

THRIVE SERIES "DREAM"

40-2210 MODEL

PAD SIZE 40'-0" x 42'-0"



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A3.C3	FRONT & REAR ELEVATIONS - ELEV. "C" (OPT. LOFT & LANAI)	D4	STRUCTURAL DETAILS	
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A4.A1	LEFT & RIGHT ELEVATIONS - ELEV. "A" (OPT. LANAI)	D6	STRUCTURAL DETAILS	
A4.B	LEFT & RIGHT ELEVATIONS - ELEV. "B"	D7	STRUCTURAL DETAILS	
A4.B1	LEFT & RIGHT ELEVATIONS - ELEV. "B" (OPT. LANAI)	D8	STRUCTURAL DETAILS	
A4.C	LEFT & RIGHT ELEVATIONS - ELEV. "C"			

DISTRIBUTED LIVE LOAD

(IN POUNDS PER SQ. FT.)

UNINHABITABLE ATTICS WITHOUT STORAGE
UNINHABITABLE ATTICS WITH LIMITED STORAGE
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS
BALCONIES (EXTERIOR) AND DECKS
FIRE ESCAPES

FIRE ESCAPES
GUARDS AND HANDRAILS
GUARD IN-FILL COMPONENTS
PASSENGER VEHICLE GARAGES
ROOMS OTHER THAN SLEEPING ROOMS
SLEEPING ROOMS

ANSI STANDARD FOR MEASURING HOUSES

THE ANSI STANDARD FOR MEASURING HOUSES:
NATIONAL STANDARD Z765-1996 NEW CONSTRUCTION THE ANSI
STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR
DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL
INTERIOR WALLS AND VOIDS. FOR ATTACHED UNITS, THE OUTSIDE
DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL
ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING. THE
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THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS SEPARATED INTO TWO

AIR-CONDITIONED SPACE
 NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES, BREEZEWAYS)

THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE

GENERAL CONTRACTOR:

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH SINGLE FAMILY HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.

REVIS	SION S	SCHEDULE:	
NO:	DATE:	DESCRIPTION:	BY:
1	07/07/20	ADDED (2) RECESSED CAN AND (1) VP CAN IN MASTER BATH	C.C.
2	07/07/20	CHANGED BATH# 2 FROM SHOWER TO TUB	C.C.
3	08/06/20	REVISED MASTER SHOWER FROM BI-PASS TO SWING DOOR	C.C.
4	08/06/20	REVISED TRUSSES TO NEW ENG. RECEIVED FROM TRUHOUSE	C.C.
5	08/06/20	REVISED MODEL PER FRAME WALK REVISIONS	C.C.
6	09/23/20	REVISED ELEC. RISER DIAGRAM PER REVISIONS FROM MONICA W.	C.C.
7	12/21/20	ADDED RIGHT HAND GARAGE SWING	S.B.
8	01/07/21	REVISED PATIO TO 10'-0"X8"-0" ILO 10'-0"X3'-0"	S.B.
9	04/20/21	ADDED SECOND GFI TO GARAGE TO MEET CODE REQUIREMENTS	S.B.
10	04/28/21	UPDATED ELECTRICAL RISER DIAGRAM TO 200AMP	S.B.
11	06/29/21	ADDED OPTIONAL LANAI TO MASTER	S.B.
12	08/10/21	UPDATED TRUSS SHEETS SENT BY TEG REVISED PER MARKED UP ERRORS ON TRUSSES. PLANS INCOMPLETE WAITING ON REMAINING TRUSS LAYOUTS.	S.B.
13	11/24/21	REVISED SLIDING GLASS DOOR FROM 8080 TO 6080 PER MONICA W.	M.C.
14	02/04/22	ADDED ROOF VENT NOTES TO ELEVATIONS	M.C.
15	07/20/22	CHANGED LAUNDRY ROOM DOORS FROM BI-PASS TO BI-FOLD.	M.C.
16	05/08/23	CHANGED ALL BI-FOLD DOORS TO SWING DOORS AND SECONDARY CLOSET DOORS TO 20 BALL & CATCH DOORS. MOVED ISLAND 8" TOWARDS GREAT ROOM	C.C.

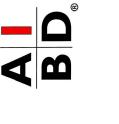


Ph: (407) 629-6711

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www.mjshomedesigns.c







"DREAM"

"DREAM"

40-2210

Lot # - Subdivision

Street Address

City, State. Zip

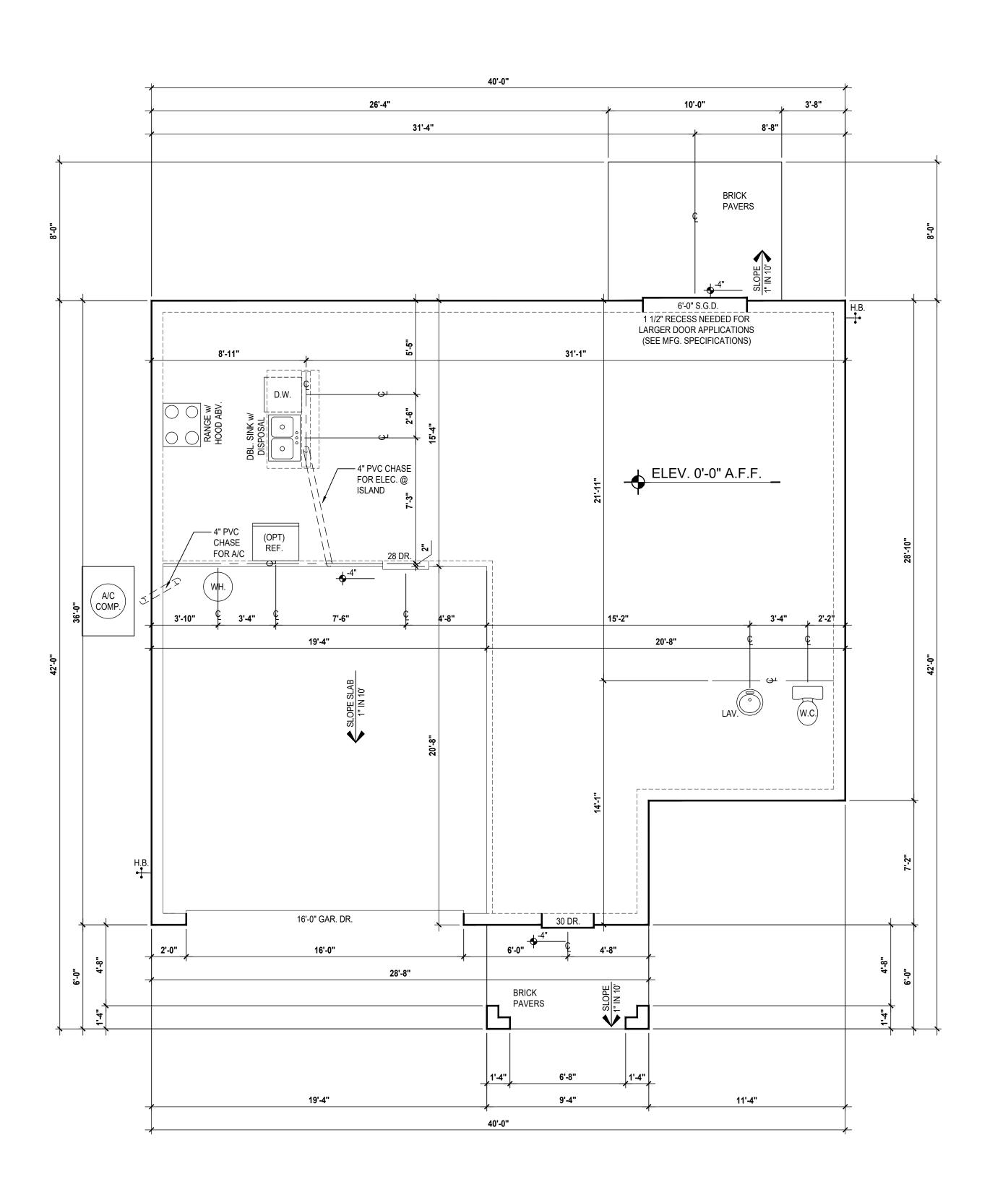
A division of Park Square Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



ISSUE DATE 05/09/2023
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTE
DRAWN BY: S.B.

COVER PAGE



- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT: 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD
- 24 = 2'-4" 50 B.F. = 5'-0" BIFOLD 26 = 2'-6" 60 B.F. = 6'-0" BIFOLD
- 28 = 2'-8"
- 30 = 3'-0"

* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT







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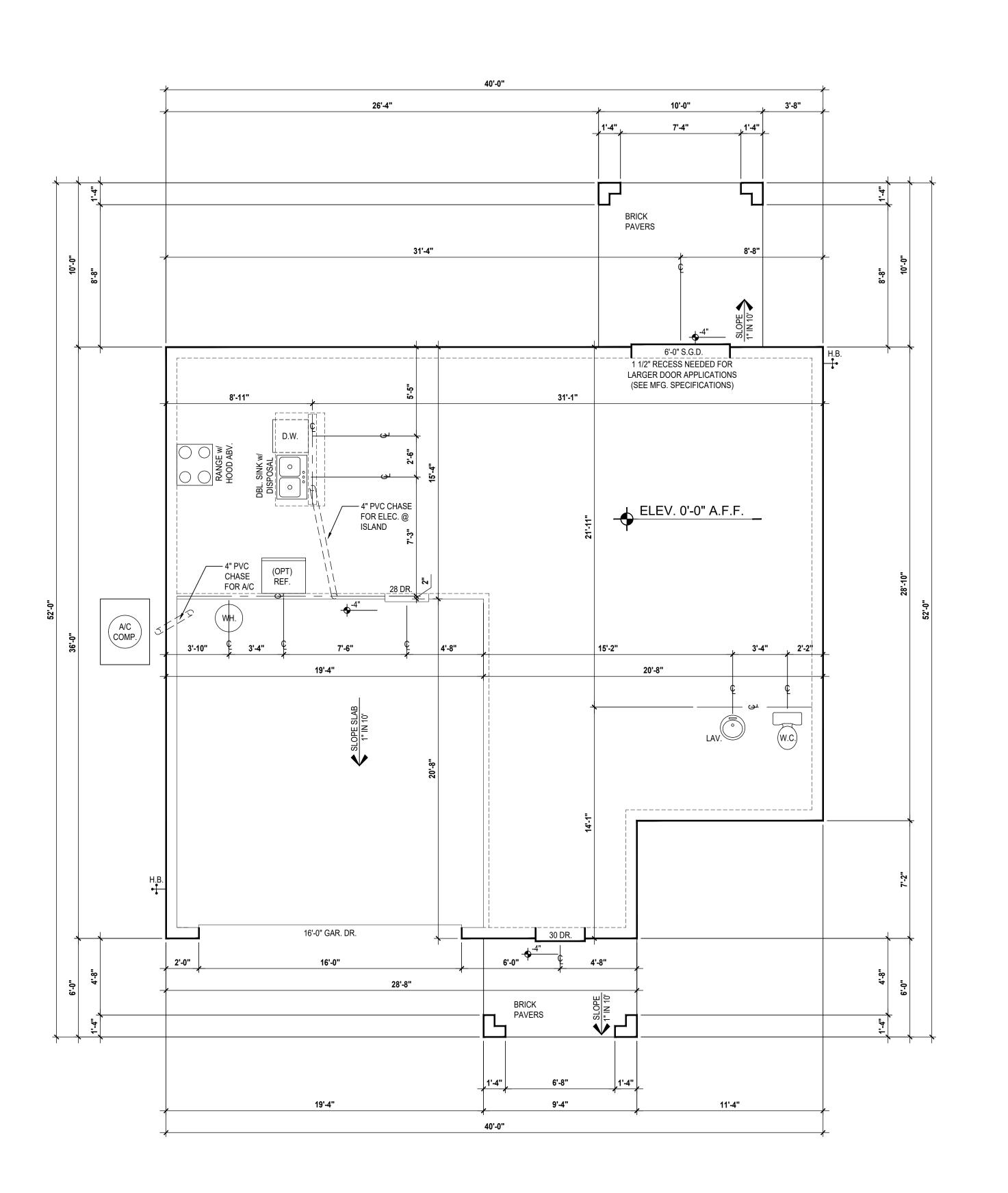


REVISIONS

PROJECT: 00-0000 AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

SLAB PLAN

Slab Plan "A,B,C"

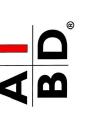


- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
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DOOR NOTE KEY:

- 28 = 2'-8"
- 30 = 3'-0" * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT







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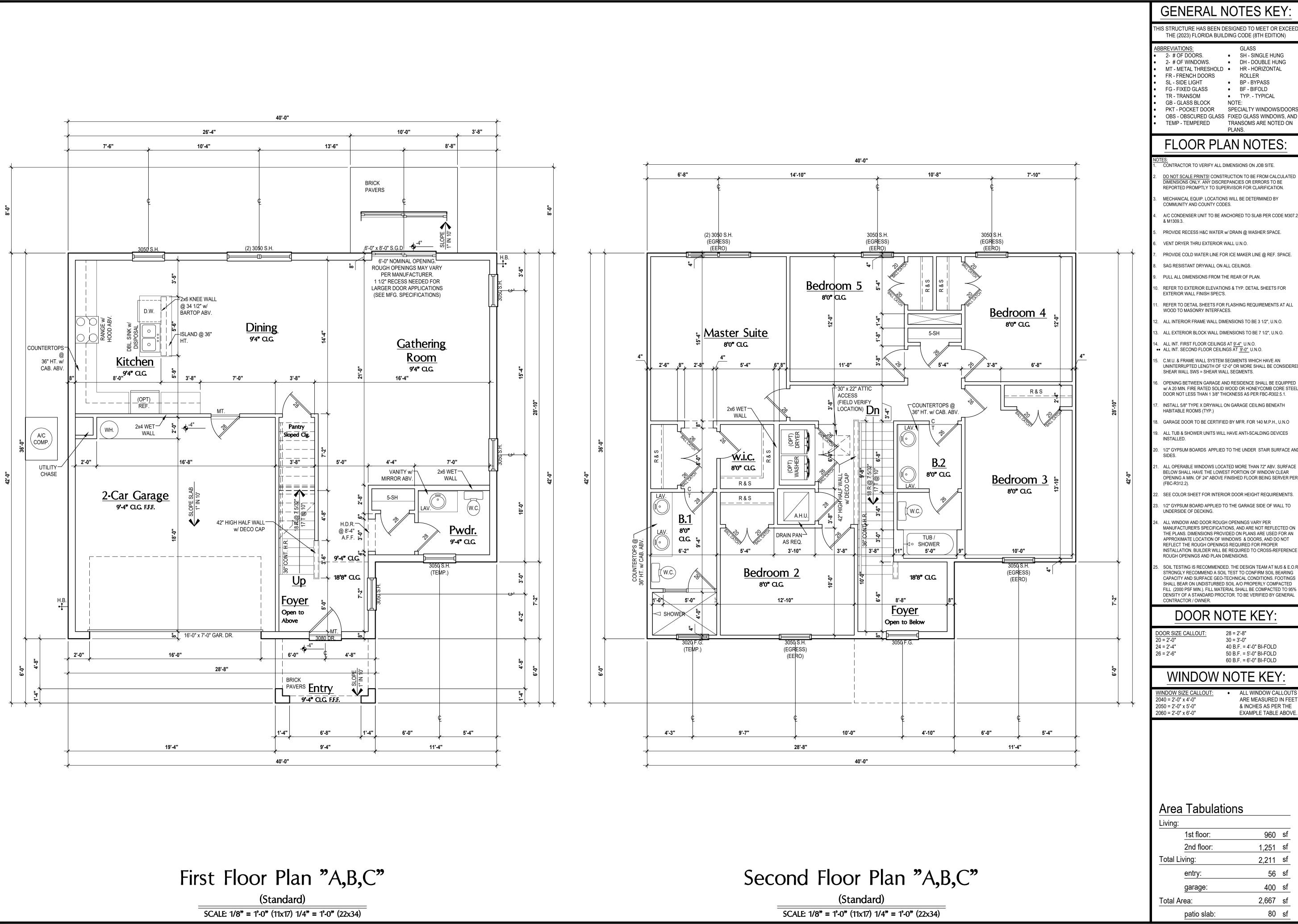
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AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

SLAB PLAN A1.1

Slab Plan "A,B,C"

(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCE

THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

 SH - SINGLE HUNG DH - DOUBLE HUNG MT - METAL THRESHOLD ● HR - HORIZONTAL ROLLER BP - BYPASS BF - BIFOLD

SPECIALTY WINDOWS/DOOF OBS - OBSCURED GLASS FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON

CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED IMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY

PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.

REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR

ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2", U.N.O.

ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2", U.N.O.

C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED

OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.

INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH

ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES

ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER

1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO

THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE

SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O.I STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL

DOOR NOTE KEY:

20 - 2 - 0 30 = 3'-0" 40 B.F. = 4'-0" BI-FOLD 50 B.F. = 5'-0" BI-FOLD 60 B.F. = 6'-0" BI-FOLD

ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE

Living:	
1st floor:	960 sf
2nd floor:	1,251 sf
Total Living:	2,211 sf
entry:	56 sf
garage:	400 sf
Total Area:	2,667 sf

REVISIONS PROJECT: 00-0000 AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

GOBA

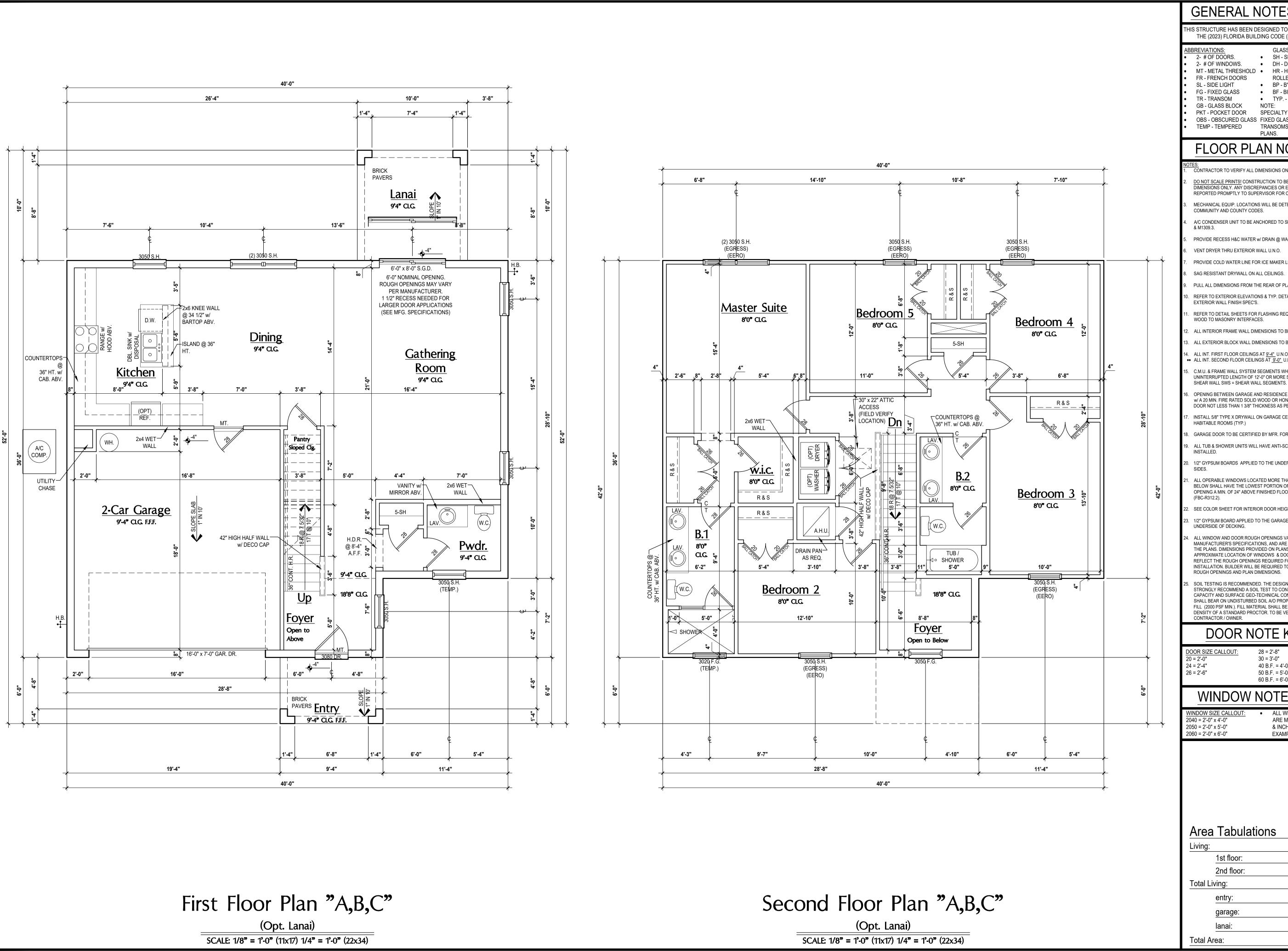
40-2210
Lot # - Subdivision
Street Address
City, State. Zip

A division of Park Square

Enterprises Inc.

200 Vineland Rd. Suite #200 Orlando, Fl. 32811

FLOOR PLAN A2



THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEE

THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

2- # OF DOORS. SH - SINGLE HUNG DH - DOUBLE HUNG 2- # OF WINDOWS. MT - METAL THRESHOLD • HR - HORIZONTAL ROLLER

FR - FRENCH DOORS SL - SIDE LIGHT BP - BYPASS FG - FIXED GLASS BF - BIFOLD TR - TRANSOM TYP. - TYPICAL NOTE: GB - GLASS BLOCK PKT - POCKET DOOR SPECIALTY WINDOWS/DOOF

OBS - OBSCURED GLASS FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON

CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307

PROVIDE RECESS H&C WATER w/ DRAIN @ WASHER SPACE.

PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.

SAG RESISTANT DRYWALL ON ALL CEILINGS.

PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S.

REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.

ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2", U.N.O.

ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2", U.N.O.

14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
•• ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.

C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED

OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEE

DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH

GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H., U.N.O

ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES

1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND

ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER

SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO

UNDERSIDE OF DECKING.

24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER

THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE

SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL

DOOR NOTE KEY:

20 - 2 - 0 30 = 3'-0" 40 B.F. = 4'-0" BI-FOLD 50 B.F. = 5'-0" BI-FOLD 60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

2050 = 2'-0" x 5'-0" 2060 = 2'-0" x 6'-0"

ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE

Area Tabulations

Living:			
	1st floor:	960	sf
	2nd floor:	1,251	sf
Total L	iving:	2,211	sf
	entry:	56	sf
	garage:	400	sf
	lanai:	100	sf
Total A	rea:	2,767	sf









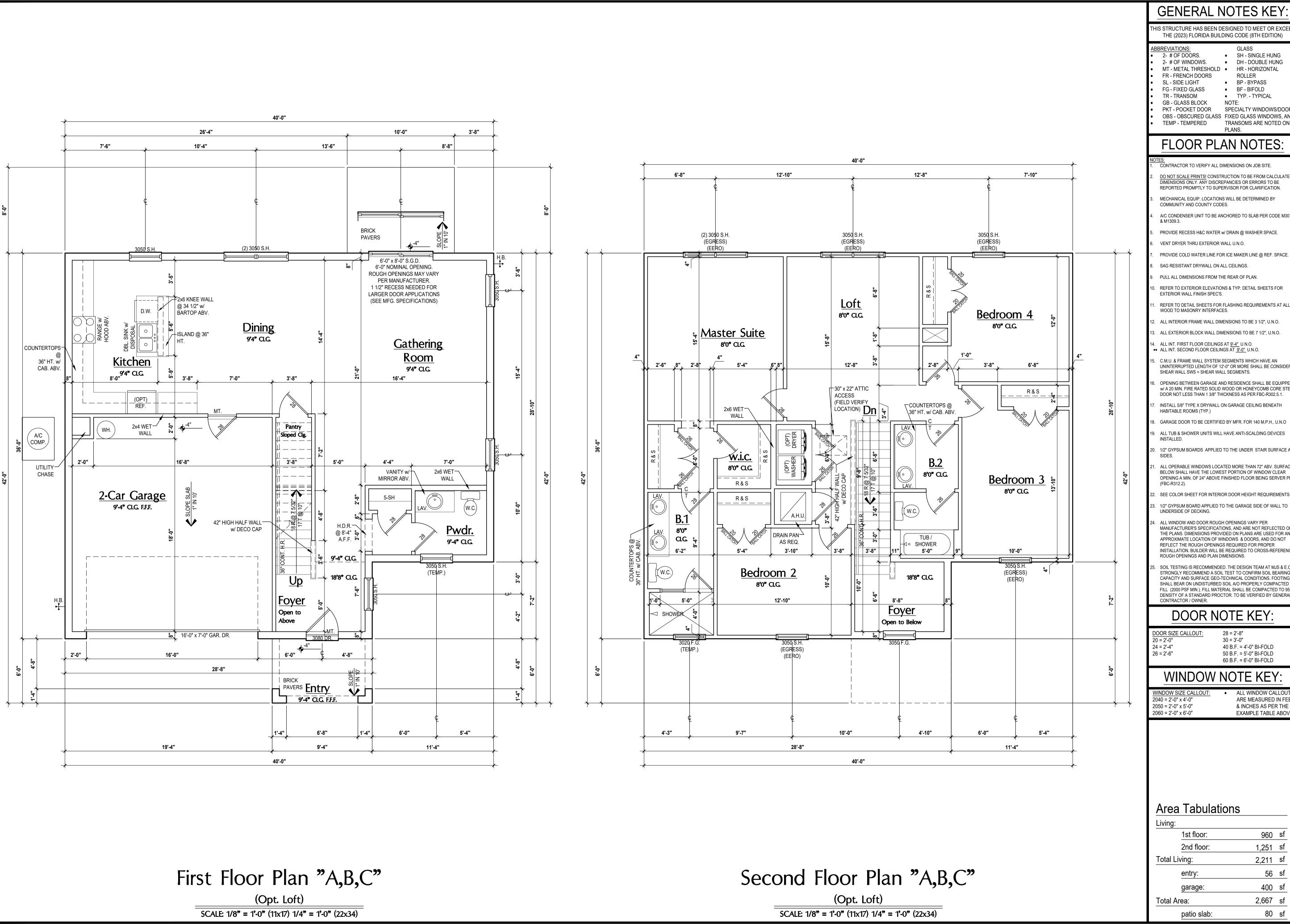
40-2210
Lot # - Subdivision
Street Address
City, State. Zip

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DESIGNED BY: MJS FLOOR PLAN A2.1



THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEE

THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

2- # OF DOORS. SH - SINGLE HUNG DH - DOUBLE HUNG 2- # OF WINDOWS. MT - METAL THRESHOLD • HR - HORIZONTAL FR - FRENCH DOORS

ROLLER SL - SIDE LIGHT BP - BYPASS FG - FIXED GLASS BF - BIFOLD TR - TRANSOM TYP. - TYPICAL GB - GLASS BLOCK NOTE: PKT - POCKET DOOR SPECIALTY WINDOWS/DOOF

OBS - OBSCURED GLASS FIXED GLASS WINDOWS, AND TEMP - TEMPERED TRANSOMS ARE NOTED ON

CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307

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SAG RESISTANT DRYWALL ON ALL CEILINGS.

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REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S.

WOOD TO MASONRY INTERFACES.

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 •• ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.

C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.

OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEE

DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH

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24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER

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REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.

SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O.I STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL

DOOR NOTE KEY:

20 - 2 - 0 30 = 3'-0" 40 B.F. = 4'-0" BI-FOLD 50 B.F. = 5'-0" BI-FOLD 60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

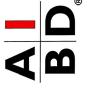
2050 = 2'-0" x 5'-0" 2060 = 2'-0" x 6'-0"

ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE

Area Tabulations

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2nd floor:	1,251	sf
Total Living:	2,211	sf
entry:	56	sf
garage:	400	sf
Total Area:	2,667	sf
patio slab:	80	sf

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40-2210
Lot # - Subdivision
Street Address
City, State. Zip

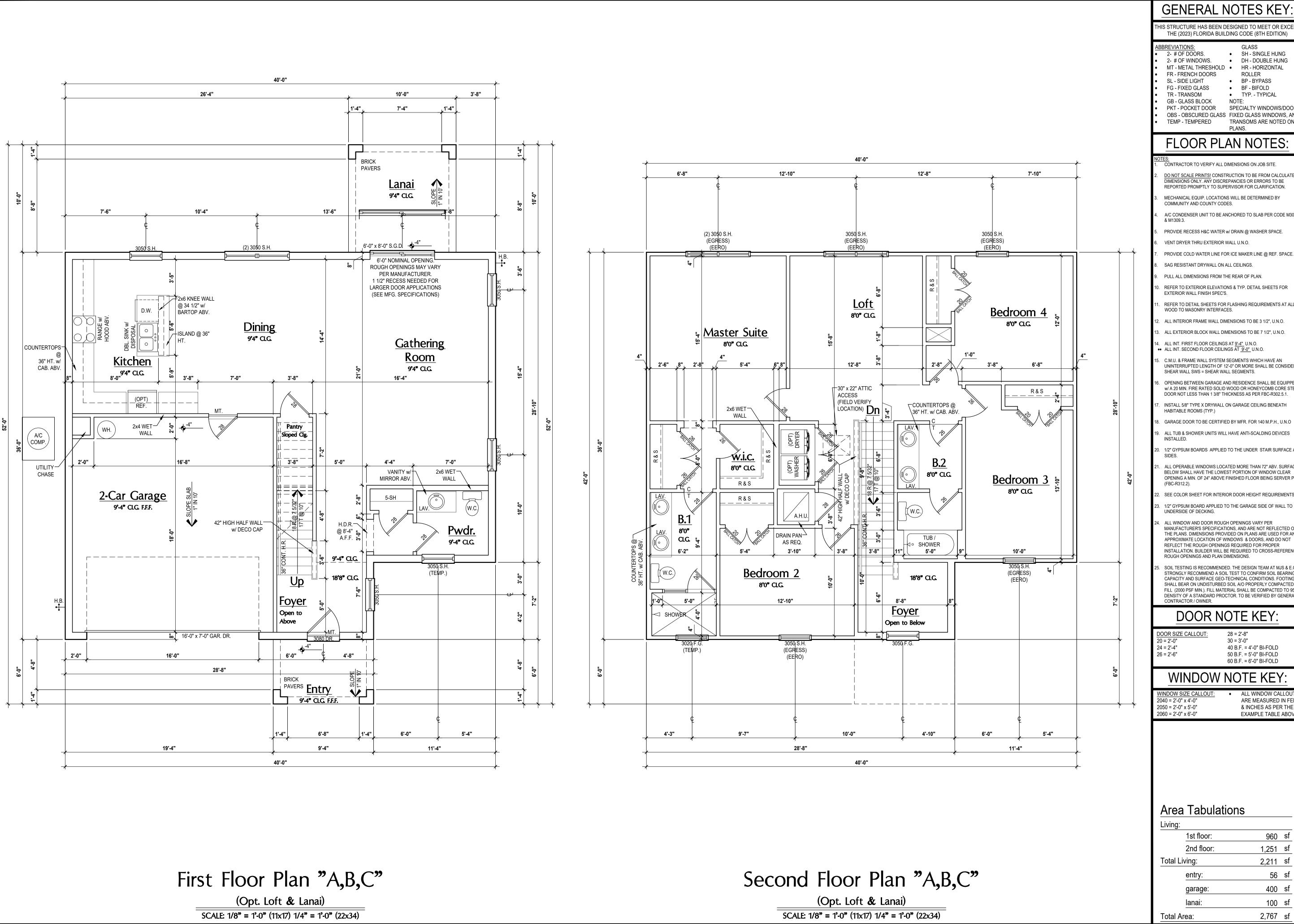
A division of Park Square Enterprises Inc. 200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



REVISIONS

PROJECT: 00-0000 AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

FLOOR PLAN A2.2



THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCE

THE (2023) FLORIDA BUILDING CODE (8TH EDITION)

2- # OF DOORS. SH - SINGLE HUNG 2- # OF WINDOWS. DH - DOUBLE HUNG MT - METAL THRESHOLD • HR - HORIZONTAL FR - FRENCH DOORS ROLLER SL - SIDE LIGHT BP - BYPASS

FG - FIXED GLASS BF - BIFOLD TR - TRANSOM TYP. - TYPICAL NOTE: GB - GLASS BLOCK PKT - POCKET DOOR SPECIALTY WINDOWS/DOOF OBS - OBSCURED GLASS FIXED GLASS WINDOWS, AND TEMP - TEMPERED TRANSOMS ARE NOTED ON

CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.

DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.

MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.

A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307

PROVIDE RECESS H&C WATER w/ DRAIN @ WASHER SPACE.

VENT DRYER THRU EXTERIOR WALL U.N.O. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.

SAG RESISTANT DRYWALL ON ALL CEILINGS.

PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S.

WOOD TO MASONRY INTERFACES.

ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2", U.N.O.

ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2", U.N.O.

14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
 •• ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.

C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED

OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEE

DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH

GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H., U.N.O

ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES

1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND

ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER

SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO

UNDERSIDE OF DECKING.

24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER

APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O

STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL

DOOR NOTE KEY:

20 - 2 - 0 30 = 3'-0" 40 B.F. = 4'-0" BI-FOLD 50 B.F. = 5'-0" BI-FOLD 60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

2050 = 2'-0" x 5'-0"

1st floor:

2nd floor:

ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE

960 sf

1,251 sf

2,211 sf

56 sf

400 sf

100 sf

2,767 sf

Enterprises Inc. Orlando, Fl. 32811

A division of Park Square

GOBA

40-2210
Lot # - Subdivision
Street Address
City, State. Zip

REVISIONS

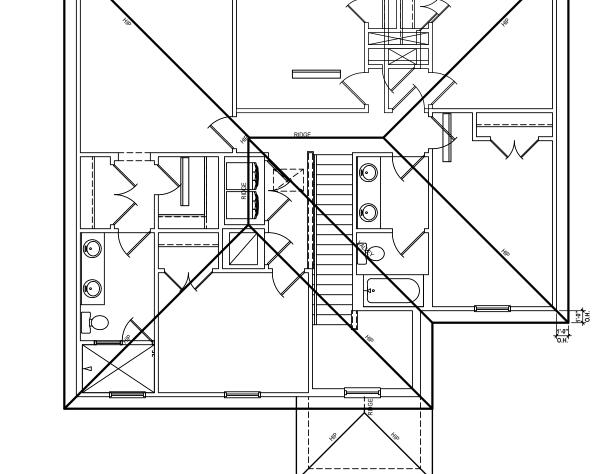
PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

FLOOR PLAN A2.3



(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)





Rear Elevation "A"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

Roof Layout

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



ATTIC VENT CALC'S:

MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES). (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE $\frac{1}{150}$ OF VENTED

TOTAL VENTED SPACE: 1,515 = 5.05 SF. NET FREE REQUIRED

3 VENTS @ .683 /PER VEN

80.00 LF. @ 0.0378 SF. VENTING/LF.

UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS:

LOWER PORTION VENTILATION TOTAL: 3.03 SF.

TO BE PROVIDED w/ SOFFITS @ EAVE:

UPPER ROOF PERCENTAGE: 40%

LOWER ROOF PERCENTAGE: 60%

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).





ANS, IDEAS AND DESIGN. THE RED PARTY WITHOUT FIRST OF "IDREAM"

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DRAWN BY: S.B. DESIGNED BY: MJS

ELEVATIONS A3.A



(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Opt. Lanai)



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TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF.

TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 LF. @ 0.0378 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%









ANS, IDEAS AND DESIGN. THE RD PARTY WITHOUT FIRST OF "DREAM" 40-2210
Lot # - Subdivision
Street Address
City, State. Zip

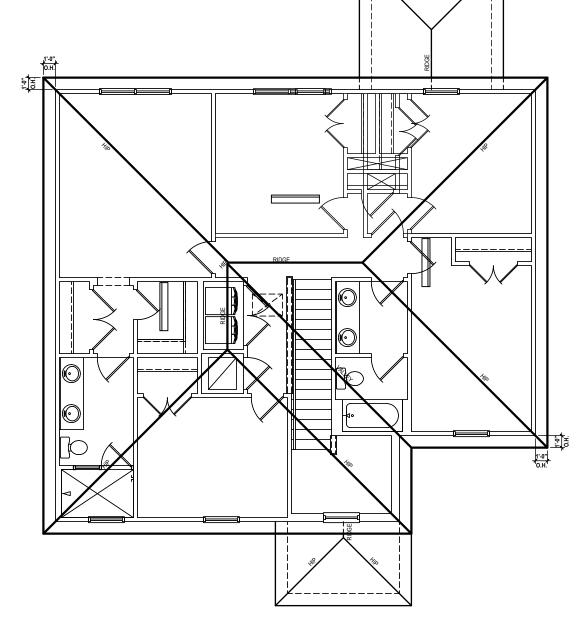
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PROJECT: 00-0000 AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS **ELEVATIONS** A3.A1



Roof Layout

(Opt. Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)





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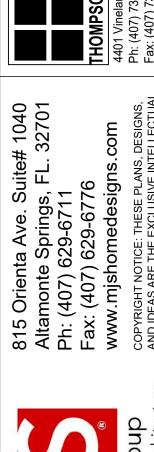
UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 3 VENTS @ .683 /PER VEN

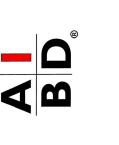
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

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80.00 LF. @ 0.0378 SF. VENTING/LF.

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ANS, IDEAS AND DESIGN. THE RED PARTY WITHOUT FIRST OF "IDREAM"

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A3.A2

Roof Layout (Opt. Loft) SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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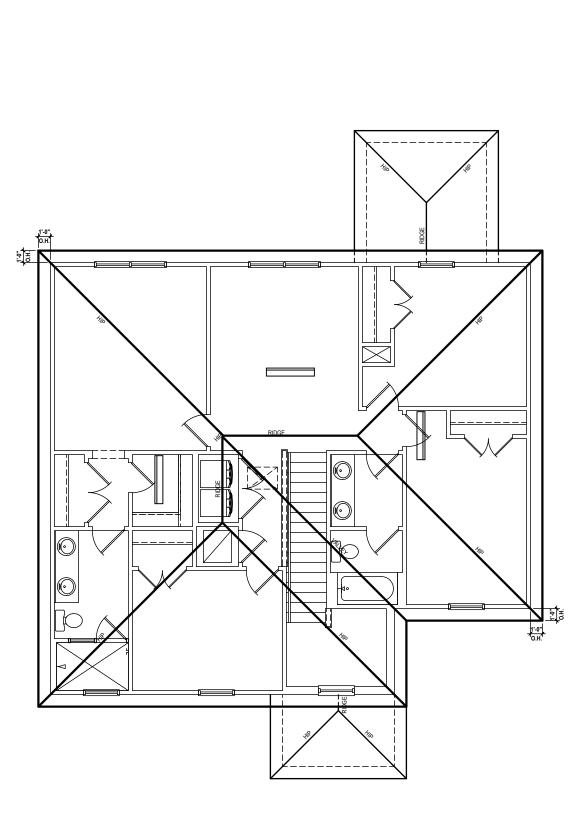
3 VENTS @ .683 /PER VEN

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF. TO BE PROVIDED w/ SOFFITS @ EAVE:

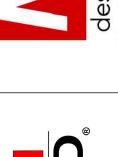
80.00 LF. @ 0.0378 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%



Roof Layout (Opt. Loft & Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)







ANS, IDEAS AND DESIGN. THE PARTY WITHOUT FIRST OF IT DREAM"

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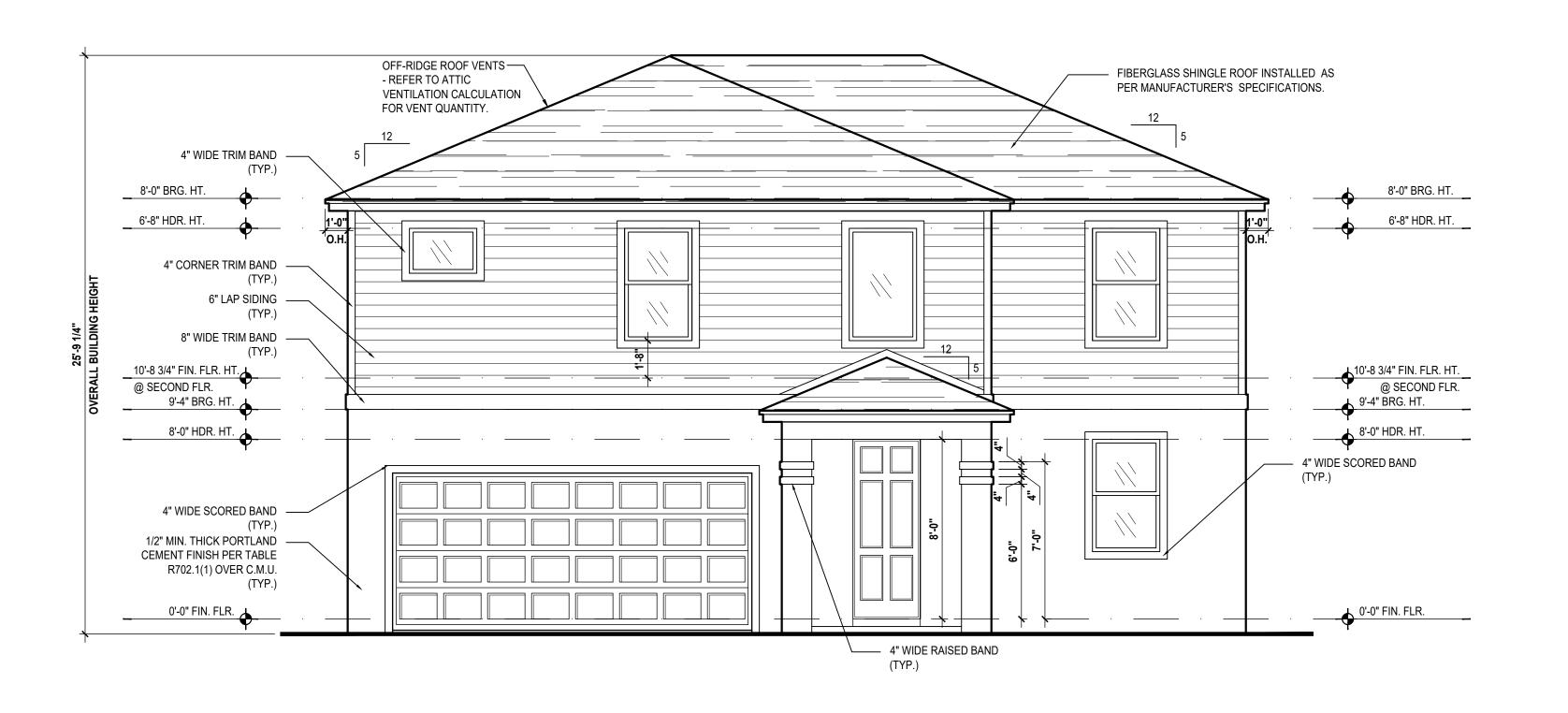


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PROJECT: 00-0000 AS NOTED

DRAWN BY: S.B. DESIGNED BY: MJS

ELEVATIONS A3.A3



(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)





(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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TOTAL VENTED SPACE: 1,515 = 5.05 SF. NET FREE REQUIRED

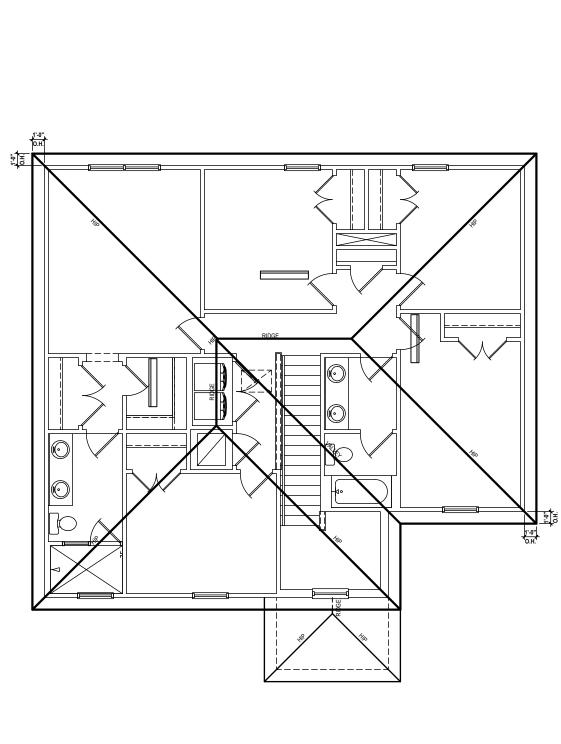
UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 3 VENTS @ .683 /PER VEN

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF. TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%



Roof Layout

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)







40-2210
Lot # - Subdivision
Street Address
City, State. Zip

ANS, IDEAS AND DESIGN. THE RED PARTY WITHOUT FIRST OF "IDREAM"

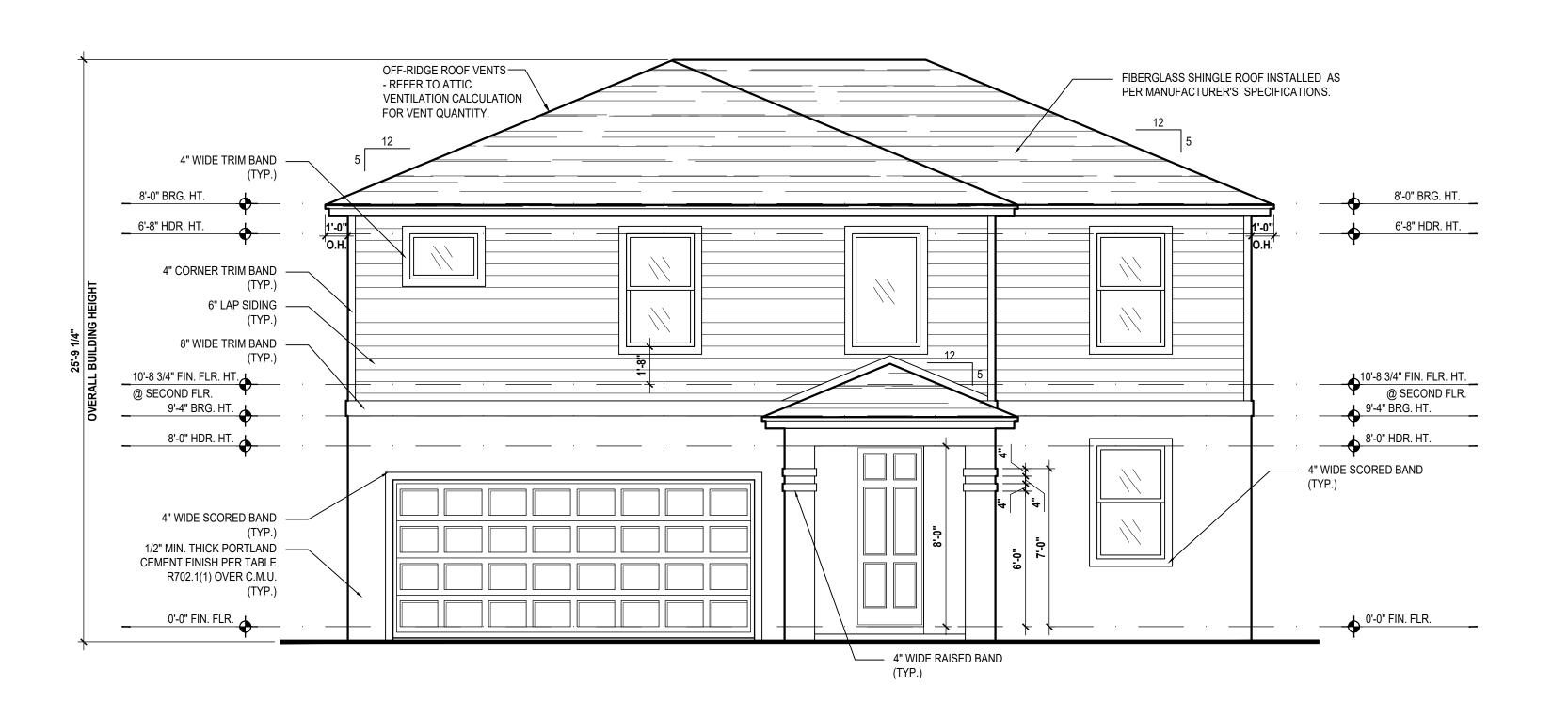
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PROJECT: 00-0000 AS NOTED

DRAWN BY: S.B. DESIGNED BY: MJS

ELEVATIONS A3.B



(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B"

(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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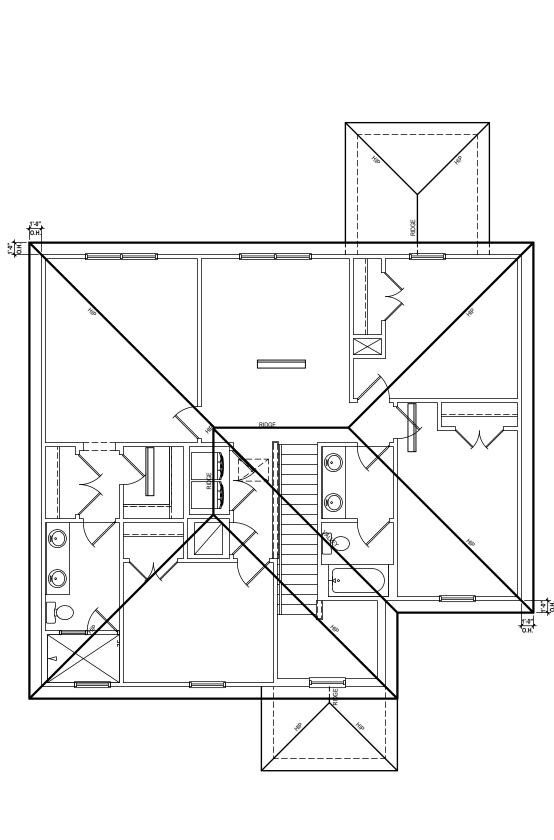
UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 3 VENTS @ .683 /PER VEN

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF. TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%



Roof Layout

(Opt. Lanai) SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34) DESIGNED BY: MJS **ELEVATIONS** A3.B1

GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

40-2210
Lot # - Subdivision
Street Address
City, State. Zip

A division of Park Square

Enterprises Inc. 5200 Vineland Rd. Suite #200

Orlando, Fl. 32811

Phone: (407) 529-3000

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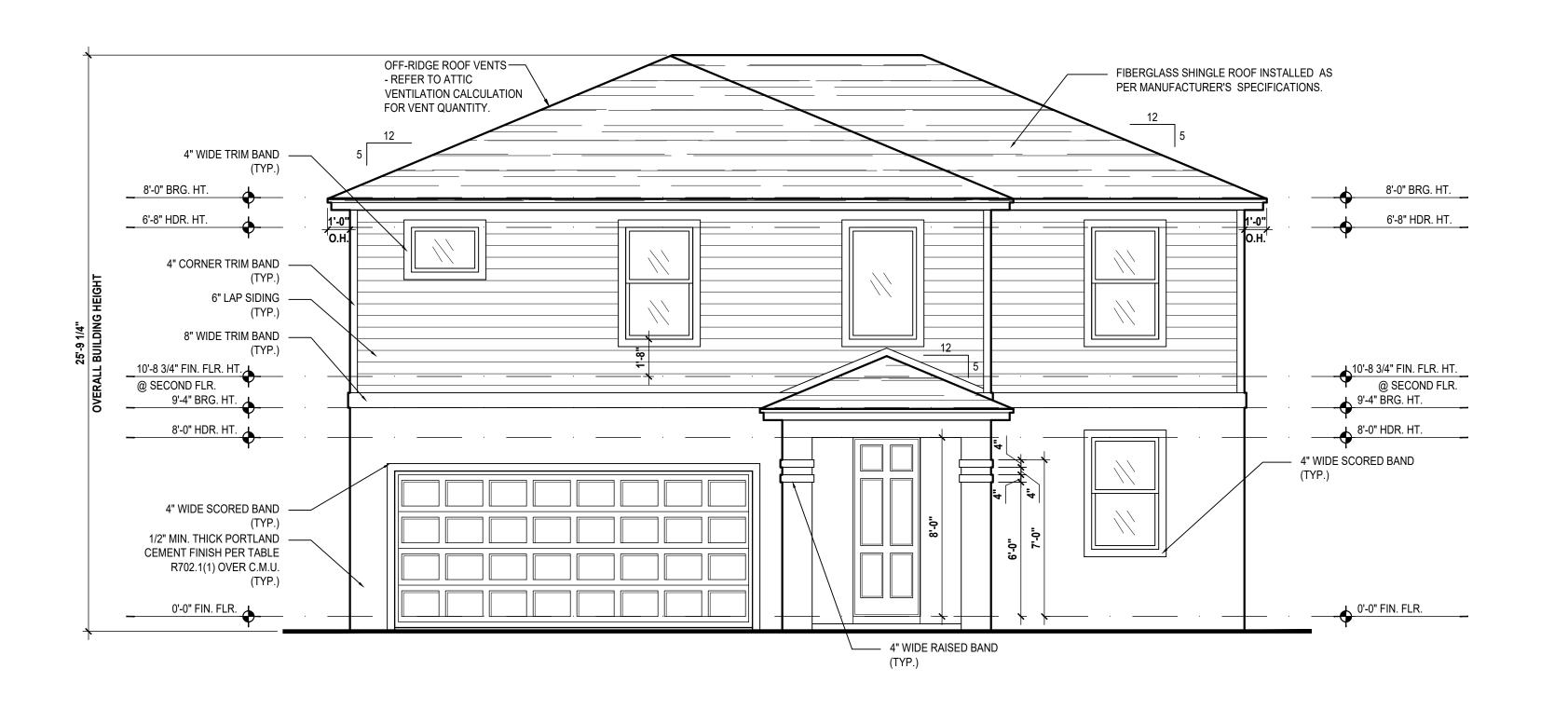
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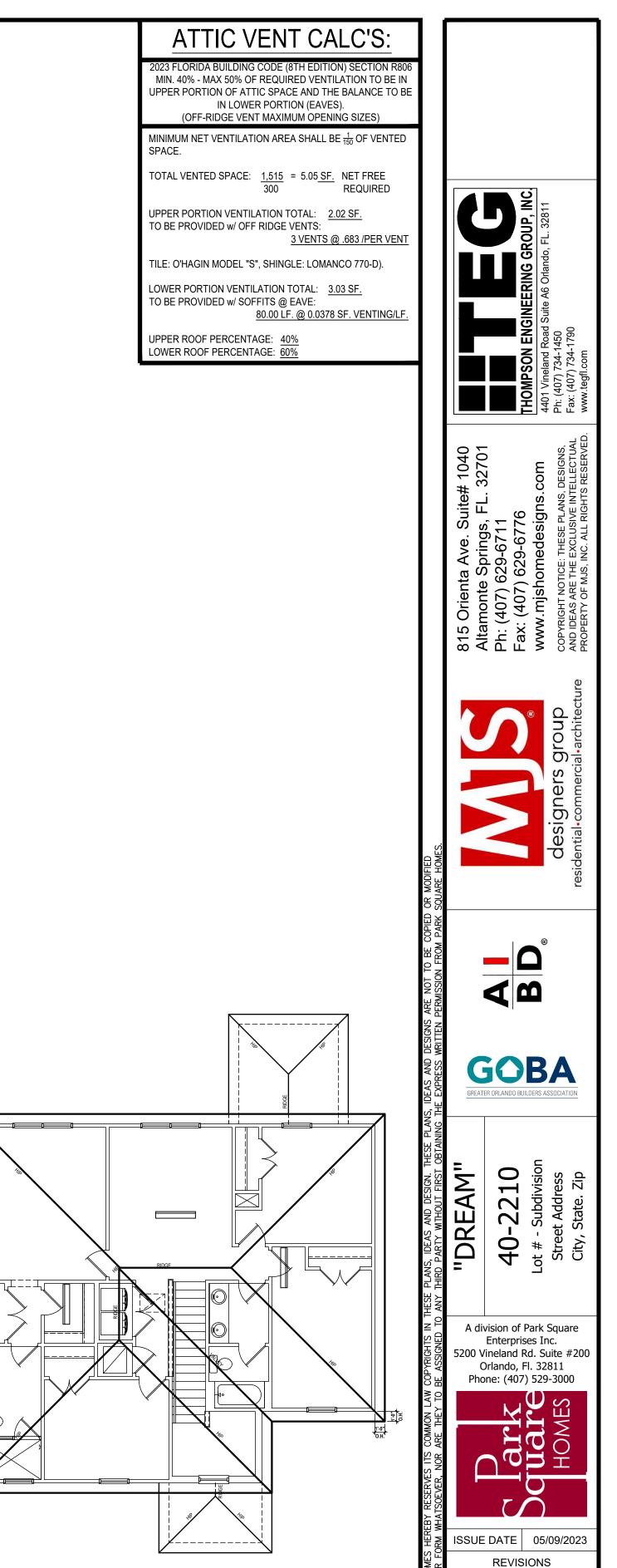


(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B"

(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



PROJECT: 00-0000

ELEVATIONS

A3.B2

DRAWN BY: S.B.

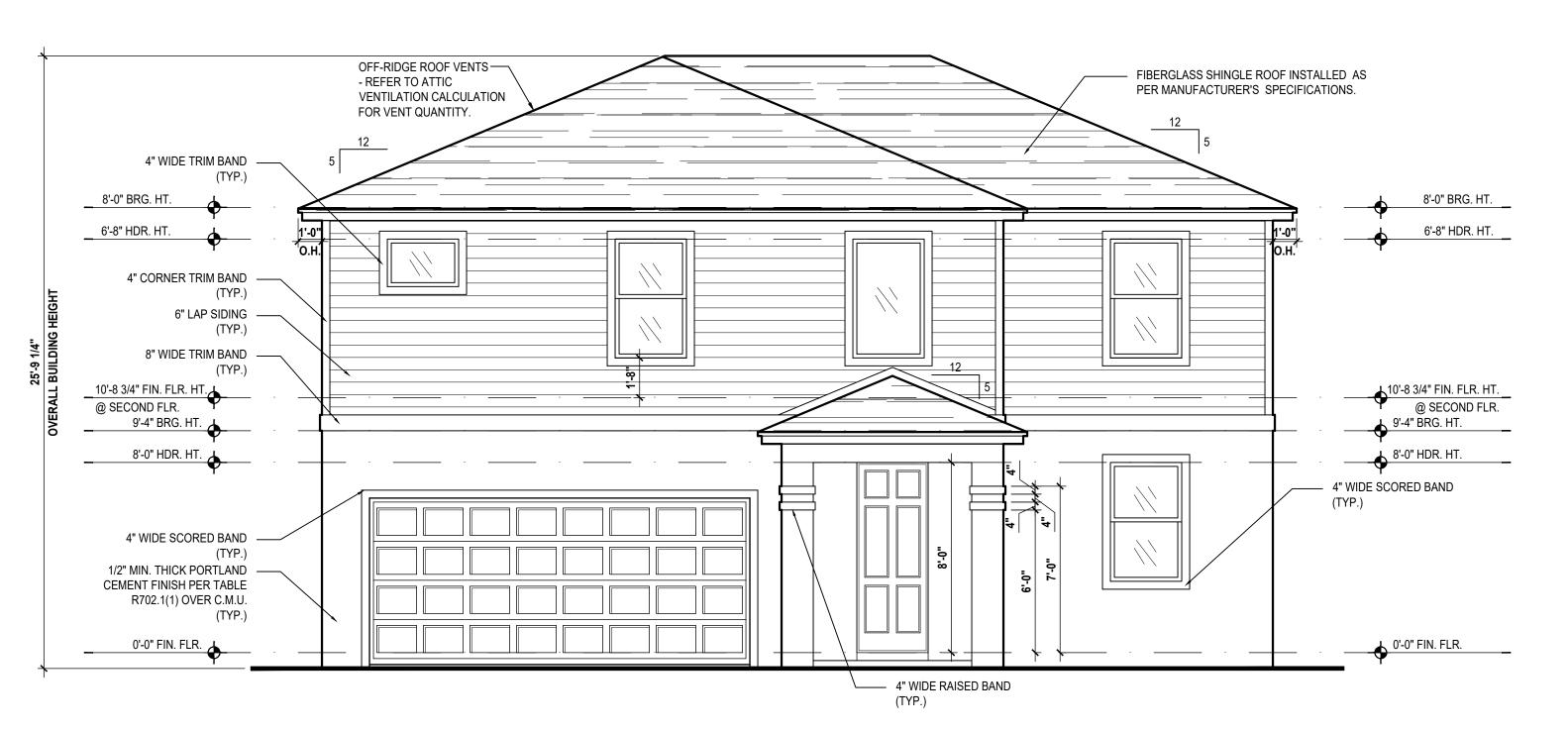
DESIGNED BY: MJS

AS NOTED

Roof Layout

(Opt. Loft)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



(Opt. Loft & Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "B"

(Opt. Loft & Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE
IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE $\frac{1}{150}$ OF VENTED

PACE.

TOTAL VENTED SPACE: 1,515 = 5.05 SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.02 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:

3 VENTS @ .683 /PER VENTILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF.

TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)









ANS, IDEAS AND DESIGN. THESE PINDREAM!

"DREAM"

40-2210

Lot # - Subdivision

Street Address

City, State. Zip

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SSUE DATE 05/09/2023
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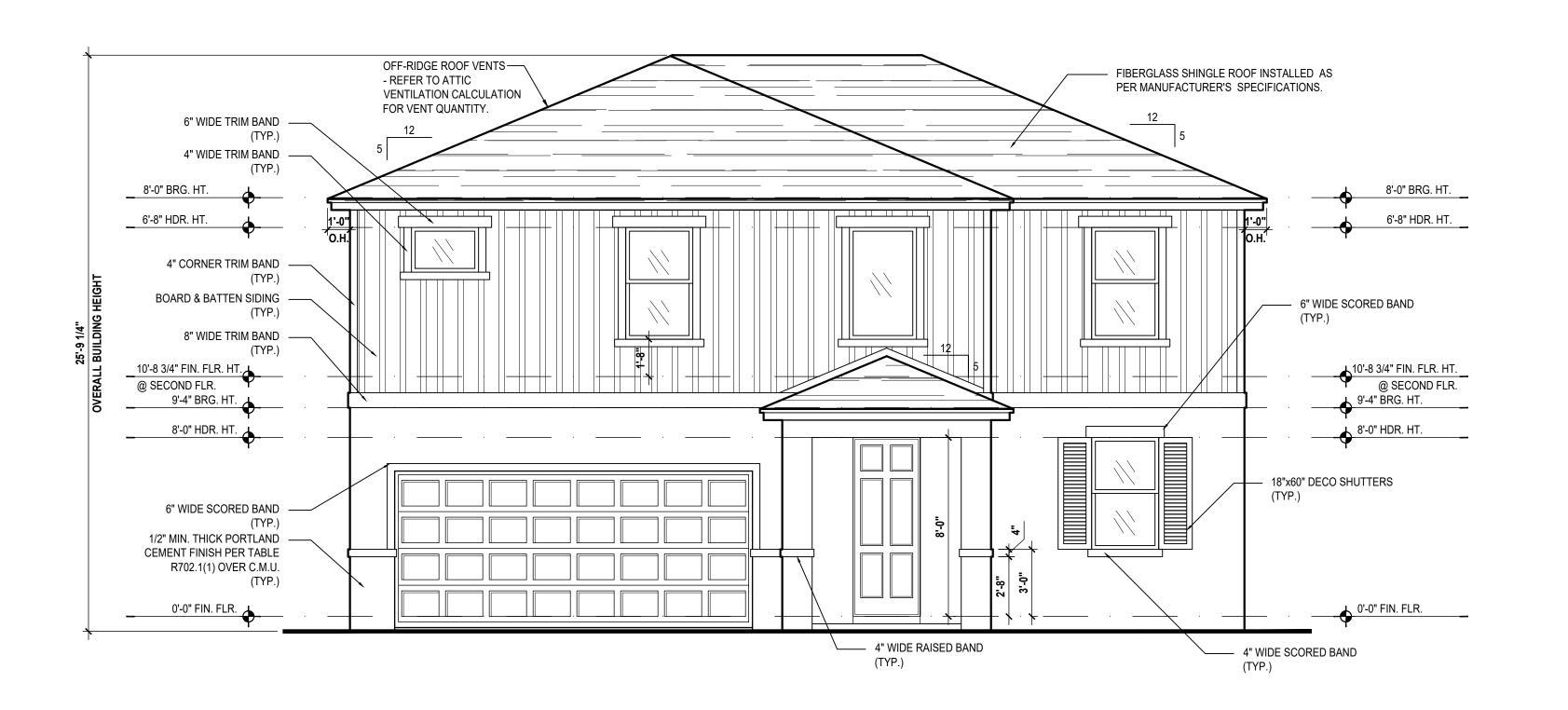
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PROJECT: 00-000

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ELEVATIONS A3.B3

n "B" Roof Layout

(Opt. Loft & Lanai)



(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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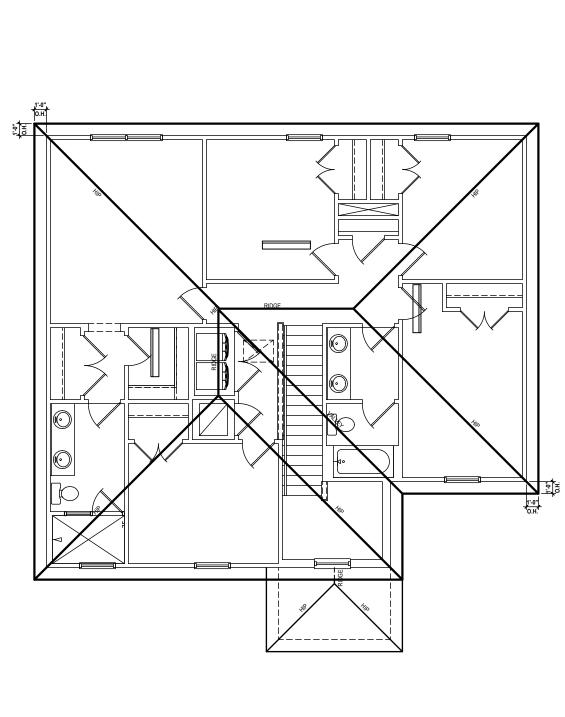
UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS:

3 VENTS @ .683 /PER VEN TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF.

TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 LF. @ 0.0378 SF. VENTING/LF

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%



Roof Layout

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)







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A3.C

OFF-RIDGE ROOF VENTS-FIBERGLASS SHINGLE ROOF INSTALLED AS - REFER TO ATTIC PER MANUFACTURER'S SPECIFICATIONS. VENTILATION CALCULATION FOR VENT QUANTITY. 6" WIDE TRIM BAND 4" WIDE TRIM BAND 8'-0" BRG. HT. 8'-0" BRG. HT. ___ 6'-8" HDR. HT. 6'-8" HDR. HT. 4" CORNER TRIM BAND BOARD & BATTEN SIDING — 6" WIDE SCORED BAND 8" WIDE TRIM BAND (TYP.) ____10'-8 3/4" FIN. FLR. HT. 10'-8 3/4" FIN. FLR. HT. @ SECOND FLR. @ SECOND FLR. 9'-4" BRG. HT. 9'-4" BRG. HT. 8'-0" HDR. HT. 8'-0" HDR. HT. 18"x60" DECO SHUTTERS 6" WIDE SCORED BAND (TYP.) 1/2" MIN. THICK PORTLAND CEMENT FINISH PER TABLE R702.1(1) OVER C.M.U. (TYP.) 0'-0" FIN. FLR. 0'-0" FIN. FLR. — 4" WIDE RAISED BAND (TYP.) - 4" WIDE SCORED BAND

Front Elevation "C"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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3 VENTS @ .683 /PER VEN

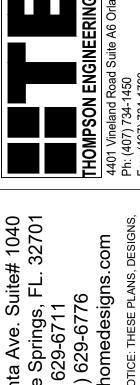
LOWER PORTION VENTILATION TOTAL: 3.03 SF.

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF

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ANS, IDEAS AND DESIGN. THESE PLED PARTY WITHOUT FIRST OBTAININ

"DREAM"

40-2210

Lot # - Subdivision

Street Address

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Enterprises Inc.
5200 Vineland Rd. Suite #200



SSUE DATE 05/09/2023

PROJECT: 00-0000
SCALE: AS NOTED

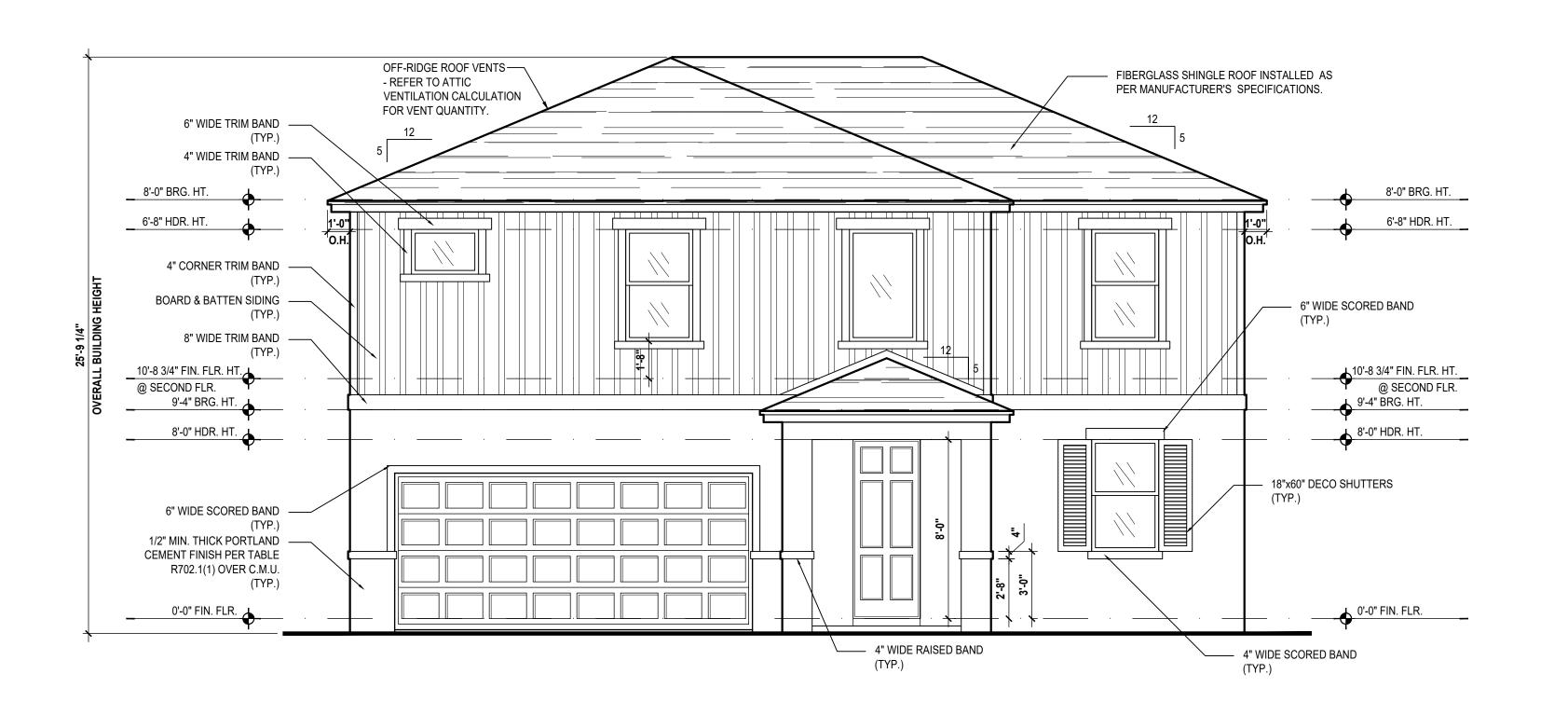
PROJECT: 00-0000
SCALE: AS NOTE
DRAWN BY: S.B.
DESIGNED BY: MJS

A3.C1

Roof Layout

(Opt. Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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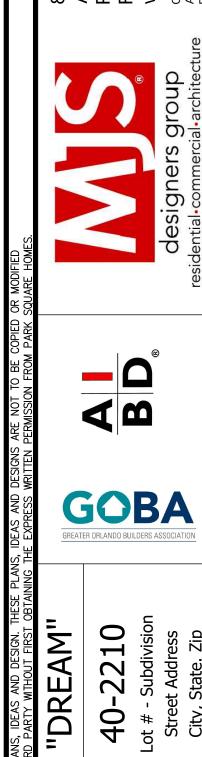
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LOWER PORTION VENTILATION TOTAL: 3.03 SF. TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF

3 VENTS @ .683 /PER VEN

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%





SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)







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SSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

ELEVATIONS A3.C2

OFF-RIDGE ROOF VENTS — - REFER TO ATTIC FIBERGLASS SHINGLE ROOF INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. VENTILATION CALCULATION FOR VENT QUANTITY. 6" WIDE TRIM BAND 4" WIDE TRIM BAND 8'-0" BRG. HT. 8'-0" BRG. HT. 6'-8" HDR. HT. 6'-8" HDR. HT. 4" CORNER TRIM BAND -BOARD & BATTEN SIDING —— 6" WIDE SCORED BAND (TYP.) 8" WIDE TRIM BAND 10'-8 3/4" FIN. FLR. HT. 10'-8 3/4" FIN. FLR. HT. @ SECOND FLR. @ SECOND FLR. 9'-4" BRG. HT. 8'-0" HDR. HT. 8'-0" HDR. HT. 18"x60" DECO SHUTTERS 6" WIDE SCORED BAND 1/2" MIN. THICK PORTLAND CEMENT FINISH PER TABLE R702.1(1) OVER C.M.U. 4" WIDE RAISED BAND 4" WIDE SCORED BAND (TYP.)

Front Elevation "C"

(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES). (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE $\frac{1}{150}$ OF VENTED

TOTAL VENTED SPACE: 1,515 = 5.05 SF. NET FREE REQUIRED

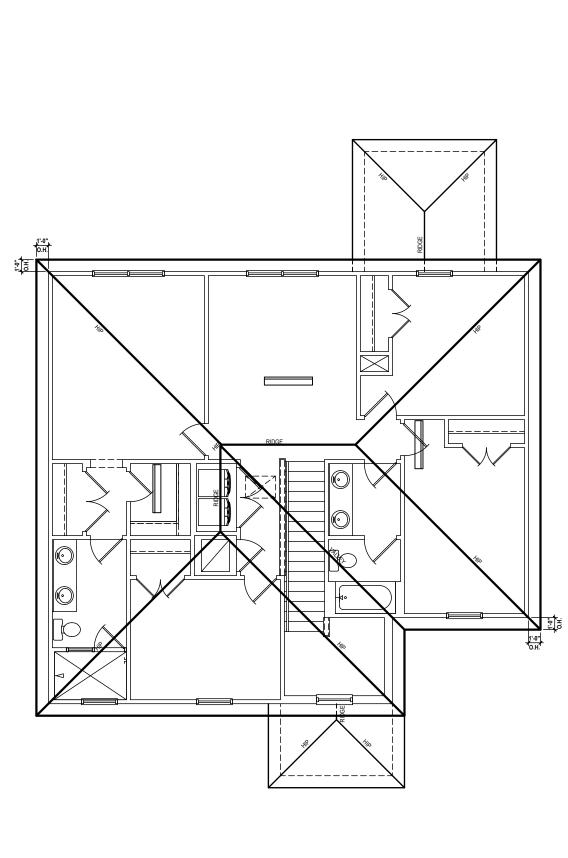
UPPER PORTION VENTILATION TOTAL: 2.02 SF. TO BE PROVIDED w/ OFF RIDGE VENTS:

3 VENTS @ .683 /PER VEN TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.03 SF.TO BE PROVIDED w/ SOFFITS @ EAVE:

80.00 LF. @ 0.0378 SF. VENTING/LF

UPPER ROOF PERCENTAGE: 40% LOWER ROOF PERCENTAGE: 60%



Roof Layout (Opt. Loft & Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)





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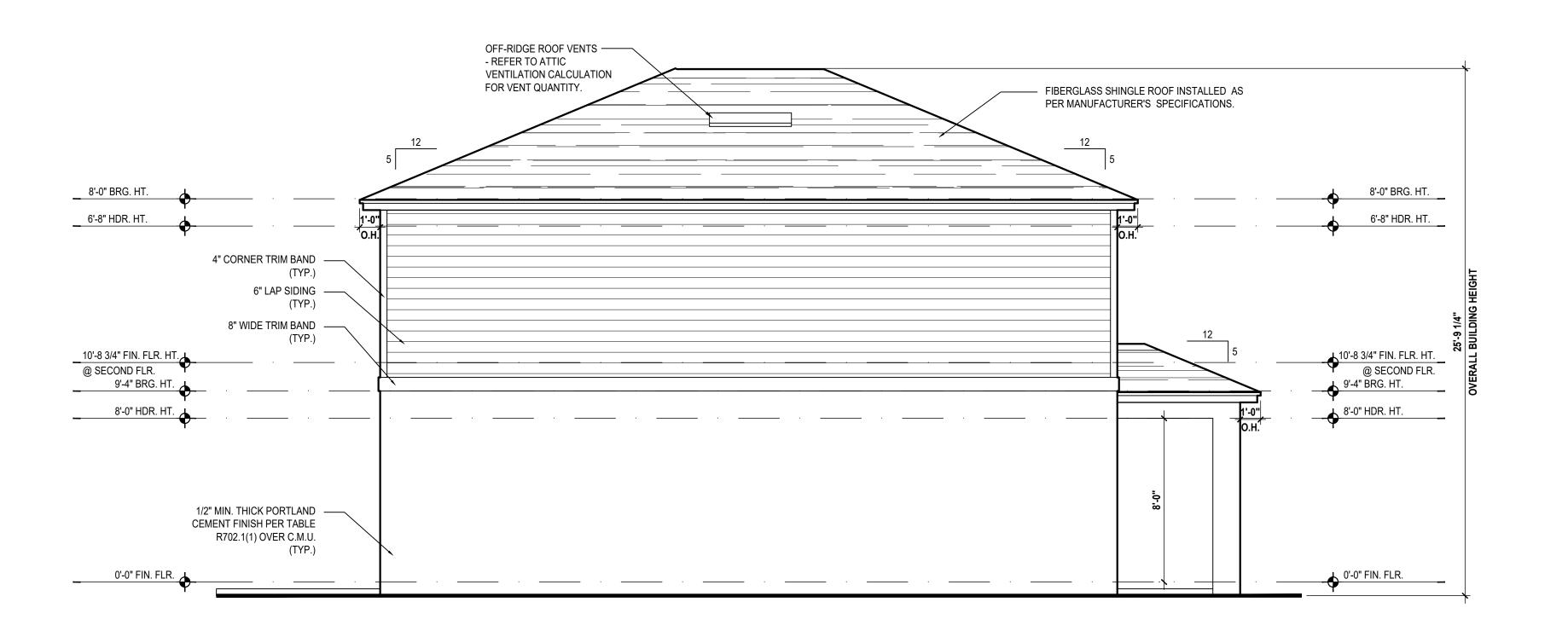


SSUE DATE | 05/09/2023

REVISIONS

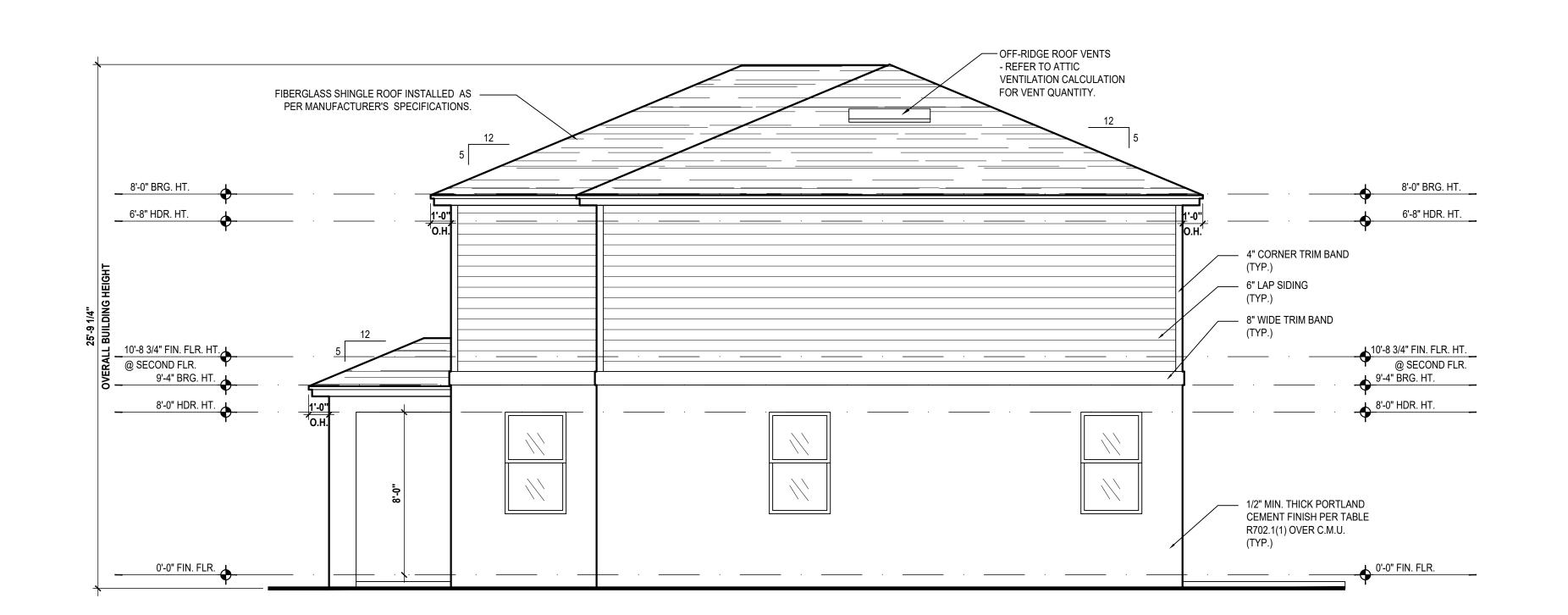
PROJECT: 00-0000 AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS

ELEVATIONS A3.C3



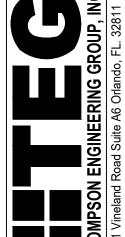
Left Elevation "A"

(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"

(Standard) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



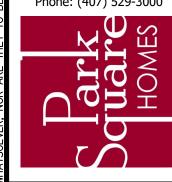






ANS, IDEAS AND DESIGN. TH
RD PARTY WITHOUT FIRST O
"DREAM" 40-2210
Lot # - Subdivision
Street Address

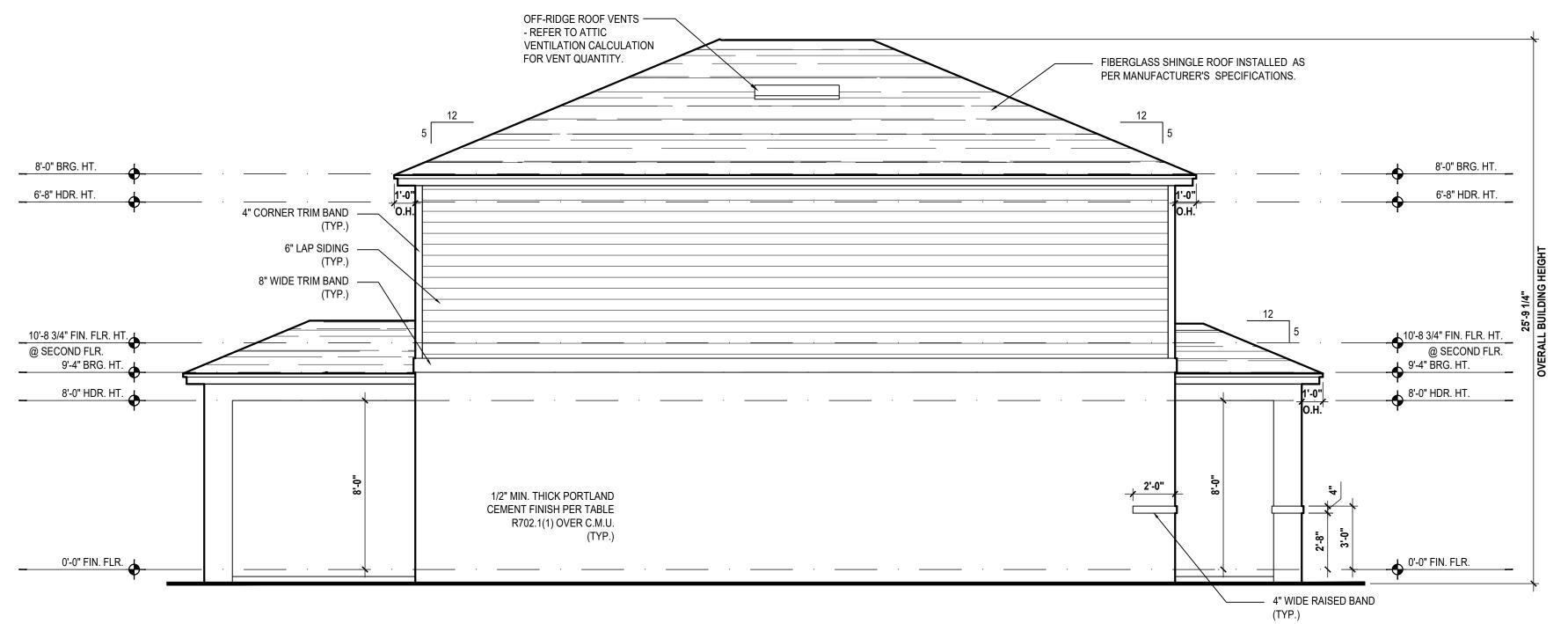
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ISSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 AS NOTED DRAWN BY: S.B.

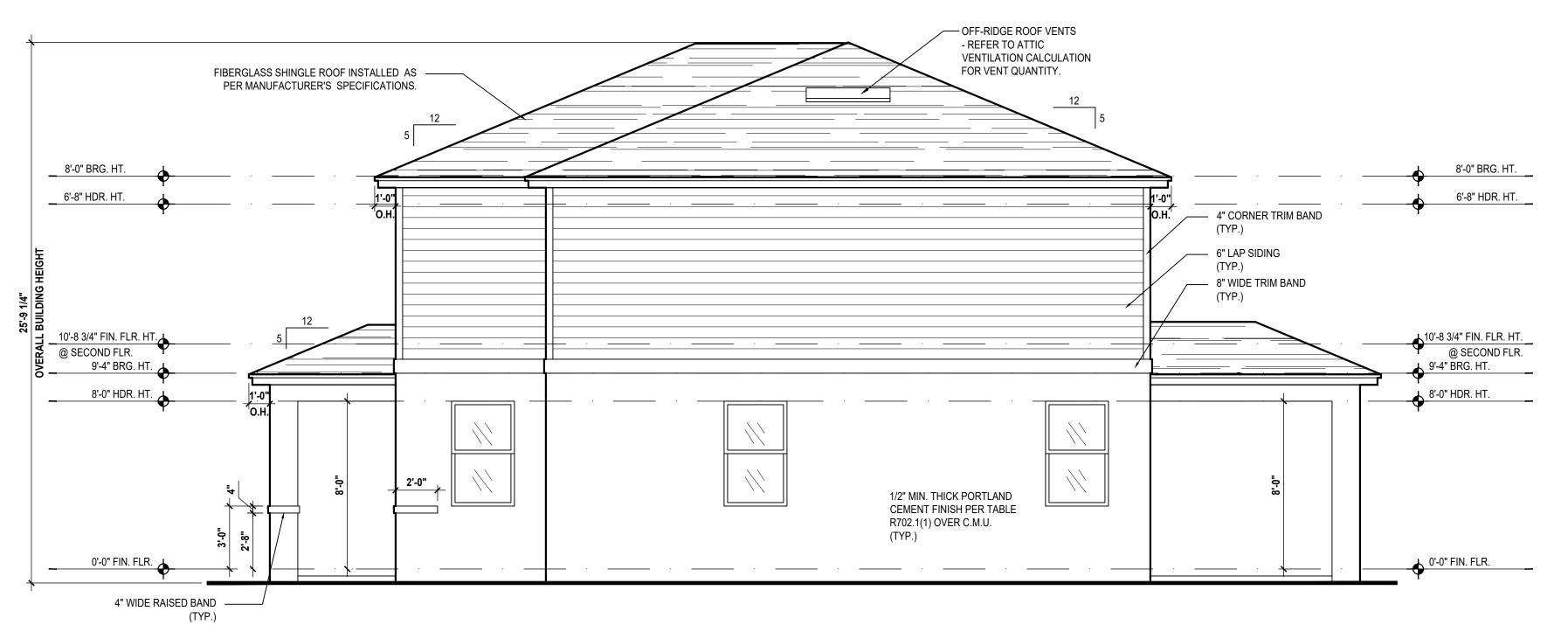
DESIGNED BY: MJS **ELEVATIONS** A4.A



Left Elevation "A"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Altamonte Springs, FL. 32701 Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com







ans, IDEAS AND DESIGN. THESE FROM PARTY WITHOUT FIRST OBTAIN

"DREAM"

40-2210

Lot # - Subdivision

Street Address

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ISSUE DATE 05/09/2023
REVISIONS

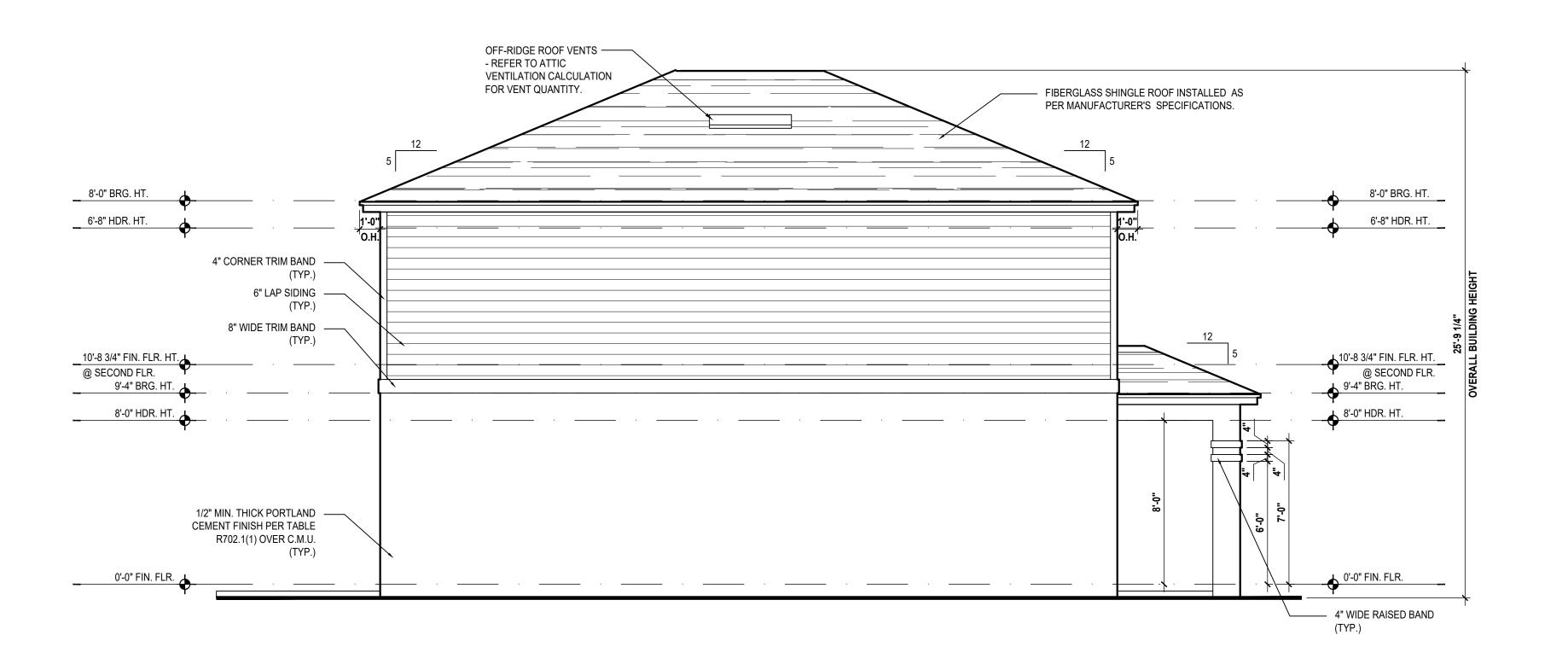
PROJECT: 00-0000

SCALE: AS NOTED

DRAWN BY: S.B.

ELEVATIONS

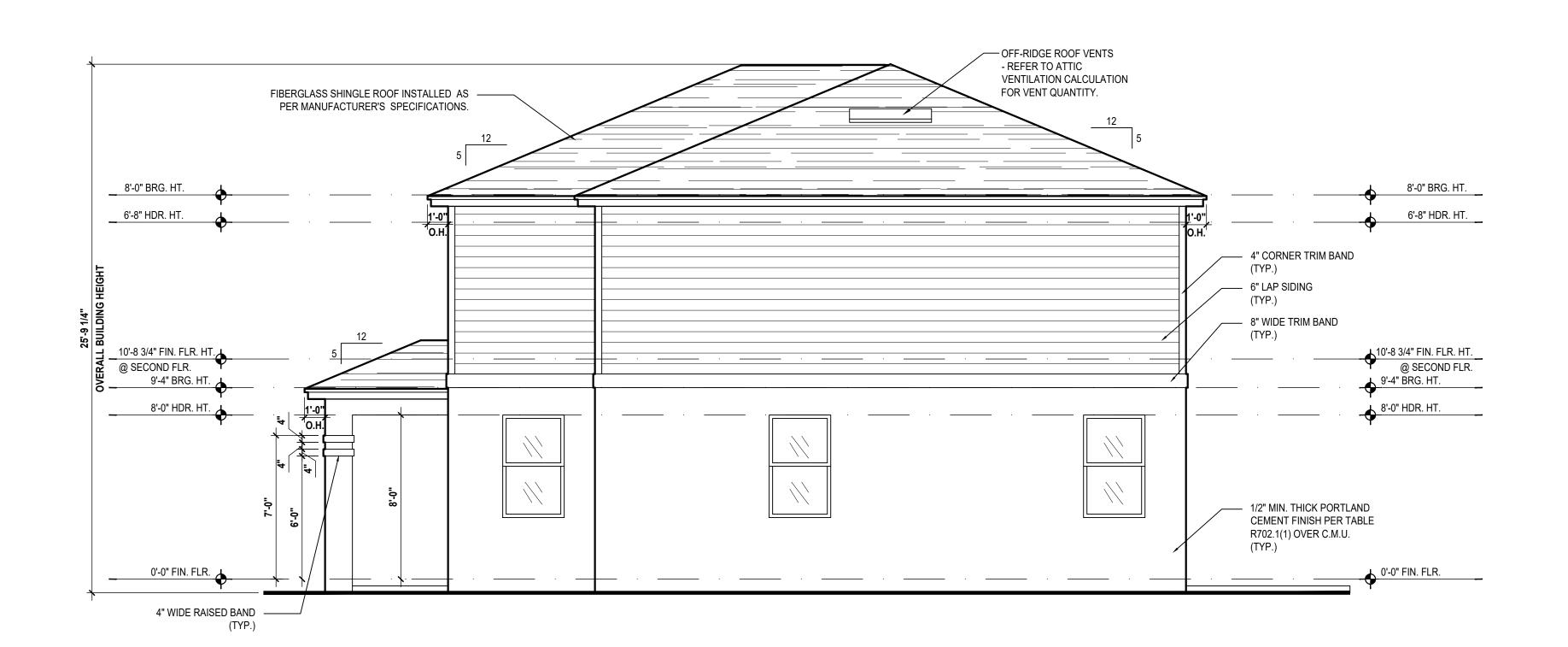
A4.A1



Left Elevation "B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



THOMPSON EN THOMPSON EN 4401 Vineland Roac Ph: (407) 734-1450 Fax: (407) 734-1790

Altamonte Springs, FL. 32 Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.cor







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Lot # - Subdivision

Street Address

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Orlando, Fl. 32811
Phone: (407) 529-3000



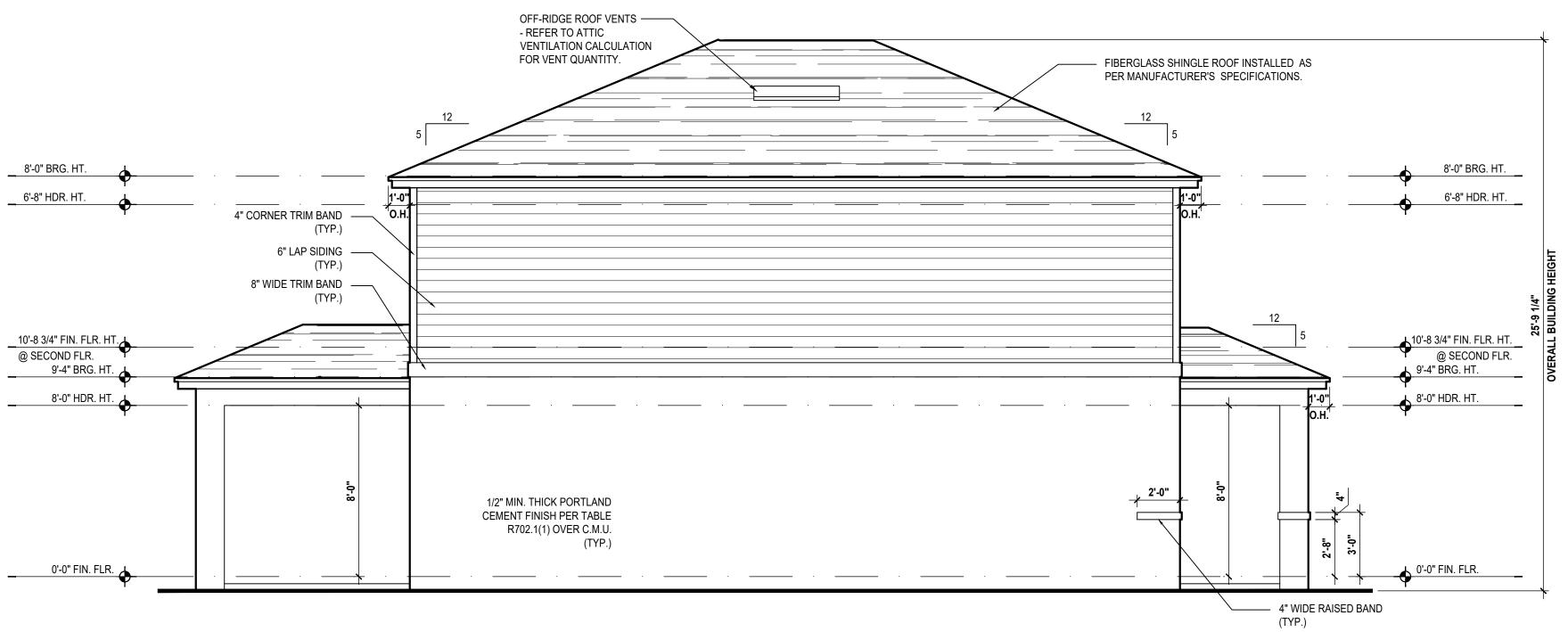
ISSUE DATE 05/09/2023
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.

DESIGNED BY: MJS

ELEVATIONS

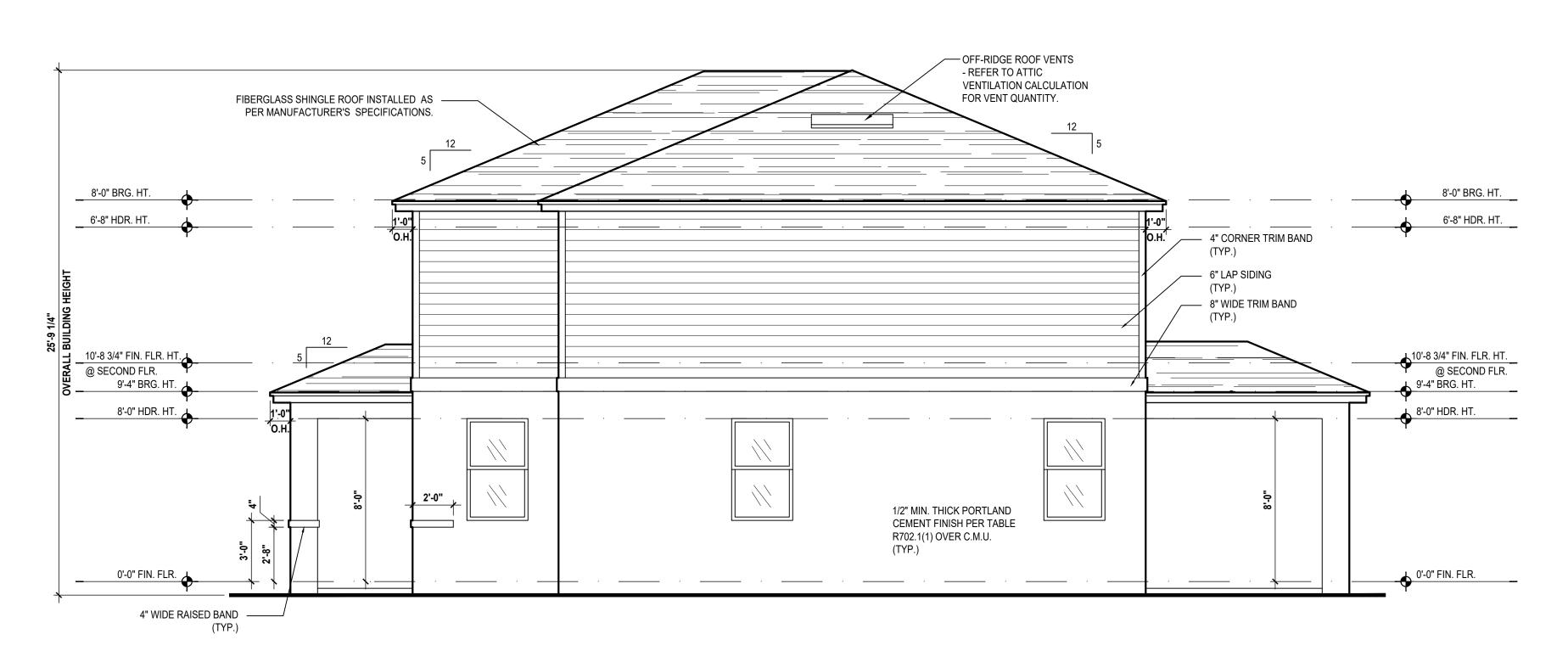
A4.B



Left Elevation "B"

(Opt. Lanai)

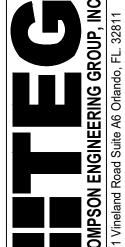
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



THOMPSON E

THOMPSON E

4401 Vineland Ros

ANS, DESIGNS,
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Fax: (407) 734-175

Altamonte Springs, FL. 32'Ph: (407) 629-6711
Fax: (407) 629-6776
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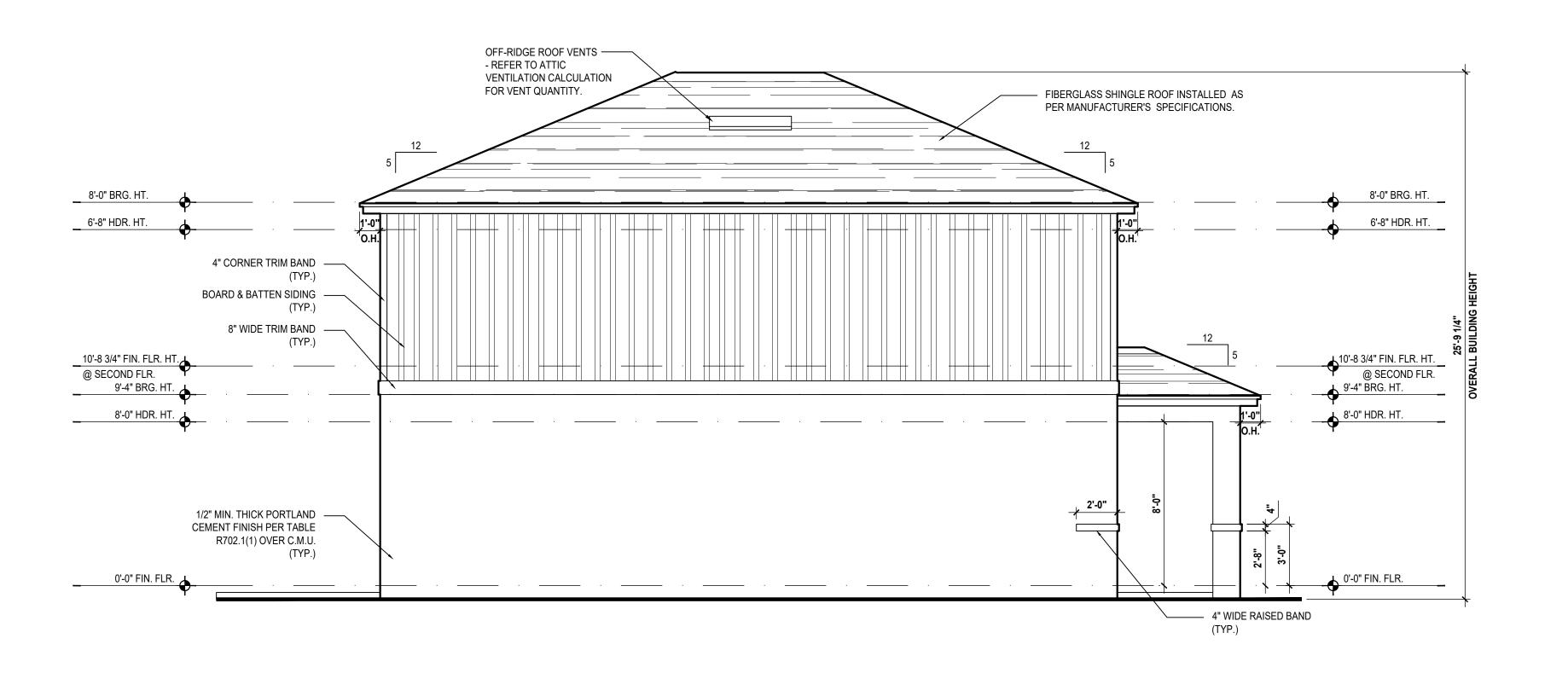
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PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

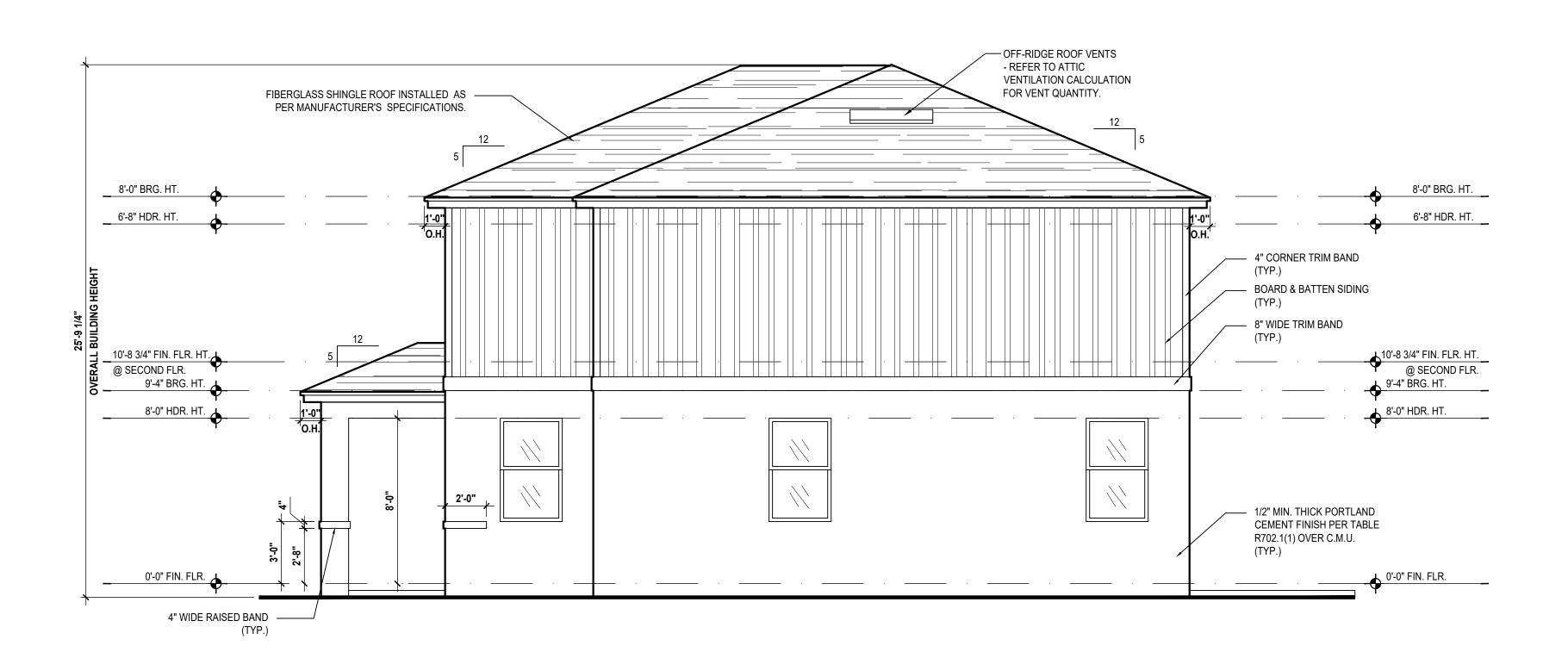
ELEVATIONS A4.B1



Left Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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40-2210

Lot # - Subdivision

Street Address

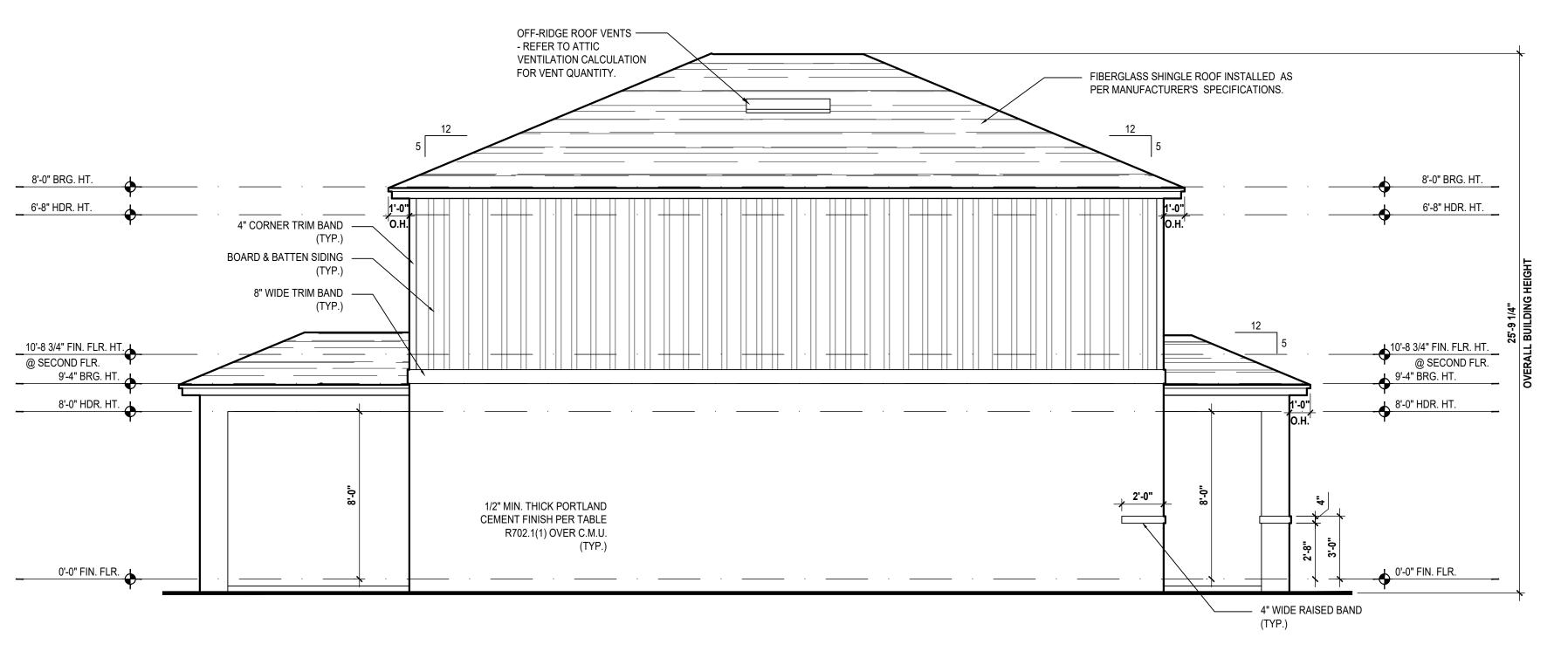
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REVISIONS

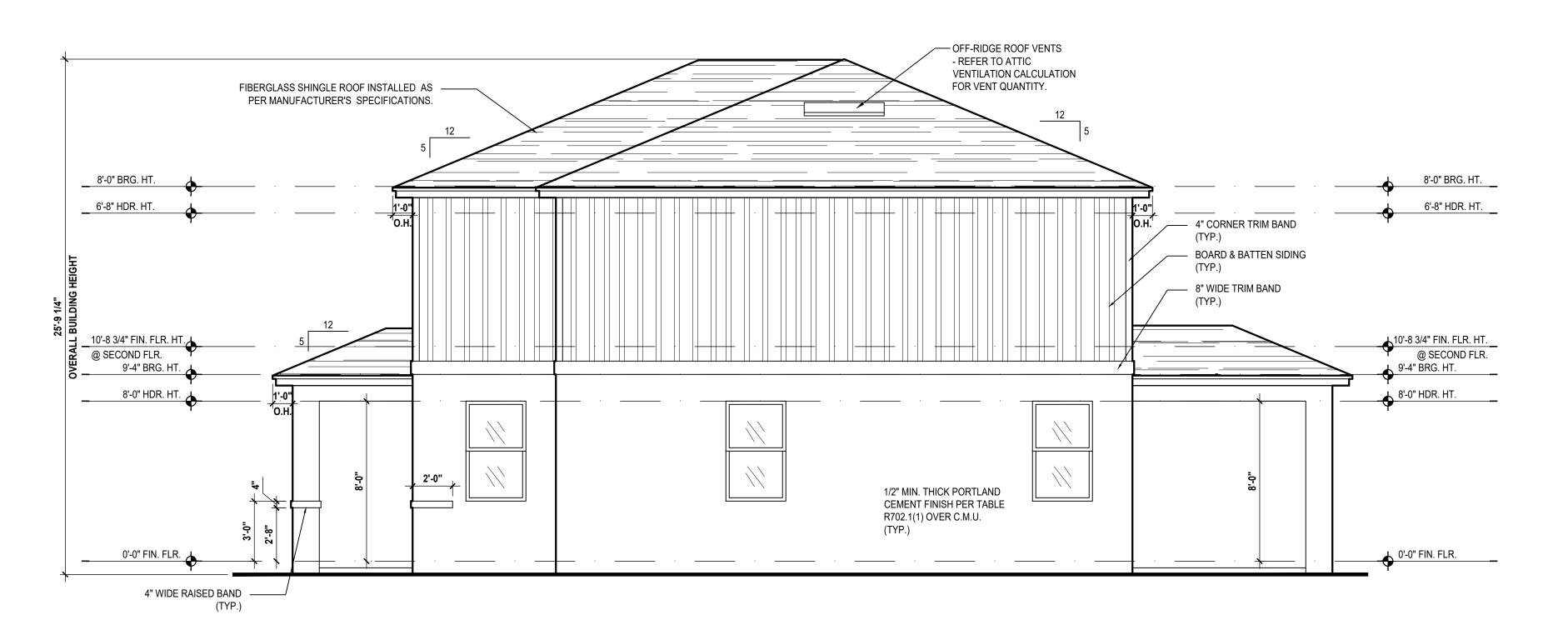
PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ELEVATIONS A4.C



Left Elevation "C"

(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"

(Opt. Lanai) SCALE: $1/8^{\circ} = 1^{\circ} \cdot 0^{\circ} (11 \times 17) 1/4^{\circ} = 1^{\circ} \cdot 0^{\circ} (22 \times 34)$









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40-2210
Lot # - Subdivision
Street Address
City, State. Zip

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Phone: (407) 529-3000



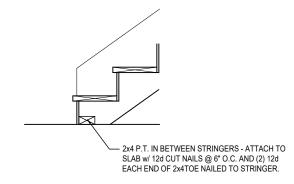
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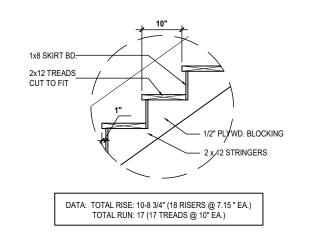
ELEVATIONS A4.C1

NOTES:

- 1. STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 7TH EDITION SECTION R311.7.
- 2. MAX HT. OF RISER TO BE 7 3/4".
- 3. MIN. WIDTH OF TREAD TO BE 9" (EXCLUSIVE OF NOSING.
- 4. ALL TREADS LESS THAN 10" IN WIDTH SHALL HAVE APPROX. 1" OF NOSING.
- 5. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
- 6. 3/8" MAX VARIATION IN ANY RISE/TREAD.
- 7. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" 2" OR TO PROVIDE
- EQUIVALENT GRASPABILITY.
- 8. UNDER MIN. 6" WIDE @NARROW END.9. 34'-38" HANDRAIL HT.
- 10. HEADROOM CLEARANCE MIN 6'-8".

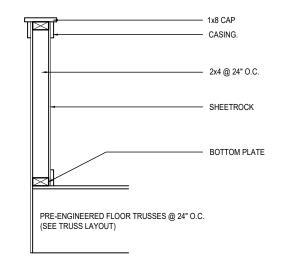


S1 TYP. STAIR CONNECT. A5 SCALE 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22"x34")

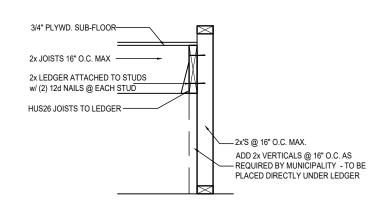


TREAD & RISER DETAIL

A5 SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

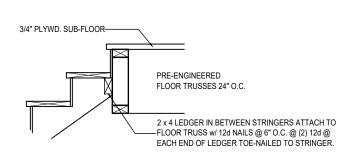


S3 HALF WALL DETAIL SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)

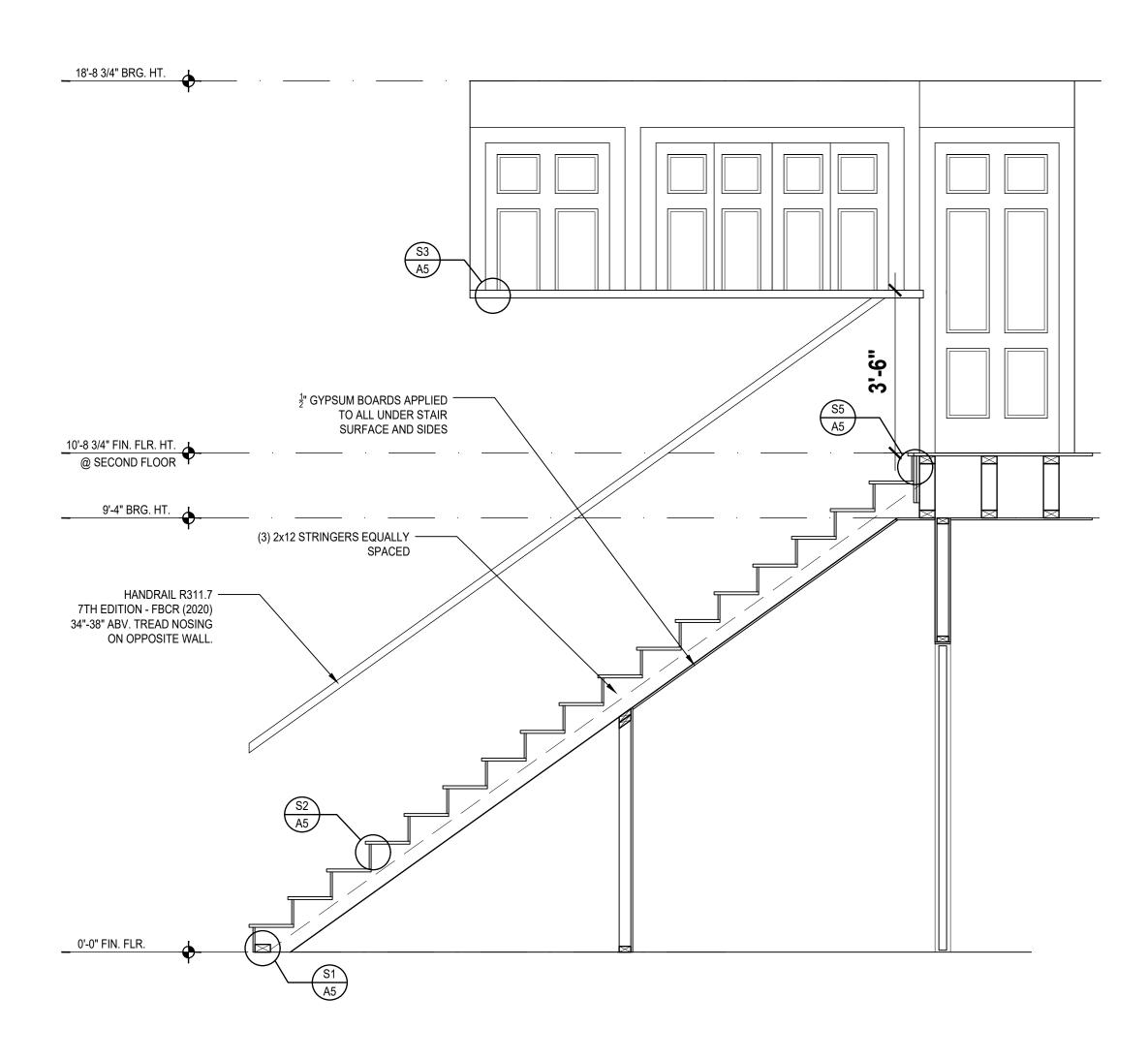


SCALE: 3/4" = 1°-0" (11×17) 1 1/2" = 1°-0" (22×24) BI ATFORM FRAME

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) PLATFORM FRAMING



S5 STAIR CONNECT. @ FLR. TRUSS A5 SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) STRINGER TO FLOOR TRUSS



Stair Section

SCALE: 1/2" = 1'-0" (11x17) 1" = 1'-0" (22x34)



GOBA

40-2210 Lot # - Subdivision

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REVISIONS

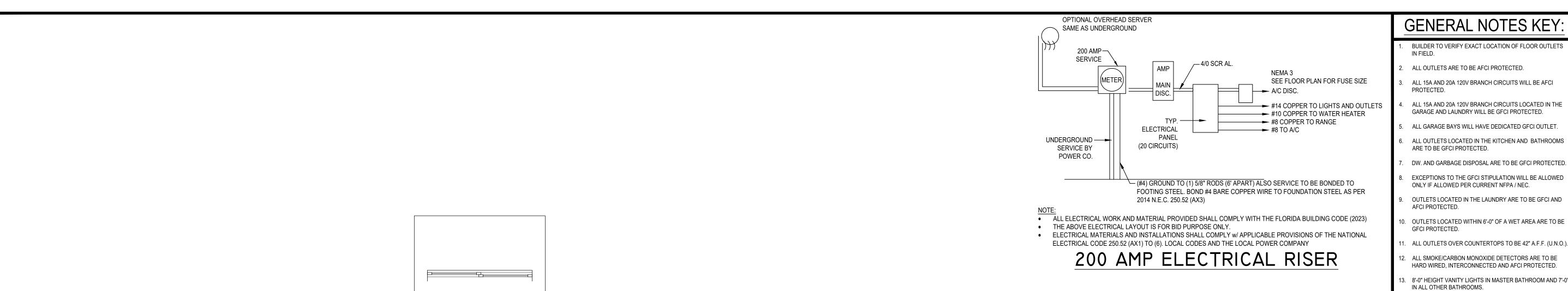
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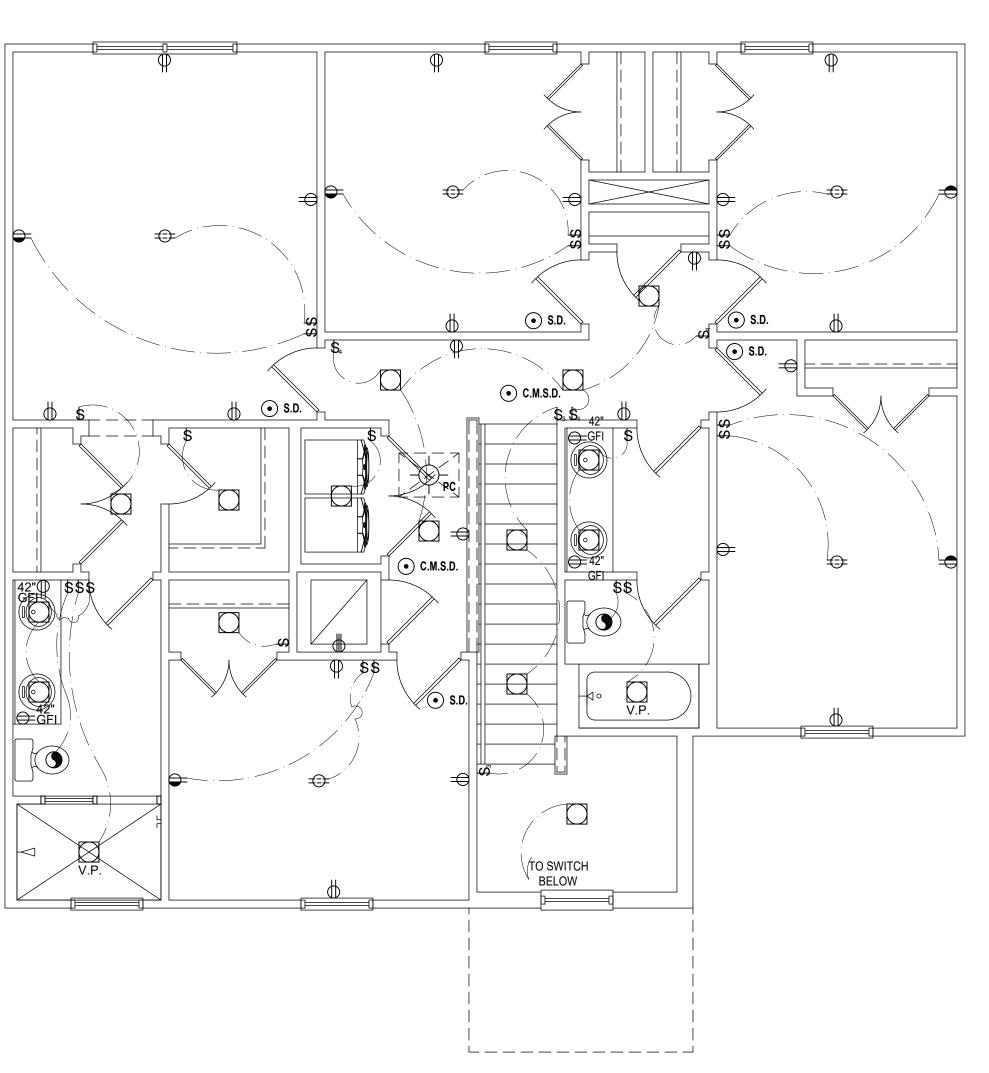
STAIR SECTION

DRAWN BY: S.B. DESIGNED BY: MJS

A5

AS NOTED





ELECTRICAL KEY:

-\rightarrow_PC	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
Ю	WALL MOUNTED LIGHT
	WALL WASH RECESSED
\Rightarrow	DUPLEX RECEPTACLE
#	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
\Rightarrow_{WP}	WATER PROOF RECEPTACLE
\Box	FLOOR RECEPTACLE
=	PRE-WIRE FOR CLG. FAN
\Rightarrow_{GFI}	GROUND FAULT INTERRUPT
\$	WALL SWITCH
\$ ₃	3-WAY SWITCH
\$□	DIMMER SWITCH
H	TELEPHONE JACK
\leftarrow	CABLE JACK
\Box	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
00	CHIME
H●	DOOR BELL / GARAGE DOOR SWITCH
4	DISCONNECT SWITCH
M	ELECTRICAL METER
●S.D.	SMOKE DETECTOR
• C.M.S.D.	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
o&o	CHANDELIER
44	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
Q	GARBAGE DISPOSAL MOTOR
(S)	SPEAKER
①	JUNCTION BOX
• L.V.	LOW VOLTAGE

ARC FAULT PROTECTION

14. IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND

THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL

REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING MUNICIPALITY CODES, STANDARDS AND ORDINANCES.

20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS

LOCATION OF FIXTURES AND / OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE

CODES, AND ORDINANCES.

NOT BE USED ON THIS PLAN.

REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.

ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 2023 (8TH EDITION) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS,

VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY

CEILING MOUNTED LIGHT

First Floor Elec. Plan "A,B,C"

• C.M.S.D.

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

(Standard)

DISPOSAL & DW.

PRE-WIRE

DED. '

- — — — — — — — GLG. — — — — — — — —

EXTRA -

- PENDANT LIGHT

Second Floor Elec. Plan "A,B,C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



THOMPSON ENGINEERIN 4401 Vineland Road Suite A6 Or Ph: (407) 734-1450 Fax: (407) 734-1790

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designers group

GOBA

-2210
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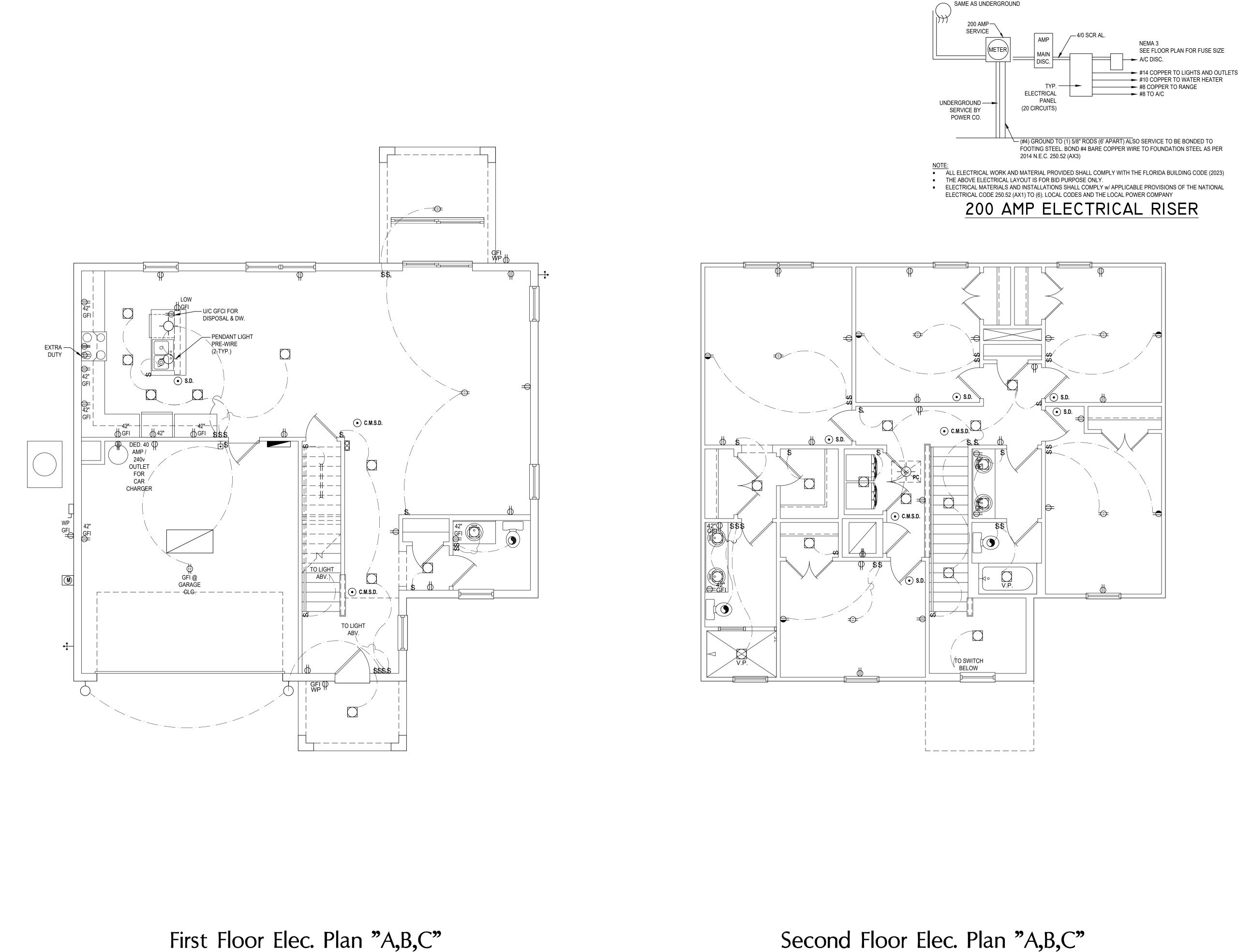
ISSUE DATE 05/09/20
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTE
DRAWN BY: S.B.

DESIGNED BY: MJS

ELECTRICAL LAYOU

A6



(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.)
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 3. 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0'
- 4. IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND
- 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

IN ALL OTHER BATHROOMS.

THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING MUNICIPALITY CODES, STANDARDS AND ORDINANCES.

- LOCATION OF FIXTURES AND / OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.
- ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 2023 (8TH EDITION) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.

ELECTRICAL KEY:

CEILING MOUNTED LIGHT

PULL CHAIN LIGHT

FLUSH-MOUNT LED

WALL MOUNTED LIGHT

WALL WASH RECESSED

DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED

FLOOR RECEPTACLE

3-WAY SWITCH DIMMER SWITCH TELEPHONE JACK

CABLE JACK

FLUORESCENT LIGHT

DISCONNECT SWITCH ELECTRICAL METER SMOKE DETECTOR

C.M.S.D. CARBON MONOXIDE / SMOKE DETECTOR

CEILING FAN

ELECTRICAL PANEL

PRE-WIRE FOR CLG. FAN

GROUND FAULT INTERRUPT

PRE-WIRE GARAGE DOOR OPENER

DOOR BELL / GARAGE DOOR SWITCH

FLUSH MOUNT FLUORESCENT LIGHT

FAN / LIGHT COMBINATION

GARBAGE DISPOSAL MOTOR

JUNCTION BOX LOW VOLTAGE

VAPOR PROOF

ARC FAULT PROTECTION

WATER PROOF RECEPTACLE

VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.







40-2210
Lot # - Subdivision
Street Address
City, State. Zip "DREAM"

> A division of Park Square Enterprises Inc. 200 Vineland Rd. Suite #200



SSUE DATE | 05/09/2023 **REVISIONS**

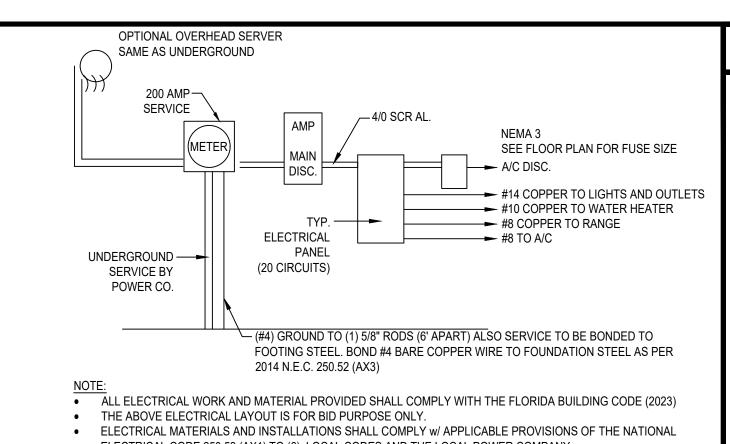
ROJECT: 00-0000 AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS ELECTRICAL LAYOUT A6.1

Second Floor Elec. Plan "A,B,C"

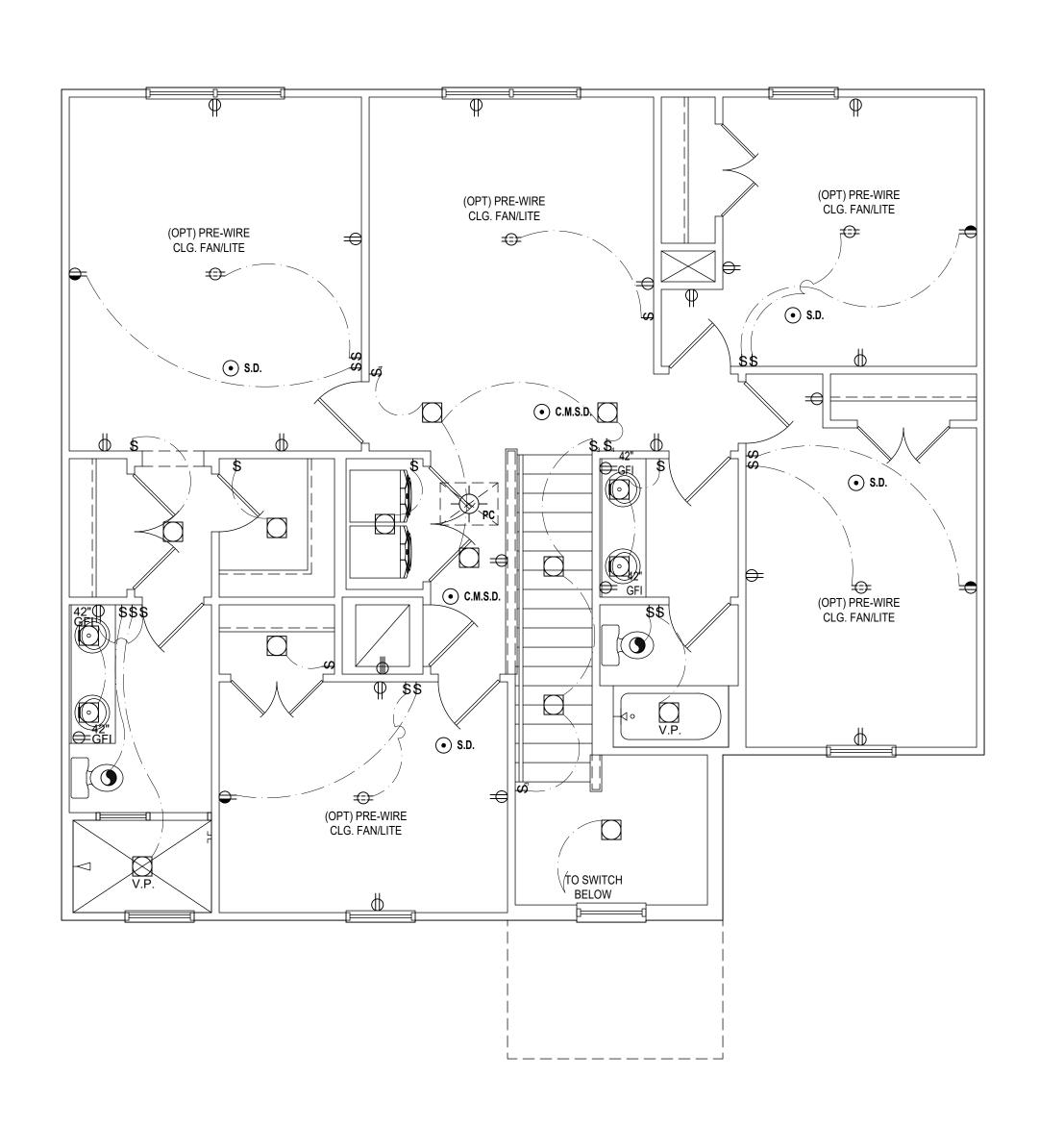
OPTIONAL OVERHEAD SERVER

(Opt. Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



ELECTRICAL CODE 250.52 (AX1) TO (6). LOCAL CODES AND THE LOCAL POWER COMPANY

200 AMP ELECTRICAL RISER



First Floor Elec. Plan "A,B,C"

TO LIGHT ABV.

• C.M.S.D.

(Opt. Loft) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

42" | GFI |

AMP /

CHARGER

GARAGE

EXTRA -

DISPOSAL & DW.

PRE-WIRE

- PENDANT LIGHT

(OPT) PRE-WIRE

CLG. FAN/LITE

Second Floor Elec. Plan "A,B,C"

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.)
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 3. 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0'
- 4. IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED

TAMPER-RESISTANT RECEPTACLES.

IN ALL OTHER BATHROOMS.

THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING MUNICIPALITY CODES, STANDARDS AND ORDINANCES.

- LOCATION OF FIXTURES AND / OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.
- ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 2023 (8TH EDITION) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
- VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

ELECTRICAL KEY:

CEILING MOUNTED LIGHT

PULL CHAIN LIGHT

FLUSH-MOUNT LED

WALL MOUNTED LIGHT

WALL WASH RECESSED

DUPLEX RECEPTACLE 220 V RECEPTACLE 1/2 HOT, 1/2 SWITCHED

FLOOR RECEPTACLE

3-WAY SWITCH DIMMER SWITCH TELEPHONE JACK

CABLE JACK

FLUORESCENT LIGHT

DISCONNECT SWITCH ELECTRICAL METER SMOKE DETECTOR C.M.S.D. CARBON MONOXIDE / SMOKE DETECTOR

CEILING FAN

ELECTRICAL PANEL

PRE-WIRE FOR CLG. FAN

GROUND FAULT INTERRUPT

PRE-WIRE GARAGE DOOR OPENER

DOOR BELL / GARAGE DOOR SWITCH

FLUSH MOUNT FLUORESCENT LIGHT

FAN / LIGHT COMBINATION

GARBAGE DISPOSAL MOTOR

JUNCTION BOX

LOW VOLTAGE

VAPOR PROOF

ARC FAULT PROTECTION

• L.V

WATER PROOF RECEPTACLE



GOBA

40-2210
Lot # - Subdivision
Street Address
City, State. Zip "DREAM"

A division of Park Square Enterprises Inc. 200 Vineland Rd. Suite #200

Orlando, Fl. 32811



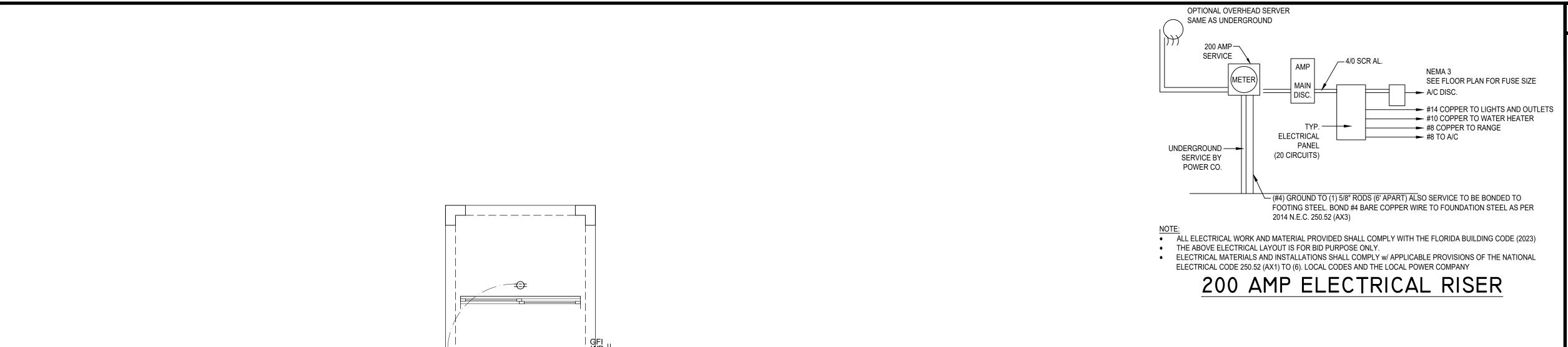
SSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS ELECTRICAL LAYOUT

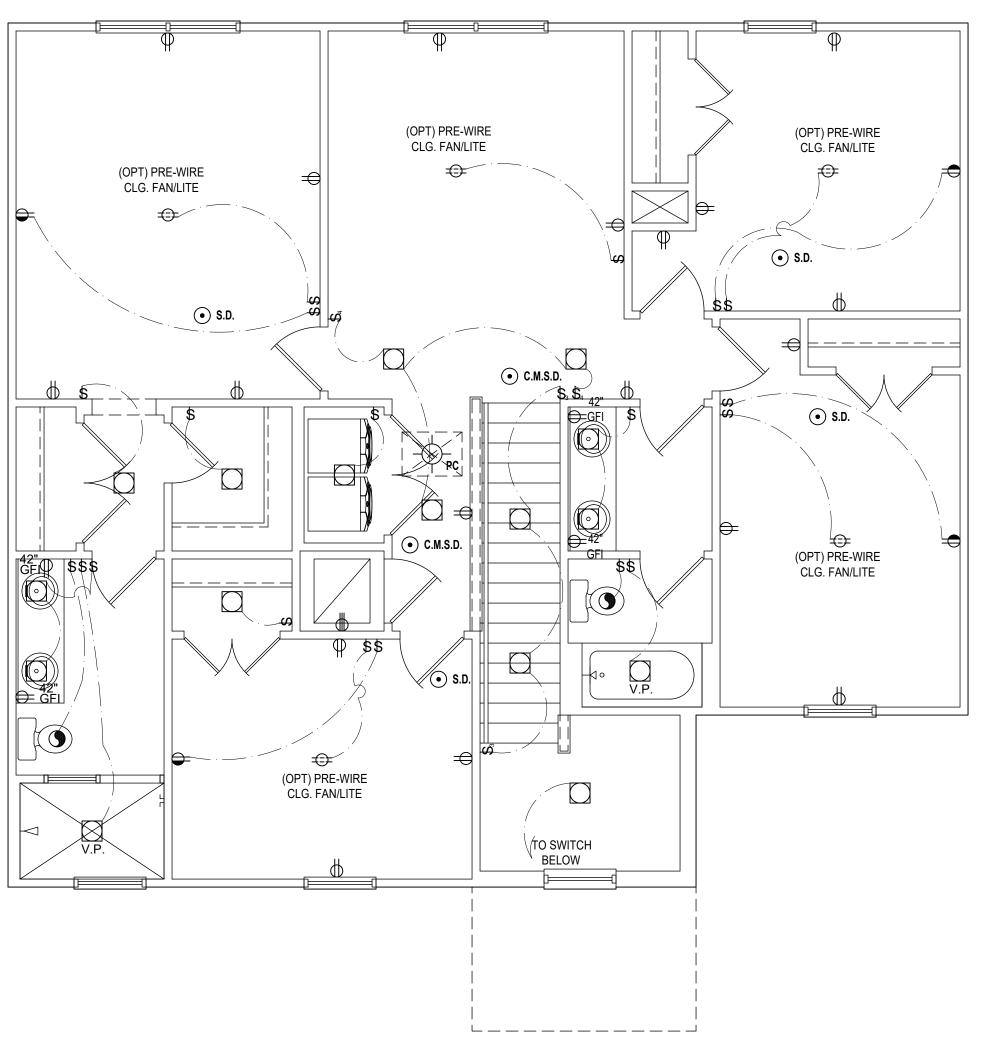
A6.2

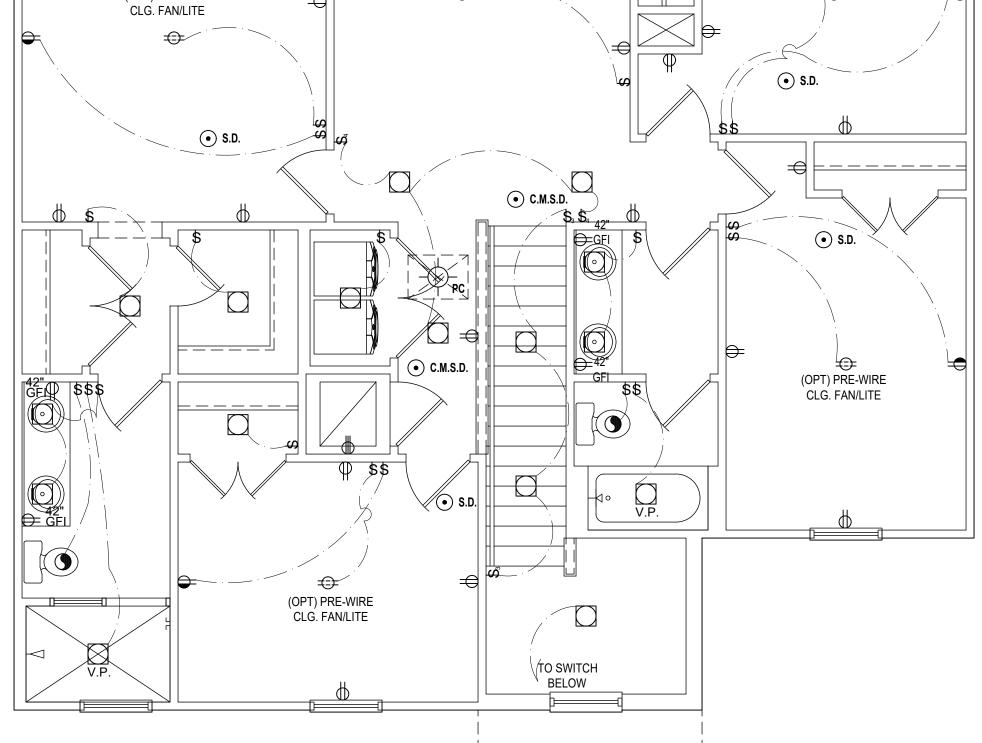
(Opt. Loft)



(OPT) PRE-WIRE

CLG. FAN/LITE





First Floor Elec. Plan "A,B,C"

TO LIGHT ABV.

• C.M.S.D.

(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

DISPOSAL & DW.

PRE-WIRE

CHARGER

GARAGE

EXTRA -

- PENDANT LIGHT

(Opt. Loft & Lanai) SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS

ARE TO BE GFCI PROTECTED.

- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.)
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REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING

EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS

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DISCONNECT SWITCH ELECTRICAL METER SMOKE DETECTOR

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FLUSH MOUNT FLUORESCENT LIGHT

FAN / LIGHT COMBINATION

GARBAGE DISPOSAL MOTOR

JUNCTION BOX

LOW VOLTAGE

VAPOR PROOF

ARC FAULT PROTECTION

• L.V

VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.







GOBA

40-2210
Lot # - Subdivision
Street Address
City, State. Zip "DREAM"

A division of Park Square Enterprises Inc. 200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



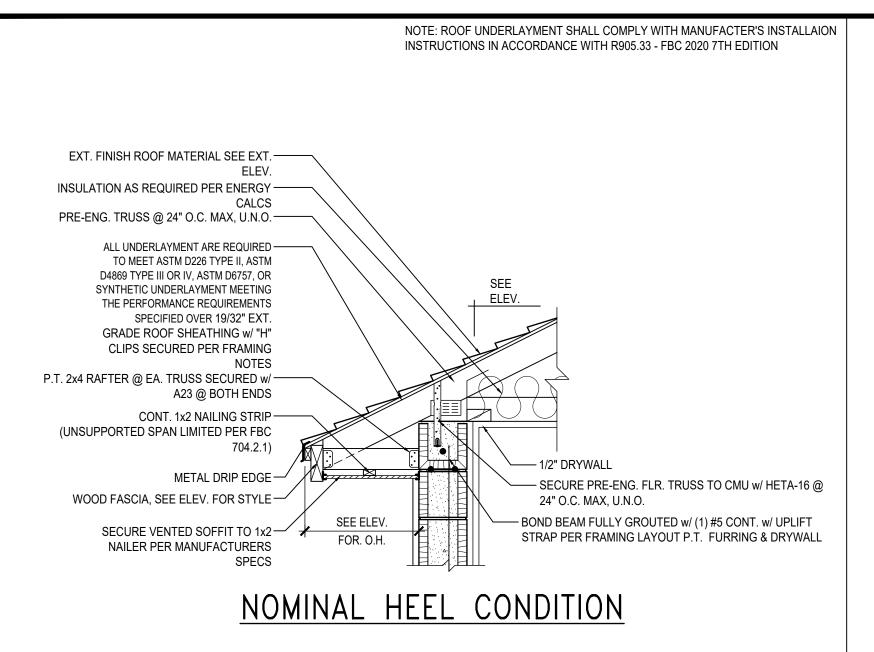
SSUE DATE | 05/09/2023 **REVISIONS**

ROJECT: 00-0000 AS NOTED

DRAWN BY: S.B. DESIGNED BY: MJS

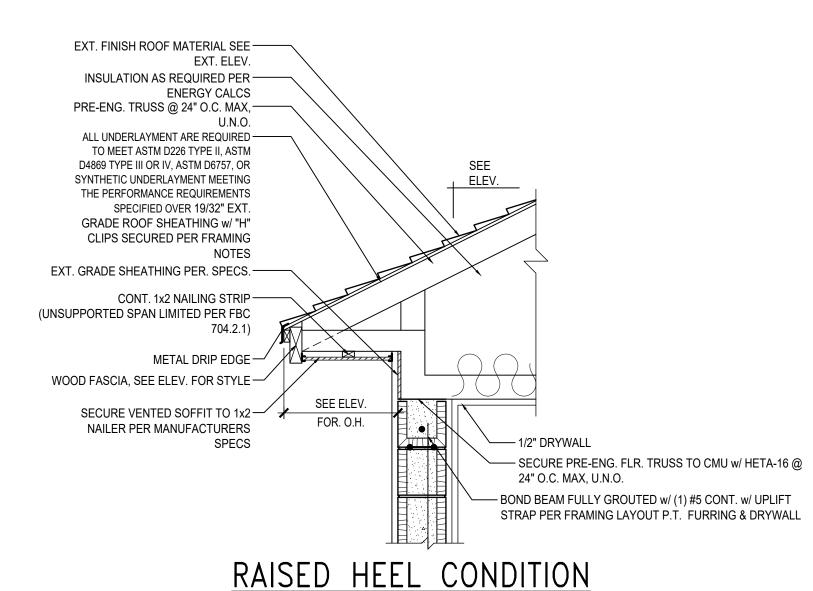
ELECTRICAL LAYOUT A6.3

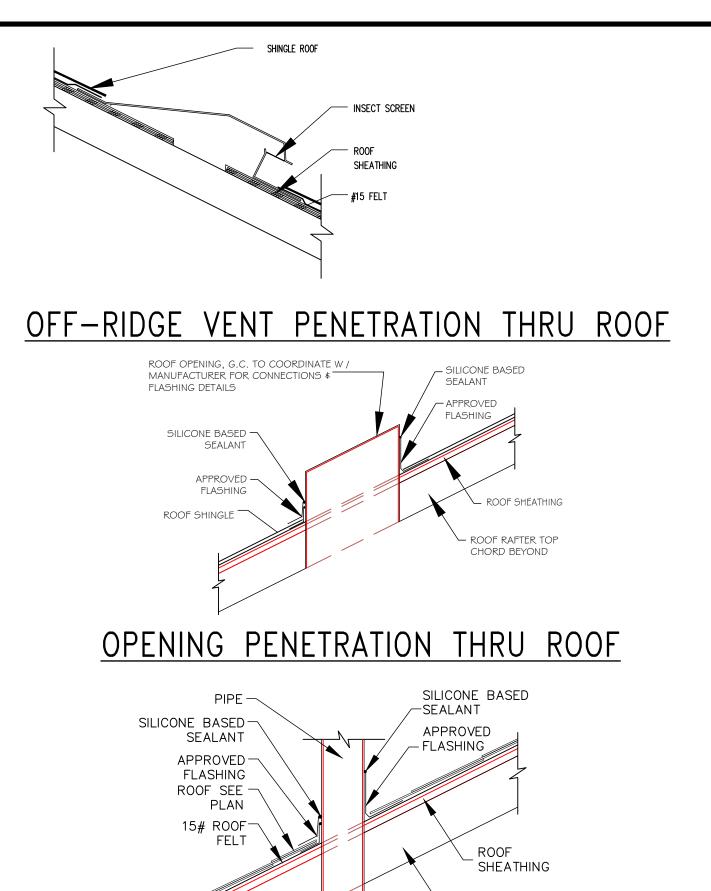
Second Floor Elec. Plan "A,B,C"

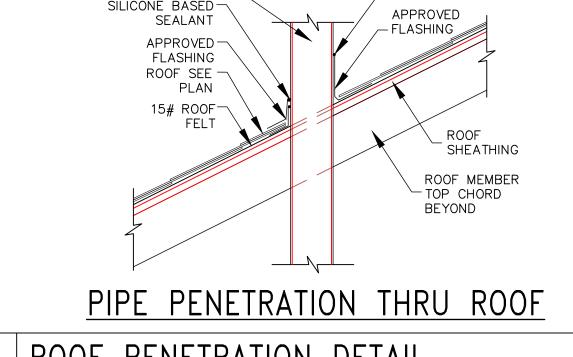


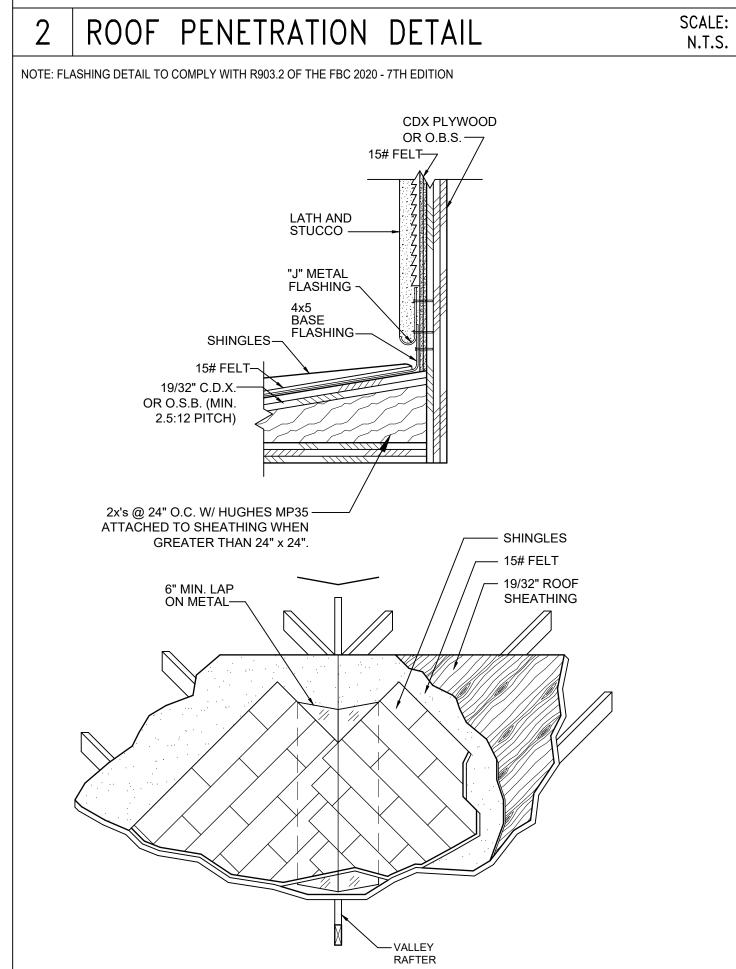
EXT. FINISH ROOF MATERIAL SEE -EXT. ELEV. INSULATION AS REQUIRED PER -**ENERGY CALCS** PRE-ENG. TRUSS @ 24" O.C. MAX, -ALL UNDERLAYMENT ARE REQUIRED -TO MEET ASTM D226 TYPE II, ASTM D4869 TYPE III OR IV, ASTM D6757, OR SYNTHETIC UNDERLAYMENT MEETING THE PERFORMANCE REQUIREMENTS SPECIFIED OVER 19/32" EXT. GRADE ROOF SHEATHING w/ "H" CLIPS SECURED PER FRAMING CONT. 1x2 NAILING STRIP-(UNSUPPORTED SPAN LIMITED PER FBC 704.2.1) METAL DRIP EDGE — WOOD FASCIA, SEE ELEV. FOR STYLE -SECURE VENTED SOFFIT TO 1x2 - SECURE PRE-ENG. FLR. TRUSS TO CMU w/ HETA-16 @ NAILER PER MANUFACTURERS SEE ELEV. 24" O.C. MAX, U.N.O. FOR. O.H. - BOND BEAM FULLY GROUTED w/ (1) #5 CONT. w/ UPLIFT STRAP PER FRAMING LAYOUT P.T. FURRING & DRYWALL

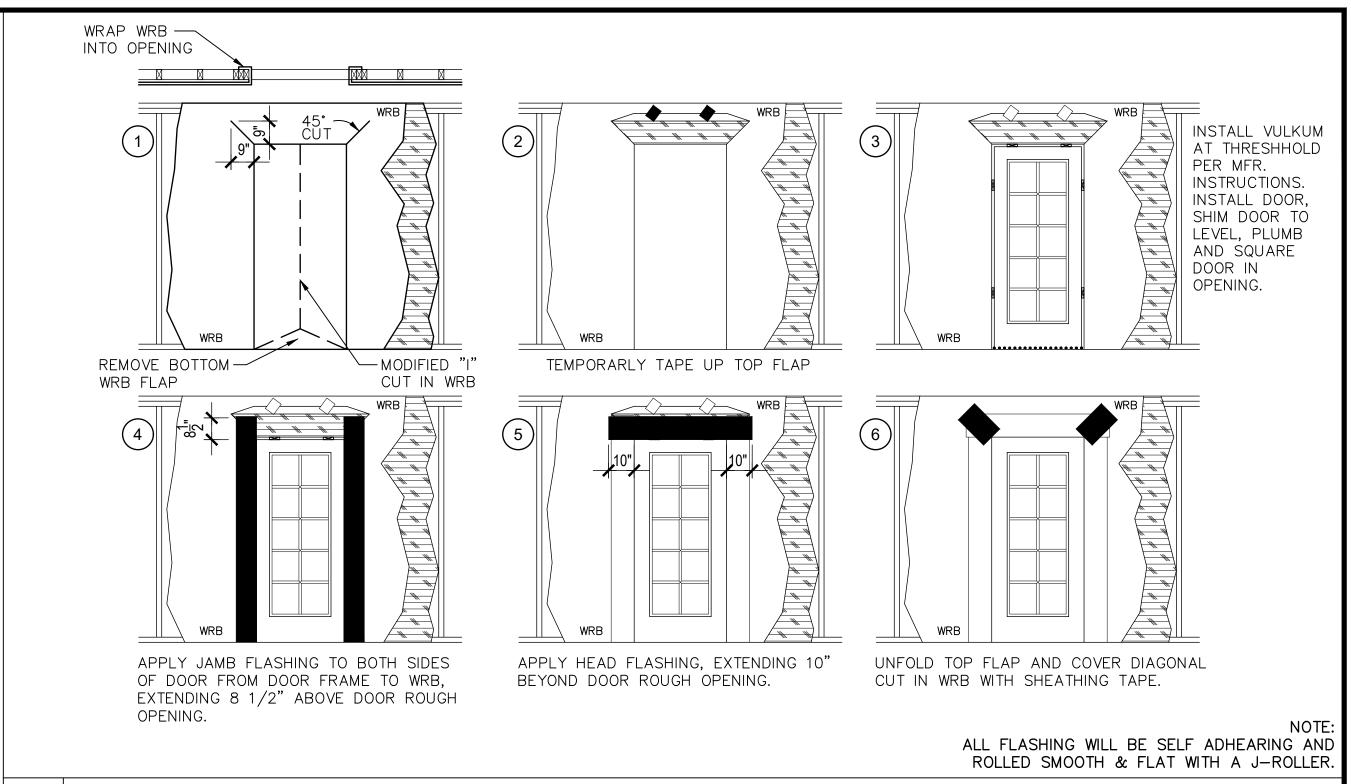
CANTILEVERED BTM. CHORD CONDITION







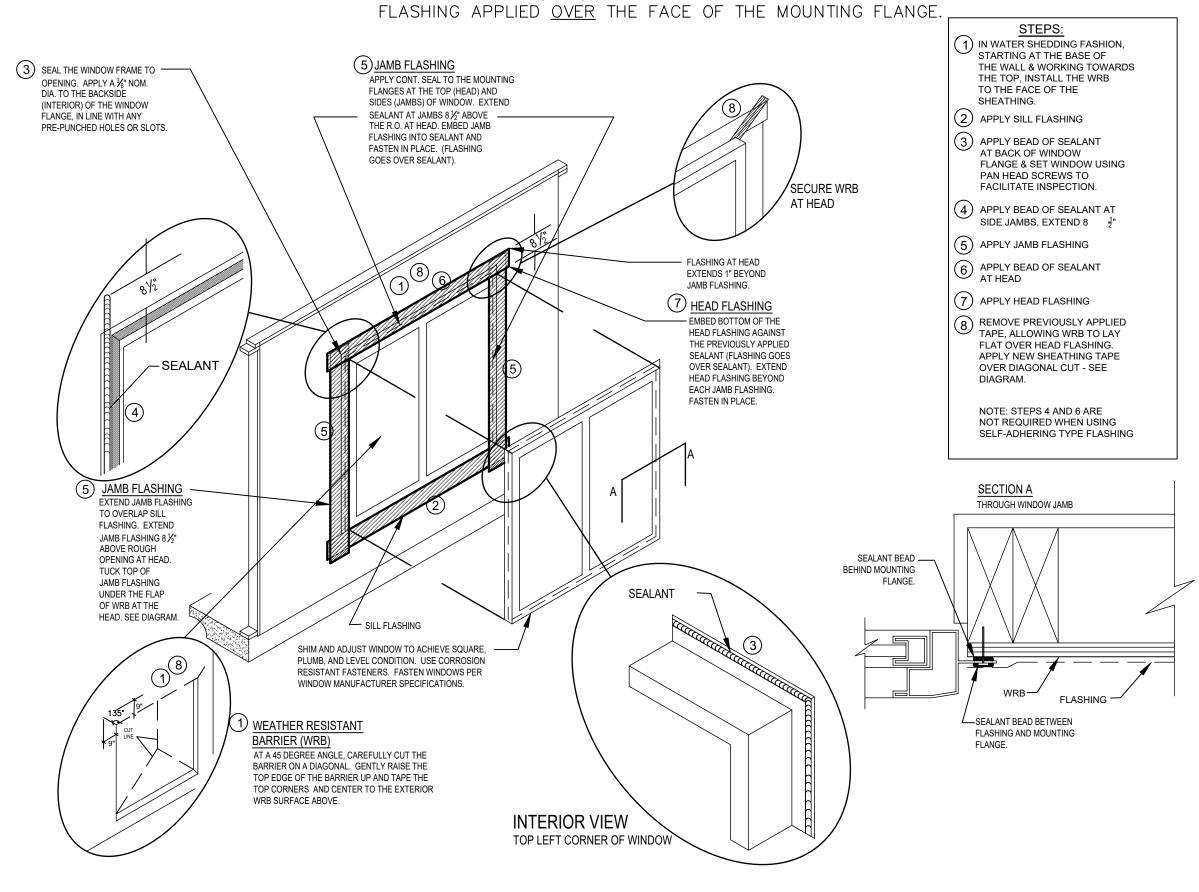




EXTERIOR DOOR FLASHING

WINDOW INSTALLATION (METHOD A-1) (ASTM E 2112-01)

WEATHER RESITIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION.



ALL FLASHING WILL BE SELF ADHEARING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B. DESIGNED BY: MJS **DETAILS A7**

SOFFIT OVERHANG DETAIL

SCALE: 3 CRICKET/FLASHING DETAIL

SCALE: N.T.S.

WINDOW FLASHING "METHOD A-1"

SCALE

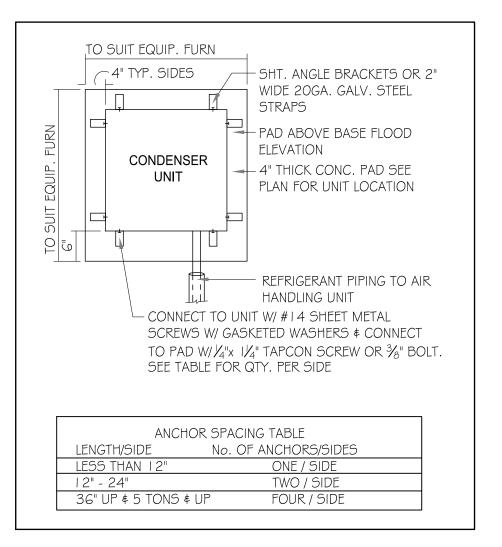
GOBA

10 40-22 Lot # - Subdiv

"DREAM" A division of Park Square Enterprises Inc.

200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000

SSUE DATE | 05/09/2023 **REVISIONS**



COND. ANCHOR DETAIL

FIELD REPAIR NOTES

I - MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4" + - REQUIRE SPECIAL ENGINEERING LETTER

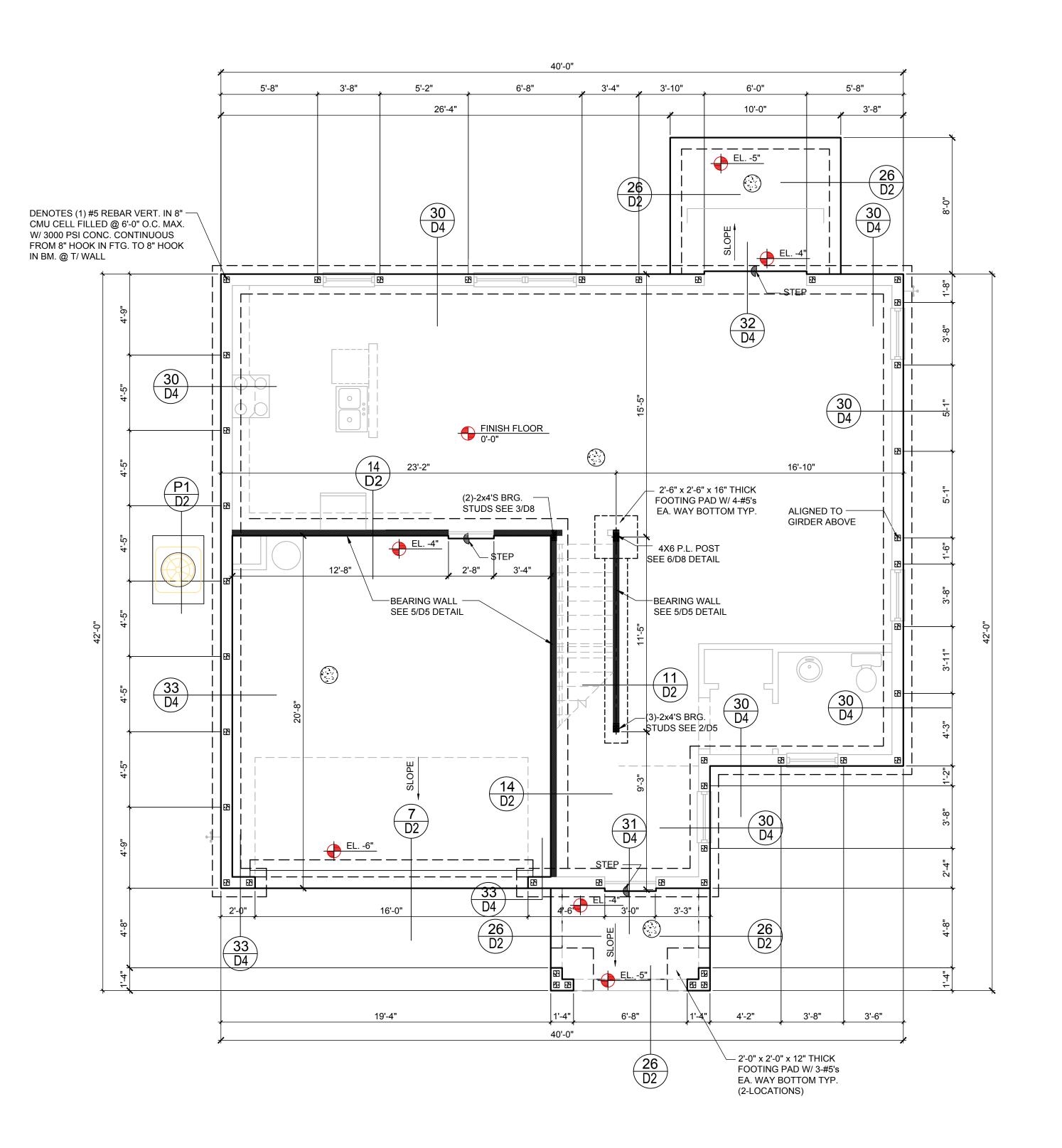
3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS 1 2 @ TOP AND BOTTOM PLATE.

VERIFICATION OF FIELD CONDITIONS:

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATIVE TO SAME. WHERE THERE ARE CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND DATA PRESENTED IN THE DRAWINGS, SUCH CONDITIONS SHALL BE CALLED TO THE ARCHITECT'S AND OR TO THE ENGINEER OF RECORD'S (EOR) ATTENTION AND NECESSARY ADJUSTMENTS MADE PER THEIR INSTRUCTIONS.

FOUNDATION NOTES

- I. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- 2. DENOTES FILL CELL REINF. W/ CONC. W/ 1-#5 REBAR. GRADE 60. DENOTES FILL CELL RE NE_ W/ CONC. W/ 2-#5 REBAR. GRADE 60
- 3. DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 3000 P.S. I.
 4" THICK WITH 6X6 I 0/10 GAUGE REINFORCING MAT. W/ MIN.
 I" COVER TERMITE TREATED SOIL WITH 0.006mm (6mil)
 POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL.
 WWF SHALL BE PLACE IN MIDDLE TO UPPER THIRD OF SLAB AND
 SUPPORTED ON APPROVED SLAB BOLSTERS. *FIBER MESH
 REINFORCEMENT MAY USED AS ALTERNATIVE TO WIRE.
- 4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
- 5. WATER HEATER T&P RELIEF VALVE SHALL E FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL 6 I -FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AFFROVED THERMAL EXPANSION DEVICE
- G. PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
- 7. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- 8. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
- 9. BORA -CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.



FOUNDATION PLAN
A,B & C (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



tamonte Springs, FL. 32701 1: (407) 629-6711 ax: (407) 629-6776 ww.mjshomedesigns.com







**No. 10EAS AND DESIGN, THE RD PARTY WITHOUT FIRST OB "DREAM"

40-2210

Lot # - Subdivision Street Address City, State. Zip

A division of Park Square
Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, Fl. 32811



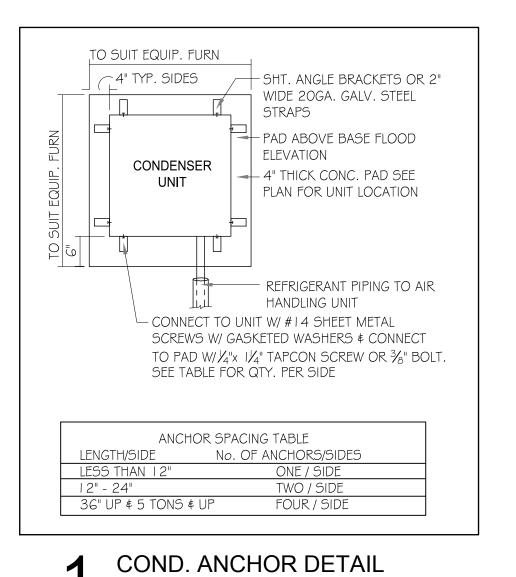
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.

DESIGNED BY: MJS

FOUNDATION PLAN
C

FOUNDATION C



N.T.S.

FIELD REPAIR NOTES

I - MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 11/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 11/4"+ - REQUIRE SPECIAL ENGINEERING LETTER

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FOUNDATION NOTES

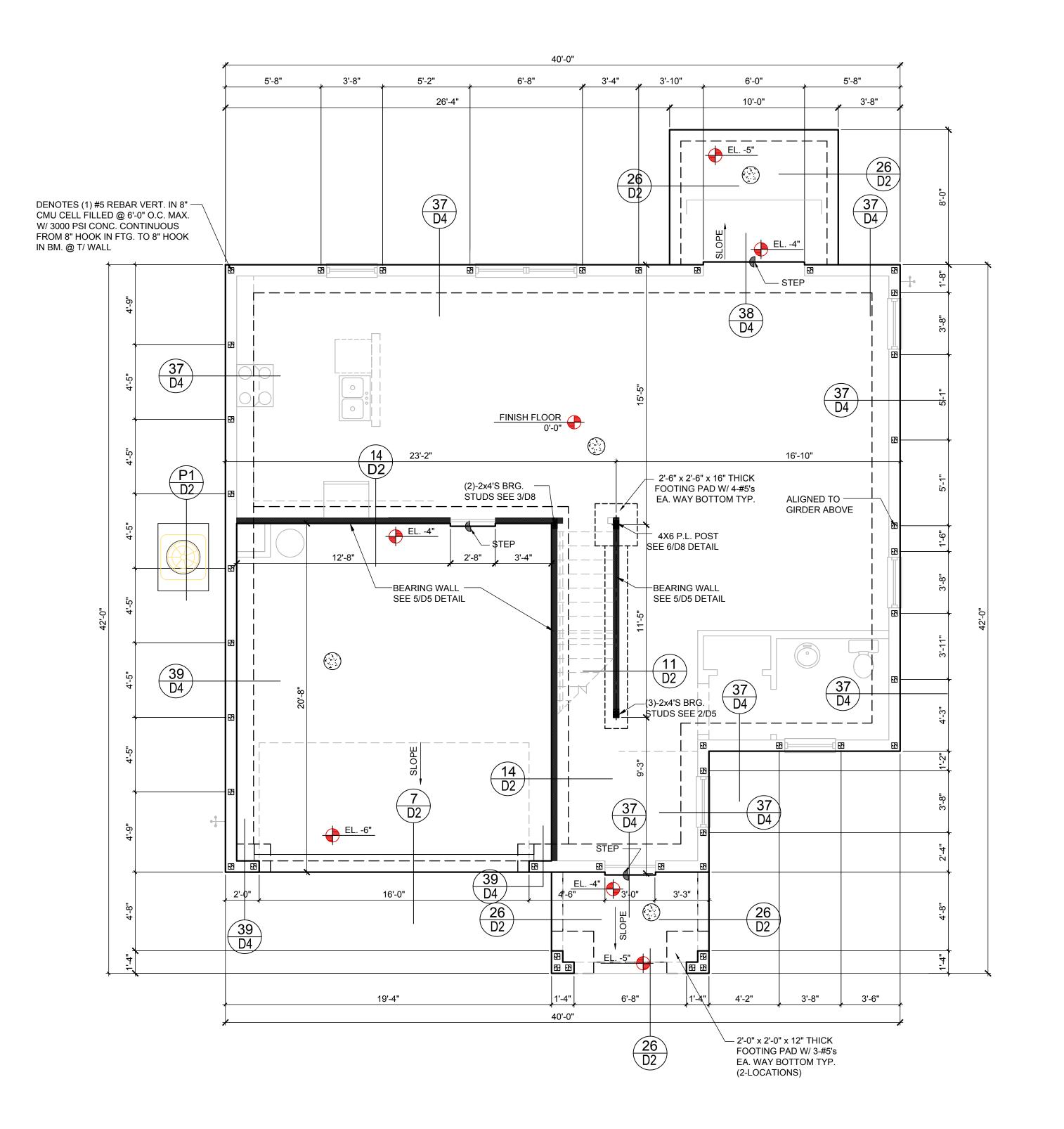
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 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. W/ MIN.

 I" COVER TERMITE TREATED SOIL WITH 0.006mm (6mil)

 POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL.

 WWF SHALL BE PLACE IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. *FIBER MESH REINFORCEMENT MAY USED AS ALTERNATIVE TO WIRE.
- 4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
- 5. WATER HEATER T&P RELIEF VALVE SHALL E FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL 61-FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AFFROVED THERMAL EXPANSION DEVICE
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- 9. BORA -CARE TO BE APPLIED ON INTERIOR WALLS W/
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 PURSUANT FLORIDA BUILDING CODE LATEST EDITION.
- 10. WOOD STAIRS STRINGERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER OR SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD PER FBC R317.1



FOUNDATION PLAN
A,B & C (STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



Altamonte Springs, FL. 3270 Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjshomedesigns.com







"DREAM"

"DREAM"

40-2210

Lot # - Subdivision

Street Address

City, State. Zip

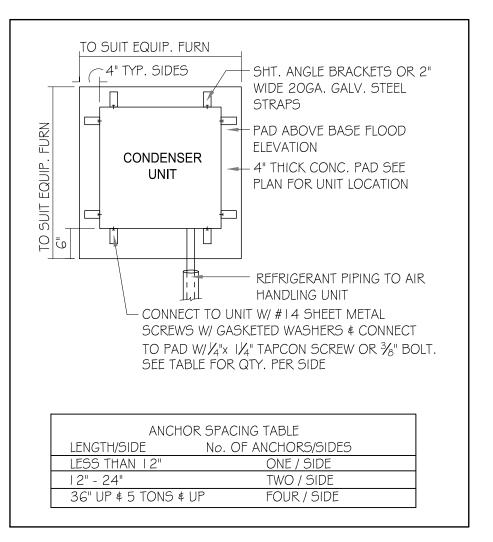
A division of Park Square Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



REVISIONS

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

FOUNDATION PLAN C



COND. ANCHOR DETAIL

FIELD REPAIR NOTES

I - MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

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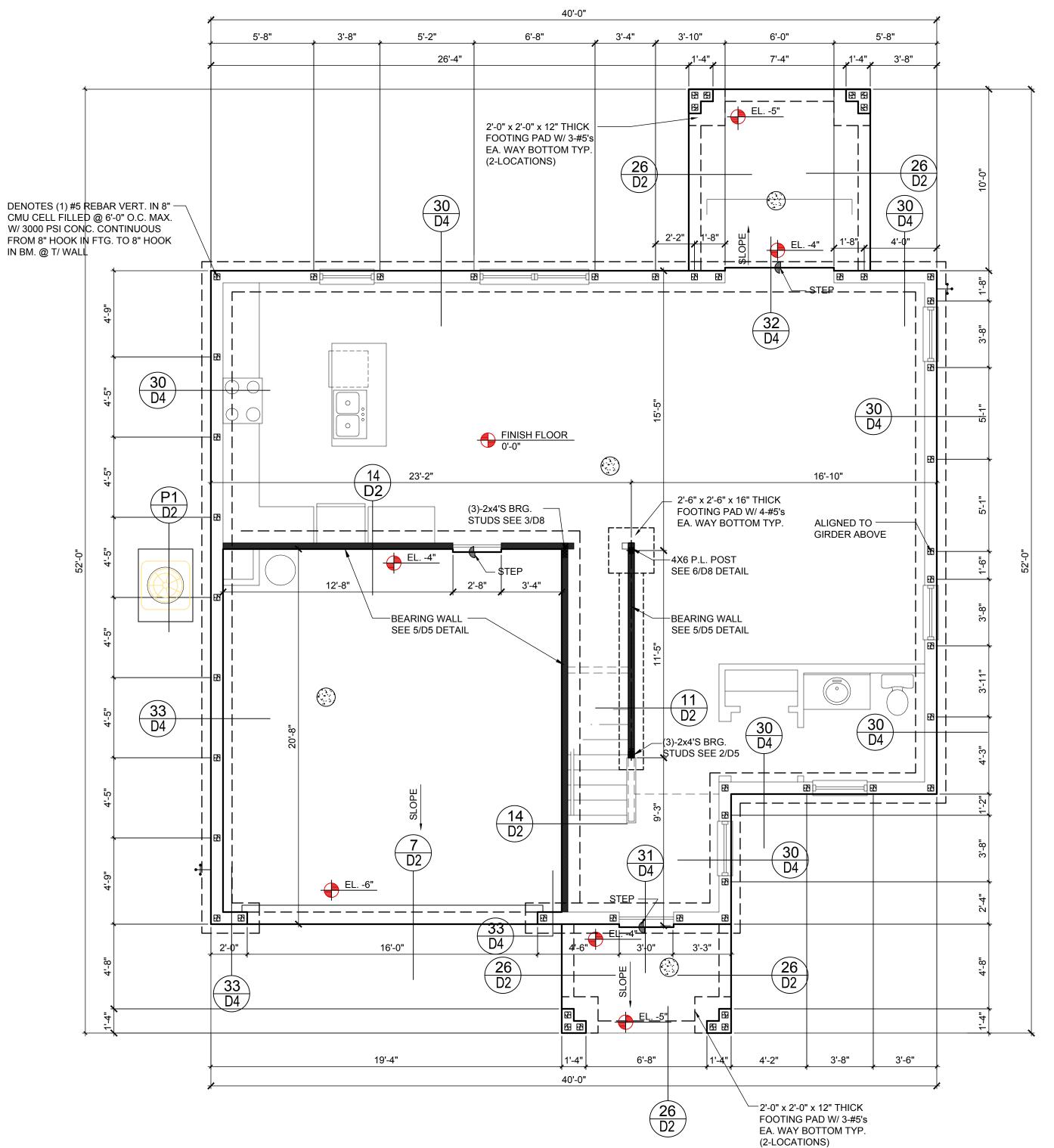
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 I" COVER TERMITE TREATED SOIL WITH 0.006mm (6mil)
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FOUNDATION PLAN
A, B & C (OPT. LANAI)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

MPSON ENGINEERING GROUP, INC

Itamonte Springs, FL. 32701 h: (407) 629-6711 ax: (407) 629-6776 ww.mjshomedesigns.com







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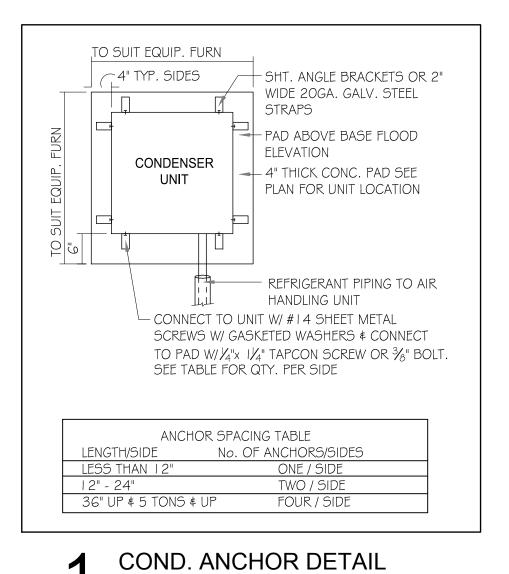
A division of Park Square Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811



SSUE DATE 05/09/2023
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

FOUNDATION PLAN A (STANDARD)



FIELD REPAIR NOTES

1 - MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX

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2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 11/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 11/4"+ - REQUIRE SPECIAL ENGINEERING

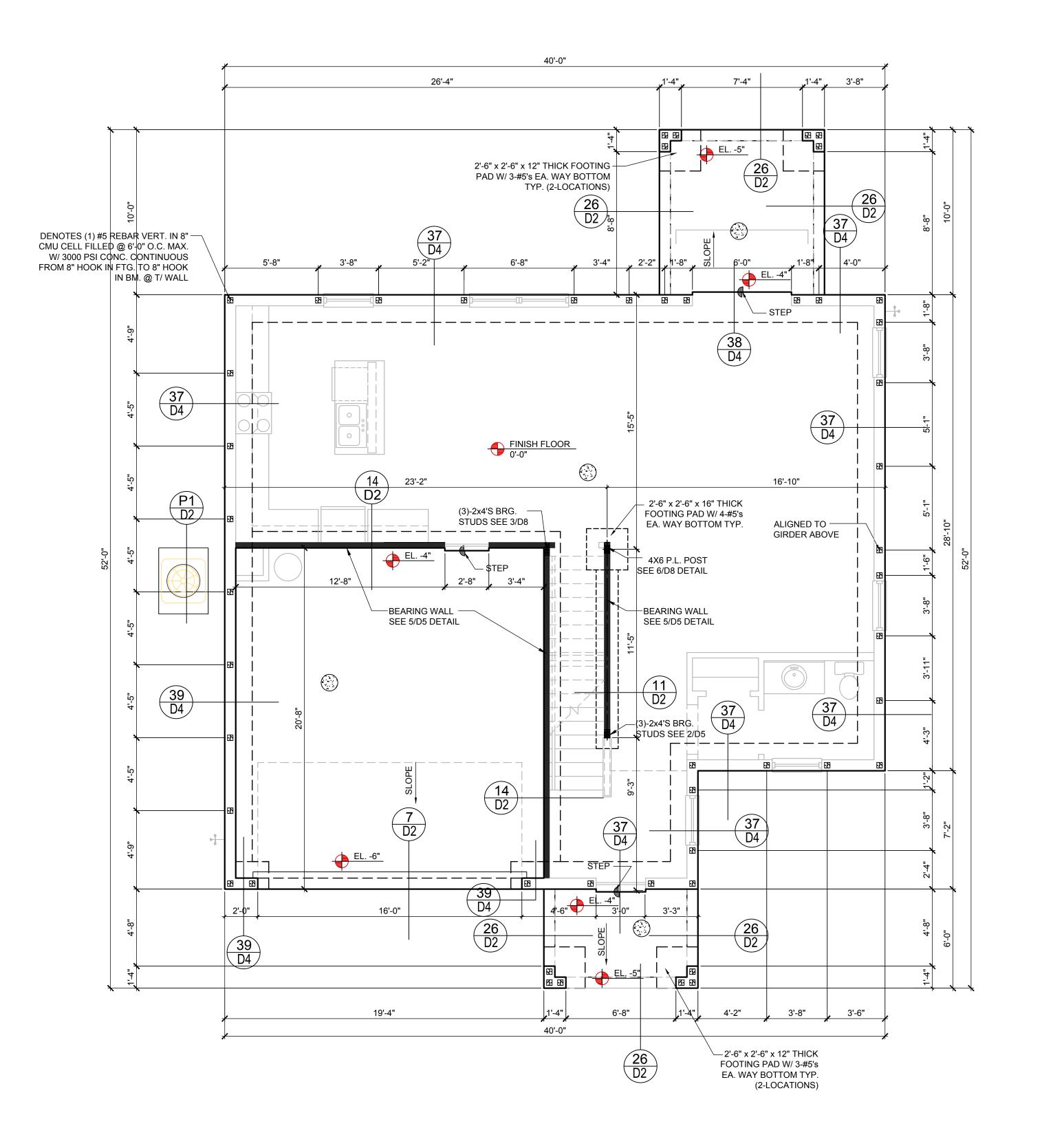
3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS 1 2 @ TOP AND BOTTOM PLATE.

VERIFICATION OF FIELD CONDITIONS:

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATIVE TO SAME. WHERE THERE ARE CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND DATA PRESENTED IN THE DRAWINGS, SUCH CONDITIONS SHALL BE CALLED TO THE ARCHITECT'S AND OR TO THE ENGINEER OF RECORD'S (EOR) ATTENTION AND NECESSARY ADJUSTMENTS MADE PER THEIR INSTRUCTIONS.

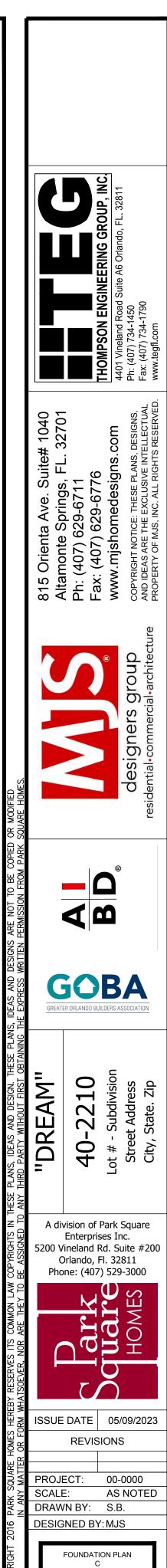
FOUNDATION NOTES

- I. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- 2. DENOTES FILL CELL REINF. W/ CONC. W/ I #5 REBAR. GRADE 60. (■) DENOTES FILL CELL RE NE_ W/ CONC. W/ 2-#5 REBAR. GRADE 60
- 3. DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 3000 P.S. I.
 4" THICK WITH 6X6 I 0/I 0 GAUGE REINFORCING MAT. W/ MIN.
 I" COVER TERMITE TREATED SOIL WITH 0.006mm (6mil)
 POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL.
 WWF SHALL BE PLACE IN MIDDLE TO UPPER THIRD OF SLAB AND
 SUPPORTED ON APPROVED SLAB BOLSTERS. *FIBER MESH
 REINFORCEMENT MAY USED AS ALTERNATIVE TO WIRE.
- 4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
- 5. WATER HEATER T#P RELIEF VALVE SHALL E FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL 6 I -FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AFFROVED THERMAL EXPANSION DEVICE
- 6. PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
- 7. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- 8. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
- 9. BORA -CARE TO BE APPLIED ON INTERIOR WALLS W/
 MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS,
 PURSUANT FLORIDA BUILDING CODE LATEST EDITION.
- 10. WOOD STAIRS STRINGERS IN CONTACT WITH CONCRETE SHALL BE PROTECTED BY AN IMPERVIOUS MOISTURE BARRIER OR SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD PER FBC R3 | 7. |



FOUNDATION PLAN

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



S1.2

SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS 8" PRECAST & PRESTRESSED U-LINTELS **GRAVITY** 8F8-0B 8F12-0B 8F16-0B 8F20-0B 8F24-0B 8F28-0B 8F32-0B LENGTH 8F8-1B 8F12-1B 8F16-1B 8F20-1B 8F24-1B 8F28-1B 8F32-1B 2'-10" (34") PRECAST 8F8-1B/1T 8F8-0B/1T 8RF14-1B/1T 8F16-0B/1T 8F20-1B/1T 8F24-1B/1T TYPE DESIGNATION 3'-6" (42") PRECAST 4'-0" (48") PRECAST 4'-6" (54") PRECAST 2170 4027 6039 7526 9004 10472 9668 F = FILLED WITH GROUT / U = UNFILLED 1301 5'-4" (64") PRECAST QUANTITY OF #5 REBAR AT 1665 2889 5057 6096 5400 6424 7450 BOTTOM OF LINTEL CAVITY 5'-10" (70") PRECAST 2464 4144 5458 4437 5280 6122 3263 2746 3358 3971 4585 8F16-1B/1T 6'-6" (78") PRECAST 1255 2101 3396 5260 7134 8995 6890 1029 1675 2385 1994 2439 2886 3333 7'-6" (90") PRECAST 1029 1675 2610 3839 5596 6613 5047 830 1362 1927 1602 1961 2320 2680 899 1445 2214 3192 4533 6513 4087 NOMINAL WIDTH QUANTITY OF #5 8'-0" (96") PRECAST NOMINAL HEIGHT -**REBAR AT TOP** 1779 1479 1810 2142 2474 #5 REBAR AT TOP 8'-8" (104") PRECAST 829 1332 2044 2946 4184 6012 3773 MIN. (1) REQ'D 1049 1469 1210 1482 1754 2027 1212 1818 2544 3469 4030 3127 9'-4" (112") PRECAST 1-1/2" CLEAR 482 802 1125 915 1122 1328 1535 10'-6" (126") PRECAST 658 1025 1514 2081 2774 3130 2404 598 935 1365 1854 2355 1793 2075 11'-4" (136") PRECAST 598 935 1365 1854 2441 3155 4044 545 864 1254 1689 2074 1570 1818 12'-0" (144") PRECAST 555 864 1254 1693 2211 2832 3590 427 726 1028 1331 1635 1224 1418 13'-4" (160") PRECAST 485 748 1076 1438 1855 2343 2920 381 648 919 1190 1462 1087 1260 #5 REBAR AT BOTTOM 14'-0" (168") PRECAST 455 700 1003 1335 1714 2153 2666 NR NR NR NR NR NR OF LINTEL CAVITY PRESTRESSED 465 765 1370 2045 2610 3185 3765 **BOTTOM REINFORCING** NR NR NR NR NR NR 15'-4" (184") PRESTRESSED 7-5/8"ACTUAL PROVIDED IN LINTEL 420 695 1250 1855 2370 2890 3410 NR NR NR NR NR NR NR 310 530 950 1400 1800 2200 2600 (VARIES) 8" NOMINAL WIDTH 17'-4" (208") PRESTRESSED MATERIALS 19'-4" (232") PRESTRESSED NR NR NR NR NR NR 750 1090 1400 1720 2030 240 400 f'c precast lintels = 3500 psi. 21'-4" (256") PRESTRESSED NR NR NR NR NR 330 610 940 1340 1780 2110 f'c prestressed lintels = 6000 psi. f'c grout = 3000 psi w/ maximum 3/8" aggregate. Concrete masonry units (CMU) per ASTM C90 w/ NR NR NR NR NR NR (264") PRESTRESSED

8" PRECAST W/ 2" RECESS DOOR U-LINTELS

					GF	RAVI	TY			
		TYPE	00110	8RF6-0B	8RF10-0B	8RF14-0B	8RF18-0B	8RF22-0B	8RF26-0B	8RF30-0B
LENG	TH		8RU6	8RF6-1B	8RF10-1B	8RF14-1B	8RF18-1B	8RF22-1B	8RF26-1B	8RF30-1B
4'-4"	(52")	PRECAST	4400	1591	3053	2982	3954	4929	5904	6880
4 -4	(52)	PRECASI	1489	1827	3412	4982	6472	7947	9416	10878
4'-6"	(54")	PRECAST	1357	1449	2782	2714	3600	4487	5375	6264
0	(54)	TREGACT	1357	1702	3412	4982	6472	7947	9416	10878
5'-8"	(60")	DDCCACT	785	832	1602	1550	2058	2566	3075	3585
5-0	(68")	PRECAST	765	1153	2162	4074	6472	6516	5814	6839
5'-10"	(70")	PRECAST	705	779	1500	1449	1924	2400	2876	3352
3-10	(70)	PRECASI	735	1103	2051	3811	6472	6516	5450	6411
6'-8"	(80")	PRECAST	000	907	1677	2933	2576	3223	3872	4522
0-0	(00)	FRECASI	822	907	1677	2933	4100	6730	8177	6707
7'-6"	(00")	DDECAST	CCE	761	1377	2252	1958	2451	2944	3439
/ -6	(90")	PRECAST	665	764	1377	2329	3609	5492	6624	5132
9'-8"	(116")	PRECAST	371	420	834	1253	1071	1342	1614	1886
	(110)	TREOROT	3/1	535	928	1497	2179	2618	3595	2875

160 300 570 870 1250 1660 1970

NR NR NR NR NR NR

8" PRECAST & PRESTRESSED U-LINTELS

					U	PLIF	-			LATE	ERA
	$\overline{}$	TYPE	8F8-1T	8F12-1T	8F16-1T	8F20-1T	8F24-1T	8F28-1T	8F32-1T	0.:0	
LENG	TH		8F8-2T	8F12-2T	8F16-2T	8F20-2T	8F24-2T	8F28-2T	8F32-2T	8U8	8F
2' 10"	(24")	DDECAST	2727	2878	4101	5332	6569	7811	9055	0004	00
2-10	(34)	PRECAST	2727	2784	3981	5190	6407	7630	8857	2021	20:
3'-6"	(42")	PRECAST	2165	2289	3260	4237	5219	6204	7192	1257	12
J-0	(42)	TINECAST	2165	2215	3165	4125	5091	6061	7036	1237	12
4'-0"	(48")	PRECAST	1878	1989	2832	3680	4532	5387	6245	938	93
			1878	1925	2750	3583	4422	5264	6110		
4'-6"	(54")	PRECAST	1660	1762	2507	3257	4010	4767	5525	727	72
			1660	1705	2435	3171	3913	4658	5406		
5'-4"	(64")	PRECAST	1393*	1484	2110	2741	3375	4010	4648	505	50
			1393	1437	2050	2670	3293	3920	4549		
5'-10"	(70")	PRECAST	1272*	1357	1930	2505	3084	3665	4247	418	41
			1272 1141*	1315 1200	1875 1733	2441 2250	3010 2769	3583 3290	4157 3812		-
6'-6"	(78")	PRECAST	1141	1182	1684	2192	2709	3290	3732	707	88
			959*	912	1475	1914	2354	2797	3240		
7'-6"	(90")	PRECAST	990	1029	1466	1907	2351	2797	3245	591	65
			801*	612	980	1269	1560	1852	2144		
9'-4"	(112")	PRECAST	801	755	1192	1550	1910	2271	2634	454	63
10'-6" (126")	DDECAGE	716*	498	793	1027	1261	1496	1731		200	
10'-6"		PRECAST	716	611	1039	1389	1711	2034	2358	396	49
11'-4" (136")	DDECAGE	666*	439	696	899	1104	1309	1515			
11'-4"	(136")	PRECAST	666	535	905	1295	1595	1896	2198	363	55
12' 0"	(1.4.4")	DDECAST	607*	400	631	816	1001	1186	1372		
12-0	(144)	PRECAST	631	486	818	1209	1514	1799	2086	340	49
13'_/"	(160")	PRECAST	500*	340	532	686	841	997	1153	202	20
10 -4	(100)	INLUAGI	573	409	682	1004	1367	1637	1897	302	39
14'-0"	(168")	PRECAST	458*	316	493	635	778	922	1065	286	36
			548	378	629	922	1254	1567	1816	200	30
14'-8"	(176"	•	243	295	459	591	724	857	990	N.R.	35
		RESSED	243	352	582	852	1156	1491	1742		<u> </u>
15'-4") [RESSED	228	278	430	553	677	801	925	N.R.	32
			228	329	542	791	1072	1381	1676		
17'-4"		') TRESSED	188	236	361	464	567	670	774	N.R.	25
19'-4"			188 165	276 207	449 313	649 401	874 490	1121 578	1389 667		
19-4	(232" PRES	TRESSED	165	239	383	550	736	940	1160	N.R.	20
21'-4"	(256"		145	186	278	356	433	512	590		
<u>۲۱۳</u>		, TRESSED	142	212	336	477	635	807	993	N.R.	17
22'-0"	(264"		140	180	268	343	418	493	568		
•		ÍRESSED	137	205	322	457	607	771	947	N.R.	16
24'-0"	(288"	')	127	165	244	312	380	447	515		
-		ÍRESSED	124	186	290	408	538	680	833	N.R.	13

130 240 470 720 1030 1350 1610 GR60. Field rebar per ASTM A615 GR40 or GR60. Prestressing strand per ASTM A416 grade 270 low relaxation. 7/32 wire per ASTM A510. Mortar per ASTM C270 type M or S. **GENERAL NOTES** Provide full mortar head and bed joints. Shore filled lintels as required. Installation of lintel must comply with the architectural and/or structural drawings. Lintels are manufactured with 5-1/2" long notches at the ends to accommodate vertical cell reinforcing and grouting. All lintels meet or exceed L/360 vertical deflection, except lintels 17'-4" and longer with a nominal height of 8" meet or ^{).} exceed L/180. Bottom field added rebar to be located at the bottom of the lintel cavity. 7/32" diameter wire stirrups are welded to the bottom steel for mechanical anchorage. 8: Cast-in-place concrete may be provided in composite lintel in lieu of concrete masonry units.

minimum net area compressive strength = 1900 psi.

Rebar provided in precast lintel per ASTM A615

SAFE LOAD TABLE NOTES

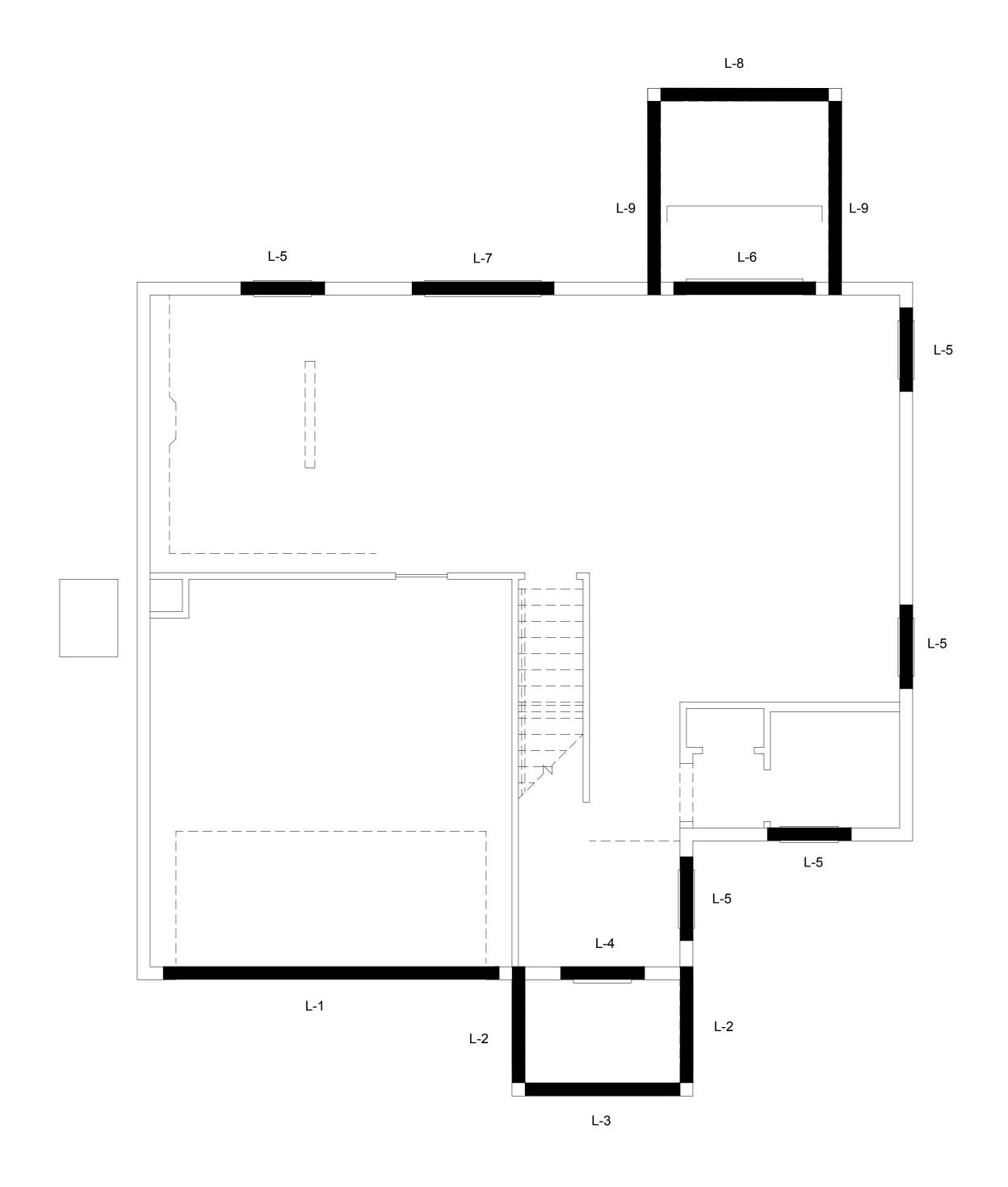
ACI 318 and ACI 530

9. Safe load ratings based on rational design analysis per

- 1. All values based on minimum 4" bearing. Exception: Safe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2". Safe loads for all recessed lintels based on 8" nominal bearing. 2. N.R. = Not Rated.
- 3. Safe loads are total superimposed allowable load on the section specified.
- 4. Safe loads based on grade 40 or grade 60 field rebar.
- 5. Additional lateral load capacity can be obtained by the designer by providing addional reinforced masonry above the precast lintel.
- 6. One #7 rebar may be substituted for two #5 rebars in 8" lintels only.
- 7. The designer may evaluate concentrated loads from the safe load tables by calculating the maximum resisting
- moment and shear at d-away from the face of support. 8. For composite lintel heights not shown, use safe load from next lower height.
- 9. All safe loads in units of pounds per linear foot.

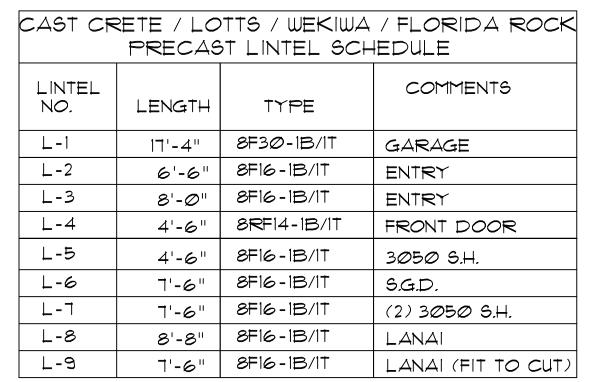
8" PRECAST W/ 2" RECESS DOOR U-LINTELS

				UPLIFT								
		TYPE	8RF6-1T	8RF10-1T	8RF14-1T	8RF18-1T	8RF22-1T	8RF26-1T	8RF30-1T	0.0110	2052	
LENGTH			8RF6-2T	8RF10-2T	8RF14-2T	8RF18-2T	8RF22-2T	8RF26-2T	8RF30-2T	8RU6	8RF6	
4'-4"	(52")	PRECAST	1244	1573	2413	3260	4112	4967	5825	932	932	
4 -4	(32)	FRECASI	1244	1519	2339	3170	4008	4850	5696	932	932	
4'-6"	(54")	PRECAST	1192	1507	2311	3121	3937	4756	5577	050	853	
- - 0	(54)	TREOAGT	1192	1455	2240	3036	3837	4643	5453	853	653	
E! 0"	(60"\	DDECAST	924*	1172	1795	2423	3055	3689	4325	501	501	
5'-8"	(00)	PRECAST	924	1132	1741	2357	2978	3603	4230		501	
5'-10"	(70")	PRECAST	896*	1138	1742	2352	2965	3581	4198	469	469	
5-10	(70)	PRECASI	896	1099	1690	2288	2891	3497	4106		409	409
6'-8"	(80")	PRECAST	778	882	1513	2042	2573	3107	3642	830	1100	
0-0	(00)	TILLOAGT	778	956	1468	1987	2509	3035	3563	630	1100	
7' 6"	(00")	DDECAST	688	697	1325	1810	2280	2753	3227	710	044	
7'-6"	(90)	PRECAST	688	849	1302	1762	2225	2690	3157	710	941	
9'-8"	(116")	PRECAST	533*	433	808	1123	1413	1704	1995	F16	614	
J -U	(110)	TILOAGI	533	527	1009	1369	1728	2088	2450	516	614	



PRECAST LINTEL PLAN

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)





SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS 8" PRECAST & PRESTRESSED U-LINTELS

	GRAVITY							
TYPE		8F8-0B	8F12-0B	8F16-0B	8F20-0B	8F24-0B	8F28-0B	8F32-0B
LENGTH	8U8	8F8-1B	8F12-1B	8F16-1B	8F20-1B	8F24-1B	8F28-1B	8F32-1B
01.40# (2.4#) DDECAGE	1	3166	4473	6039	7526	9004	10472	11936
2'-10" (34") PRECAST	2302	3166	4473	6039	7526	9004	10472	11936
OLOH (40H) PREGACT		3138	3377	4689	6001	7315	8630	9947
3'-6" (42") PRECAST	2302	3166	4473	6039	7526	9004	10472	11936
4'-0" (48") PRECAST		2325	2496	3467	4438	5410	6384	7358
4'-0" (48") PRECAST	2029	2646	4473	6039	7526	9004	10472	11936
4'-6" (54") PRECAST	1054	1787	1913	2657	3403	4149	4896	5644
10 (01) 11(20)(01	1651	2170	4027	6039	7526	9004	10472	9668
5'-4" (64") PRECAST	1404	1223	1301	1809	2317	2826	3336	3846
5-4 (04) FRECAST	1184	1665	2889	5057	6096	5400	6424	7450
5'-10" (70") PRECAST	070	1000	1059	1474	1889	2304	2721	3137
3-10 (70) TREGAST	972	1459	2464	4144	5458	4437	5280	6122
6'-6" (78") PRECAST	007	1255	2101	3263	2746	3358	3971	4585
0-0 (70) TREBAST	937	1255	2101	3396	5260	7134	8995	6890
7'-6" (90") PRECAST	7.07	1029	1675	2385	1994	2439	2886	3333
7'-6" (90") PRECAST	767	1029	1675	2610	3839	5596	6613	5047
8'-0" (96") PRECAST	070	830	1362	1927	1602	1961	2320	2680
8-0 (90) PRECAST	670	899	1445	2214	3192	4533	6513	4087
8'-8" (104") PRECAST	040	767	1257	1779	1479	1810	2142	2474
8-8 (104) PRECAST	618	829	1332	2044	2946	4184	6012	3773
9'-4" (112") PRECAST	570	632	1049	1469	1210	1482	1754	2027
0 4 (112) 11CONO1	573	768	1212	1818	2544	3469	4030	3127
10'-6" (126") PRECAST	450	482	802	1125	915	1122	1328	1535
10 0 (120) 11120/101	456	658	1025	1514	2081	2774	3130	2404
11'-4" (136") PRECAST	445	598	935	1365	1854	2355	1793	2075
11-4 (130) TREBAST	445	598	935	1365	1854	2441	3155	4044
12'-0" (144") PRECAST	111	545	864	1254	1689	2074	1570	1818
12-0 (144) TREGAST	414	555	864	1254	1693	2211	2832	3590
13'-4" (160") PRECAST	362	427	726	1028	1331	1635	1224	1418
10-4 (100) TREBAST	302	485	748	1076	1438	1855	2343	2920
14'-0" (168") PRECAST	338	381	648	919	1190	1462	1087	1260
	330	455	700	1003	1335	1714	2153	2666
14'-8" (176")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IX.	465	765	1370	2045	2610	3185	3765
15'-4" (184")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IX.	420	695	1250	1855	2370	2890	3410
17'-4" (208")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IV.	310	530	950	1400	1800	2200	2600
19'-4" (232")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IV.	240	400	750	1090	1400	1720	2030
21'-4" (256")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IV.	183	330	610	940	1340	1780	2110
22'-0" (264")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IV.IX.	160	300	570	870	1250	1660	1970
24'-0" (288")	N.R.	NR	NR	NR	NR	NR	NR	NR
PRESTRESSED	IN.K.	130	240	470	720	1030	1350	1610

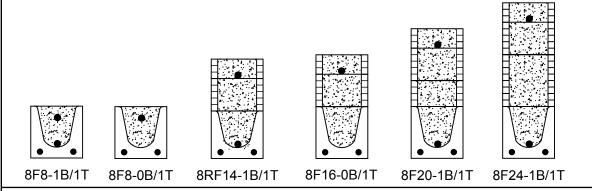
8" PRECAST W/ 2" RECESS DOOR U-LINTELS

					GF	RAVI	TY				
		TYPE	0DUIC	8RF6-0B	8RF10-0B	8RF14-0B	8RF18-0B	8RF22-0B	8RF26-0B	8RF30-0B	
LENG	TH		8RU6	8RF6-1B	8RF10-1B	8RF14-1B	8RF18-1B	8RF22-1B	8RF26-1B	8RF30-1B	
4'-4"	(52")	PRECAST	1489	1591	3053	2982	3954	4929	5904	6880	
4 -4	(32)		1409	1827	3412	4982	6472	7947	9416	10878	
4'-6"	(54")	PRECAST	1357	1449	2782	2714	3600	4487	5375	6264	
	(0+)		1337	1702	3412	4982	6472	7947	9416	10878	
5'-8"	(68")	PRECAST) PRECAST	785	832	1602	1550	2058	2566	3075	3585
3-6	(66)			FRECASI	765	1153	2162	4074	6472	6516	5814
5'-10"	(70")	PRECAST	735	779	1500	1449	1924	2400	2876	3352	
3-10	(10)	FRECASI	735	1103	2051	3811	6472	6516	5450	6411	
6'-8"	(80")	PRECAST	822	907	1677	2933	2576	3223	3872	4522	
0-0	(00)	TRECAST	022	907	1677	2933	4100	6730	8177	6707	
7'-6"	(00")	DDECAST	665	761	1377	2252	1958	2451	2944	3439	
/ -0	(90")	90") PRECAST	665	764	1377	2329	3609	5492	6624	5132	
9'-8"	(116")	PRECAST	371	420	834	1253	1071	1342	1614	1886	
	(110) FRECAST	3/1	535	928	1497	2179	2618	3595	2875		

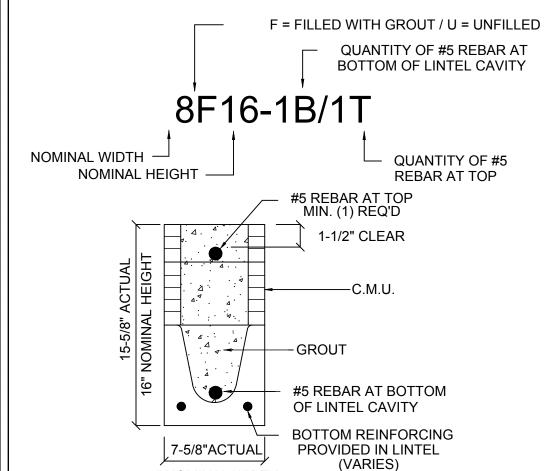
8" PRECAST & PRESTRESSED U-LINTELS

					U	PLIF	-T			LATE	ERAL
		TYPE	8F8-1T	8F12-1T	8F16-1T	8F20-1T	8F24-1T	8F28-1T	8F32-1T	0110	050
LENG	TH	11112	8F8-2T	8F12-2T	8F16-2T	8F20-2T	8F24-2T	8F28-2T	8F32-2T	8U8	8F8
01.40"	(0.411)	DDECAGE	2727	2878	4101	5332	6569	7811	9055		
2'-10"	(34")	PRECAST	2727	2784	3981	5190	6407	7630	8857	2021	2021
01.01	(40!!)	DDECAGE	2165	2289	3260	4237	5219	6204	7192		
3'-6"	(42)	PRECAST	2165	2215	3165	4125	5091	6061	7036	1257	1257
4'-0"	(48")	PRECAST	1878	1989	2832	3680	4532	5387	6245	000	000
4-0	(40)	TINLOAGT	1878	1925	2750	3583	4422	5264	6110	938	938
4'-6"	(54")	PRECAST	1660	1762	2507	3257	4010	4767	5525	707	707
	(0.)		1660	1705	2435	3171	3913	4658	5406	727	727
5'-4"	(64")	PRECAST	1393*	1484	2110	2741	3375	4010	4648	FOF	505
J - 4	(04)	TILLUAGI	1393	1437	2050	2670	3293	3920	4549	505	505
5'-10"	(70")	PRECAST	1272*	1357	1930	2505	3084	3665	4247	110	110
J 10	(10)		1272	1315	1875	2441	3010	3583	4157	418	418
6'-6"	(78")	PRECAST	1141*	1200	1733	2250	2769	3290	3812	707	887
	(. 0)		1141	1182	1684	2192	2703	3216	3732	707	007
7'-6"	(90")	PRECAST	959*	912	1475	1914	2354	2797	3240	591	657
, 0	(50)	TILONOT	990	1029	1466	1907	2351	2797	3245	391	037
9'-4"	(112")	PRECAST	801*	612	980	1269	1560	1852	2144	454	630
	(/		801	755	1192	1550	1910	2271	2634	404	030
10'-6" (126")	PRECAST	716*	498	793	1027	1261	1496	1731	396	493	
		716	611	1039	1389	1711	2034	2358	390	493	
11'-4"	(136")	PRECAST	666*	439	696	899	1104	1309	1515	363	556
	(100)	11120/101	666	535	905	1295	1595	1896	2198	303	330
12'-0"	(144")	PRECAST	607*	400	631	816	1001	1186	1372	340	494
	(' ' ' '	11120/101	631	486	818	1209	1514	1799	2086	340	737
13'-4"	(160")	PRECAST	500*	340	532	686	841	997	1153	302	398
	(100)	11120/101	573	409	682	1004	1367	1637	1897	302	330
14'-0"	(168")	PRECAST	458*	316	493	635	778	922	1065	286	360
			548	378	629	922	1254	1567	1816	200	300
	(176"		243	295	459	591	724	857	990	N.R.	357
		RESSED	243	352	582	852	1156	1491	1742	14.11.	337
	(184"		228	278	430	553	677	801	925	N.R.	327
		RESSED	228	329	542	791	1072	1381	1676	14.11.	521
17'-4"			188	236	361	464	567	670	774	N.R.	255
		ÍRESSED	188	276	449	649	874	1121	1389	14.11	
19'-4"	(232"		165	207	313	401	490	578	667	N.R.	204
		TRESSED	165	239	383	550	736	940	1160		ļ'
21'-4"	(256") TRESSED	145	186	278	356	433	512	590	N.R.	172
001.0"			142	212	336	477	635	807	993		1.13.
22'-0"			140	180	268	343	418	493	568	N.R.	161
041.0"	PRESTRE		137	205	322	457	607	771	947	N.K.	.51
24 -0"	24'-0" (288") PRESTR) TRESSED	127	165	244	312	380	447	515	N.R.	135
		*DEDUCE VAL	124	186	290	408	538	680	833		

*REDUCE VALUE BY 25% FOR GRADE 40 FIELD REBAR



TYPE DESIGNATION



MATERIALS

f'c precast lintels = 3500 psi.

- f'c prestressed lintels = 6000 psi.
 f'c grout = 3000 psi w/ maximum 3/8" aggregate.
 Concrete masonry units (CMU) per ASTM C90 w/

8" NOMINAL WIDTH

- minimum net area compressive strength = 1900 psi.
 Rebar provided in precast lintel per ASTM A615 GR60. Field rebar per ASTM A615 GR40 or GR60.
 Prestressing strand per ASTM A416 grade
- 270 low relaxation.
 7/32 wire per ASTM A510.

Mortar per ASTM C270 type M or S.

GENERAL NOTES

- Provide full mortar head and bed joints. Shore filled lintels as required.
- Installation of lintel must comply with the architectural and/or · structural drawings.
- Lintels are manufactured with 5-1/2" long notches at the ends
- to accommodate vertical cell reinforcing and grouting. All lintels meet or exceed L/360 vertical deflection, except
- lintels 17'-4" and longer with a nominal height of 8" meet or ^{).} exceed L/180.
- Bottom field added rebar to be located at the bottom of the lintel cavity.
- 6. 7/32" diameter wire stirrups are welded to the bottom steel for mechanical anchorage.
- 8: Cast-in-place concrete may be provided in composite lintel
- in lieu of concrete masonry units.
- 9. Safe load ratings based on rational design analysis per ACI 318 and ACI 530

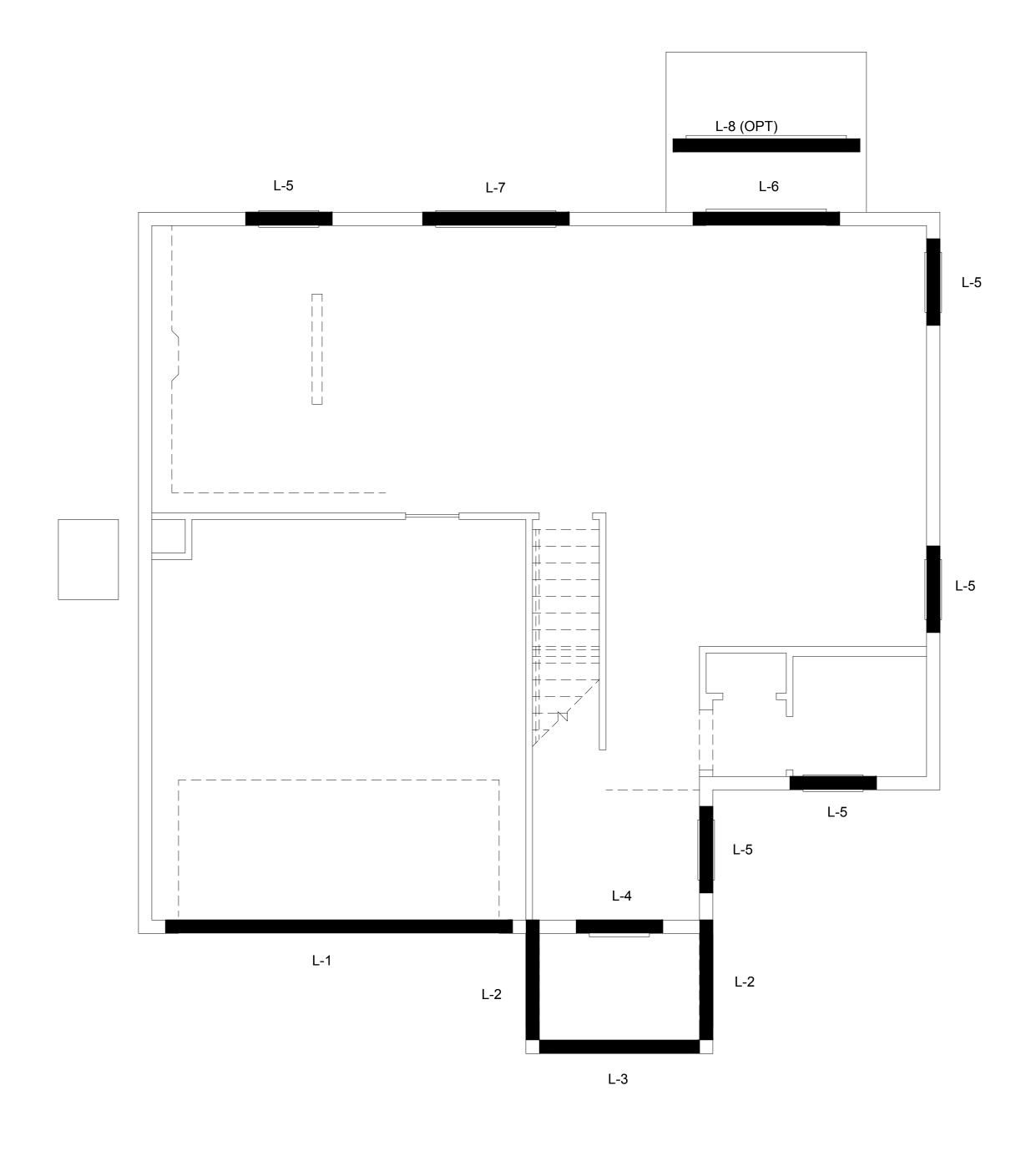
SAFE LOAD TABLE NOTES

- 1. All values based on minimum 4" bearing. Exception: Safe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2". Safe loads for all recessed lintels based on 8" nominal bearing. 2. N.R. = Not Rated.
- 3. Safe loads are total superimposed allowable load on the
- section specified.
- 4. Safe loads based on grade 40 or grade 60 field rebar. 5. Additional lateral load capacity can be obtained by the designer by providing addional reinforced masonry above the precast lintel.
- 6. One #7 rebar may be substituted for two #5 rebars in 8"
- lintels only.

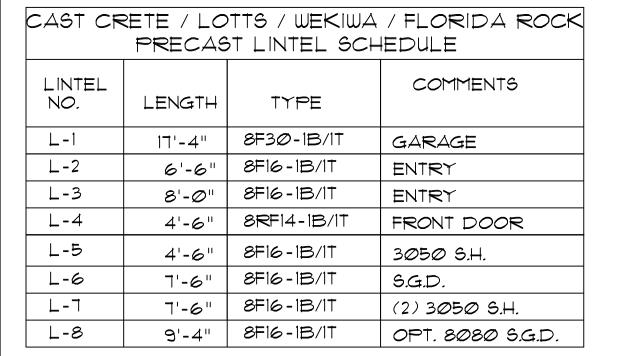
- 7. The designer may evaluate concentrated loads from the safe load tables by calculating the maximum resisting moment and shear at d-away from the face of support.
- 8. For composite lintel heights not shown, use safe load from next lower height.
- 9. All safe loads in units of pounds per linear foot.

8" PRECAST W/ 2" RECESS DOOR U-LINTELS

			UPLIFT LA						LATERA	AL
	TYPE	8RF6-1T	8RF10-1T	8RF14-1T	8RF18-1T	8RF22-1T	8RF26-1T	8RF30-1T	0.0110	
LENGTH		8RF6-2T	8RF10-2T	8RF14-2T	8RF18-2T	8RF22-2T	8RF26-2T	8RF30-2T	8RU6	8RF6
4'-4" (52")	PRECAST	1244	1573	2413	3260	4112	4967	5825	000	000
4-4 (52)	PRECASI	1244	1519	2339	3170	4008	4850	5696	932	932
4'-6" (54")	PRECAST	1192	1507	2311	3121	3937	4756	5577	853	853
4-0 (04)	TILLUAGI	1192	1455	2240	3036	3837	4643	5453	653	
E' 0" (60")	DDCCAST	924*	1172	1795	2423	3055	3689	4325	501	501
5'-8" (68")	PRECAST	924	1132	1741	2357	2978	3603	4230	301	501
5'-10" (70")	PRECAST	896*	1138	1742	2352	2965	3581	4198	460	469
5-10 (70)	PRECASI	896	1099	1690	2288	2891	3497	4106	469	409
6'-8" (80")	PRECAST	778	882	1513	2042	2573	3107	3642	830	1100
0-0 (00)	TILLUAGI	778	956	1468	1987	2509	3035	3563	630	1100
71.6" (00")	DDECACT	688	697	1325	1810	2280	2753	3227	740	044
7'-6" (90")	PRECAST	688	849	1302	1762	2225	2690	3157	710	941
9'-8" (116")	PRECAST	533*	433	808	1123	1413	1704	1995	F16	614
3-0 (110)	6") PRECAST	533	527	1009	1369	1728	2088	2450	516	614



PRECAST LINTEL PLAN A, B & C (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)







10 "DREAM" -22. Subdiv 40-Lot # - S

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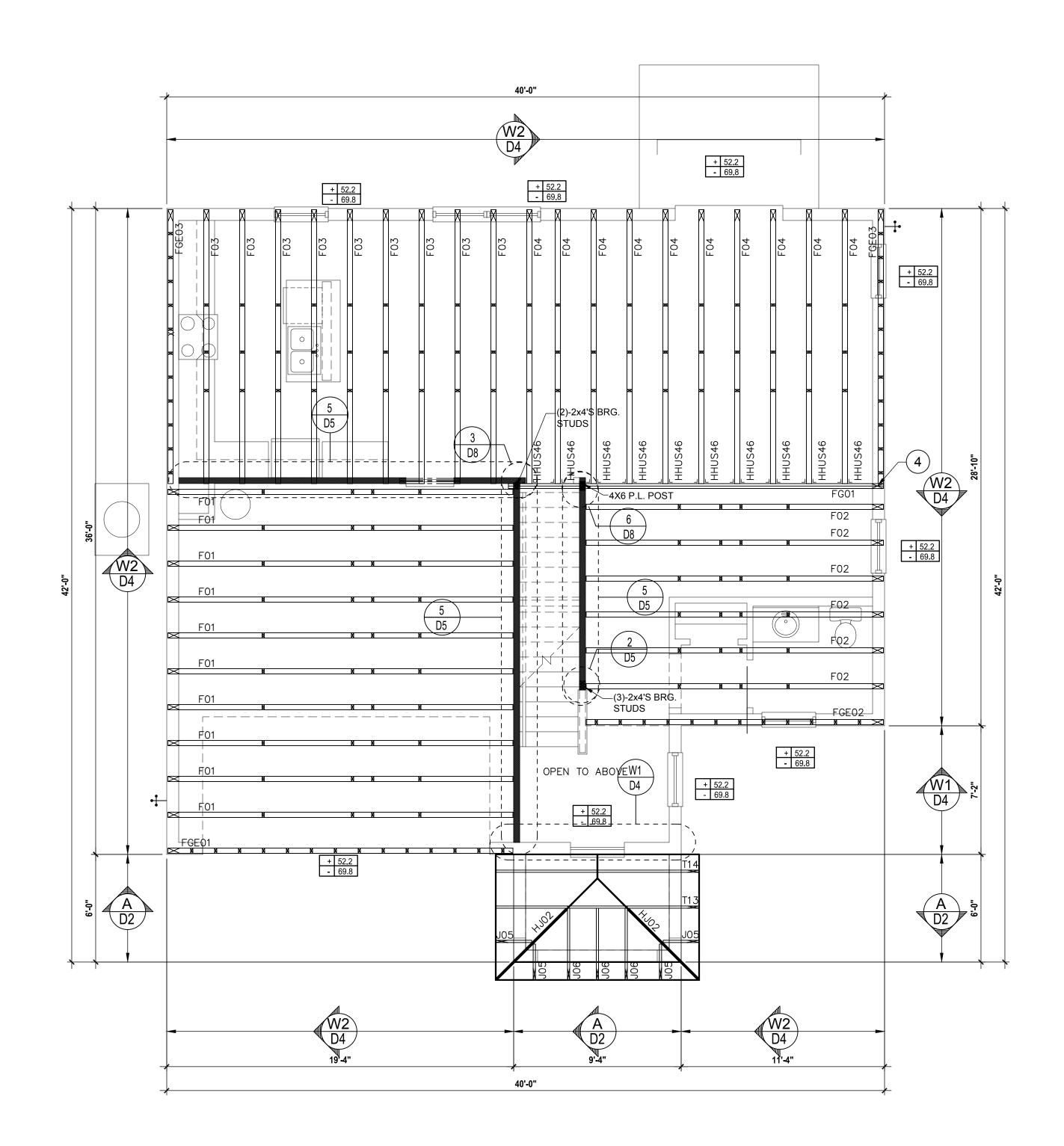


SSUE DATE 05/09/2023 REVISIONS

PROJECT: 00-0000 AS NOTED SCALE: DRAWN BY: S.B.

DESIGNED BY: MJS PRECAST LINTEL PLAN & NOTES **S2**

CONNECT.	SIMPSON		MAX.	LAT. LDS
TYPE	DESCRIPTION	FASTENERS	UPLIFT	F1 / F2
4	LIFTAGO	PER CONNECTOR	4.040	05 / 000
4	HETA16	9-10d x 1½"	1,810	65 / 960
5 20	DETAL20 H3	18-10d x 1½" RFT: 4-8d / PLT: 4-8d	2,480 455	2000/ 137 125 / 160
21	H1	RFT: 6-8dx1½"/PLT:4-8d	475	485 / 169
<u> </u>	111	RFT: 8-8d x 1½"	473	703710
22	H10S -	PLT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
0.4		RFT / TRS: 4-8d	005	400 / 11/
24	H7	PLT / STD: 10-8d	<u> </u>	400 / N//
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 15
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 30
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 26
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 26
90 81	SPH4,6,8 ABU66	12-10d x 1½" 12-16d	885	N/A N/A
89	CB66	(2) 7/8" BOLTS	2,240	985
92	ABU44	12-16d	2,300	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
		SILL: 7/8" BOLT		
96	HD8A -	STUD:(3) 7/8"X5½" BOLTS	7,910	N/A
0.7	NATONAC	BLOCK: 4-1/4"X21/4" TC	000	N1/A
97	MTSM16	JOIST : 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT	4,235	N/A
90	11114	STRAP: 18-16d	4,233	IN/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/
102	HTT5	5/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS1/4"X3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/
167 168	HHUS46 U46	H:14-16d/J:6-16d H:8-10d/J:4-10d	1,550 710	N/A N/A
181	HUS26	20-16d	1,550	N/A N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
104	1100202	HD:16-3/16"X1½" TAPCON	1,000	14/7 (
214	HUC212-3TF	BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
		BLOCK: 10-1/4"X11/2" TC		
216	HUS412	JOIST : 10-16d	3,240	N/A
0.4.7	11110040.0	BLOCK: 10-1/4"X11/2" TC	0.000	N1/A
217	HUS212-2	JOIST : 10-16d	2,630	N/A
219	MBHA412	H:1-ATR3/4X8 TOP&FACE	3,145	N/A
219	MDHA412	JOIST: 18-10d	3,145	IN/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8"	2,160	N/A
	1015117 (4.7 67 12	JOIST : 18-10d	2,100	14/7
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8"	3,450	N/A
		JOIST : 18-10d	0,100	
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8"	3,450	N/A
		JOIST : 18-10d		
240	H16	R:2-10dx1½"P:10-10dx1½"	1,470	480 / N/
241	LGT2	30-16d-sinker	2000	1015 / 44
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302 303	HGT-2 or 3 HGT-4	LTL:3/4"BLTS./GIR: 8-10d LTL:3/4"BLTS./GIR: 16-10d	6485	N/A N/A
401	HG1-4 SUR/L414	FACE:18-16d/JST:8-16d	9,250	N/A N/A
1 U I	30N/L414	1 704.10-100/331.0-100	1,700	IN/A





T.O.WALL 9'-4" INTERIOR BRG T.O.WALL 9'-4"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- 1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- 2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 11/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 11/4"+ - REQUIRE SPECIAL ENGINEERING LETTER.
- 3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

- 1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC.STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023)FLORIDA RESIDENTIAL CODE.
- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- 8. SHINGLE ROOF : UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1
- 9. OFF RIDGE VENTS MAXIMUM OPENING SIZES: - LOMANCO: (2) 91/2" DIA.CIRCLES -MILLENNIUM METAL: 2½"x46" HOLE

2nd FLOOR & LOW ROOF FRAMING PLAN

A, B, C (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)







10 ivisior 40-22 Lot # - Subdiv Street Addre City, State.

"DREAM"

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SSUE DATE 05/09/2023 REVISIONS

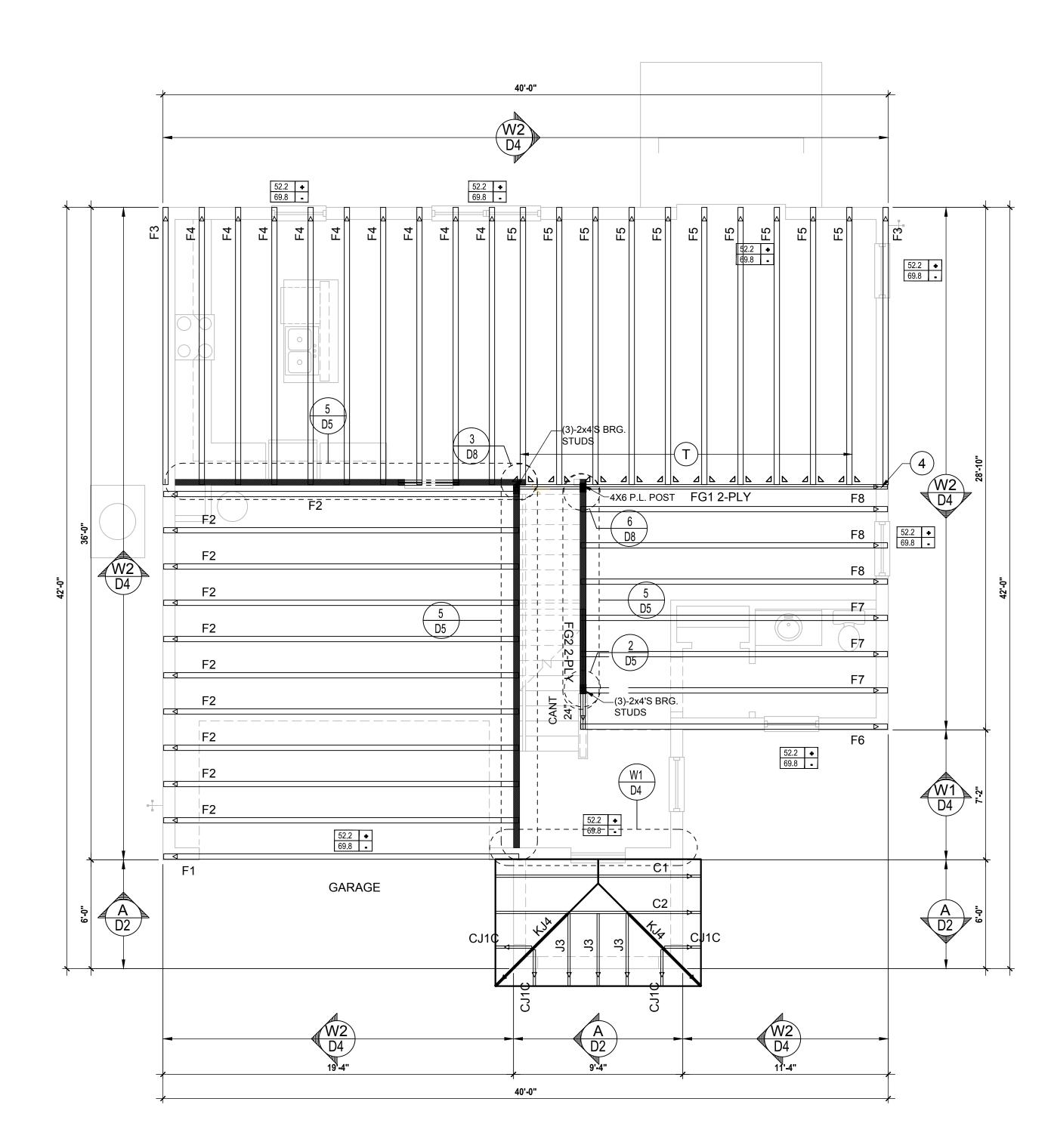
PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS FRAMING PLAN

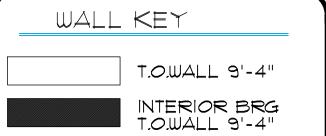
A,B,C (STANDARD) **S**3

CONN	ECTOR S	CHEDULE		
CONNECT.	SIMPSON		MAX.	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
5 20	DETAL20 H3	18-10d x 1½" RFT: 4-8d / PLT: 4-8d	2,480 455	2000/ 1370 125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1½" PLT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d	985	400 / N/A
26	H2.5	PLT / STD: 10-8d RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39 43	MTS30 LSTA12	14-10d 10-10d	990 905	N/A N/A
45	ST18	10-10d 14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 260
81 90	SPH4,6,8 ABU66	12-10d x 1½" 12-16d	885 2,240	N/A N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD:(3) 7/8"X5½" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"X21/4" TC JOIST : 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
102	HTT5	5/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS1/4"X3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS ¼"x2½"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/A
167 168	HHUS46 U46	H:14-16d/J:6-16d H:8-10d/J:4-10d	1,550 710	N/A N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
214	HUC212-3TF	HD:16-3/16"X1½" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"X11/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"X11/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H:1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"P:10-10dx1½"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302 303	HGT-2 or 3 HGT-4	LTL:3/4"BLTS./GIR: 8-10d LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A
T		O BE SPECIFIED & PROVIDED BY	, , , ,	

TRUSS MANUFACTURERS



2nd FLOOR & LOW ROOF FRAMING PLAN A, B & C (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



COMPONENT & CLADDING **DESIGN WIND PRESSURES**

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 11/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 11/4"+ - REQUIRE SPECIAL ENGINEERING LETTER.

3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

- 1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC.STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023)FLORIDA RESIDENTIAL CODE.
- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- 8. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1
- 9. OFF RIDGE VENTS MAXIMUM OPENING SIZES: - LOMANCO: (2) 9½" DIA.CIRCLES -MILLENNIUM METAL: 2½"x46" HOLE



GOBA

10 "DREAM" 40-22 Lot # - Subdiv Street Addre City, State.

A division of Park Square

Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



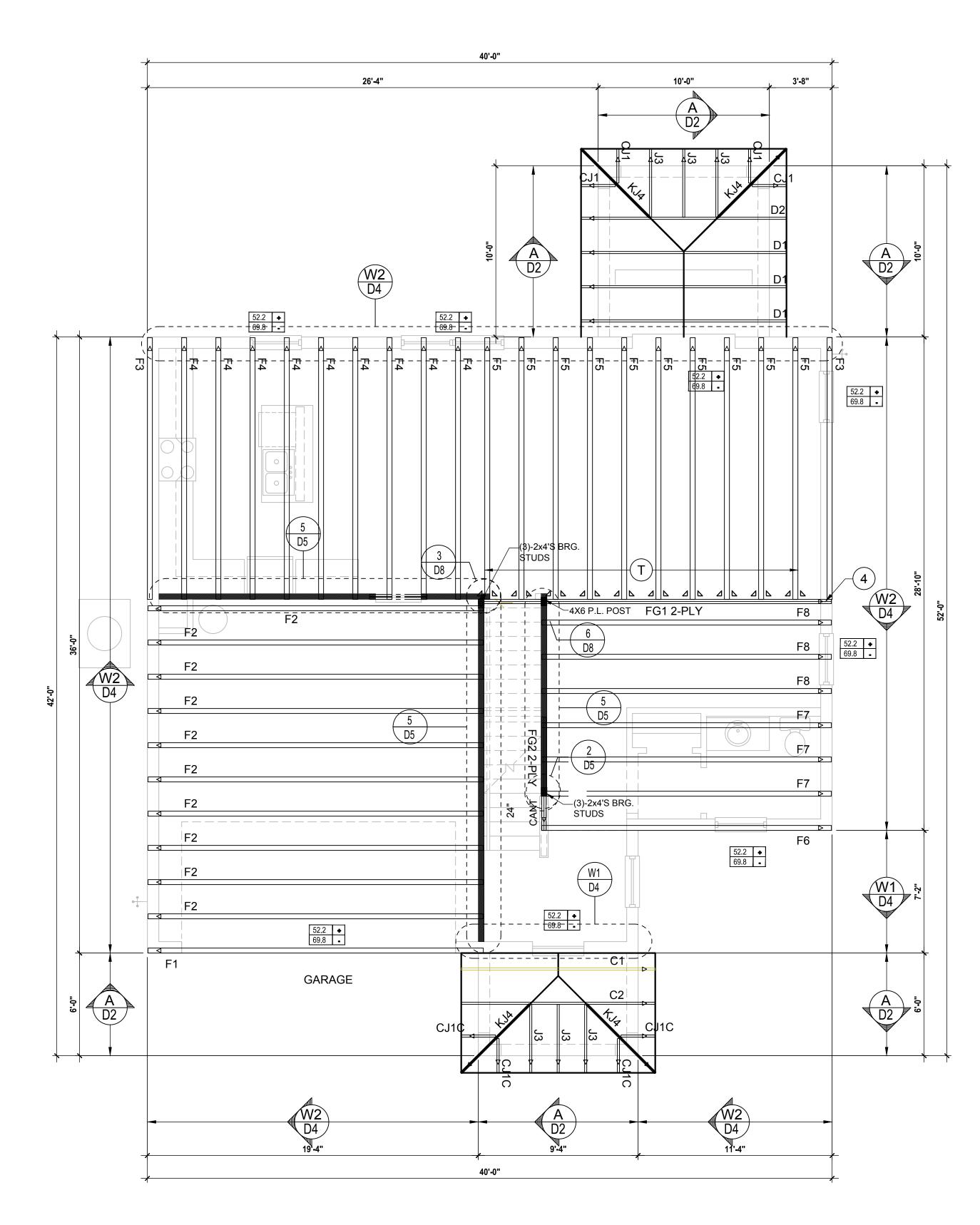
SSUE DATE 05/09/2023 REVISIONS

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

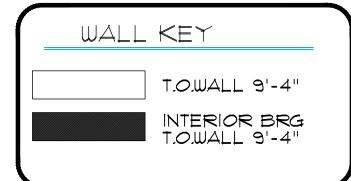
DESIGNED BY: MJS FRAMING PLAN C (STANDARD)

S3

ONNECT.	SIMPSON		MAX.	LAT. LDS
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
5	DETAL20	18-10d x 1½"	2,480	2000/ 137
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 16
22	H10S	RFT: 8-8d x 1½"	1010	660/550
		PLT: 8-8d x 1½"		
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d	985	400 / N/
26	H2.5	PLT / STD: 10-8d RFT:5-8d / PLT: 5-8d	415	150 / 15
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 30
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 26
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 26
81	SPH4,6,8	12-10d x 1½"	885	N/A
90 89	ABU66 CB66	12-16d	2,240	N/A 985
92	ABU44	(2) 7/8" BOLTS 12-16d	2,300 2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
		SILL: 7/8" BOLT		
96	HD8A	STUD:(3) 7/8"X51/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"X21/4" TC	860	N/A
<u> </u>	IVITOIVITO	JOIST : 7-10d	000	IN/A
98	HTT4	SILL: 5/8" BOLT	4,235	N/A
00		STRAP: 18-16d		
99 102	A35 HTT5	H:4-8dx1½"/P:4-8dx1½" 7/8" BOLT/ 26-10d	440	440 / N// N/A
102	VGTR/L	32-SDS1/4"X3"/(2) 7/8" BLT	4,275 3,990	N/A N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
214	HUC212-3TF	HD:16-3/16"X1½" TAPCON	1,135	N/A
045	110110040.0	BM: 6-16d		N1/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"X11/2" TC JOIST : 10-16d	3,240	N/A
		BLOCK: 10-1/4"X11/2" TC		
217	HUS212-2	JOIST : 10-16d	2,630	N/A
219	MBHA412	H:1-ATR3/4X8 TOP&FACE	3,145	N/A
219	WIDI IA4 12	JOIST: 18-10d	3,143	IN/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8"	2,160	N/A
		JOIST : 18-10d HDR : (2) 3/4" φ x 8"		
231	MBHA3.56/16	ΠDR . (2) 3/4	3,450	N/A
000	MDLIAE FO/40	HDR : (2) 3/4" φ x 8"	2.450	N1/A
232	MBHA5.50/16	JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"P:10-10dx1½"	1,470	480 / N/
241	LGT2	30-16d-sinker	2000	1015 / 44
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A
303 401	HGT-4 SUR/L414	LTL:3/4"BLTS./GIR: 16-10d FACE:18-16d/JST:8-16d	9,250 1,700	N/A N/A
				131/4



2nd FLOOR & LOW ROOF FRAMING PLAN C (MID FLORIDA) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

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NOTES

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- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
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GOBA

40-2210
Lot # - Subdivision
Street Address
City, State. Zip

"DREAM" A division of Park Square Enterprises Inc.

5200 Vineland Rd. Suite #200 Orlando, Fl. 32811 Phone: (407) 529-3000



SSUE DATE 05/09/2023 REVISIONS

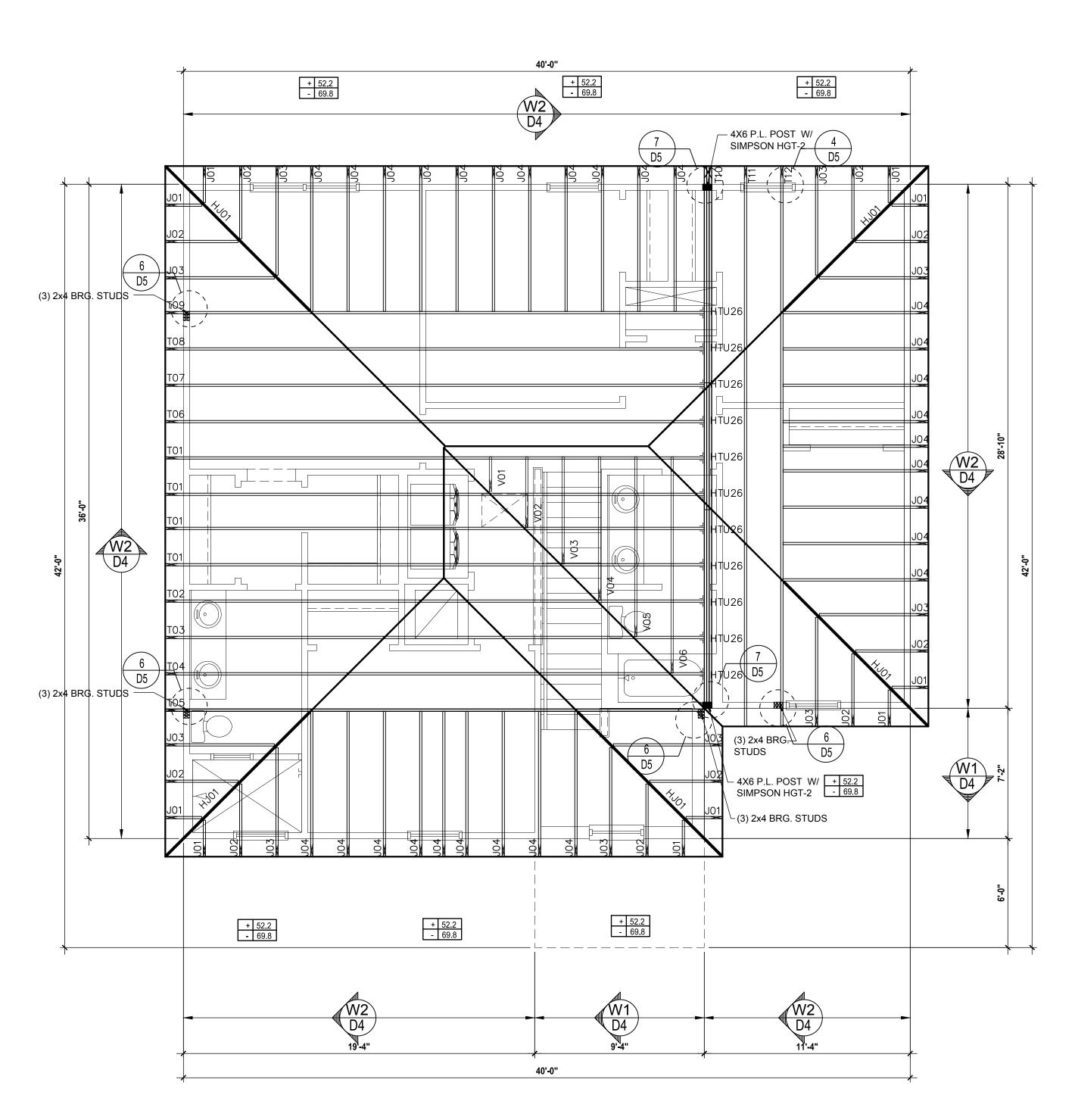
PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS FRAMING PLAN C (STANDARD)

S3

CONNECTOR SCHEDULE

001111		OTILDOLL		
CONNECT.	SIMPSON		MAX.	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
5	DETAL20	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1½"	1010	660/550
		PLT: 8-8d x 1½"		
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
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47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 260 N/A
81 90	SPH4,6,8 ABU66	12-10d x 1½" 12-16d	885	N/A N/A
89	CB66	(2) 7/8" BOLTS	2,240	985
92	ABU44	12-16d	2,300	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
	111020	SILL: 7/8" BOLT	,	
96	HD8A	STUD:(3) 7/8"X5½" BOLTS	7,910	N/A
		BLOCK: 4-1/4"X21/4" TC		
97	MTSM16	JOIST : 7-10d	860	N/A
00	LITTA	SILL: 5/8" BOLT	4.005	N1/A
98	HTT4	STRAP: 18-16d	4,235	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
102	HTT5	5/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS1/4"X3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A
214	HUC212-3TF	HD:16-3/16"X1½" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
		BLOCK: 10-1/4"X11/2" TC		
216	HUS412	JOIST : 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"X11/2" TC JOIST: 10-16d	2,630	N/A
040	MDUAAAA	H:1-ATR3/4X8 TOP&FACE	0.445	NI/A
219	MBHA412	JOIST: 18-10d	 3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
		HDR : (2) 3/4" φ x 8"		
231	MBHA3.56/16	JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"P:10-10dx1½"	1,470	480 / N/A
240	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
301	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A
T		TO BE SPECIFIED & PROVIDED BY	, , , , ,	-
	TRUSS MANUFA			
L	l .			



HIGH ROOF FRAMING PLAN

A, B, C (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

DESIGN WIND PRESSURES

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.

2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 11/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 11/4"+ - REQUIRE SPECIAL ENGINEERING LETTER.

THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE 12"

UNLESS OTHERWISE NOTED.

3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC.STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023)FLORIDA RESIDENTIAL CODE.

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6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

SYNTHETIC FELT.

8. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1

9. OFF RIDGE VENTS MAXIMUM OPENING SIZES: - LOMANCO: (2) 9½" DIA.CIRCLES

COMPONENT & CLADDING

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE



3- PENETRATION OF PLUMBING PIPES/DRYER VENTS

UNLESS OTHERWISE NOTED.

2. TYPICAL ROOF EAVES OVERHANG TO BE 12"

4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.

7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS.

-MILLENNIUM METAL: 2½"x46" HOLE







10 ivisior ress . Zip ANS, IDEAS AND DESIGN. TRD PARTY WITHOUT FIRST
"DREAM" 40-22 Lot # - Subdiv Street Addre City, State.

> A division of Park Square Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811



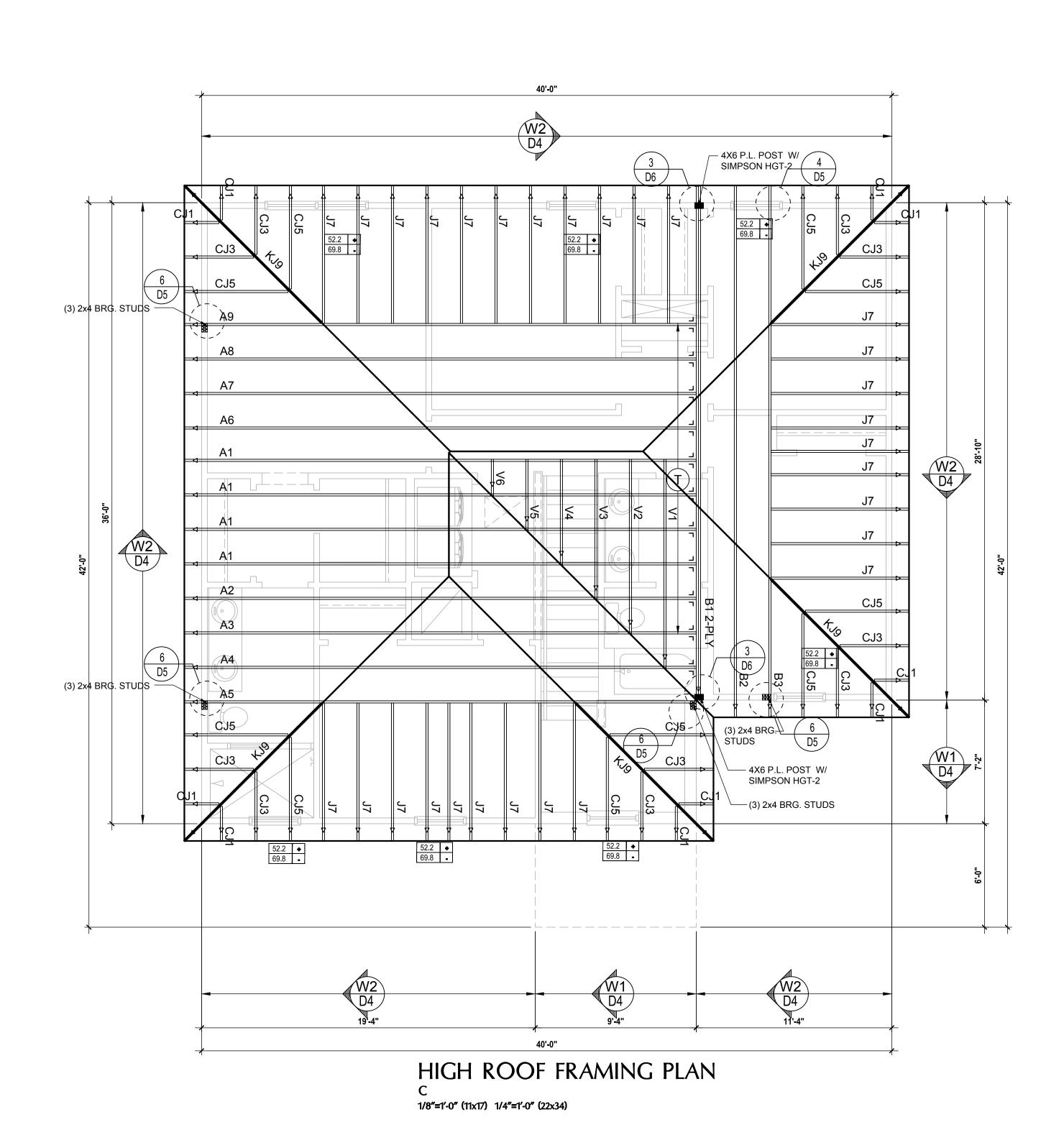
ISSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS

HIGH ROOF FRAMING PLAN A,B,C (STANDARD)

CONNECT.	SIMPSON		MAX.	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
 5	DETAL20	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 165
		RFT: 8-8d x 1½"		
22	H10S -	PLT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7 —	RFT / TRS: 4-8d	985	400 / N/A
26	H2.5	PLT / STD: 10-8d RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
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81	SPH4,6,8	12-10d x 1½"	885	N/A
90	ABU66	12-16d	2,240	N/A
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104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A N/A
184	HUC28-2	H:14-16d/J:4-10d	1,085	N/A N/A
		HD:16-3/16"X1½" TAPCON		
214	HUC212-3TF	BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"X11/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"X11/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412 —	H:1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R:2-10dx1½"P:10-10dx1½"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
301	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A N/A
302	HGT-2 or 3	LTL:3/4 BLTS./GIR: 8-100		
			9,250	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d BE SPECIFIED & PROVIDED BY	1,700	N/A



SEE PLAN DESIGN WIND PRESSURE



+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- 1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
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NOTES

- 1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC.STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023)FLORIDA RESIDENTIAL CODE.
- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- 8. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1
- 9. OFF RIDGE VENTS MAXIMUM OPENING SIZES: - LOMANCO: (2) 9½" DIA.CIRCLES -MILLENNIUM METAL: 2½"x46" HOLE



GOBA

40-2210
Lot # - Subdivision
Street Address
City, State. Zip ANS, IDEAS AND DESIGN. TRD PARTY WITHOUT FIRST
"DREAM"

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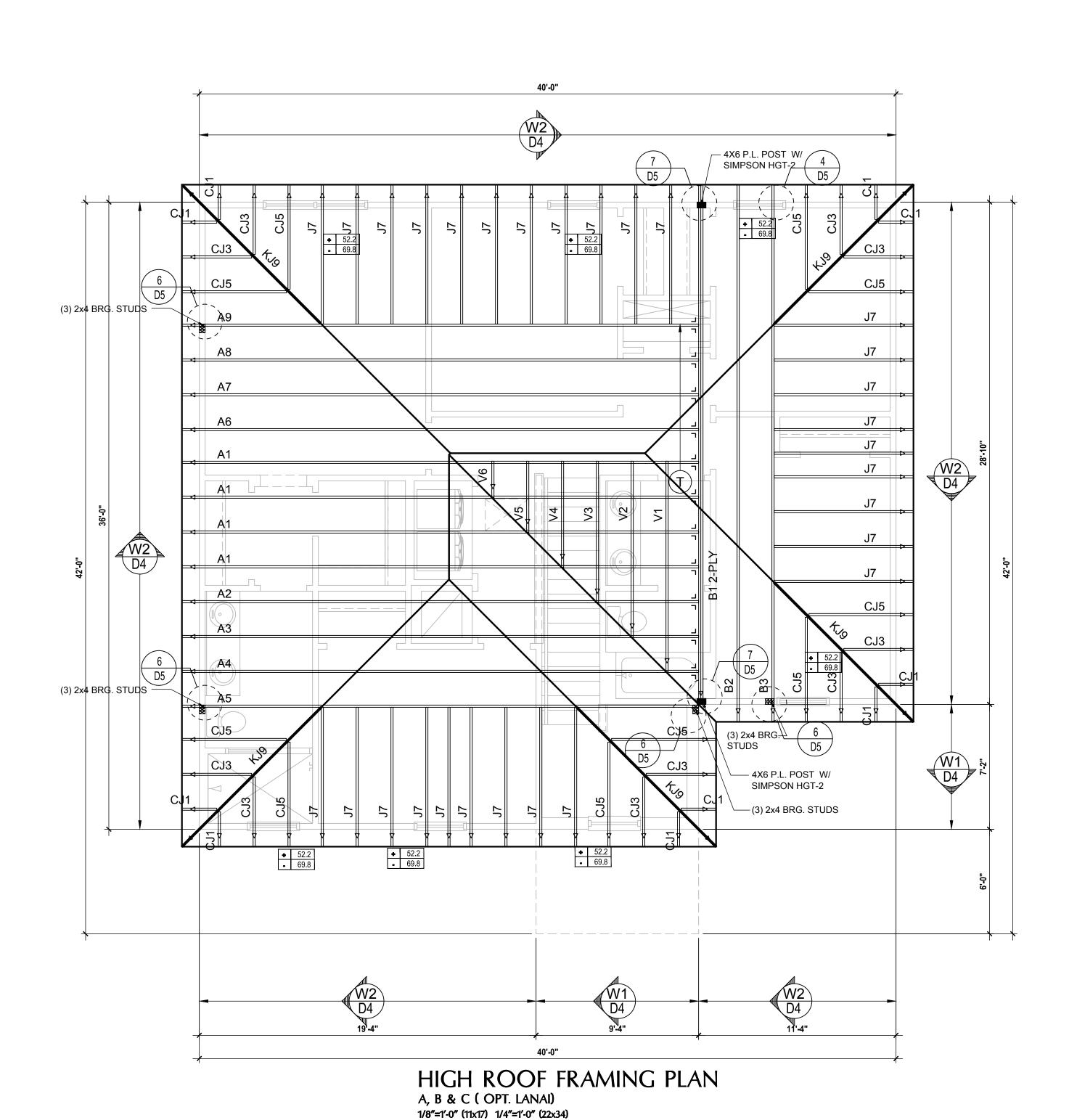
ISSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS

HIGH ROOF FRAMING PLAN C (STANDARD)

ONNECT.	SIMPSON		MAX.	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
5	DETAL20	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 165
22	H10S -	RFT: 8-8d x 1½" PLT: 8-8d x 1½"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD:6-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1½"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD:(3) 7/8"X5½" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"X21/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	440	440 / N/A
102	HTT5	5/8" BOLT/ 26-10d	4,275	N/A
103	VGTR/L	32-SDS½"X3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	5,020	N/A
110	HCP2	12-10d x 1½"	520	260 / N/A
167	HHUS46	H:14-16d/J:6-16d	1,550	N/A
168	U46	H:8-10d/J:4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184 214	HUC28-2 HUC212-3TF	H:14-16d/J:4-10d HD:16-3/16"X1½" TAPCON	1,085 1,135	N/A N/A
		BM: 6-16d		
215	HGUS210-2	HDR:46-16d/JST:10-16d BLOCK: 10-1/4"X11/2" TC	2,720	N/A
216	HUS412	JOIST : 10-16d BLOCK: 10-1/4"X11/2" TC	3,240	N/A
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302	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A



SEE PLAN DESIGN WIND PRESSURE



ULTIMATE DESIGNED POSITIVE PRESSURE + XXX ULTIMATE DESIGNED POSITIVE PRESSURE
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10 ivisior 40-22 Lot # - Subdiv Street Addre City, State.

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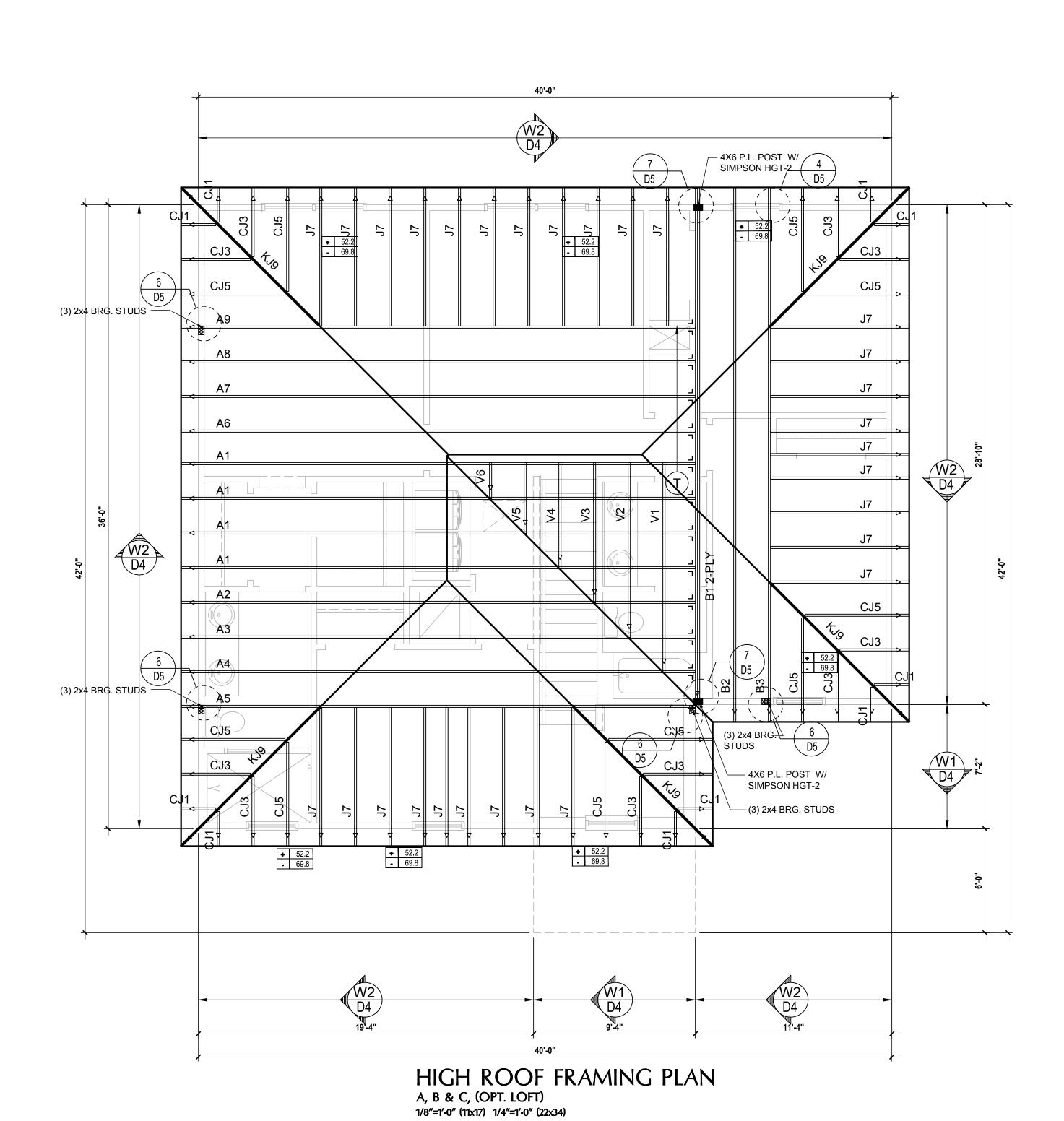


ISSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS HIGH ROOF FRAMING PLAN A (STANDARD)

CONN	ECTOR S	CHEDULE		
CONNECT.	SIMPSON		MAX.	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	UPLIFT	F1 / F2
4	HETA16	9-10d x 1½"	1,810	65 / 960
 5	DETAL20	18-10d x 1½"	2,480	2000/ 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx1½"/PLT:4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1½"	1010	660/550
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24	H7	RFT / TRS: 4-8d	985	400 / N/A
		PLT / STD: 10-8d		
26 34	H2.5	RFT:5-8d / PLT: 5-8d	415	150 / 150
35	A34 A35F	H:4-8dx1½"/P:4-8dx1½" H:4-8dx1½"/P:4-8dx1½"	365 440	280 / 303 440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
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89	CB66	(2) 7/8" BOLTS	2,300	985
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96	HD8A	STUD:(3) 7/8"X5½" BOLTS	7,910	N/A
		BLOCK: 4-1/4"X21/4" TC		
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168	U46	H:8-10d/J:4-10d	710	N/A
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214	HUC212-3TF	HD:16-3/16"X1½" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR:46-16d/JST:10-16d	2,720	N/A
210	11GU3210-2	BLOCK: 10-1/4"X11/2" TC	2,720	IN/A
216	HUS412	JOIST : 10-16d	3,240	N/A
		BLOCK: 10-1/4"X11/2" TC		
217	HUS212-2	JOIST : 10-16d	2,630	N/A
040	MDULA 440	H:1-ATR3/4X8 TOP&FACE	0.445	N1/A
219	MBHA412	JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8"	2,160	N/A
220	19101 1A4.13/12	JOIST : 18-10d	۷, ۱۰۰۰	13/73
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301	HGT-2 or 3	(1) 5/8"BLTS./GIR: 22-10d LTL:3/4"BLTS./GIR: 8-10d	3,965 6485	N/A N/A
3UZ	HGT-2 or 3	LTL:3/4"BLTS./GIR: 8-100 LTL:3/4"BLTS./GIR: 16-10d	9,250	N/A N/A
ፈ በረ		LIL.U/T DLIU./UIN. 10-100	J,∠JU	11/7
303 401	SUR/L414	FACE:18-16d/JST:8-16d	1,700	N/A



SEE PLAN DESIGN WIND PRESSURE



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ISSUE DATE | 05/09/2023 REVISIONS

PROJECT: 00-0000 SCALE: AS NOTED DRAWN BY: S.B.

DESIGNED BY: MJS HIGH ROOF FRAMING PLAN A (STANDARD)

STRUCTURAL NOTES

- 1. THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.) LIVE LOAD ROOF: 20 PSF.
- FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF OCCUPANCY= 1.0 BUILDING CATEGORY R3, WIND EXPOSURE C

INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18

- 2. WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- 3. ALL FLOOR SLABS TO BE OF 3,000 PSI CONC. PLANT MIX MIN. 4" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- 4. CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- 5. MORTAR TO BE TYPE "M" OR "S", GROUT 3,000 PSI @ 28 DAYS.
- 6. MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS
 @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- 8. GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @8" O.C. WITH 5d NAILS
- 9. UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- 10. EPOXY ANCHOR ALTERNATIVE:

THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.
THE FOLLOWING CRITERIA MUST BE MET:

	EININ MOOT BE MET.	
ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	-3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

11. SOIL BEARING CAPACITY 2000 PSF MINIMUM

WOOD STRUCTURAL NOTES

- 1. ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- 2. ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- 3. END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.K..
- 4. PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- 5. NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- 6. MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- 7. DBL. STUDS @ EA. END OF SHEAR WALL.
- 8. WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- 9. NAIL PATTERN

WITHOUT BLOCKING.

-DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)
-DOUBLE STUDS @ 12" O.C..
-DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.
-HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER -STUD TO TOP OR BOTTOM PLATE: (2) 16d THRU

PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.

10. -ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 19/32 OSB, NAILED (10d RING SHANK NAILS) TO ROOF TRUSSES SPACED @ 24" O.C. (MAX)

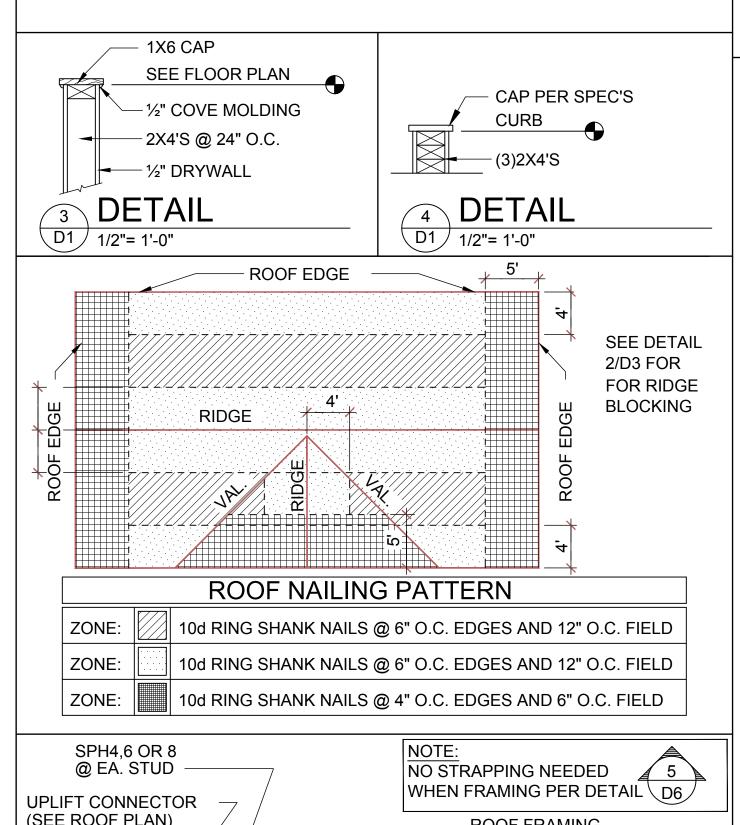
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED (10d RING SHANK NAILS)TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.

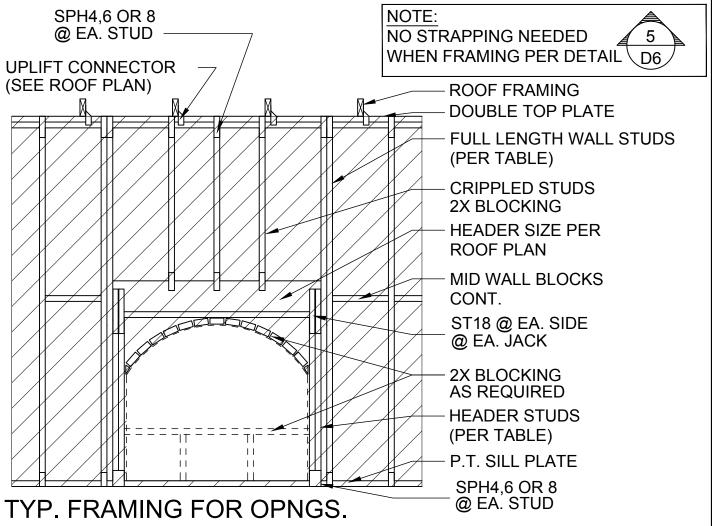
- 11. FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- 12. ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- 13. TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- 14. ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- 15. ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 16. 2000 PSF MINIMUM SOIL BEARING CAPACITY

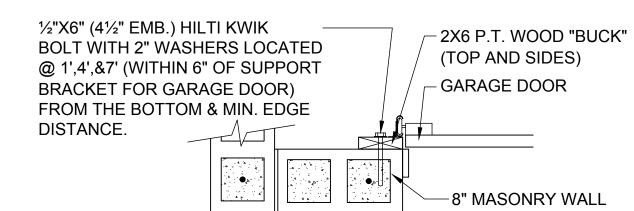
16. NON BEARING WALL: 2X4 SPACED AT 24" O.C. UP TO 12'-0" HEIGHT WITH 2 ROWS OF HORIZONTAL 2X4 BLOCKING SPACE AT 4'-0" O.C.

FIELD REPAIR NOTES

- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBTITUTION
- 2. MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
- 3. MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- 4. BLOCK WALL OVERHANGING SLAB CONDITION: UP TO -7/8" - NO REPAIR NECESSARY -7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED 1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER
- 5. PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

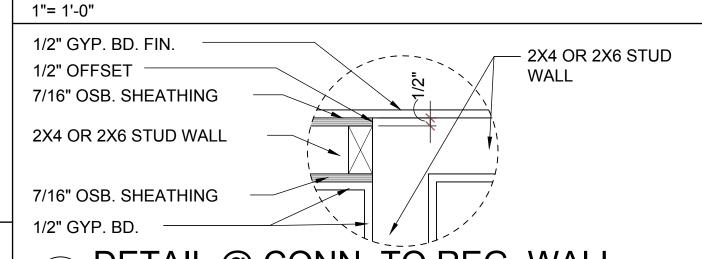


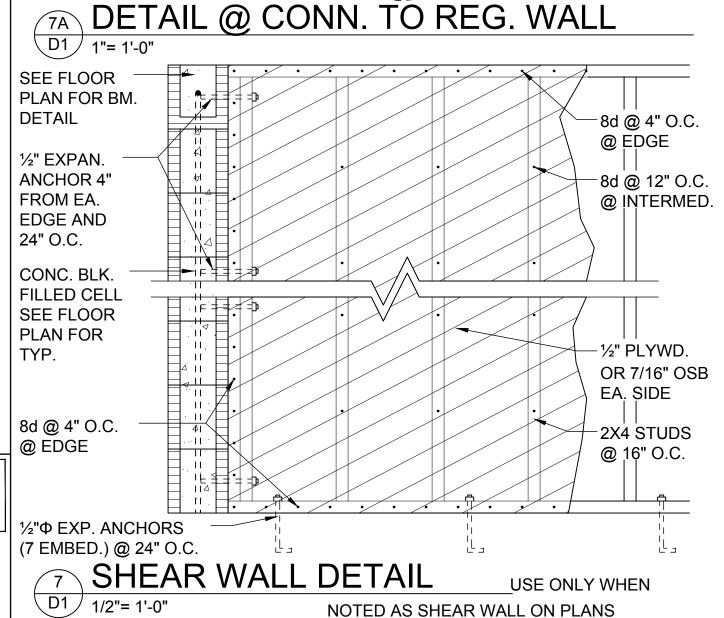




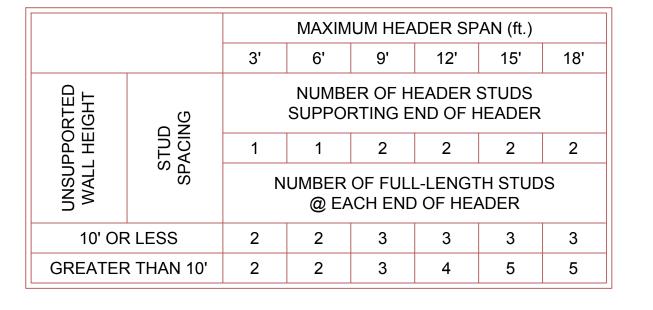
- DETAIL TO SATISFY 150 MPH WIND LOAD
 MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
 GROUT FILLED CELL W/½" ASTM 2 #5 REBAR (GRADE 60)
 @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
 REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL
 "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
 GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"
- 1.) THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
 - A.) THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
 - B.) THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
 - C.) DOOR SIZE, TYPE AND GLAZING
 - D.) TRACK SIZE AND FASTENER DETAILS.
 - E.) TRACK BRACKET QUANTITY, SPACING AND FASTENER
 - F.) REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

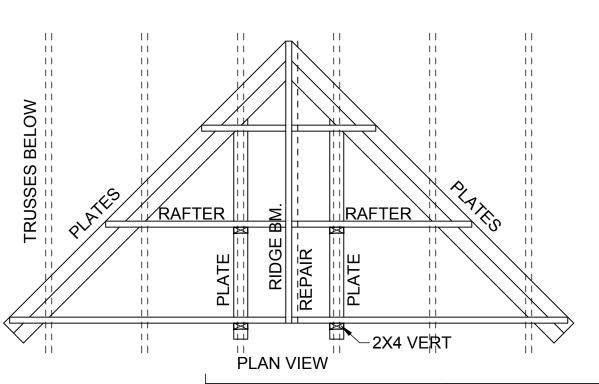
GARAGE BUCK DETAIL

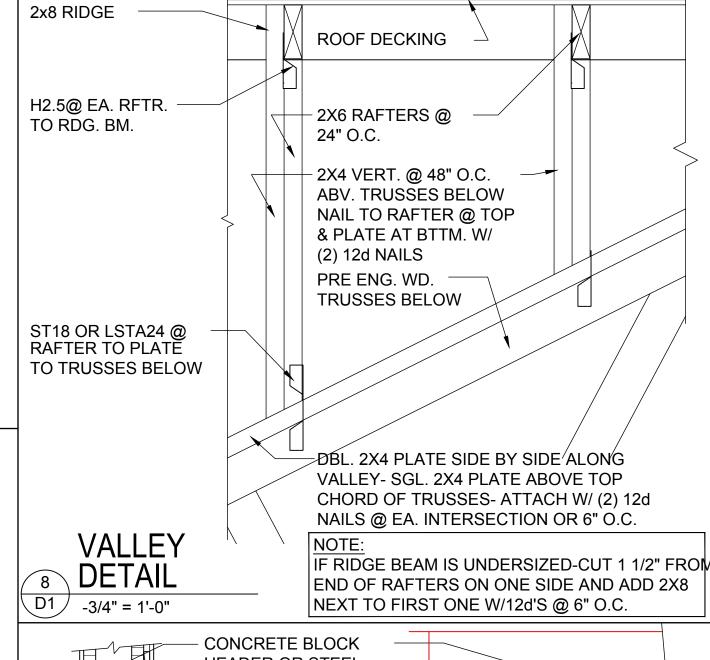


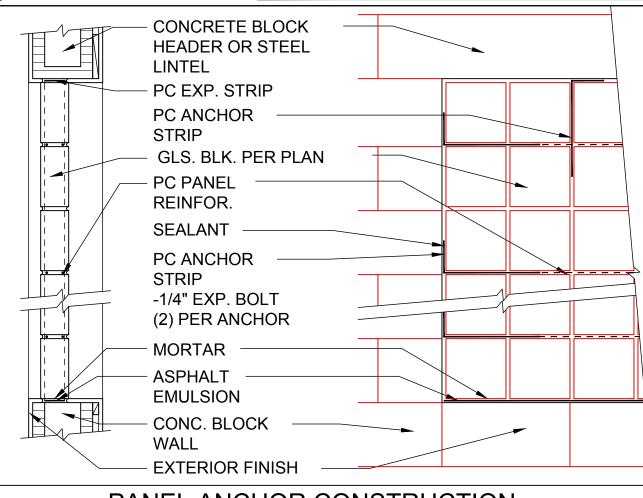


MIN. WALL AND HEADER REQUIREMENTS









PANEL ANCHOR CONSTRUCTION

PC PANEL REINFORCING (TOP):
USED IN PANELS OVER 25"S.F. IN AREA,IS EMBEDDED HORIZONTALLY
IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL
REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1-5/8" O.C.
(FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/
"PREMIERE" SERIES GLS. BLK.), W/ BUTT WELDED CROSSWIRES AT
REGULAR INTERVALS. 4' AND 10' LENGTHS AVAILABLE.

PC PANEL ANCHORS (MIDDLE):
ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED- THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1-3/4" WIDTHS X 24" LENGTHS.

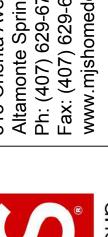
PC EXPANSION STRIPS (BOTTOM):

MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE 3/8" THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3-7/8" "PREMIERE" SERIES BLK., AND TO 2-1/4" WIDTH, FOR 3-1/8" "THINLINE" SERIES BLOCK.

GLASS BLOCK DETAIL



Orienta Ave. Suite# 1040 monte Springs, FL. 32701 (407) 629-6711 (407) 629-6776 v.mjshomedesigns.com









"DREAM"
40-2210
Lot # - Subdivision
Street Address
City, State. Zip

A division of Park Square Enterprises Inc. 5200 Vineland Rd. Suite #200 Orlando, Fl. 32811



ISSUE DATE 05/09/2023
REVISIONS

PROJECT: 00-0000
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

STRUCTURAL DETAILS

D1

