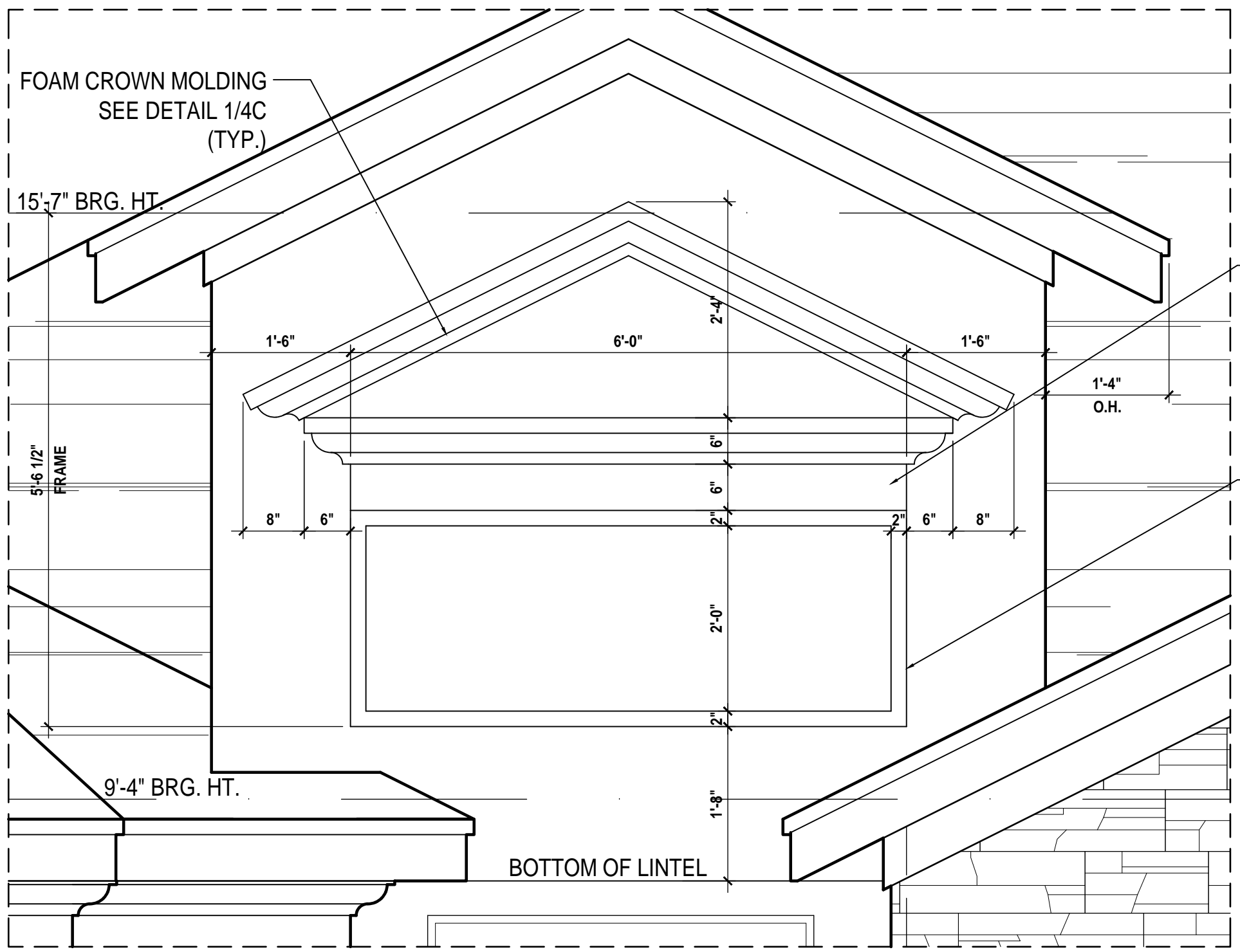
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELEVATIONS "A"
A3.C1

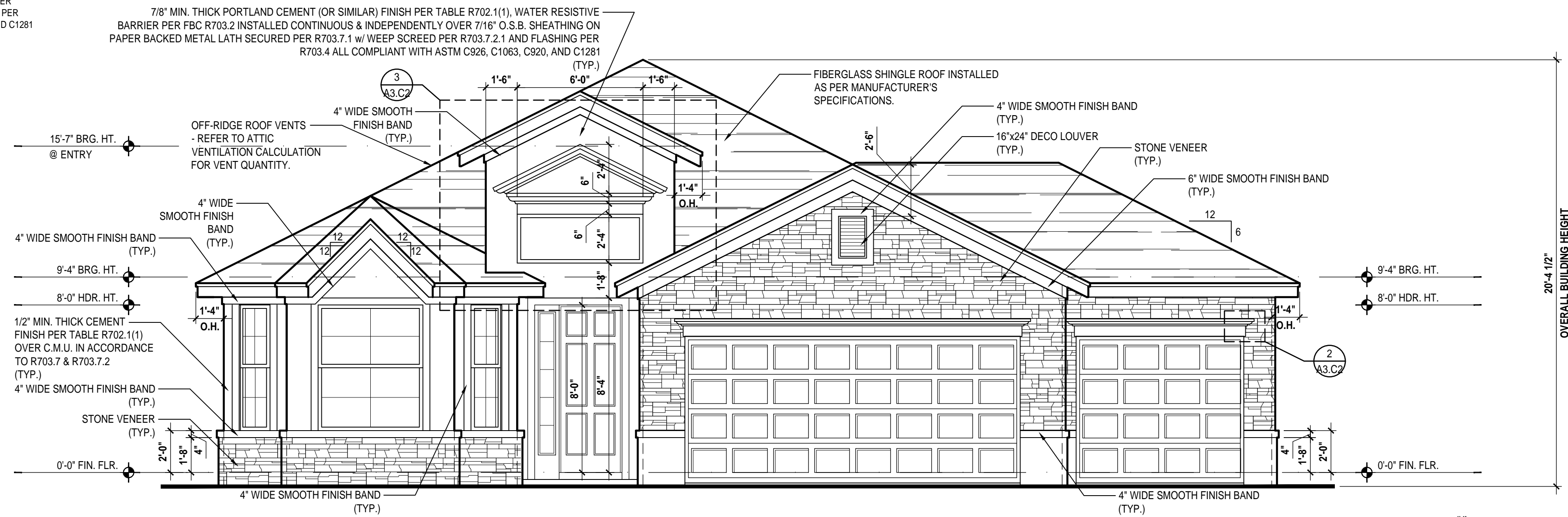
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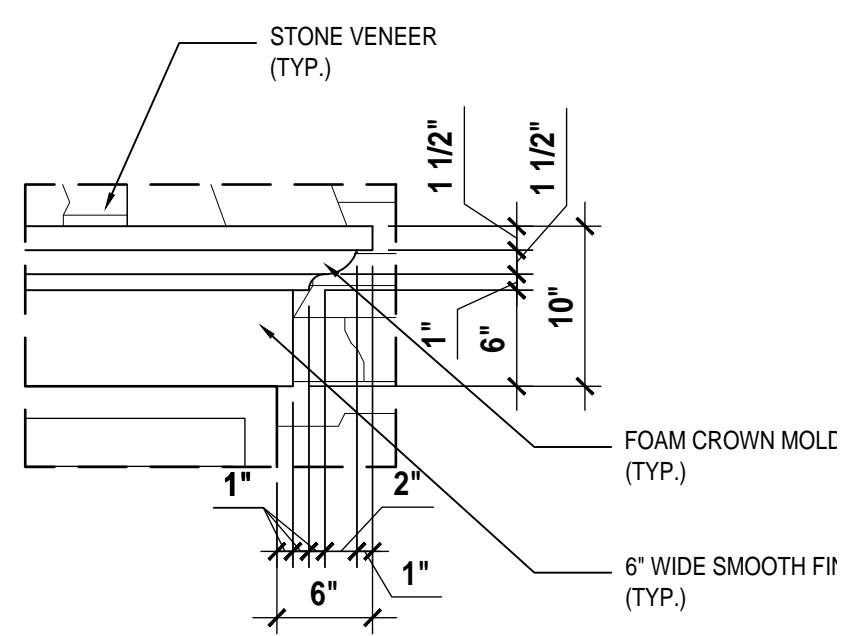
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A3.C2
Entry Section
SCALE 1/4" = 1'-0" (22x34)



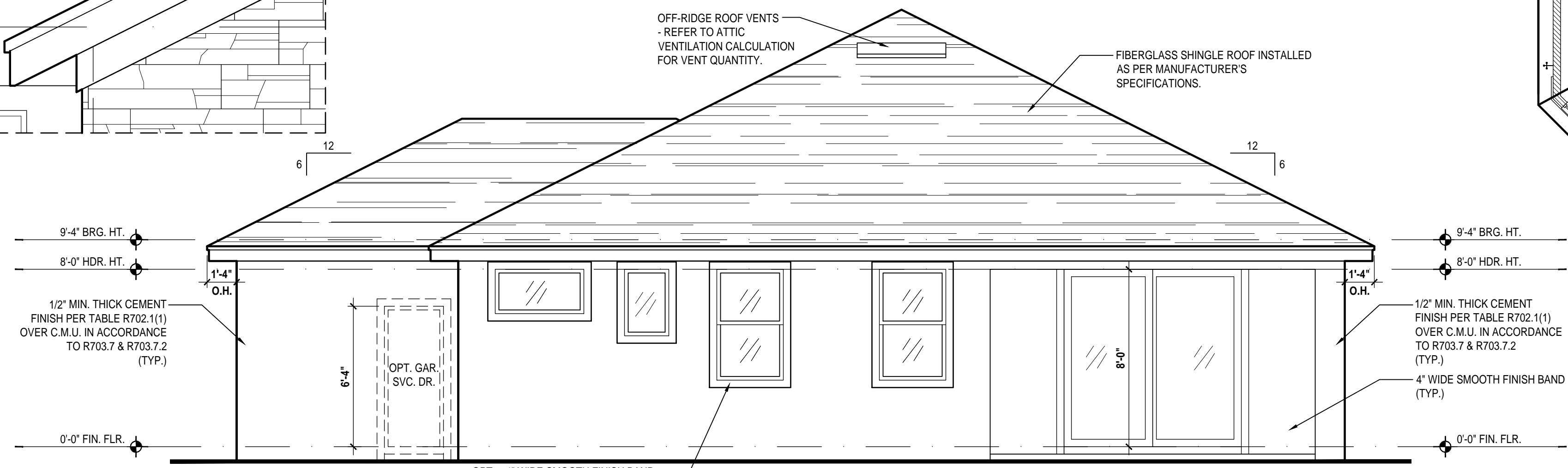
Detail #3
SCALE 3/4" = 1'-0"



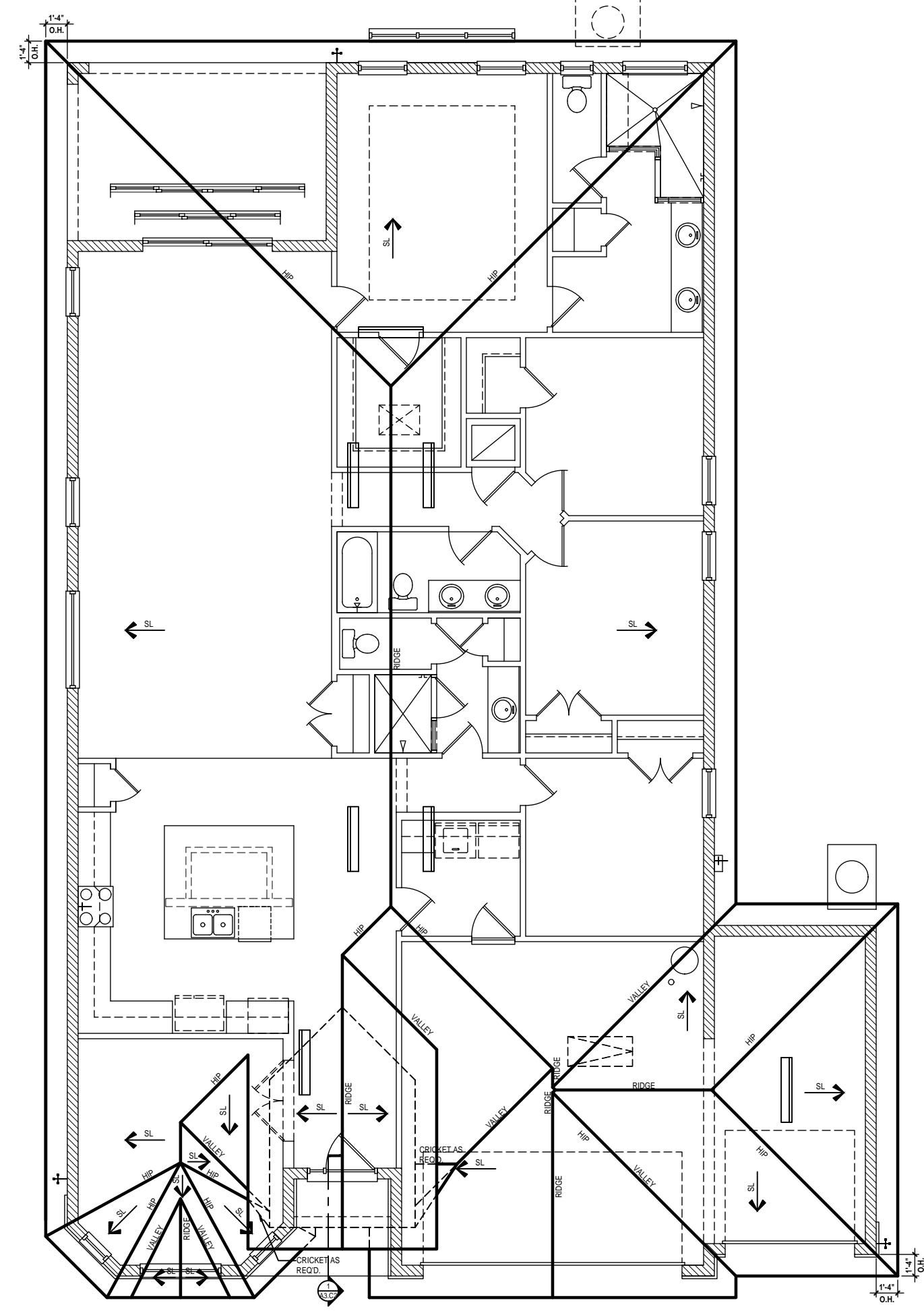
Front Elevation "C"
(3-Car Garage)
SCALE 1/4" = 1'-0" (22x34)



Detail #2
SCALE 1" = 1'-0"



Rear Elevation "C"
(3-Car Garage)
SCALE 1/4" = 1'-0" (22x34)



Roof Layout
(3-Car Garage)
SCALE 1/8" = 1'-0" (24x36)

ATTIC VENT CALC'S:

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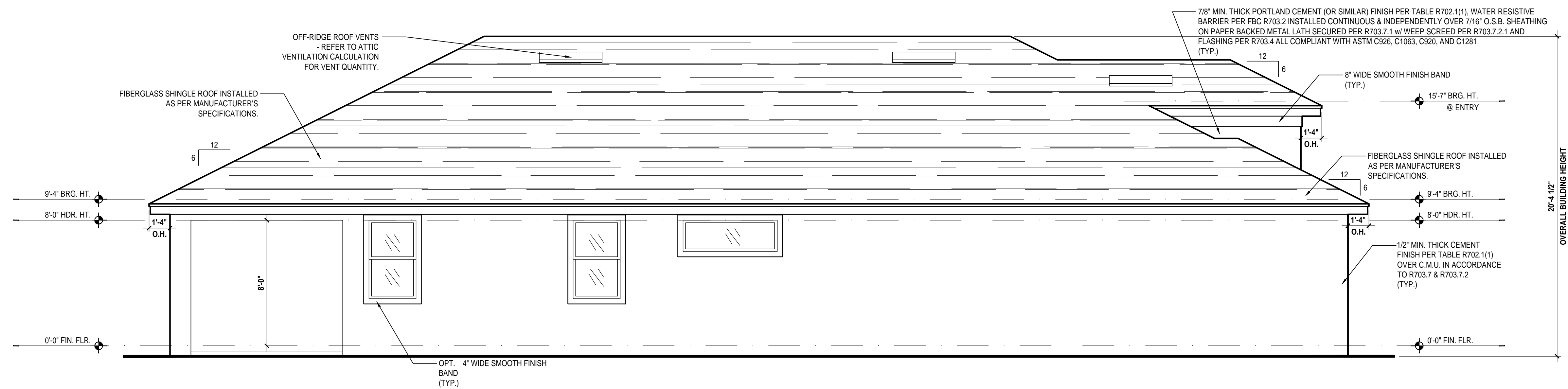
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ISSUE DATE: 12/06/2022
REVISIONS:
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ELEVATIONS "A"
A3.C2

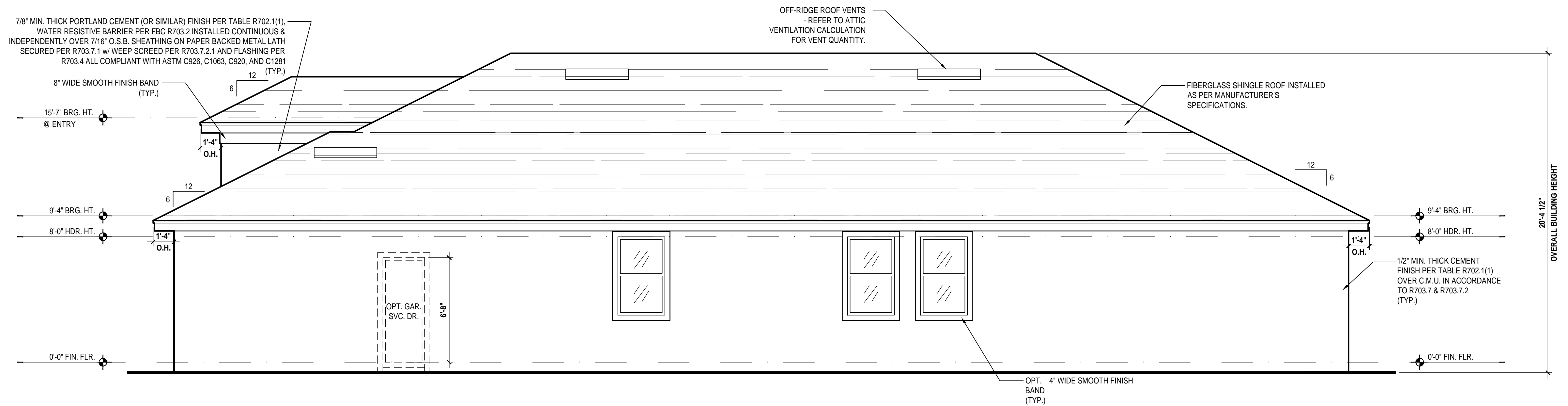
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Left Elevation "A"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)



Right Elevation "A"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)



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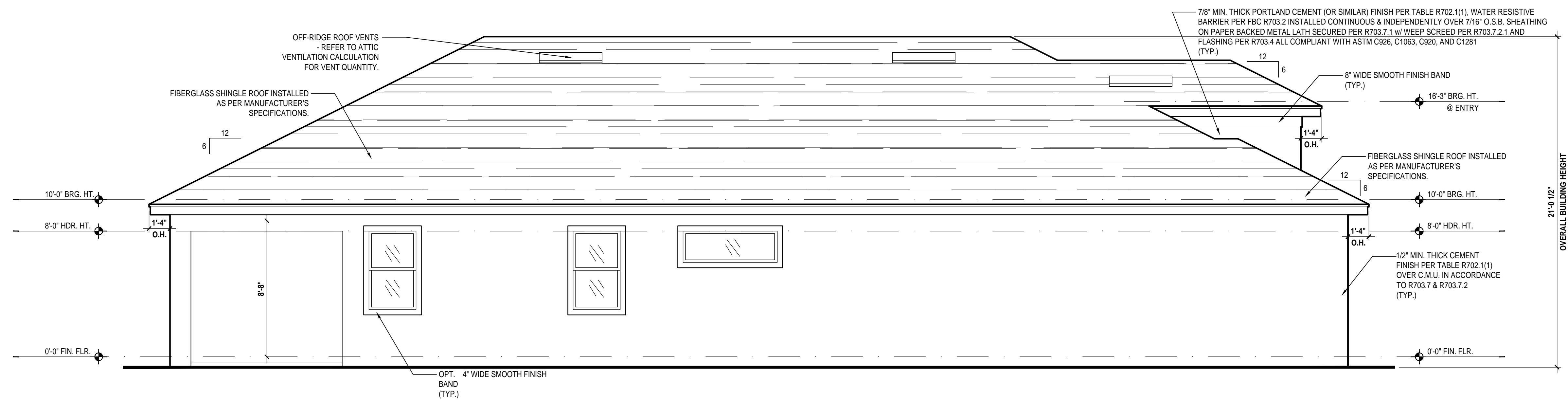
ISSUE DATE 12/06/2022

REVISIONS

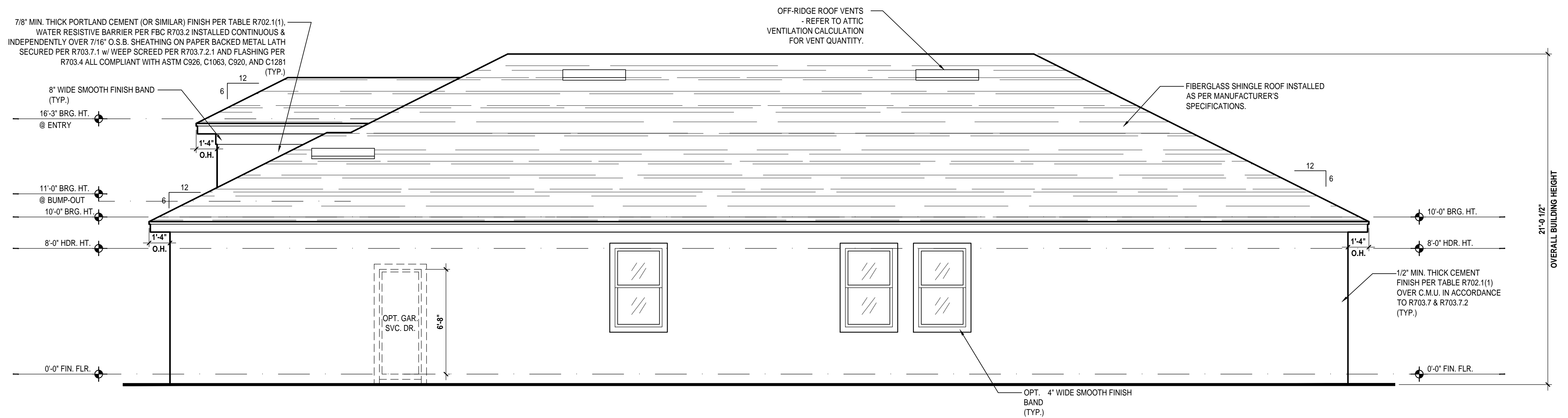
PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

ELEVATIONS
A4.A

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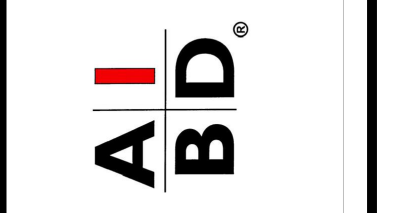
Left Elevation "A"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)



Right Elevation "A"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)



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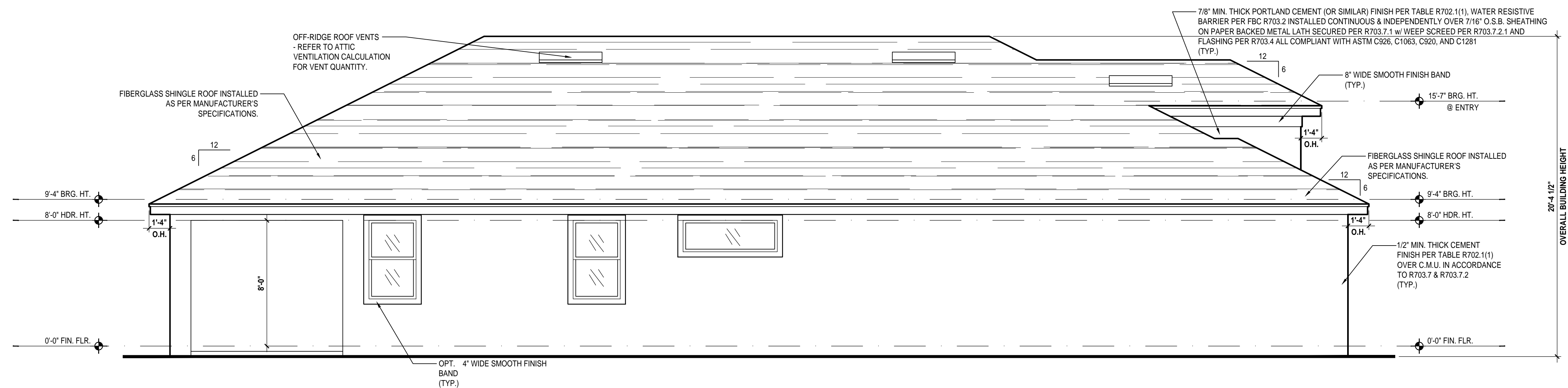
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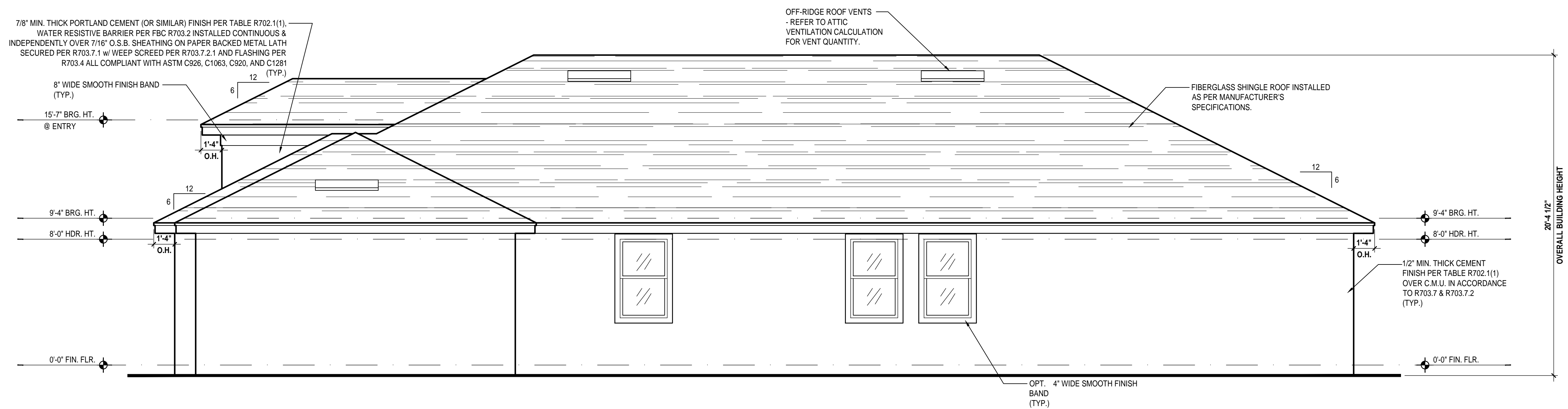
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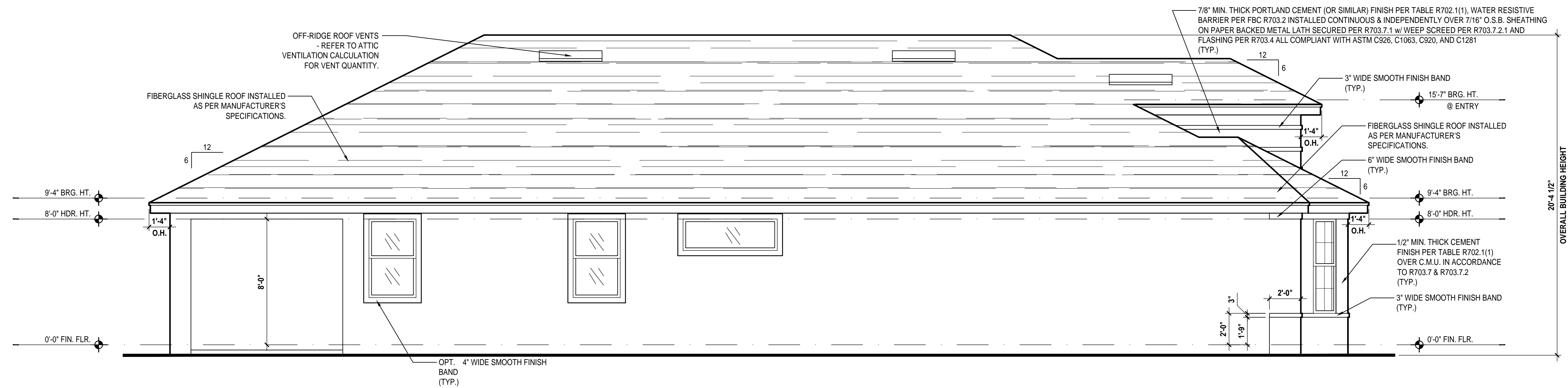


Left Elevation "A"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)



Right Elevation "A"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)

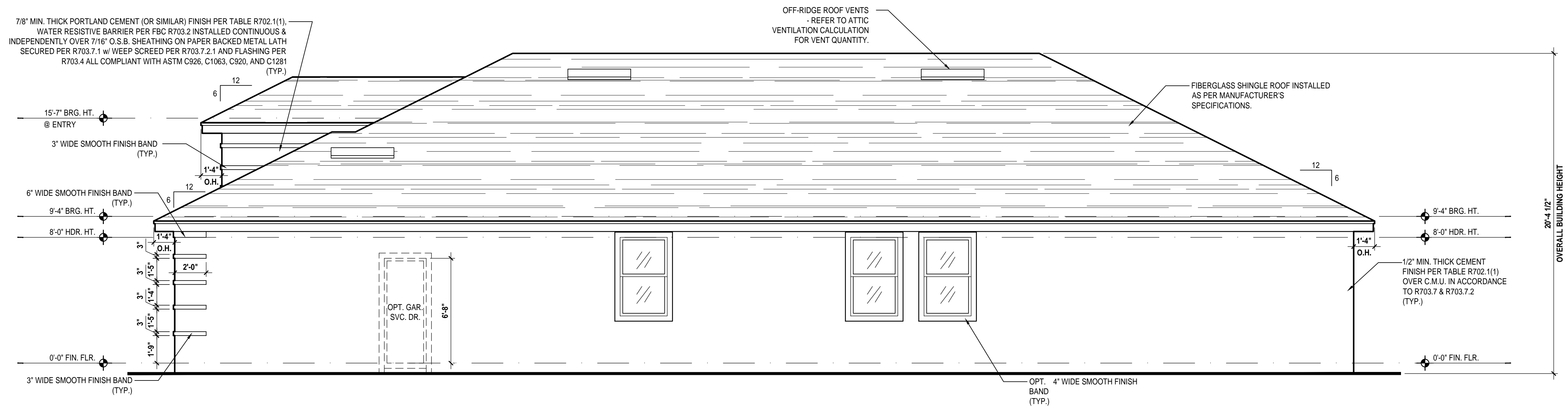
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Left Elevation "B"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)



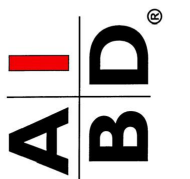
Right Elevation "B"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)



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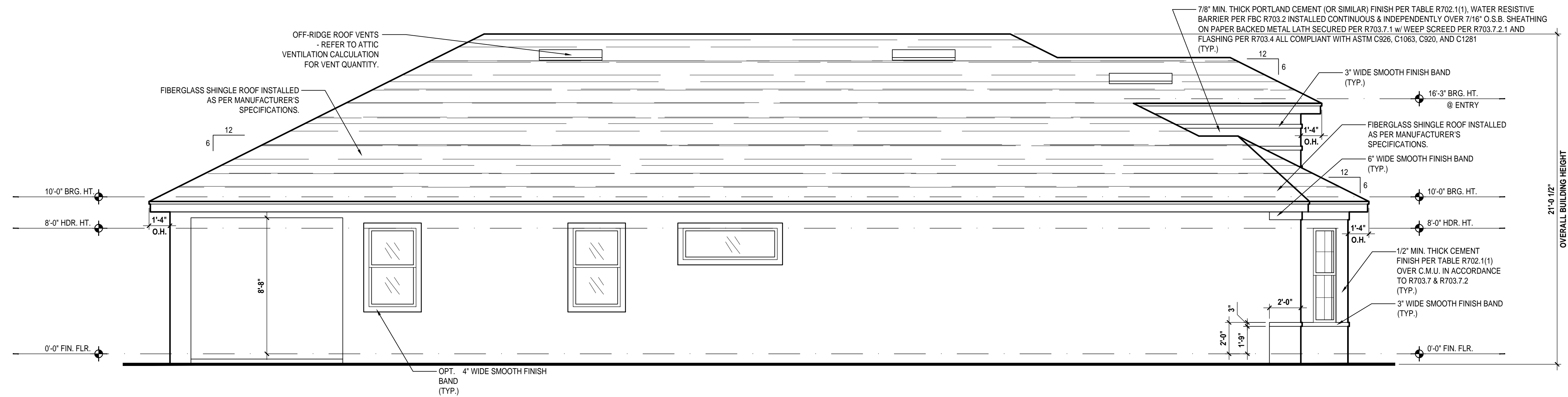
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ELEVATIONS
A4.B

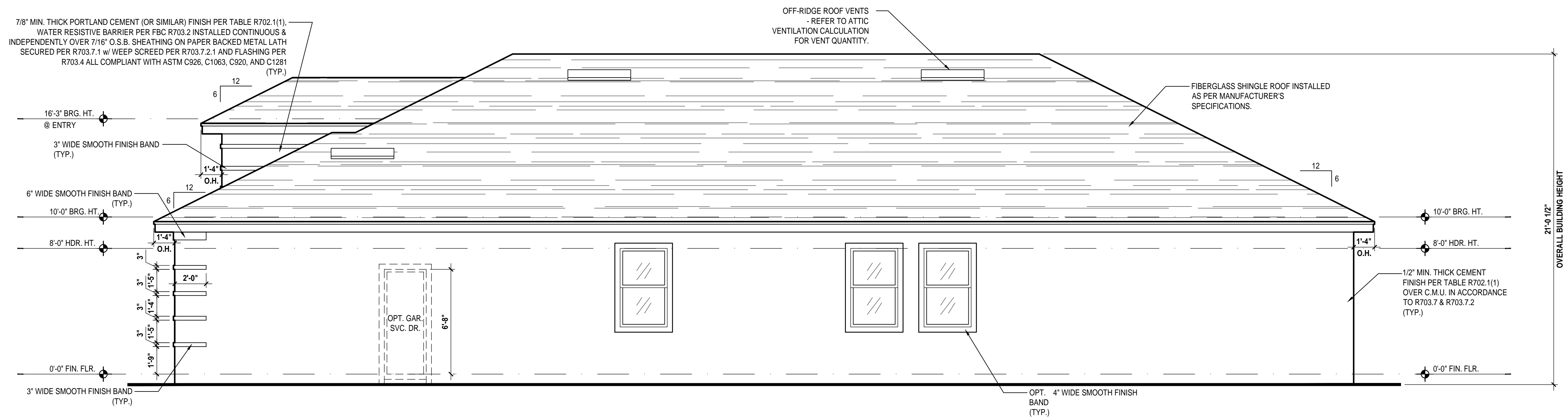
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Left Elevation "B"

(Opt. 10'-0" Brg. Ht.)

SCALE: 1/4" = 1'-0" (22x34)

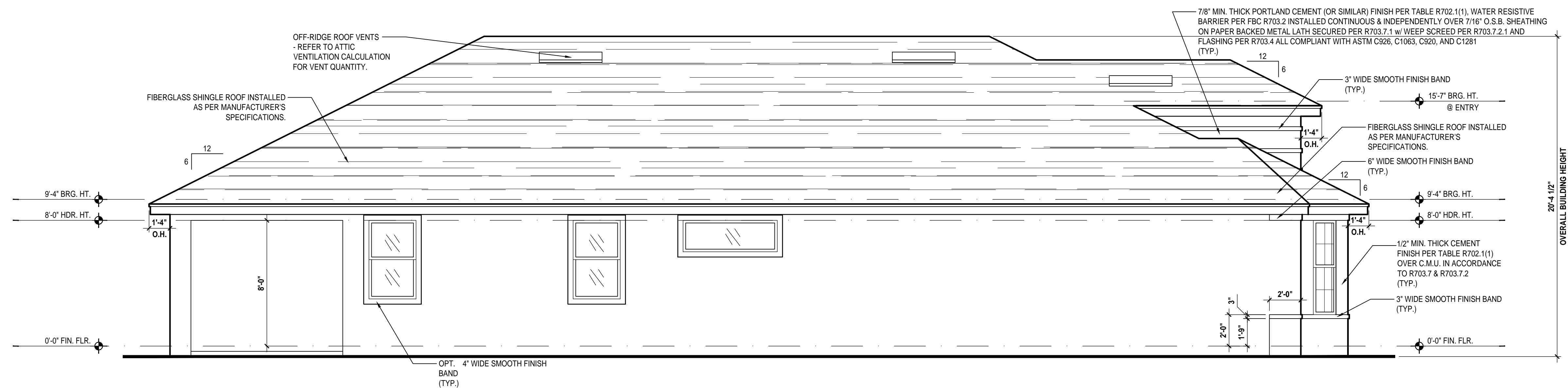


Right Elevation "B"

(Opt. 10'-0" Brg. Ht.)

SCALE: 1/4" = 1'-0" (22x34)

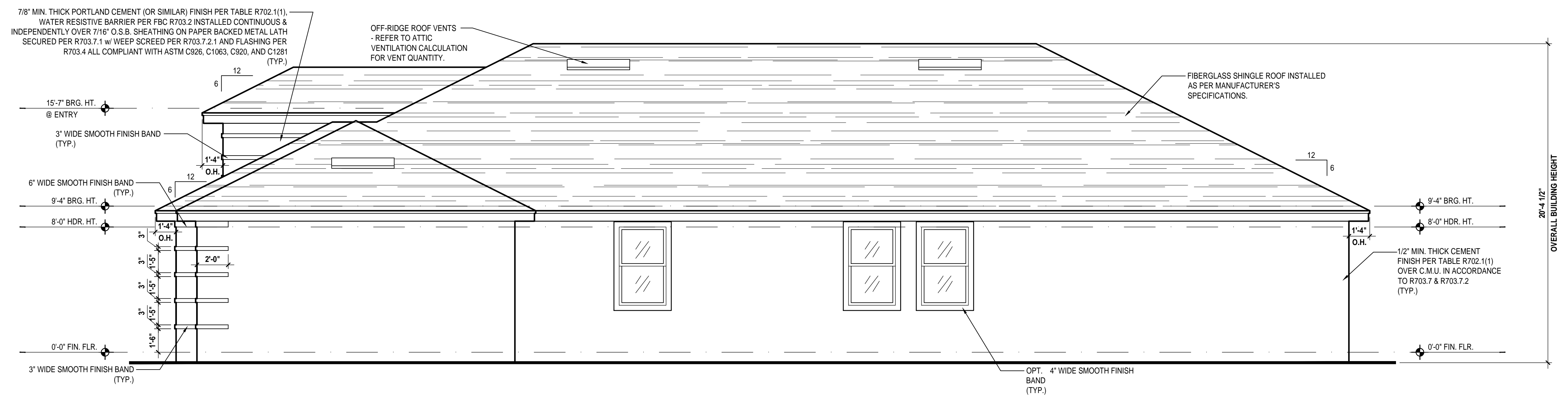
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Left Elevation "B"

(3-Car Garage)

SCALE: 1/4" = 1'-0" (22x34)



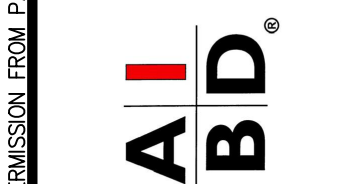
Right Elevation "B"

(3-Car Garage)

SCALE: 1/4" = 1'-0" (22x34)



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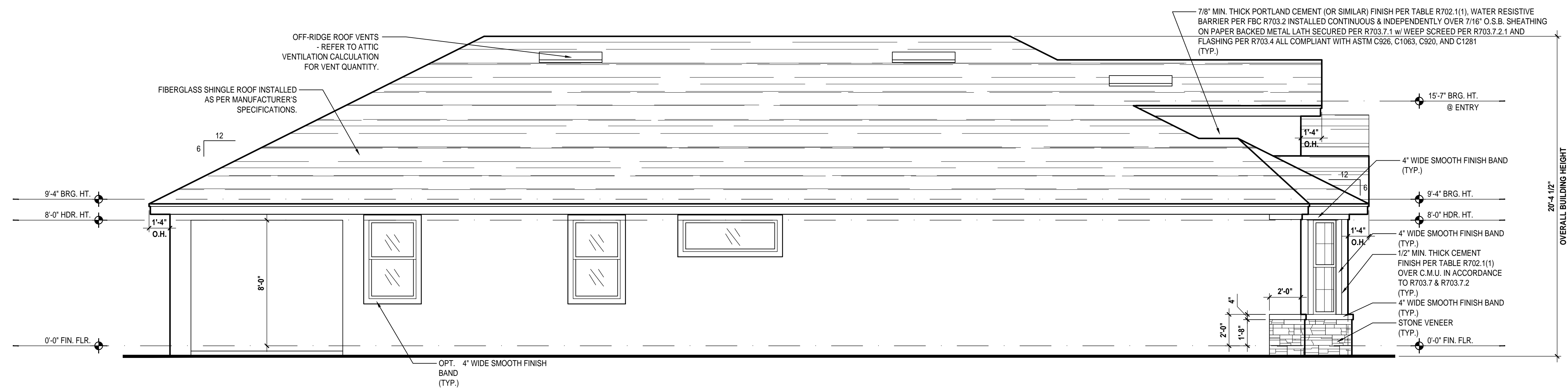
ISSUE DATE 12/06/2022

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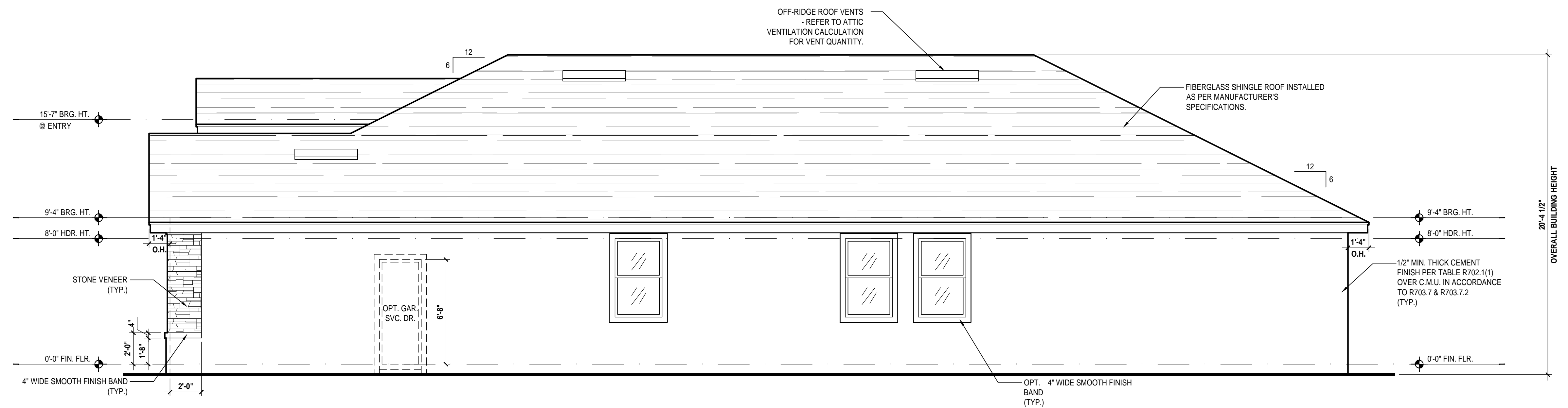
PROJECT: 22-1082
 SCALE: AS NOTED
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 DESIGNED BY: MJS

ELEVATIONS
 A4.B2

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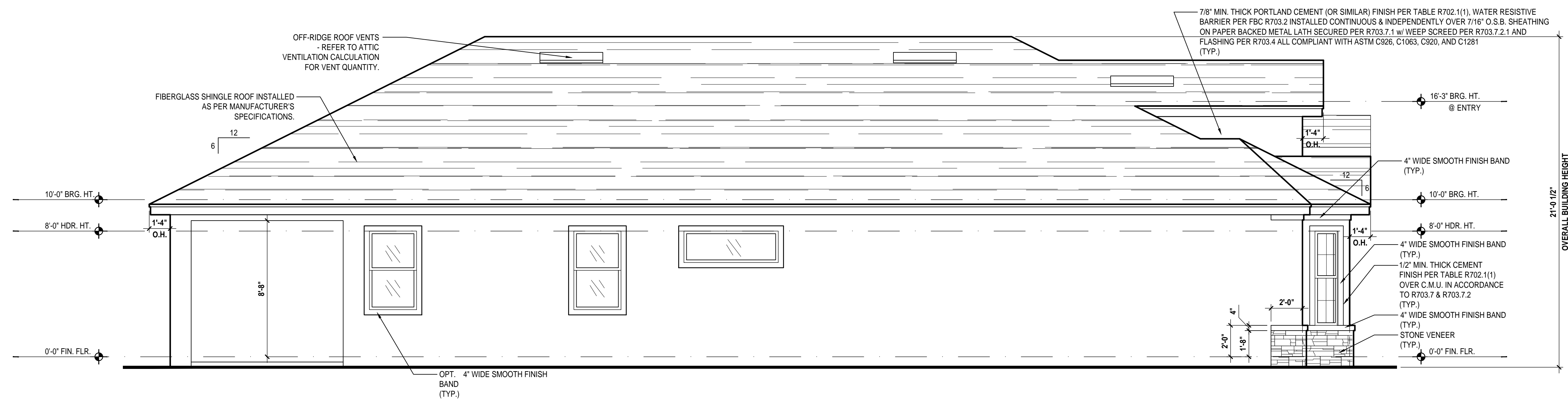


Left Elevation "C"
 (Standard)
 SCALE: 1/4" = 1'-0" (22x34)

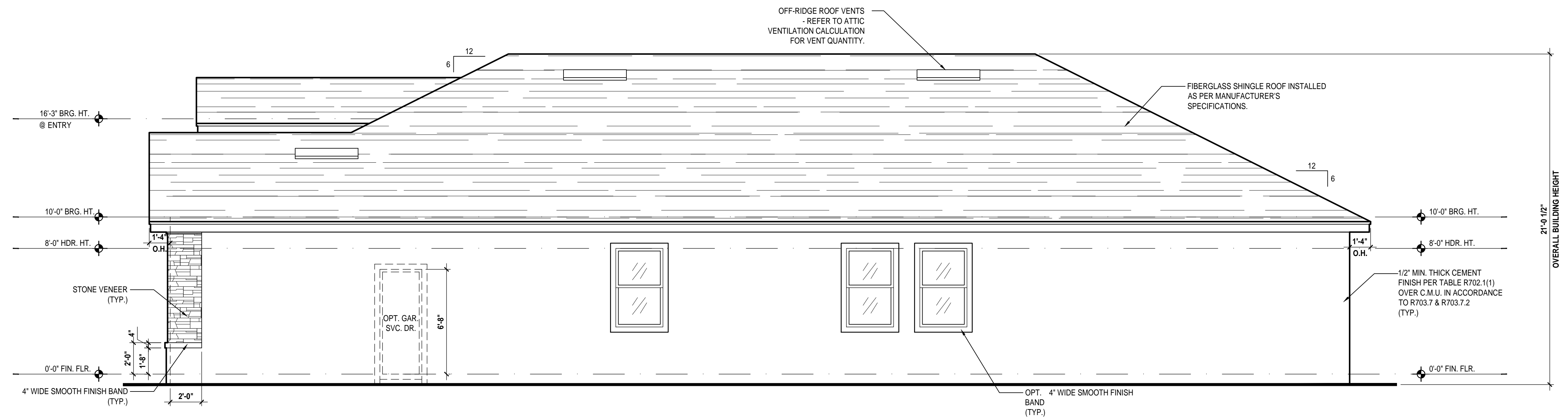


Right Elevation "C"
 (Standard)
 SCALE: 1/4" = 1'-0" (22x34)

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Left Elevation "C"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)



Right Elevation "C"
 (Opt. 10'-0" Brg. Ht.)
 SCALE: 1/4" = 1'-0" (22x34)



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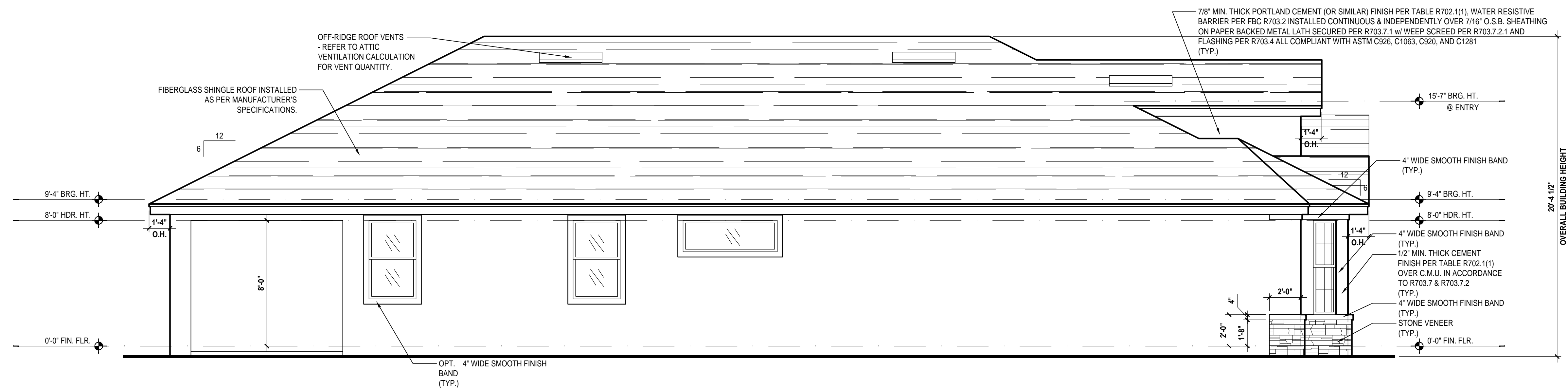
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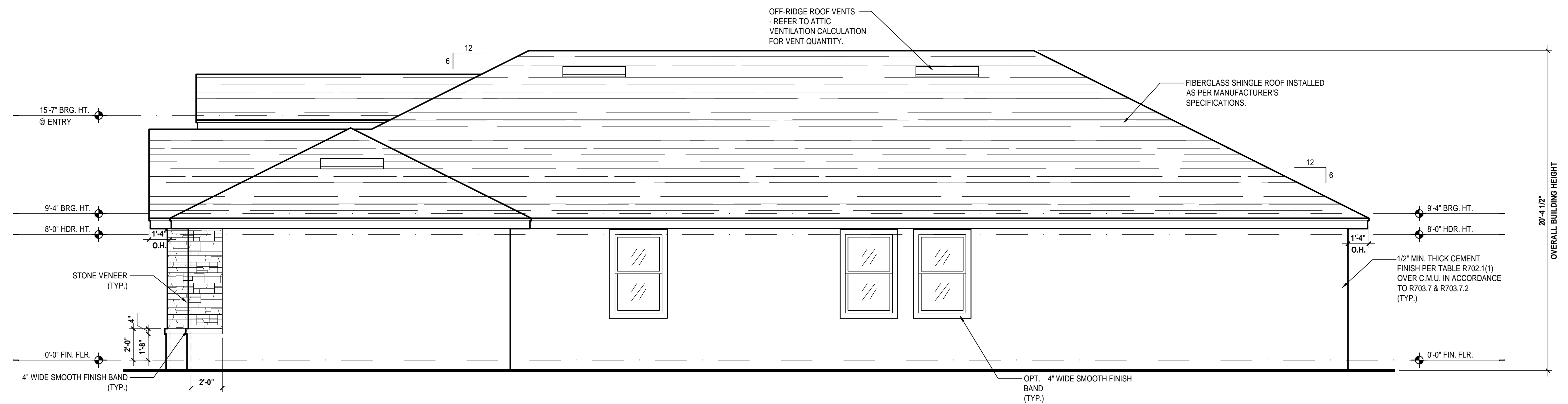
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PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELEVATIONS
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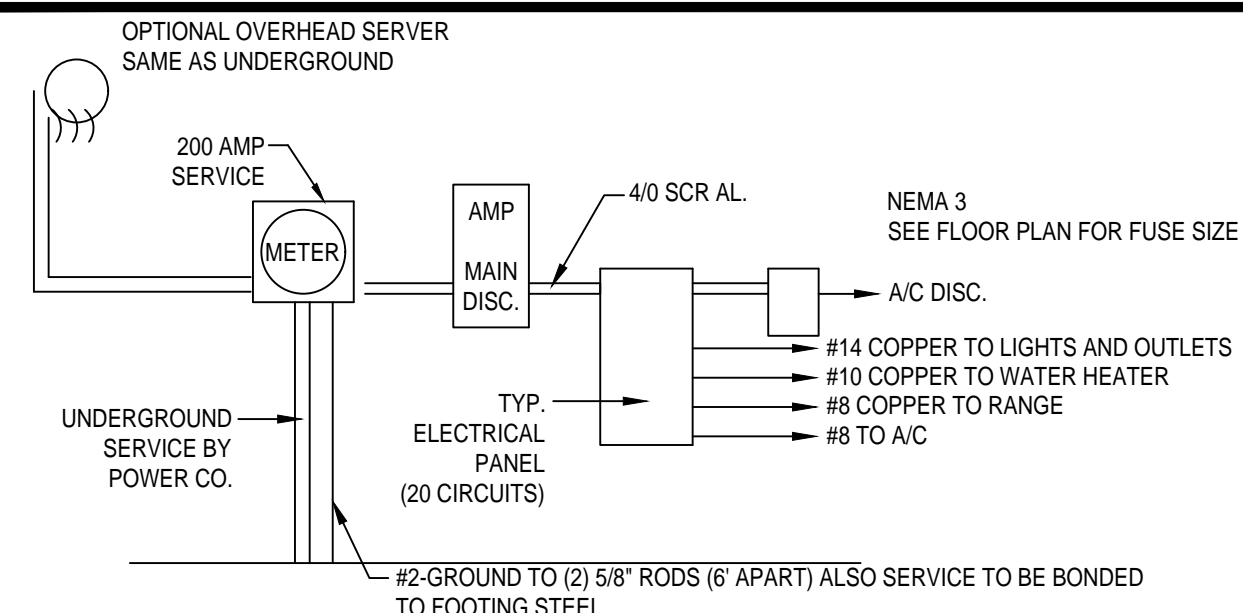


Left Elevation "C"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)



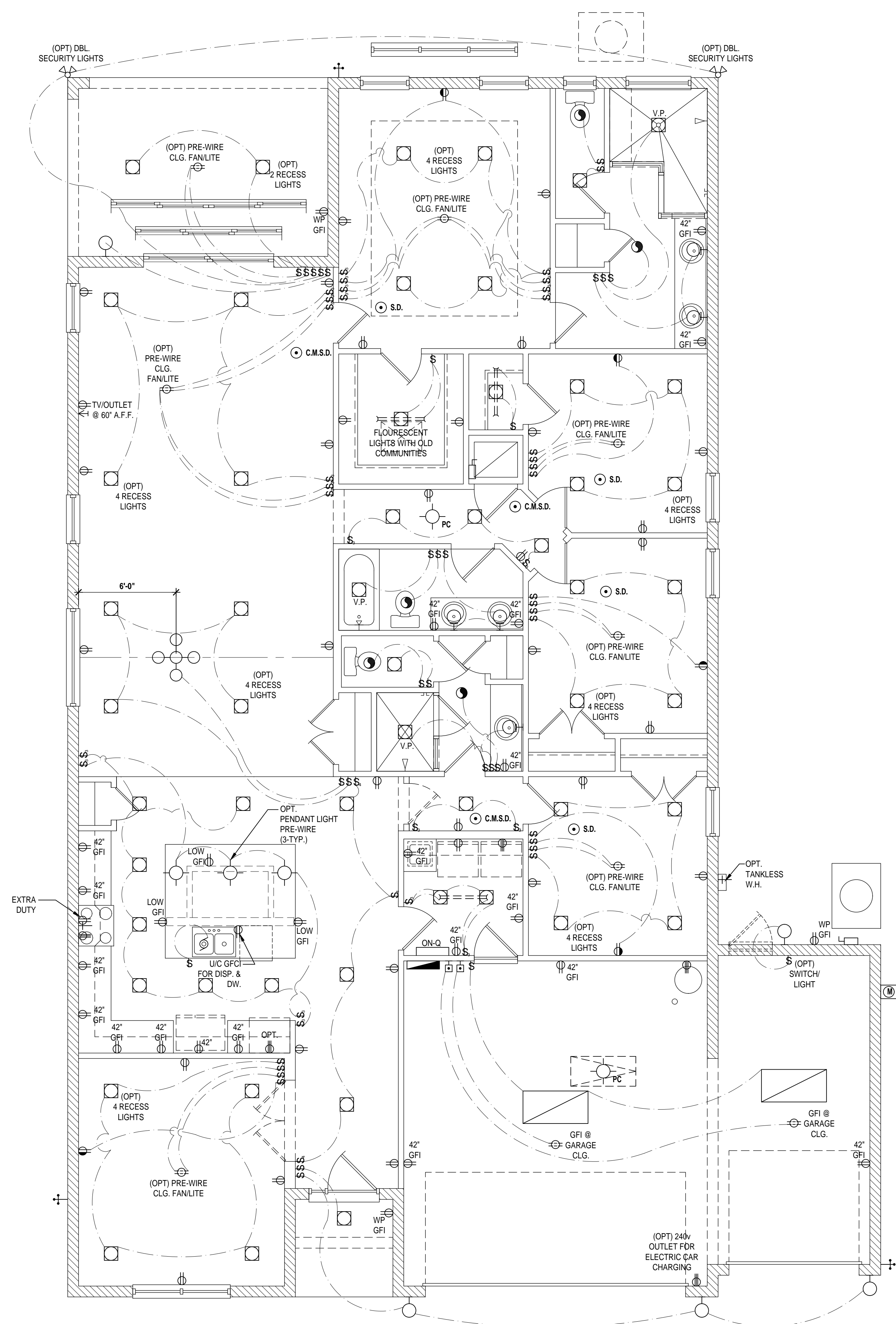
Right Elevation "C"
 (3-Car Garage)
 SCALE: 1/4" = 1'-0" (22x34)

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 #10 COPPER THWN WILL BE USED FOR BOTH HOT WIRES. #1 COPPER THWN WILL BE USED FOR THE NEUTRALS.
 #8 COPPER THWN WILL BE USED FOR THE NEUTRALS.
 #10 COPPER THWN WILL BE USED FOR THE NEUTRALS.
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200 AMP ELECTRICAL RISER



GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F. (U.N.O.).
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
- IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

NOTES:
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VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION

First Floor Electrical Plan "A"

(Opt. 3-car Garage)

SCALE: 1/4" = 1'-0" (22x34)



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 www.mjshomedesigns.com
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40-2384
 The Hampton
 Lot #X- Subdivision
 Street Address
 City, State, Zip

A division of Park Square Enterprises Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000



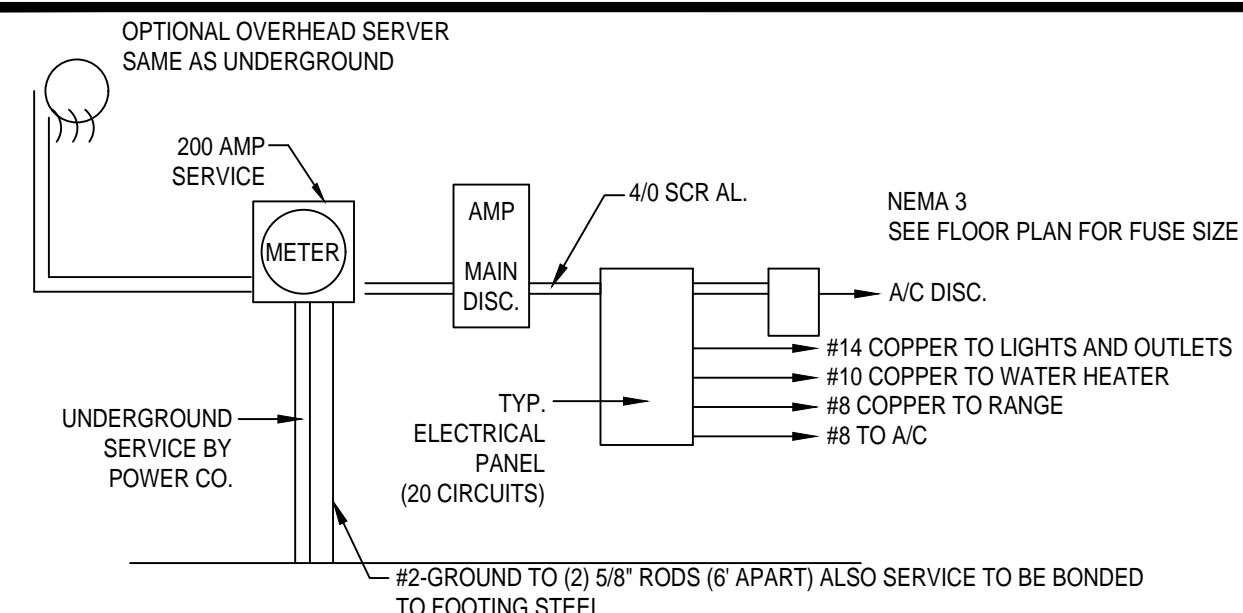
ISSUE DATE 12/06/2022

REVISIONS

PROJECT: 22-1082
 SCALE: AS NOTED
 DRAWN BY: M.C.
 DESIGNED BY: MJS

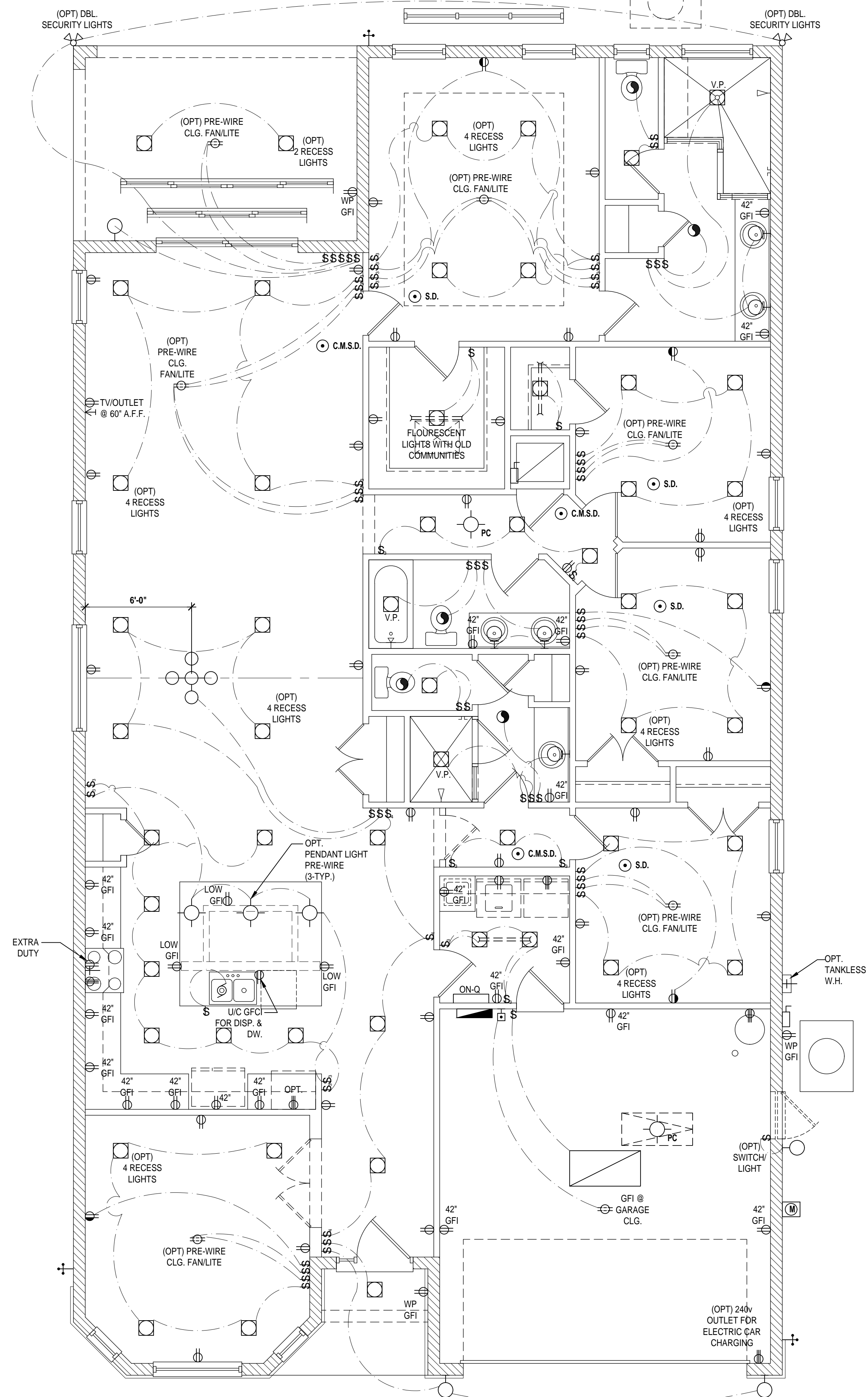
ELECTRICAL PLAN
 A5.A1

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 110 COPPER THIN WILL BE USED FOR BOTH HOT WIRES. #1 COPPER THIN WILL BE USED FOR THE NEUTRALS.
 30 SER ALUM. CABLE WILL BE USED FROM THE DISC. TO THE INSIDE PANELS FROM BOTH DISC. AND BOTH INSIDE PANELS.

200 AMP ELECTRICAL RISER



GENERAL NOTES KEY:

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	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

First Floor Electrical Plan "B,C"

(Standard)

SCALE: 1/4" = 1'-0" (22x34)

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 GREATER ORLANDO BUILDERS ASSOCIATION

40-2384
 The Hampton
 Lot #XX- Subdivision
 Street Address
 City, State, Zip

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 Enterprises Inc.
 5200 Vineland Rd. Suite #200
 Orlando, FL 32811
 Phone: (407) 529-3000

Park Square HOMES

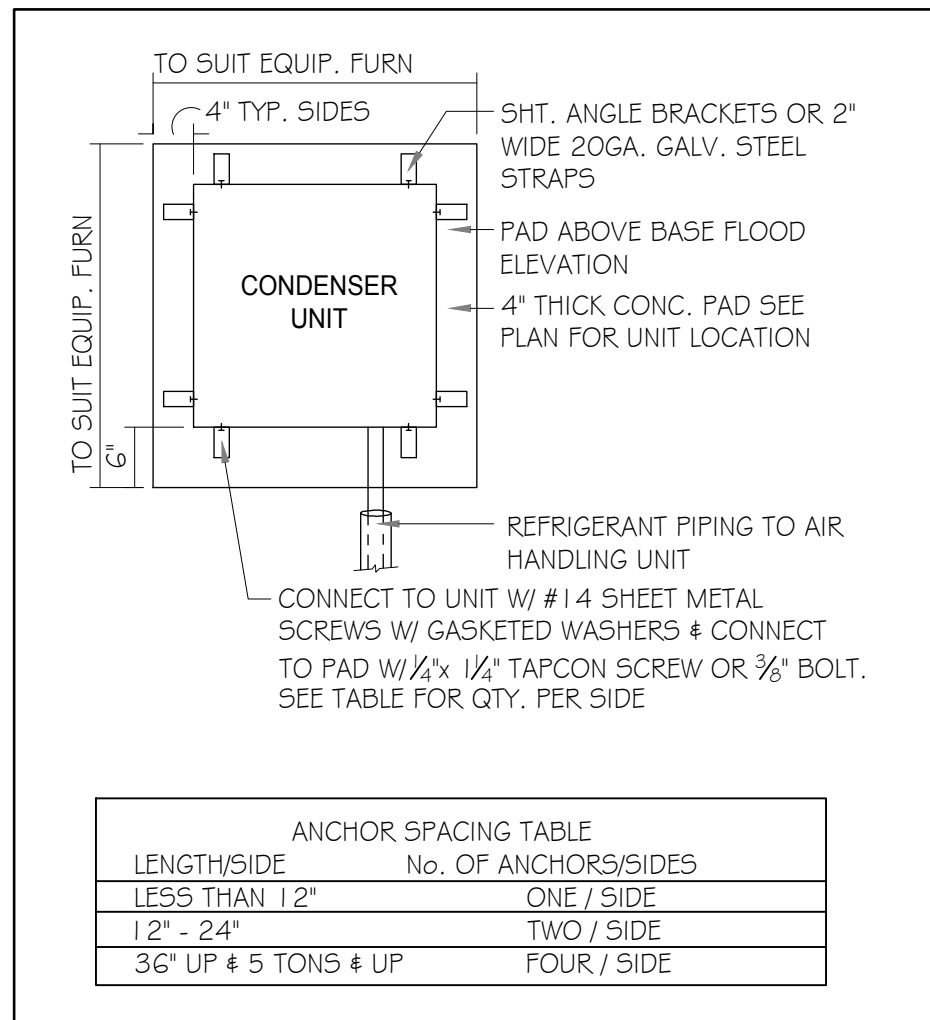
ISSUE DATE: 12/06/2022

REVISIONS:

PROJECT: 22-1082
 SCALE: AS NOTED
 DRAWN BY: M.C.
 DESIGNED BY: MJS

ELECTRICAL PLAN
A5.BC

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ANCHOR SPACING TABLE	
LENGTH/SIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP # 5 TONS # UP	FOUR / SIDE

1 COND. ANCHOR DETAIL N.T.S.

FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER.
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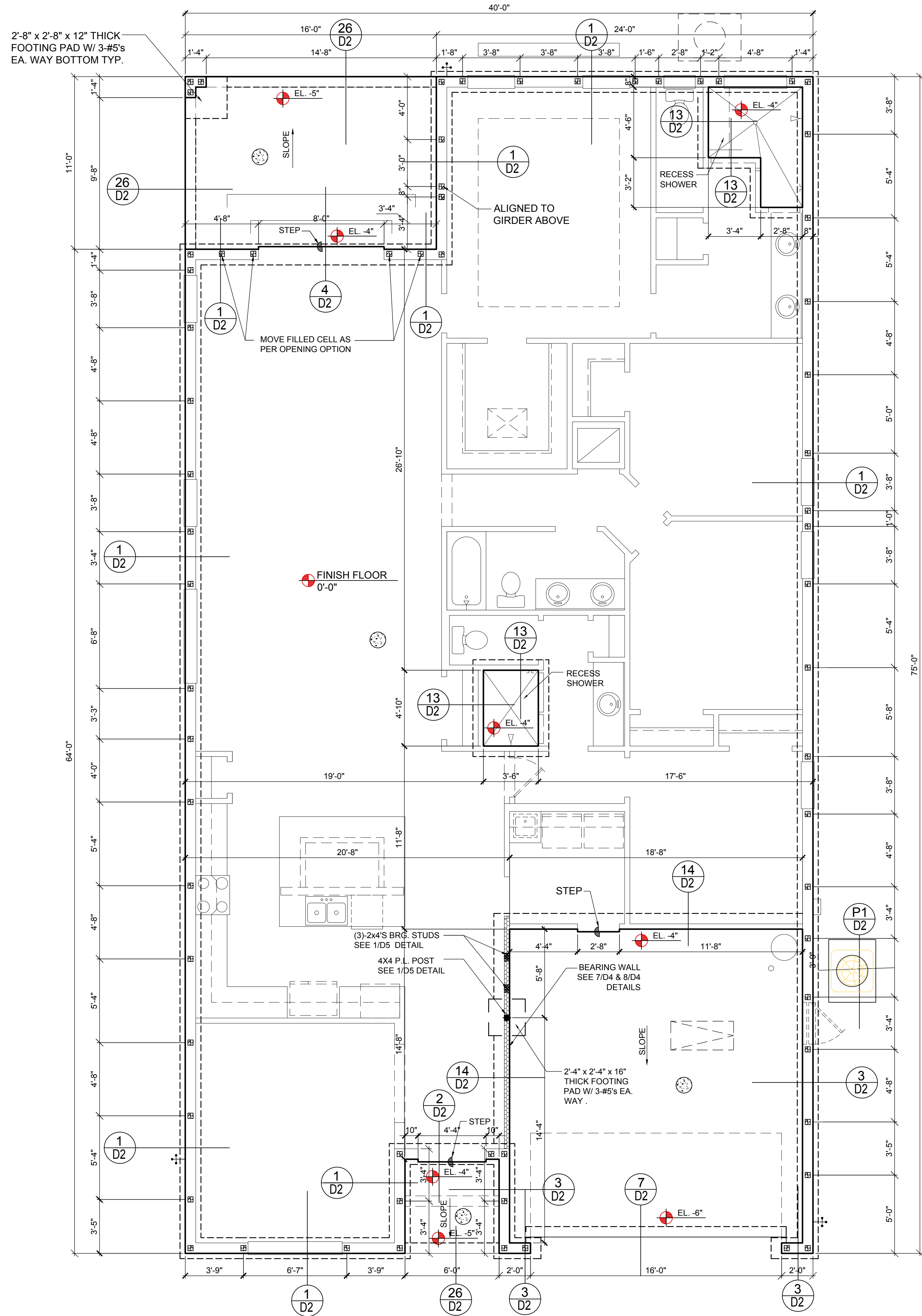
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- ⊠ DENOTES FILL CELL REINF. W/ CONC. W/ 1-#5 REBAR. GRADE GO. ⊞ DENOTES FILL CELL RE. W/ CONC. W/ 2-#5 REBAR. GRADE GO
- ⊙ DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 3000 P.S.I. 4" THICK WITH GYG 10/10 GAUGE REINFORCING MAT. W/ MIN. 0.006mm (6mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WWF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. *FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL G1-FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
- PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
- MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITTE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.

NOTE:
USE ALTERNATIVE STEM
FOOTER FOR 36" OR
HIGHER @ D6 SHEET



FOUNDATION PLAN A (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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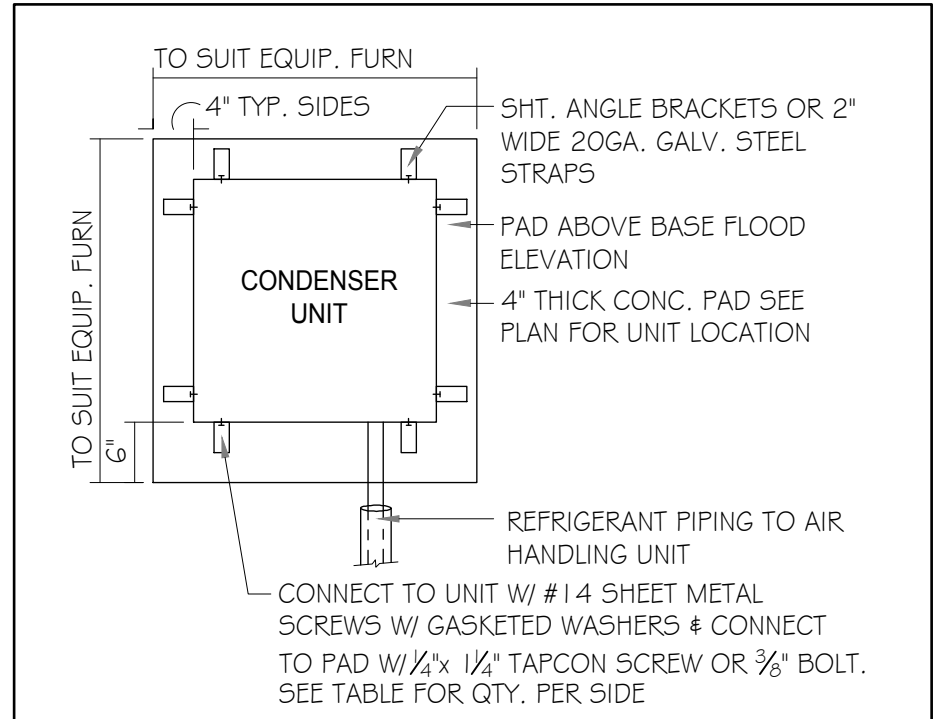
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5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

ISSUE DATE 12/06/2022

REVISIONS

PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

S1.A0



ANCHOR SPACING TABLE	
LENGTH/SIDE	NO. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP # 5 TONS # UP	FOUR / SIDE

1 COND. ANCHOR DETAIL
N.T.S.

FIELD REPAIR NOTES

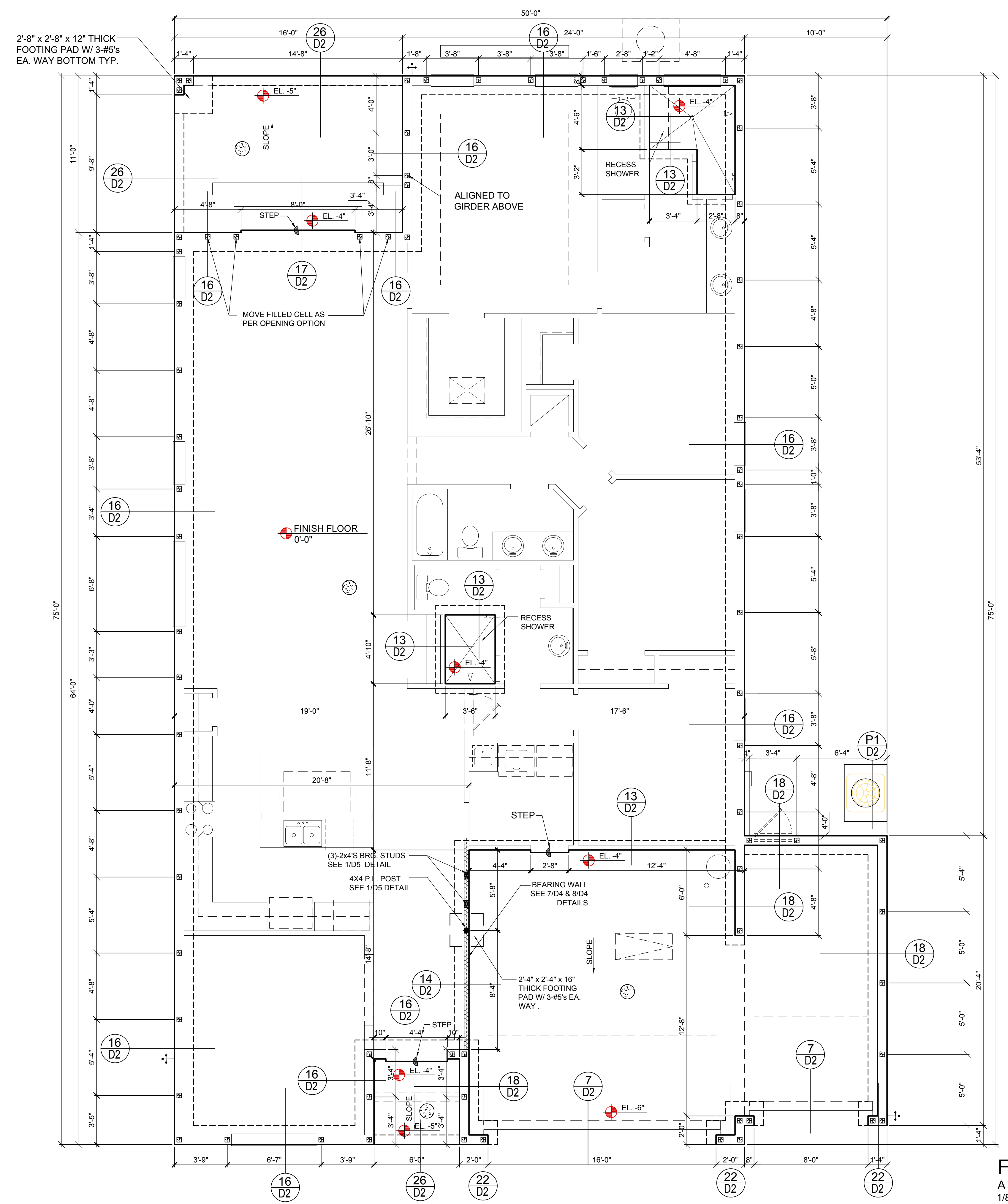
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FOUNDATION PLAN
A (Opt. 3-Car Garage)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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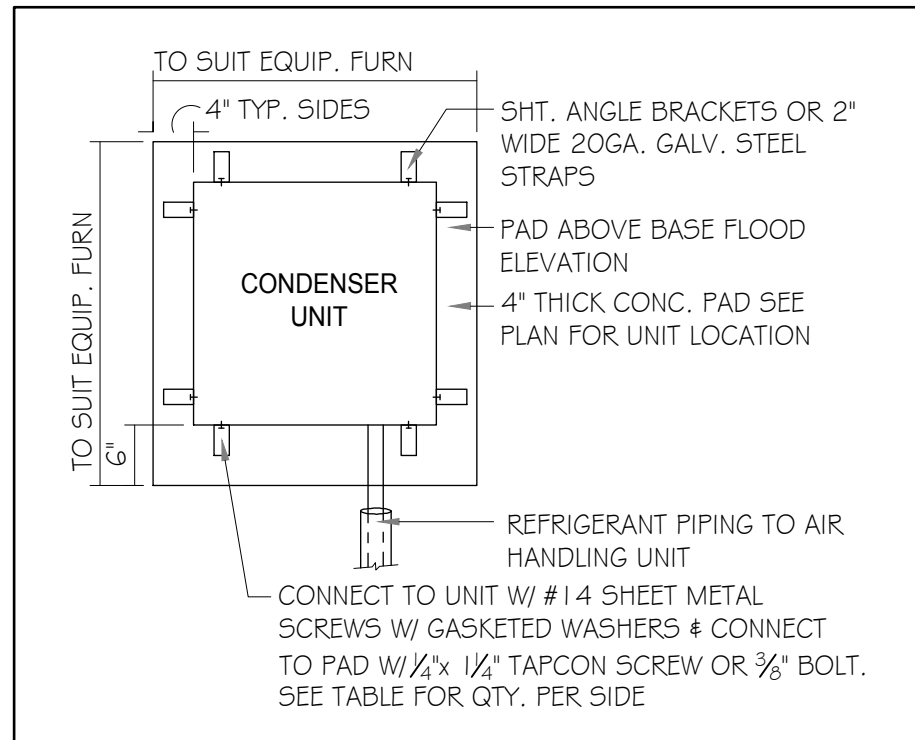
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Park Square HOMES

ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

S1.A2



ANCHOR SPACING TABLE	
LENGTH/SIDE	No. OF ANCHORS/SIDES
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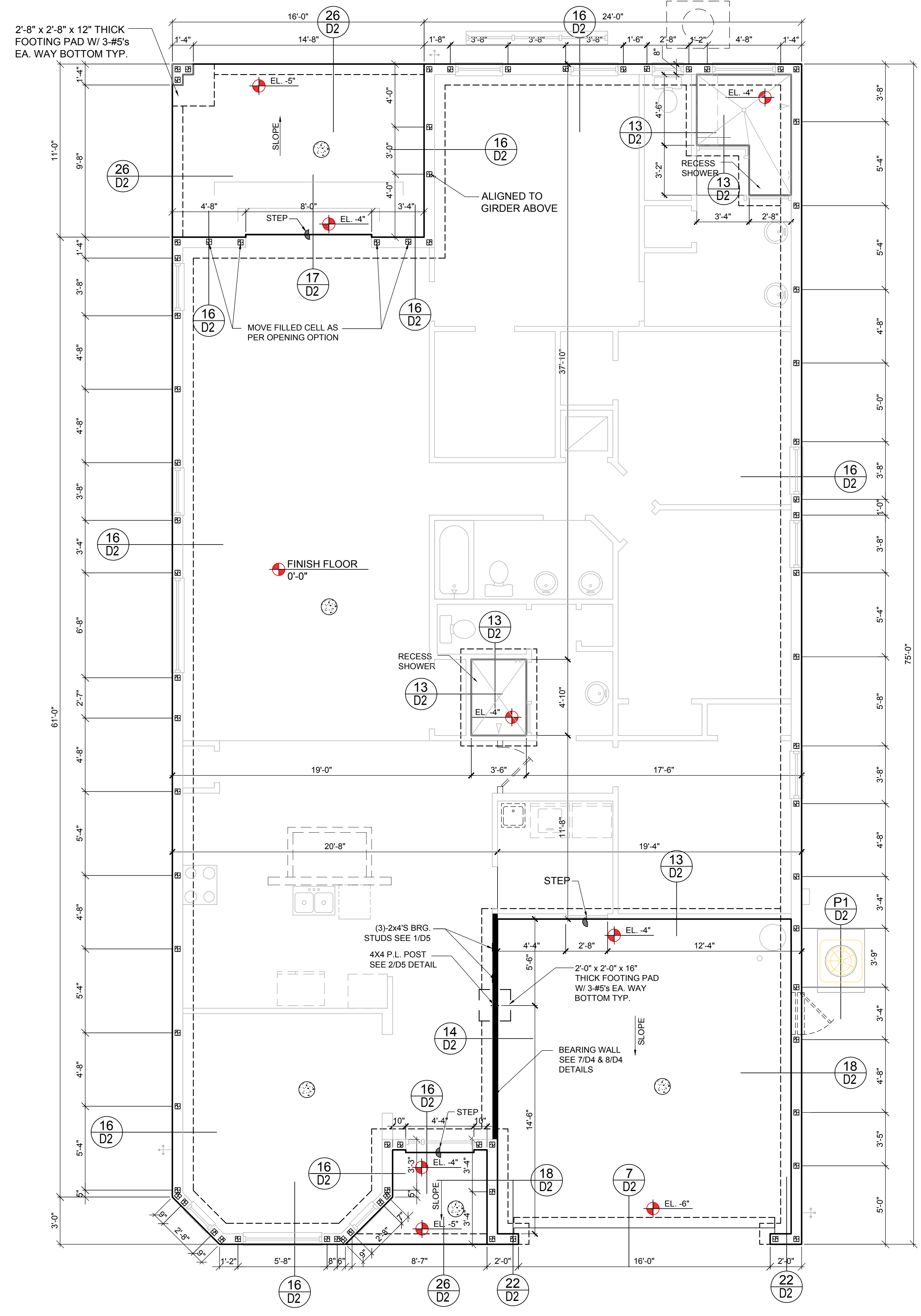
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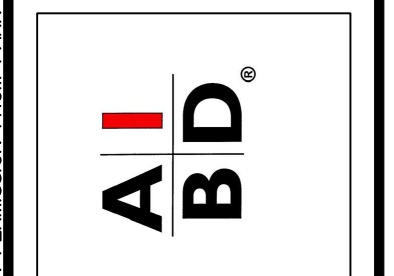
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FOUNDATION PLAN B (STANDARD BAY WINDOW)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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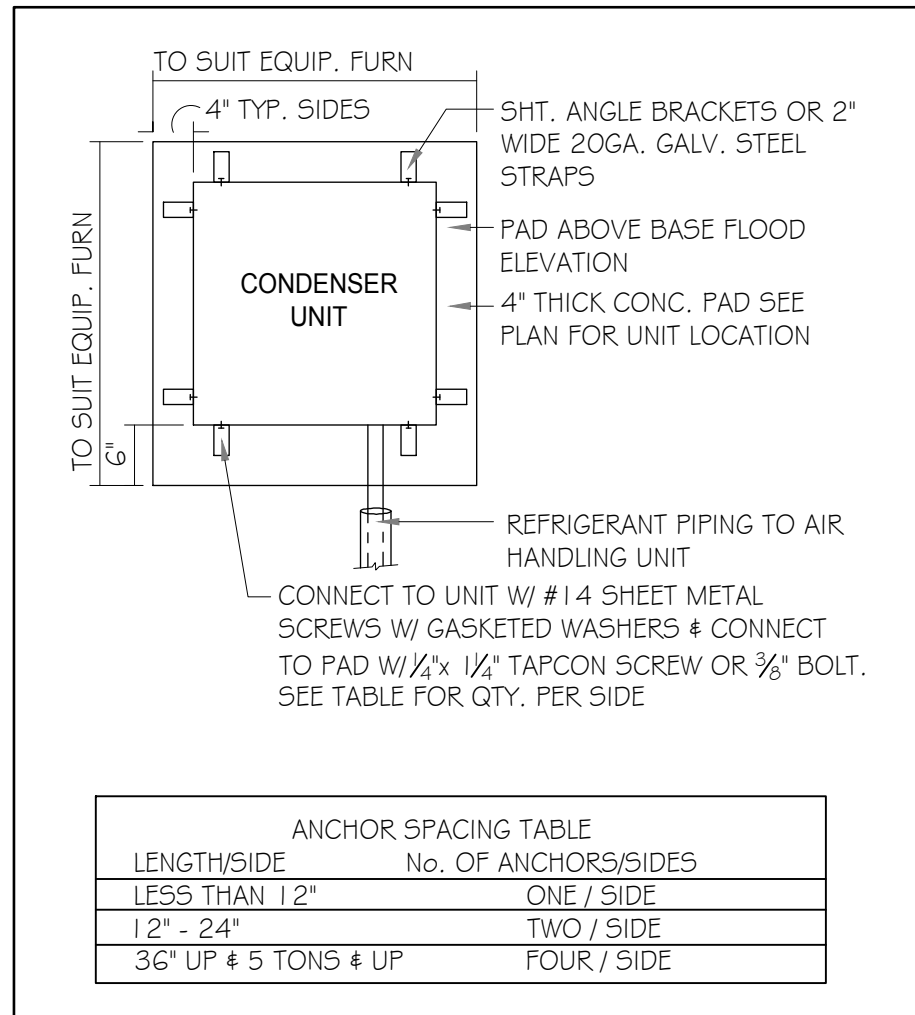
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Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FOUNDATION PLAN B (STANDARD)
S1.B

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ANCHOR SPACING TABLE	
LENGTH/SIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP # 5 TONS # UP	FOUR / SIDE

1 COND. ANCHOR DETAIL
N.T.S.

FIELD REPAIR NOTES

- 1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEC PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
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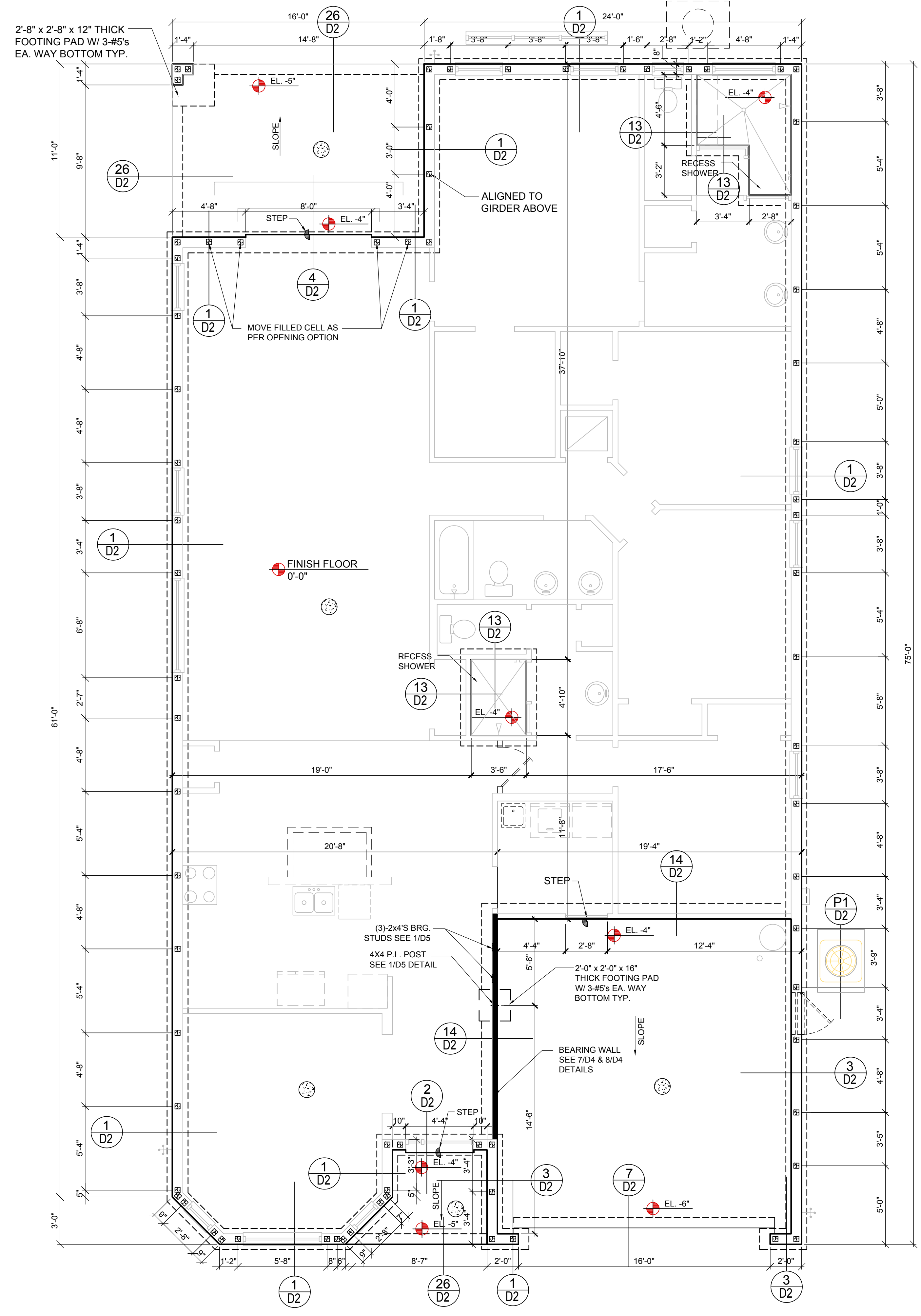
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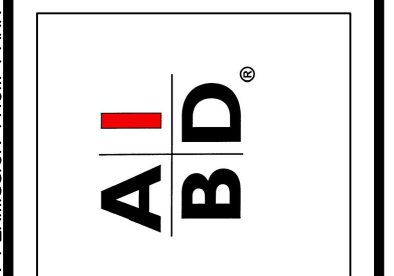
NOTE:
USE ALTERNATIVE STEM FOOTER FOR 36" OR HIGHER @ D6 SHEET



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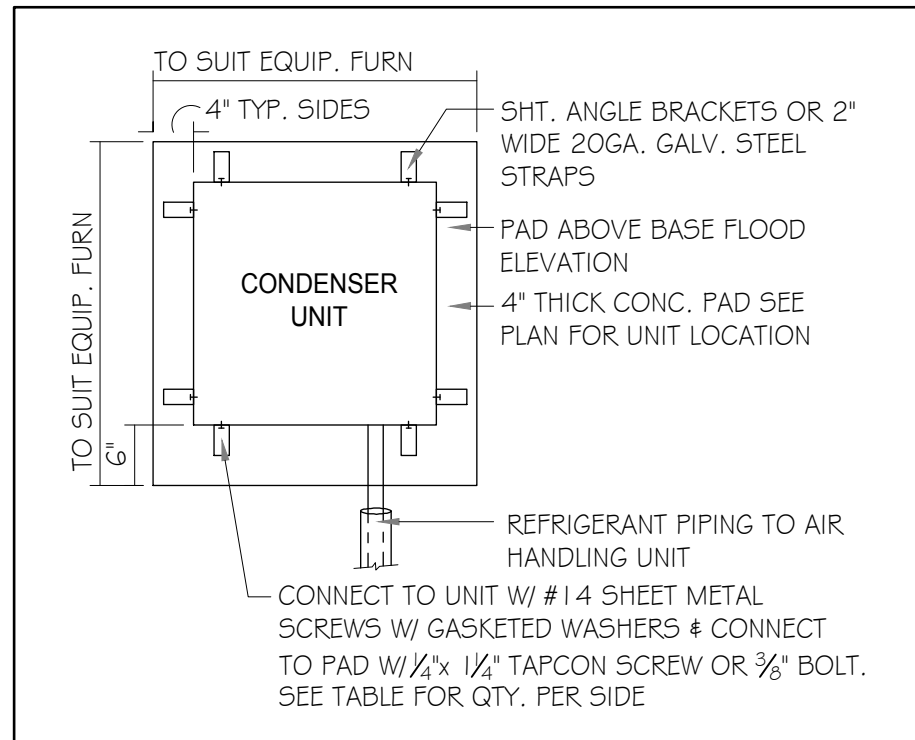
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FOUNDATION PLAN B (STANDARD)
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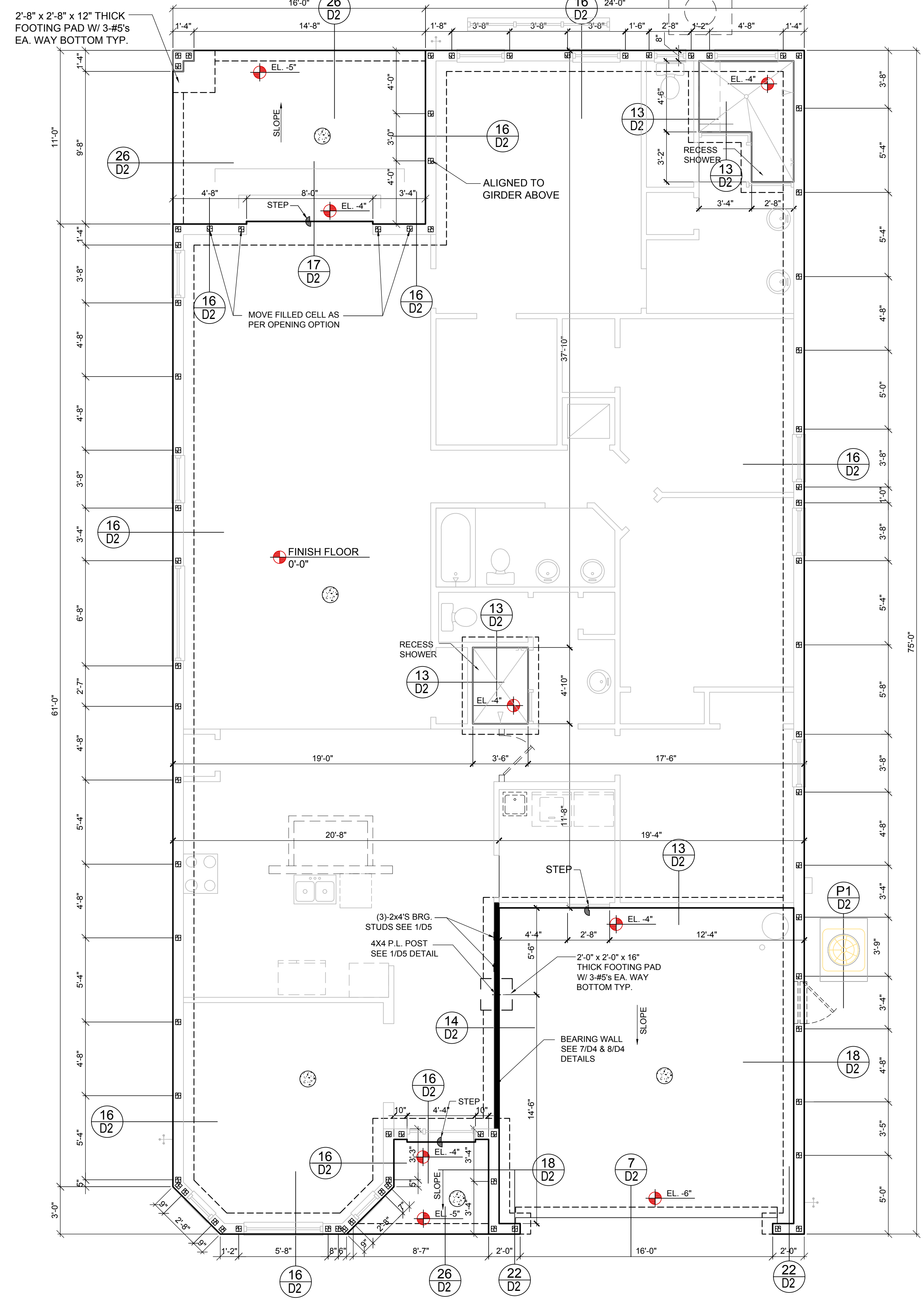
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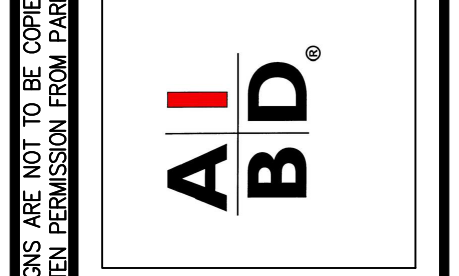
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 B (STANDARD BAY WINDOW)(Opt. 10' Brg. HT)
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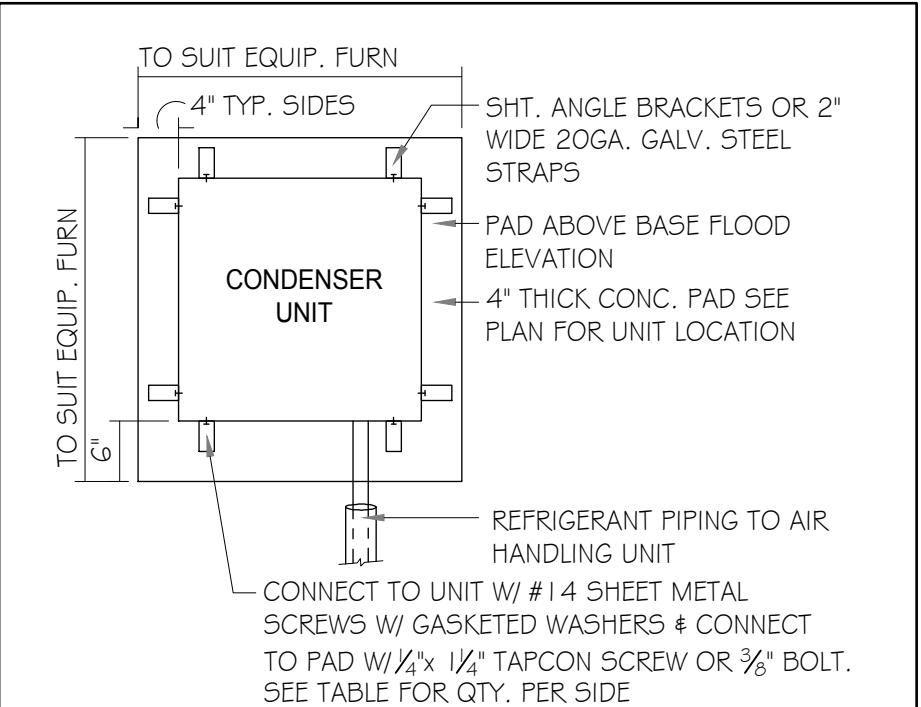
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DESIGNED BY:	MJS

FOUNDATION PLAN B (STANDARD)
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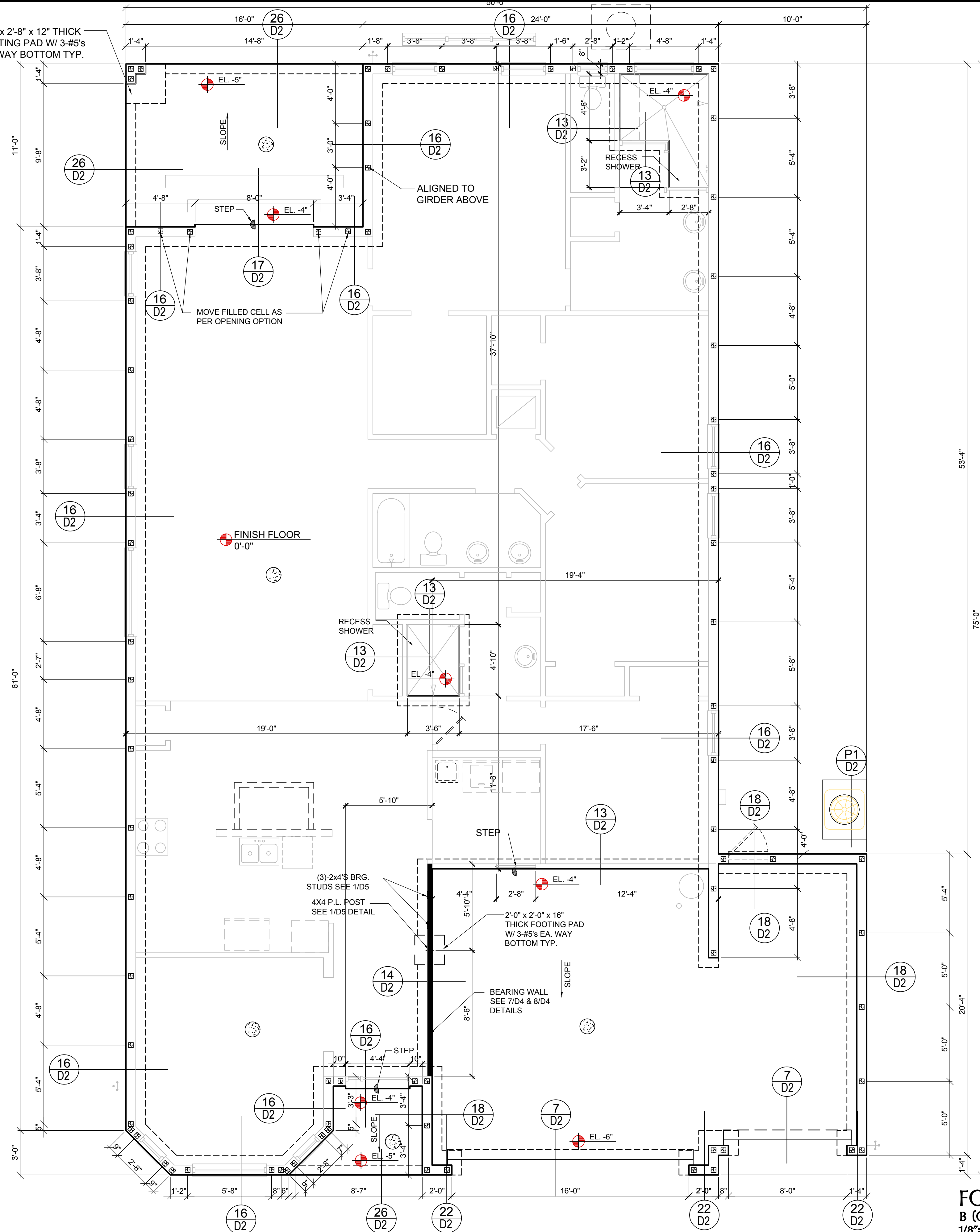
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2'-8" x 2'-8" x 12" THICK FOOTING PAD W/ 3-#5's EA. WAY BOTTOM TYP.



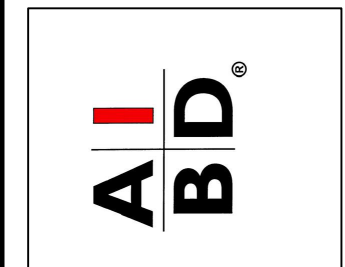
FOUNDATION PLAN

B (Opt. 3-Car Garage) BAY WINDOW
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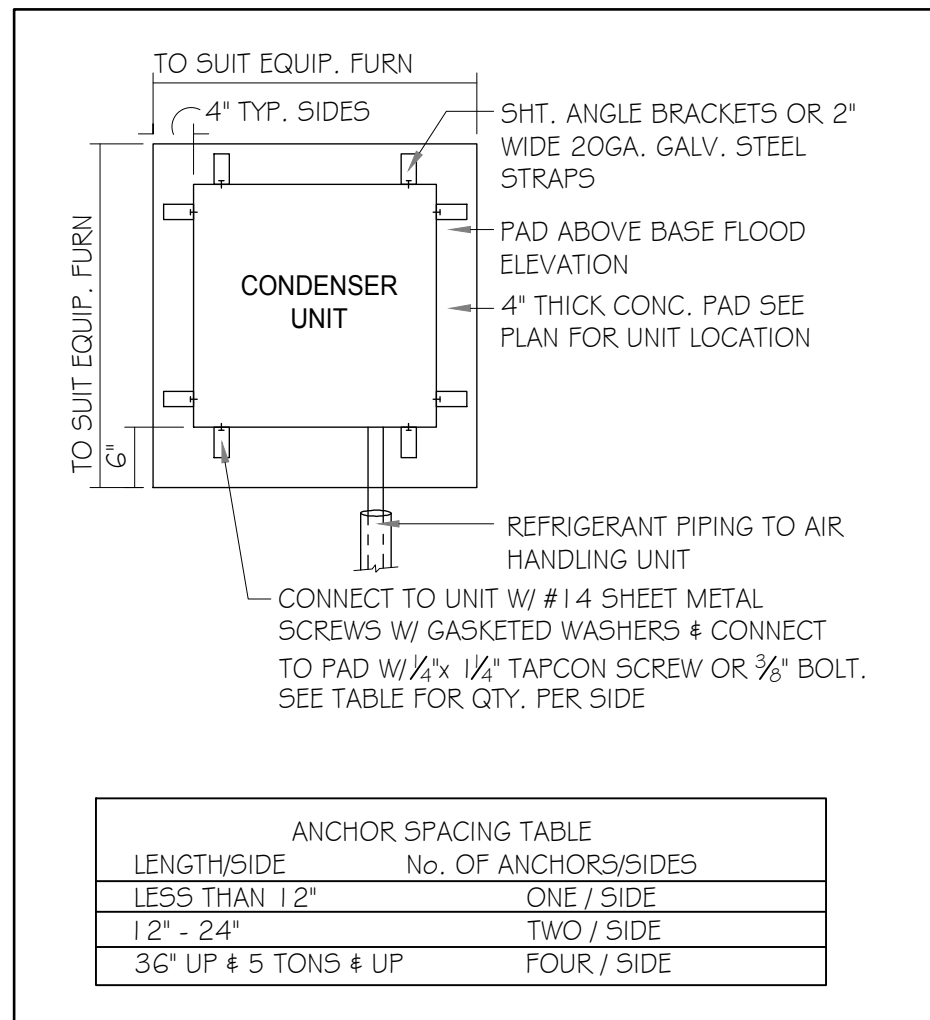


ISSUE DATE 12/06/2022

REVISIONS

PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

FOUNDATION PLAN B
(STANDARD)
S1.B2



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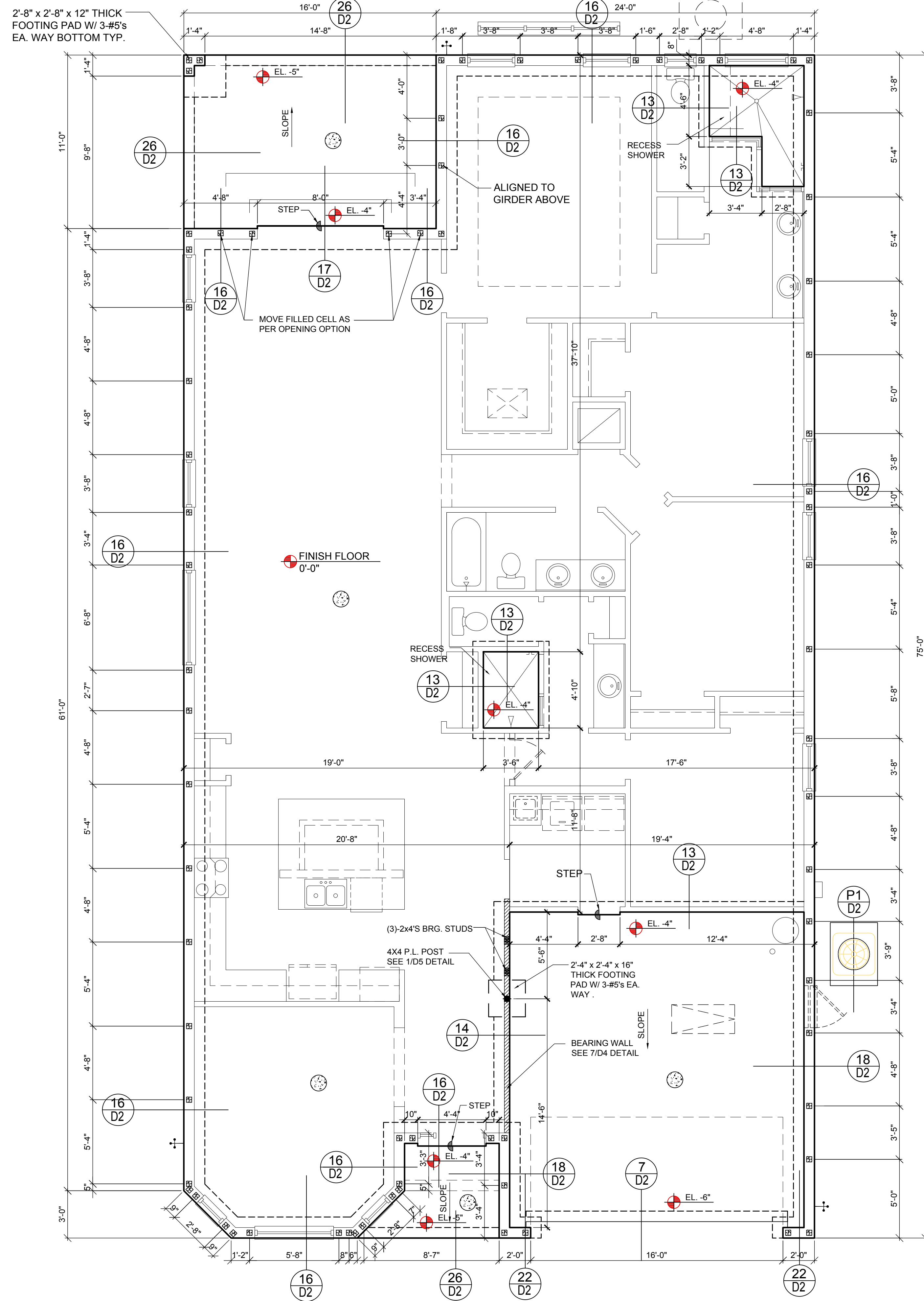
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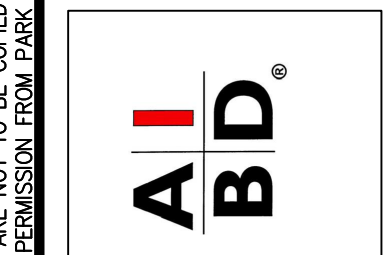
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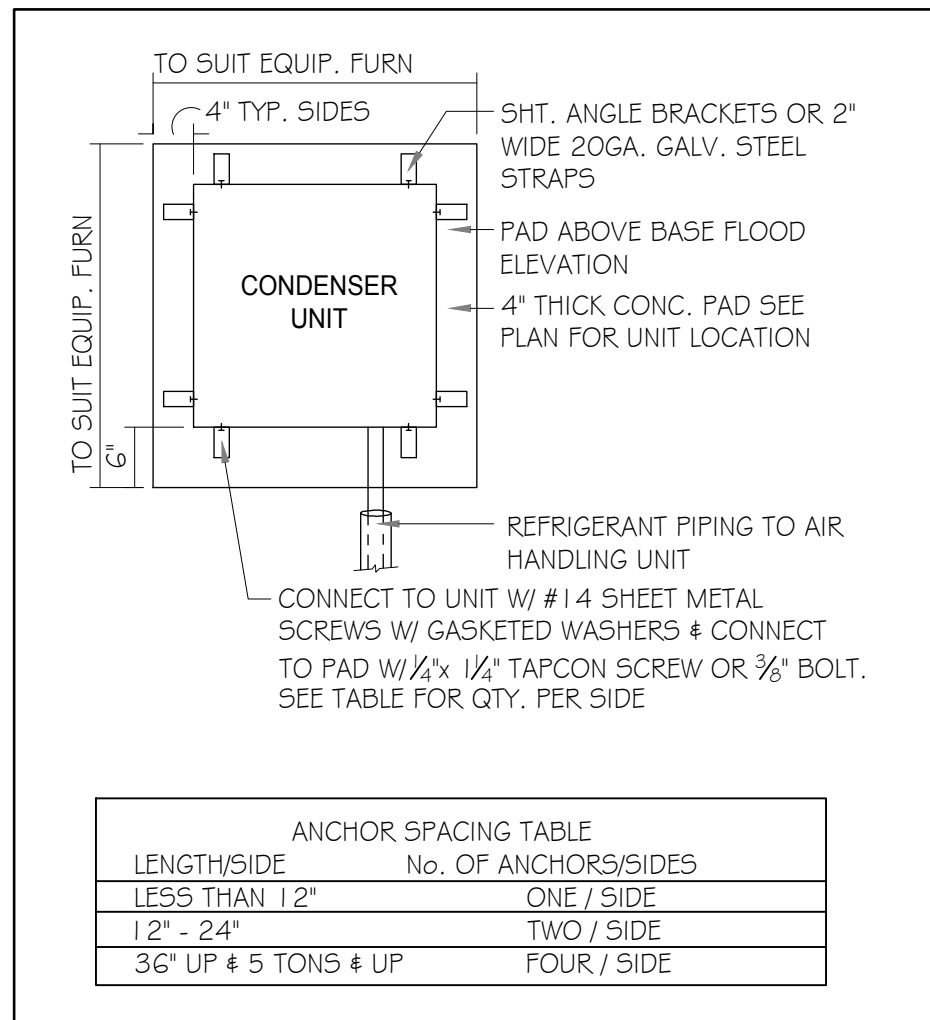
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ROOF FRAMING PLAN
(C STANDARD)
S1.C

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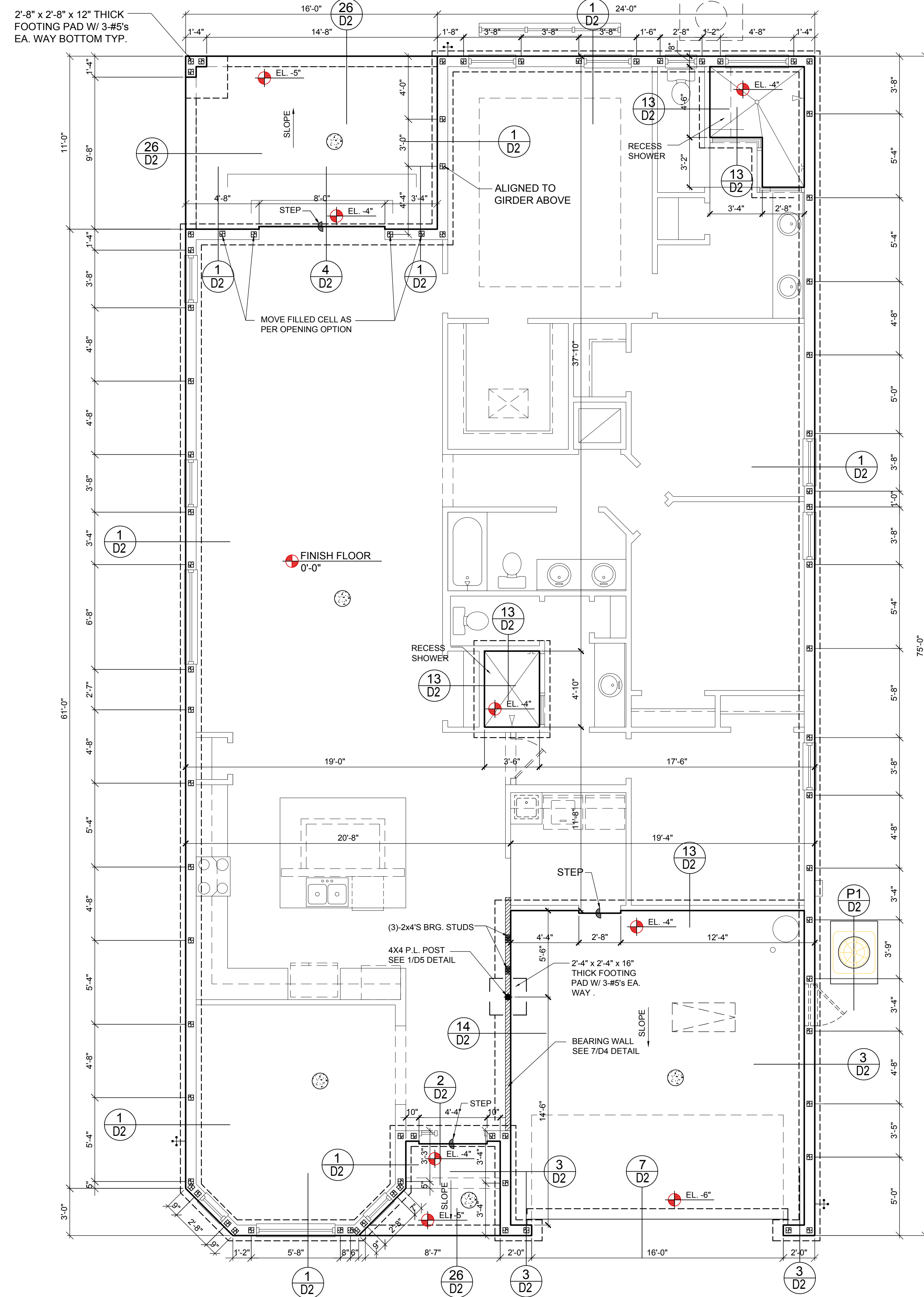
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FOUNDATION NOTES

- CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- ⊠ DENOTES FILL CELL REINF. W/ CONC. W/ 1-#5 REBAR. GRADE GO.
⊡ DENOTES FILL CELL RE INF. W/ CONC. W/ 2-#5 REBAR. GRADE GO
- ⊙ DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 3000 P.S.I. 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. W/ MIN. 0.006mm (6mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WWF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL G1-FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
- PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
- MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITTE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.

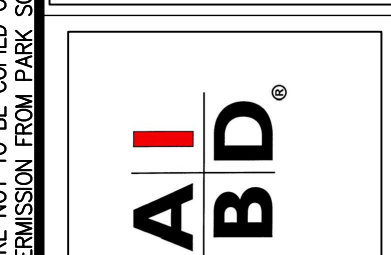
NOTE:
USE ALTERNATIVE STEM FOOTER FOR 36" OR HIGHER @ D6 SHEET



FOUNDATION PLAN
C (STANDARD BAY WINDOW)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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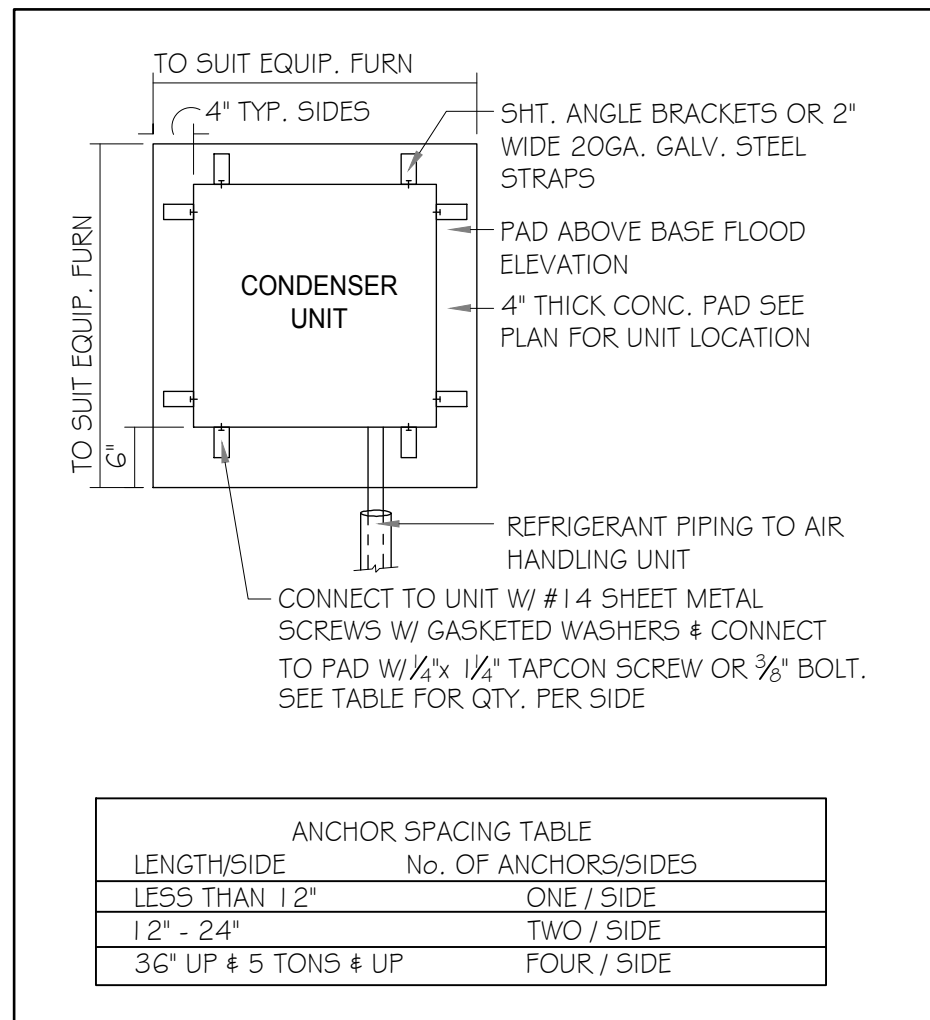
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Phone: (407) 529-3000



ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ROOF FRAMING PLAN
(C STANDARD)
S1.C

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1 COND. ANCHOR DETAIL N.T.S.

FIELD REPAIR NOTES

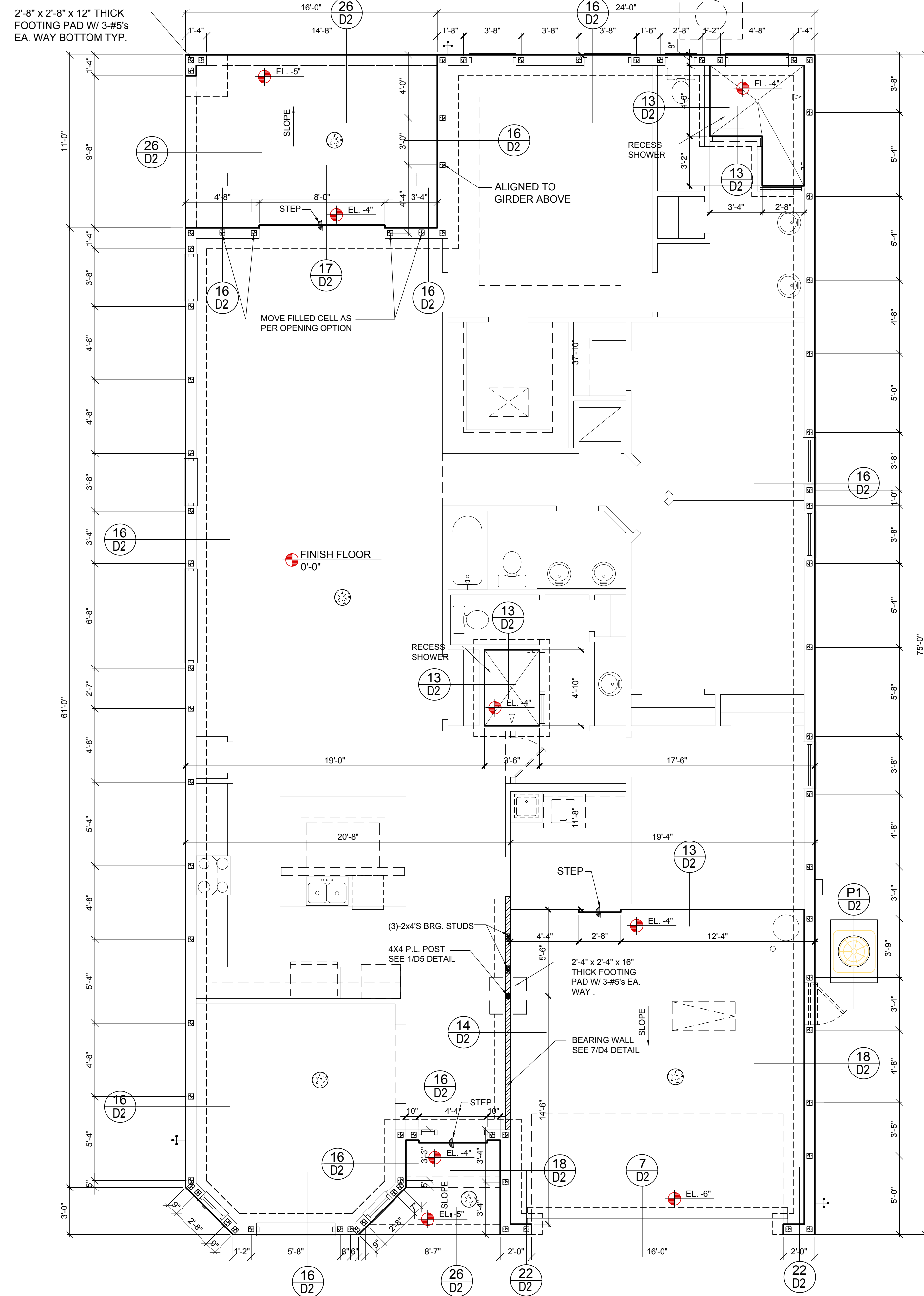
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- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4" - REQUIRE SPECIAL ENGINEERING LETTER.
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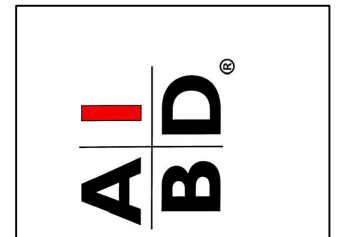
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FOUNDATION PLAN
C (Opt. 10' Brg. HT) (BAY WINDOW)
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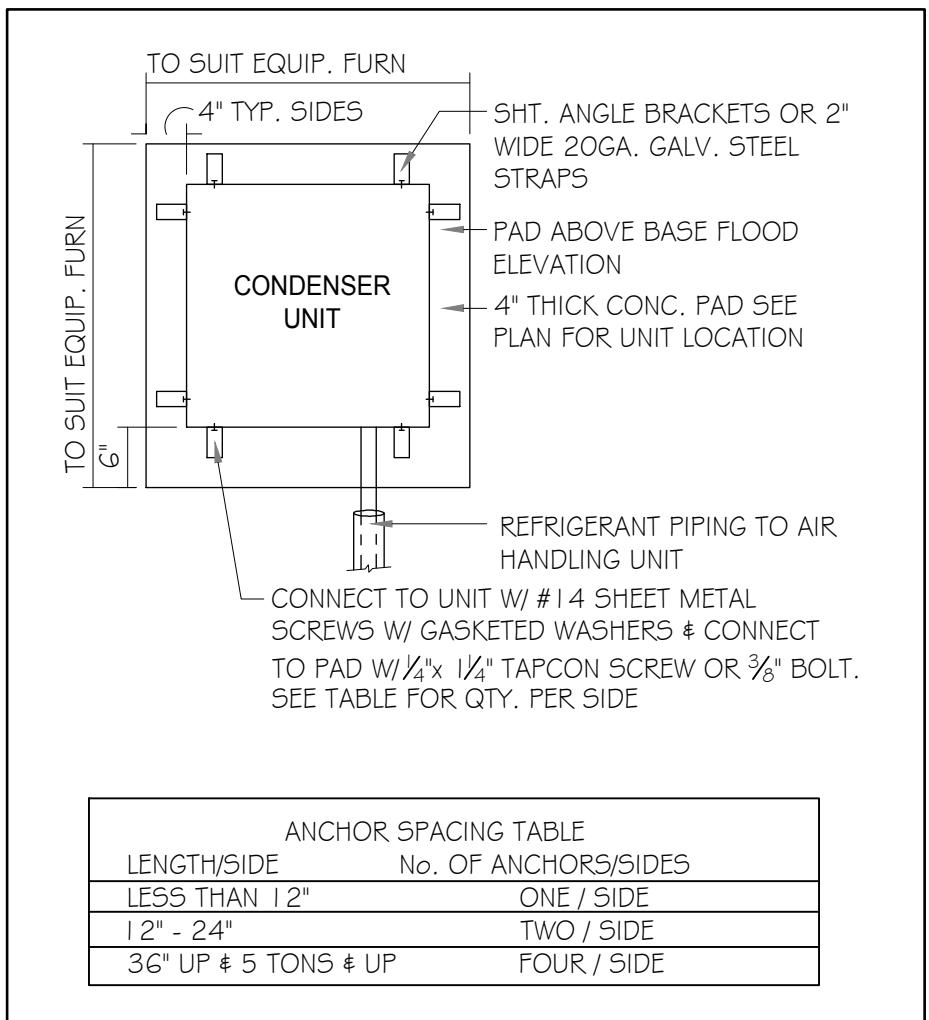
REVISIONS

PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

ROOF FRAMING PLAN (C STANDARD)

S1.C1

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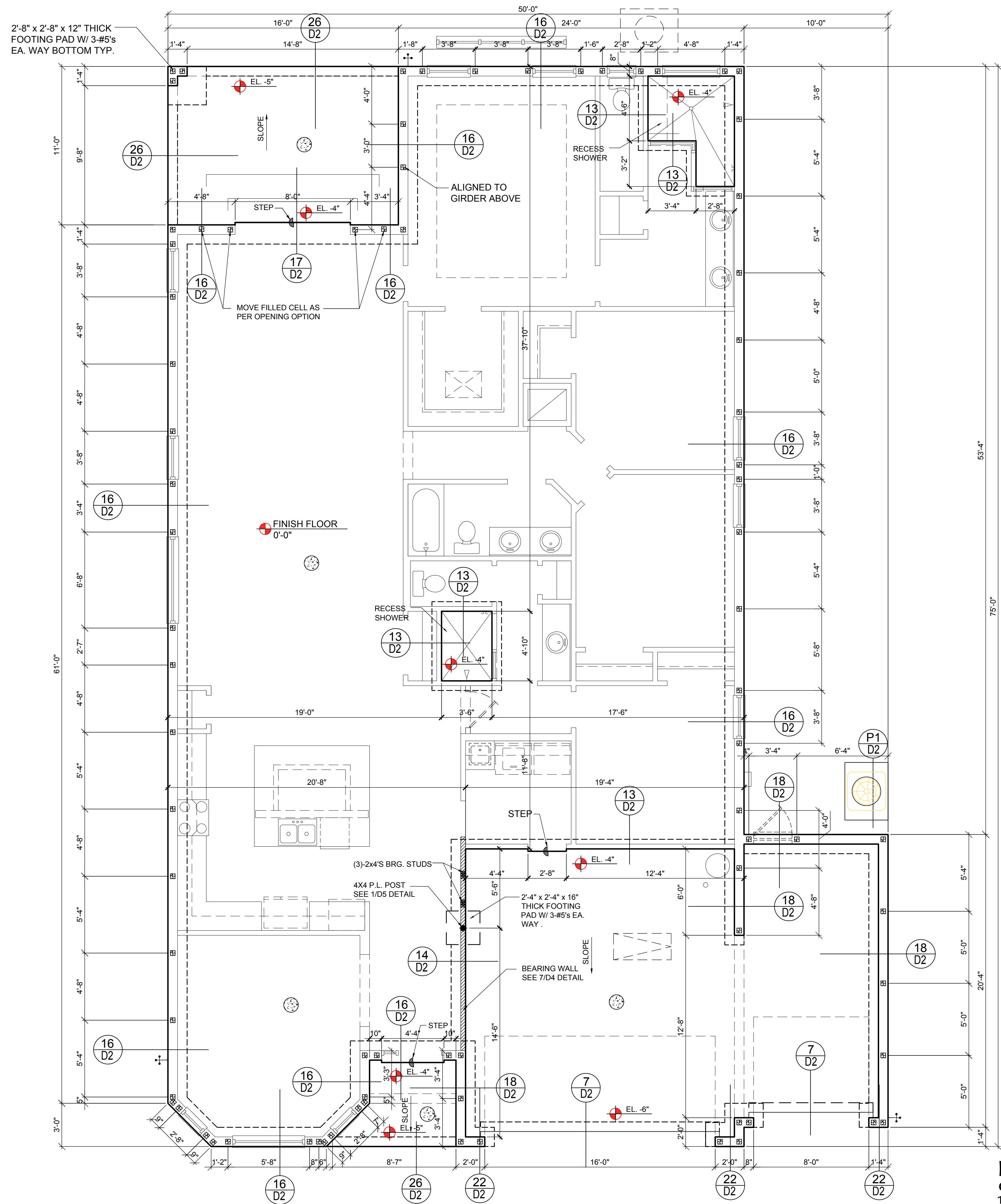
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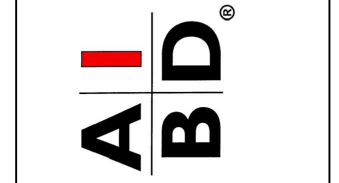
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C (Opt. 3-Car Garage BAY WINDOW)
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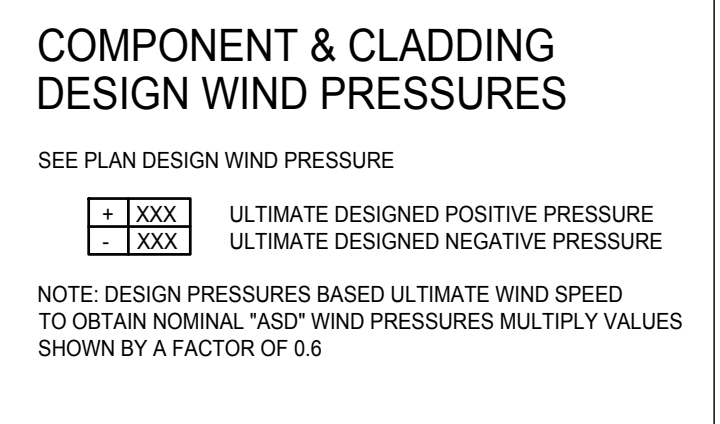
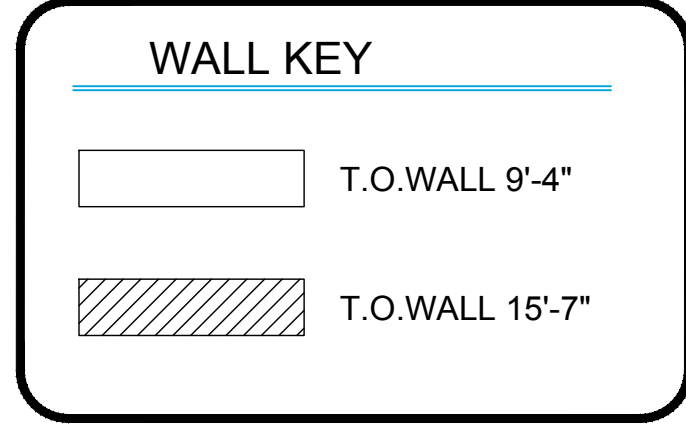
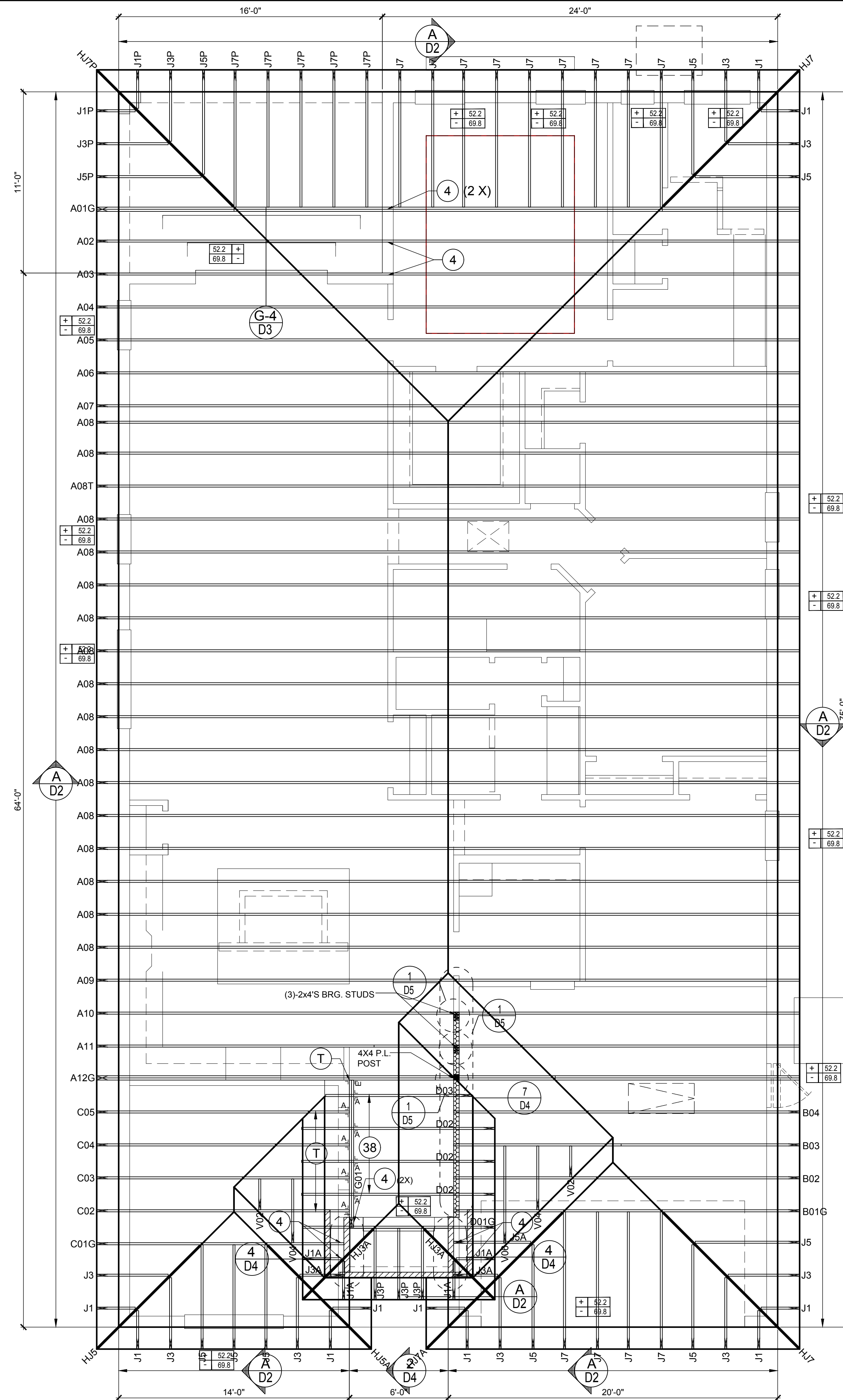
PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

ROOF FRAMING PLAN
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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3 3/4" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875 / 1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



- #### FIELD REPAIR NOTES
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- #### NOTES
- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
 - TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
 - PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
 - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIWTC A BCSI 1.
 - REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 - ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
 - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
 - OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN

A (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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designers group
residential-commercial-architecture

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GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

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The Hampton
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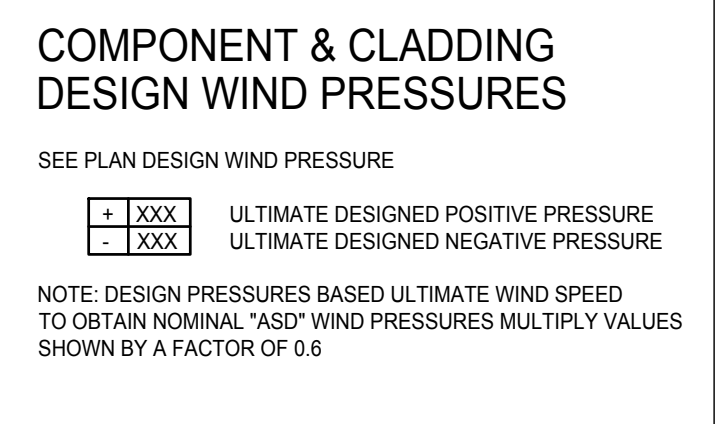
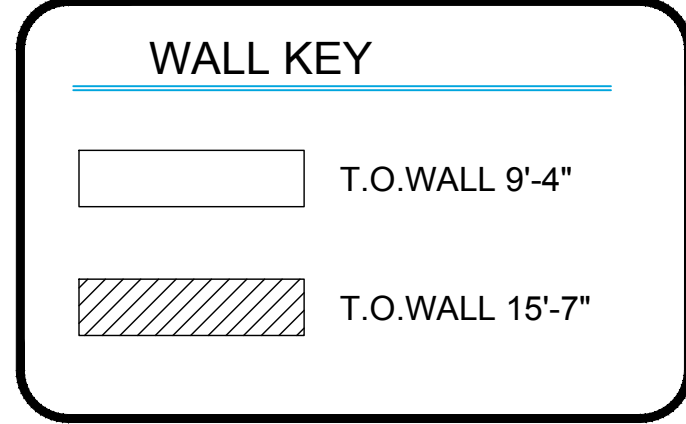
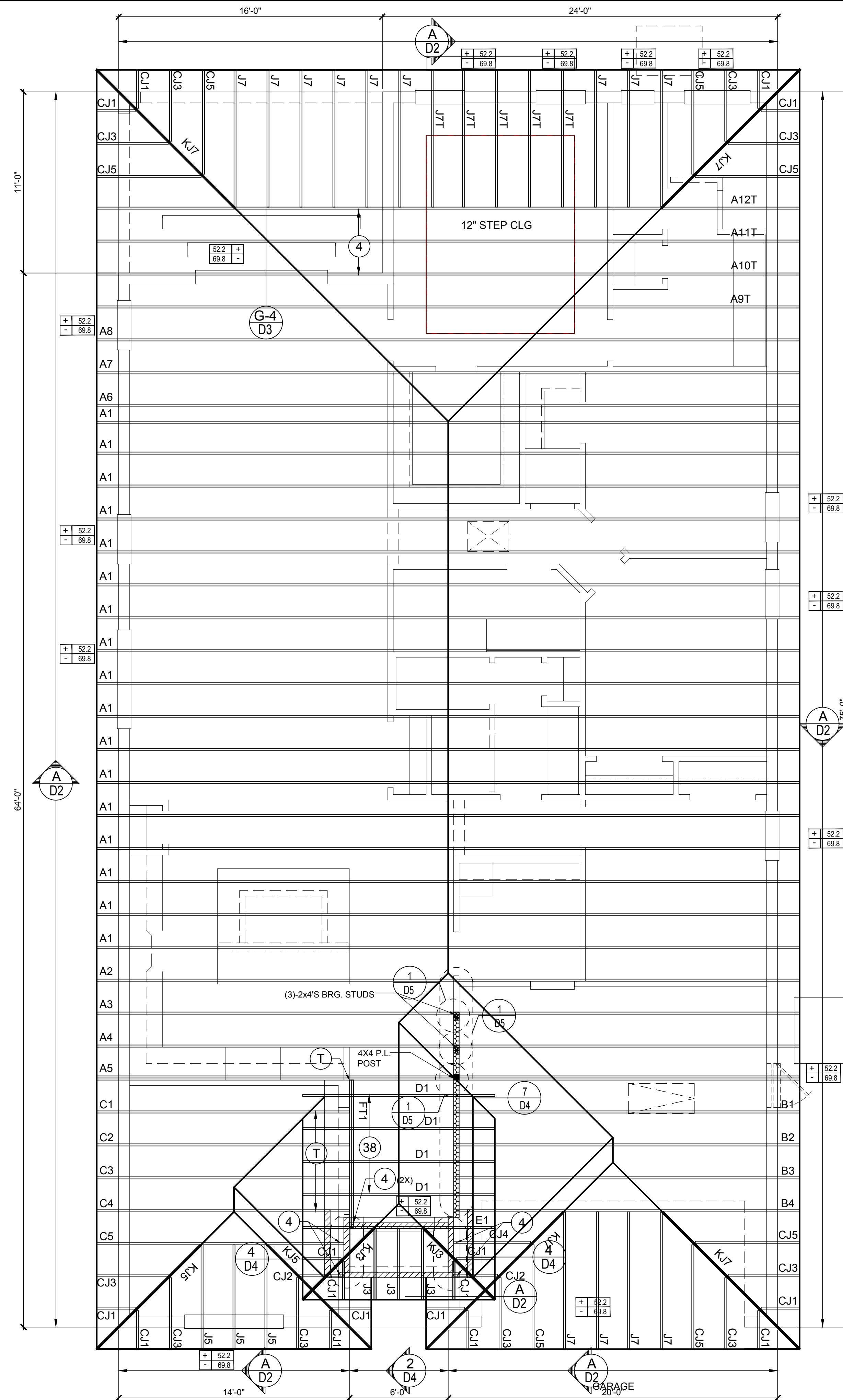
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20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8)0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3 3/4" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 4-10d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



- #### FIELD REPAIR NOTES
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
 - BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
 - PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR. PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

- #### NOTES
- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
 - TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
 - PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
 - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIW/TCA BCSI 1.
 - REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 - ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
 - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
 - OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN
A (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
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Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

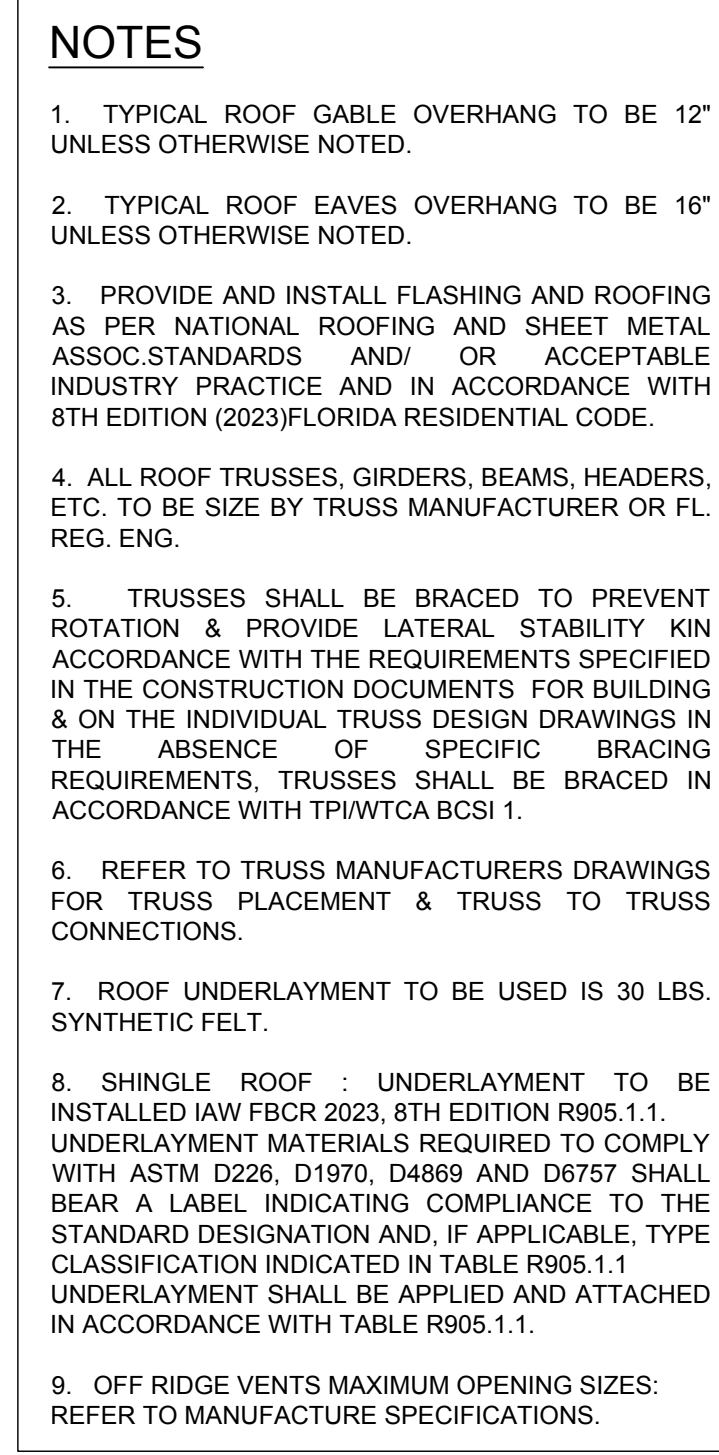
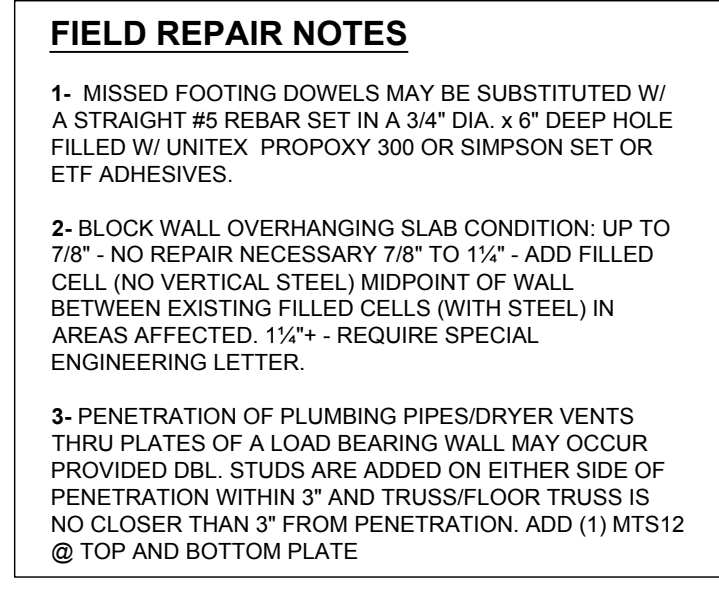
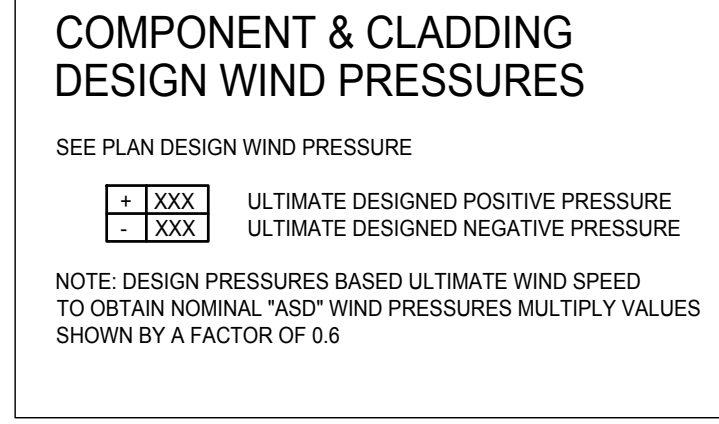
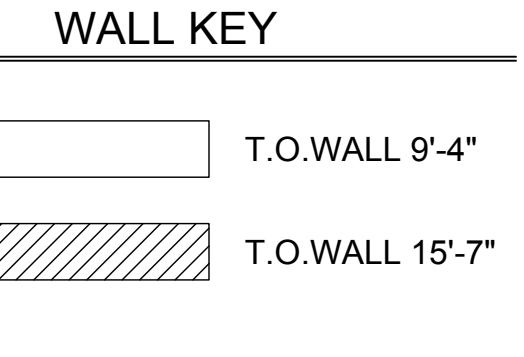
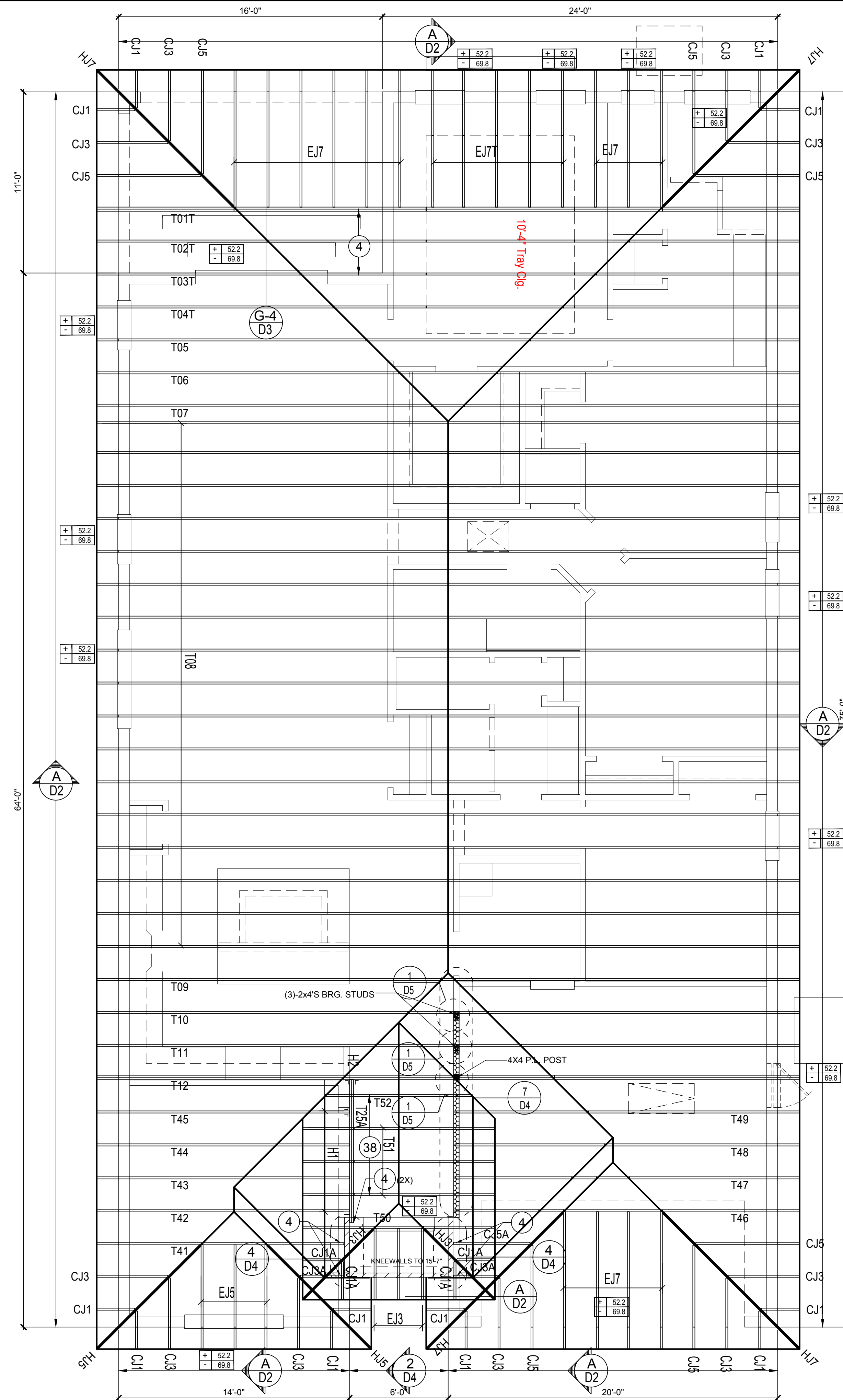
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ROOF FRAMING PLAN
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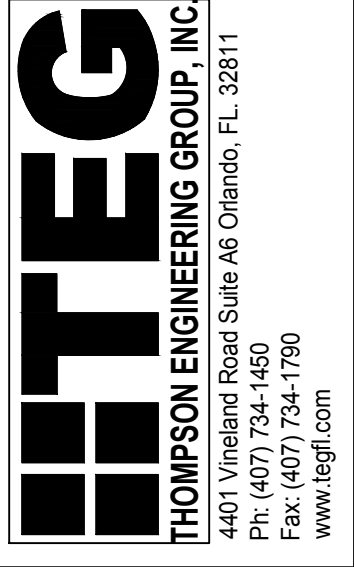
CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

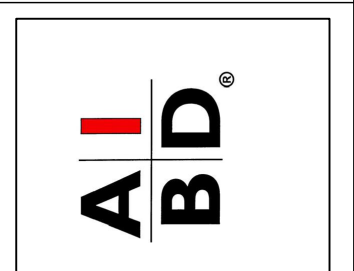


ROOF FRAMING PLAN

A (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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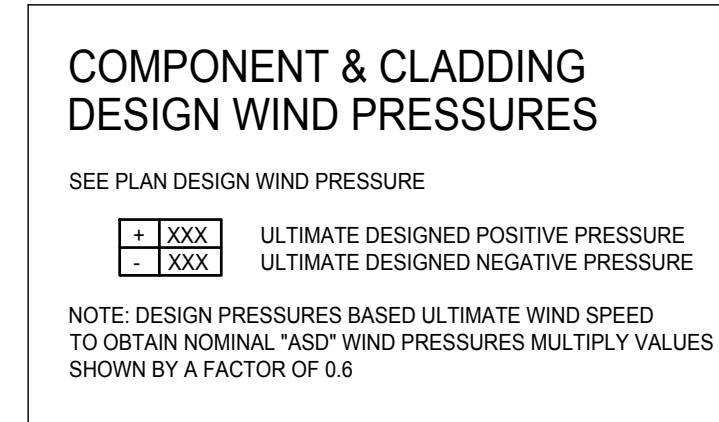
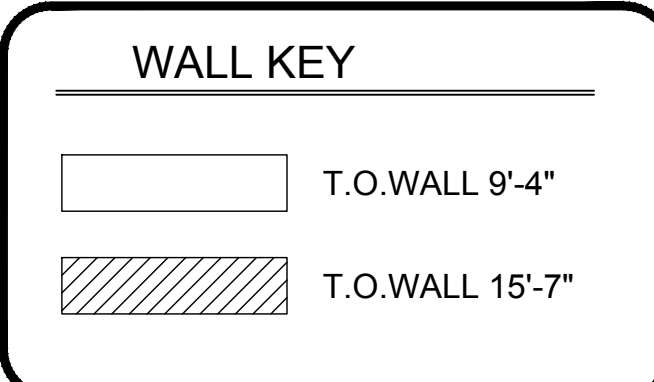
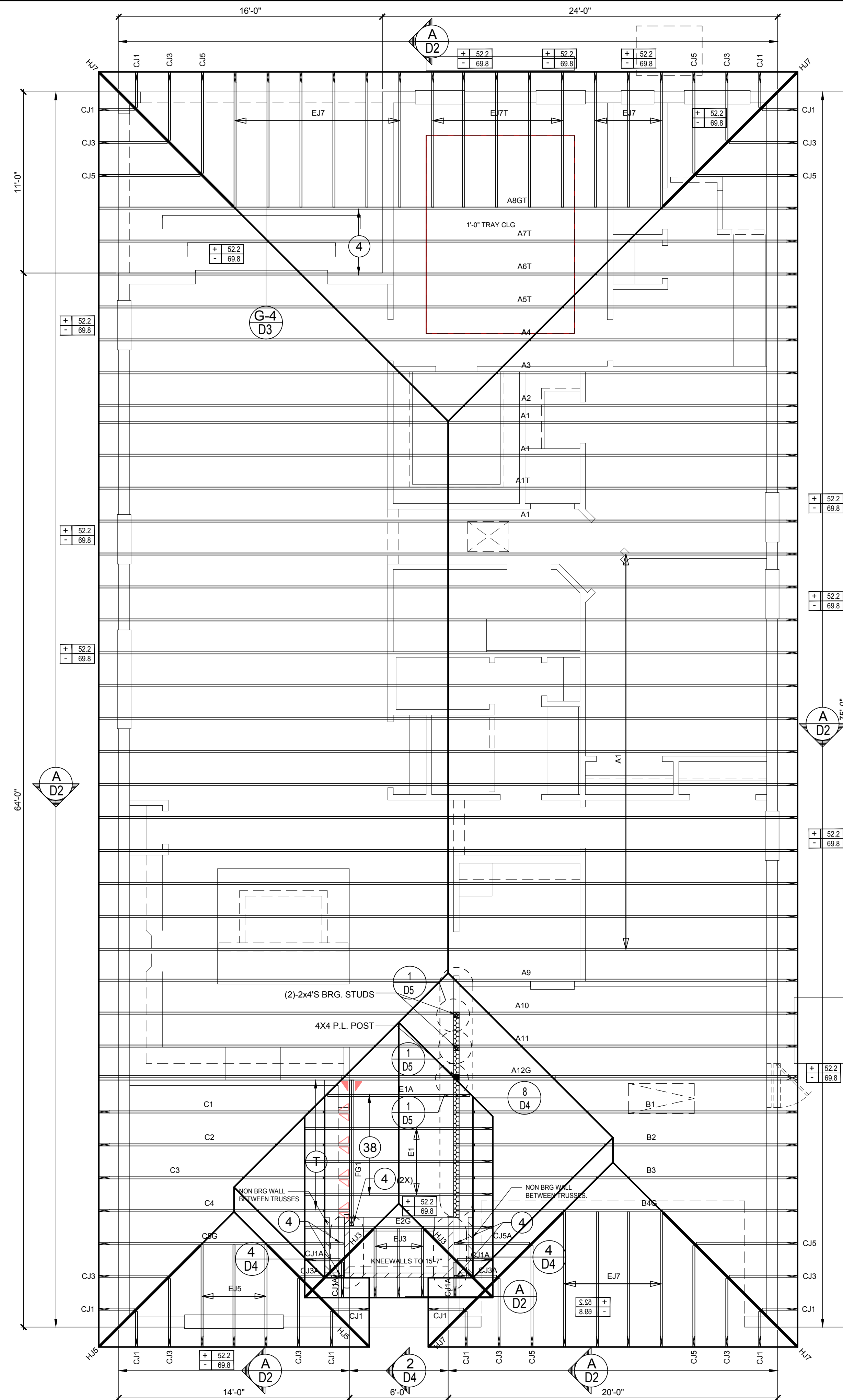
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
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95	HTS20	20-10d	1,450	N/A
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97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6485	N/A
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401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



- #### FIELD REPAIR NOTES
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 - PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR. PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

- #### NOTES
- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
 - TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
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 - REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 - ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
 - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
 - OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN

A (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

ITEG
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MJS
designers group
residential-commercial-architecture

A I B I D

GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

40-2375
The Hampton
Lot #X- Subdivision
Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd, Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

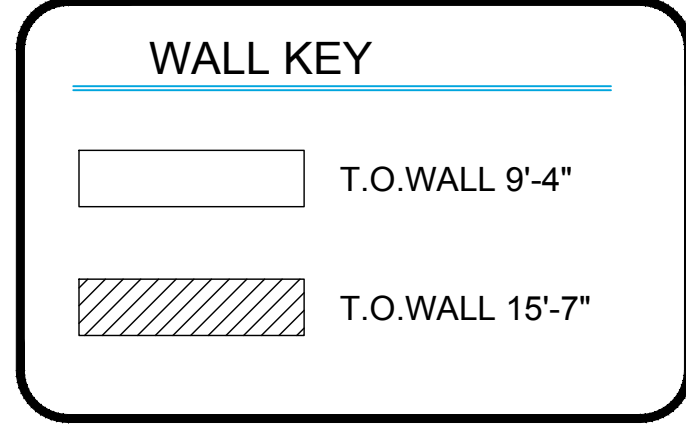
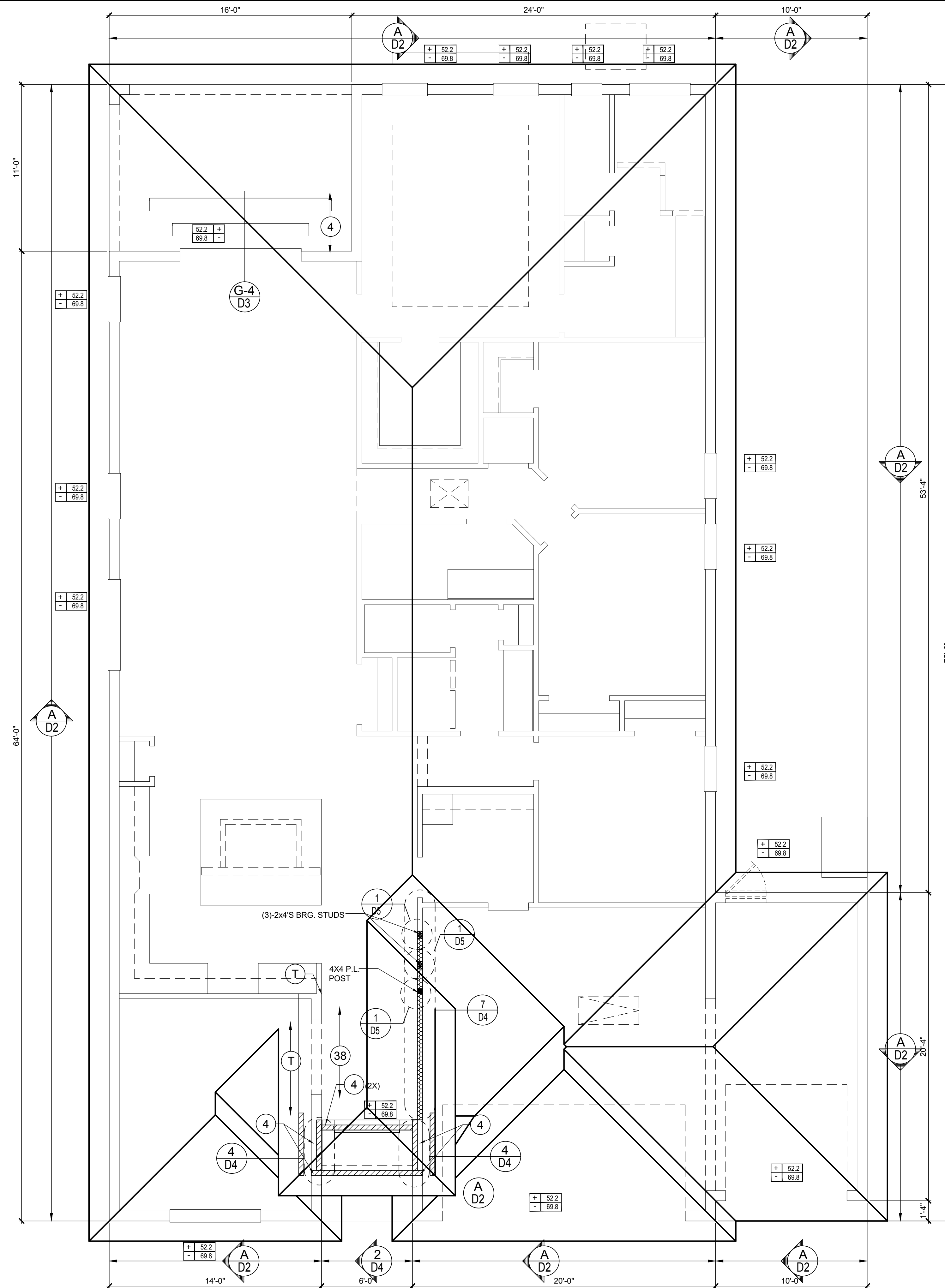
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

S3.A0

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3 3/4" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR. PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

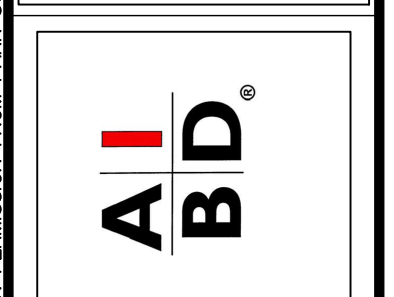
NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIW/TCA BCSI 1.
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- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN
 A (Opt. 3-Car Garage)
 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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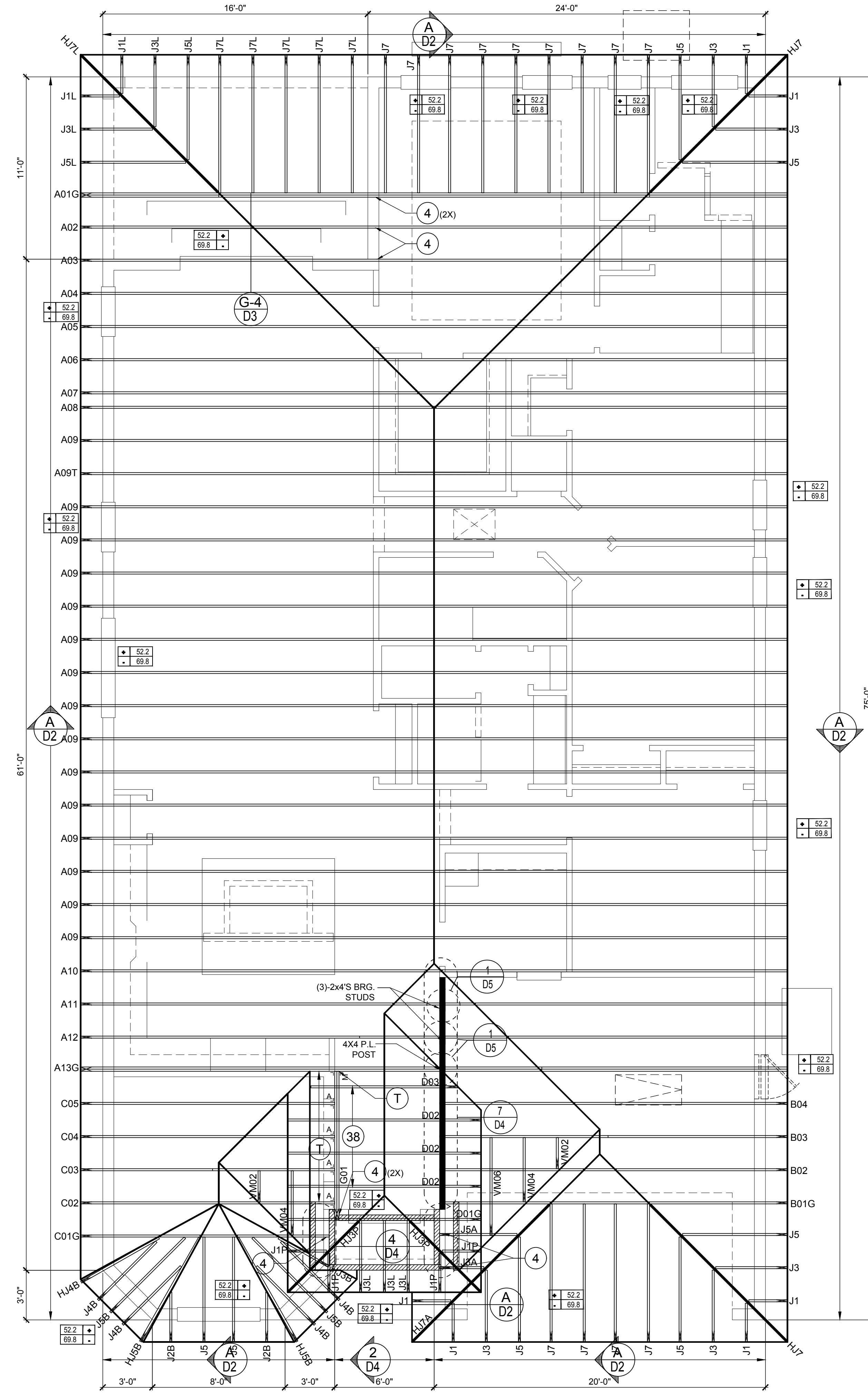
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ROOF FRAMING PLAN
 (C STANDARD)
S3.A2

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4- 1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10- 1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
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232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MG	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



WALL KEY

 T.O.WALL 9'-4"
 T.O.WALL 15'-1"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX	ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX	ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

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NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TP/MTCA BCSI 1.
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- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN B (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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designers group
residential-commercial-architecture

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GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

40-2375
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Street Address
City, State, Zip

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5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE 12/06/2022

REVISIONS

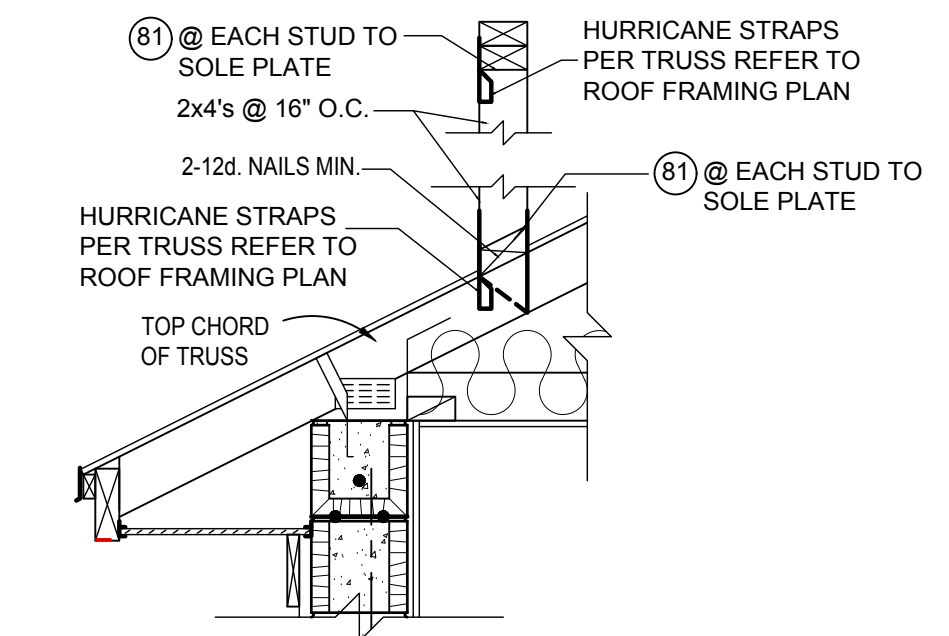
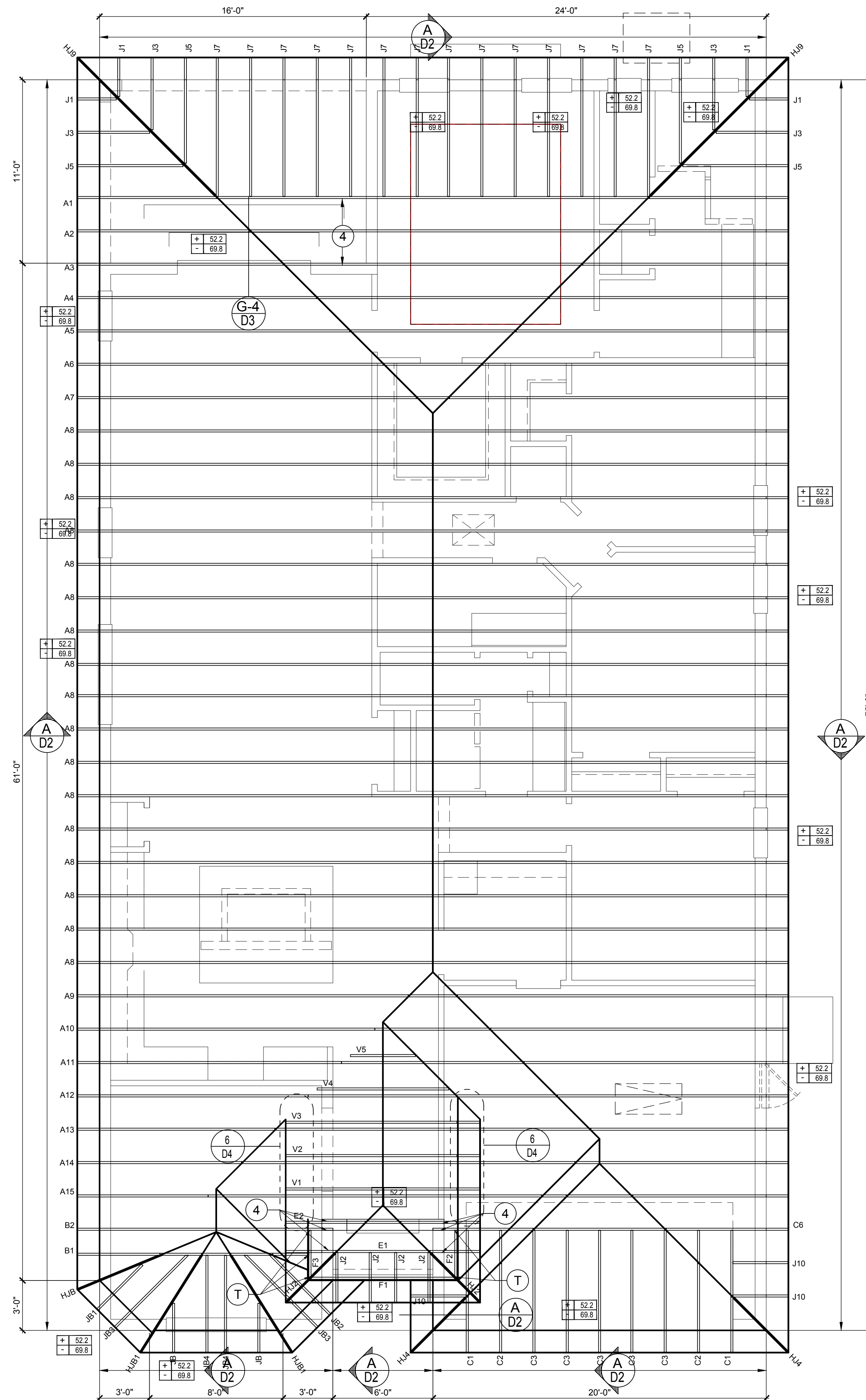
PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

ROOF FRAMING PLAN B (STANDARD)
S3.B

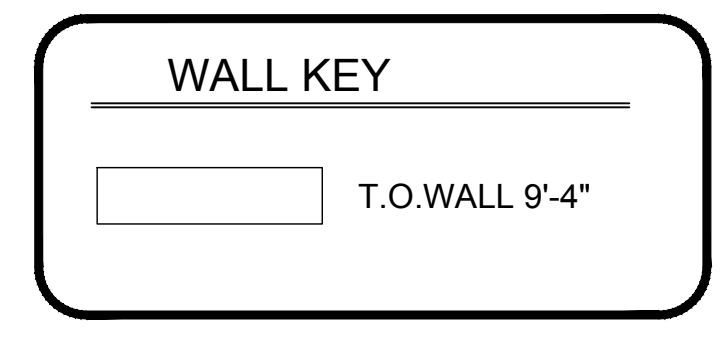
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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
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39	MTS30	14-10d	990	N/A
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45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
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72	MSTC66	64-16d SINKERS	5,495	N/A
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90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3 3/4" (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4)1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



1 DETAIL CRIPPLE WALL ON TRUSS
N.T.S.



COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

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- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
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NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTC A BC S1.1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN
B (BAY WINDOW)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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A I B I D

GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

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Lot #X- Subdivision
Street Address
City, State, Zip

A division of Park Square
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Park Square HOMES

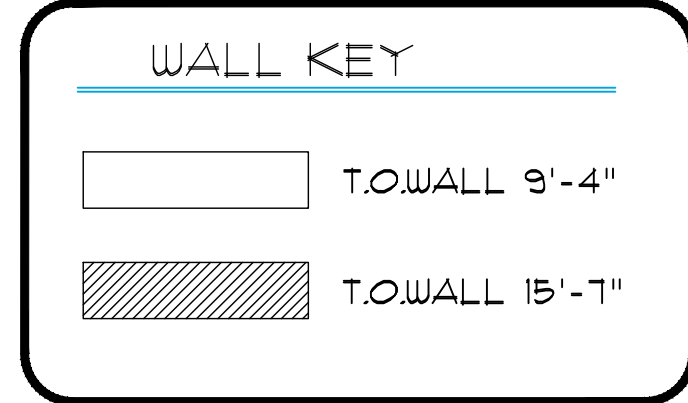
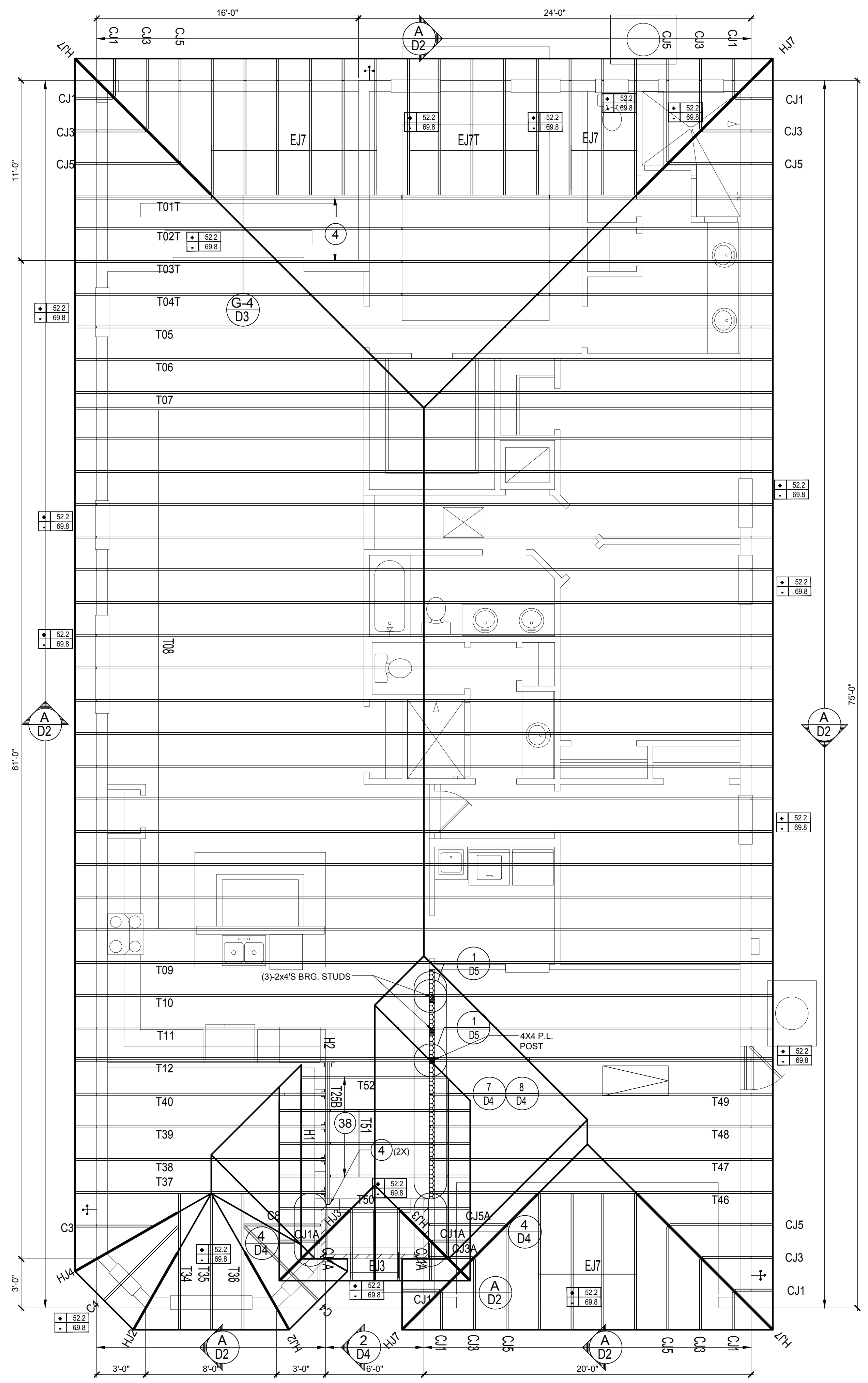
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

S3.B0

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3"(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
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240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
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401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
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COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXXX ULTIMATE DESIGNED NEGATIVE PRESSURE

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NOTES

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- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN B (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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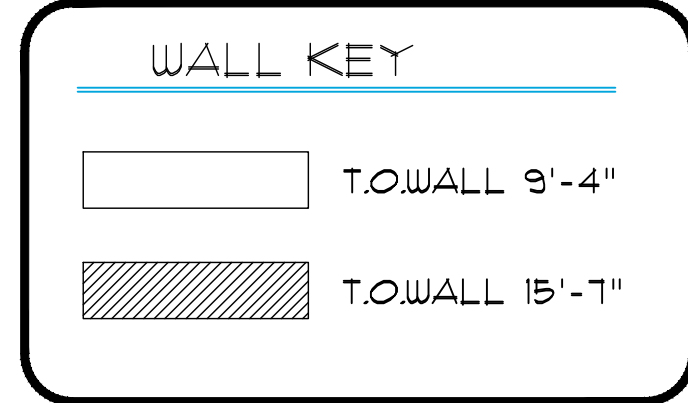
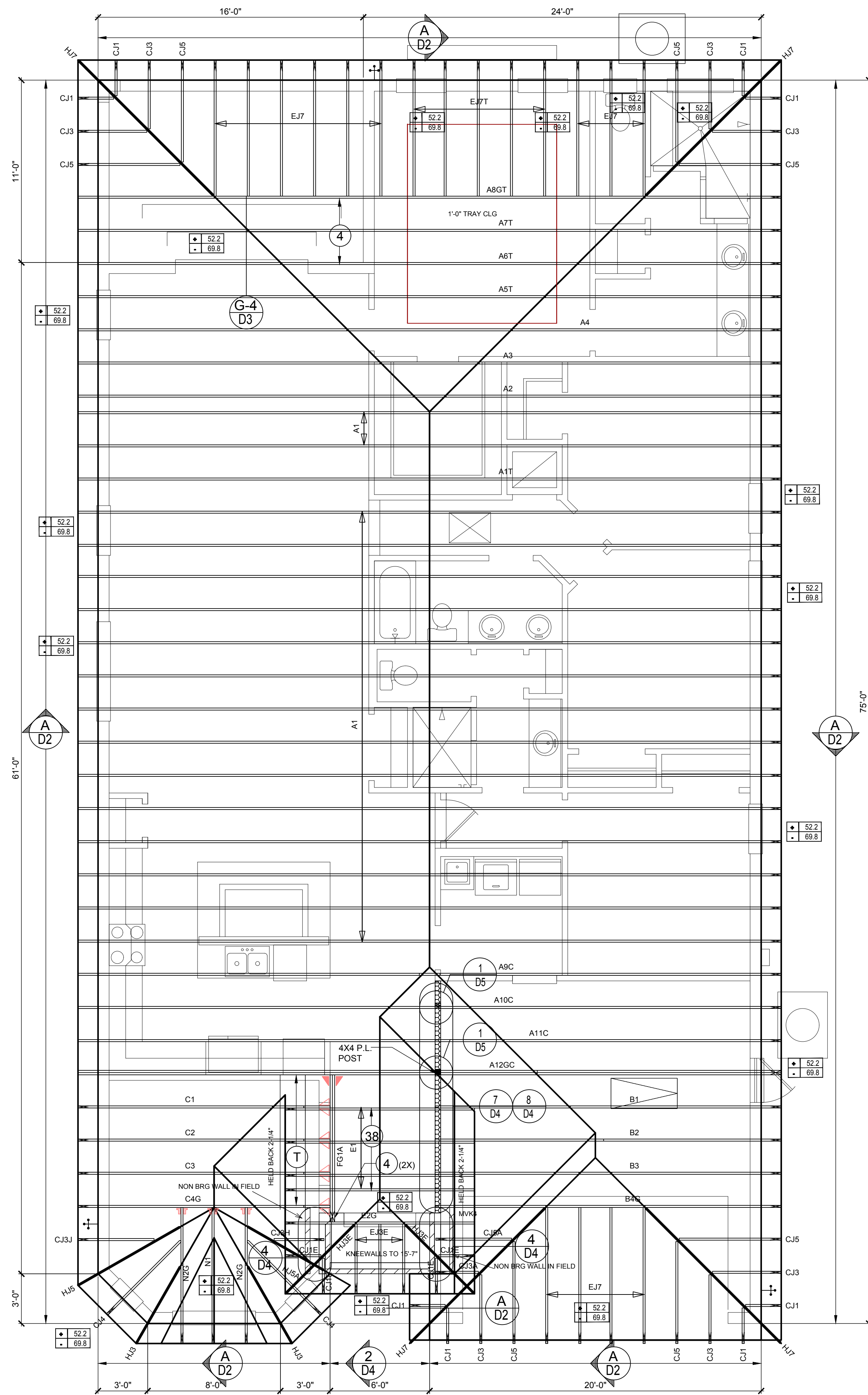


ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS
ROOF FRAMING PLAN B (STANDARD)	
S3.B	

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
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20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
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39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
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104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
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168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
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COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+	XXX	ULTIMATE DESIGNED POSITIVE PRESSURE
-	XXX	ULTIMATE DESIGNED NEGATIVE PRESSURE

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NOTES

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- TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
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- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN B (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



815 Orienta Ave. Suite# 1040
Altamonte Springs, FL 32701
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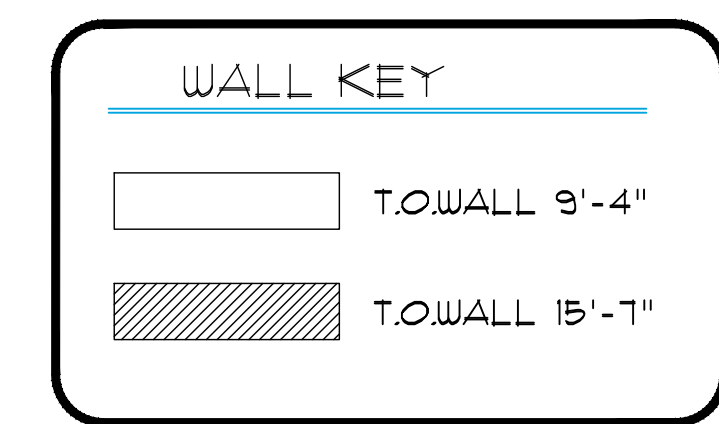
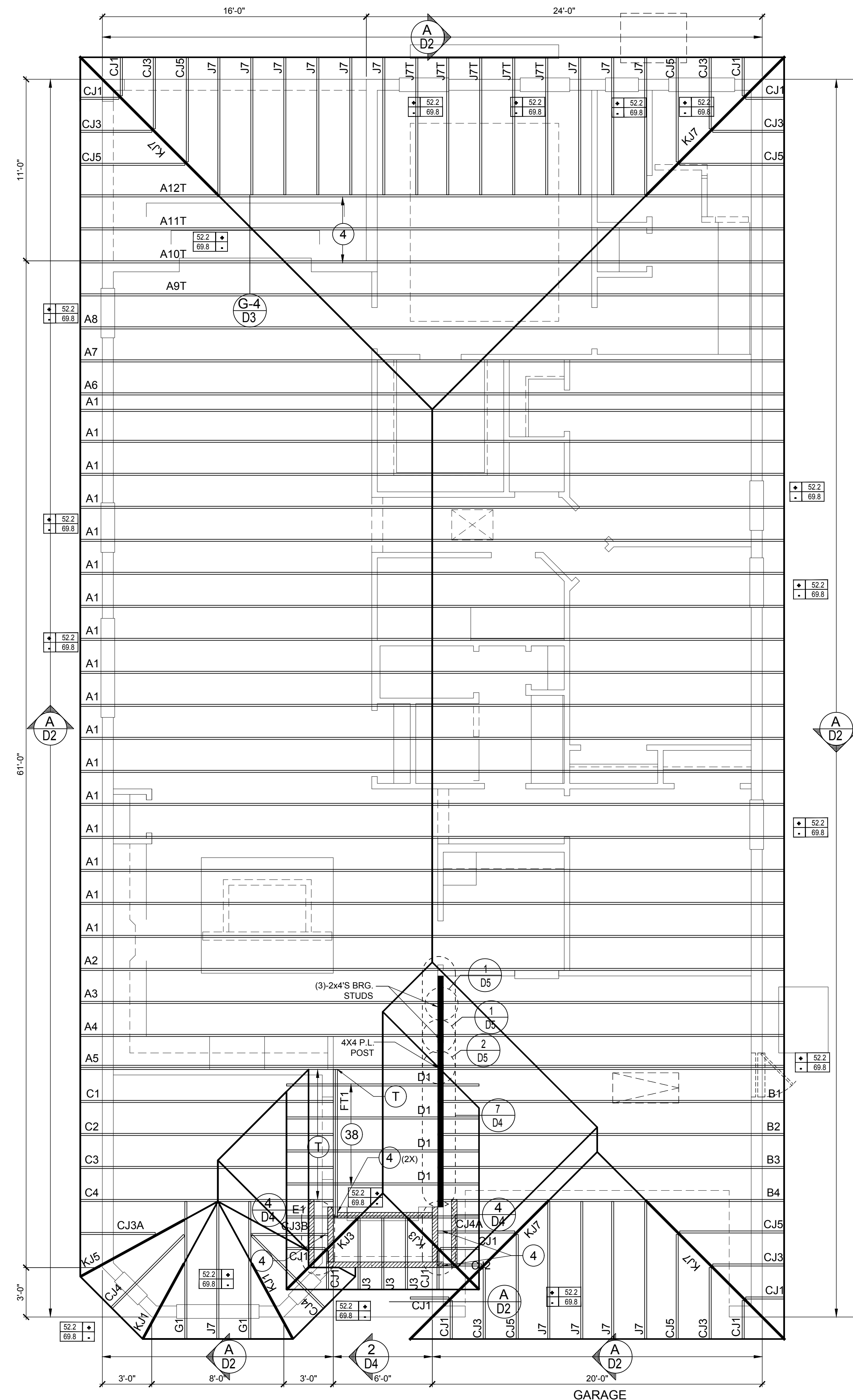


ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS
ROOF FRAMING PLAN B (STANDARD)	
S3.B	

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875 / 1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+	XXX	ULTIMATE DESIGNED POSITIVE PRESSURE
-	XXX	ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

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NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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ROOF FRAMING PLAN B (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



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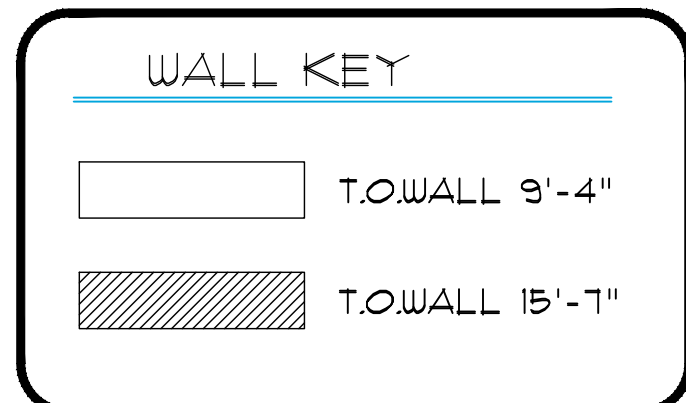
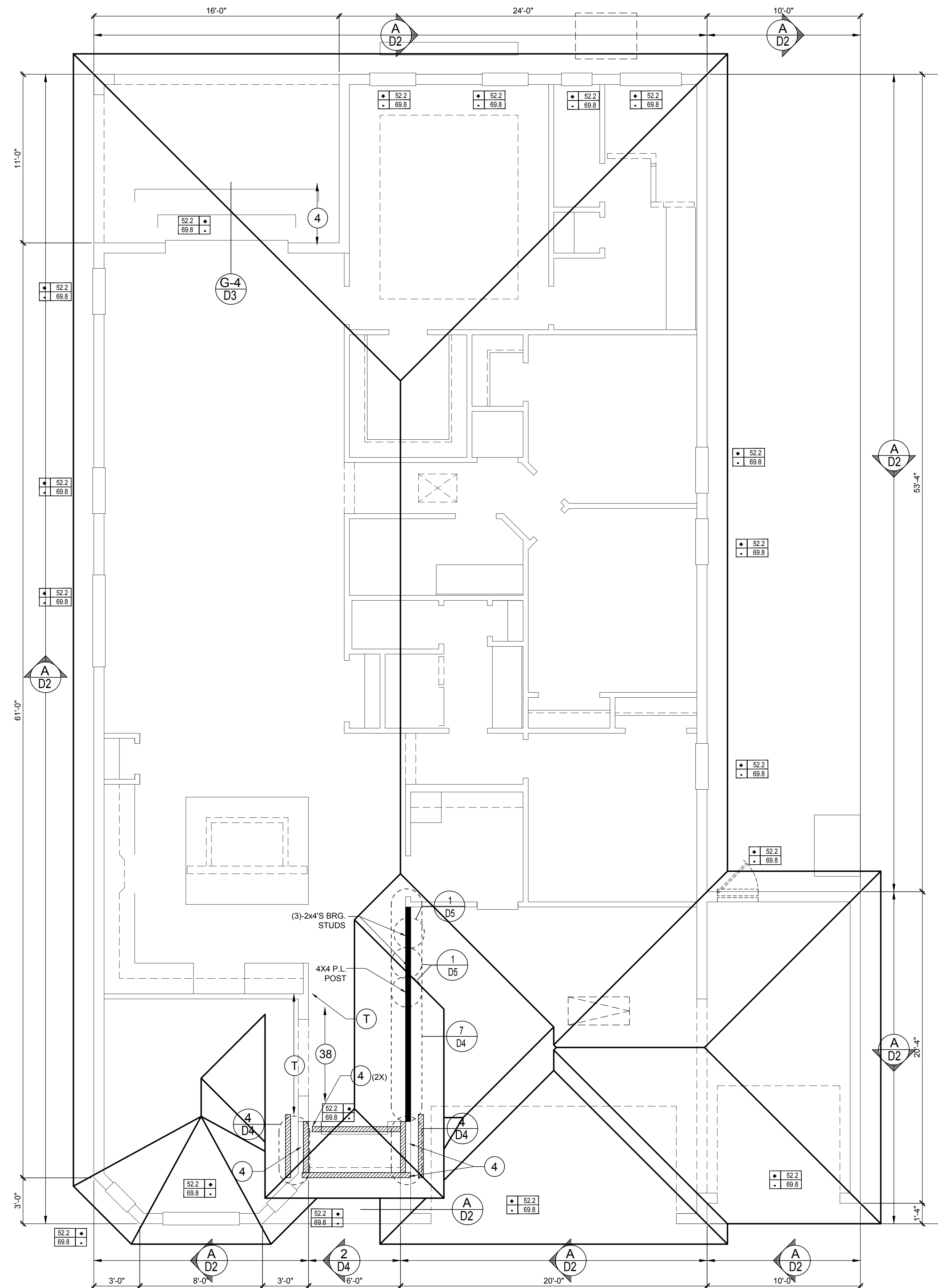
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Phone: (407) 529-3000

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DRAWN BY:	M.C.
DESIGNED BY:	MJS
ROOF FRAMING PLAN B (STANDARD)	
S3.B	

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETA20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ON ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

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NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
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ROOF FRAMING PLAN B (Opt. 3-Car Garage)
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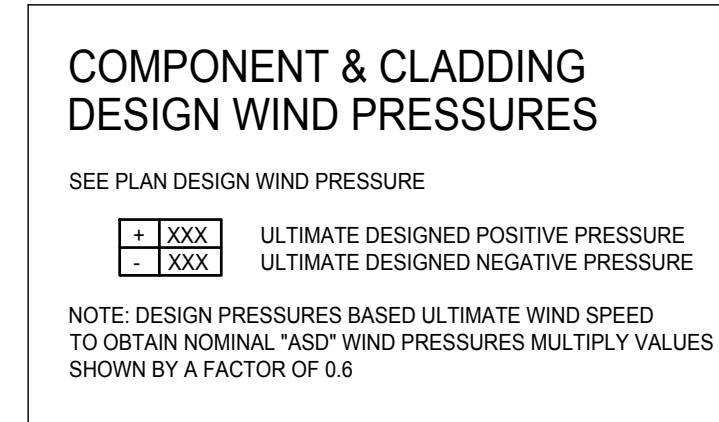
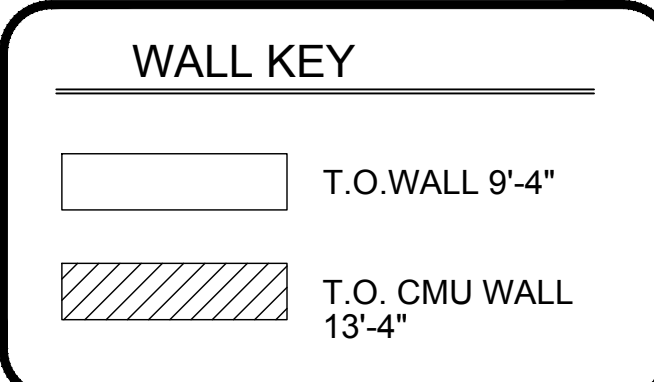
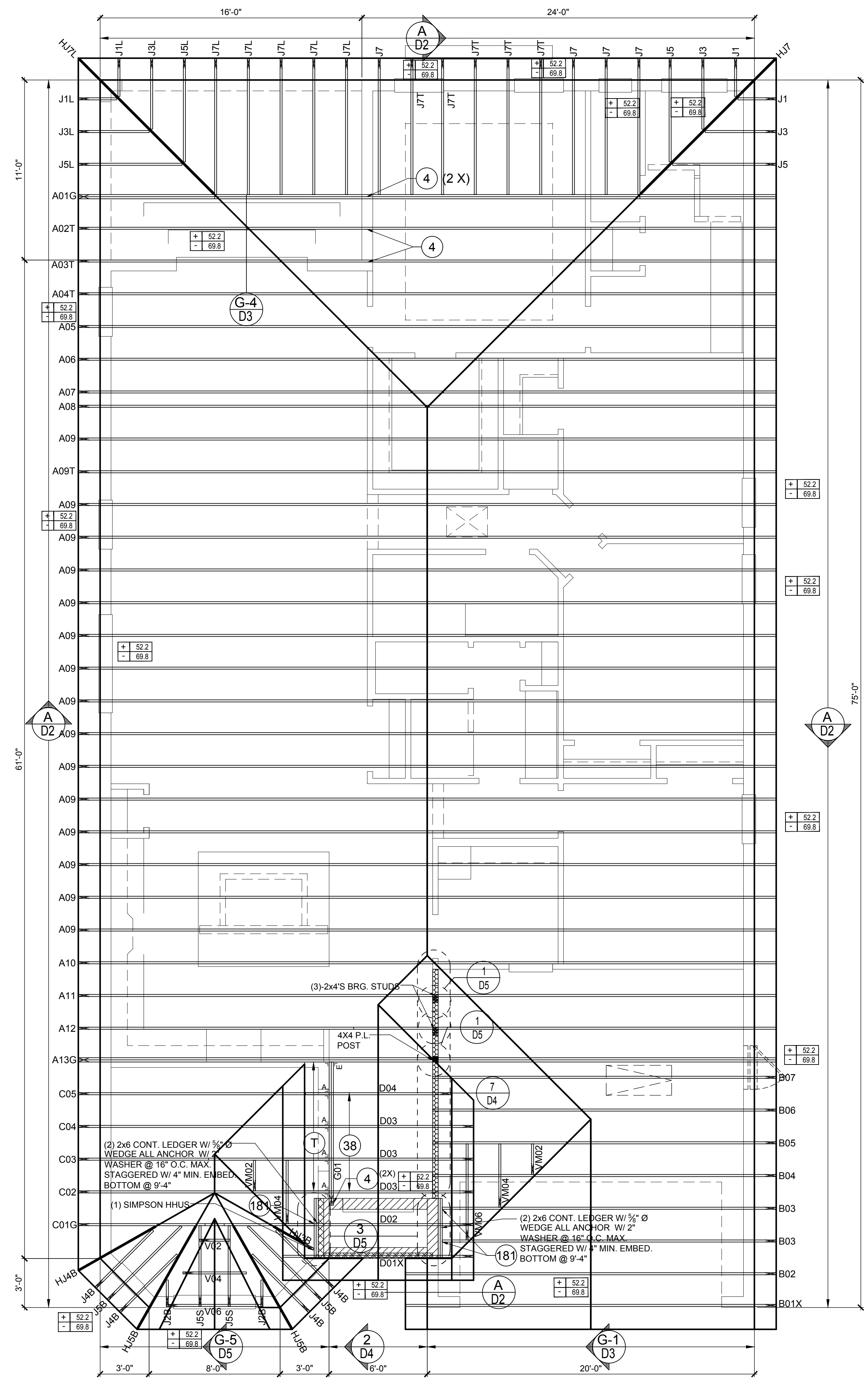


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ROOF FRAMING PLAN B (STANDARD)	
SS3B2	

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
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37	HTS16	14-10d	1,310	N/A
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39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
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89	CB66	(2) 7/8" BOLTS	2,300	985
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97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	5/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3 3/4" / (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	HGAM10KTA	(4) 1/4"x2 3/4" TITEN	810	875/1105
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



- ### FIELD REPAIR NOTES
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
 - BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
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- ### NOTES
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 - TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
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 - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIW/TCA BCSI 1.
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ROOF FRAMING PLAN

C (STANDARD BAY WINDOW)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

THOMPSON ENGINEERING GROUP, INC.
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MJS

designers group

residential-commercial-architecture

AI

BD

GREATER ORLANDO BUILDERS ASSOCIATION

40-2375

The Hampton

Lot #X- Subdivision

Street Address

City, State, Zip

A division of Park Square Enterprises Inc.

5200 Vineland Rd, Suite #200

Orlando, FL 32811

Phone: (407) 529-3000

ISSUE DATE

12/06/2022

REVISIONS

PROJECT:

22-1082

SCALE:

AS NOTED

DRAWN BY:

M.C.

DESIGNED BY:

MJS

ROOF FRAMING PLAN

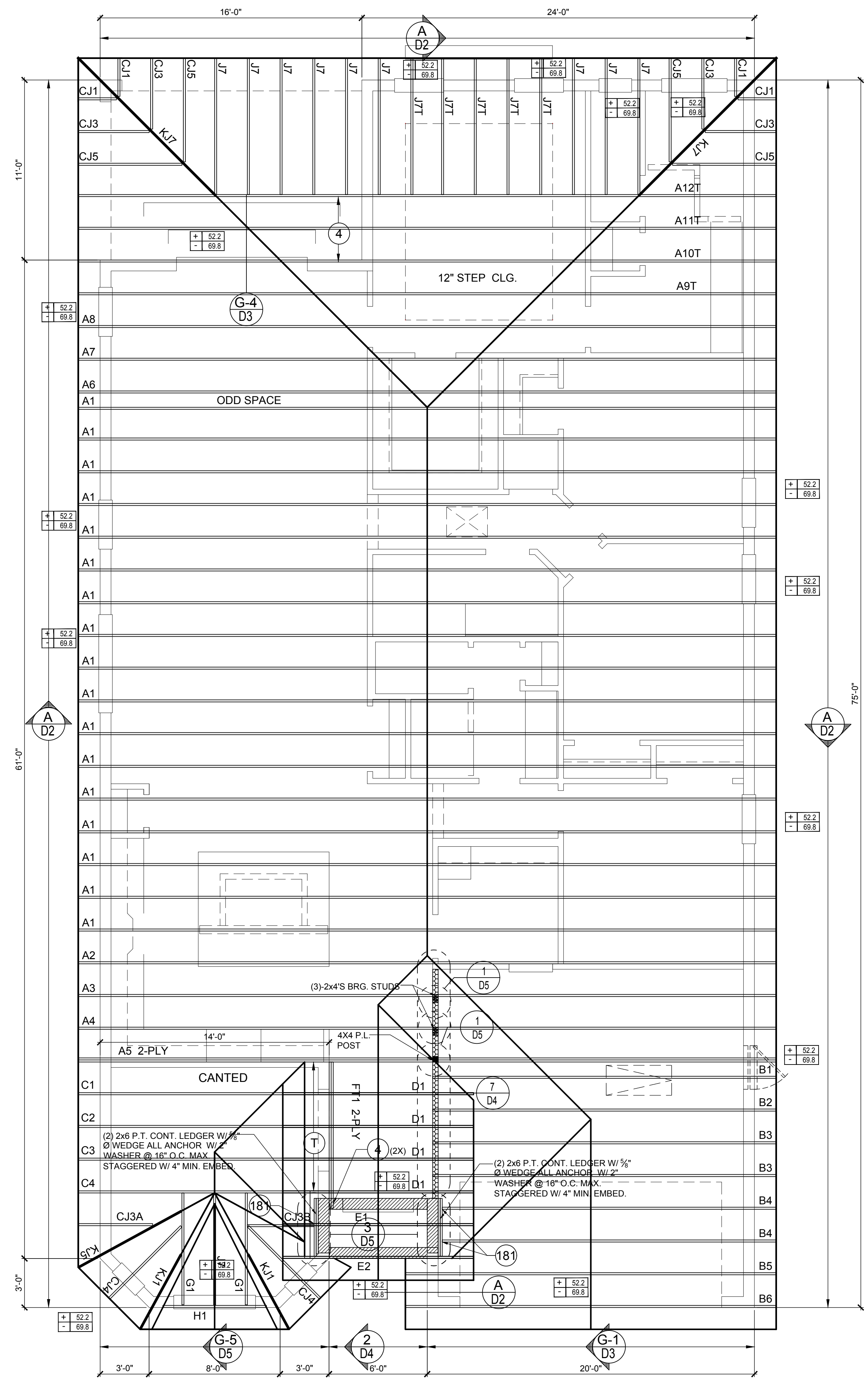
(C STANDARD)

S3.C

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	LS50	(8) 0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
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103	VGTR/L	32-SDS 1/4"x3" / (2) 7/8" BLT	3,990	N/A
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T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



WALL KEY

T.O. WALL 9'-4"
 T.O. CMU WALL 13'-4"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

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- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN
 C (STANDARD BAY WINDOW)
 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

ITEG
 THOMPSON ENGINEERING GROUP, INC.
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MJS
 designers group
 residential-commercial-architecture

A I B I D

GOBA
 GREATER ORLANDO BUILDERS ASSOCIATION

40-2375
The Hampton
 Lot #X- Subdivision
 Street Address
 City, State, Zip

A division of Park Square Enterprises Inc.
 5200 Vineland Rd., Suite #200
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 Phone: (407) 529-3000

Park Square HOMES

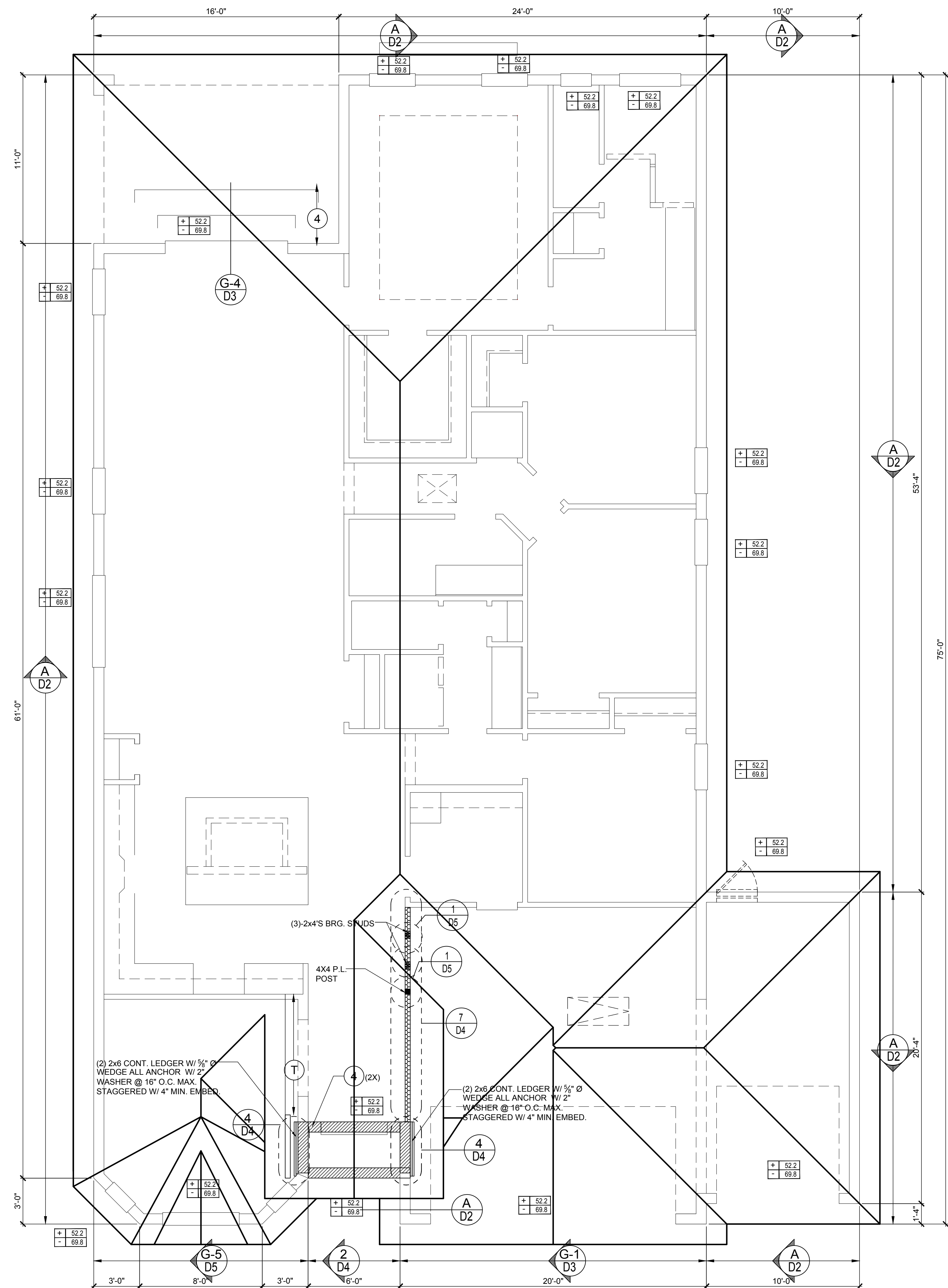
ISSUE DATE	12/06/2022
REVISIONS	
PROJECT:	22-1082
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ROOF FRAMING PLAN
 (C STANDARD)
S3.C

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	340 / 770
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21	H1	RFT:6-8dx1 1/2"/PLT:4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
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35	LS50	(8)0.148x1 1/2"	N/A	580
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
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89	CB66	(2) 7/8" BOLTS	2,300	985
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214	HUC212-3TF	HD:16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST : 10-16d	3,240	N/A
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401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



WALL KEY

- T.O.WALL 9'-4"
- T.O.WALL 15'-7"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

- XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

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NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 16" UNLESS OTHERWISE NOTED.
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- OFF RIDGE VENTS MAXIMUM OPENING SIZES: REFER TO MANUFACTURE SPECIFICATIONS.

ROOF FRAMING PLAN

C (Opt. 3-Car Garage)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

ITEG
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ISSUE DATE 12/06/2022
REVISIONS
PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

ROOF FRAMING PLAN
(C STANDARD)
S3.C2

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STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.)
LIVE LOAD ROOF: 20 PSF.
FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF
OCCUPANCY= 1.0
BUILDING CATEGORY R3, WIND EXPOSURE C
INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- ALL FLOOR SLABS TO BE OF 3,000 PSI CONC. PLANT MIX MIN. 4" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE "M" OR "S", GROUT - 2,500 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.
THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

- SOIL BEARING CAPACITY 2000 PSF MINIMUM

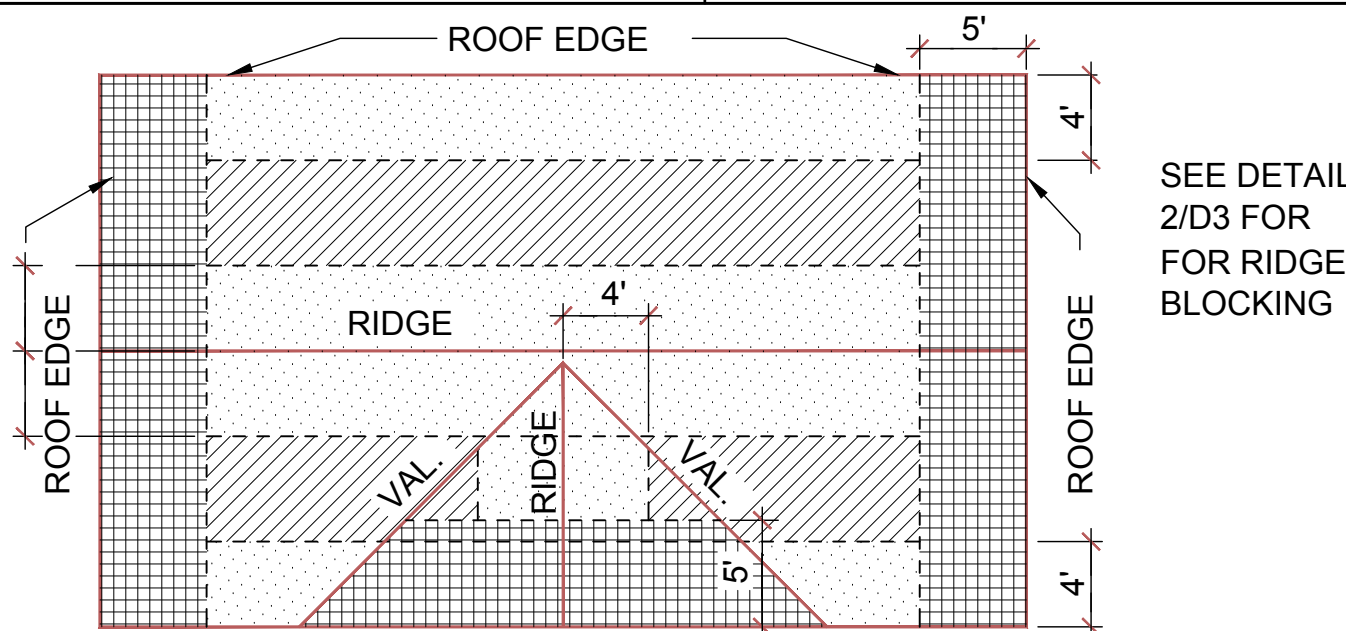
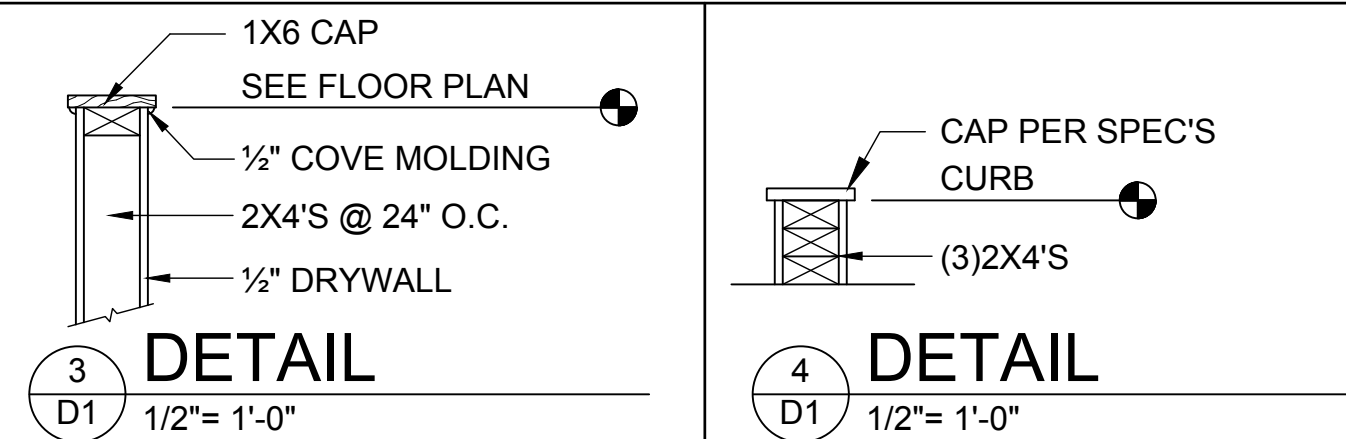
WOOD STRUCTURAL NOTES

- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C..
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN
 - DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)
 - DOUBLE STUDS @ 12" O.C..
 - DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.
 - HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER.
 - STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 19/32 OSB, NAILED (10d RING SHANK NAILS) TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED (10d RING SHANK NAILS) TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

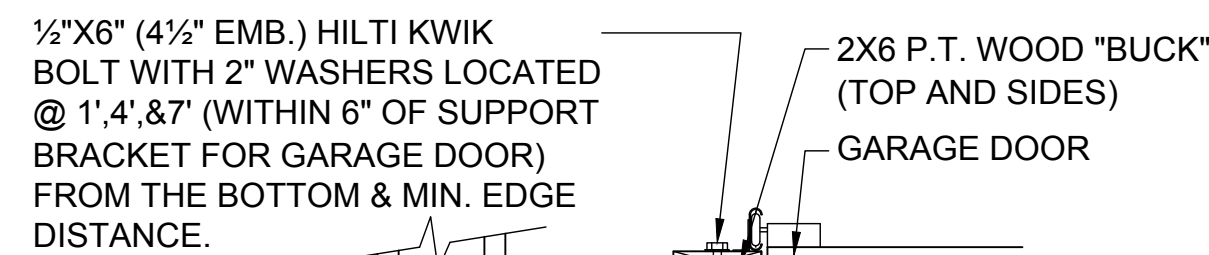
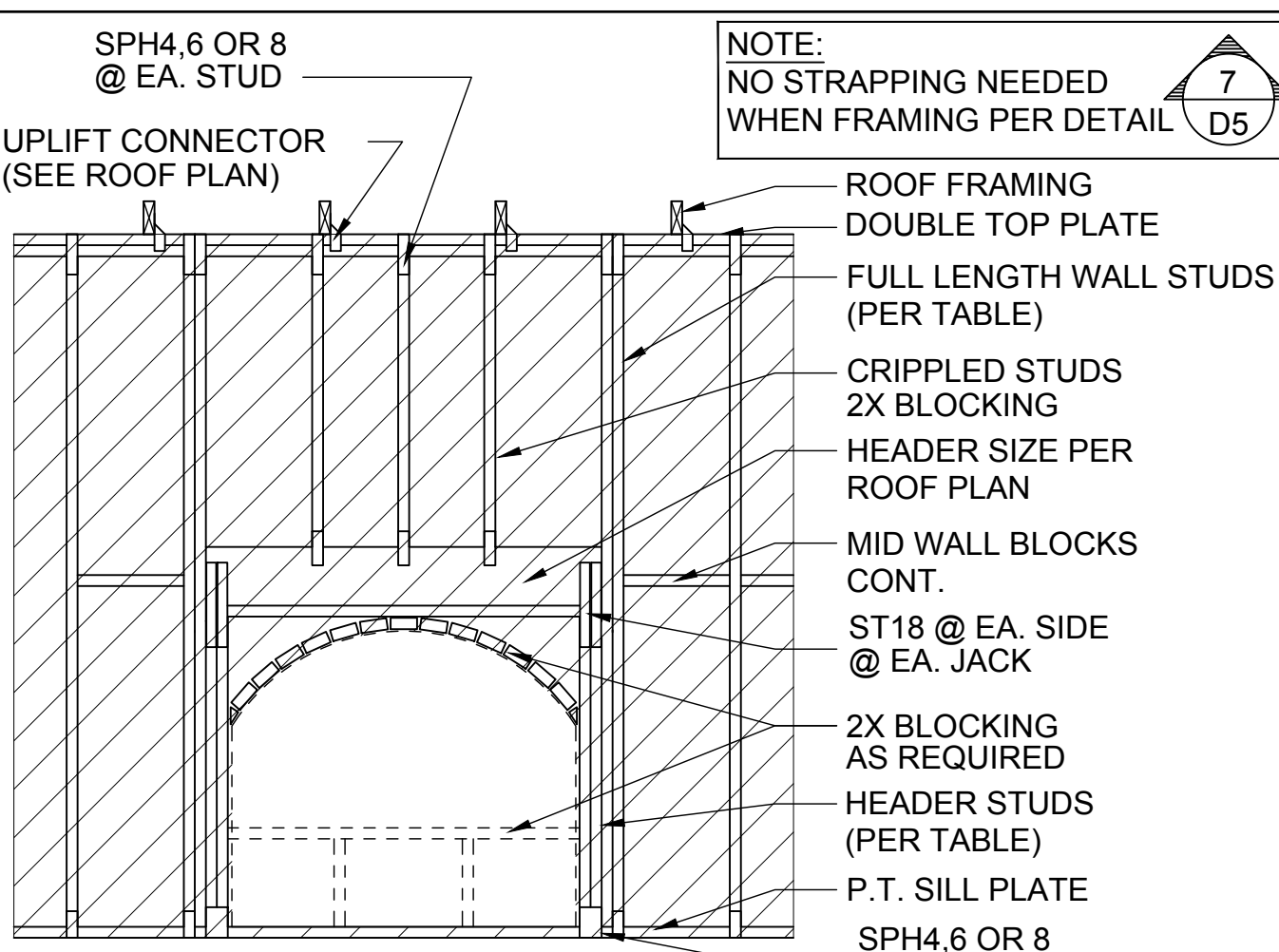
- NON BEARING WALL: 2X4 SPACED AT 24" O.C. UP TO 12'-0" HEIGHT WITH 2 ROWS OF HORIZONTAL 2X4 BLOCKING SPACE AT 4'-0" O.C.

FIELD REPAIR NOTES

- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:
UP TO -7/8" - NO REPAIR NECESSARY
-7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED
1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE



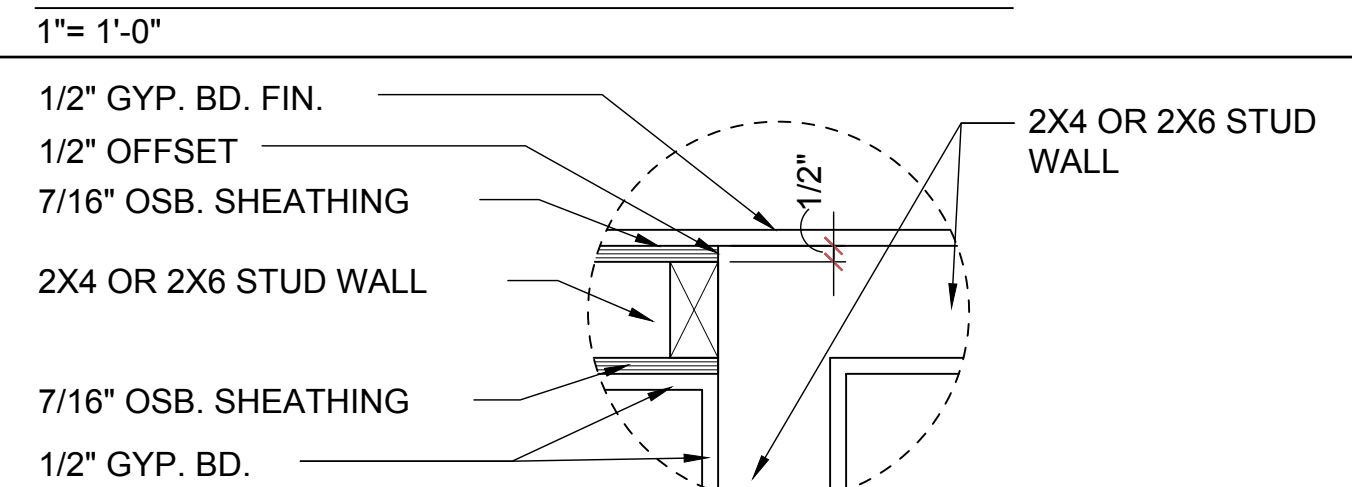
ZONE:	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	10d RING SHANK NAILS @ 4" O.C. EDGES AND 6" O.C. FIELD



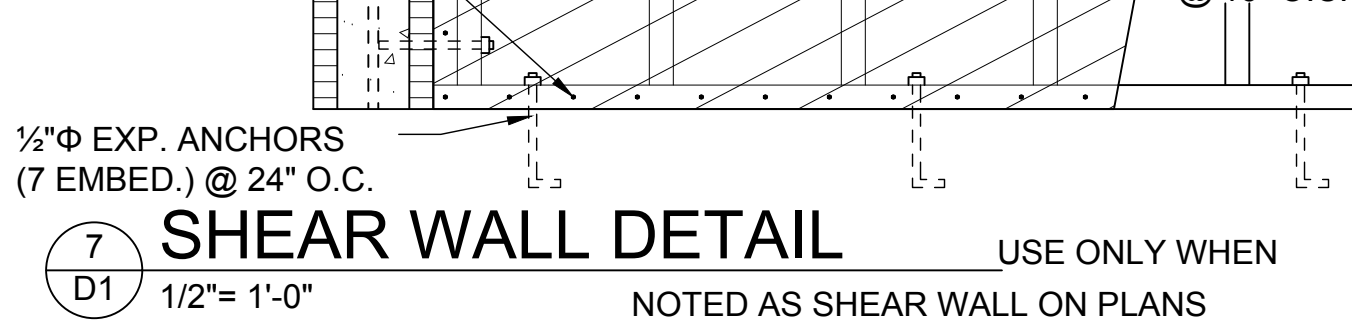
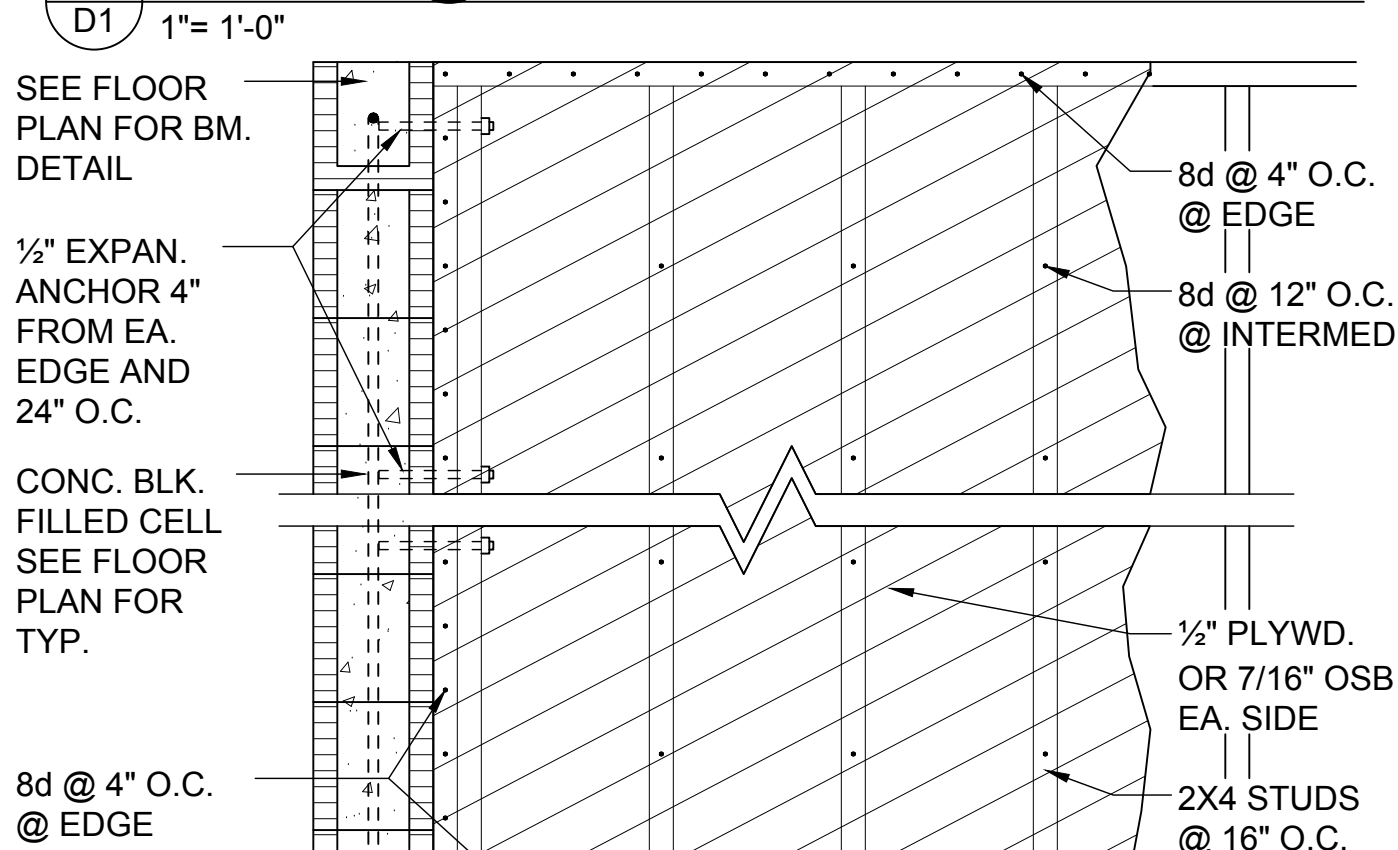
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
 - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
 - THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
 - DOOR SIZE, TYPE AND GLAZING
 - TRACK SIZE AND FASTENER DETAILS.
 - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
 - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

GARAGE BUCK DETAIL

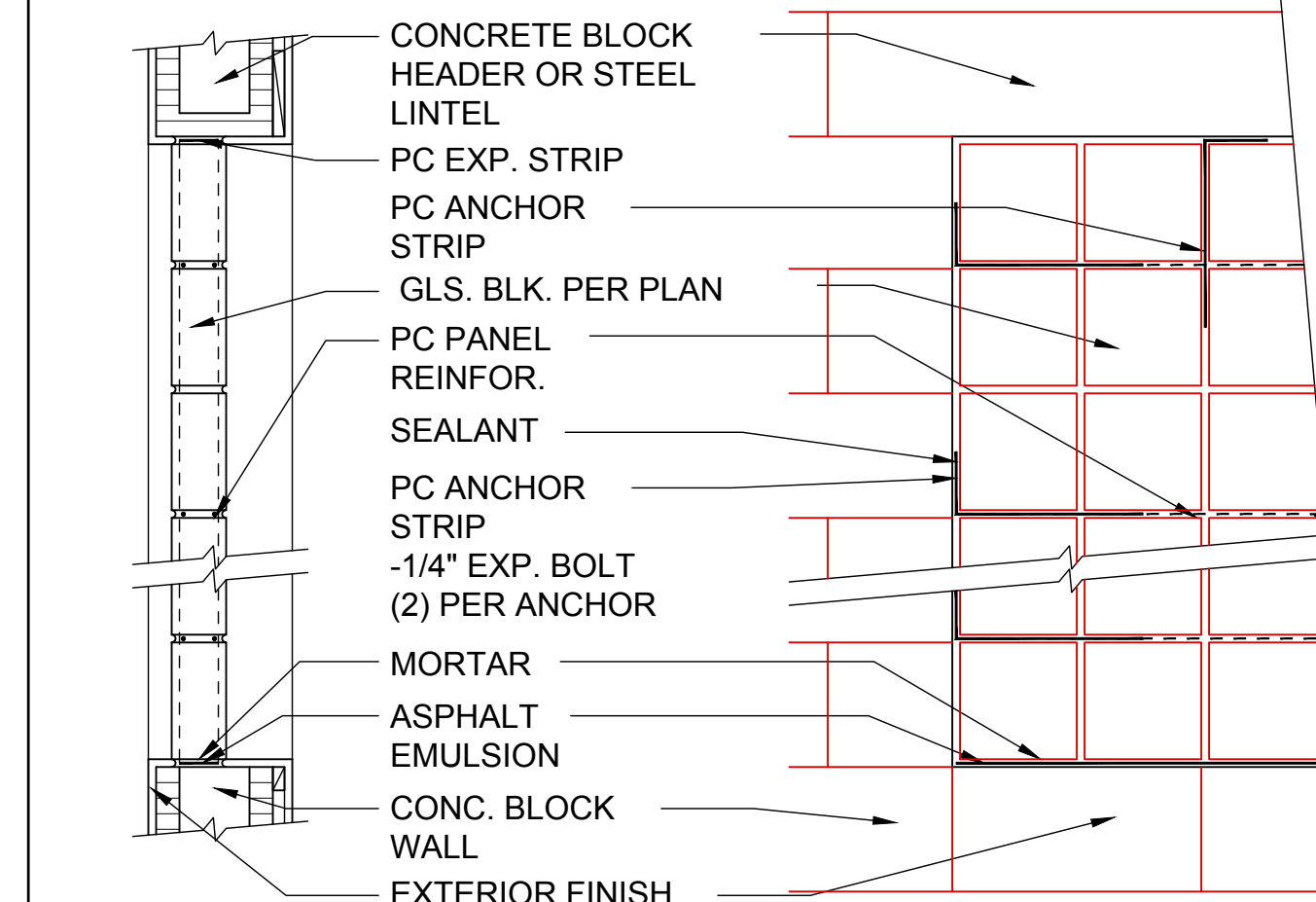
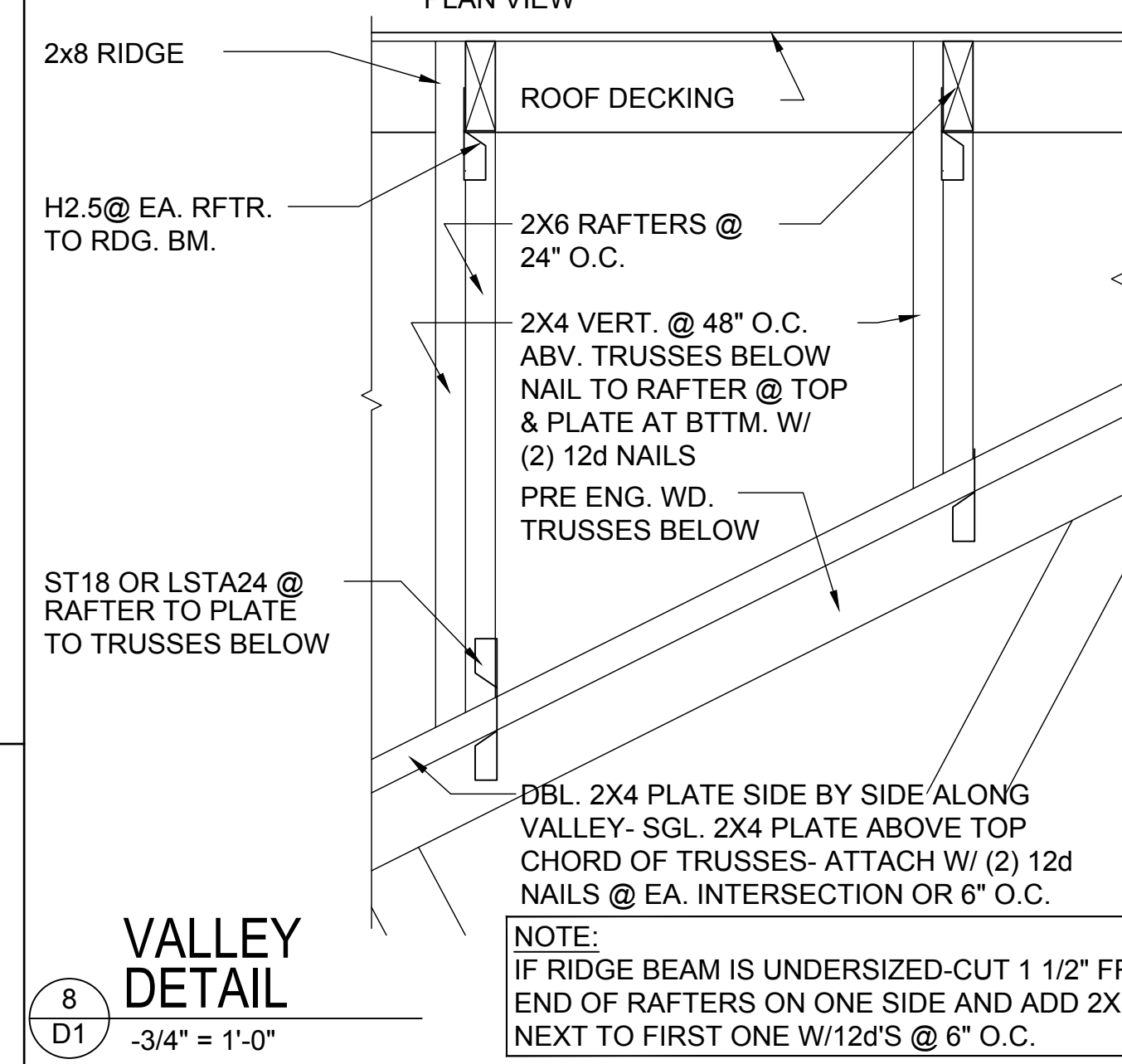
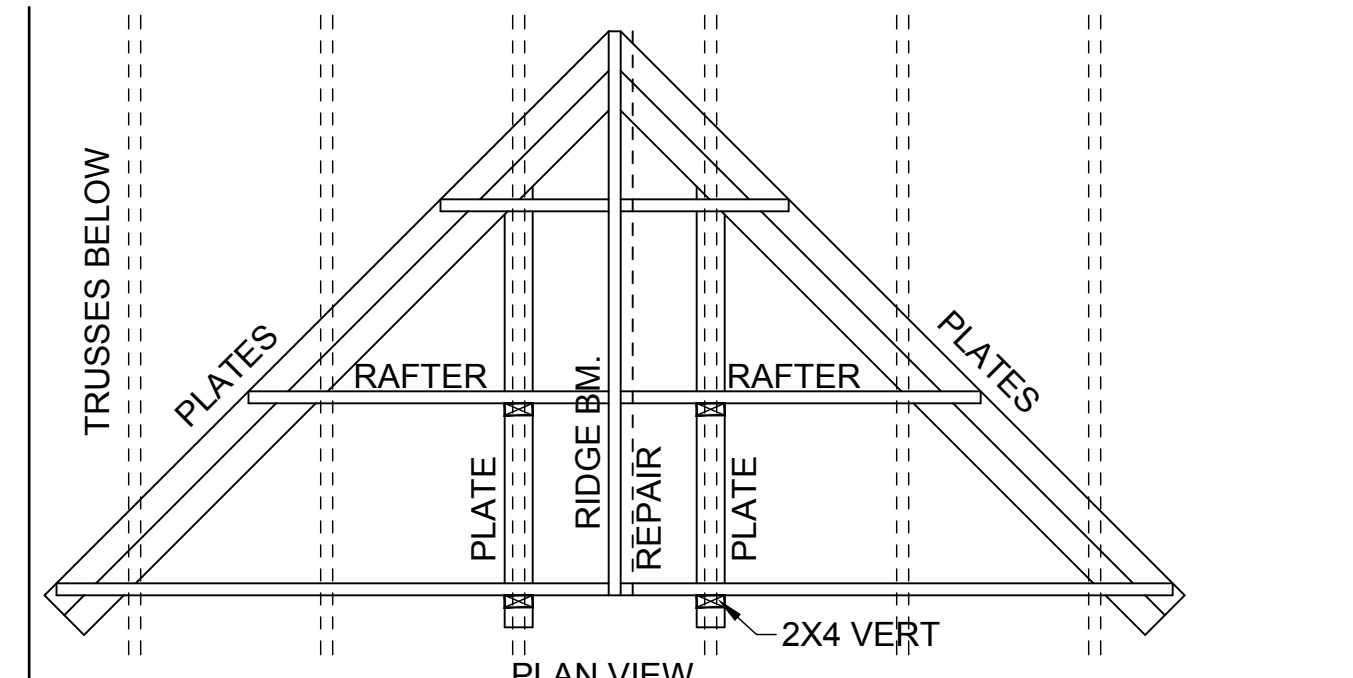


DETAIL @ CONN. TO REG. WALL



MIN. WALL AND HEADER REQUIREMENTS

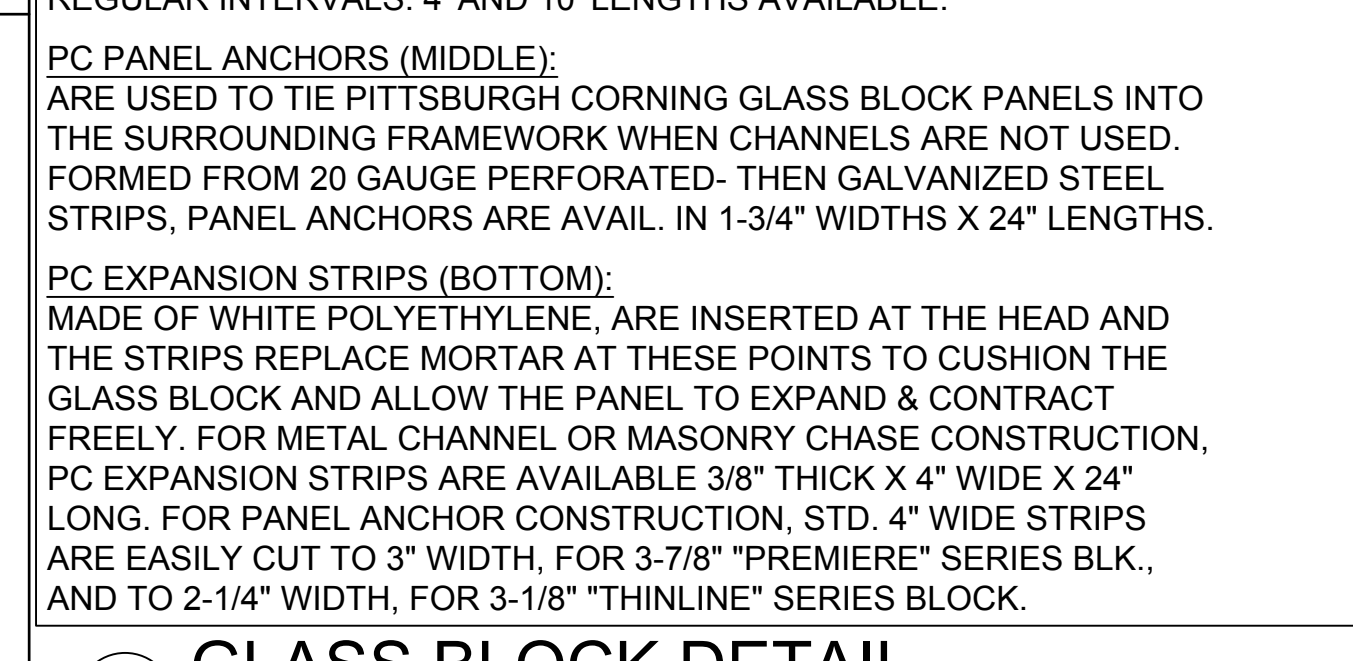
UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
10' OR LESS		2	2	3	3	3	3
	GREATER THAN 10'	2	2	3	4	5	5



PC PANEL REINFORCING (TOP):
USED IN PANELS OVER 25'S.F. IN AREA IS EMBEDDED HORIZONTALLY IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1-5/8" O.C. (FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/ "PREMIERE" SERIES GLS. BLK.) W/ BUTT WELDED CROSSWIRES AT REGULAR INTERVALS. 4' AND 10' LENGTHS AVAILABLE.

PC PANEL ANCHORS (MIDDLE):
ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED- THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1-3/4" WIDTHS X 24" LENGTHS.

PC EXPANSION STRIPS (BOTTOM):
MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE 3/8" THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3-7/8" "PREMIERE" SERIES BLK., AND TO 2-1/4" WIDTH, FOR 3-1/8" "THINLINE" SERIES BLOCK.



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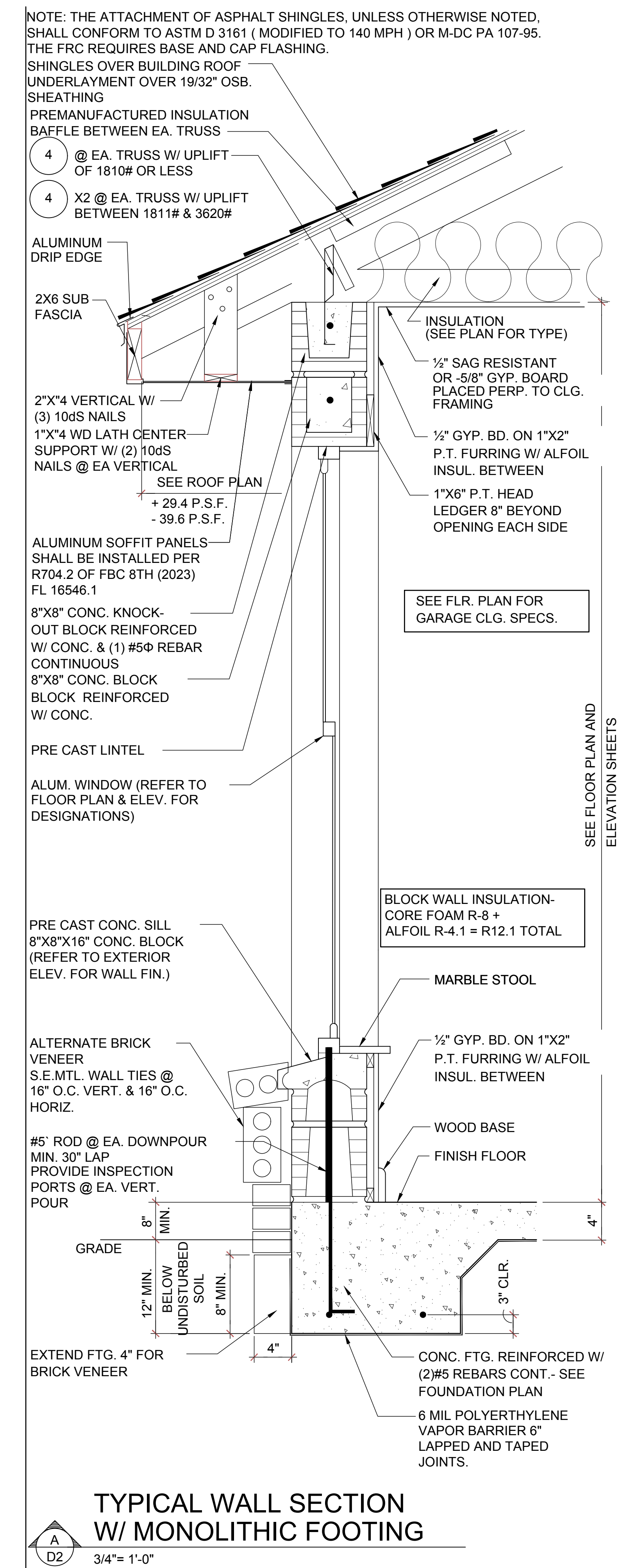
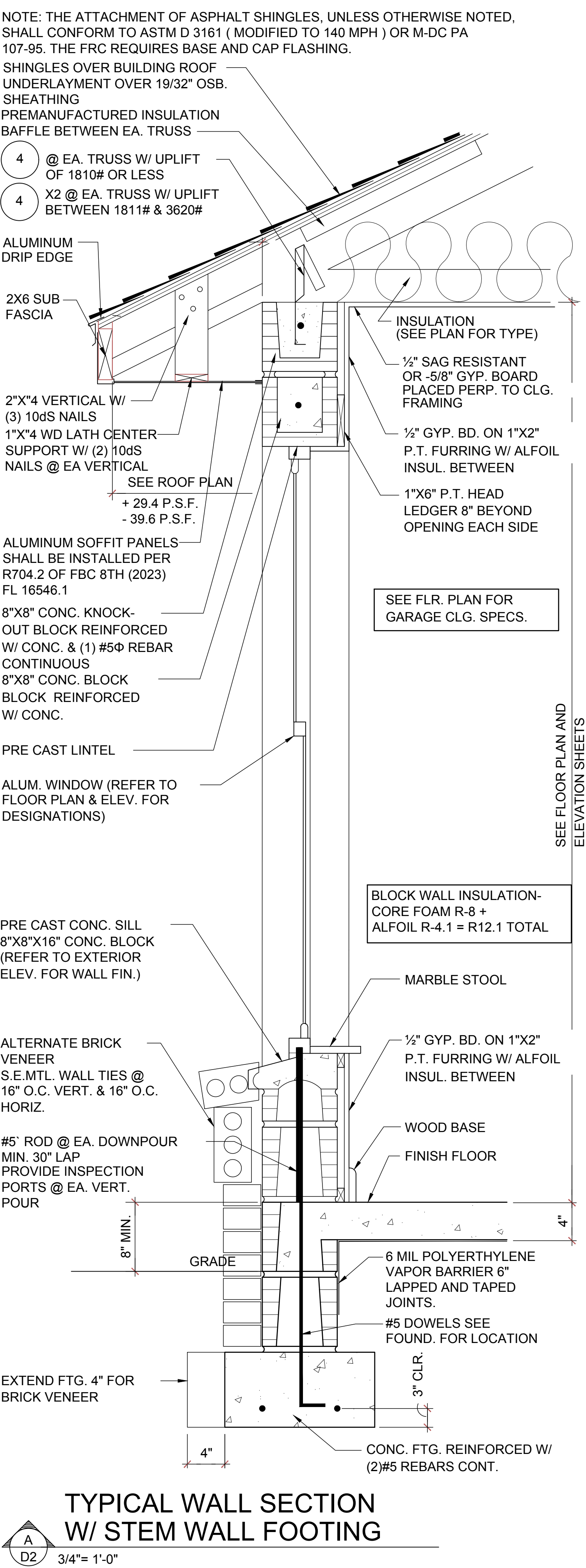
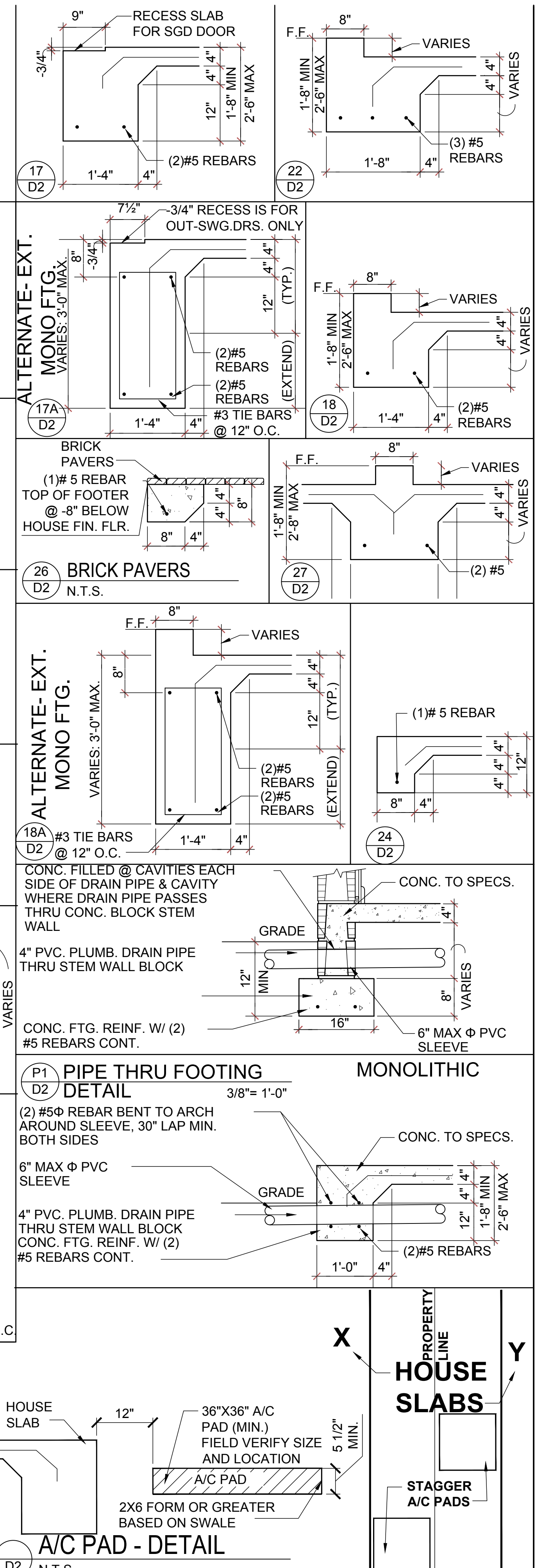
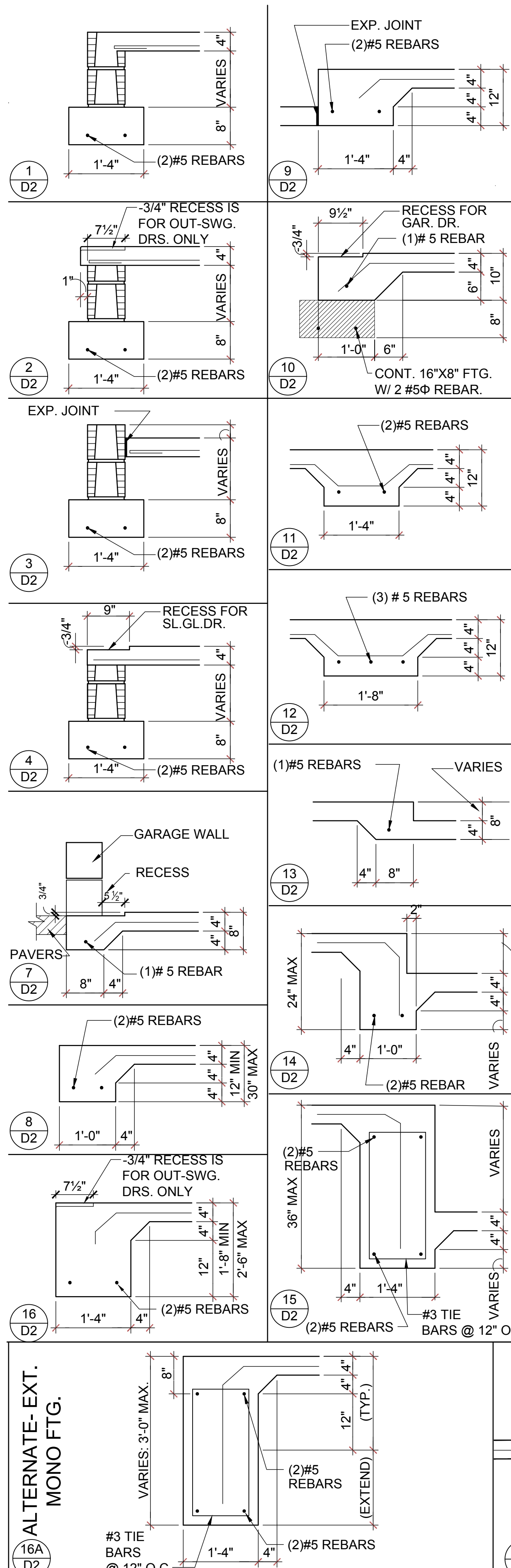
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STRUCTURAL NOTES & DETAILS
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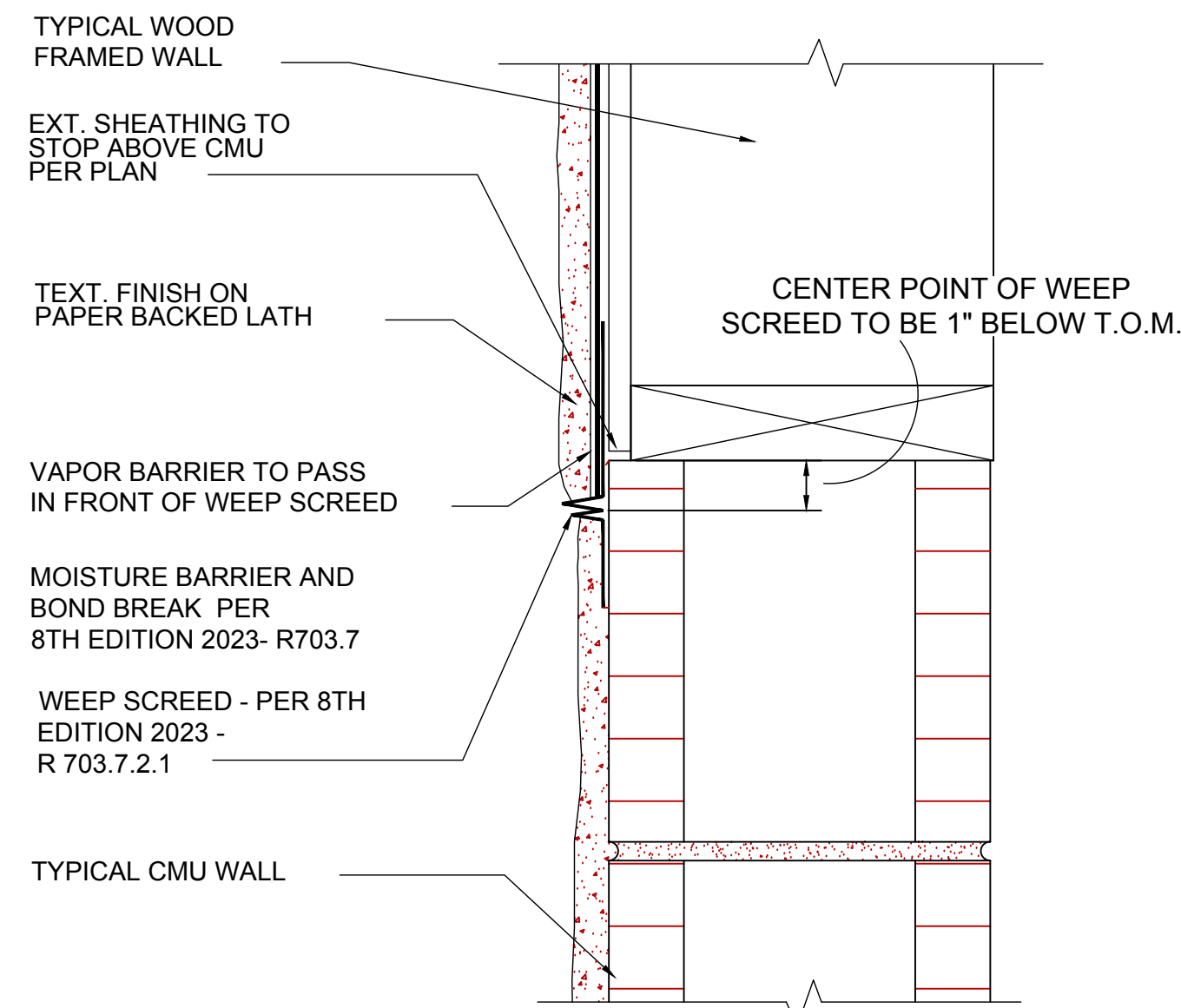
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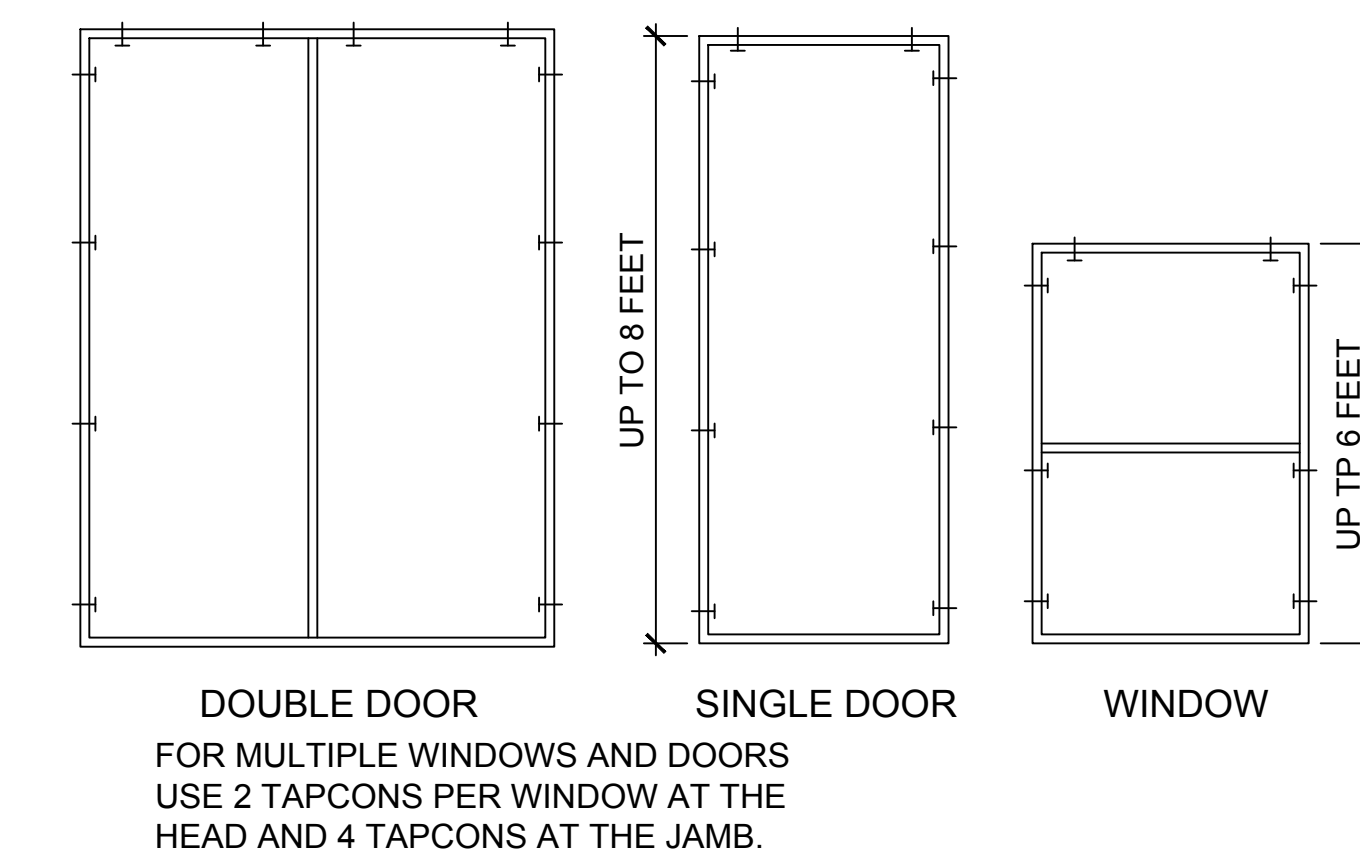
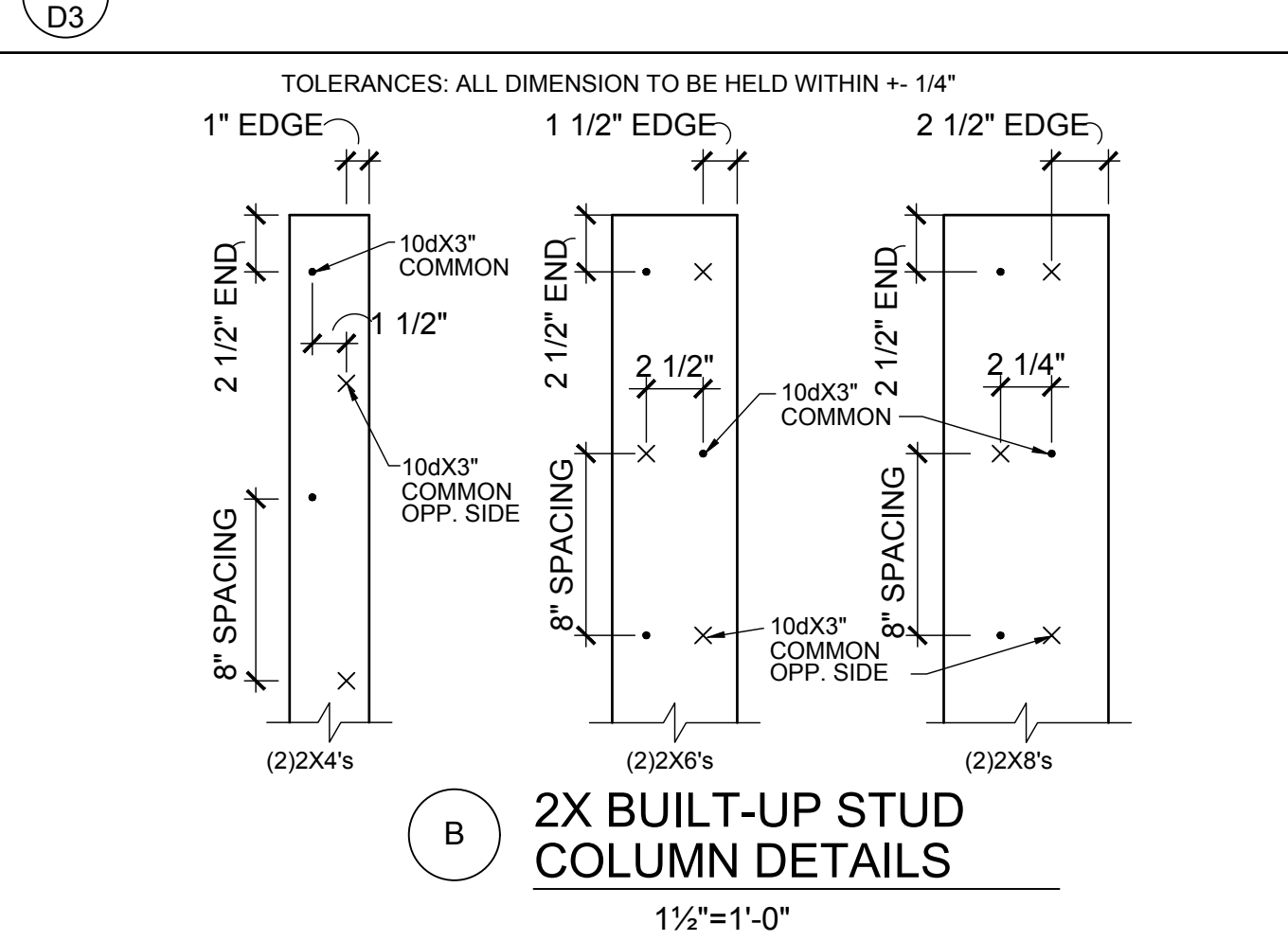
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FLASHING DETAIL



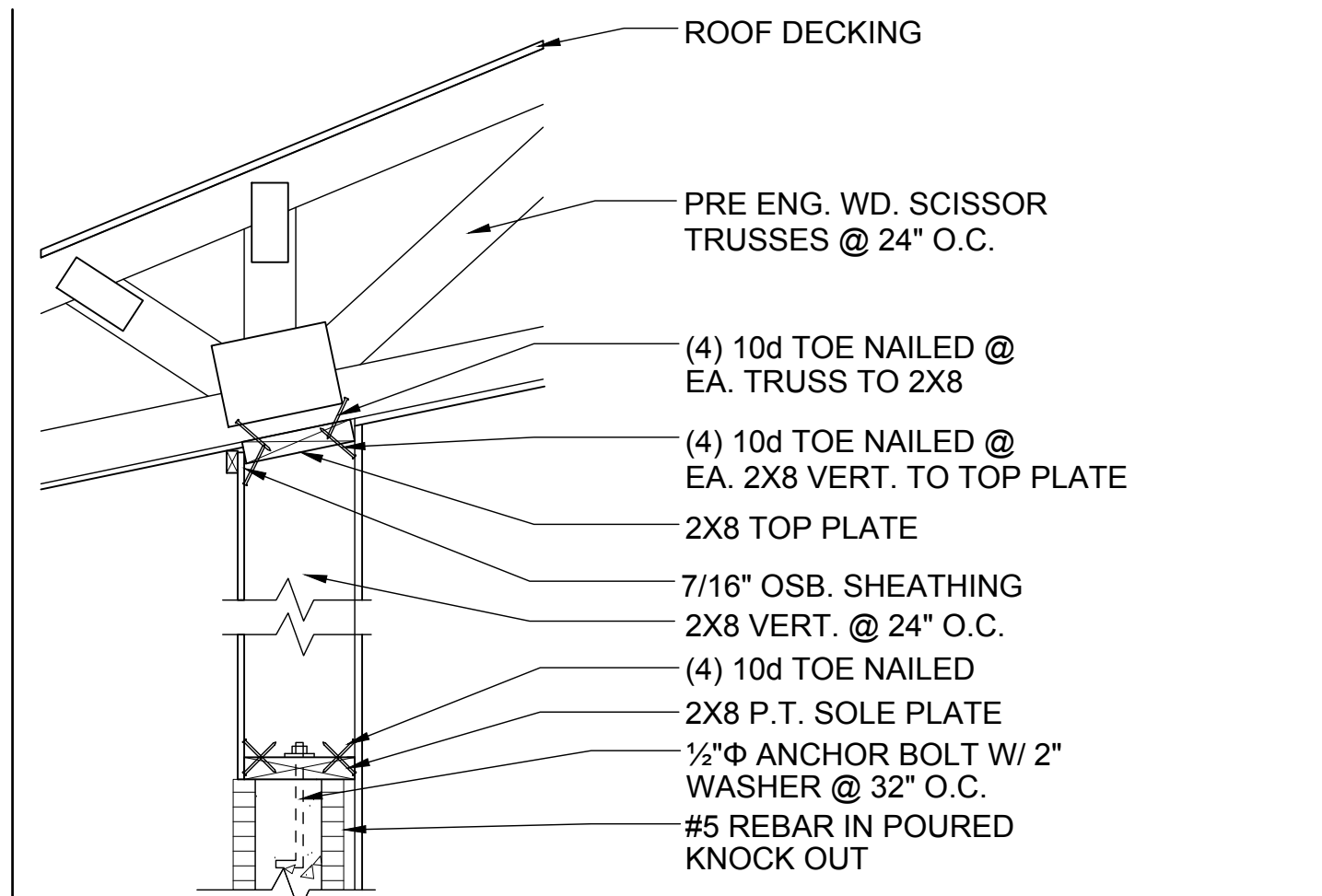
BUCK ATTACHMENT DATA

BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN PINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

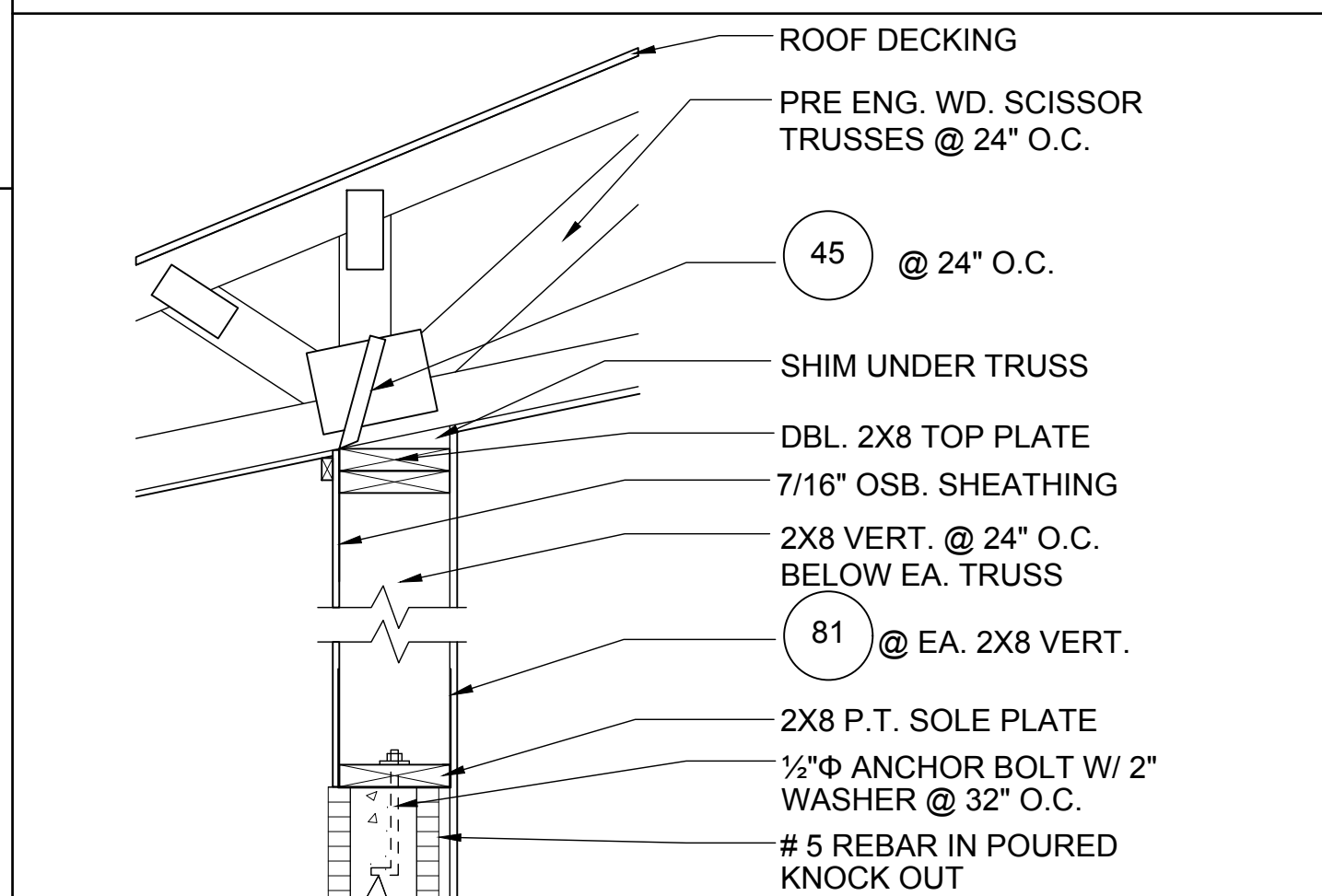
USE MIN. 2-1/4" T-NAILS W/ 1x BUCK. USE MIN. -1/4" x 3" TAPCONS W/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

NOTE

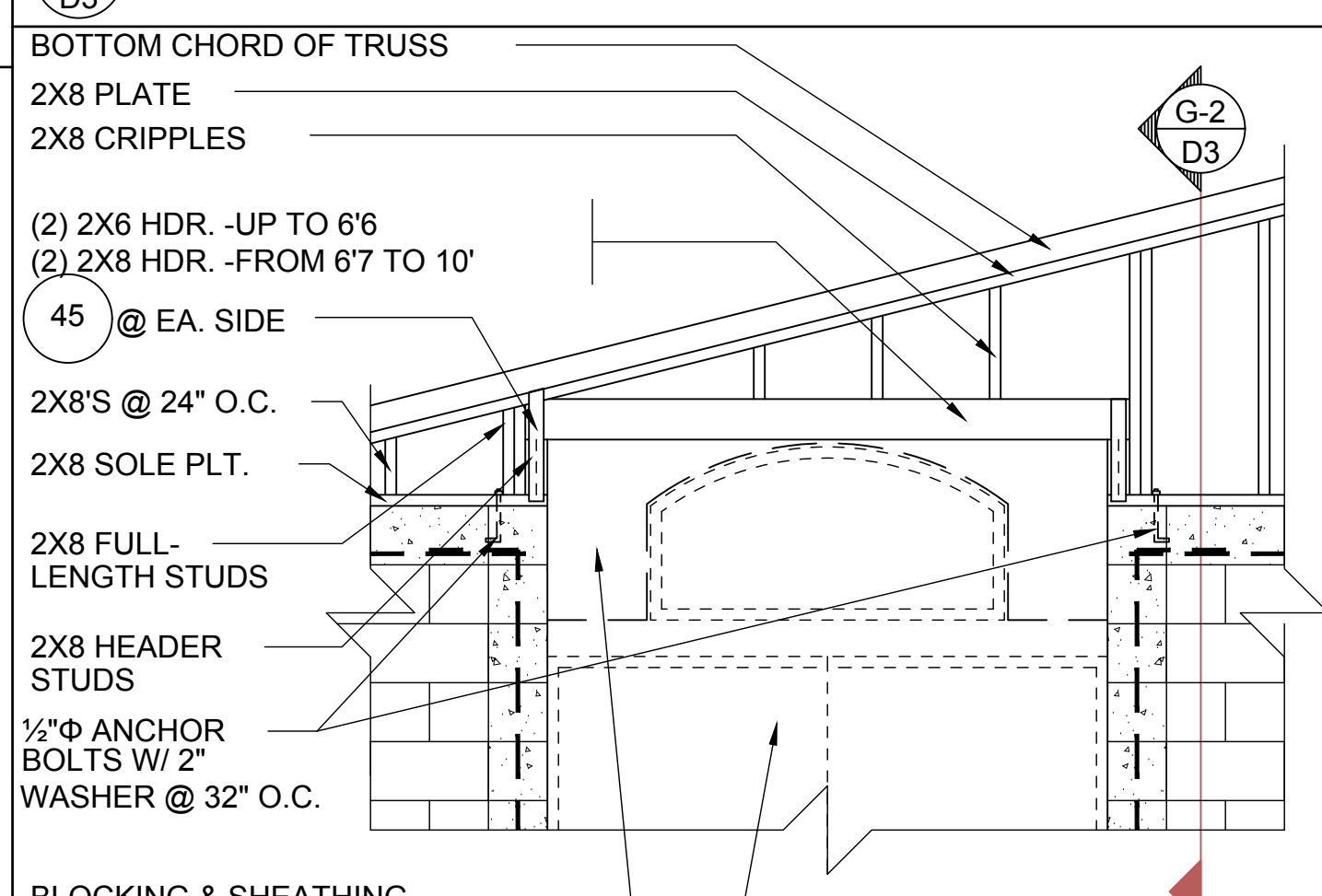
IN CASE OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3" FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4"x1-3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



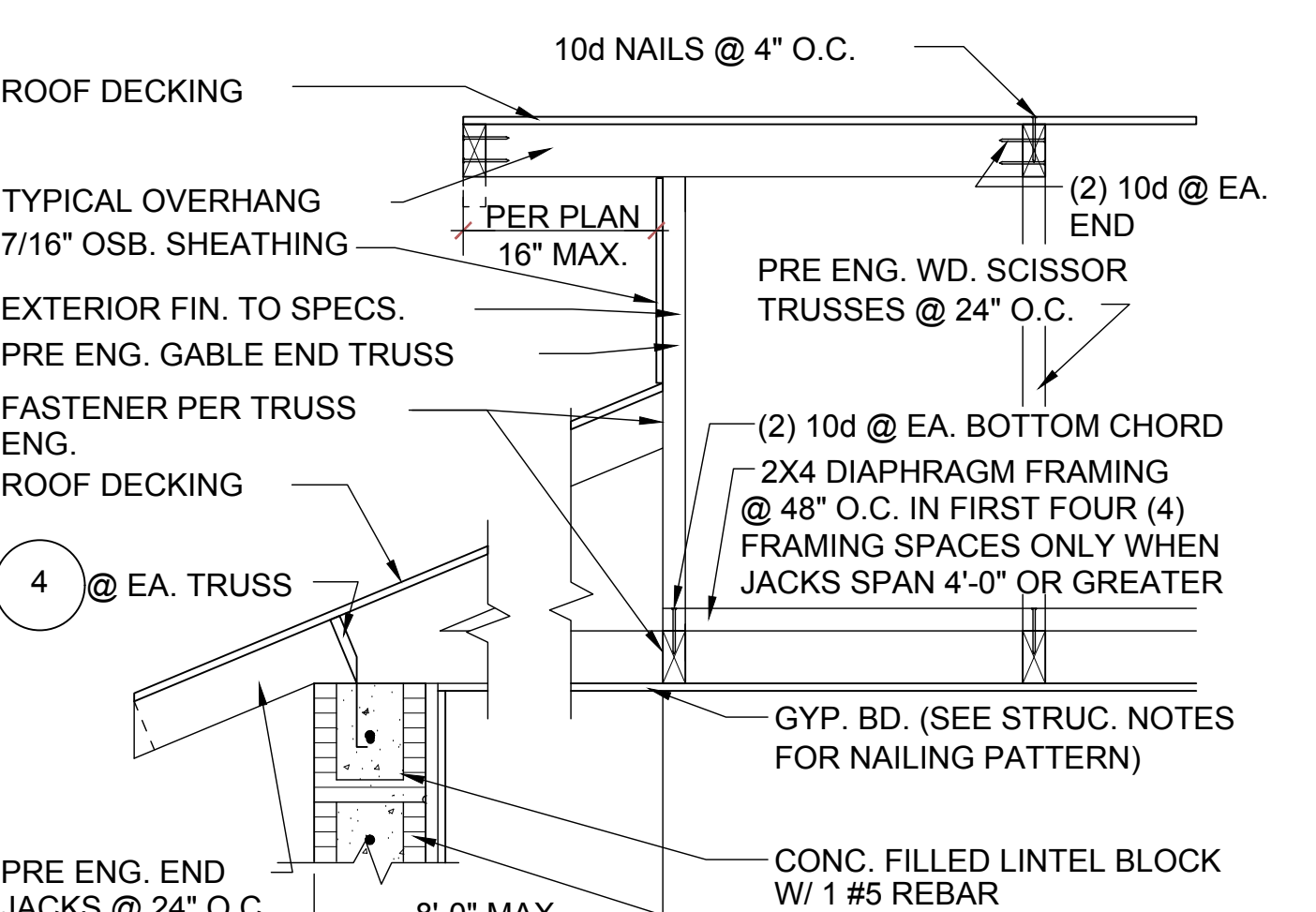
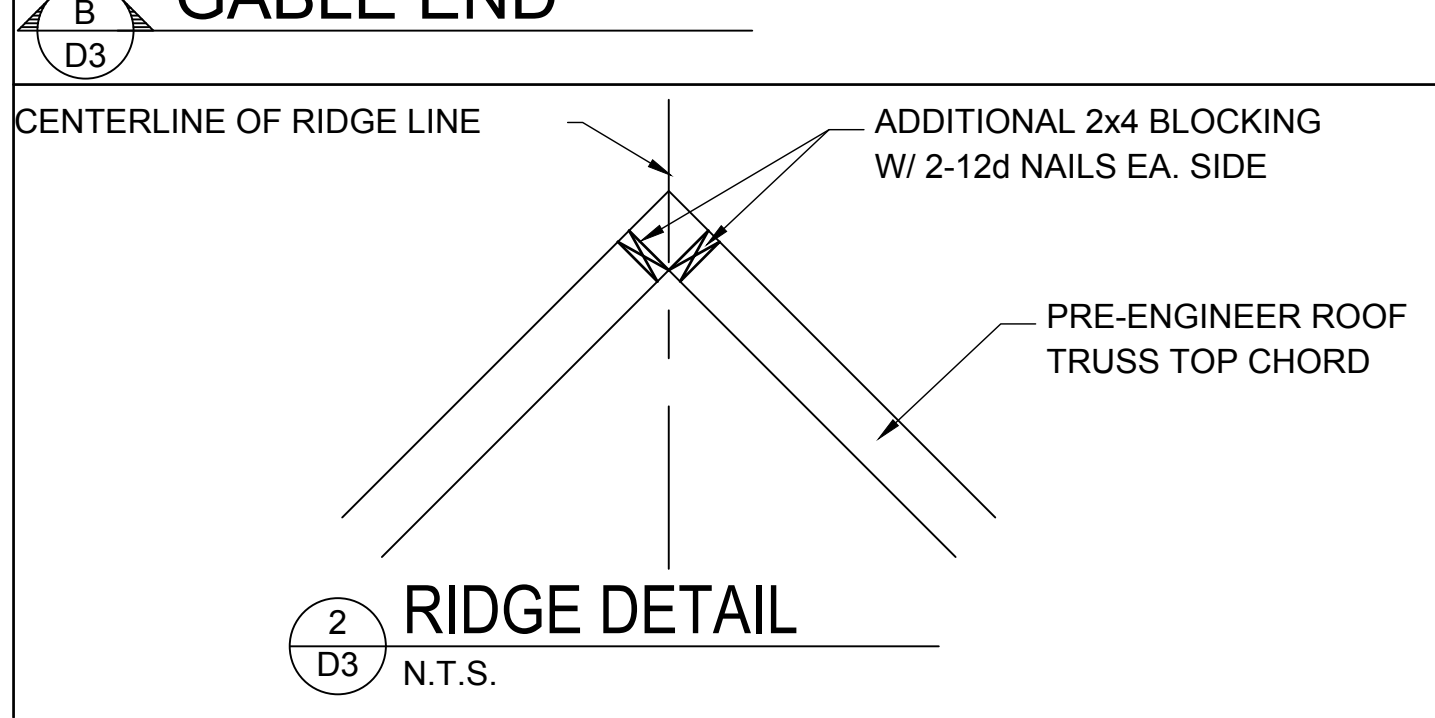
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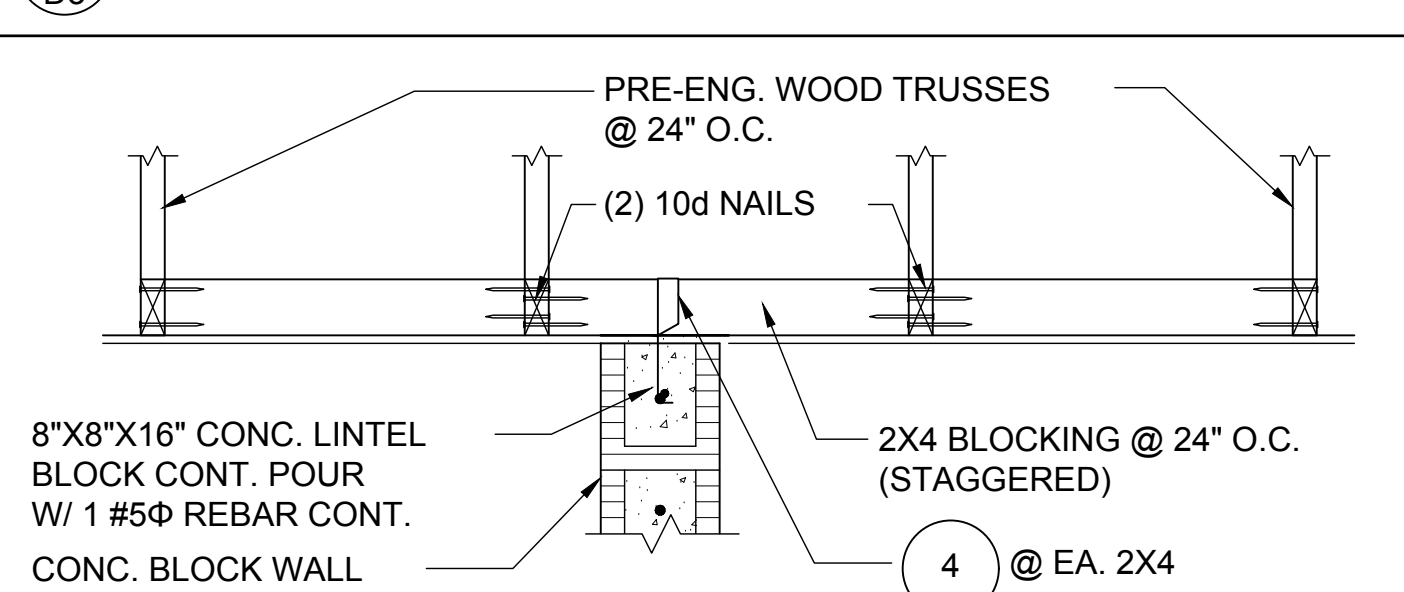
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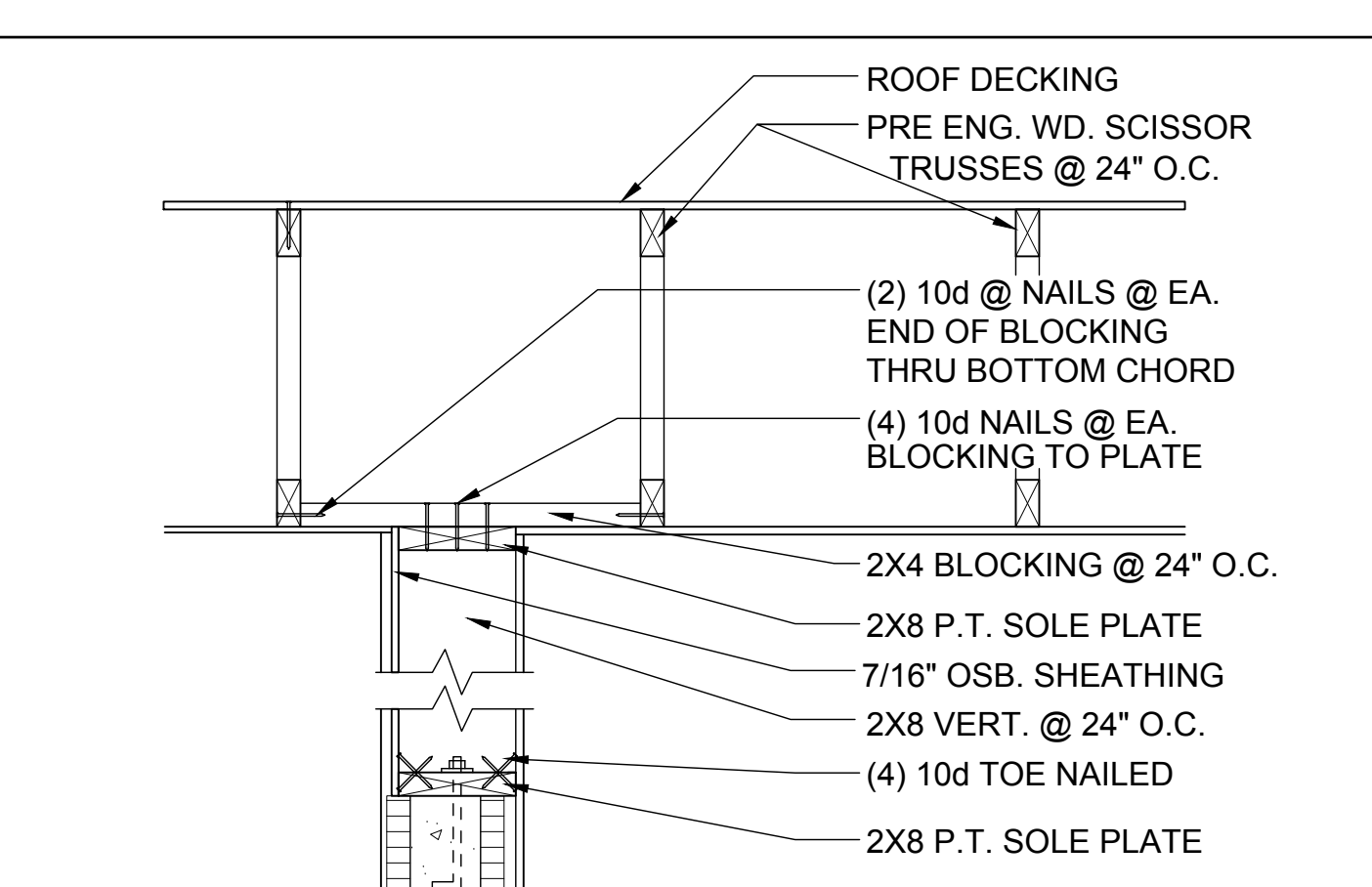
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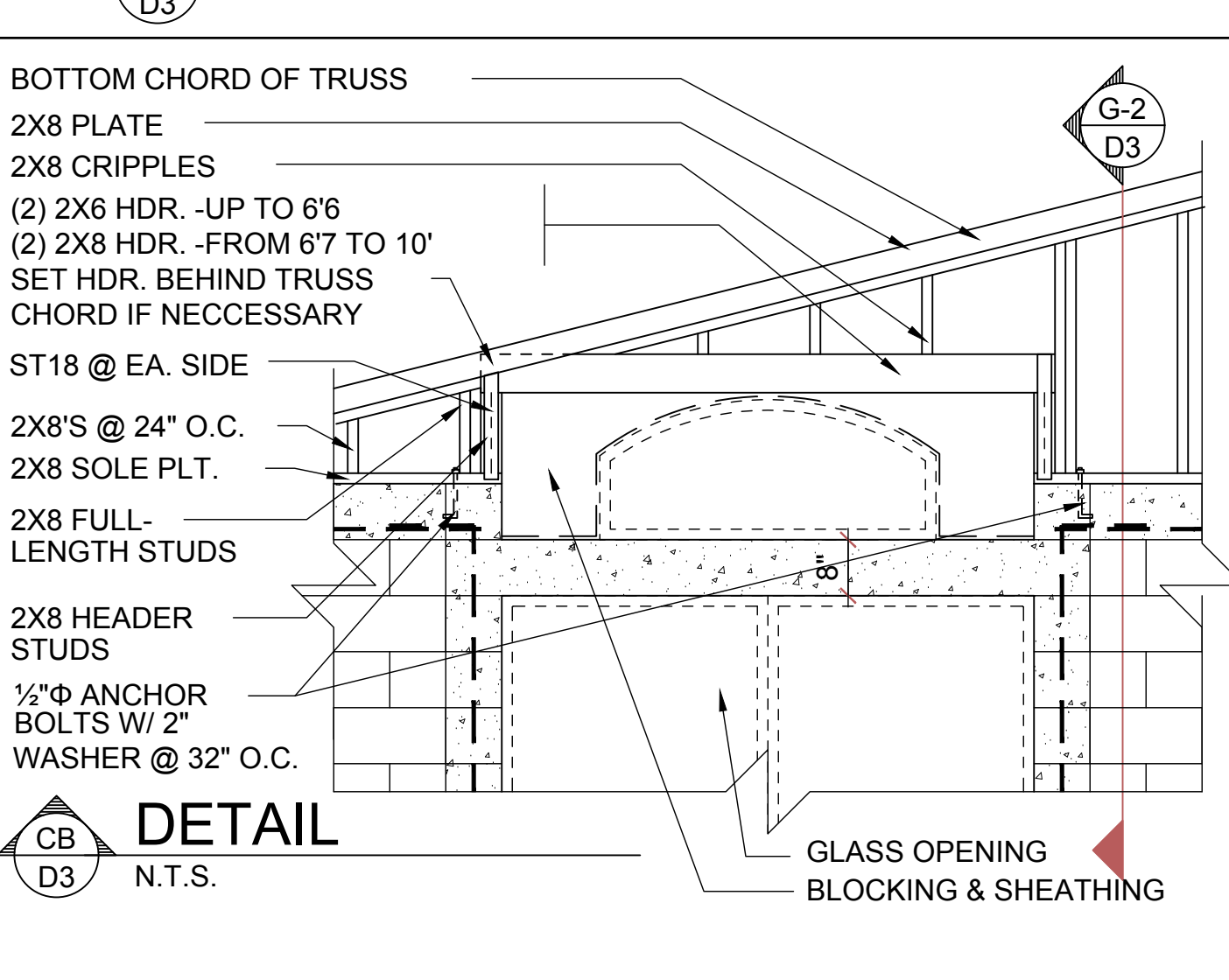
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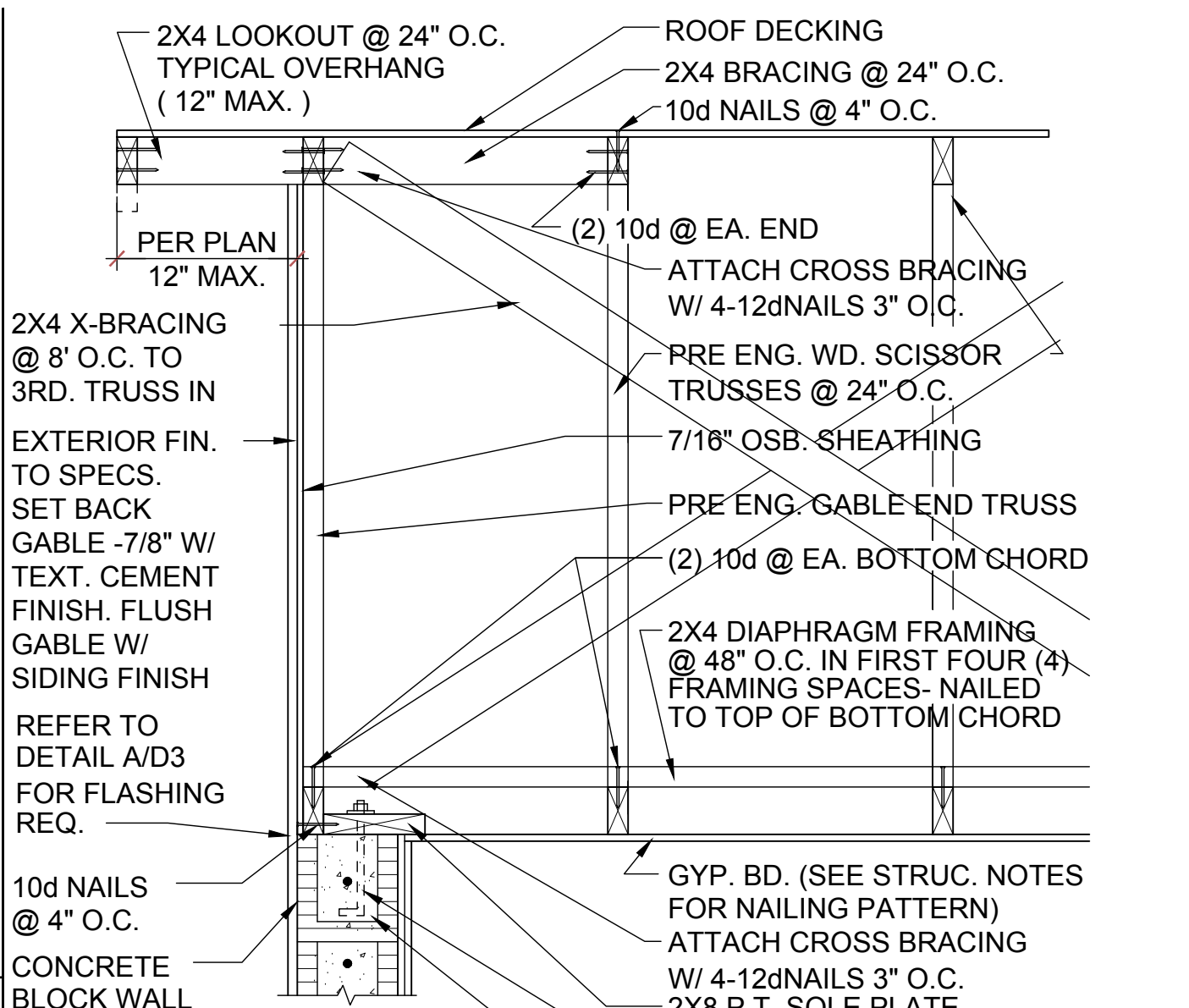
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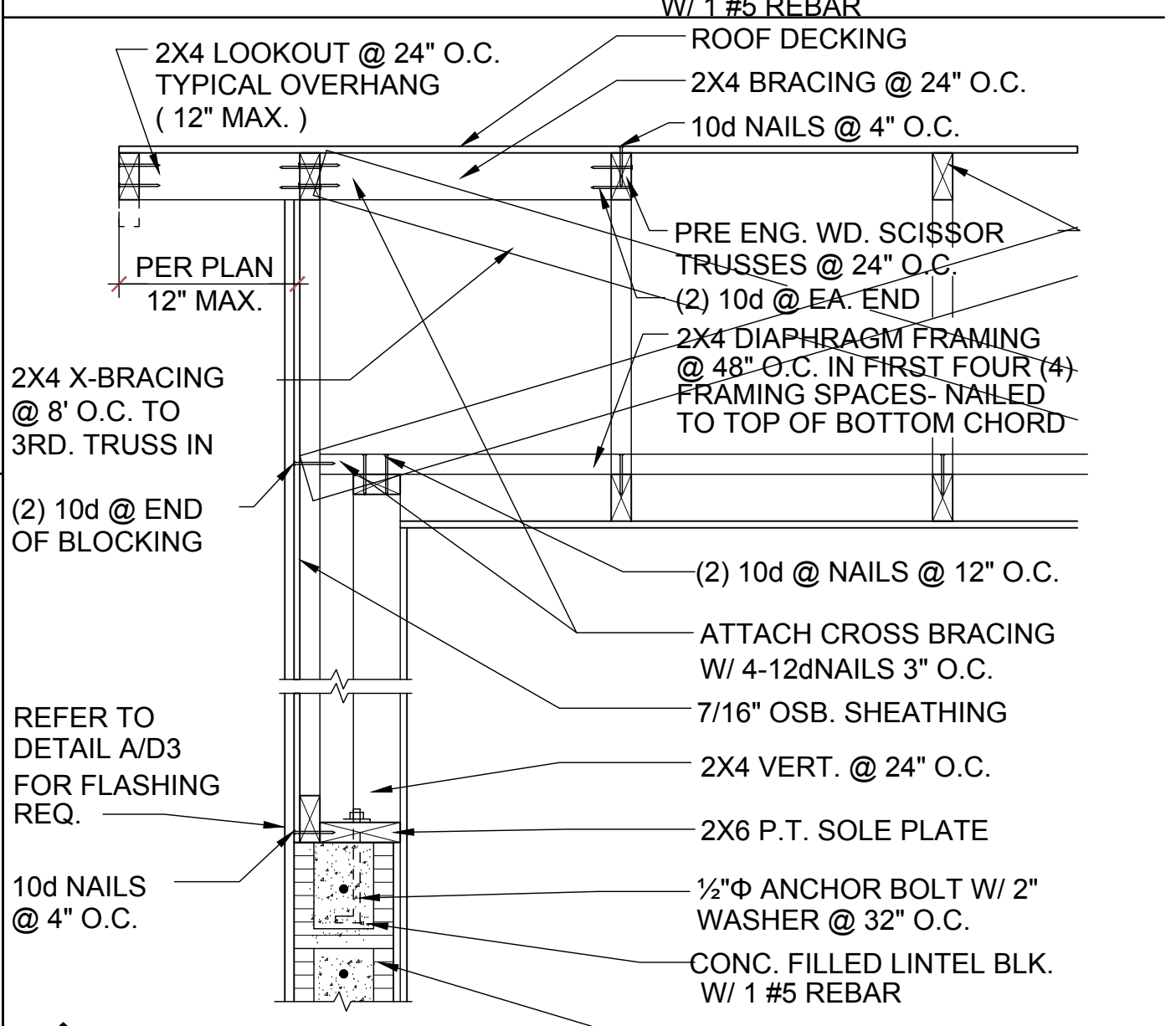
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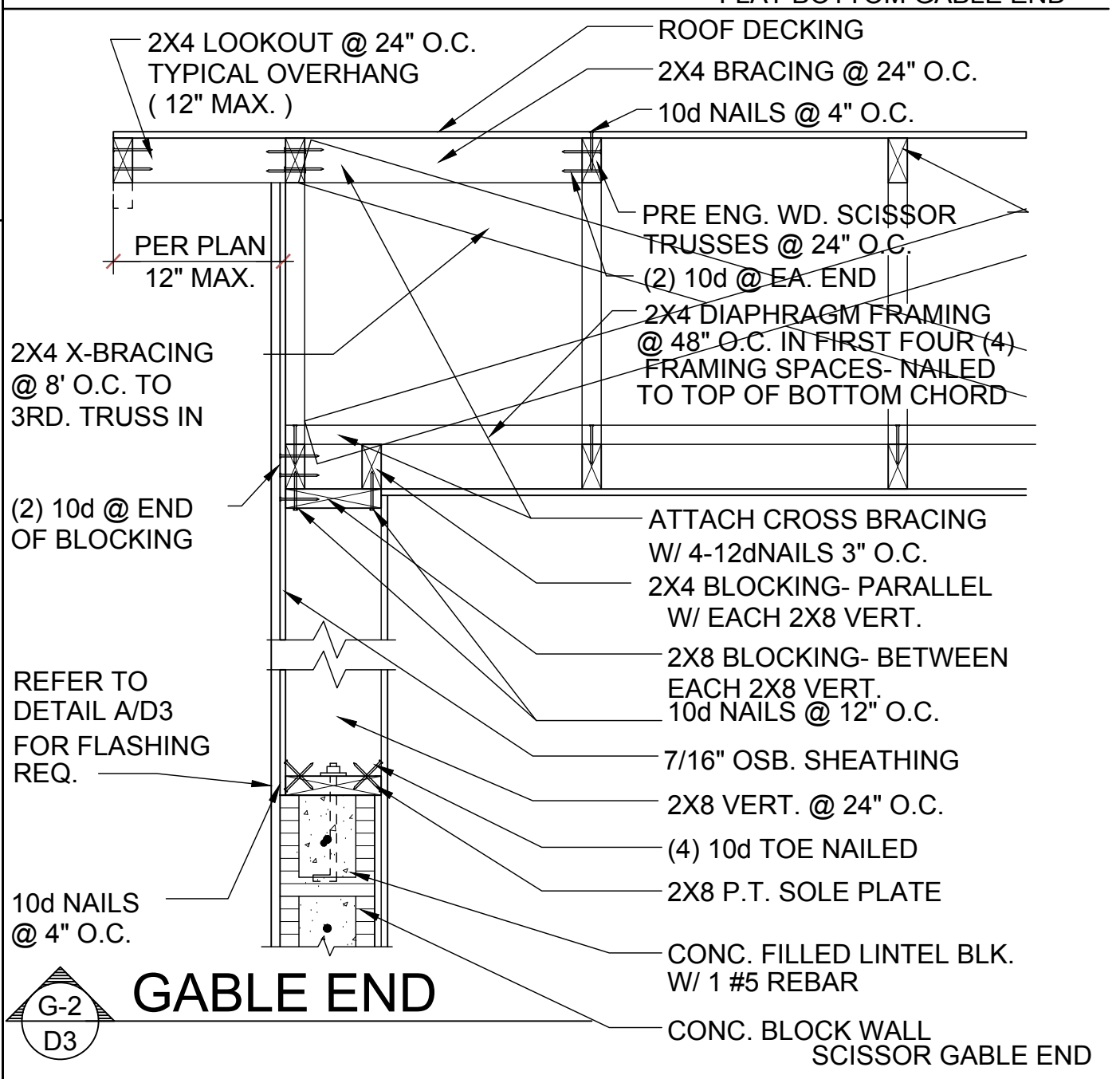
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GABLE END



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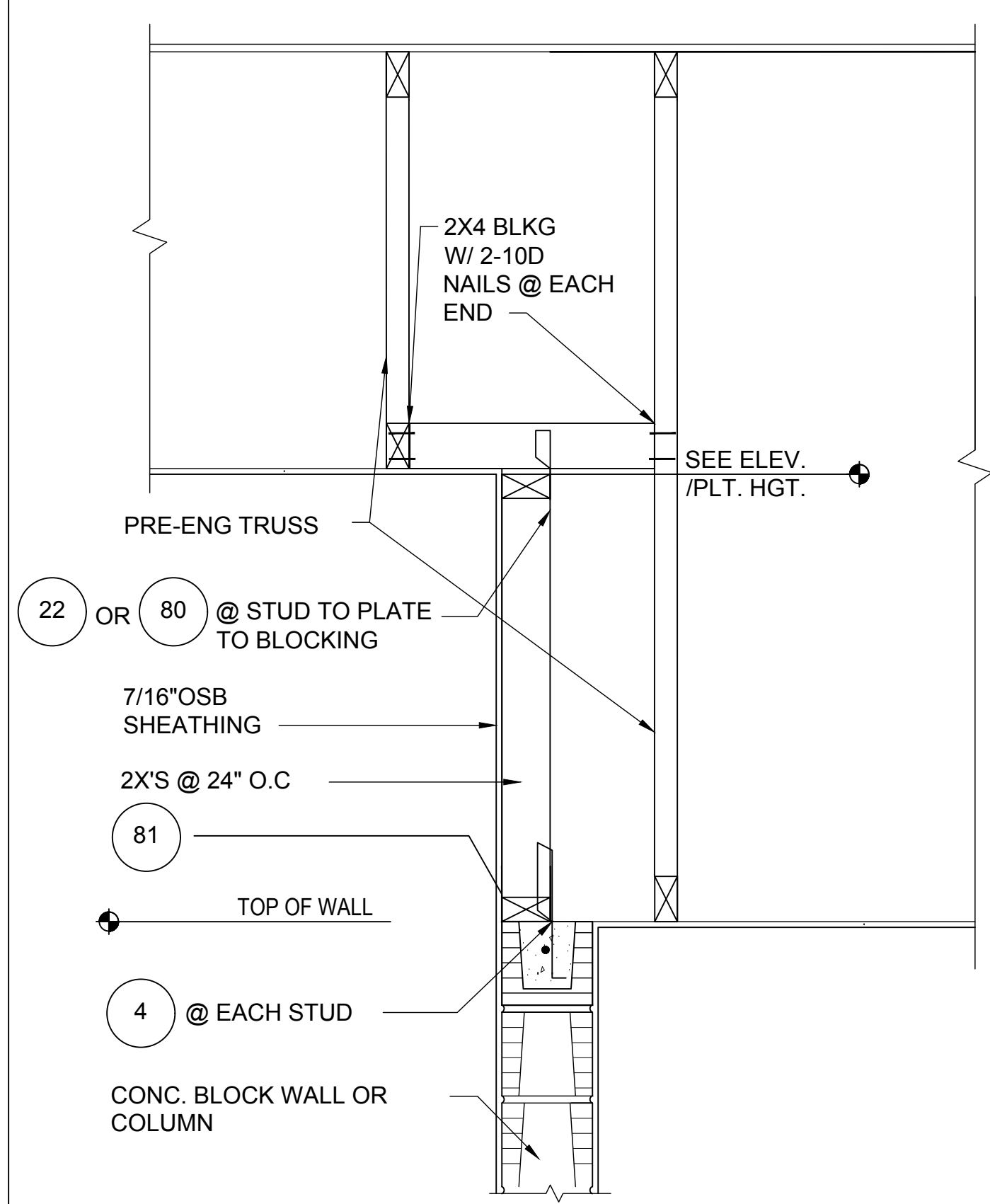
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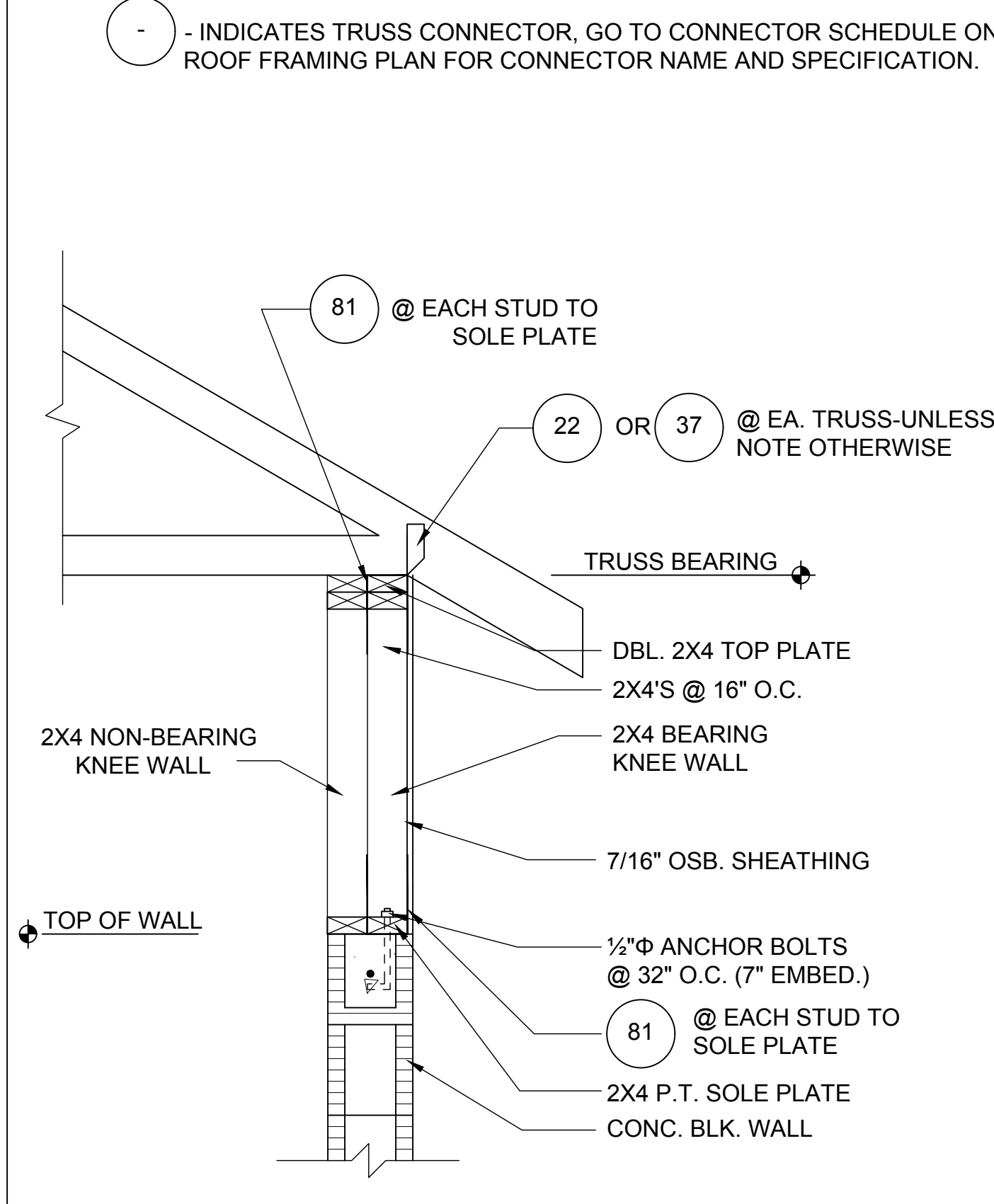
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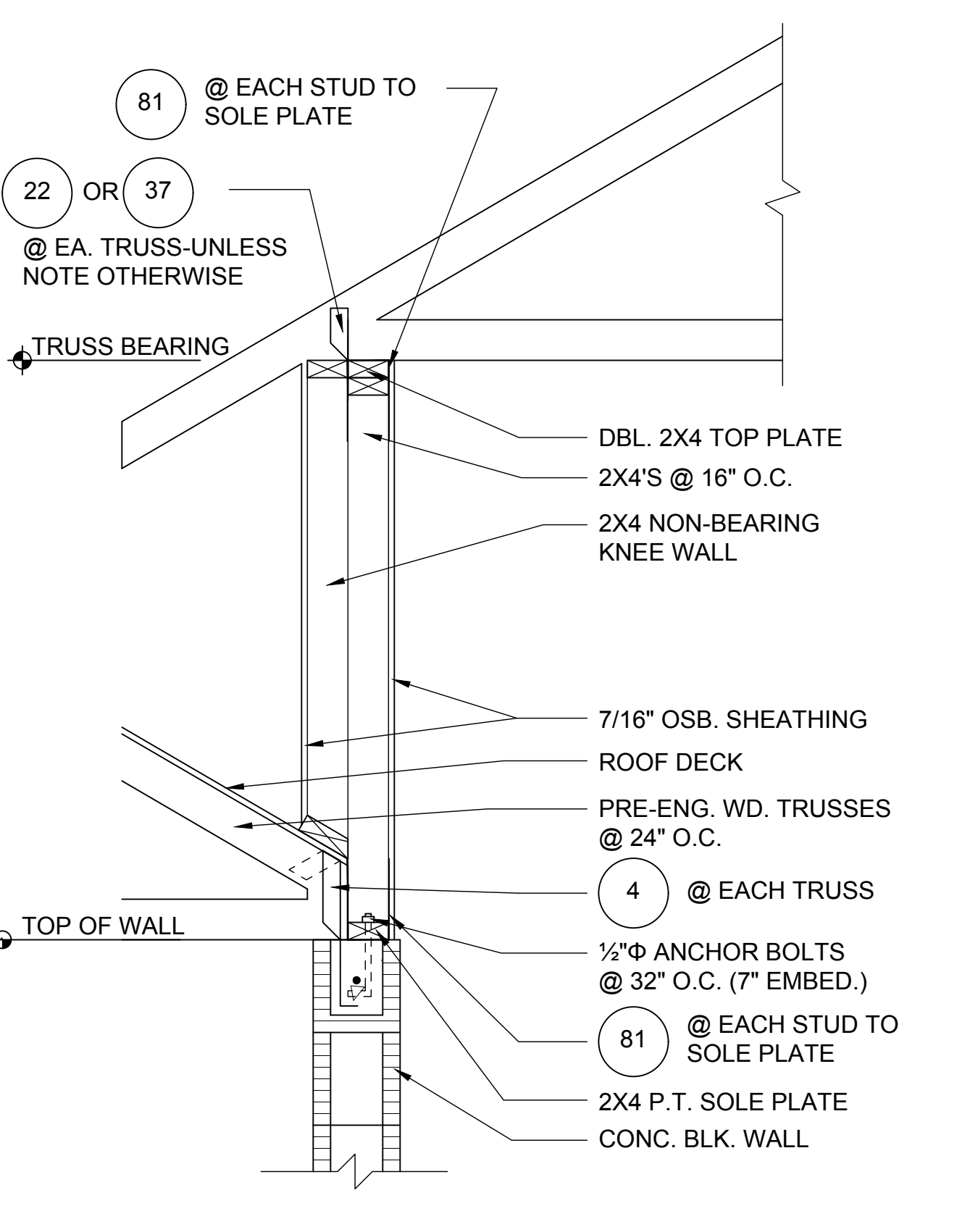
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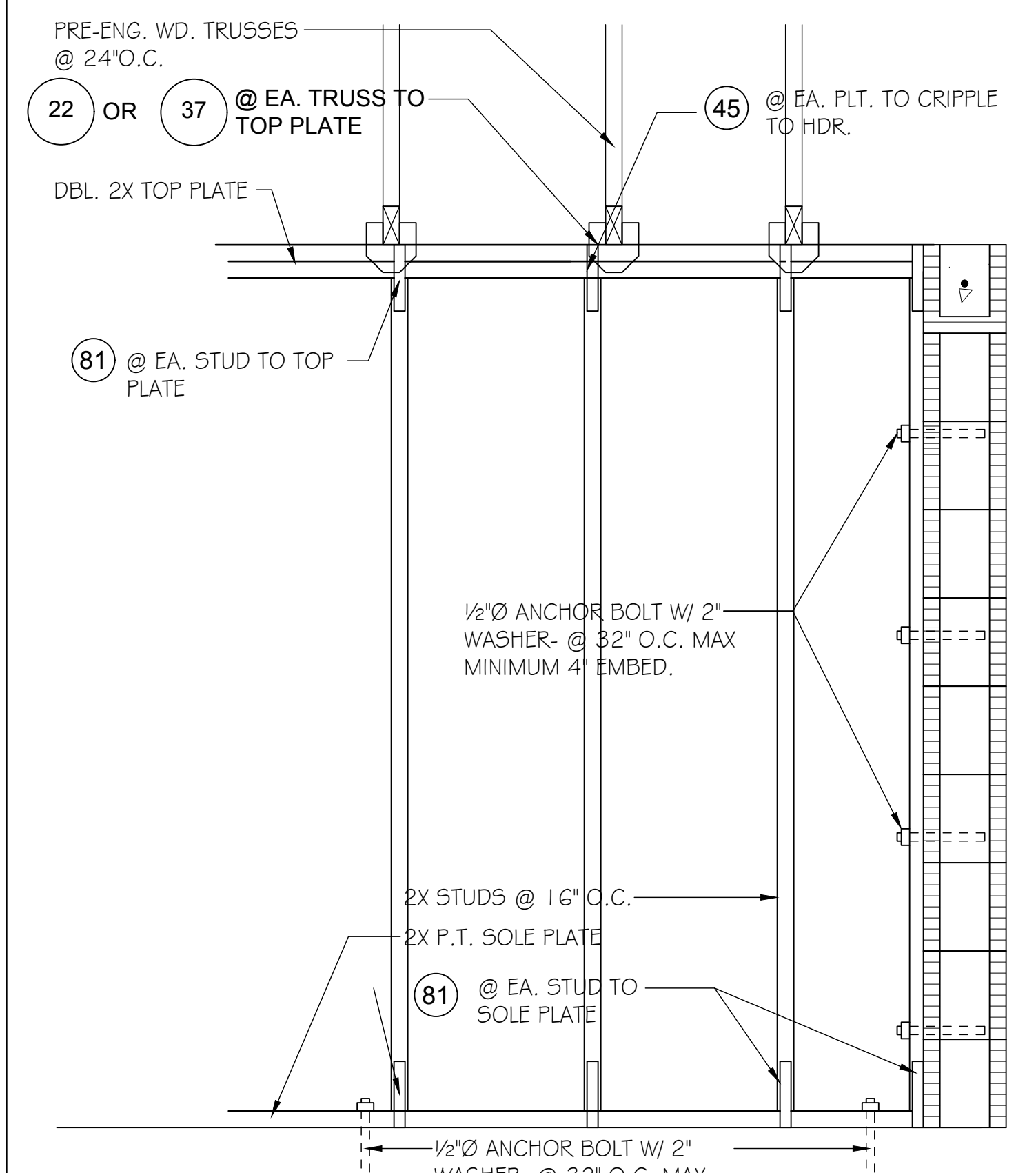
1
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



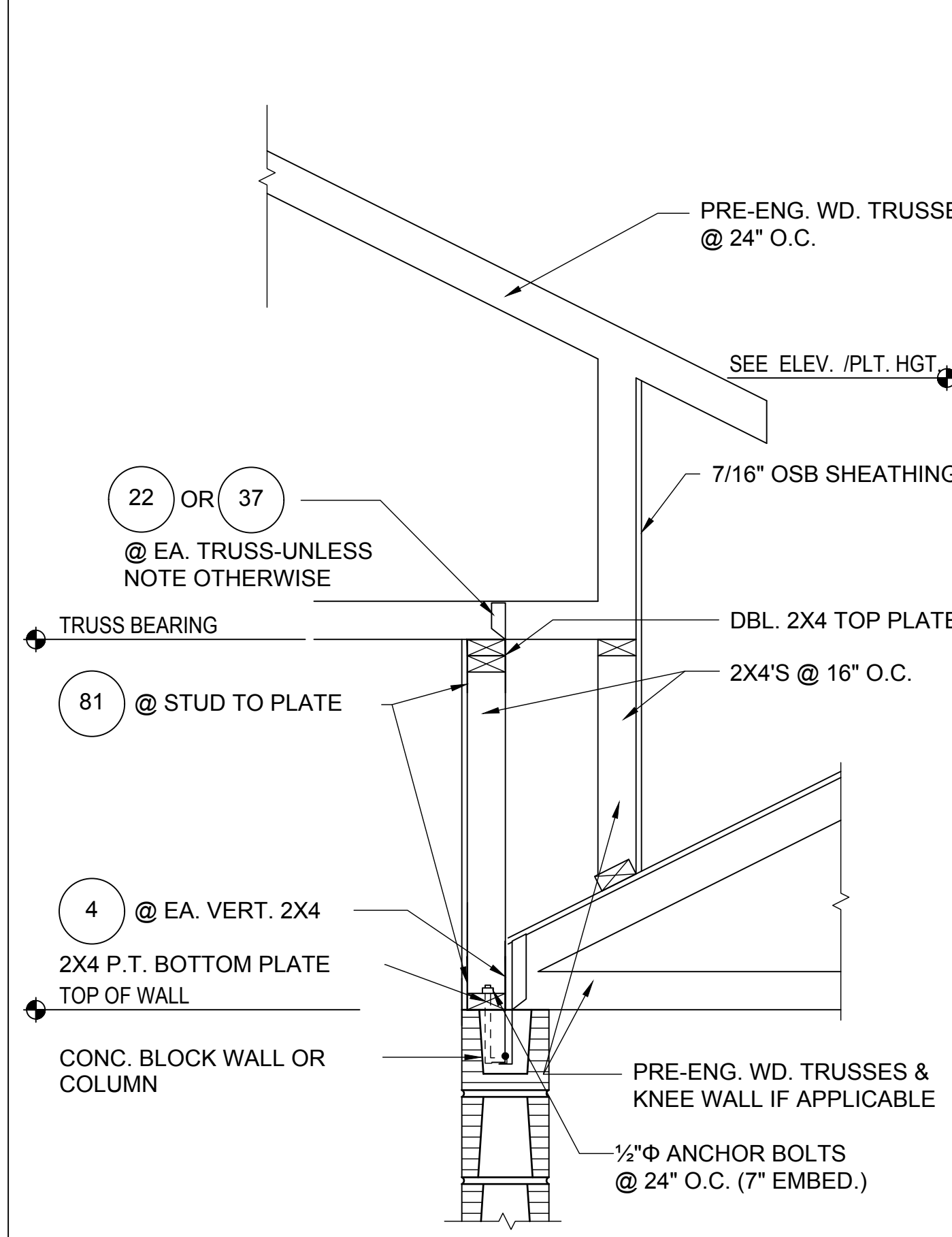
2
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



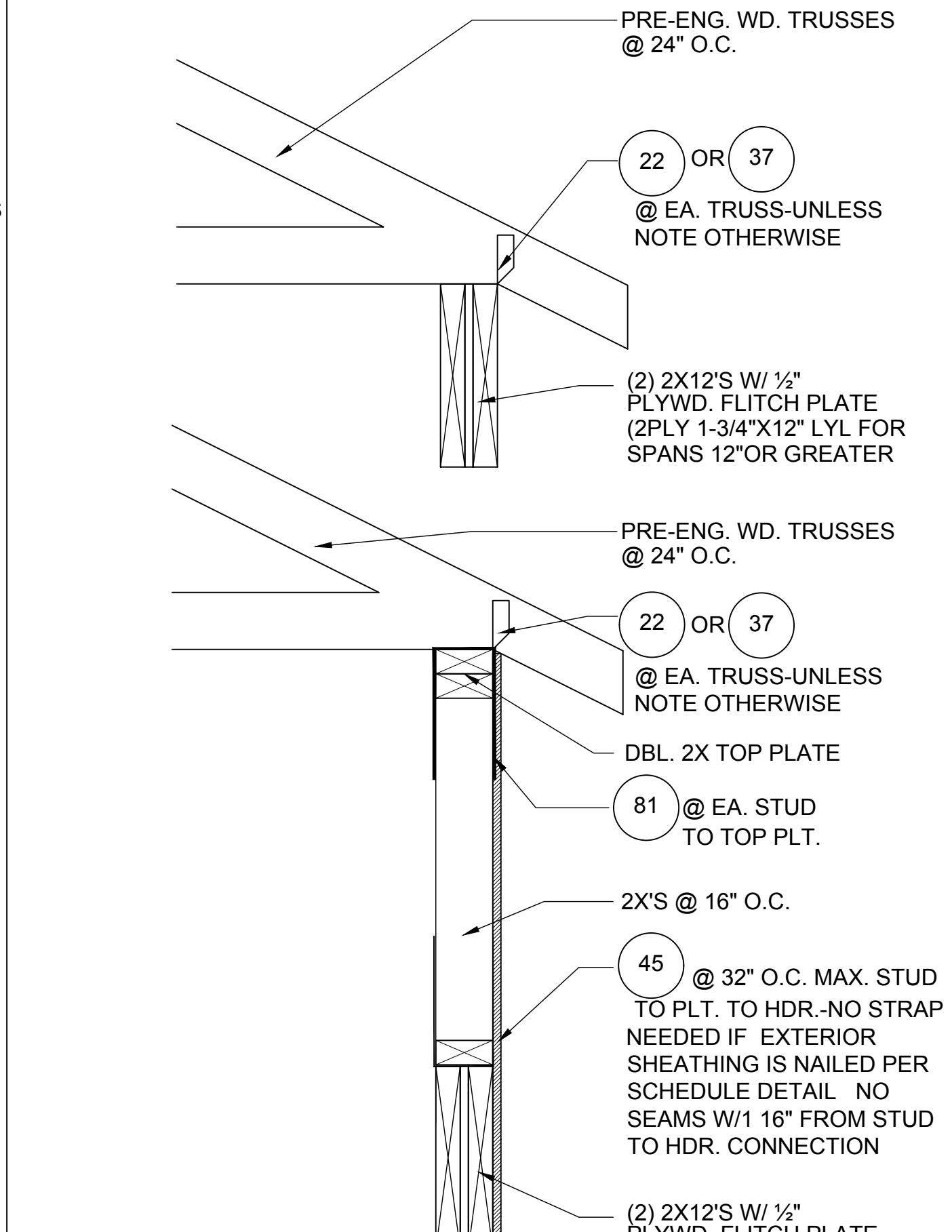
3
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



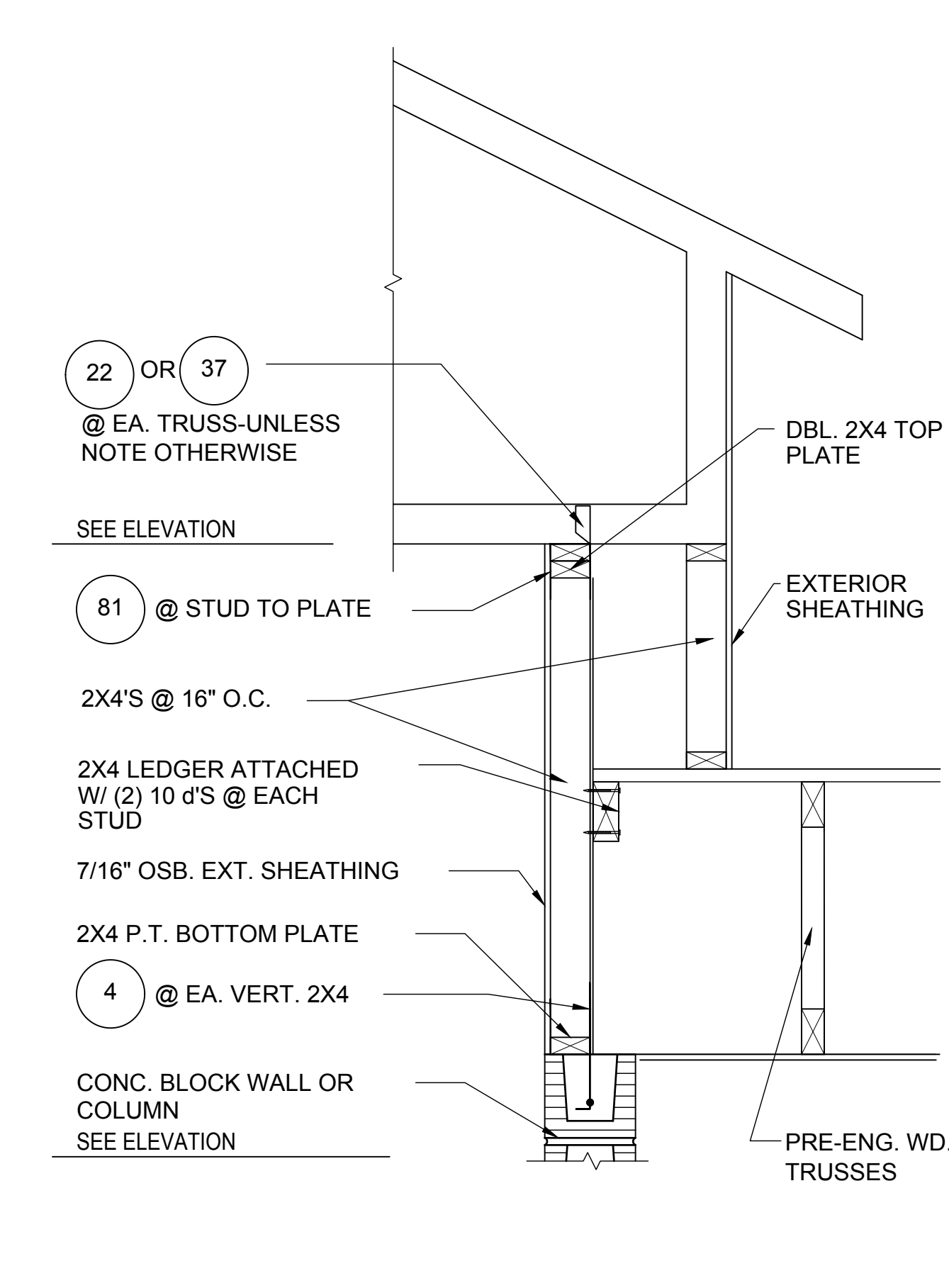
7
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)
(BEARING WALL W/ UPLIFT)



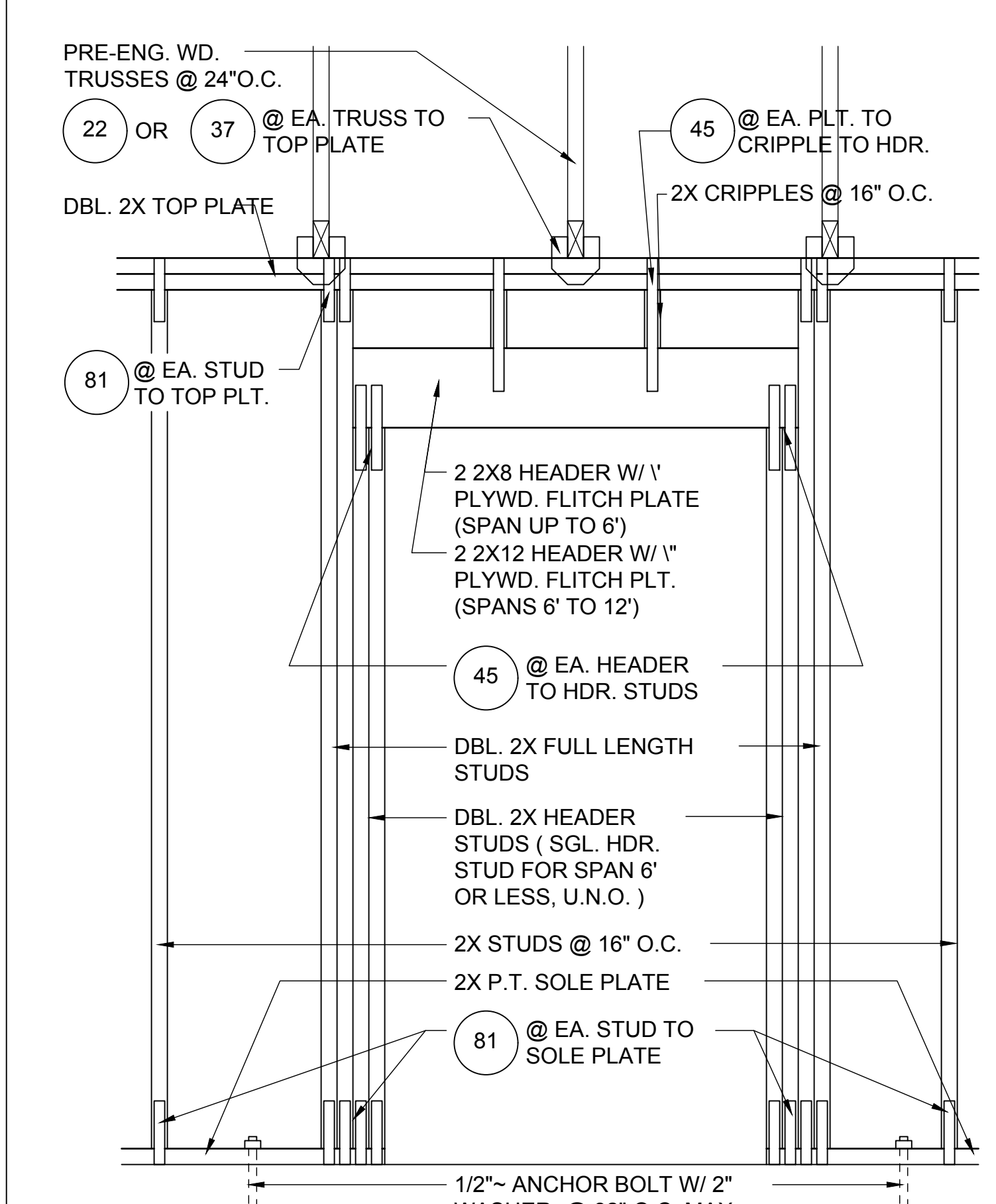
4
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



5
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



6
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



8
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)
(BEARING WALL W/ UPLIFT)

HITEG
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The Hampton
Lot #X- Subdivision
Street Address
City, State, Zip

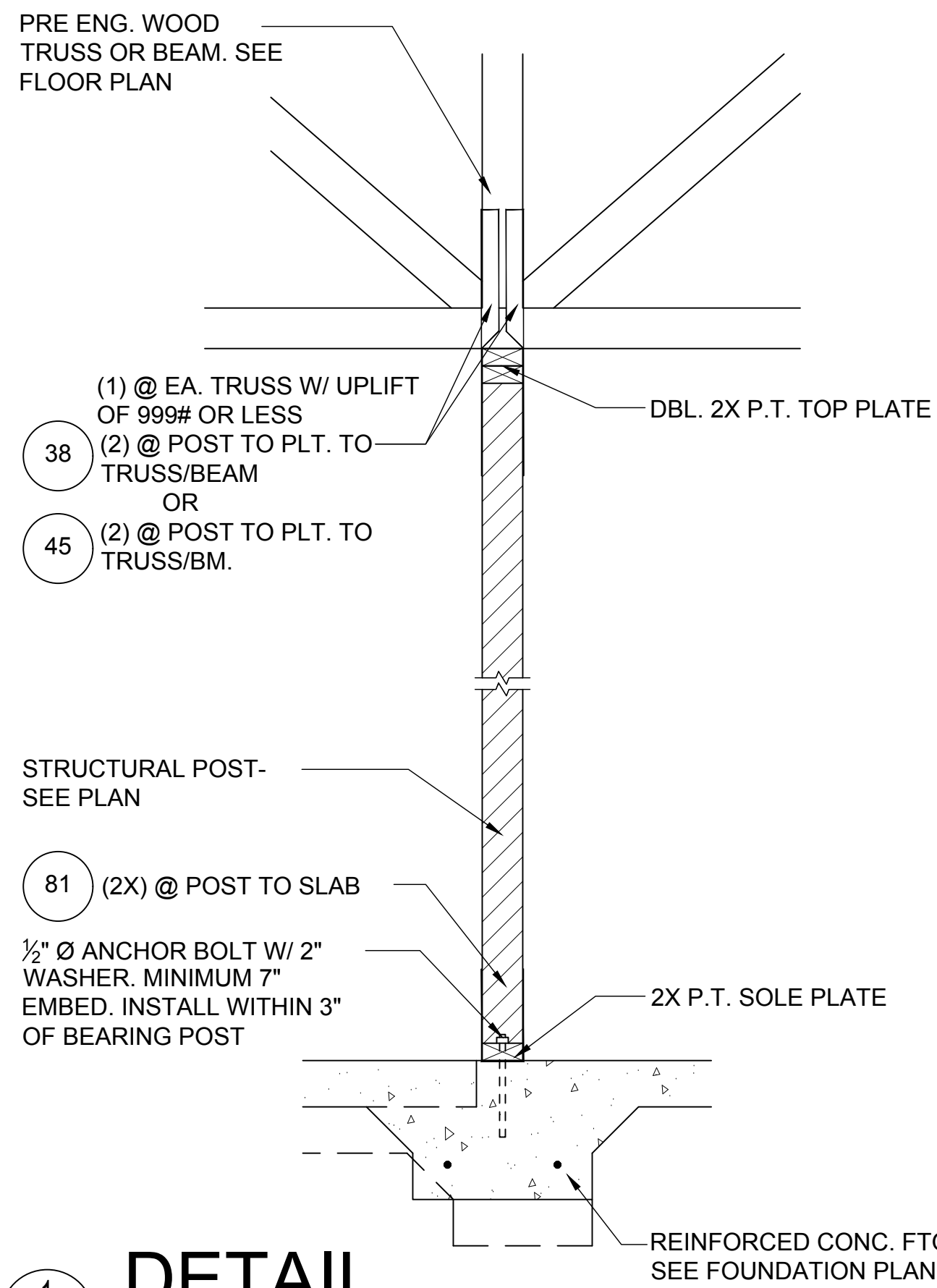
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5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

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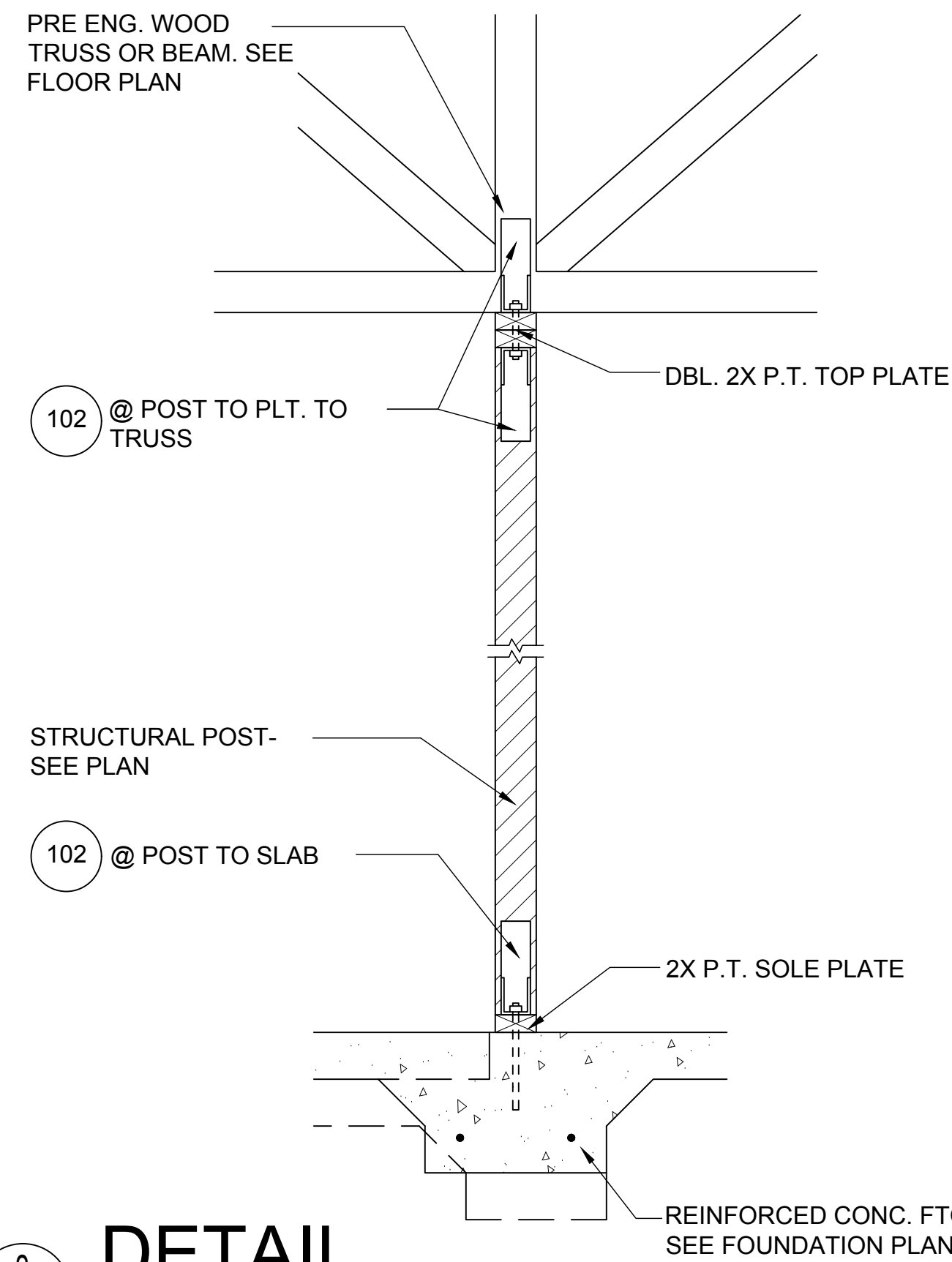
ISSUE DATE: 12/06/2022
REVISIONS:
PROJECT: 22-1082
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

STRUCTURAL
D4

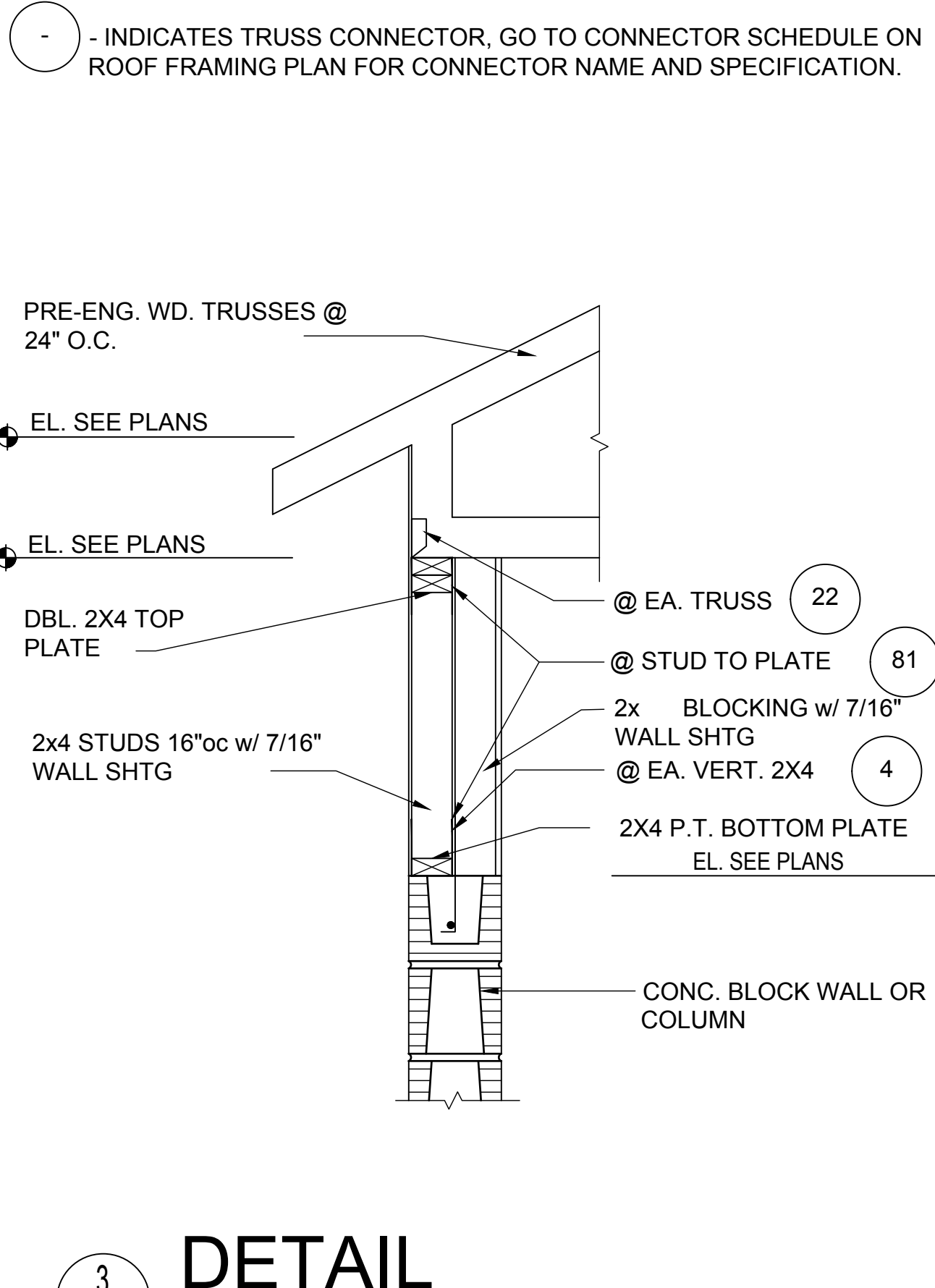
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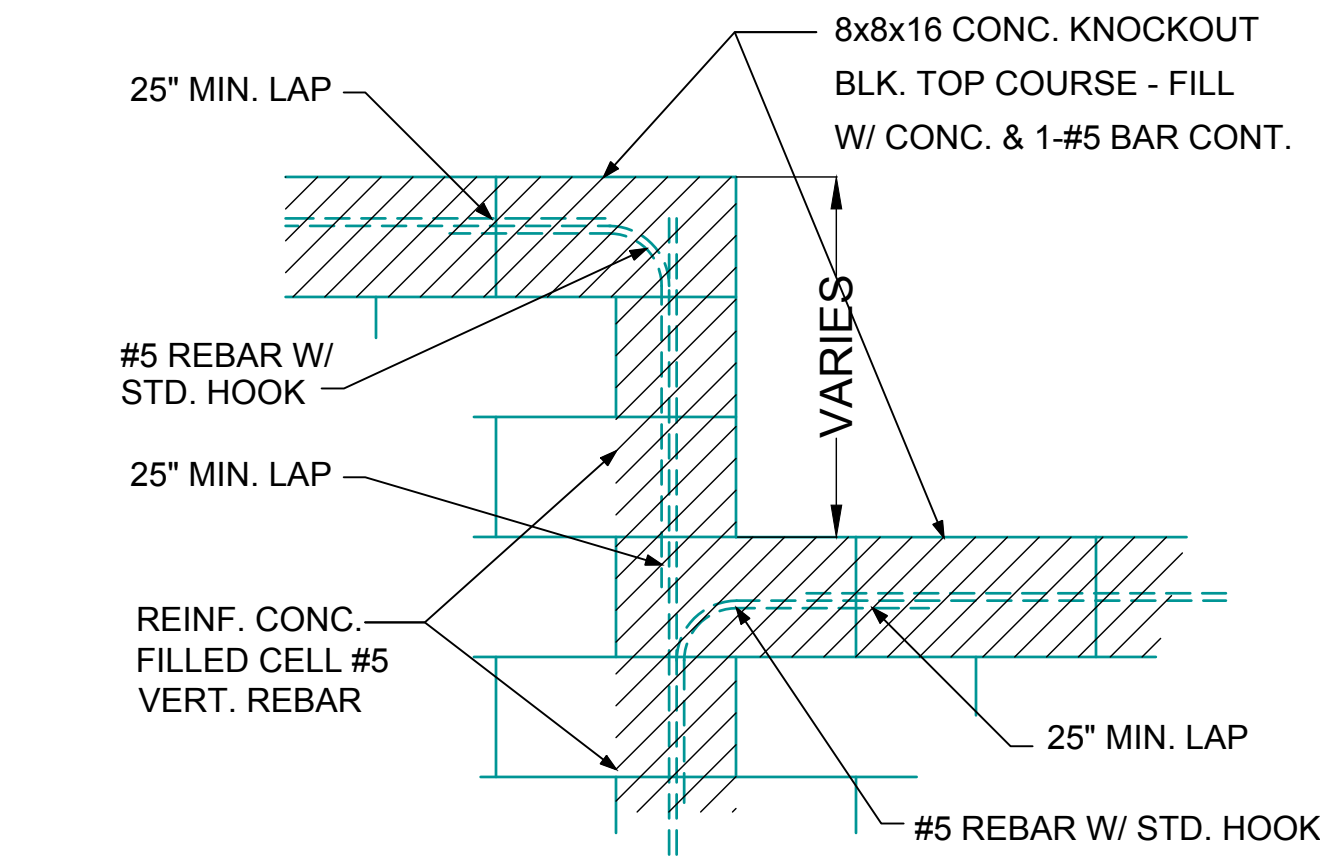
1 **DETAIL**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34) (BEARING POST W/ UPLIFT)



2 **DETAIL**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



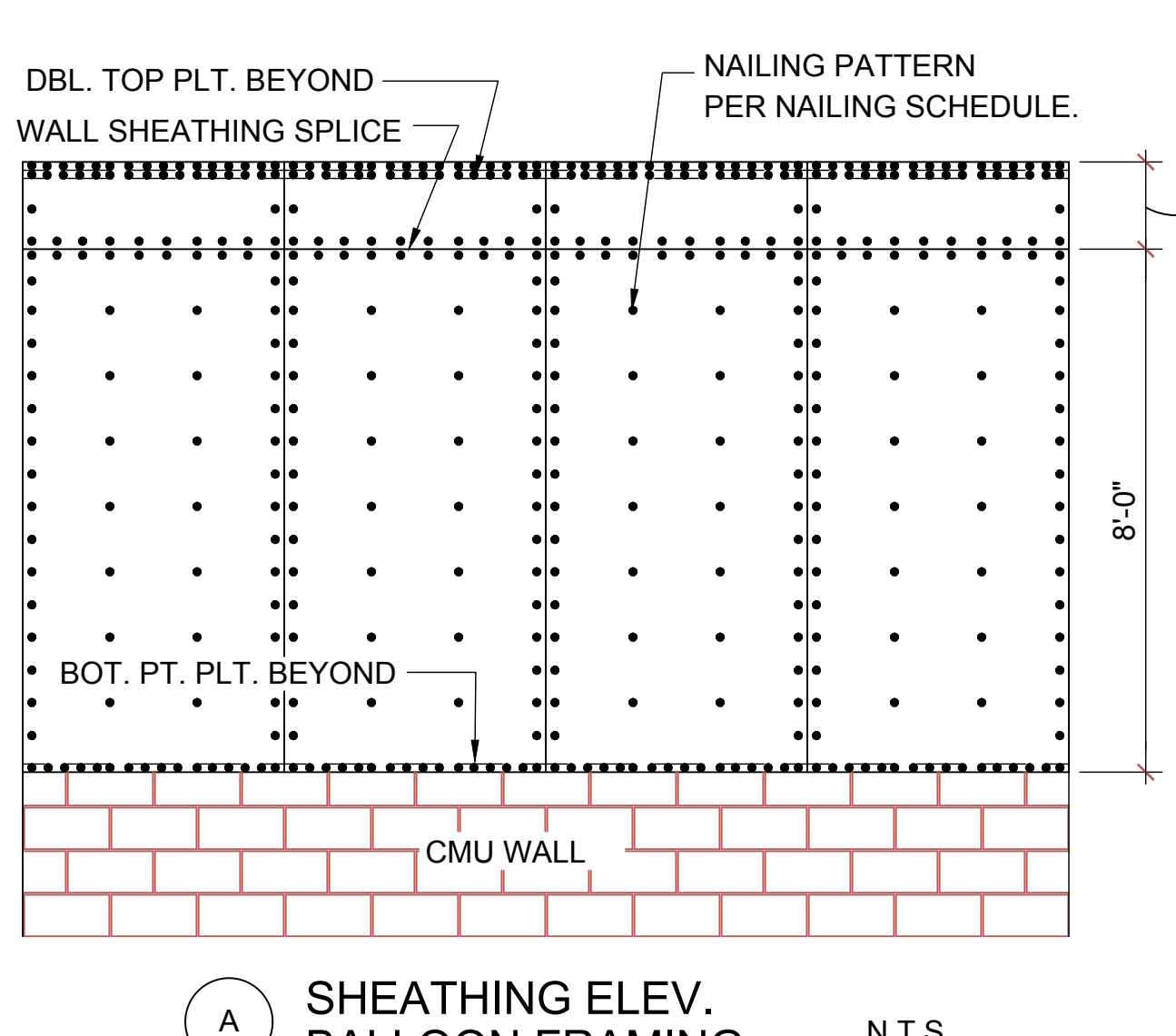
3 **DETAIL**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



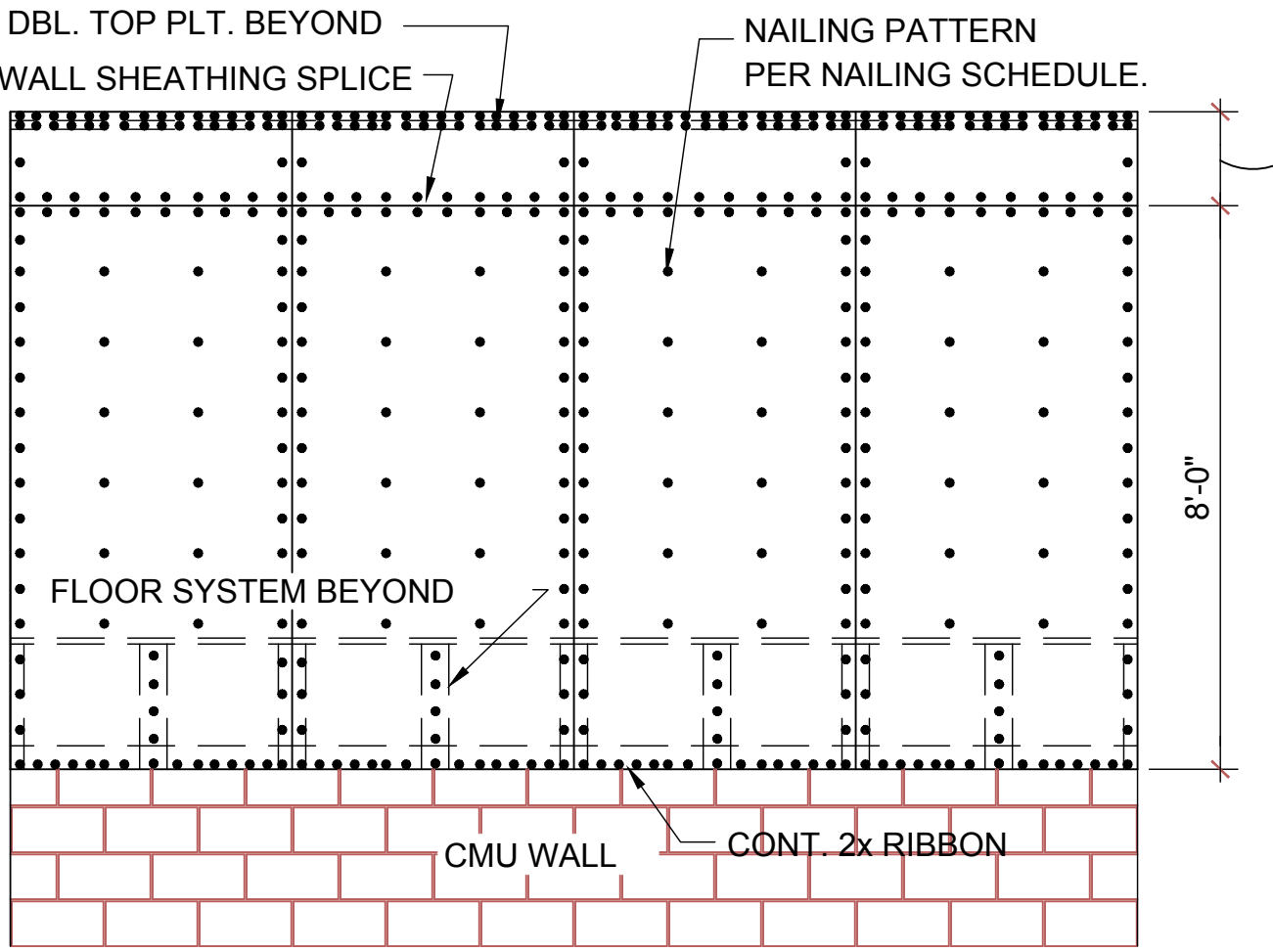
4 **DETAIL**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

NOTE:
 1/2" PLYWOOD OR 7/16" O.S.B. TO BE USED AS UPLIFT RESISTANCE NO OTHER FASTENERS REQ'D. EXCEPT AS NOTED ON PLANS IN TWO STORY FRAME APPLICATIONS, SHEATHING SHALL EXTEND MIN. 1'-0" W/O BREAK ABV. 2nd FLOOR BOTTOM PLT. TO T.O.M.

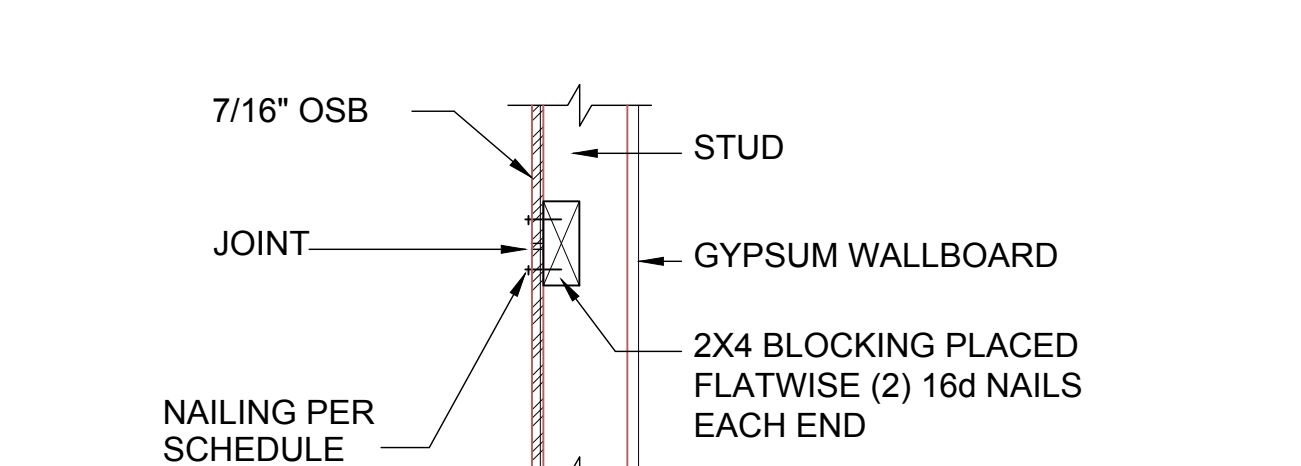
NAILING SCHEDULE:
 (2) ROWS @ 3" O.C. AT TOP AND (1) ROW AT BOTTOM OF WALL, 6" O.C. ALL OTHER EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.



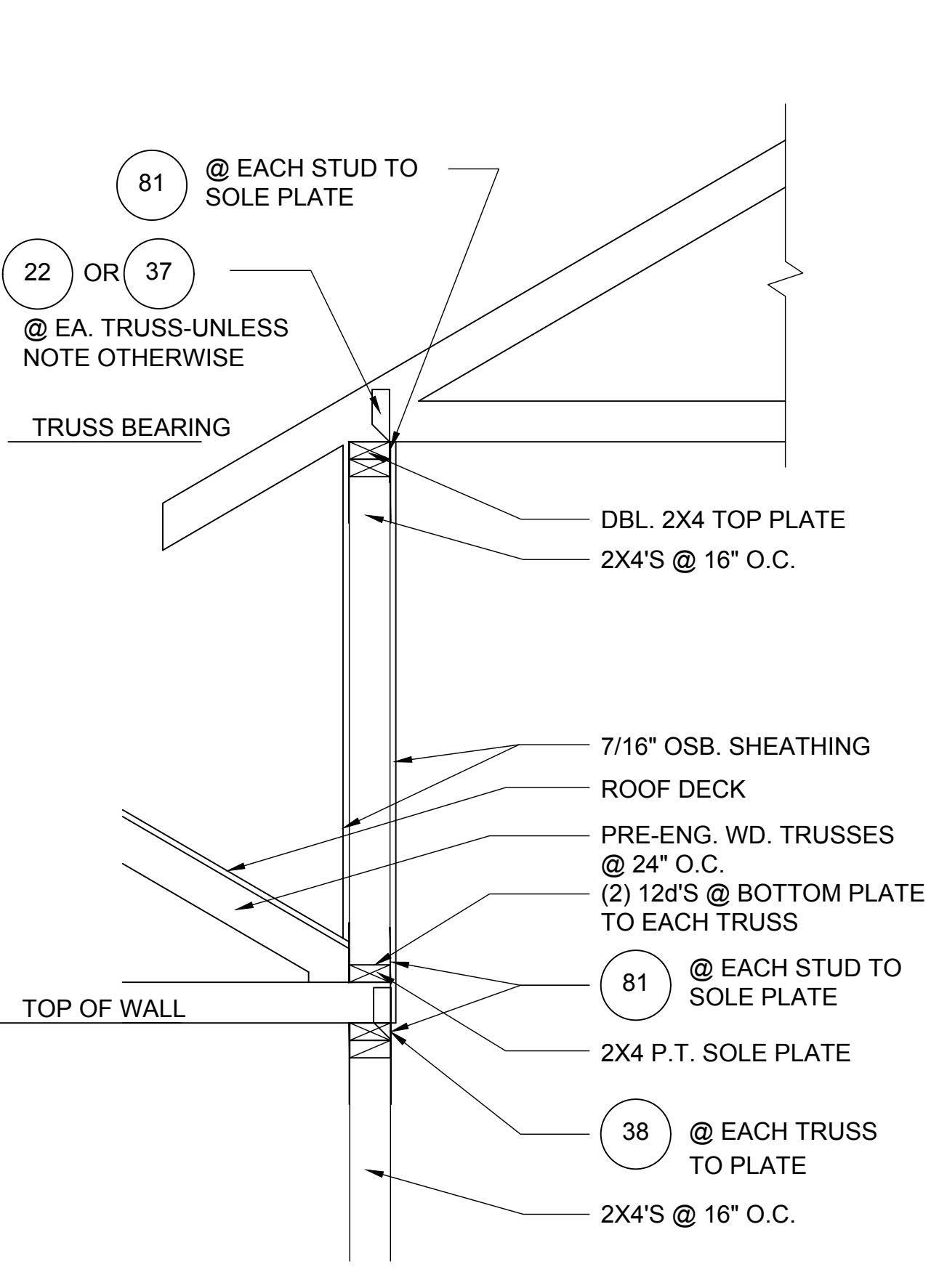
7 **SHEATHING UPLIFT DETAILS**
 D5



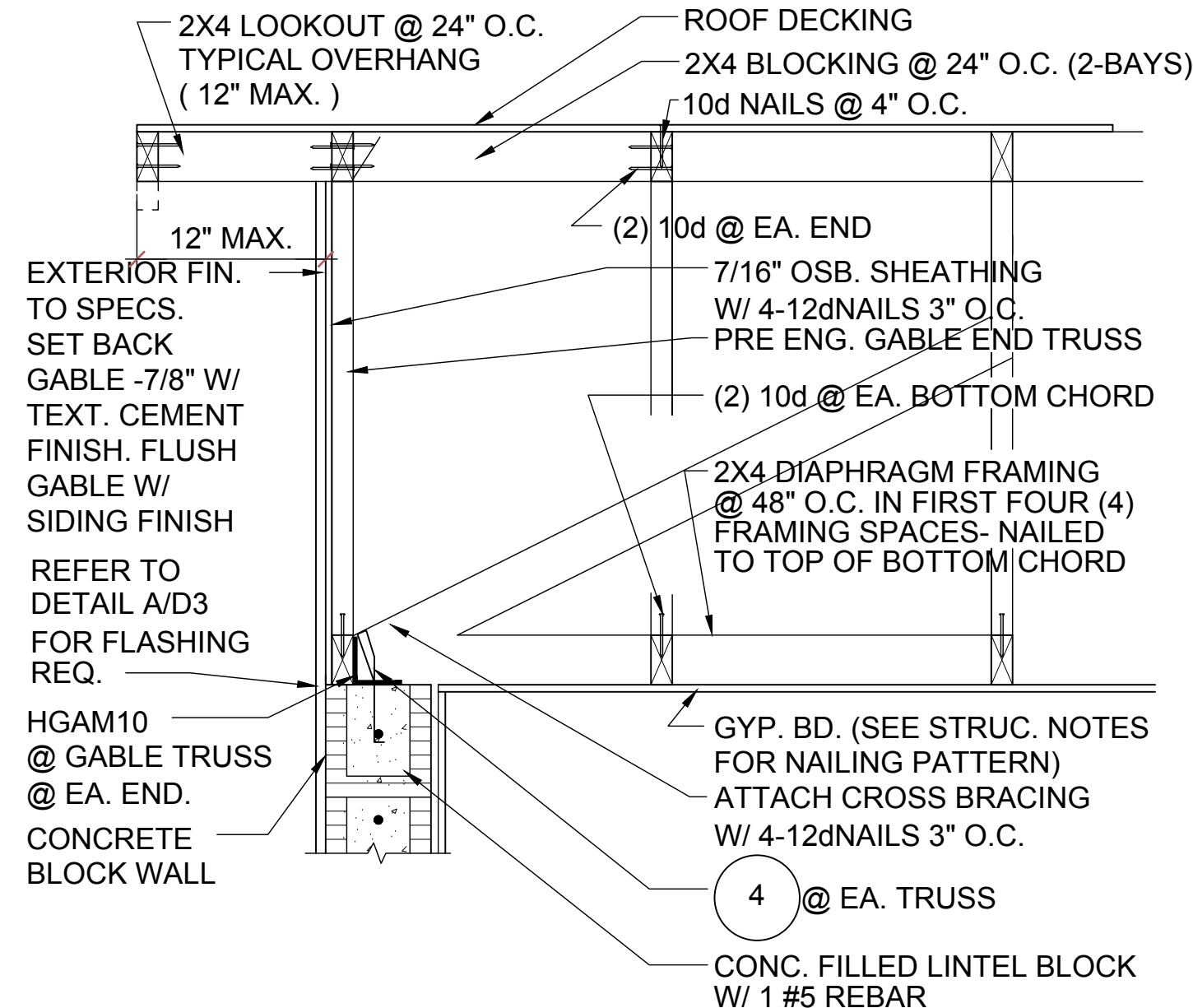
B **SHEATHING ELEV. 2-STORY FRAMING** N.T.S.



C **SHEATHING BLOCKING @ HORIZONTAL JOINTS** N.T.S.

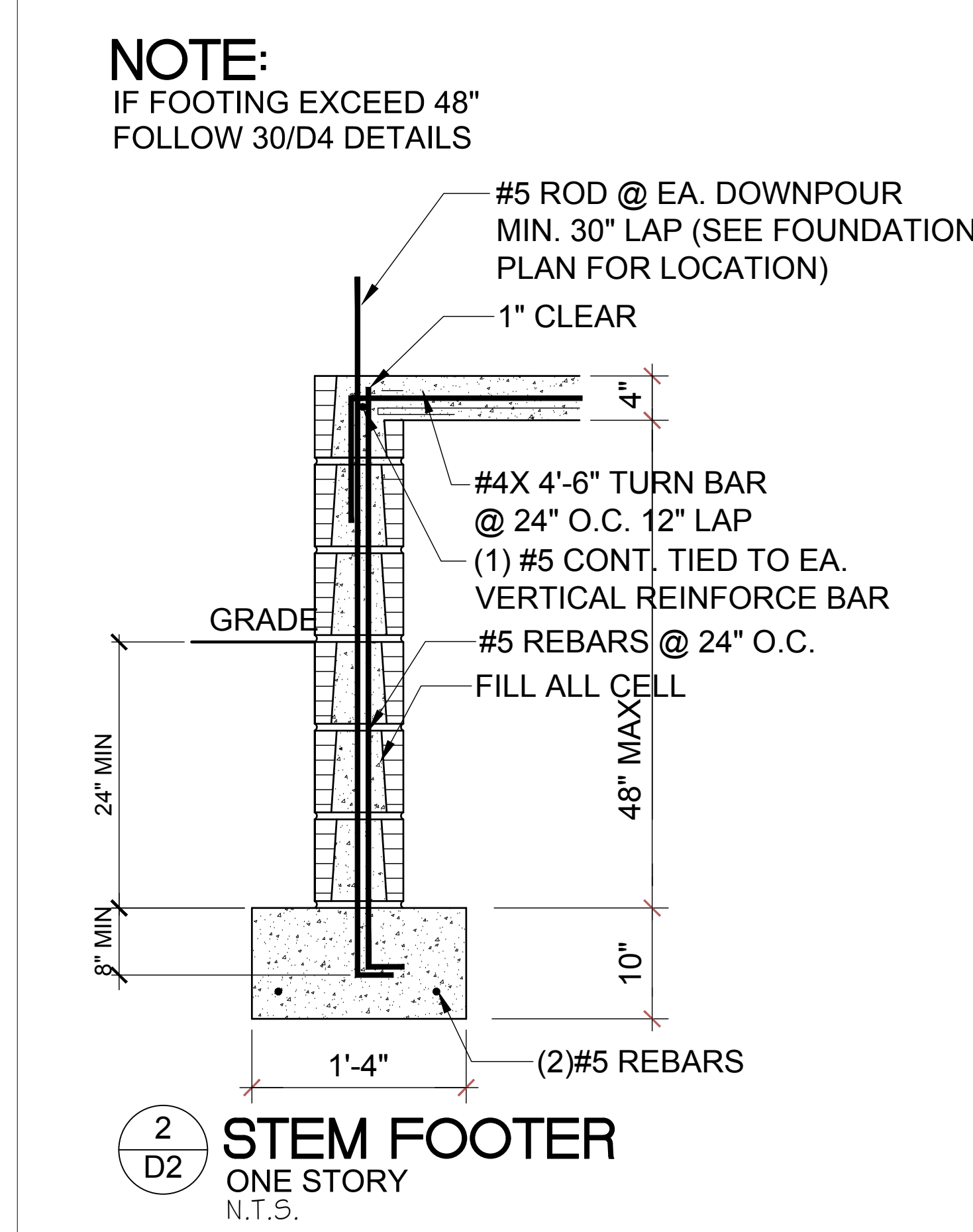
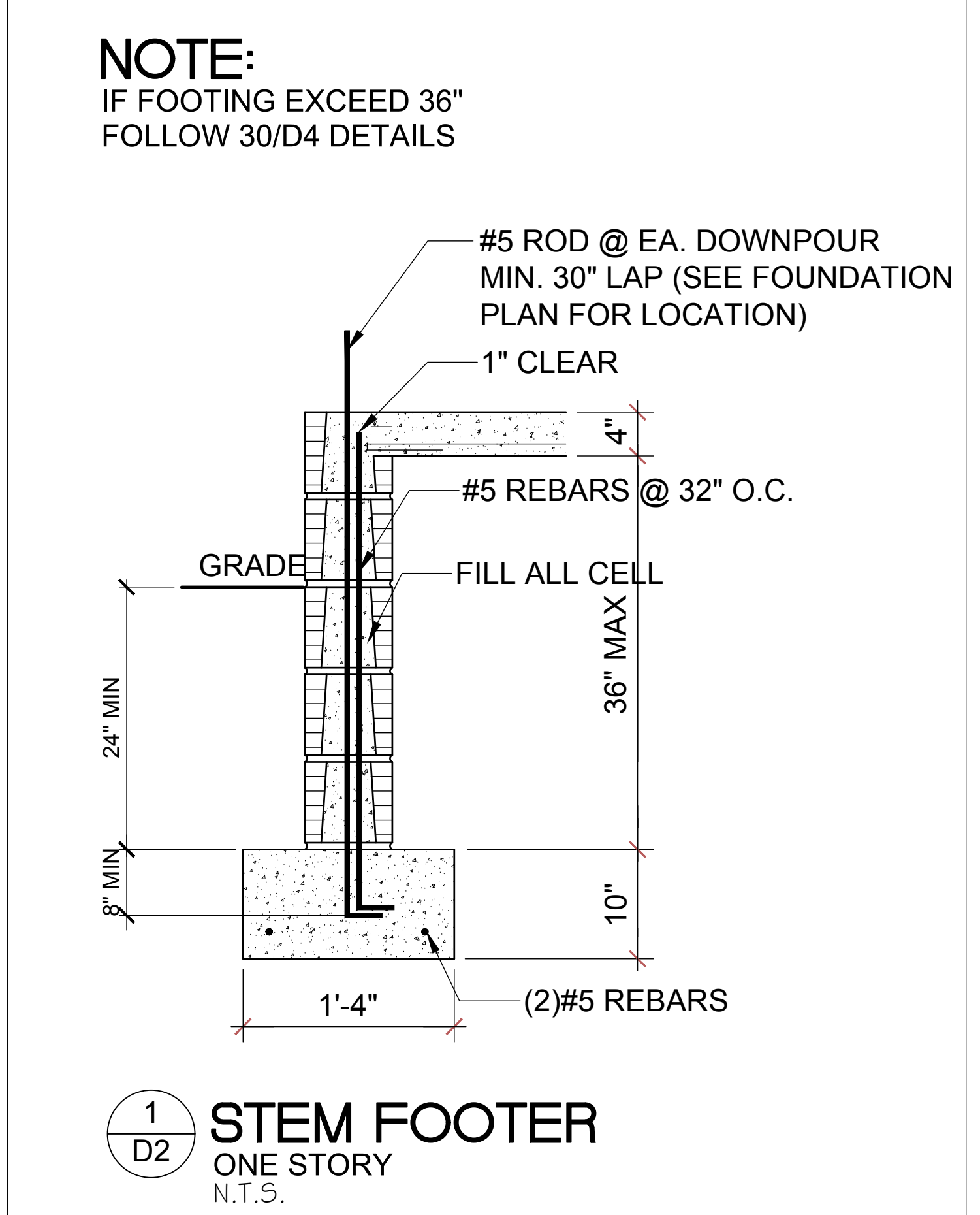
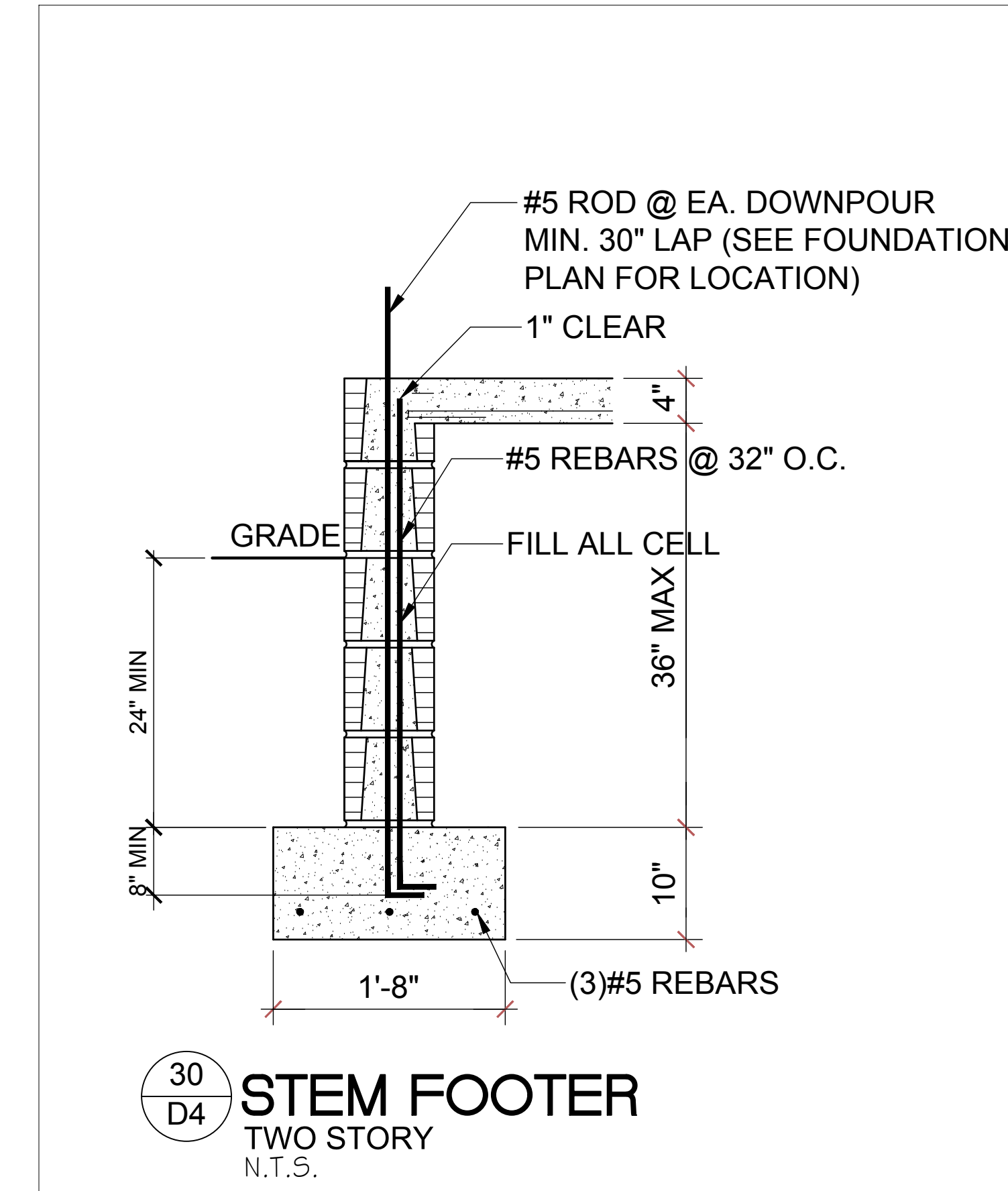
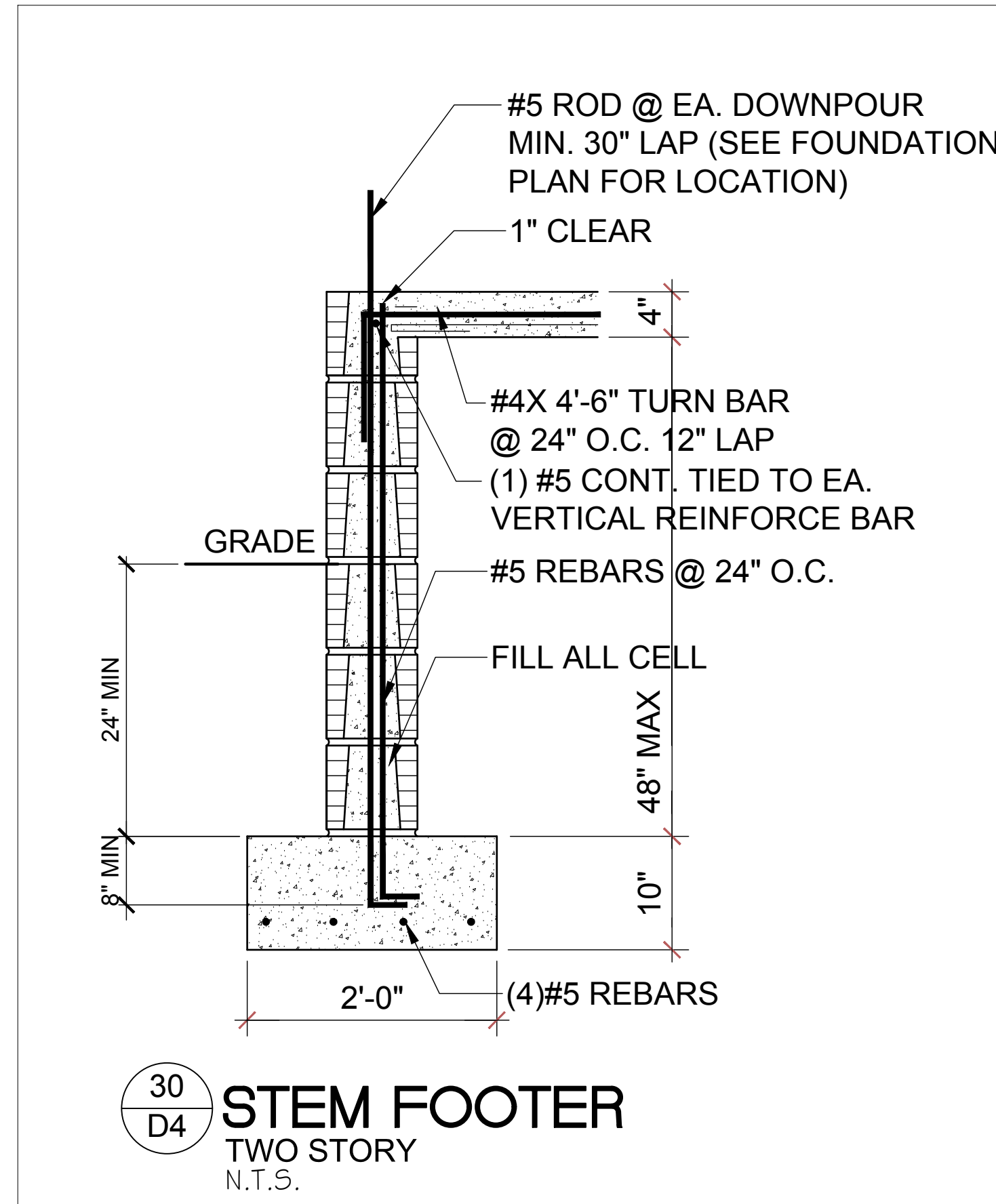
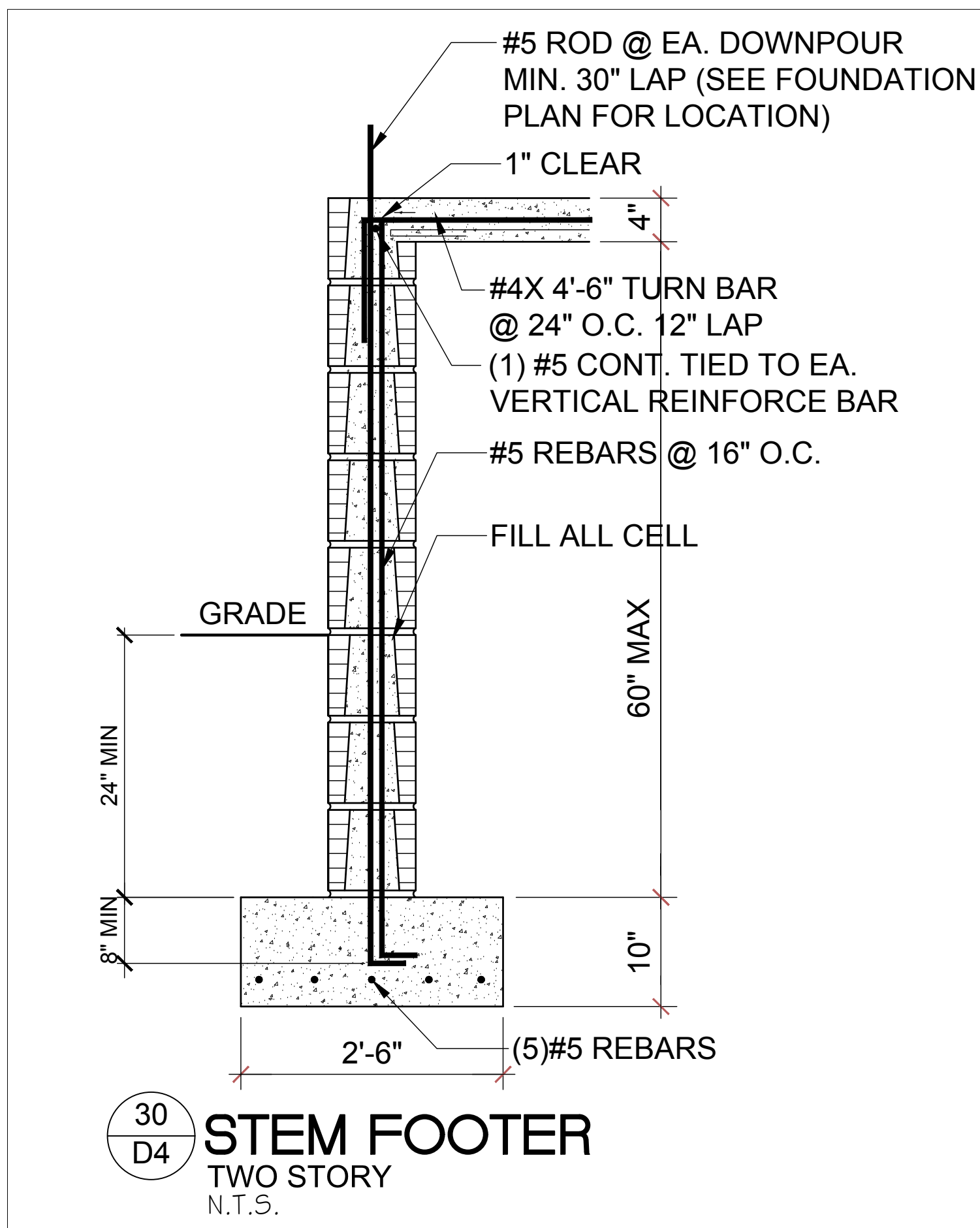


6 **DETAIL**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



G-5 **GABLE END**
 D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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NOTE:
FOR STEM WALLS LESS THAT 36"
SEE STANDARD FOUNDATION
DETAILS SHEETS

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