



THRIVE SERIES "EXCITE"

40-1520 MODEL
PAD SIZE 40'-0" x 52'-4"



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A4.C1	LEFT & RIGHT ELEVATIONS - ELEV. "C" (OPT. LANAI)		
A5	ELECTRICAL PLAN - ELEV. "A,B,C"		
A5.1	ELECTRICAL PLAN - ELEV. "A,B,C" (OPT. LANAI)		
A6	ARCHITECTURAL DETAILS		

REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:
1	03/12/20	ADDED 3' TO GARAGE AND ENTRY	C.C.
2	08/06/20	REVISED MASTER SHOWER FROM BI-PASS TO SWING DOOR	C.C.
3	08/06/20	REVISED FOUNDATION PLAN RECEIVED FROM TEG	C.C.
4	08/25/20	REVISED FRONT ENTRY ROOF LINE ON S3 PAGE	C.C.
5	09/23/20	REVISED ELEC. RISER DIAGRAM PER REVISIONS FROM MONICA W.	C.C.
6	01/05/21	ADDED LEFT HAND GARAGE SWING SHEETS	S.B.
7	01/07/21	REVISED PATIO TO BE 8'-0"X8'-0" ILO 8'-0"X3'-0"	S.B.
8	04/20/21	ADDED SECOND GFI TO GARAGE TO MEET CODE REQUIREMENTS	S.B.
9	04/27/21	REVISED A/C CLOSET PER BUILDER REQUEST, UPDATED ELECTRICAL RISER DIAGRAM	S.B.
10	07/29/21	ADDED OPTIONAL LANAI TO PLANS.	S.B.
11	08/11/21	UPDATED TRUSS PLANS AND ADDED ABS TRUSSES	S.B.
12	10/01/21	REVISED FAN/LIGHT PRE-WIRE TO DOUBLE SWITCHES	M.C.
13	02/04/22	ADDED ROOF VENT NOTES TO ELEVATIONS	M.C.
14	05/08/23	CHANGED ALL BI-FOLD DOORS TO SWING DOORS AND SECONDARY CLOSET DOORS TO 20 BALL & CATCH DOORS	C.C.
15			
16			

DISTRIBUTED LIVE LOAD

(IN POUNDS PER SQ. FT.)

UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD-IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

ANSI STANDARD FOR MEASURING HOUSES

THE ANSI STANDARD FOR MEASURING HOUSES:
NATIONAL STANDARD Z765-1996 NEW CONSTRUCTION THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS. FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE USUALLY LISTED SEPARATELY.

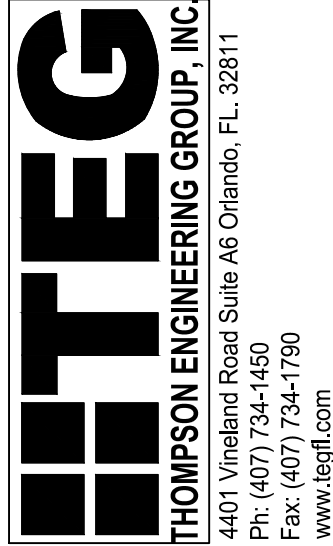
THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS SEPARATED INTO TWO AREAS:

- AIR-CONDITIONED SPACE
- NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES, BREEZEWAYS)

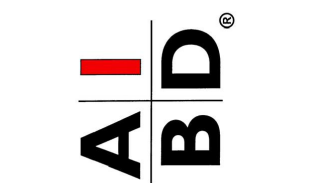
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GENERAL CONTRACTOR:

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH SINGLE FAMILY HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.



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"EXCITE"
40-1520
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd, Suite # 200
Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE 06/22/2022

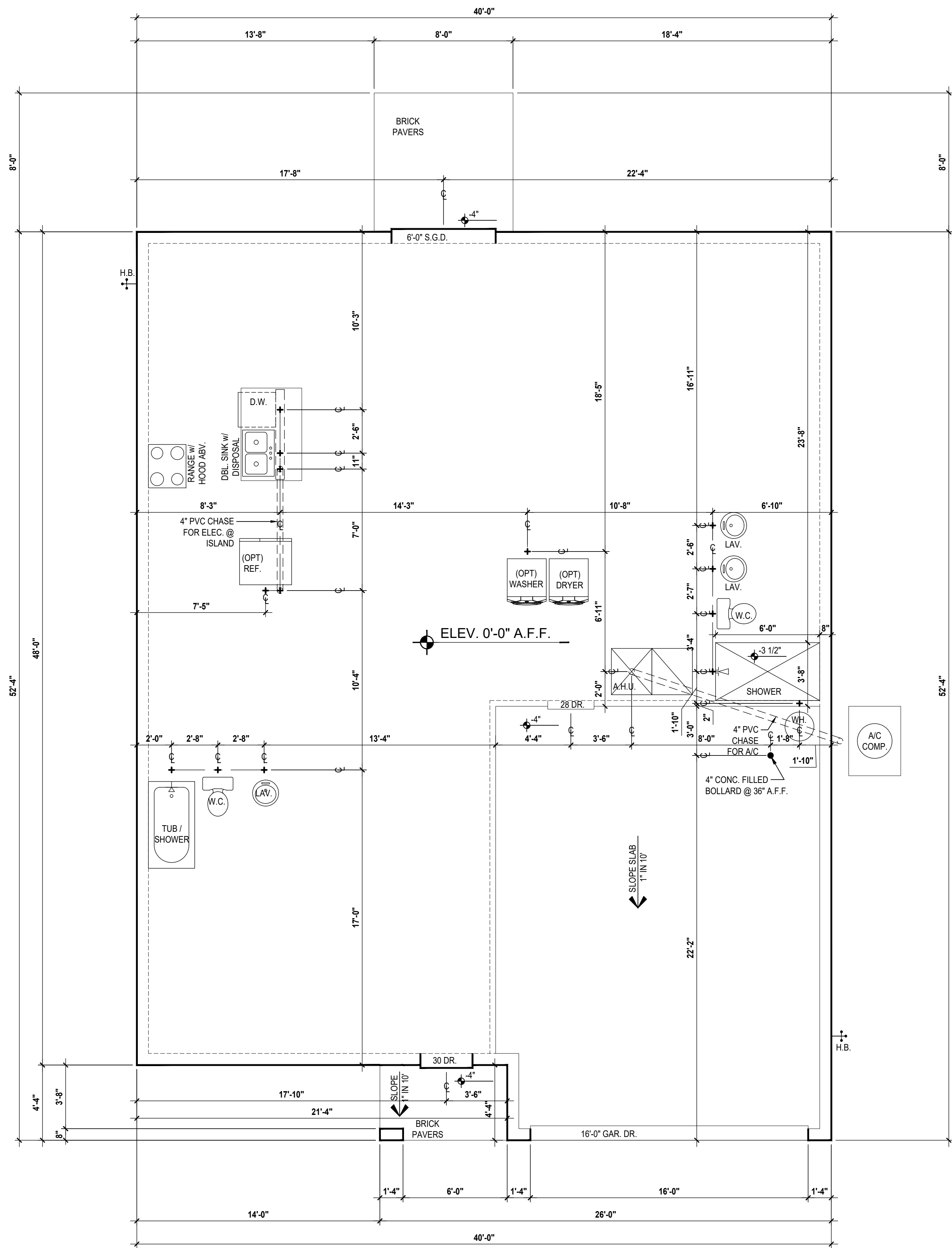
REVISIONS

PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

COVER PAGE

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GENERAL NOTES KEY:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
4. PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
5. IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
6. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:**
- 20 = 2'-0"
 - 24 = 2'-4"
 - 28 = 2'-8"
 - 30 = 3'-0"
 - 40 B.F. = 4'-0" BIFOLD
 - 50 B.F. = 5'-0" BIFOLD
 - 60 B.F. = 6'-0" BIFOLD
- * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT



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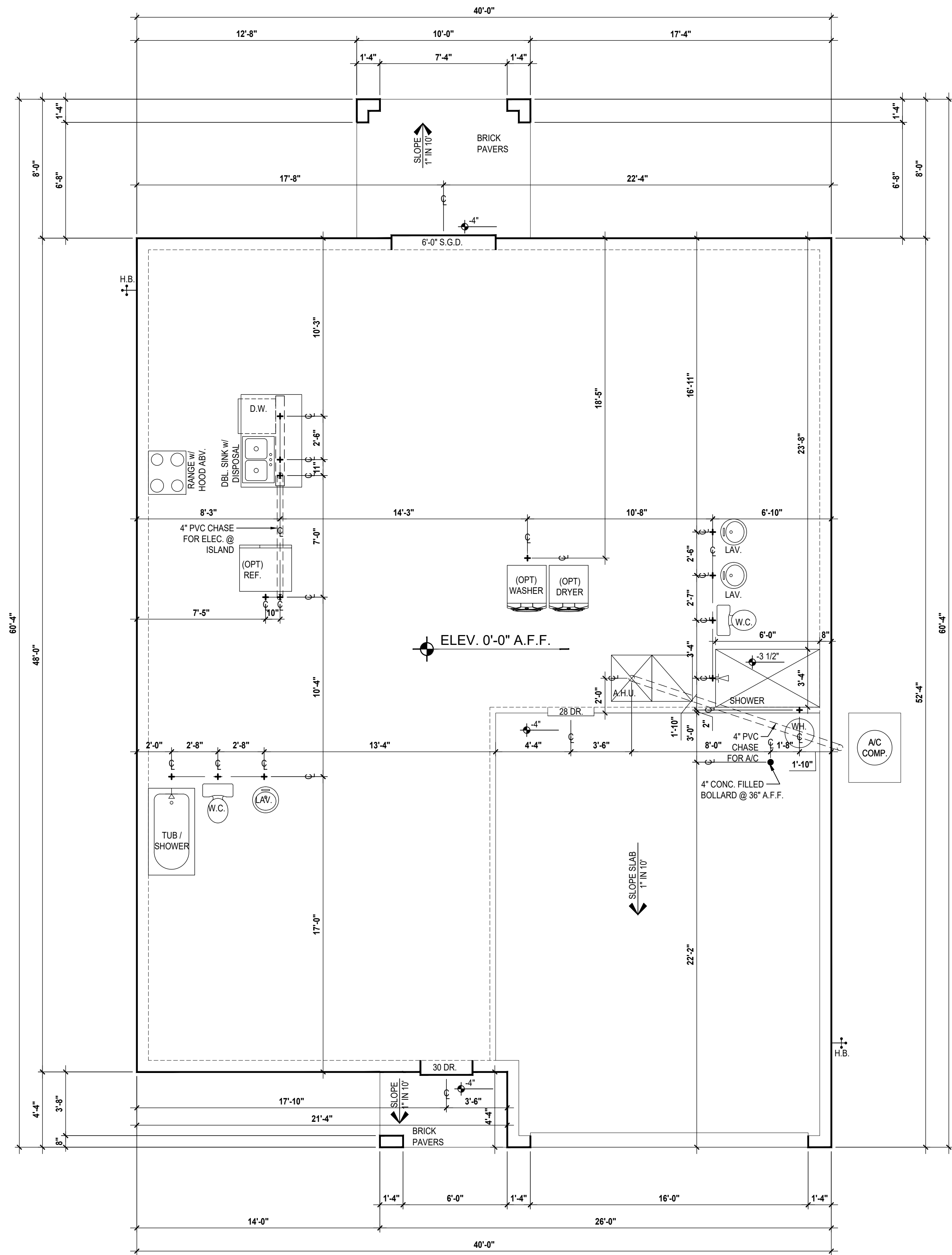
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SLAB PLAN
A1

Slab Plan "A,B,C"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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Slab Plan "A,B,C"
(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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4. PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
5. IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
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DOOR NOTE KEY:

- DOOR SIZE CALLOUT:
- 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD
 - 24 = 2'-4" 50 B.F. = 5'-0" BIFOLD
 - 28 = 2'-8" 60 B.F. = 6'-0" BIFOLD
 - 30 = 3'-0"
- * ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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MJS
designers group
residential-commercial-architecture

AI
BID
GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

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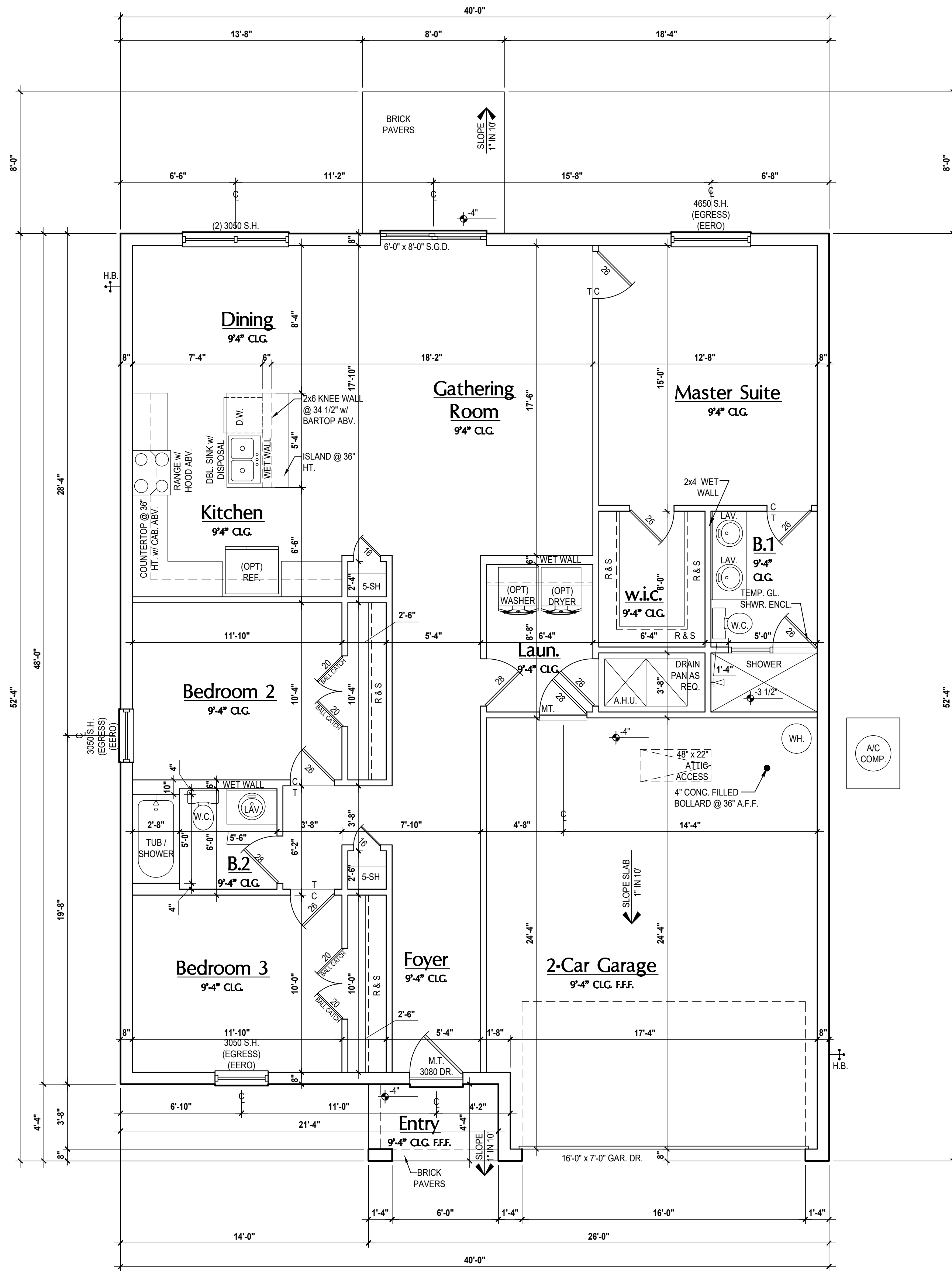
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Park Square
HOMES

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FOUNDATION PLAN
A1.1

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GENERAL NOTES KEY:

- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2023) FLORIDA BUILDING CODE (8TH EDITION)
- ABBREVIATIONS:
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED
- GLASS
 - SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL
- NOTE: SPECIALTY WINDOWS/DOORS FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

FLOOR PLAN NOTES:

- NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 - ALL INTERIOR SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
 - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SVS = SHEAR WALL SEGMENTS.
 - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BEHIND HABITABLE ROOMS (TYP.)
 - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H. U.N.O.
 - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 - 1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND SIDES.
 - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
 - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
 - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.
 - ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
 - SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 P.S.F. MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

DOOR NOTE KEY:

- DOOR SIZE CALLOUT:
- 28 = 2'-8"
 - 20 = 2'-0"
 - 24 = 2'-4"
 - 26 = 2'-6"
 - 30 = 3'-0"
 - 40 B.F. = 4'-0" BI-FOLD
 - 50 B.F. = 5'-0" BI-FOLD
 - 60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

- WINDOW SIZE CALLOUT:
- 2040 = 2'-0" x 4'-0"
 - 2050 = 2'-0" x 5'-0"
 - 2060 = 2'-0" x 6'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

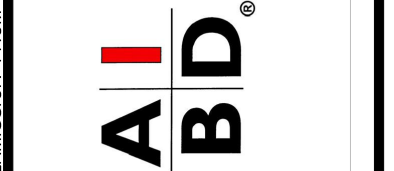
Area Tabulations

Living:	
1st floor:	1,520 sf
Total Living:	1,520 sf
entry:	32 sf
garage:	480 sf
Total Area:	2,032 sf
patio slab:	64 sf

Floor Plan "A,B,C"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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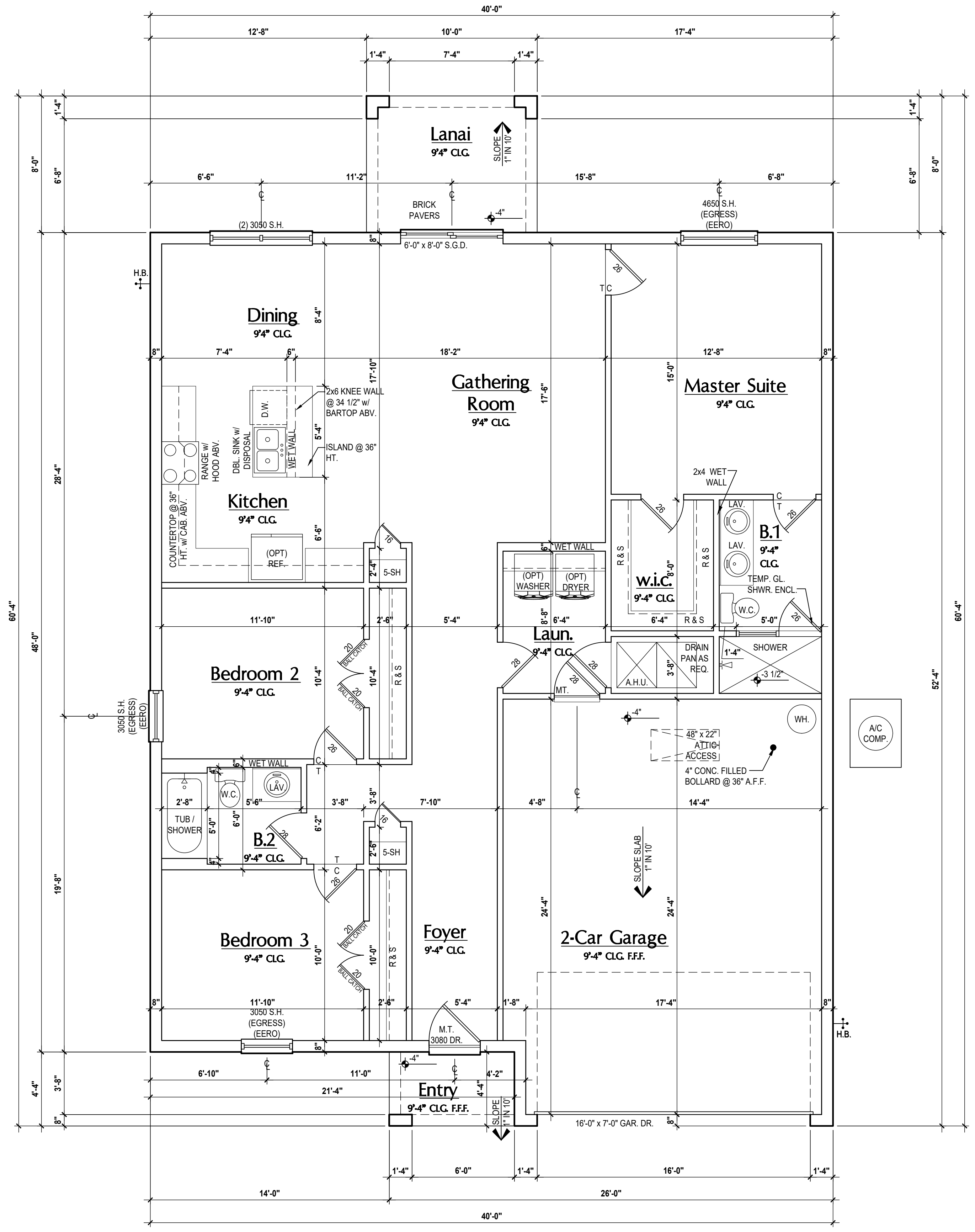
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DRAWN BY:	S.B.
DESIGNED BY:	MJS

FLOOR PLAN
A2

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- ABBREVIATIONS:
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
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- GLASS
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 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL
- NOTE:
- SPECIALTY WINDOWS/DOORS
 - FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

FLOOR PLAN NOTES:

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 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 - ALL INTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.N.O.
 - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
 - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
 - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SVS = SHEAR WALL SEGMENTS.
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 - 60 B.F. = 6'-0" BI-FOLD

WINDOW NOTE KEY:

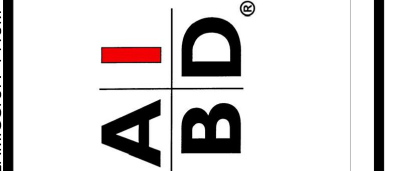
- WINDOW SIZE CALLOUT:
- 2040 = 2'-0" x 4'-0"
 - 2050 = 2'-0" x 5'-0"
 - 2060 = 2'-0" x 6'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

Area Tabulations

Living:	
1st floor:	1,520 sf
Total Living:	1,520 sf
entry:	32 sf
garage:	480 sf
lanai:	80 sf
Total Area:	2,112 sf



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City, State, Zip

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Orlando, FL 32811
Phone: (407) 529-3000

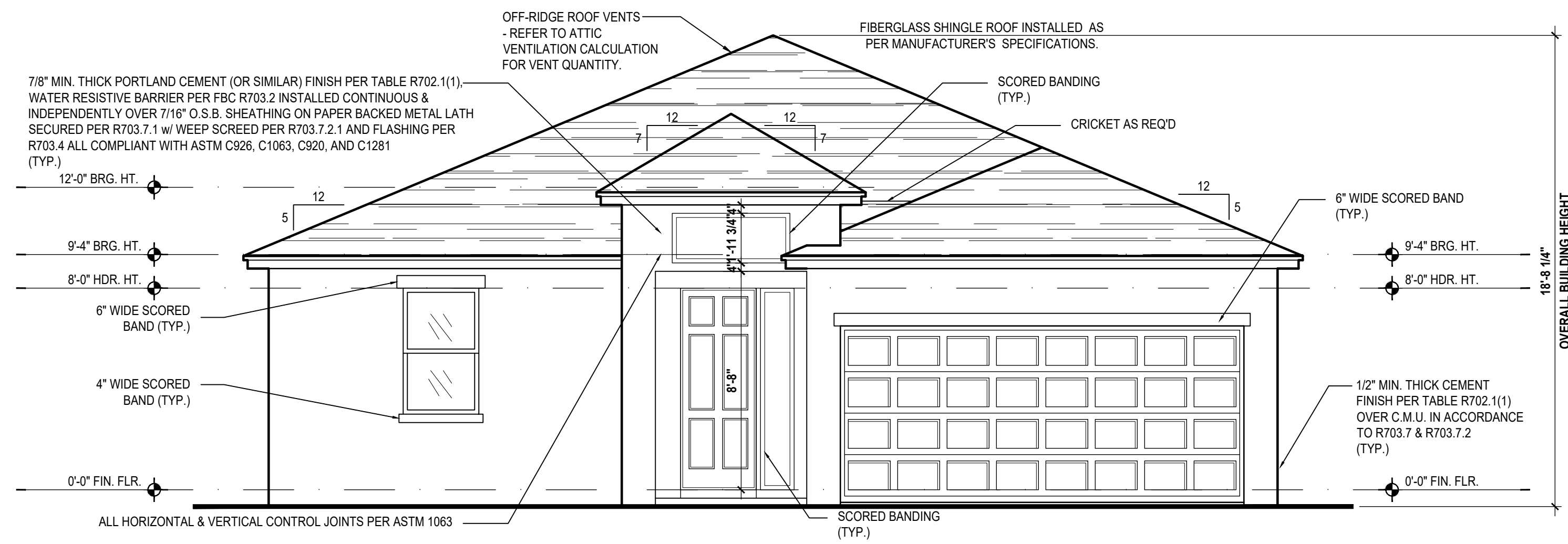


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FLOOR PLAN
A2

Floor Plan "A,B,C"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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Front Elevation "A"

(Standard)

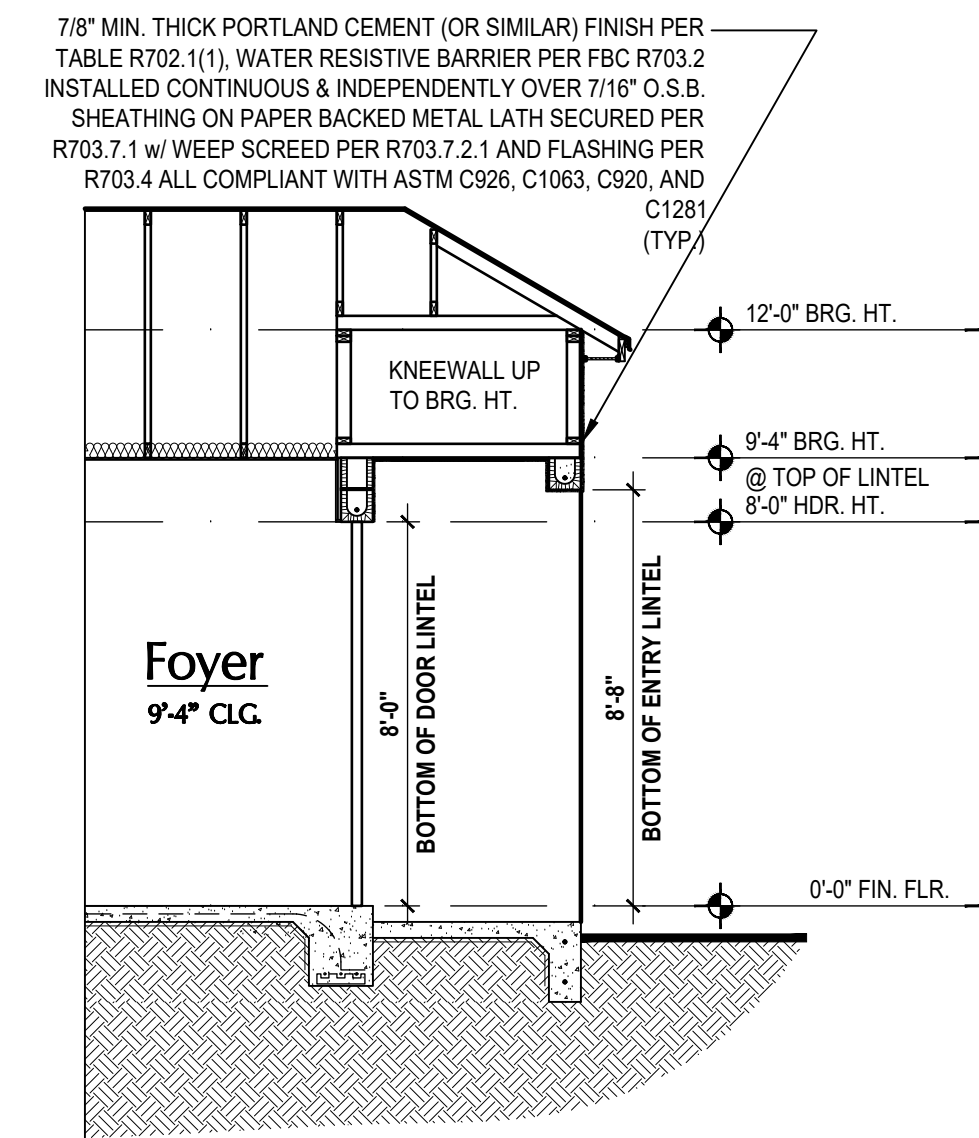
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

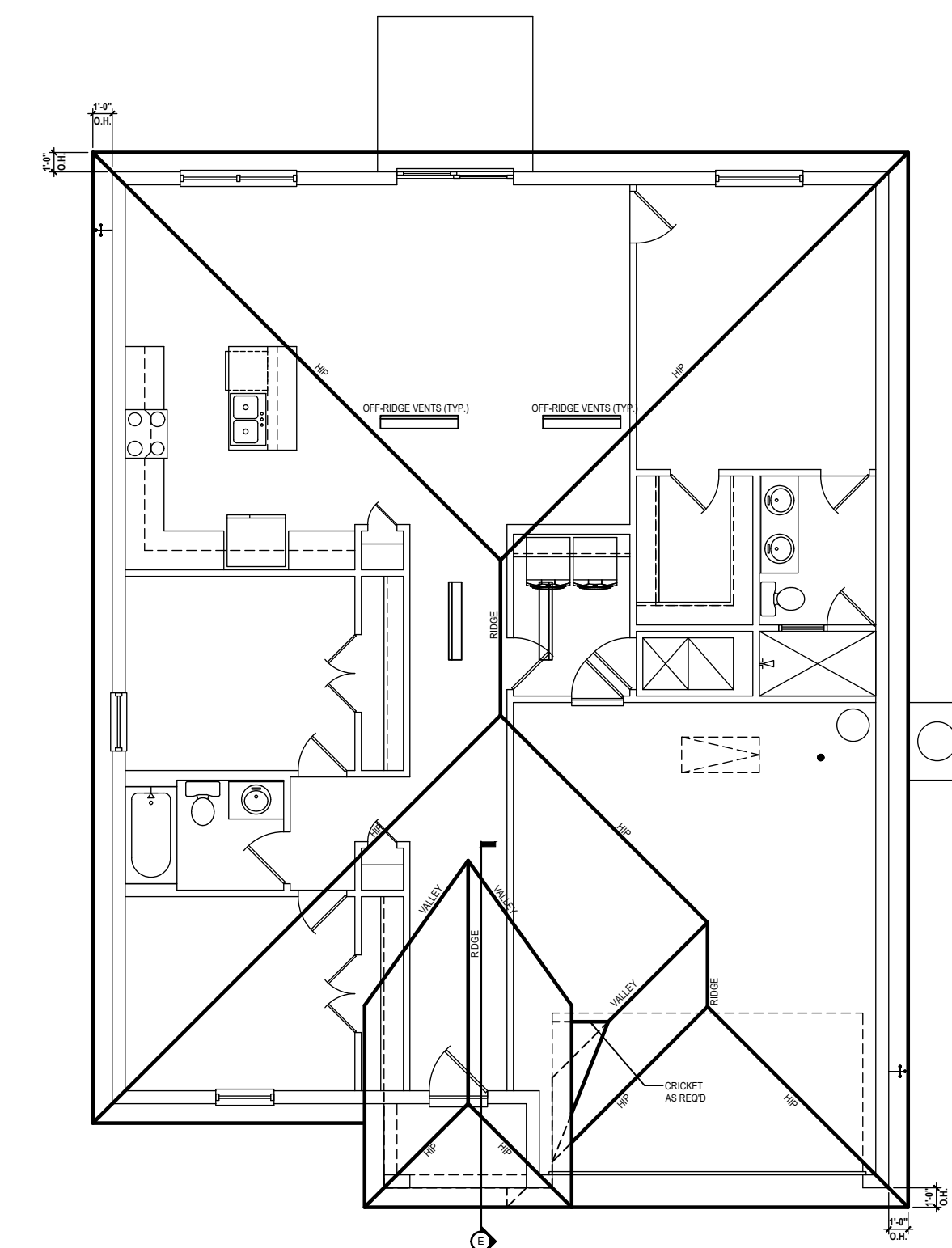
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail

SCALE: 1/4" = 1'-0" (22x34)



Roof Layout

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED SPACE.

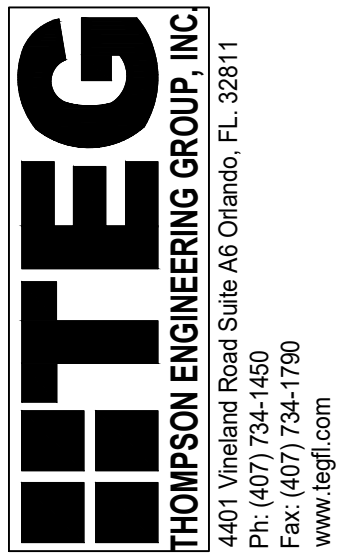
TOTAL VENTED SPACE: $\frac{1,895}{300} = 6.316$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.526 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:
4 VENTS @ .683 /PER VENT

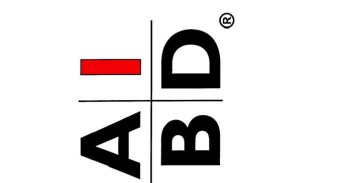
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.79SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:
80.00 L.F. @ 0.047 SF. VENTING/L.F.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



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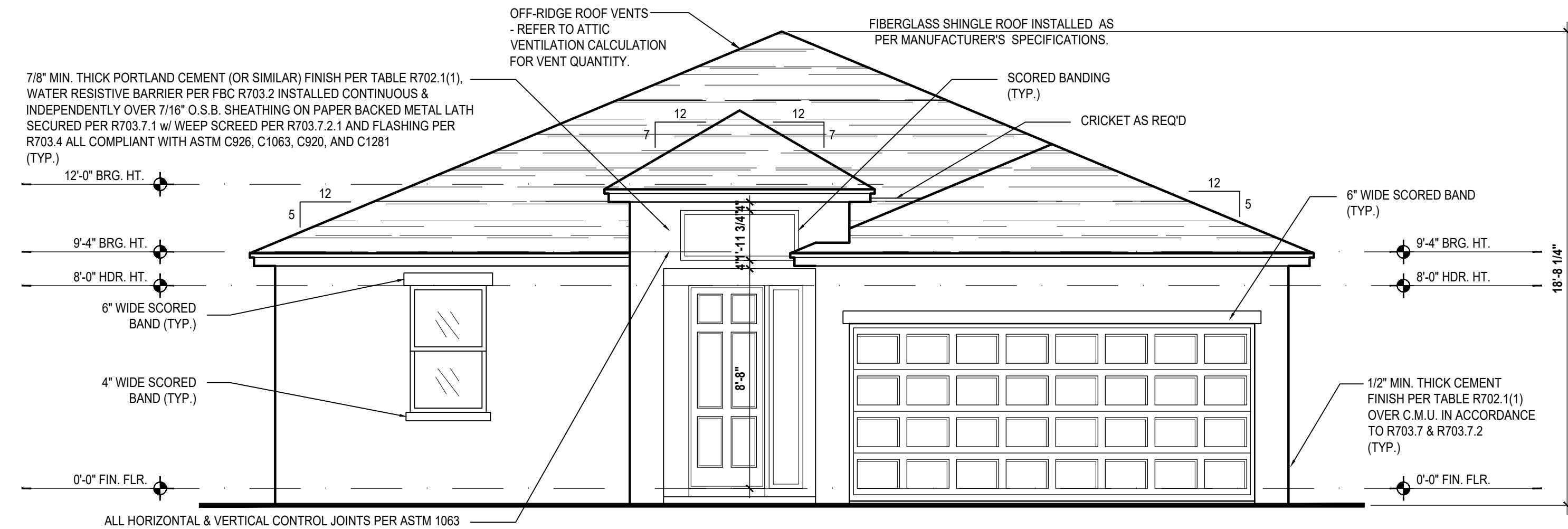
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PROJECT: 19-0206
SCALE: AS NOTED
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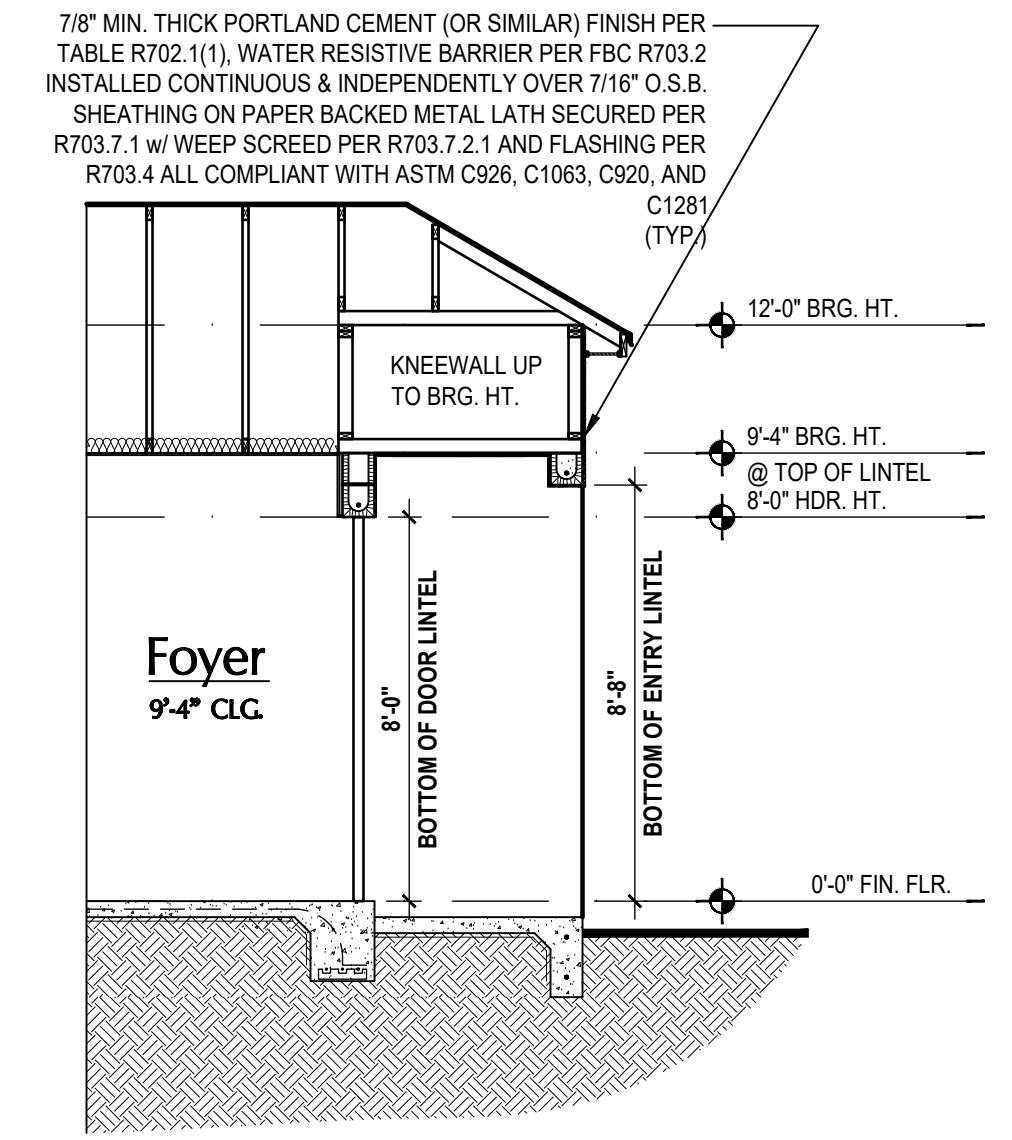
ELEVATIONS
A3.A

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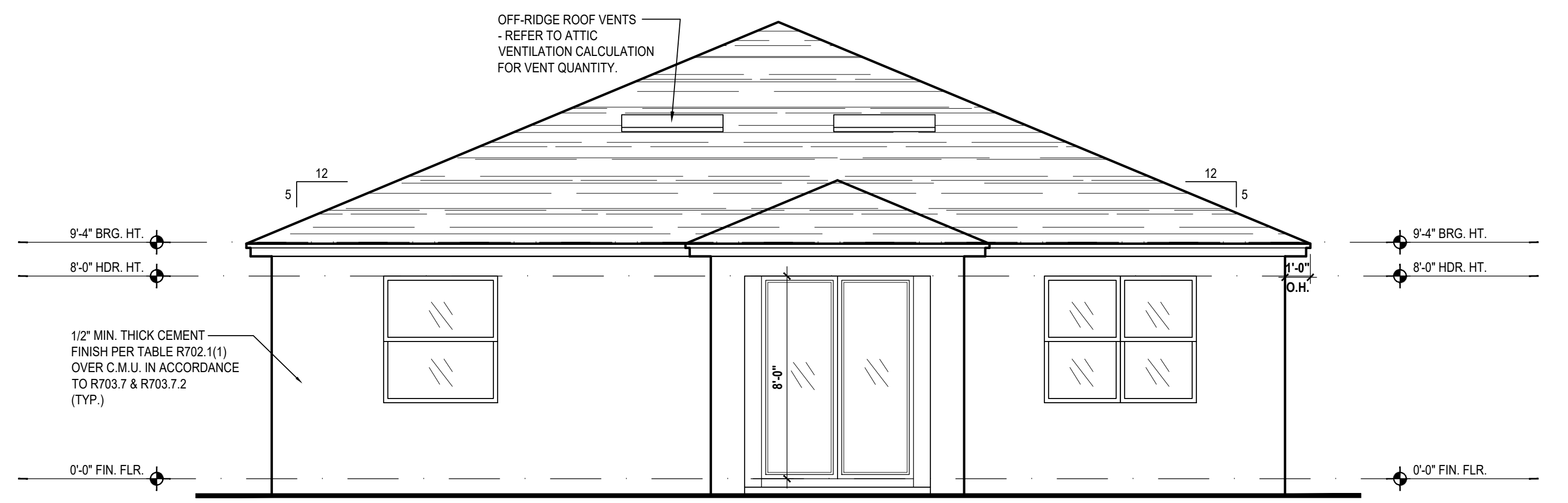
ATTIC VENT CALC'S:	
2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES). (OFF-RIDGE VENT MAXIMUM OPENING SIZES)	
MINIMUM NET VENTILATION AREA SHALL BE $\frac{1}{30}$ OF VENTED SPACE.	
TOTAL VENTED SPACE:	$\frac{1,895}{300} = 6.316$ SF. NET FREE REQUIRED
UPPER PORTION VENTILATION TOTAL:	2,526 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 4 VENTS @ .683 /PER VENT
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).	
LOWER PORTION VENTILATION TOTAL:	3.79 SF. TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 L.F. @ 0.047 SF. VENTING/LF.
UPPER ROOF PERCENTAGE:	40%
LOWER ROOF PERCENTAGE:	60%



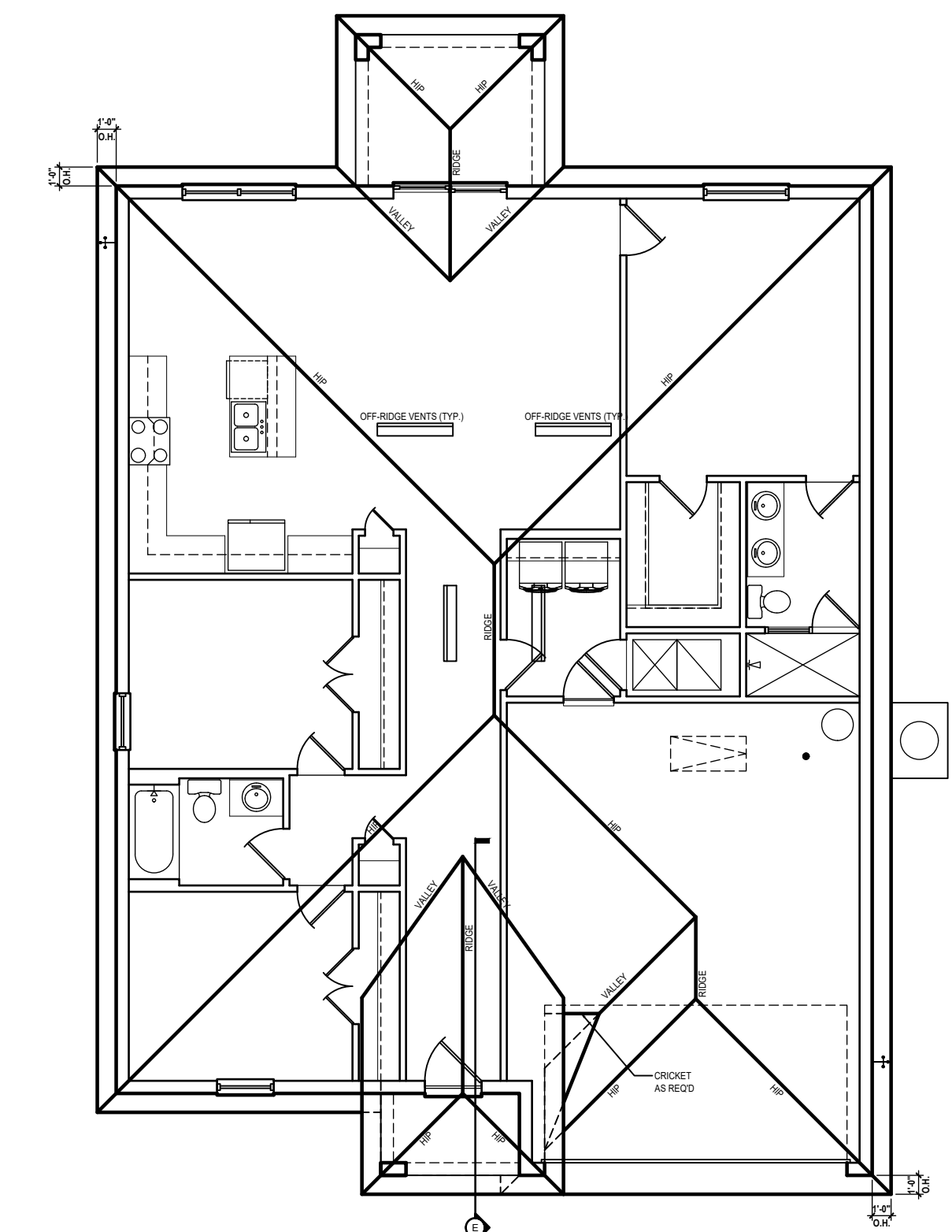
Front Elevation "A"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail
SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation "A"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
(Opt. Lanai)
SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



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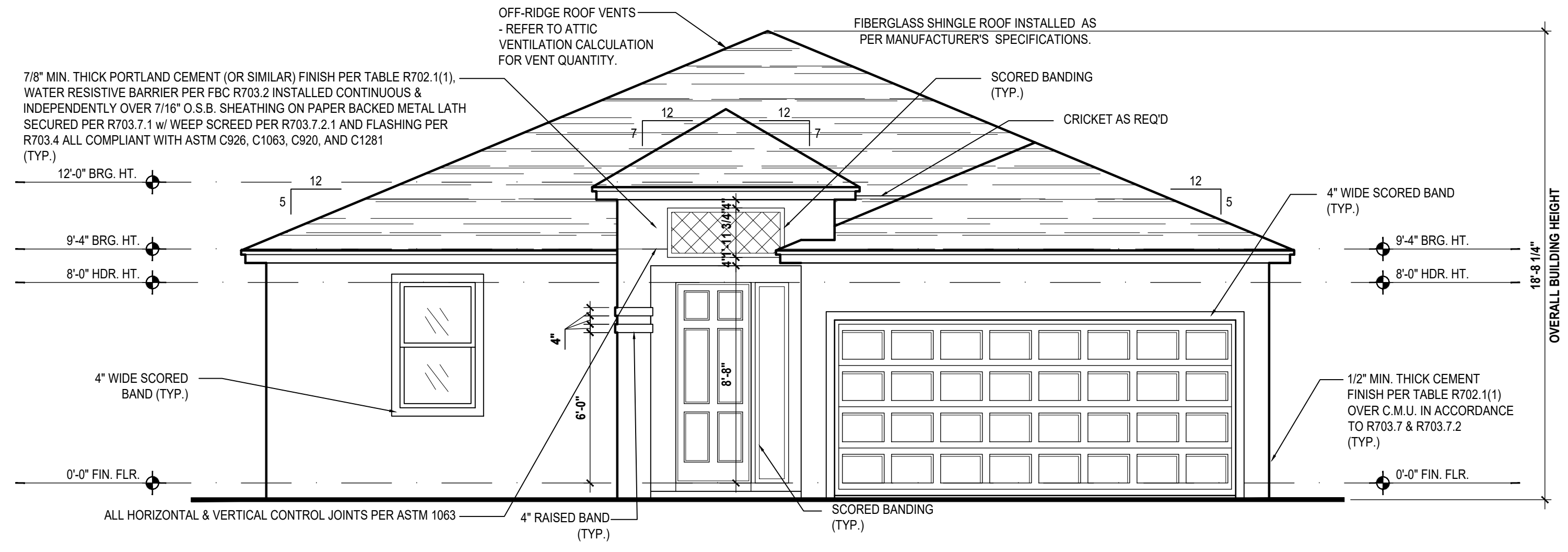


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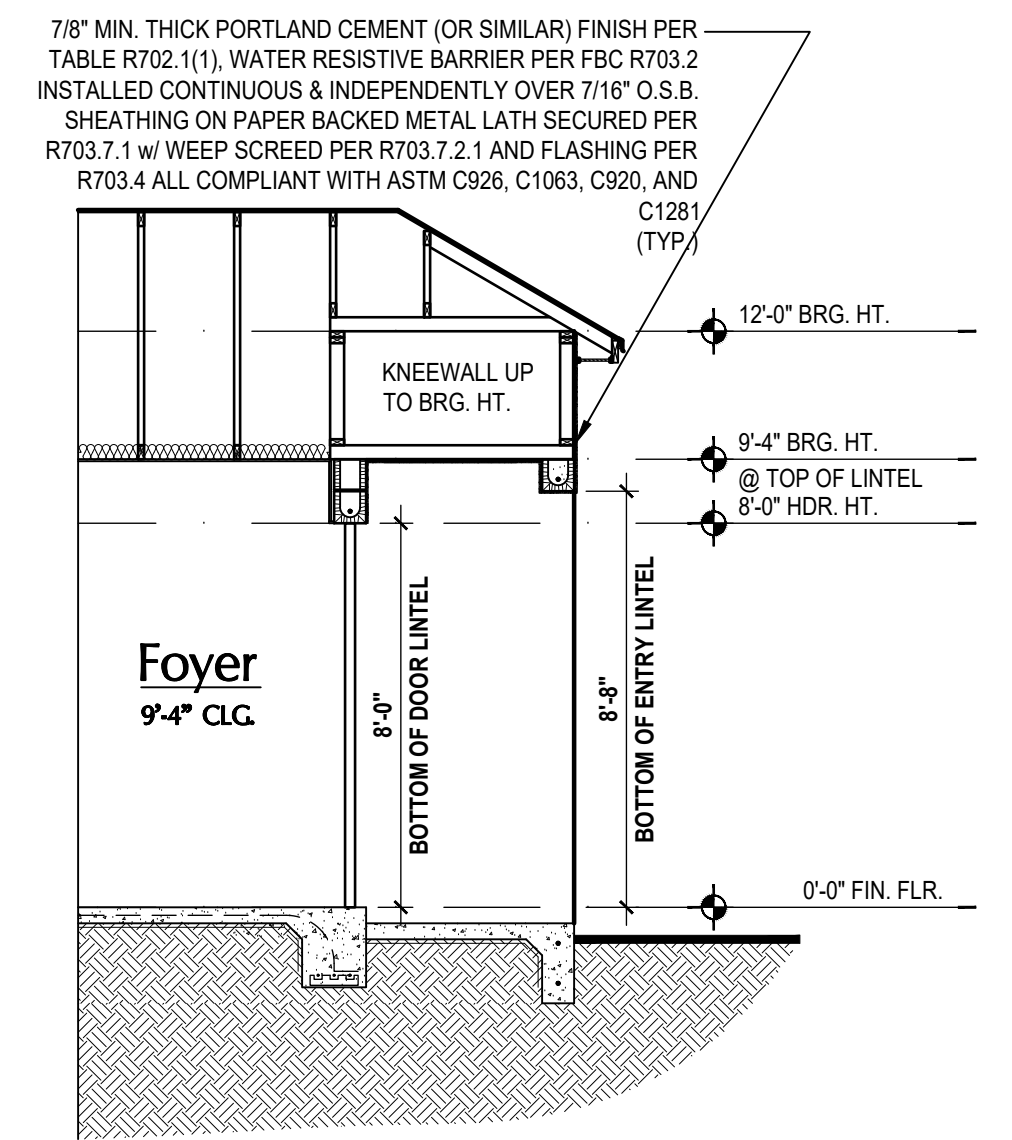
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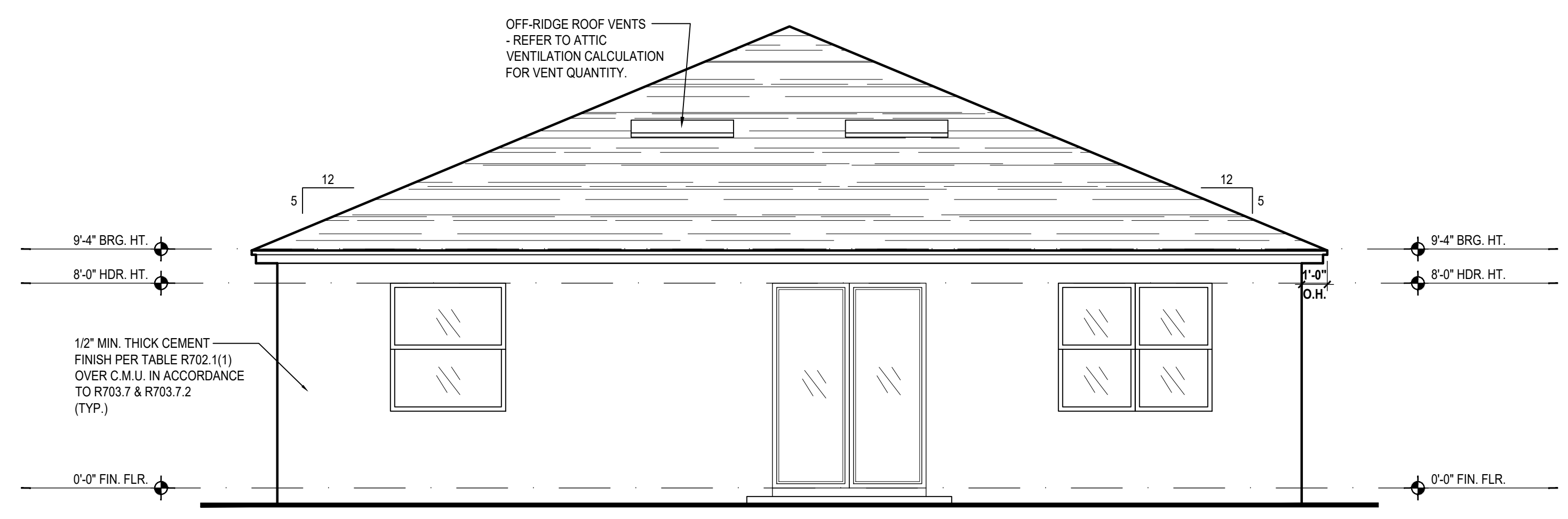
ATTIC VENT CALC'S:	
2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R806 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES). (OFF-RIDGE VENT MAXIMUM OPENING SIZES)	
MINIMUM NET VENTILATION AREA SHALL BE $\frac{1}{150}$ OF VENTED SPACE.	
TOTAL VENTED SPACE:	$\frac{1,895}{300} = 6.316$ SF. NET FREE REQUIRED
UPPER PORTION VENTILATION TOTAL:	2,526 SF. TO BE PROVIDED w/ OFF RIDGE VENTS: 4 VENTS @ .683 /PER VENT
TILE:	O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).
LOWER PORTION VENTILATION TOTAL:	3.79SF. TO BE PROVIDED w/ SOFFITS @ EAVE: 80.00 L.F. @ 0.047 SF. VENTING/LF.
UPPER ROOF PERCENTAGE:	40%
LOWER ROOF PERCENTAGE:	60%



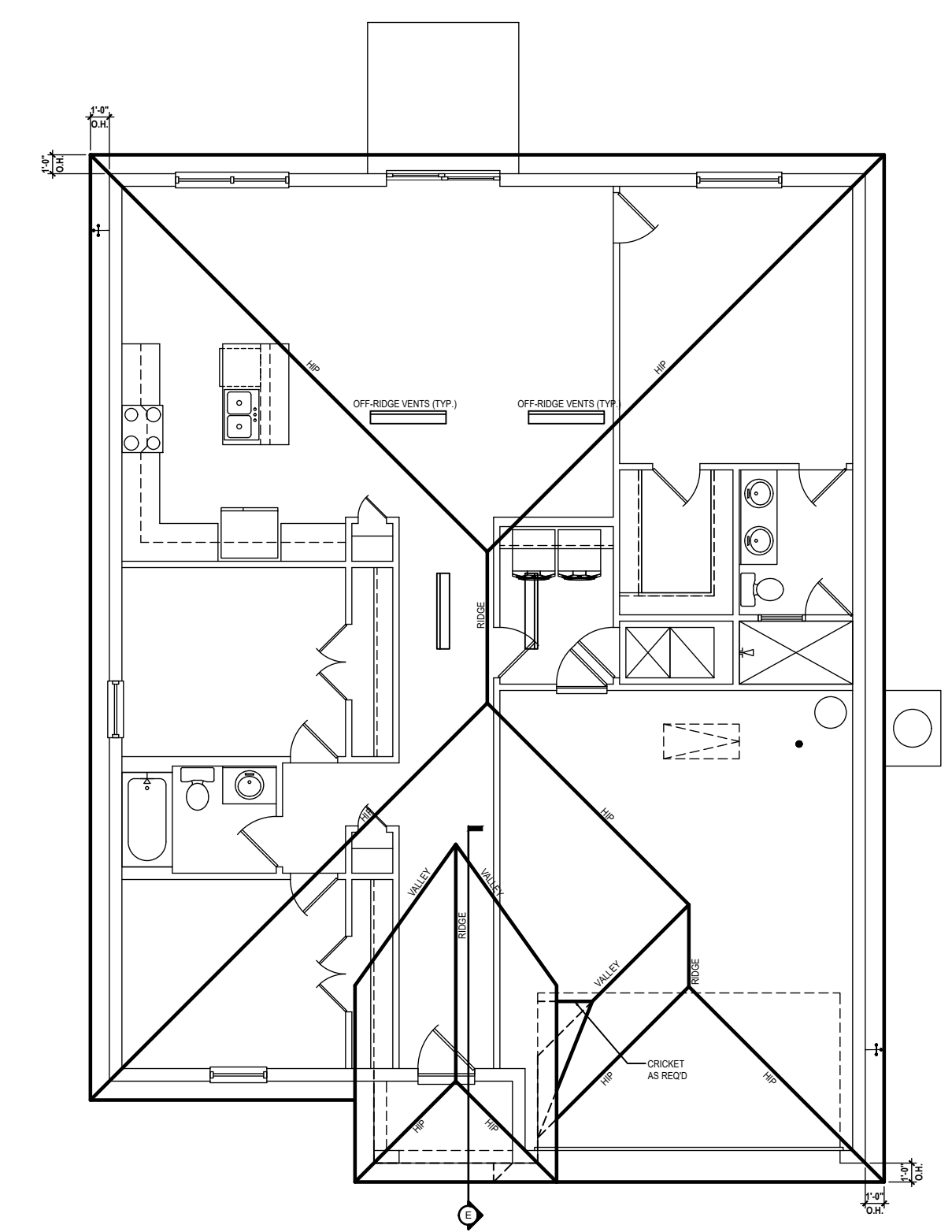
Front Elevation "B"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail
SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation "B"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
(Standard)
SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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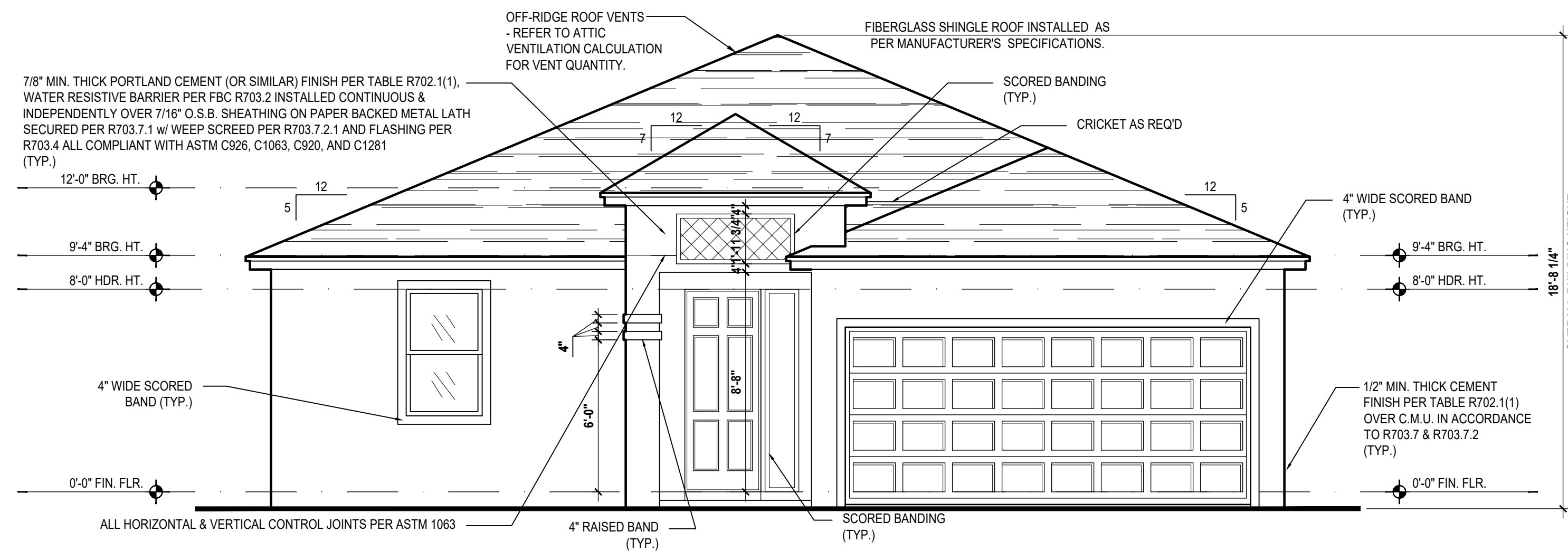
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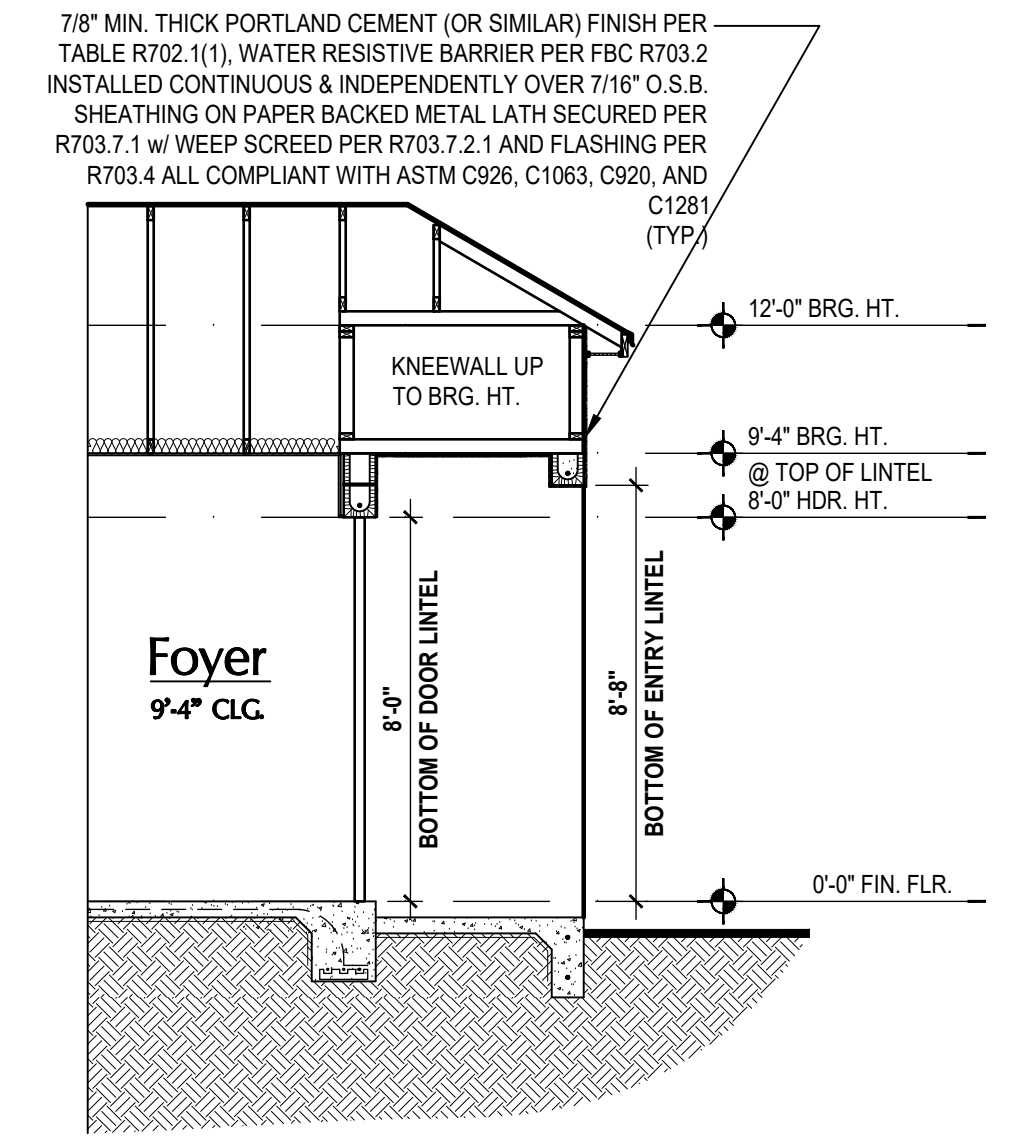
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UPPER ROOF PERCENTAGE:	40%
LOWER ROOF PERCENTAGE:	60%



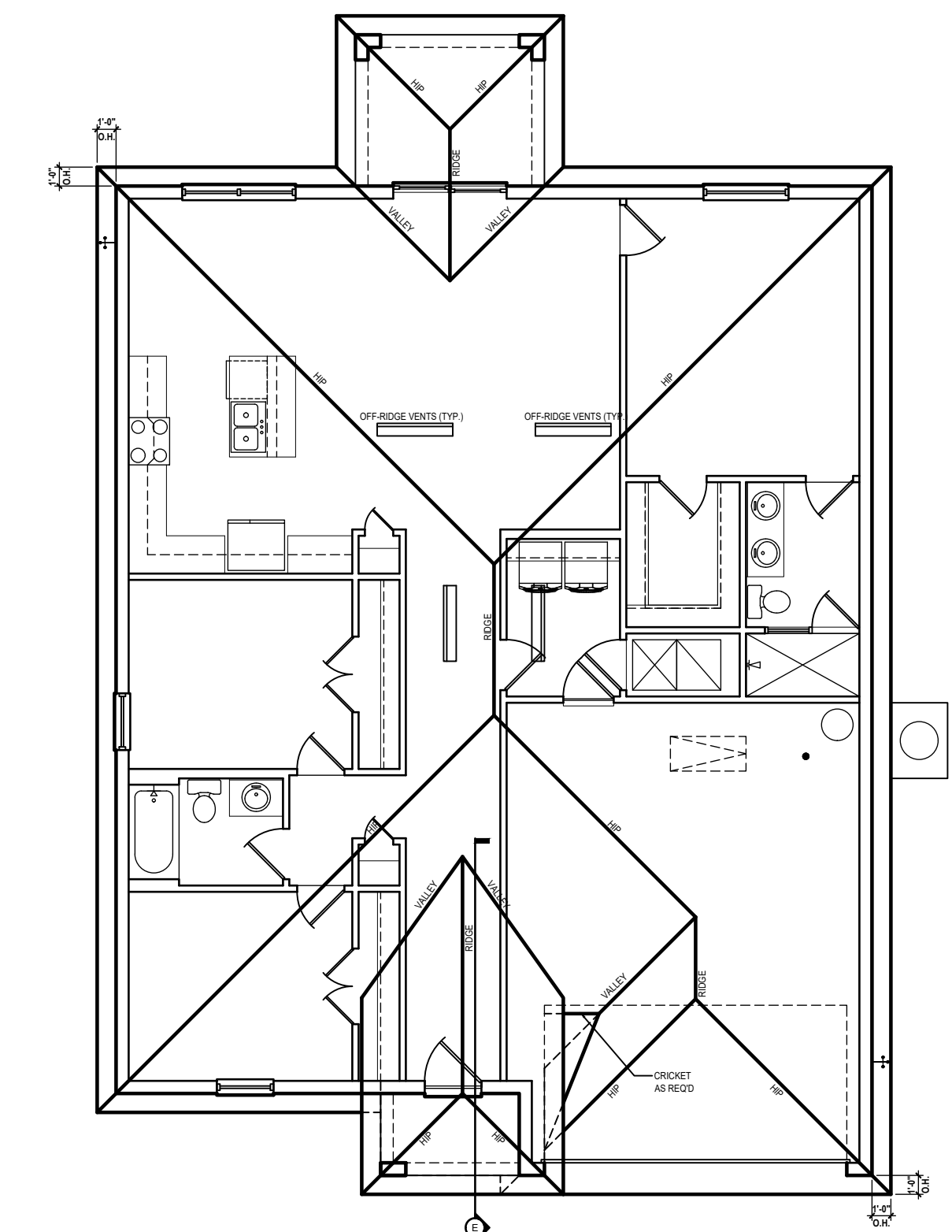
Front Elevation "B"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail
SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation "B"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
(Opt. Lanai)
SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



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ELEVATIONS
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ATTIC VENT CALC'S:

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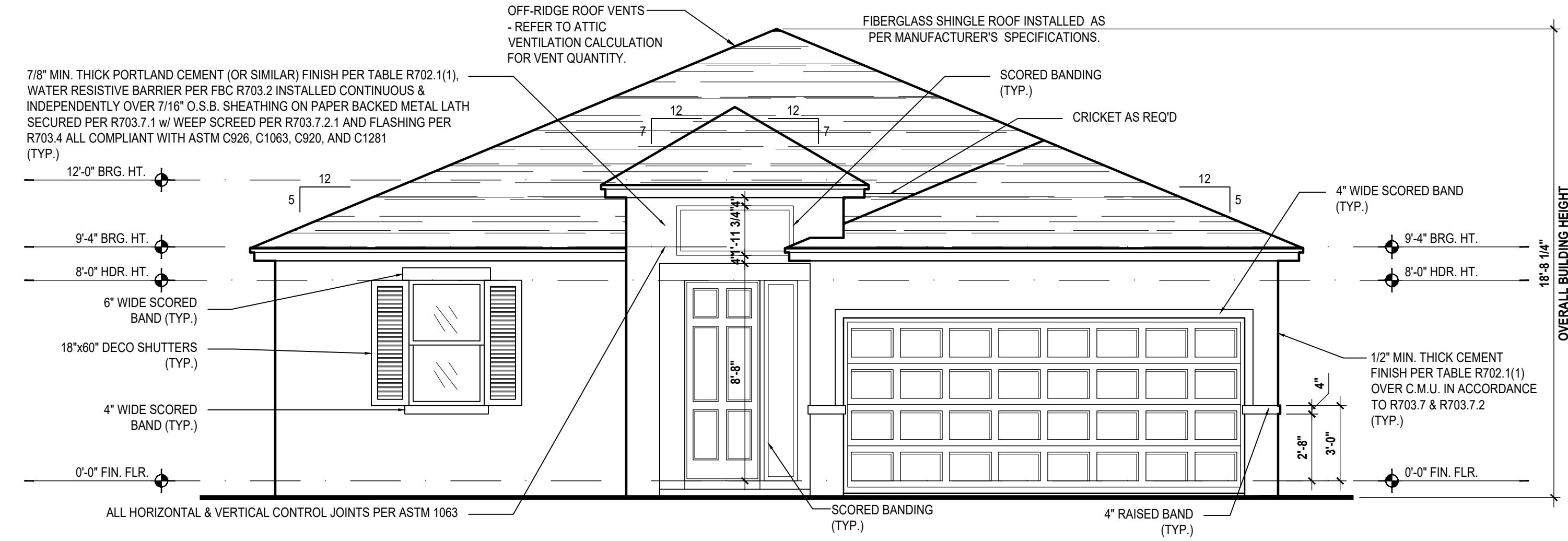
TOTAL VENTED SPACE: $\frac{1,895}{300} = 6.316$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 2,526 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 4 VENTS @ .683 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.79SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 L.F. @ 0.047 SF. VENTING/LF.

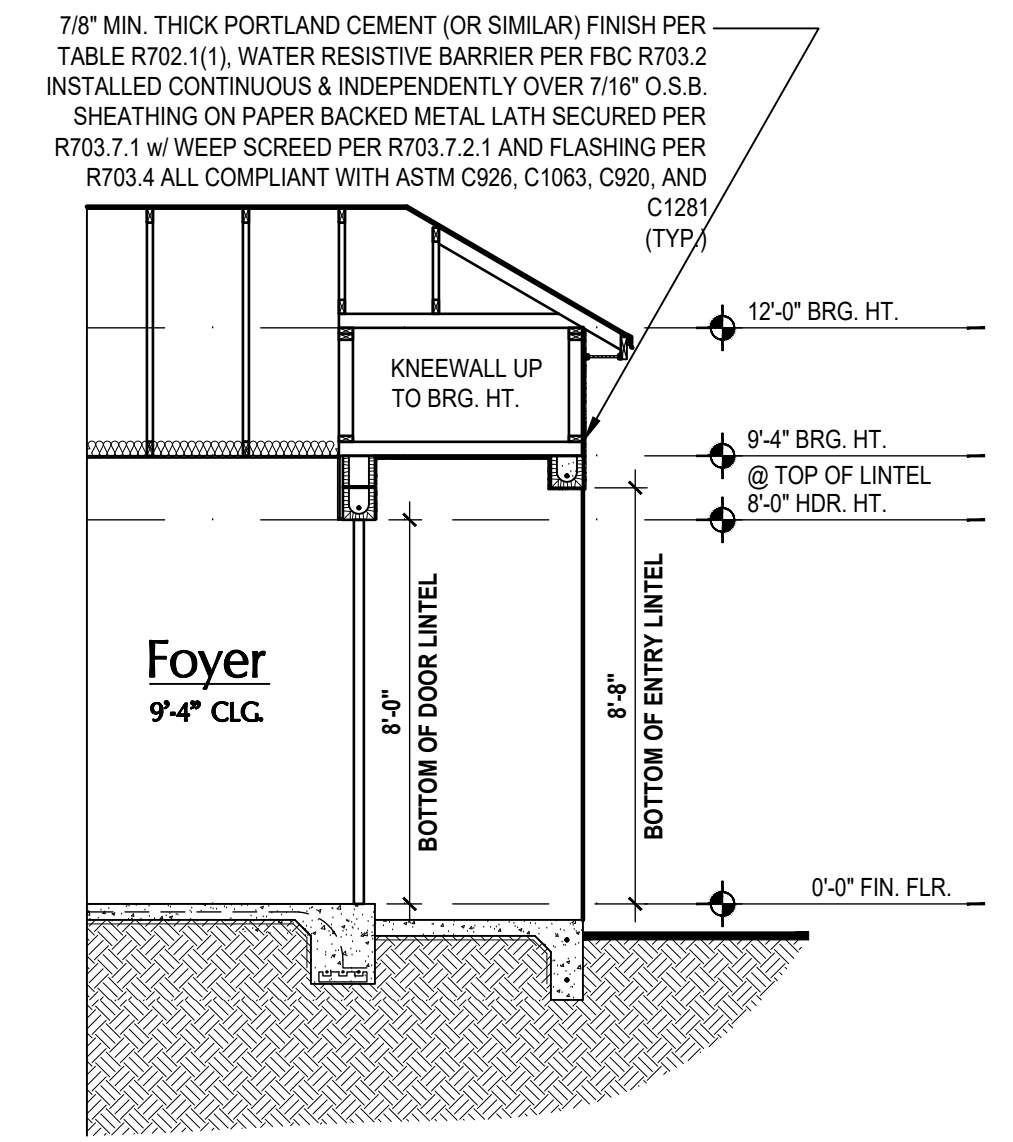
UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Front Elevation "C"

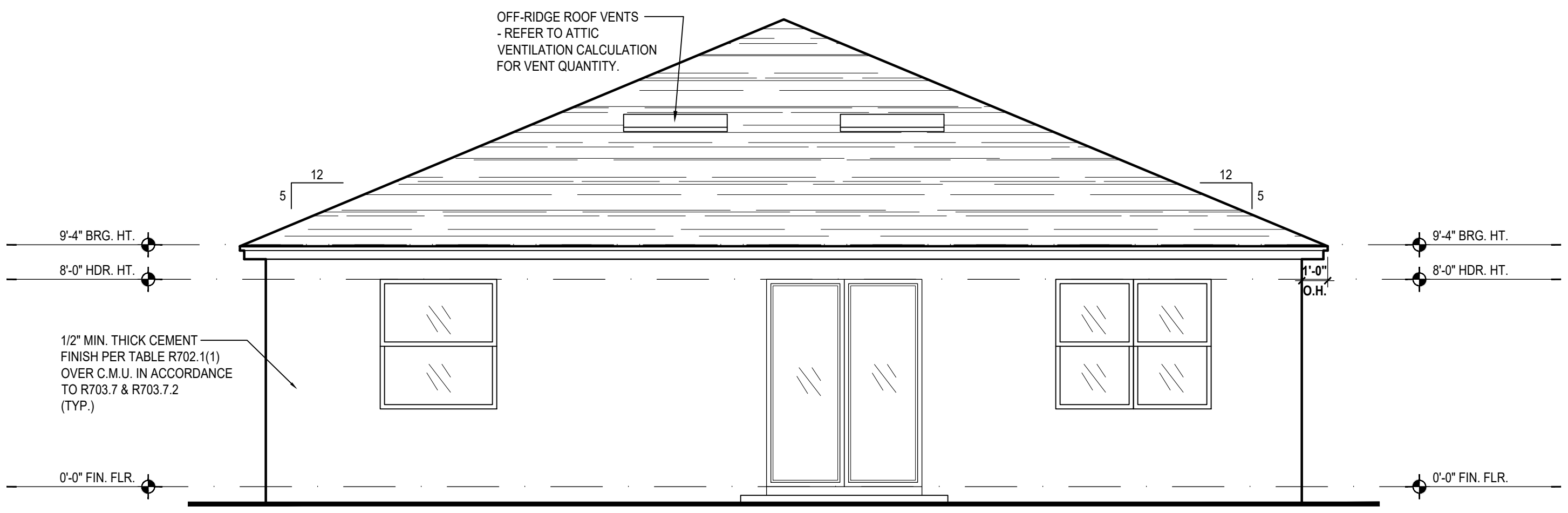
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail

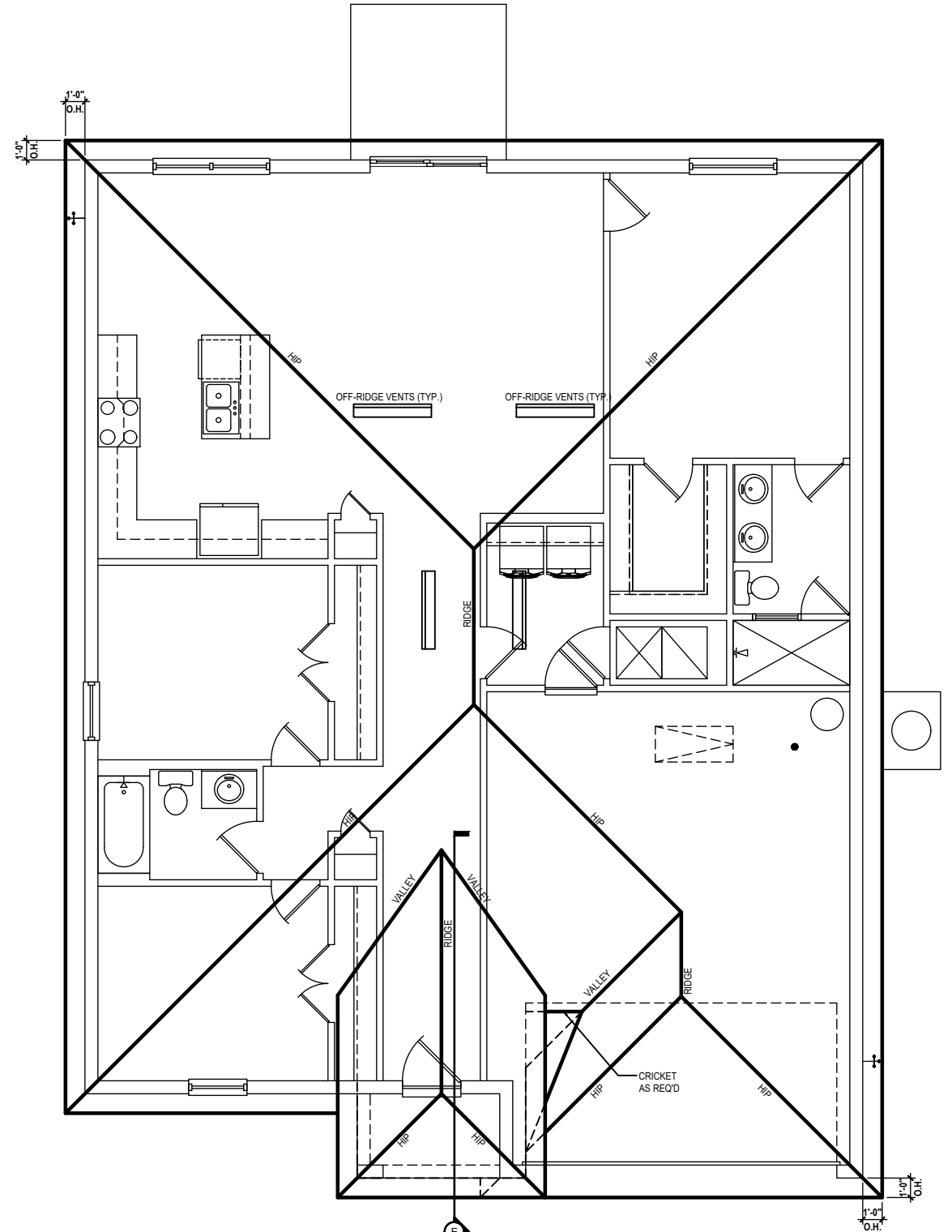
SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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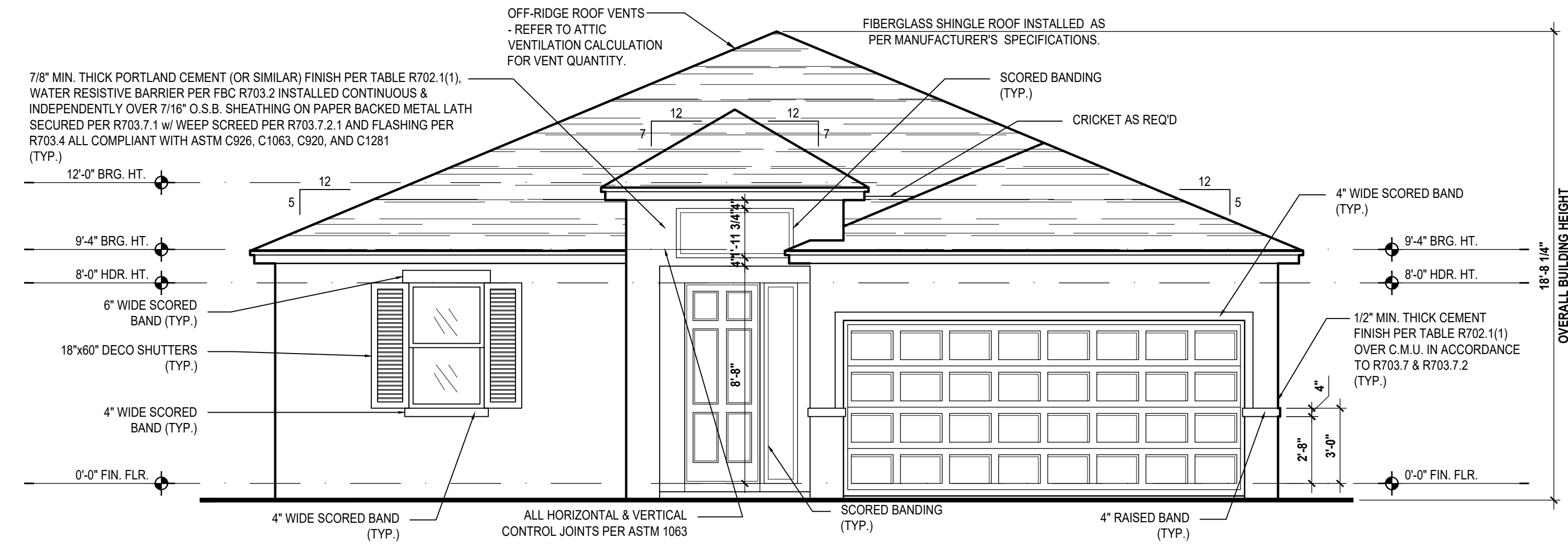
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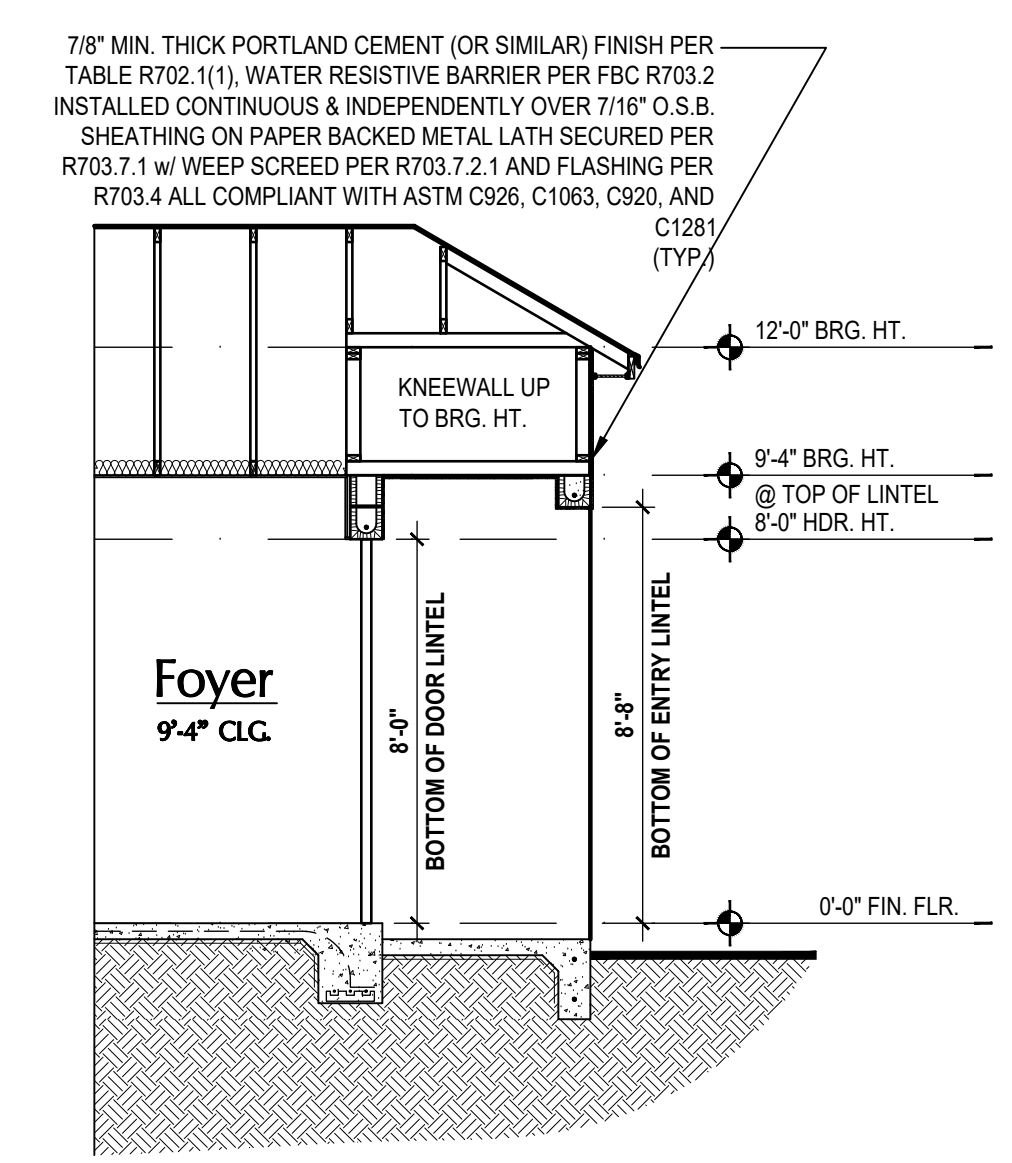
ELEVATIONS
A3.C

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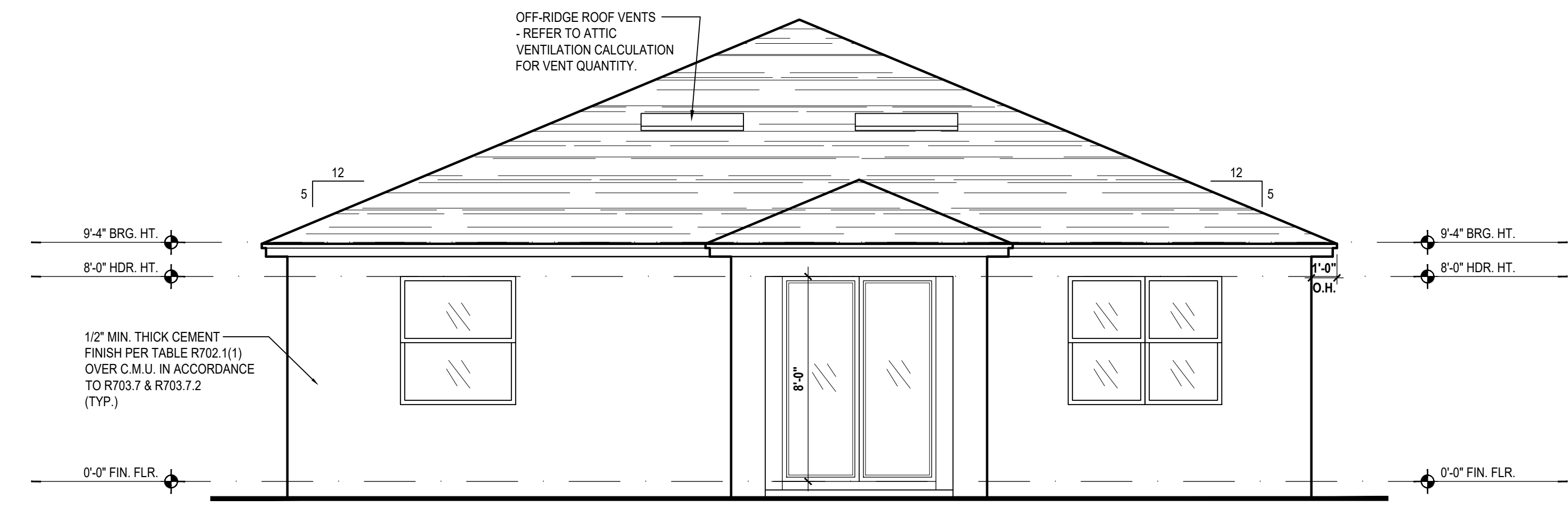
ATTIC VENT CALC'S:	
2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R805 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES). (OFF-RIDGE VENT MAXIMUM OPENING SIZES)	
MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED SPACE.	
TOTAL VENTED SPACE:	1,895 = 6.316 SF. NET FREE REQUIRED 300
UPPER PORTION VENTILATION TOTAL:	2,526 SF.
TO BE PROVIDED w/ OFF RIDGE VENTS:	4 VENTS @ .683 /PER VENT
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).	
LOWER PORTION VENTILATION TOTAL:	3.79SF.
TO BE PROVIDED w/ SOFFITS @ EAVE:	80.00 L.F. @ 0.047 SF. VENTING/LF.
UPPER ROOF PERCENTAGE:	40%
LOWER ROOF PERCENTAGE:	60%



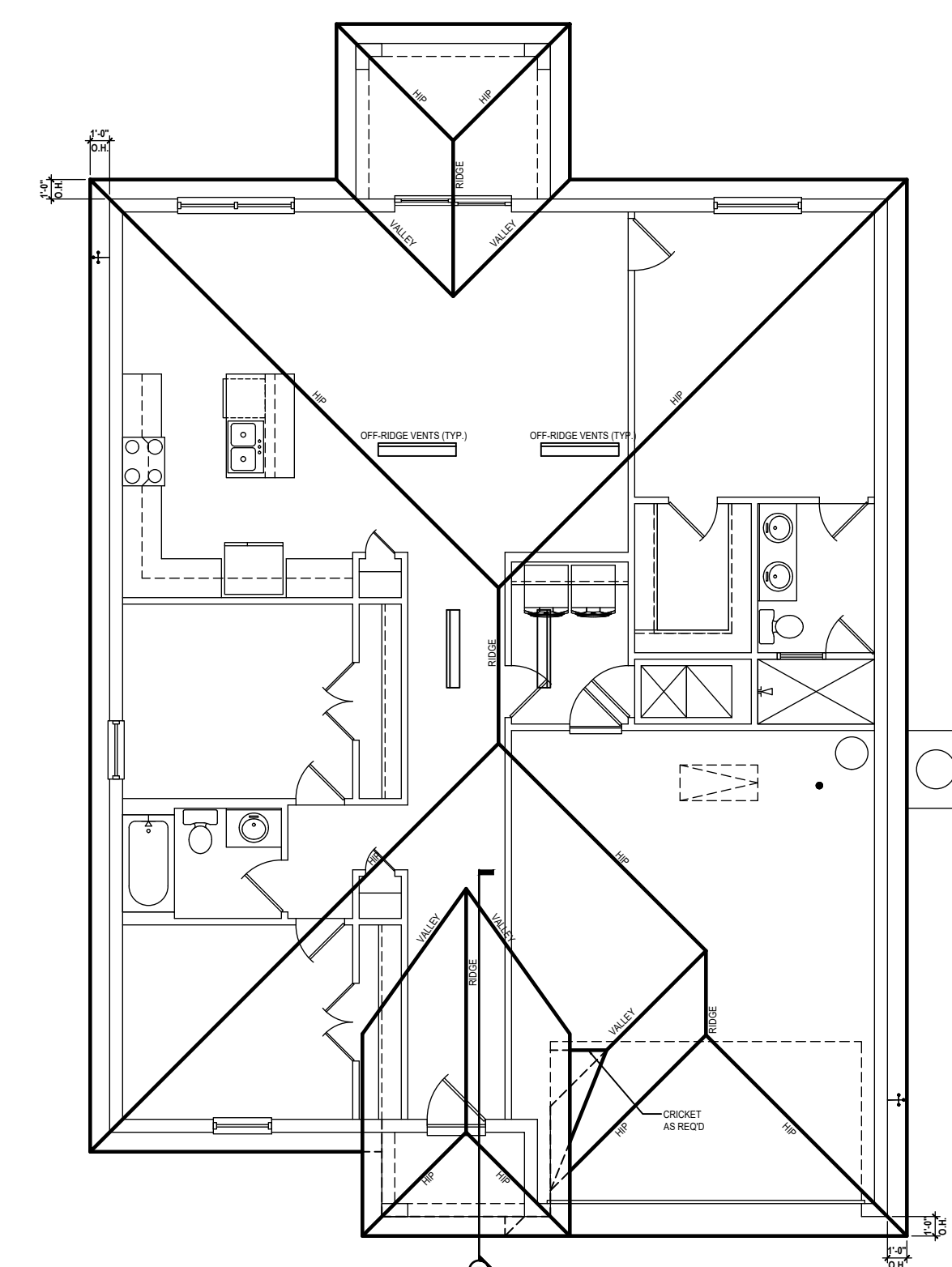
Front Elevation "C"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail
SCALE: 1/4" = 1'-0" (22x34)



Rear Elevation "C"
(Opt. Lanai)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout
(Opt. Lanai)
SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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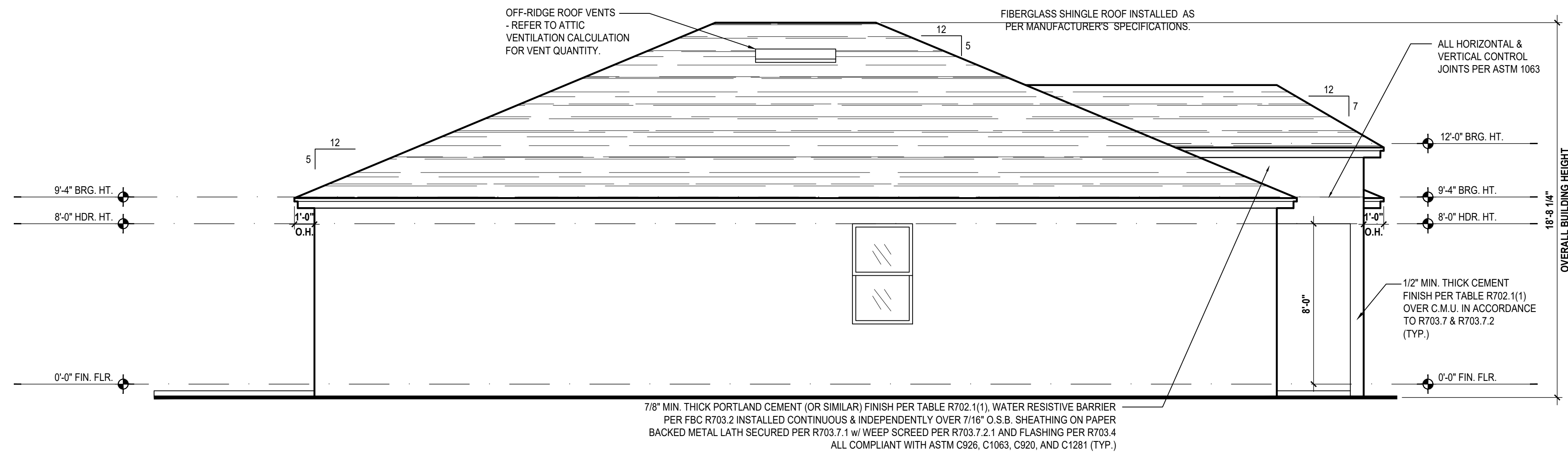
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DESIGNED BY:	MJS

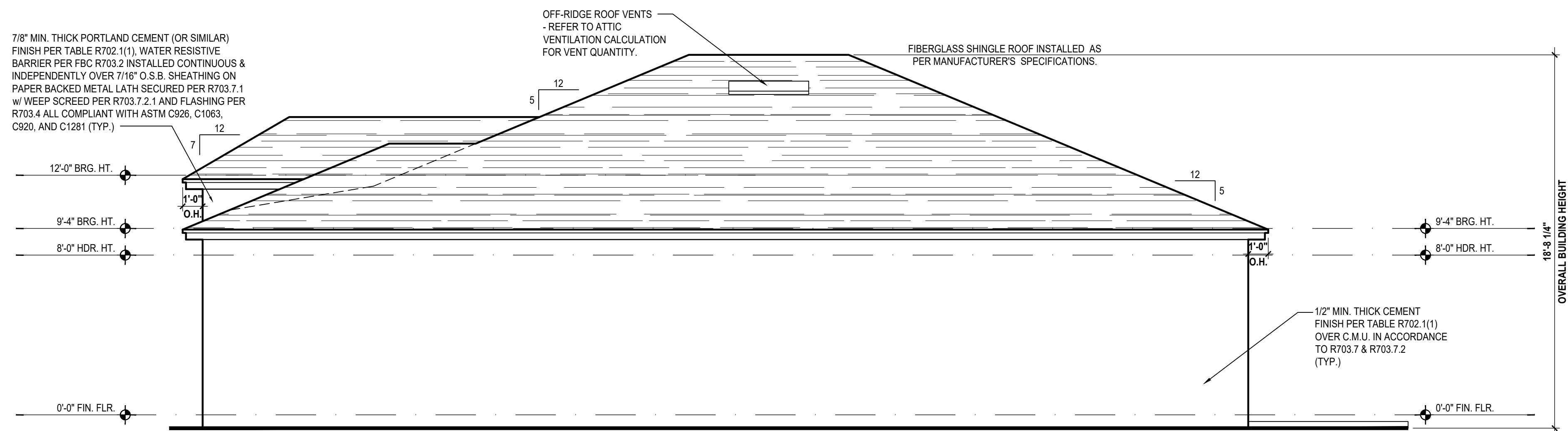
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Left Elevation "A"
(Standard)

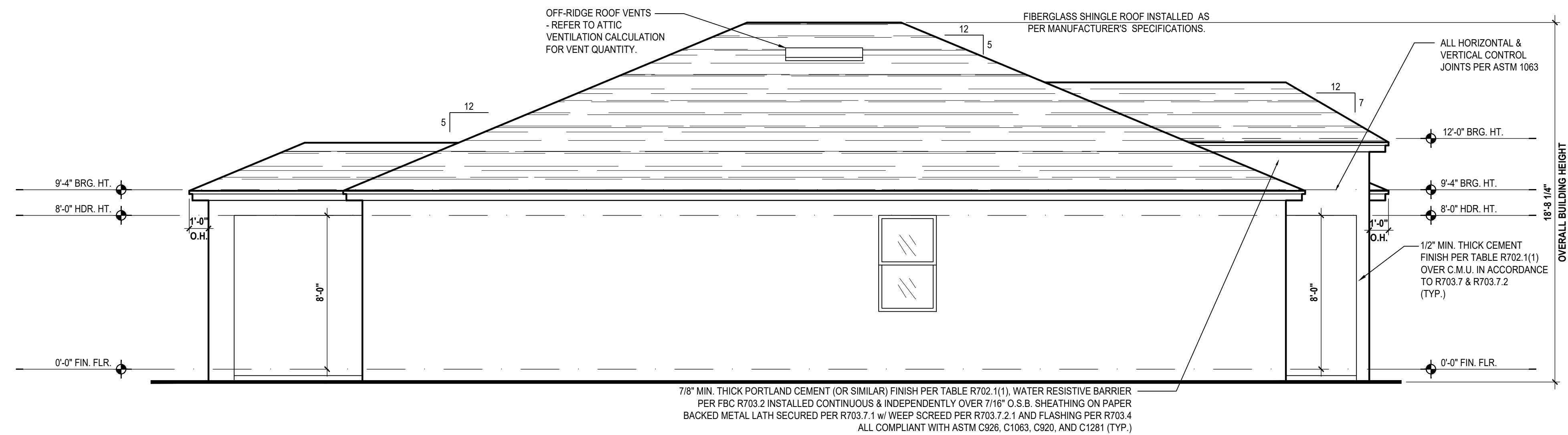
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Right Elevation "A"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

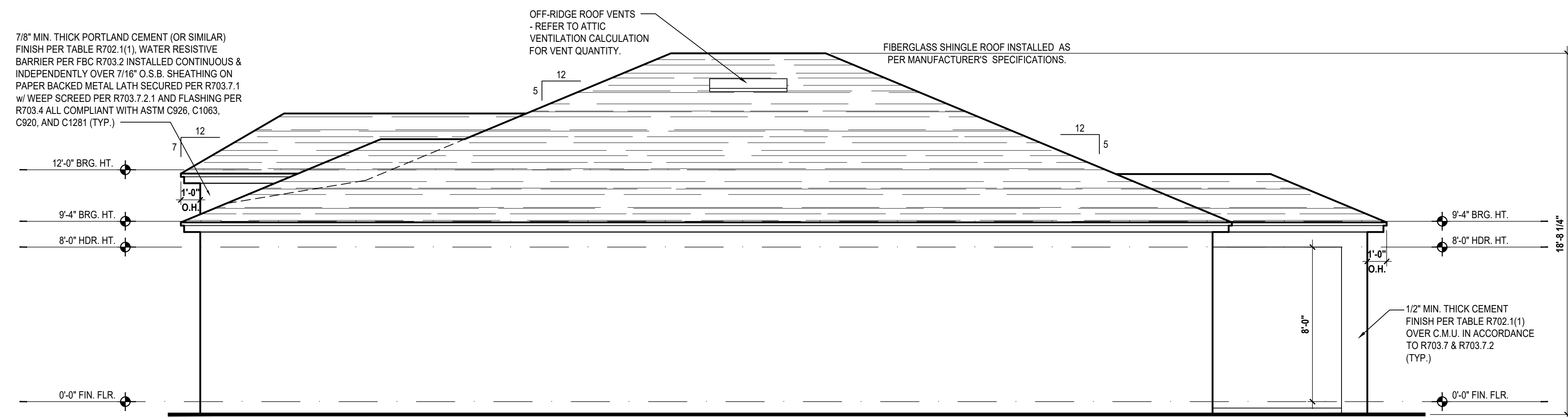
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Left Elevation "A"

(Opt. Lanai)

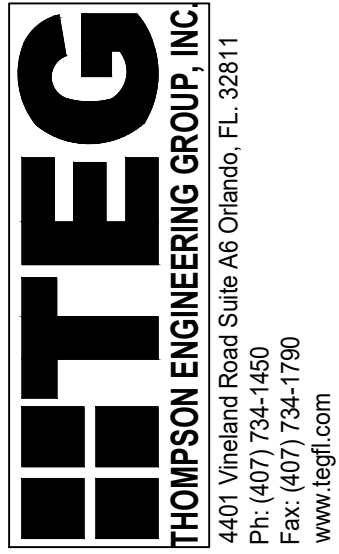
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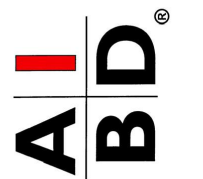
Right Elevation "A"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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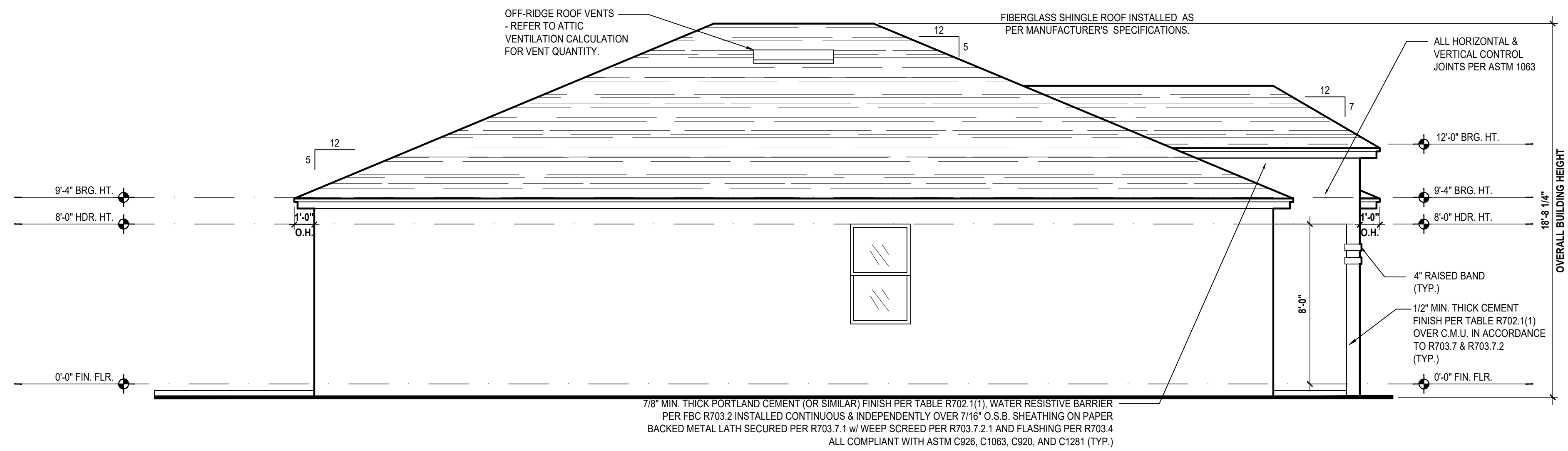
ISSUE DATE 06/22/2022

REVISIONS

PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ELEVATIONS
A4.A1

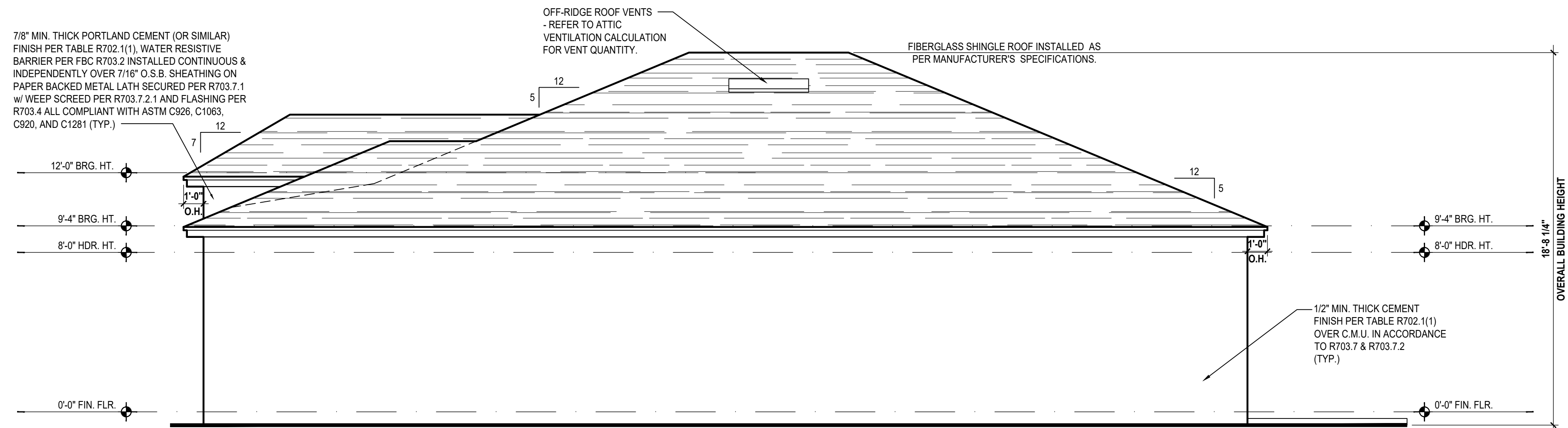
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Left Elevation "B"

(Standard)

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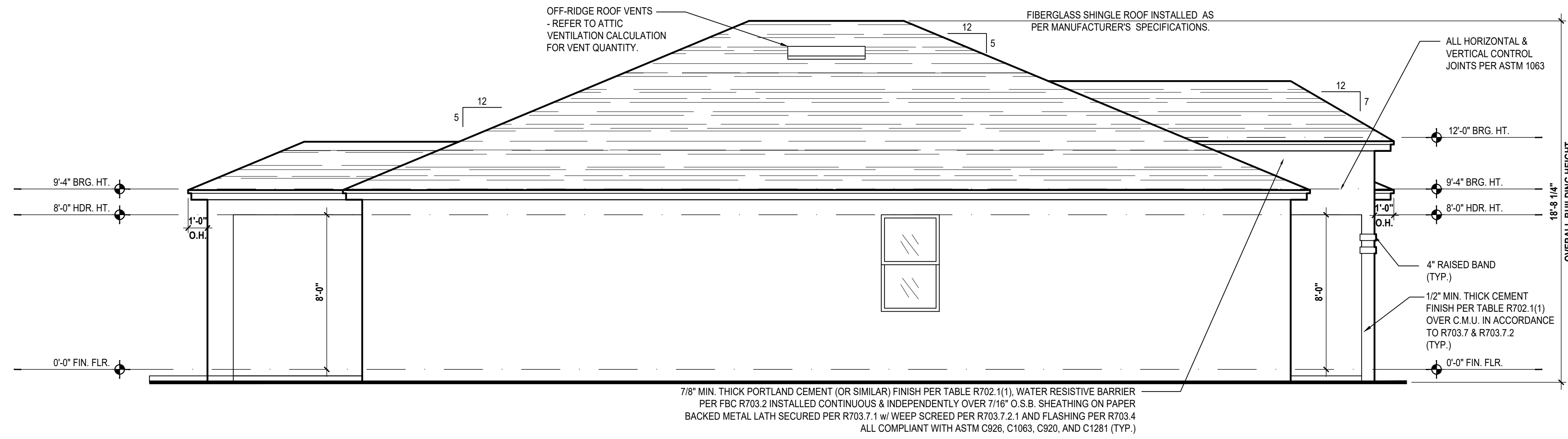


Right Elevation "B"

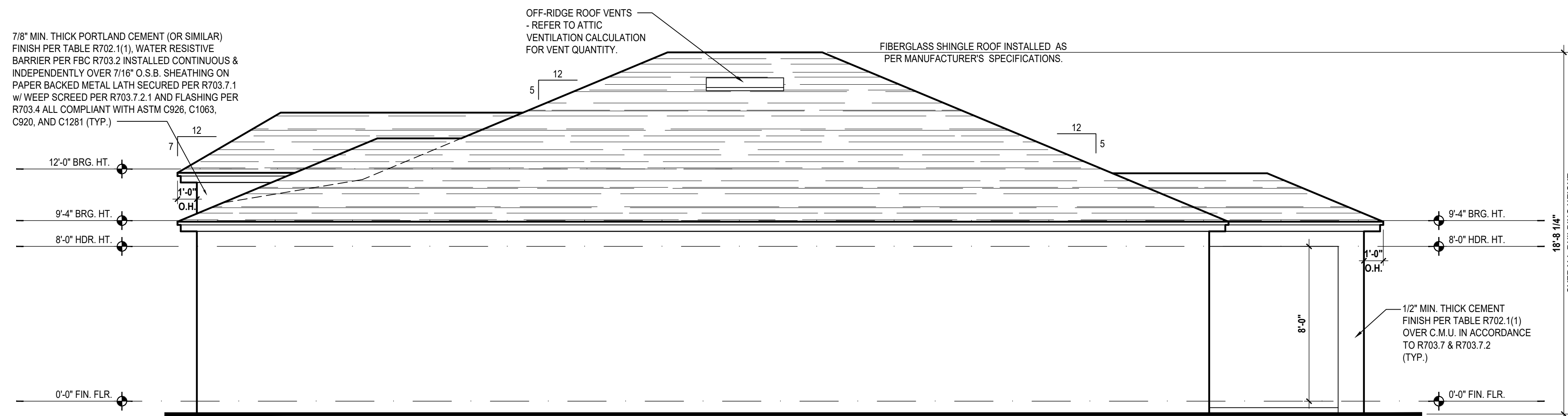
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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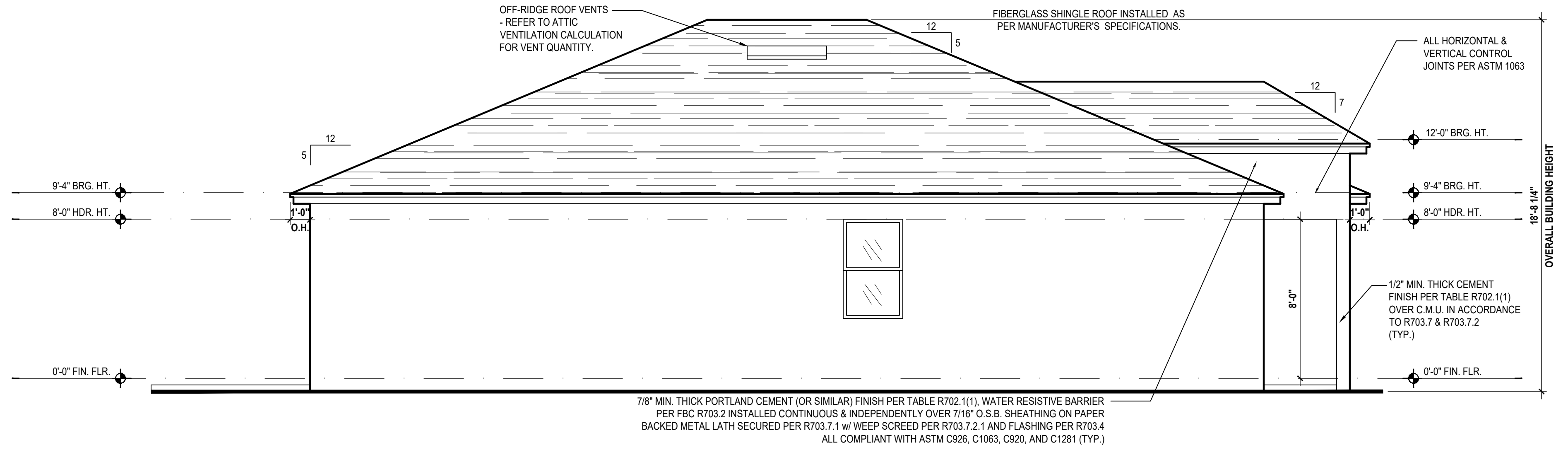


Left Elevation "B"
 (Opt. Lanai)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



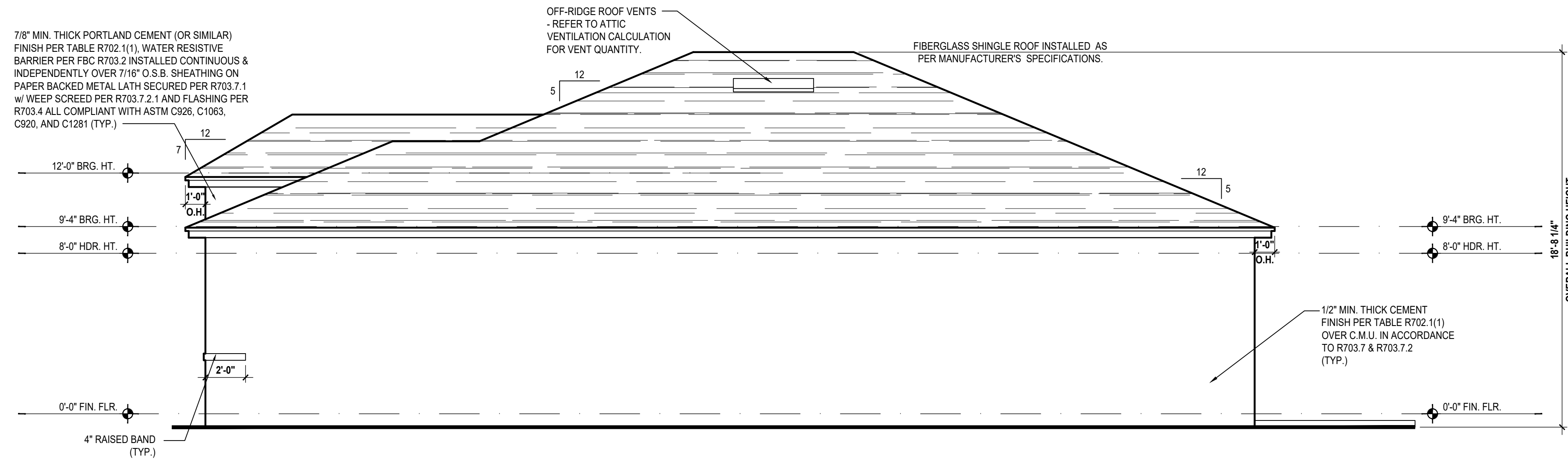
Right Elevation "B"
 (Opt. Lanai)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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Left Elevation "C"
(Standard)

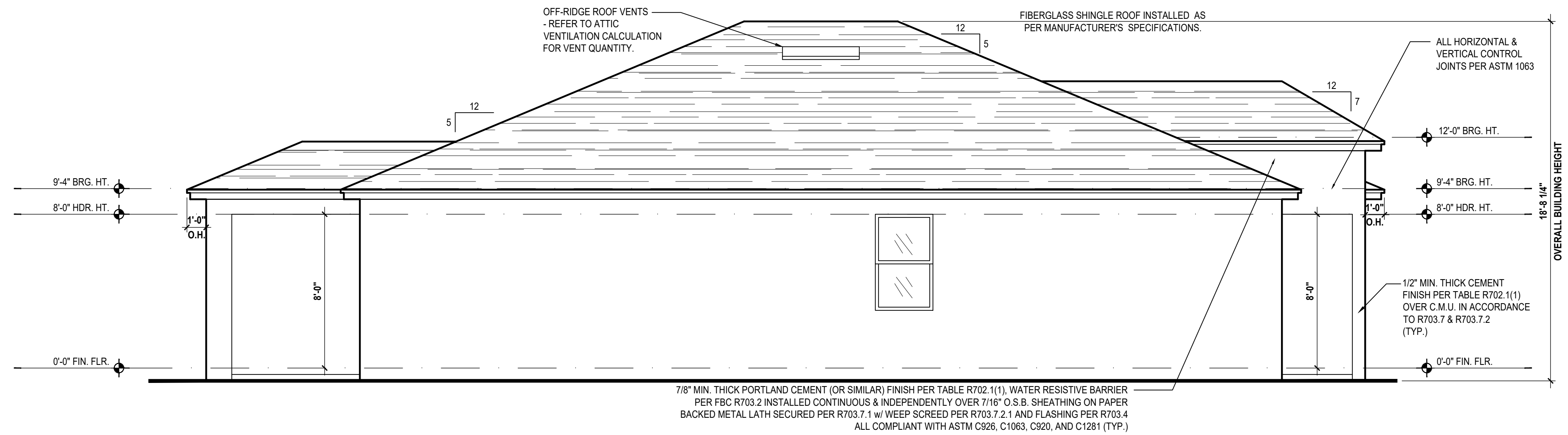
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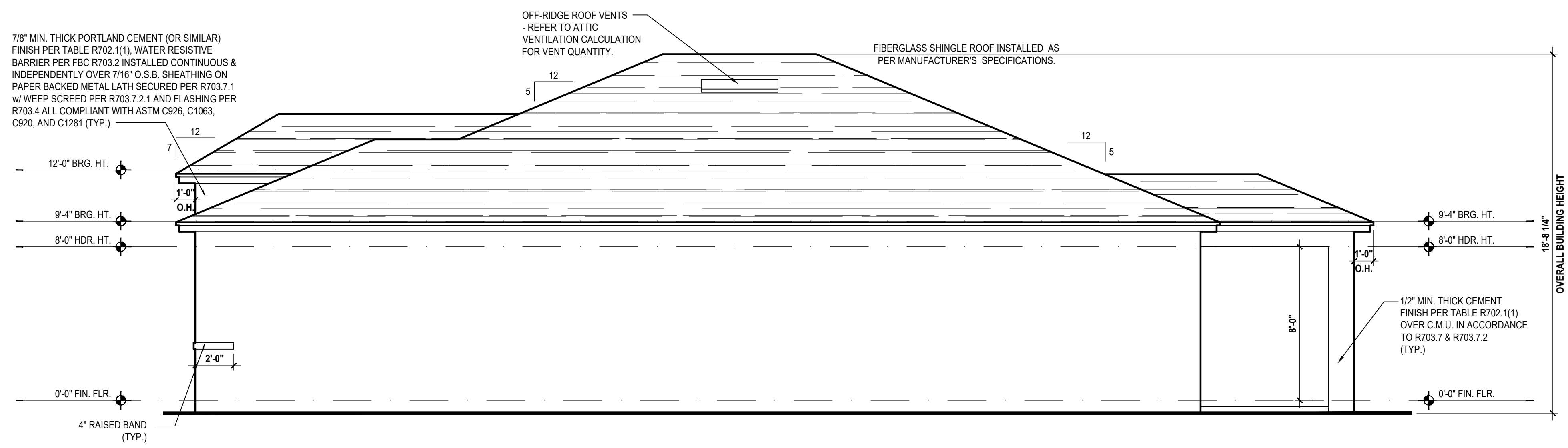
Right Elevation "C"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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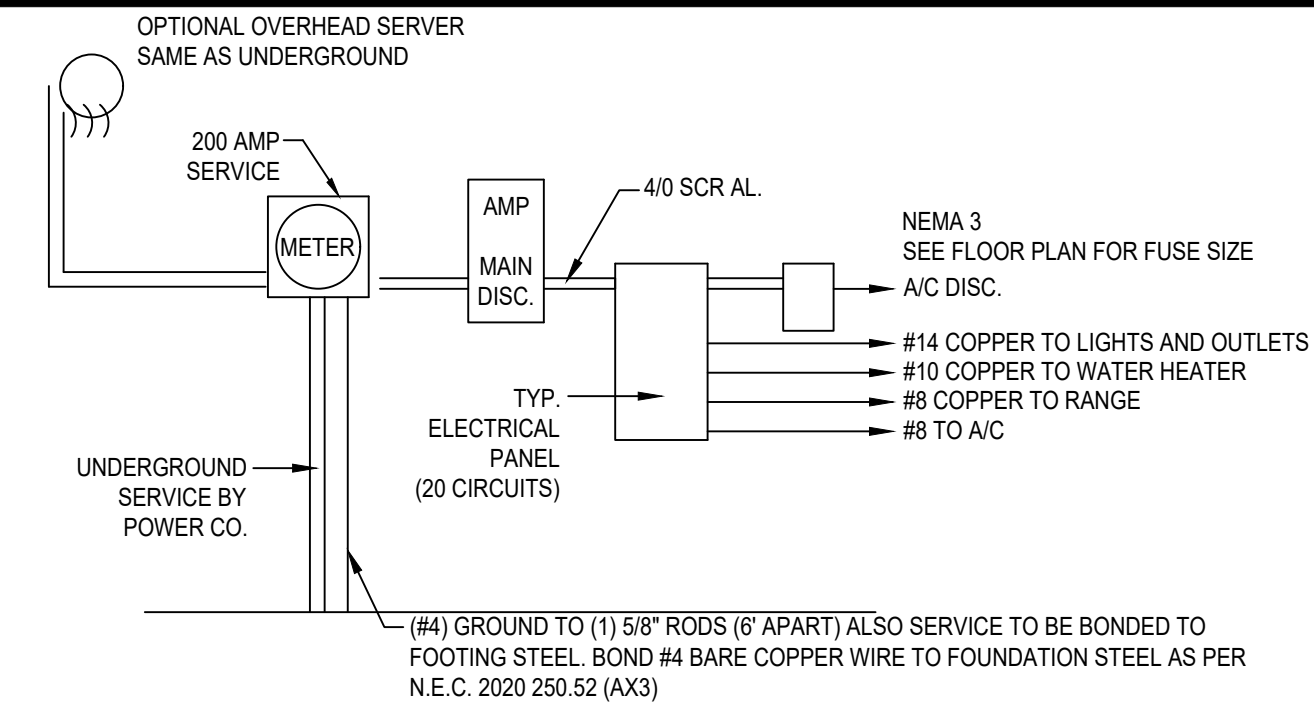
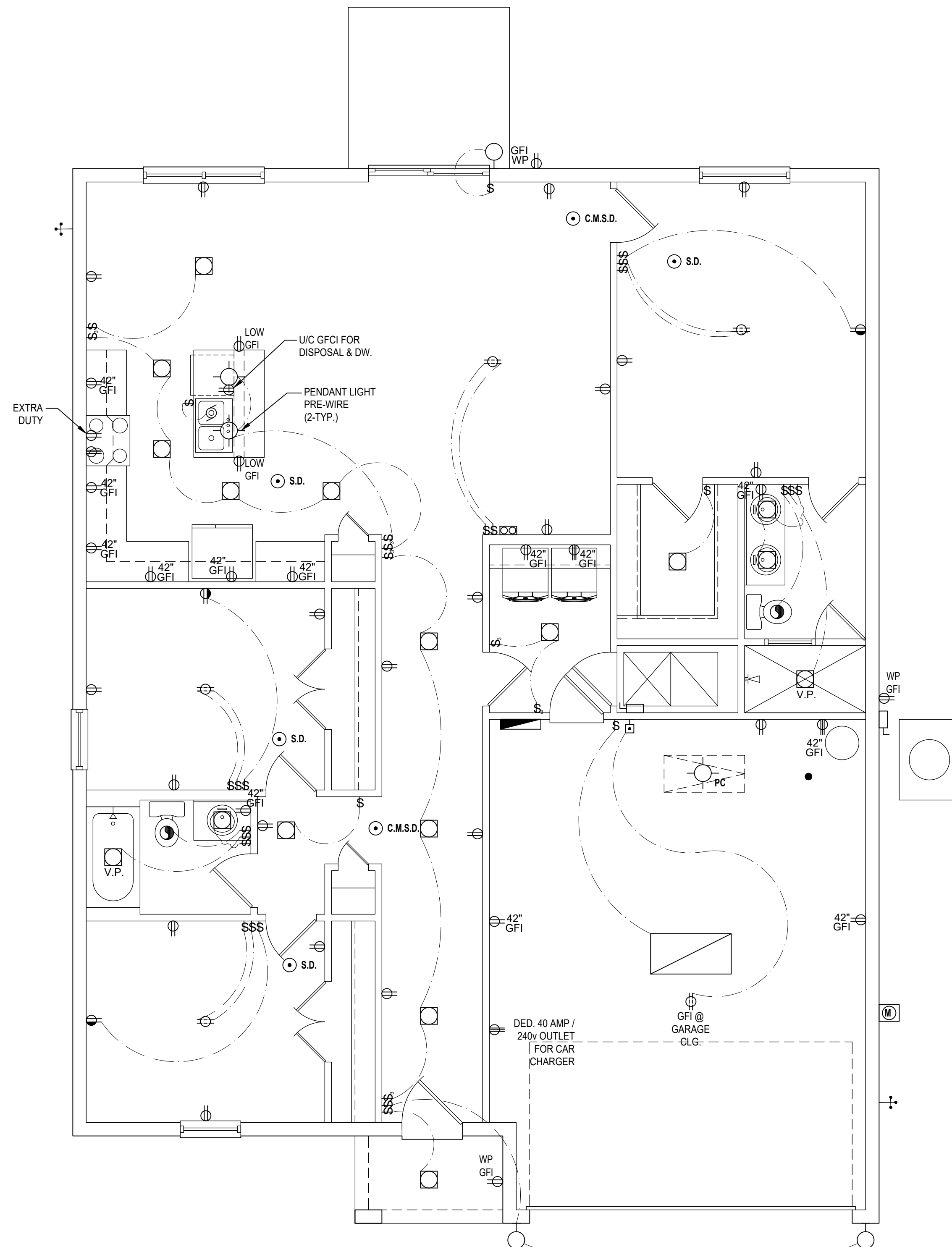


Left Elevation "C"
 (Opt. Lanai)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"
 (Opt. Lanai)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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- NOTE:**
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 - THE ABOVE ELECTRICAL LAYOUT IS FOR BID PURPOSE ONLY.
 - ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY w/ APPLICABLE PROVISIONS OF THE NATIONAL ELECTRICAL CODE 250.52 (AX1) TO (6), LOCAL CODES AND THE LOCAL POWER COMPANY

200 AMP ELECTRICAL RISER

GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
- EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
- OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
- OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
- IN AREAS SPECIFIED IN SECTION E3801.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

- NOTES:**
- THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING MUNICIPALITY CODES, STANDARDS AND ORDINANCES.
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 - ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C. 2020, F.B.C. 8TH EDITION (2023) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
 - VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	DUPLEX RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

Electrical Plan "A,B,C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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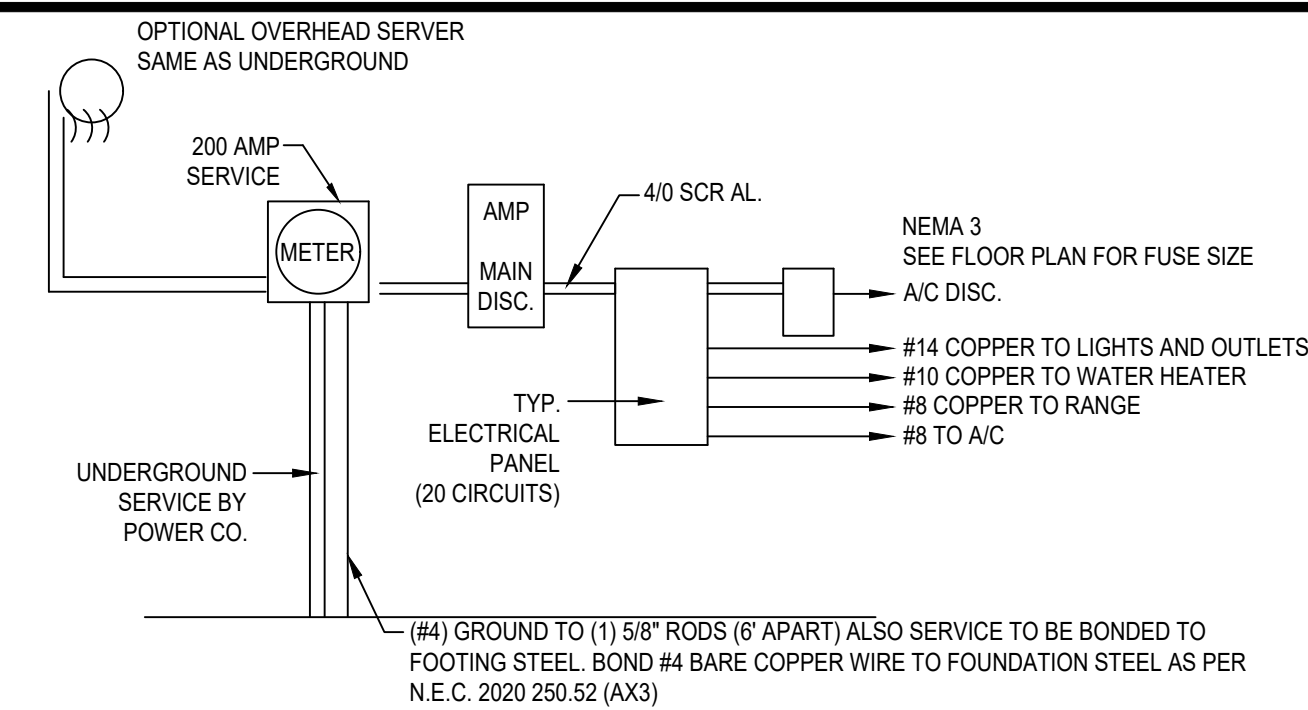
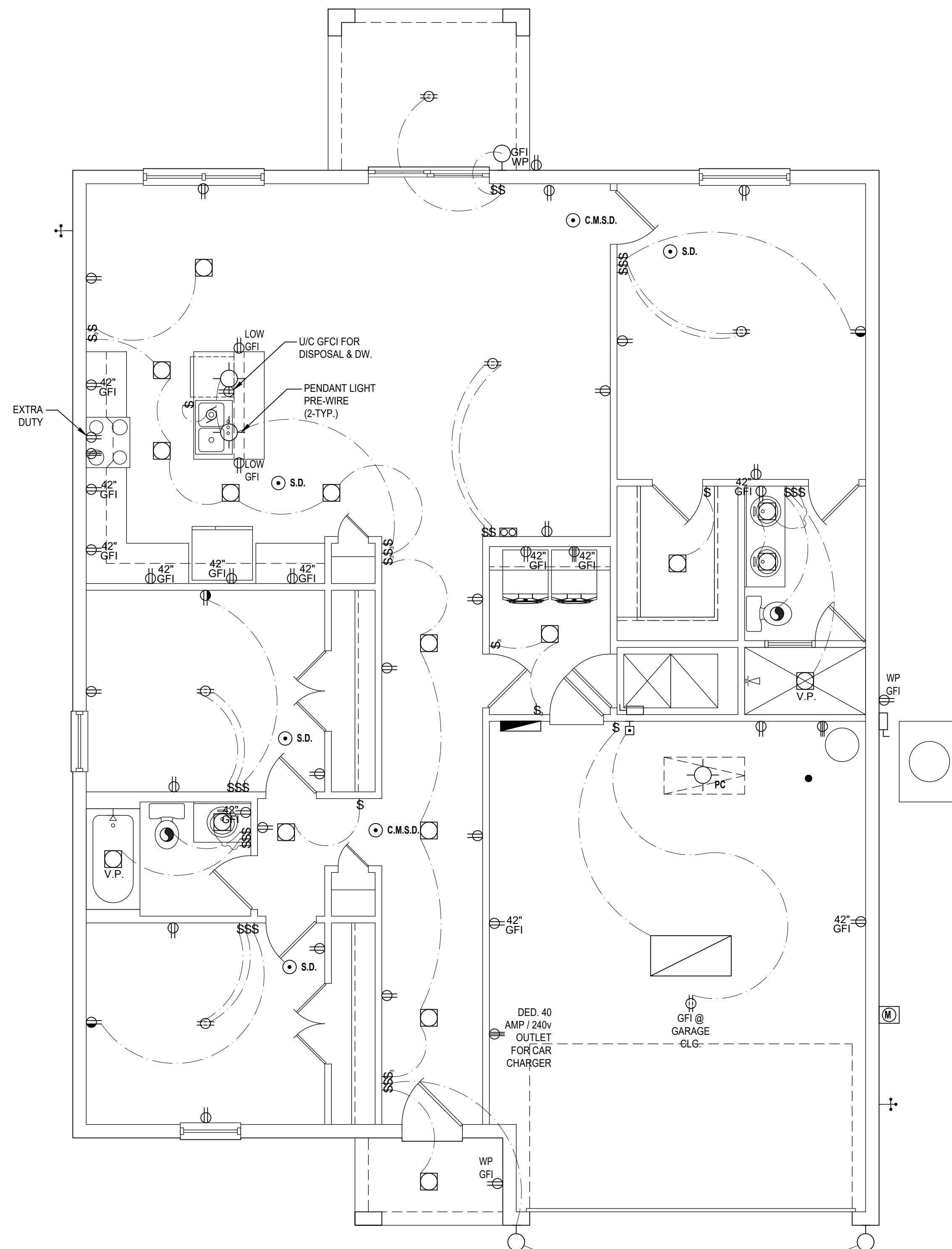
Park Square HOMES

ISSUE DATE 06/22/2022

PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

REVISIONS

ELECTRICAL LAYOUT
A5



NOTE:

- ALL ELECTRICAL WORK AND MATERIAL PROVIDED SHALL COMPLY WITH THE FLORIDA BUILDING CODE (2023)
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 - IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
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 - VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

Electrical Plan "A,B,C"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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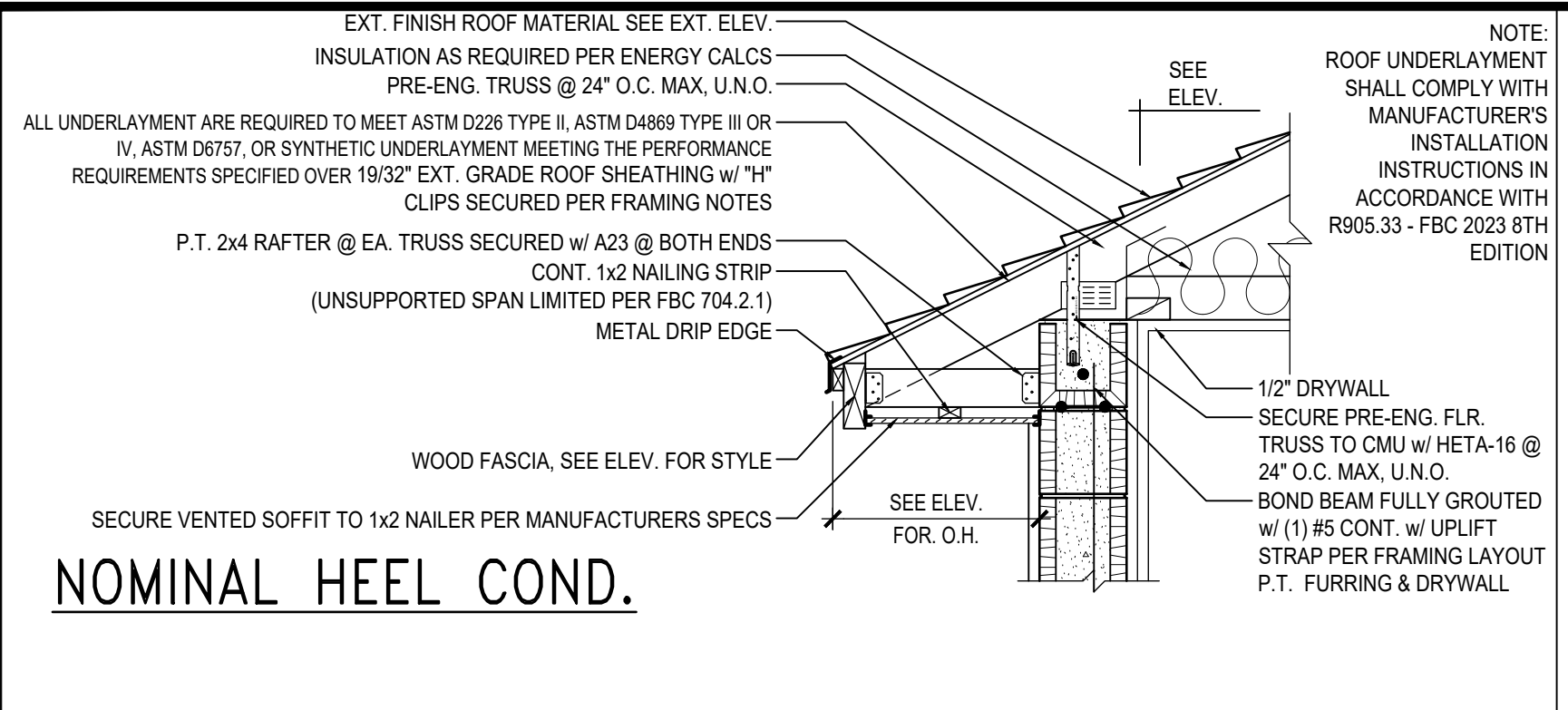
ISSUE DATE 06/22/2022

REVISIONS

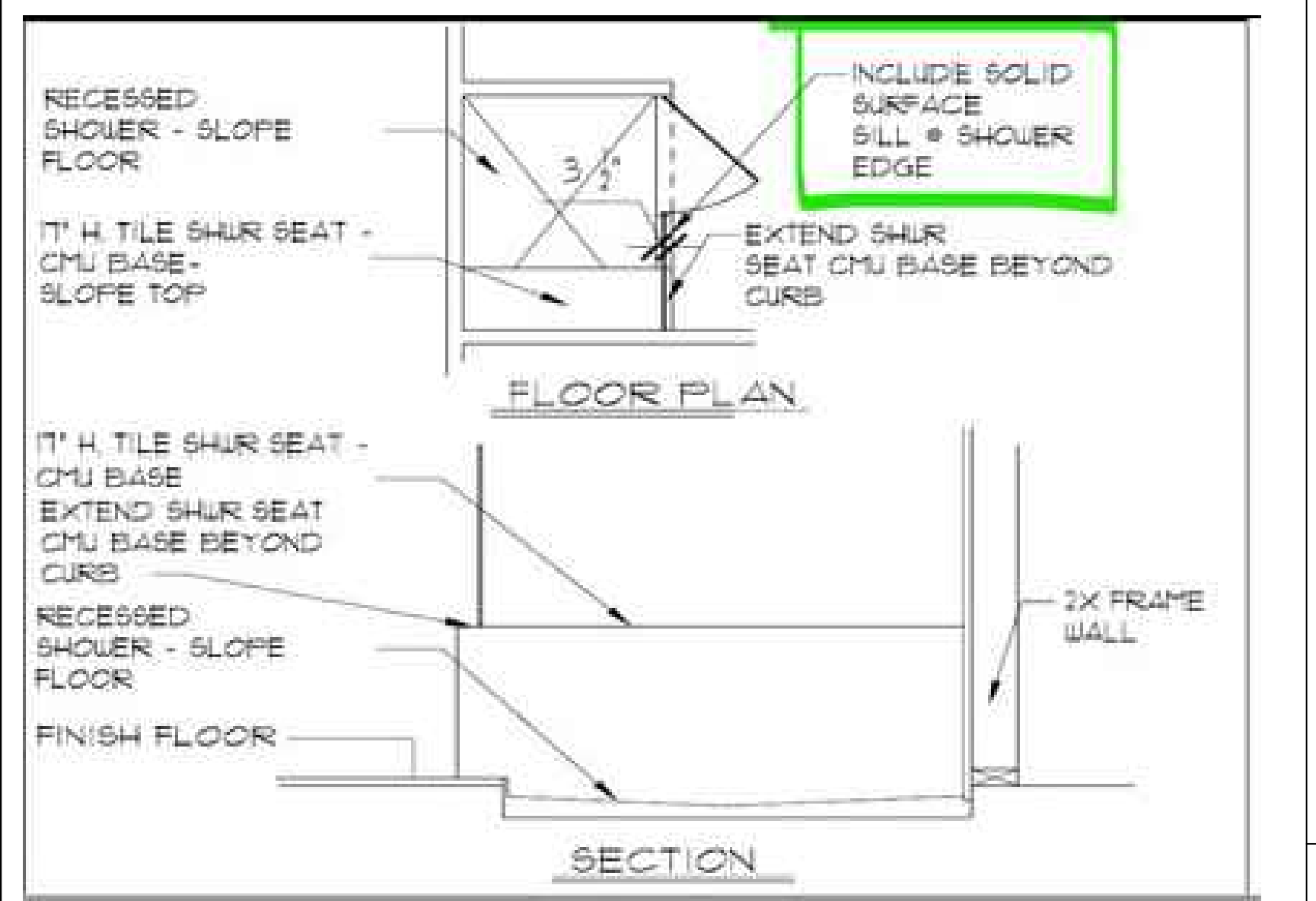
PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ELECTRICAL LAYOUT
A5.1

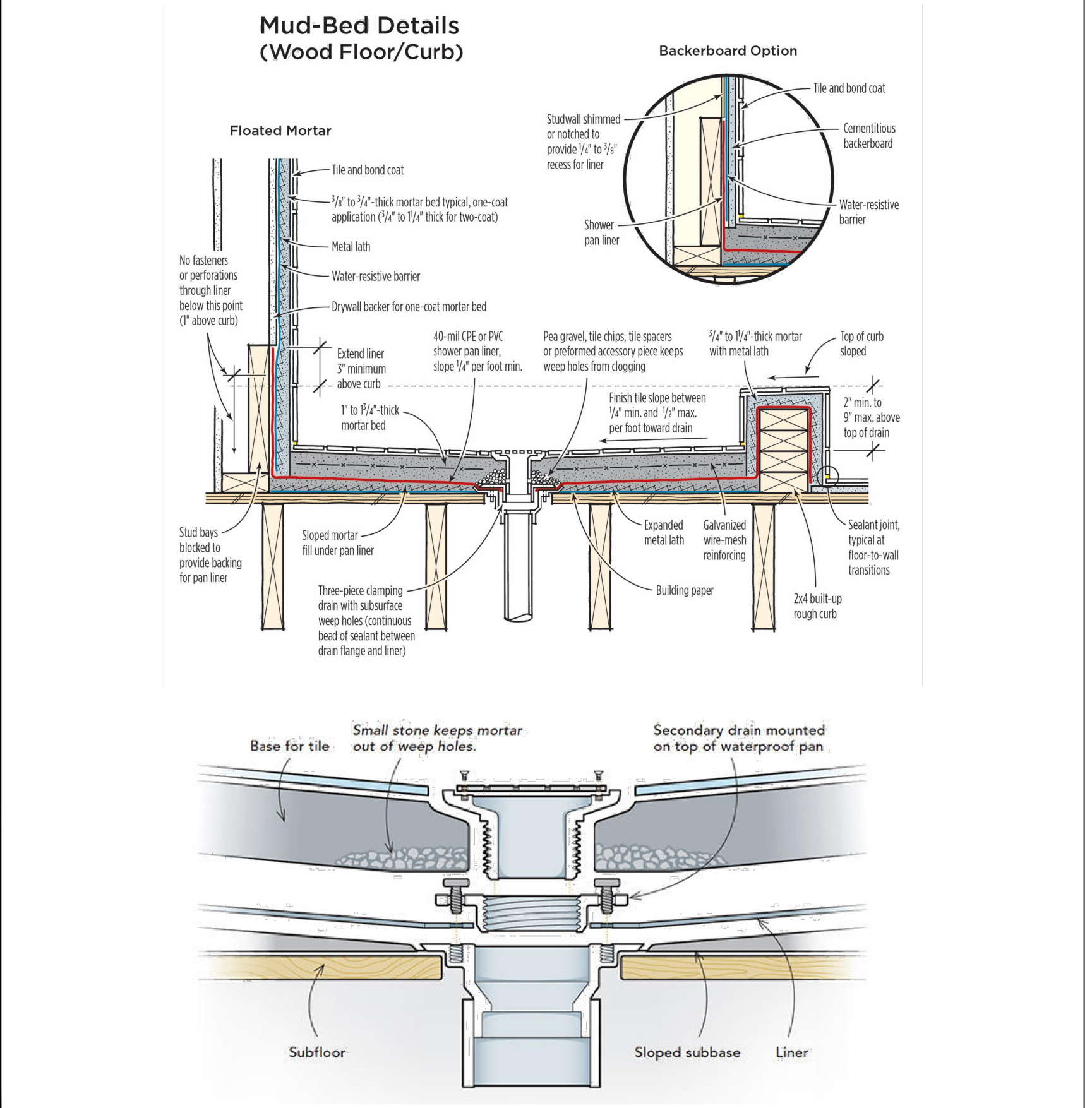
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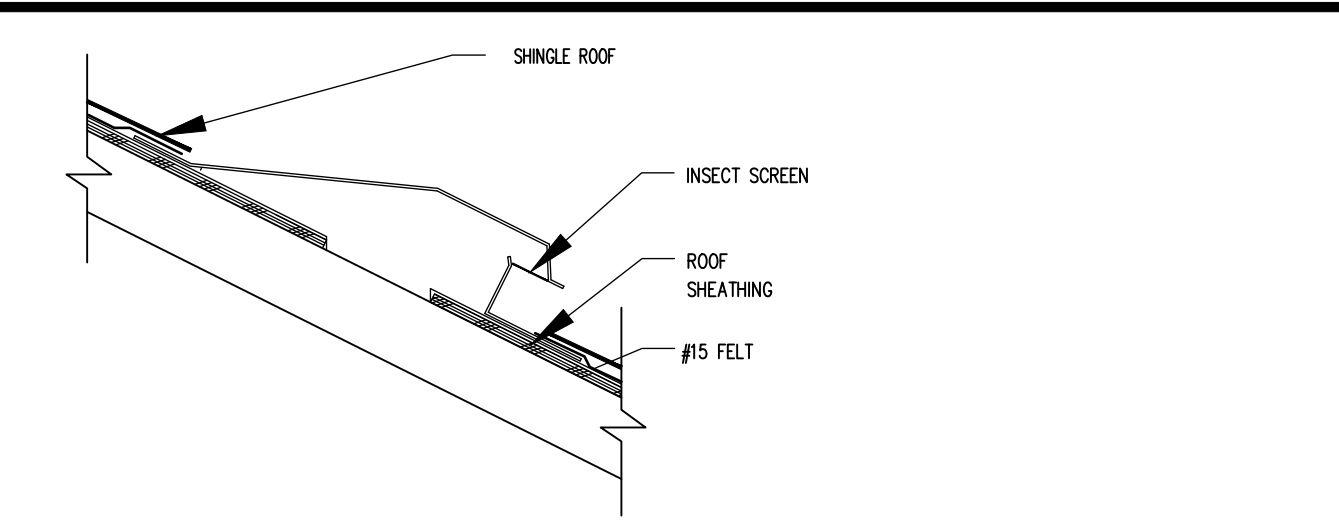
1 SOFFIT OVERHANG DETAIL



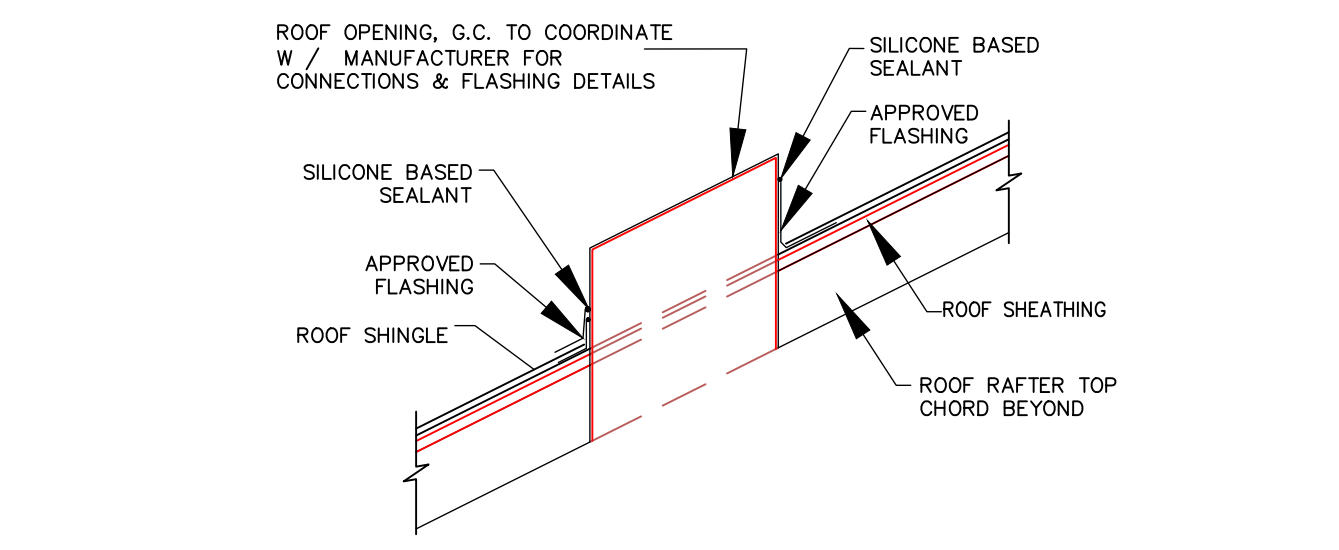
2 FIRST FLOOR SHOWER DETAIL



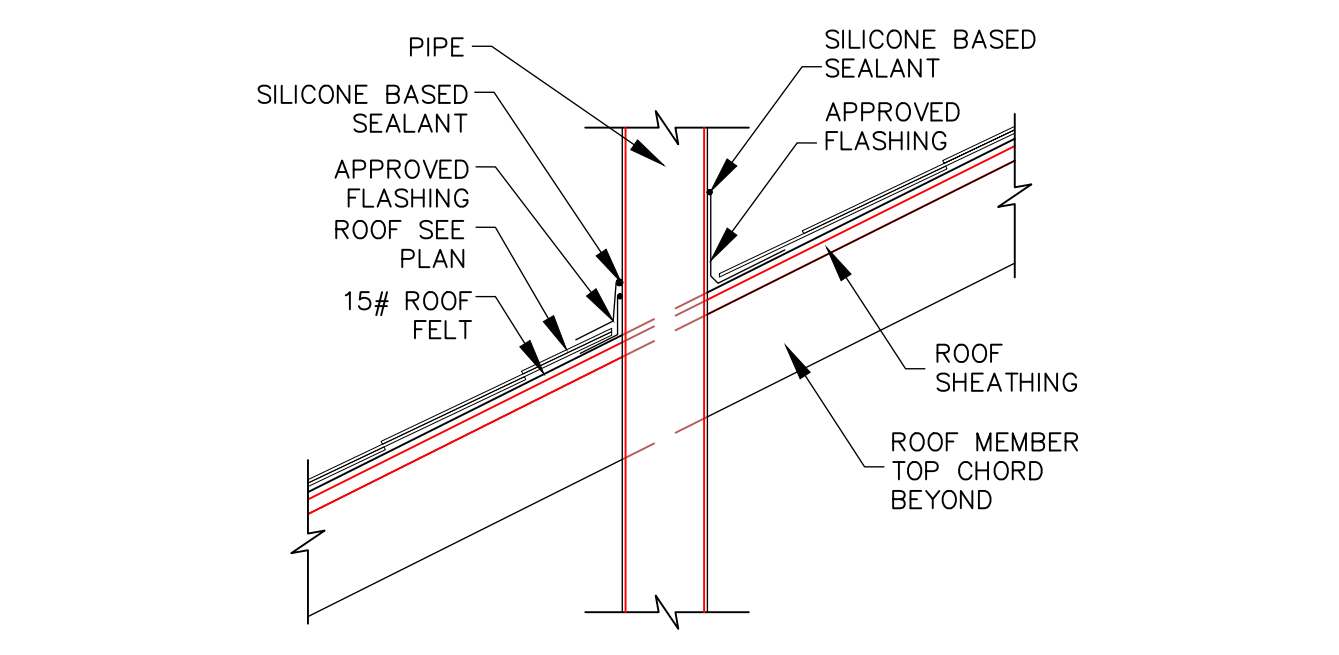
2A SECOND FLOOR SHOWER DETAIL



OFF-RIDGE VENT PENETRATION THRU ROOF



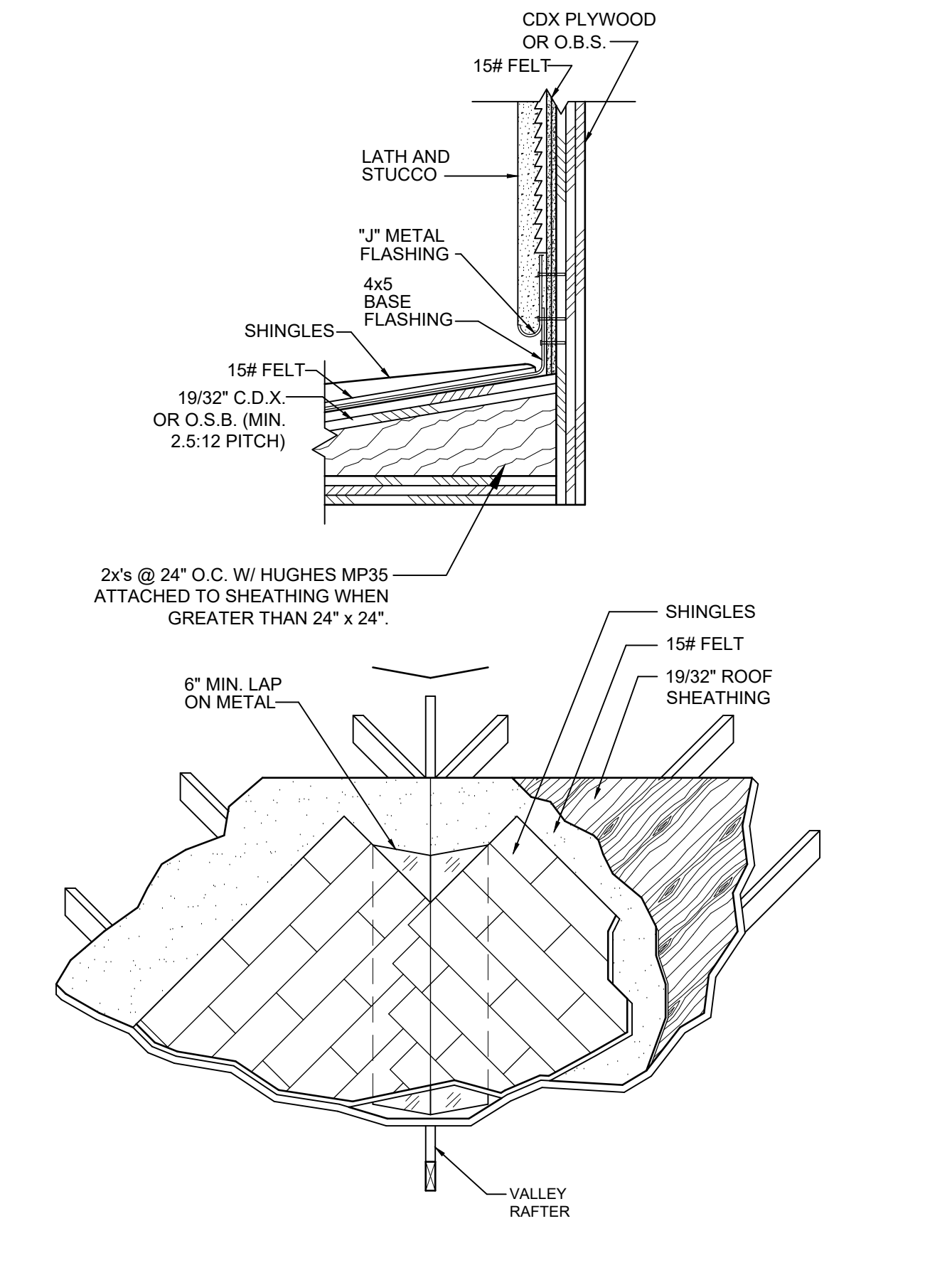
OPENING PENETRATION THRU ROOF



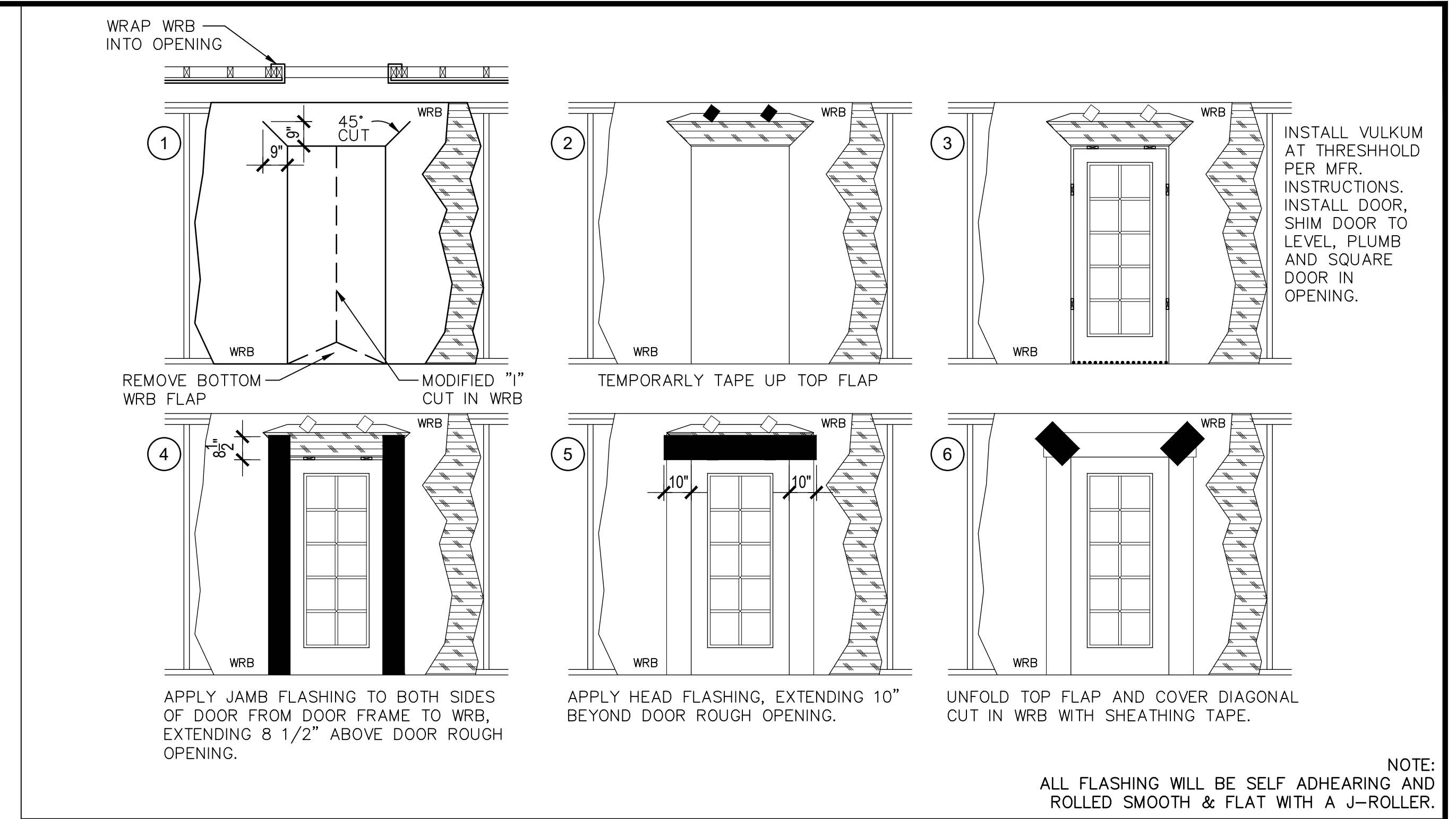
PIPE PENETRATION THRU ROOF

3 ROOF PENETRATION DETAIL

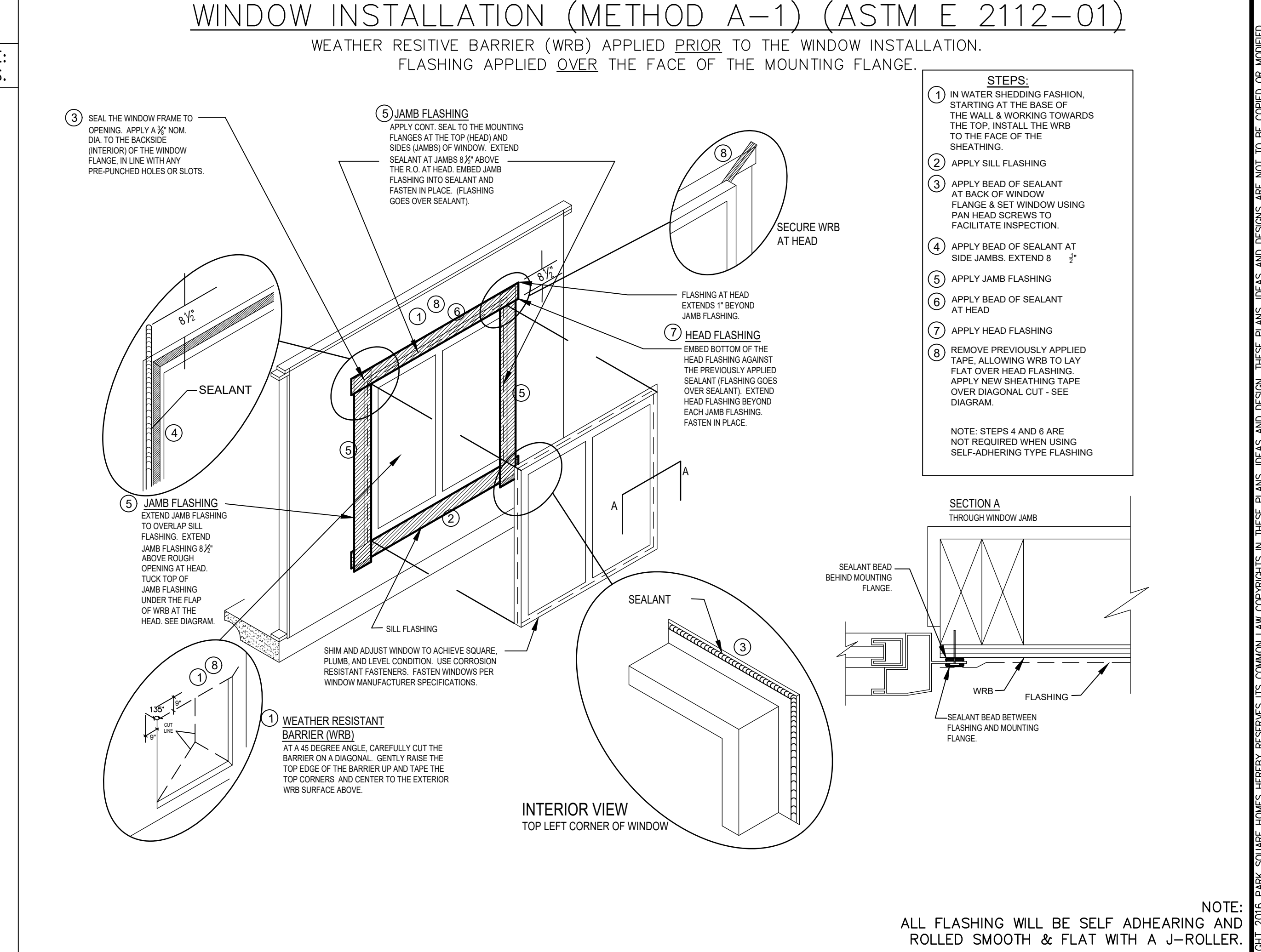
NOTE: FLASHING DETAIL TO COMPLY WITH R903.2 OF THE FBC 2023 - 8TH EDITION



4 CRICKET/FLASHING DETAIL



EXTERIOR DOOR FLASHING



WINDOW FLASHING "METHOD A-1"

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GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

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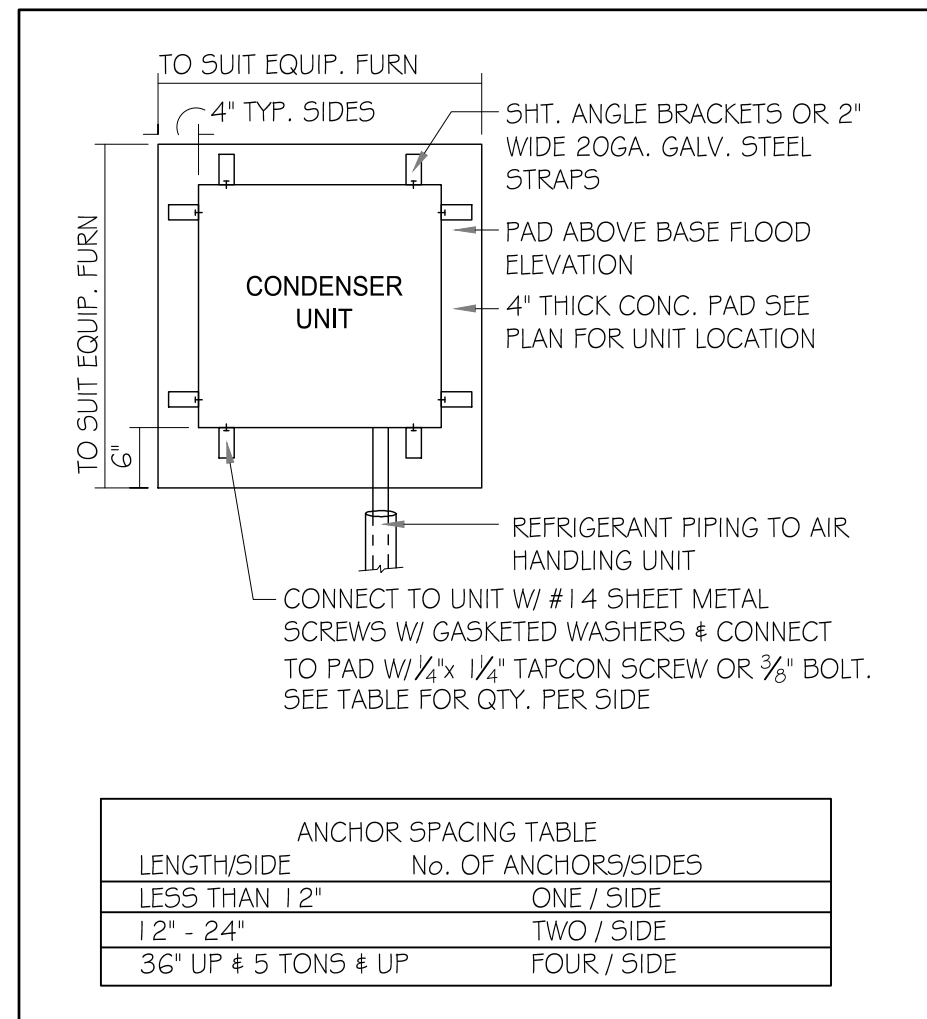
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Park Square HOMES

ISSUE DATE: 06/22/2022
REVISIONS:
PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

DETAILS
A6

NOTE:
ALL FLASHING WILL BE SELF ADHEARING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.
SCALE:
N.T.S.



ANCHOR SPACING TABLE	
LENGTHSIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP # 5 TONS 4 UP	FOUR / SIDE

1 COND. ANCHOR DETAIL N.T.S.

FIELD REPAIR NOTES

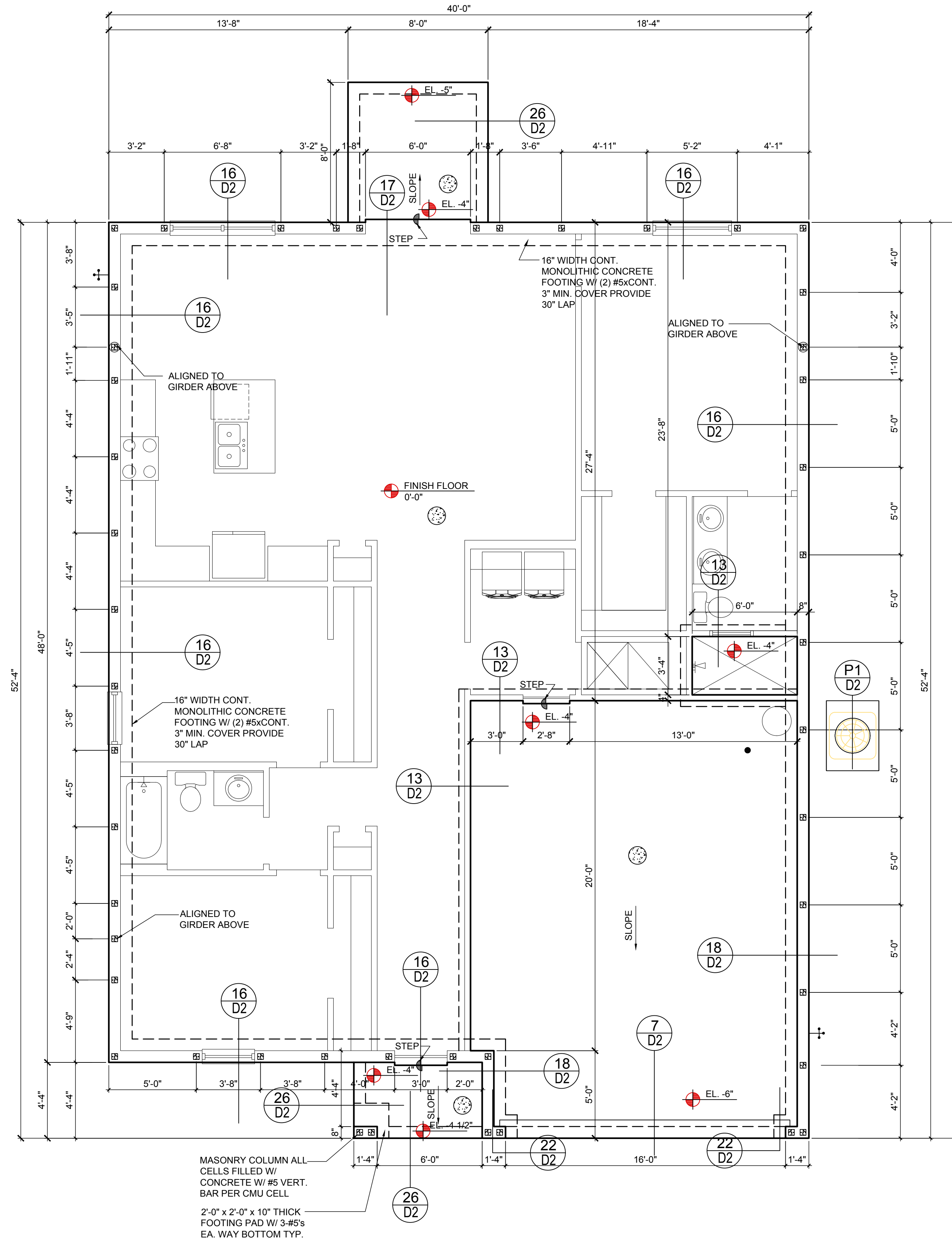
- 1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR EITF ADHESIVES.
- 2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4" + - REQUIRE SPECIAL ENGINEERING LETTER.
- 3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS 12 @ TOP AND BOTTOM PLATE.

VERIFICATION OF FIELD CONDITIONS:

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATIVE TO SAME. WHERE THERE ARE CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND DATA PRESENTED IN THE DRAWINGS, SUCH CONDITIONS SHALL BE CALLED TO THE ARCHITECT'S AND OR TO THE ENGINEER OF RECORD'S (EOR) ATTENTION AND NECESSARY ADJUSTMENTS MADE PER THEIR INSTRUCTIONS.

FOUNDATION NOTES

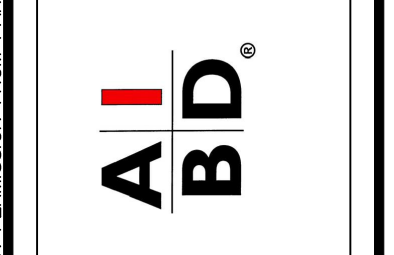
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FOUNDATION PLAN
(STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



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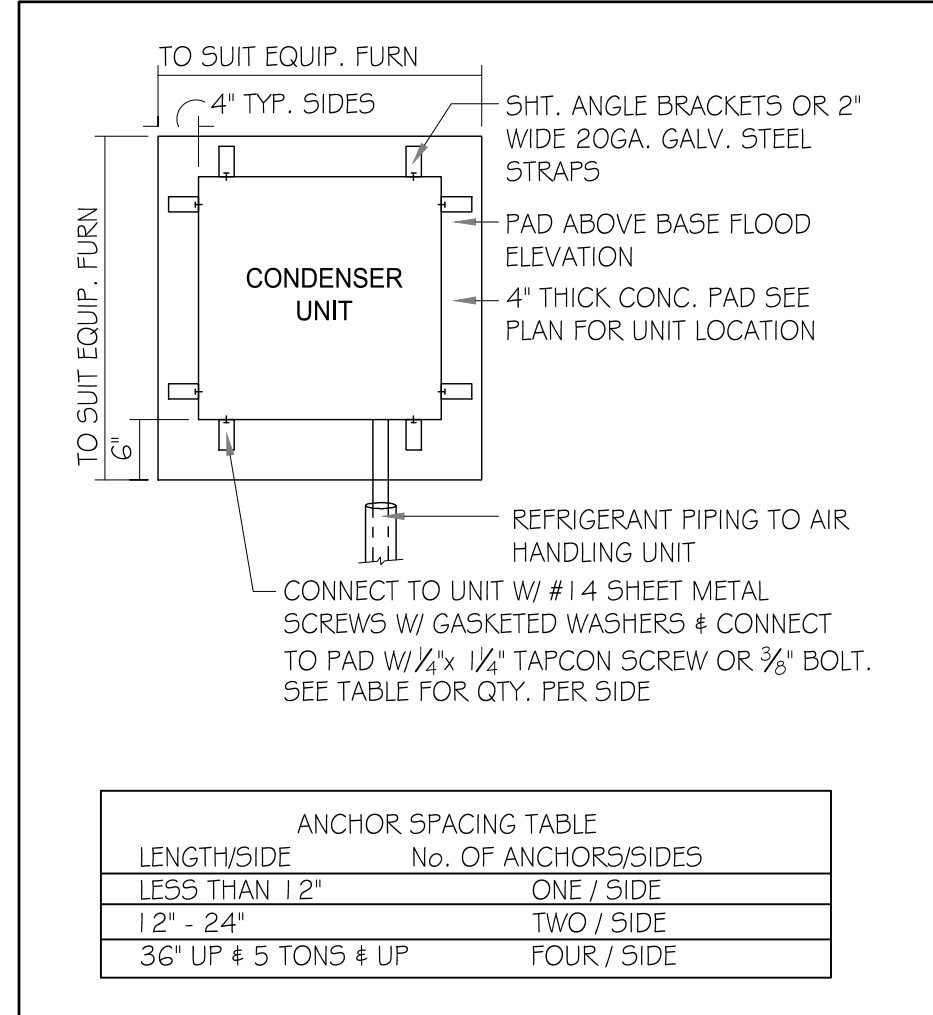
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Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	06/22/2022
REVISIONS	
PROJECT:	19-0206
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

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ANCHOR SPACING TABLE	
LENGTHSIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP # 5 TONS & UP	FOUR / SIDE

1 COND. ANCHOR DETAIL
N.T.S.

FIELD REPAIR NOTES

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2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4" + - REQUIRE SPECIAL ENGINEERING LETTER.

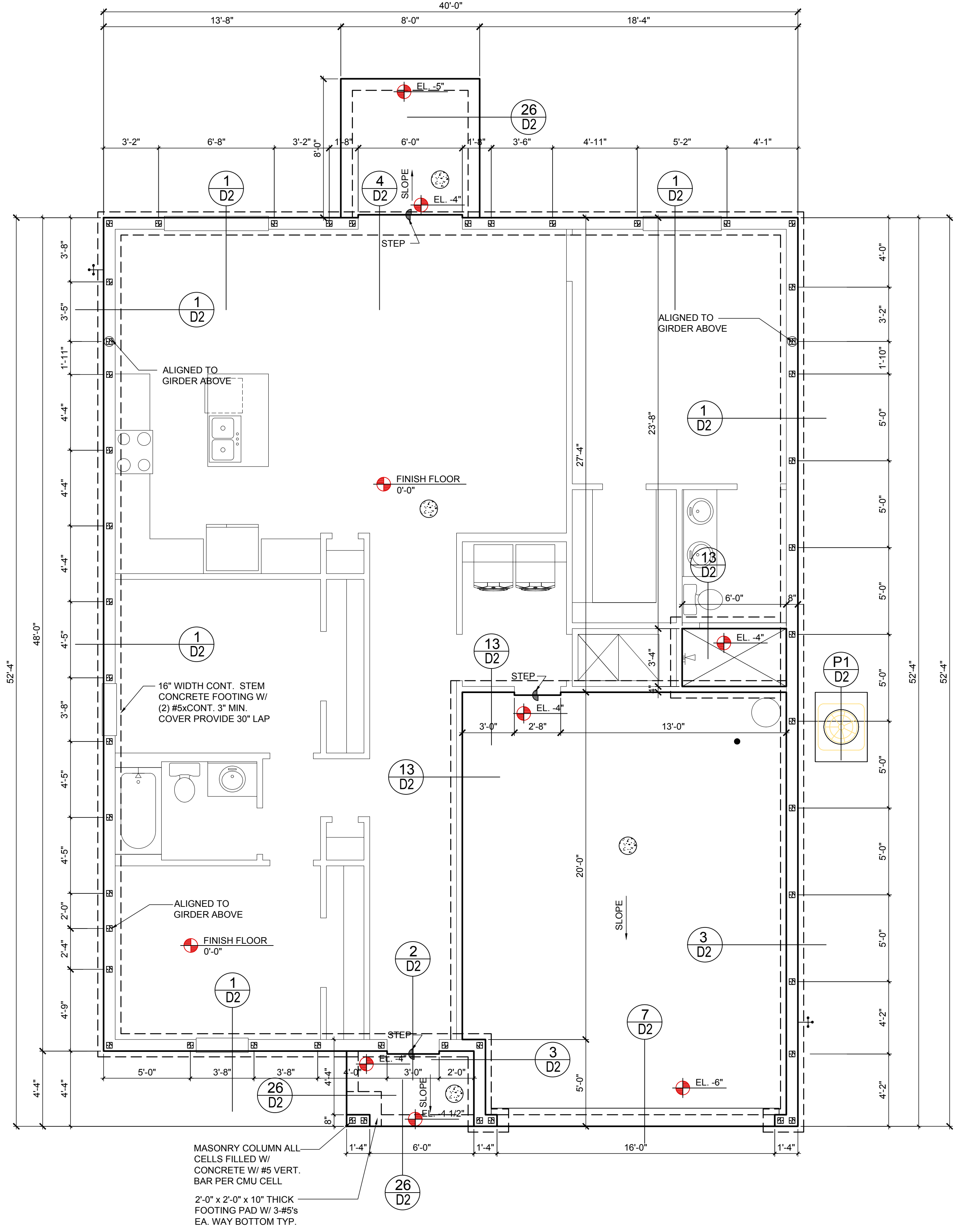
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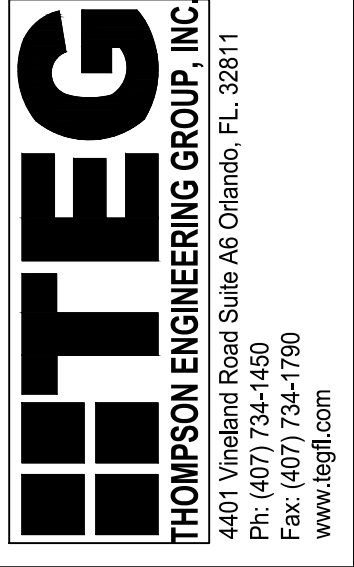
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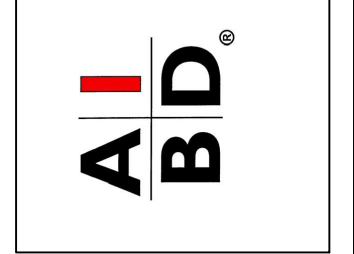
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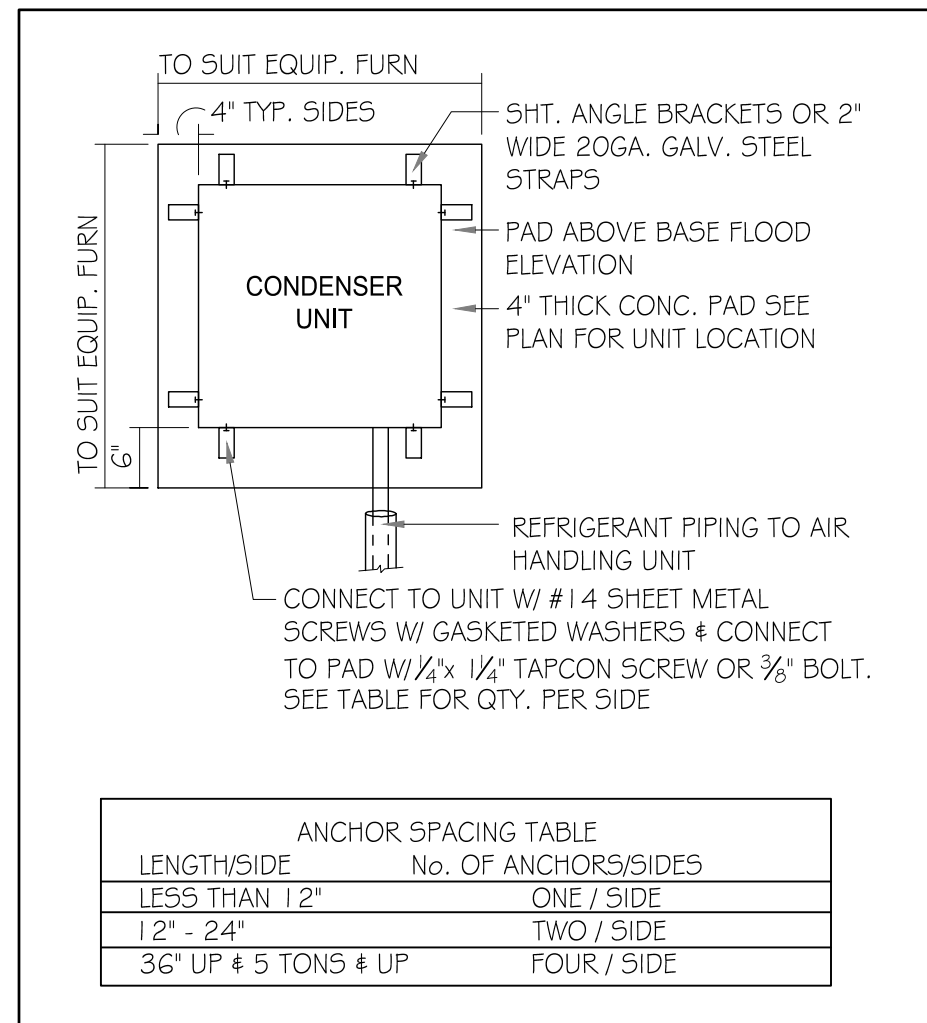
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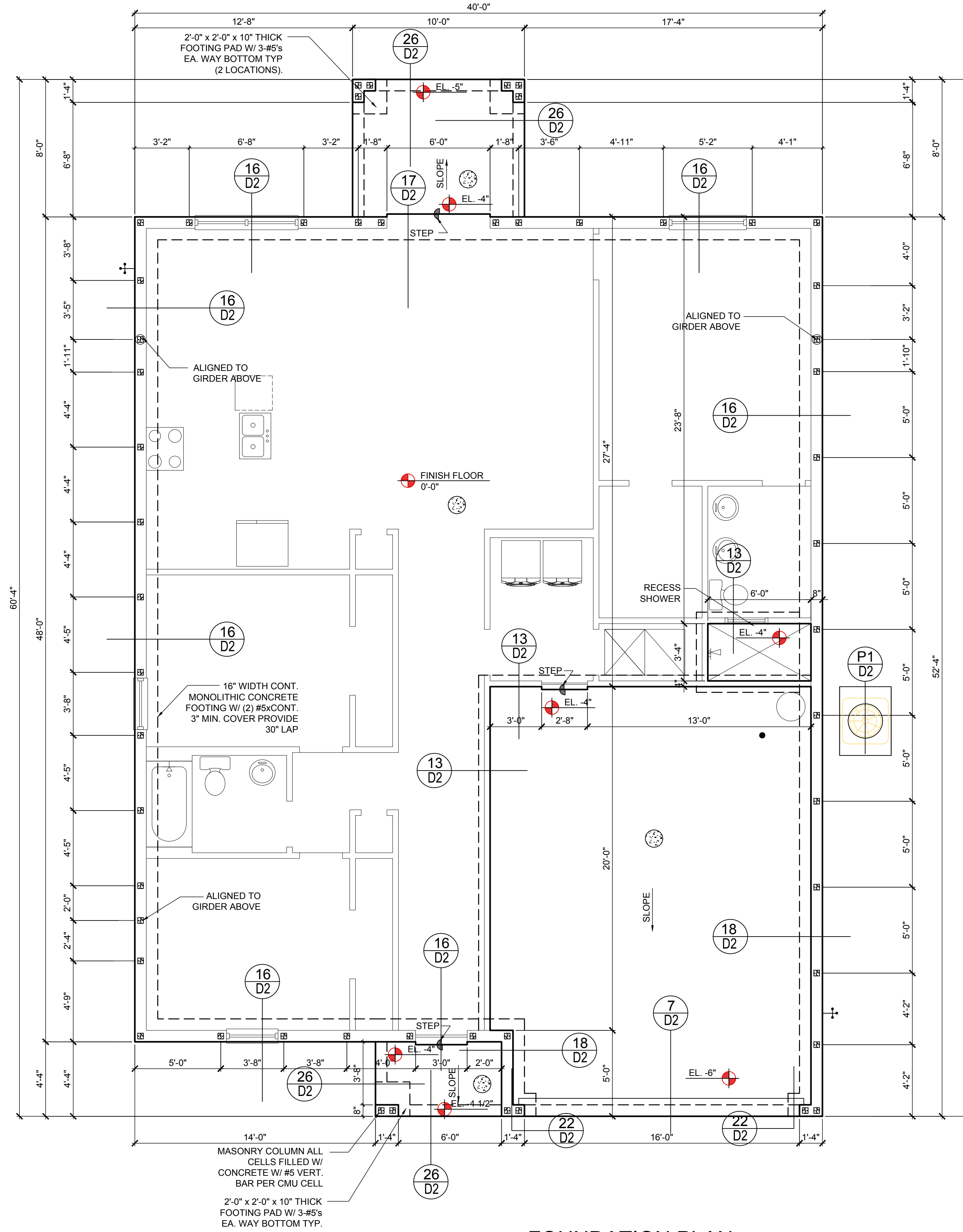
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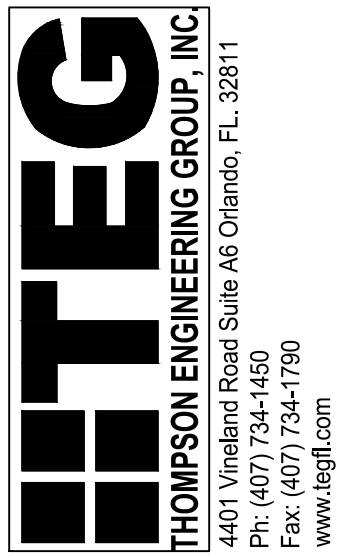
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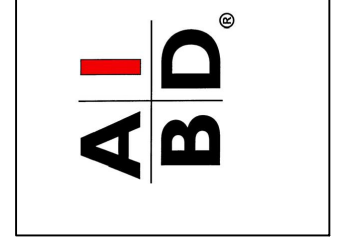
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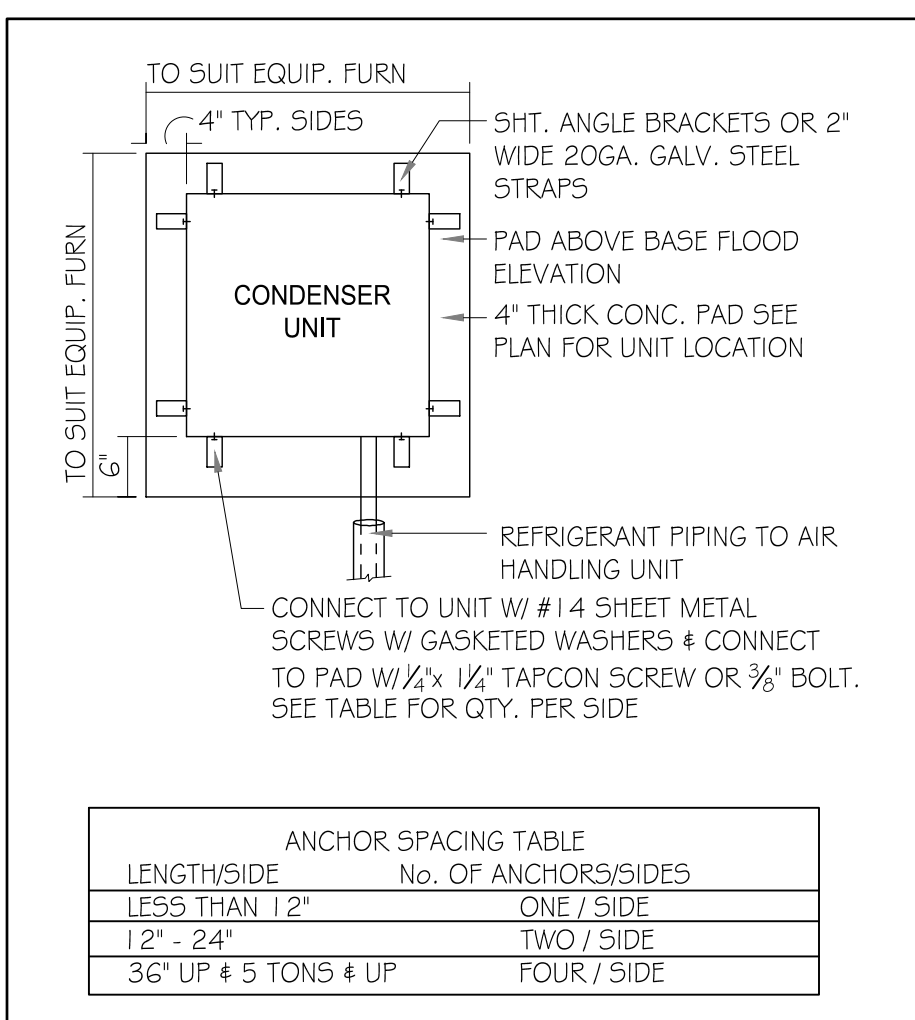
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FOUNDATION PLAN
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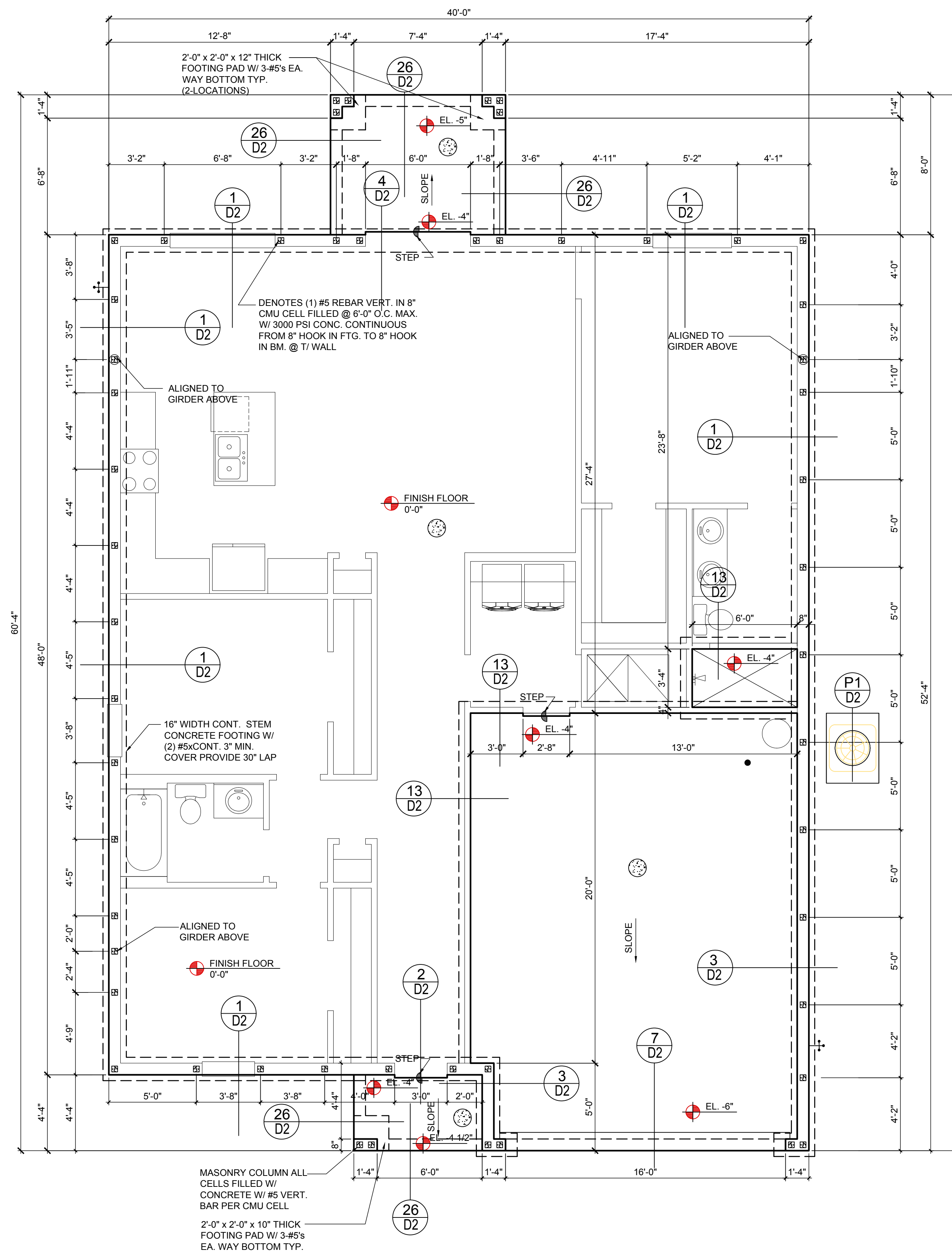
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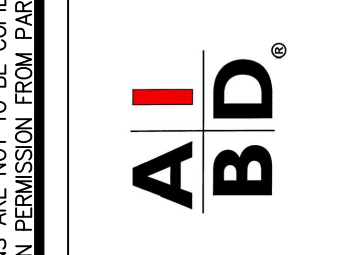


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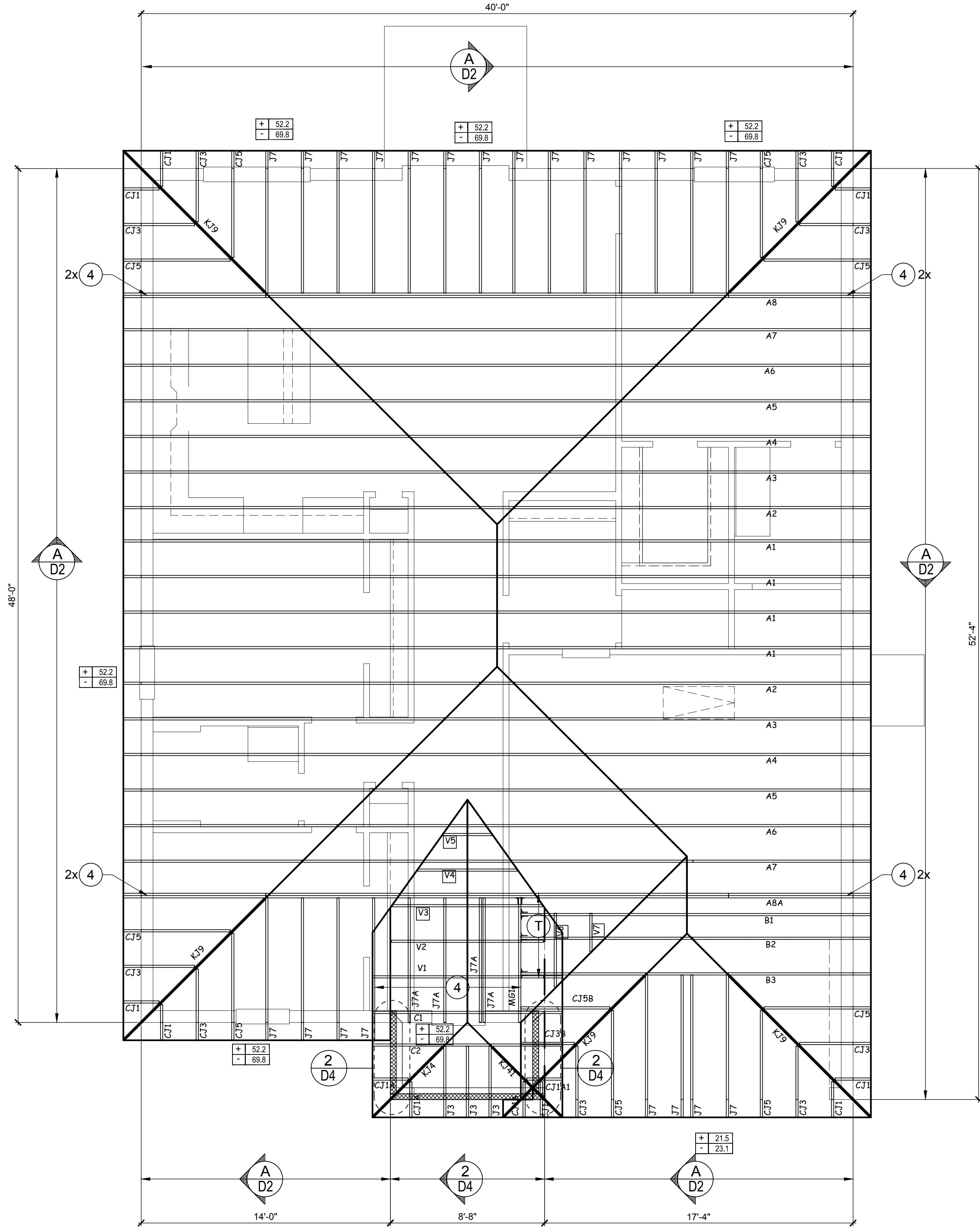
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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/2" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" phi x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" phi x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" phi x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2,000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



ROOF FRAMING PLAN
(STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

WALL KEY

T.O.WALL 9'-4"

BEARING 12'-0"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTC A BCSI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF : UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:
- LOMANCO: (2) 9/2" DIA. CIRCLES
- MILLENNIUM METAL: 2 1/2"x4" HOLE

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GOBA
GREATER ORLANDO BUILDERS ASSOCIATION

"EXCITE"
40-1520
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE 06/22/2022

REVISIONS

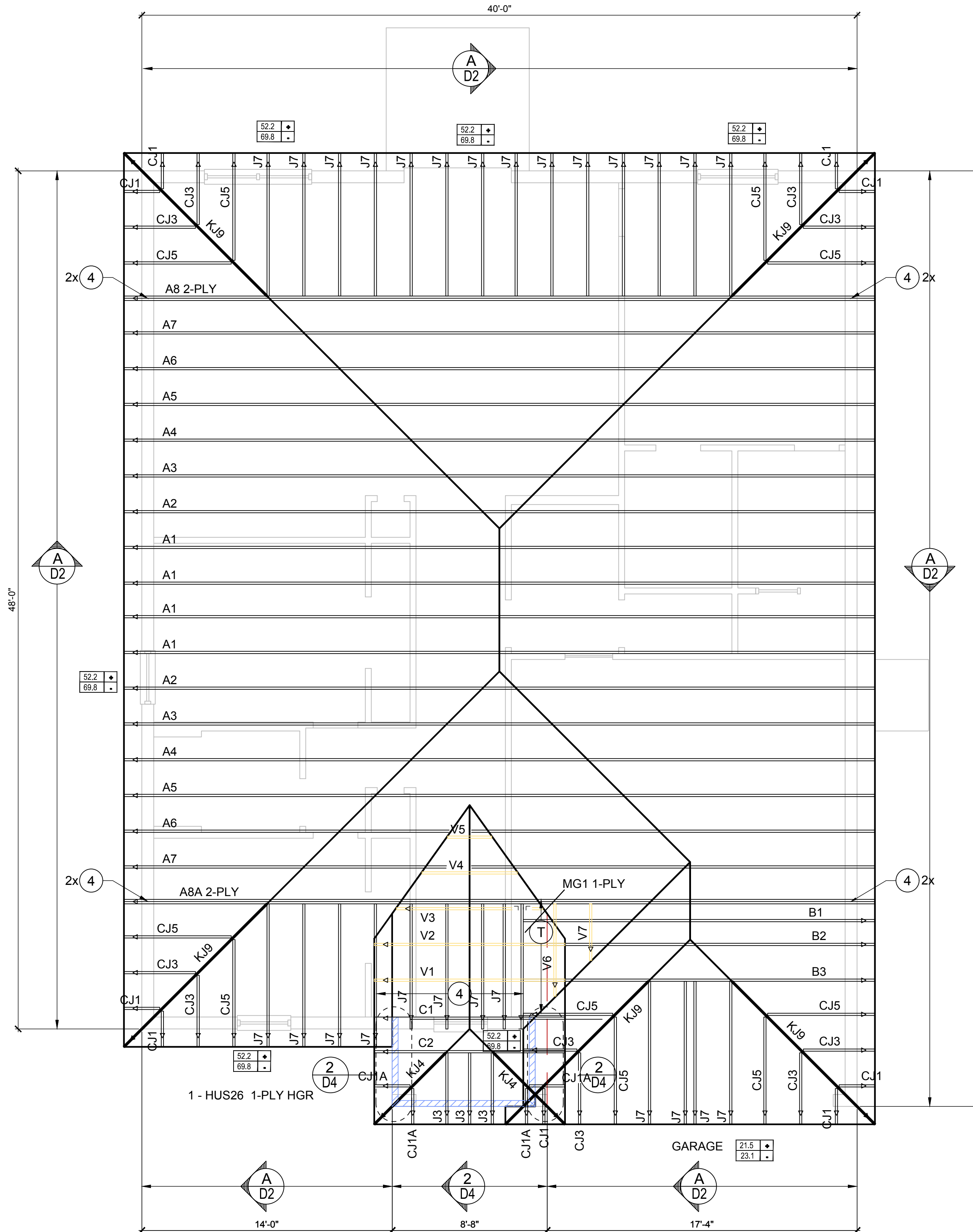
PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ROOF FRAMING PLAN
A,B,C (STANDARD)
S3.0

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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8d x 1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JUST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8d x 1 1/2" / P: 4-8d x 1 1/2"	365	280 / 303
35	A35F	H: 4-8d x 1 1/2" / P: 4-8d x 1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8" x 5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4" x 2 1/2" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8d x 1 1/2" / P: 4-8d x 1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4" x 3" / (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4" x 2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16" x 1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JUST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4" x 1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10d x 1 1/2" / P: 10-10d x 1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2,000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6,485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JUST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



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NOTES

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- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
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ISSUE DATE: 06/22/2022

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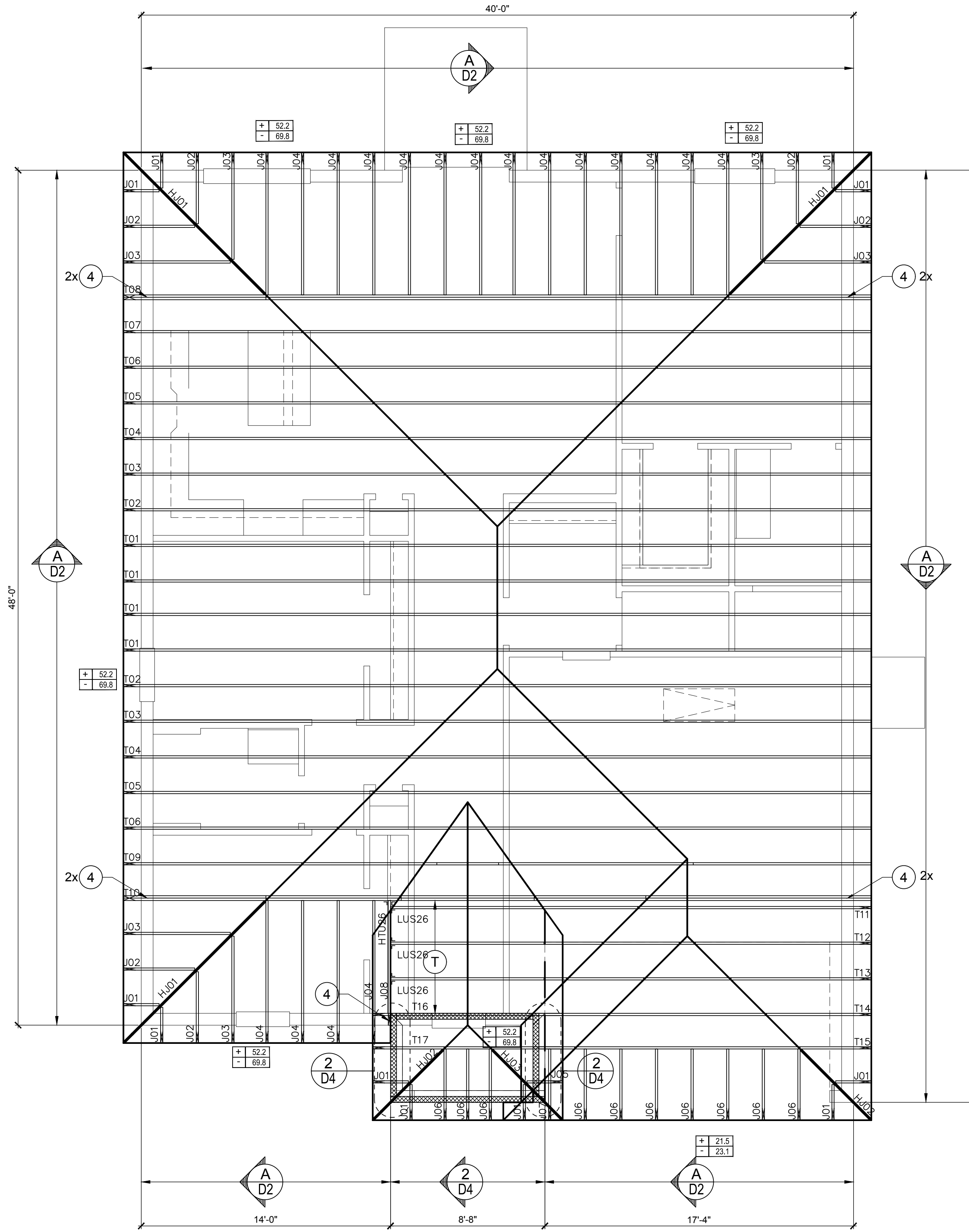
PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ROOF FRAMING PLAN
(STANDARD)
S3

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21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
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- OFF RIDGE VENTS MAXIMUM OPENING SIZES:
- LOMANCO: (2) 9/2" DIA. CIRCLES
- MILLENNIUM METAL: 2 1/2"x46" HOLE

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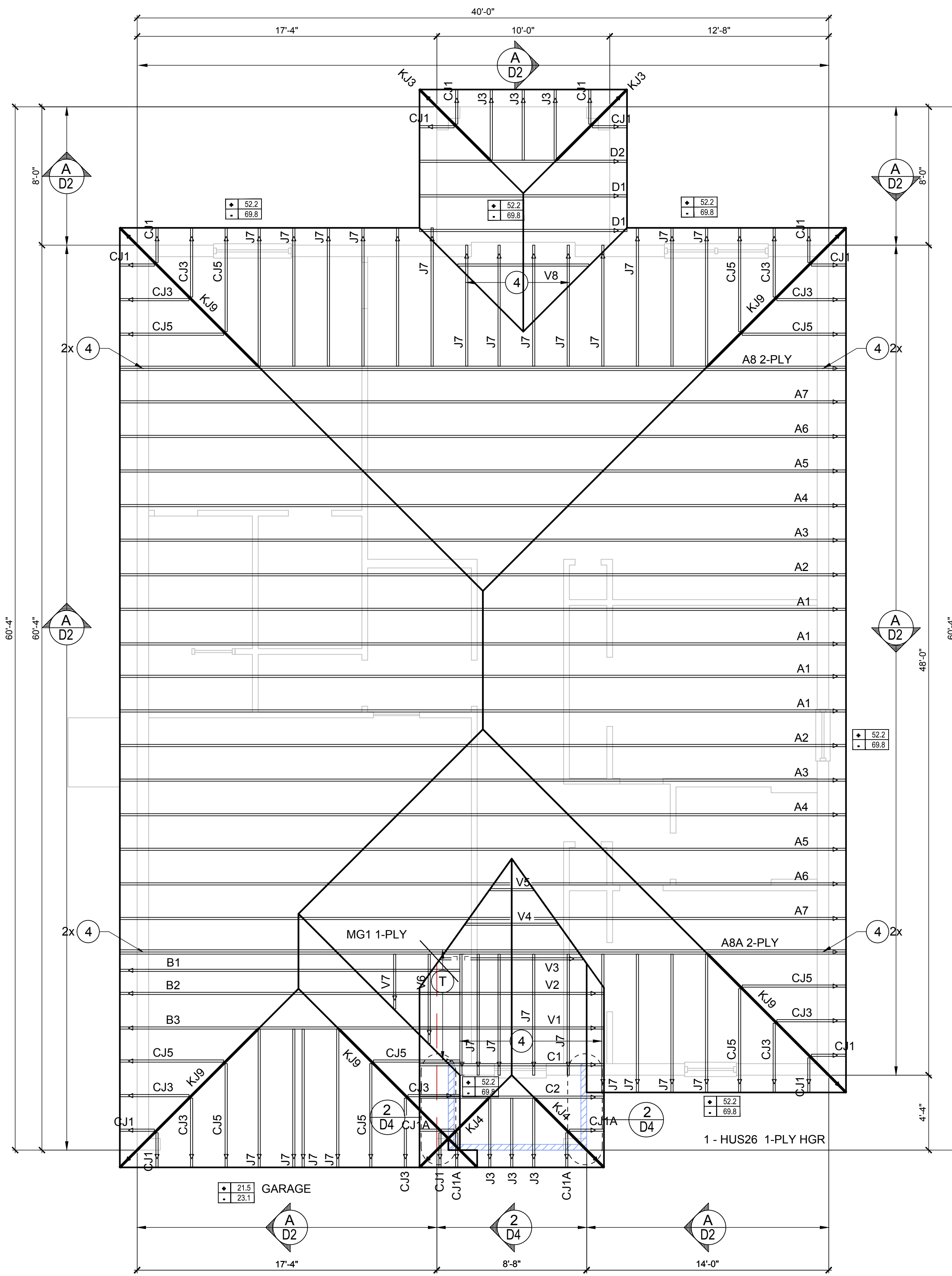
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5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3" / (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2,000	1015 / 440
301	MGT	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6,485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



ROOF FRAMING PLAN
(STANDARD)
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

WALL KEY

- T.O.WALL 9'-4"
- BEARING 12'-0"

COMPONENT & CLADDING DESIGN WIND PRESSURES

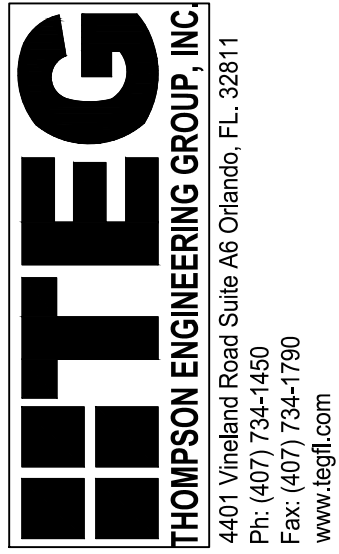
- SEE PLAN DESIGN WIND PRESSURE
- XXX ULTIMATE DESIGNED POSITIVE PRESSURE
 - XXX ULTIMATE DESIGNED NEGATIVE PRESSURE
- NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNIFEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS. FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:
 - LOMANCO: (2) 9 1/2" DIA. CIRCLES
 - MILLENNIUM METAL: 2 1/2"x46" HOLE



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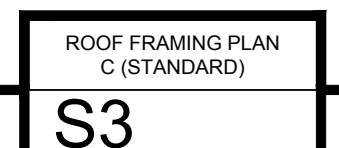


"EXCITE"
40-1520
Lot # - Subdivision
Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000



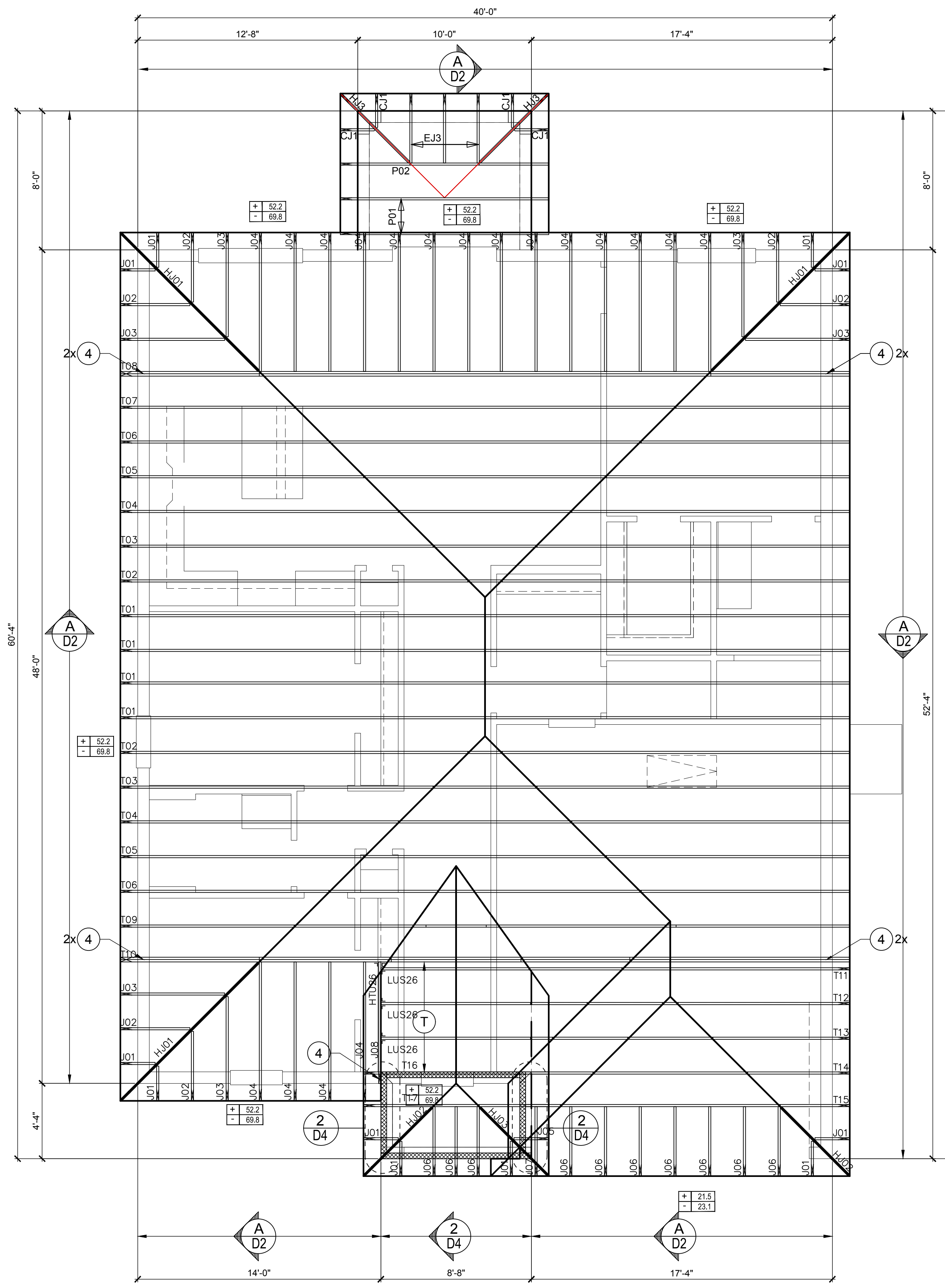
ISSUE DATE	06/22/2022
REVISIONS	
PROJECT:	19-0206
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS



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CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/2" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"/(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



ROOF FRAMING PLAN
OPT LANAI
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

WALL KEY

T.O. WALL 9'-4"

BEARING 12'-0"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

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NOTES

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- LOMANCO: (2) 9 1/2" DIA. CIRCLES
- MILLENNIUM METAL: 2 1/2" x 46" HOLE

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GREATER ORLANDO BUILDERS ASSOCIATION

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City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd, Suite # 200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 06/22/2022

REVISIONS

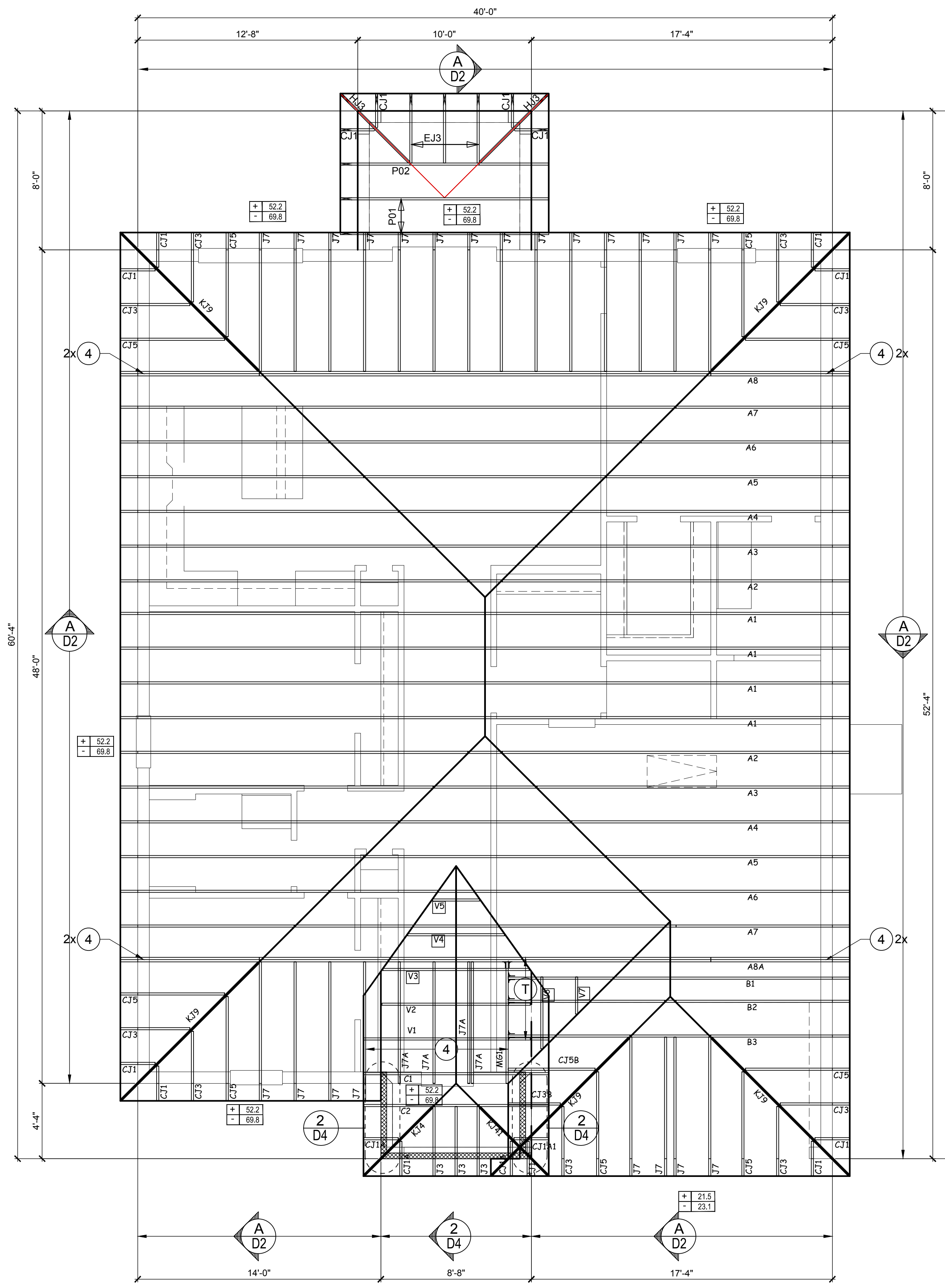
PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ROOF FRAMING PLAN
A.B.C (STANDARD)
S3.1

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22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
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71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
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89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
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99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2,000	1015 / 440
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401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



ROOF FRAMING PLAN
OPT LANAI
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

WALL KEY

T.O.WALL 9'-4"

BEARING 12'-0"

COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+	XXX	ULTIMATE DESIGNED POSITIVE PRESSURE
-	XXX	ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE

NOTES

- TYPICAL ROOF CABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:
- LOMANCO: (2) 9/2" DIA. CIRCLES
- MILLENNIUM METAL: 2 1/2"x4" HOLE

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ISSUE DATE 06/22/2022

REVISIONS

PROJECT: 19-0206
SCALE: AS NOTED
DRAWN BY: S.B.
DESIGNED BY: MJS

ROOF FRAMING PLAN
A.B.C (STANDARD)
S3.1

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STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.)
LIVE LOAD ROOF: 20 PSF.
FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF
OCCUPANCY= 1.0
BUILDING CATEGORY R3, WIND EXPOSURE C
INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- ALL FLOOR SLABS TO BE OF 3,000 PSI CONC. PLANT MIX MIN. 4" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE "M" OR "S", GROUT - 3,000 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.
THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

- SOIL BEARING CAPACITY 2000 PSF MINIMUM

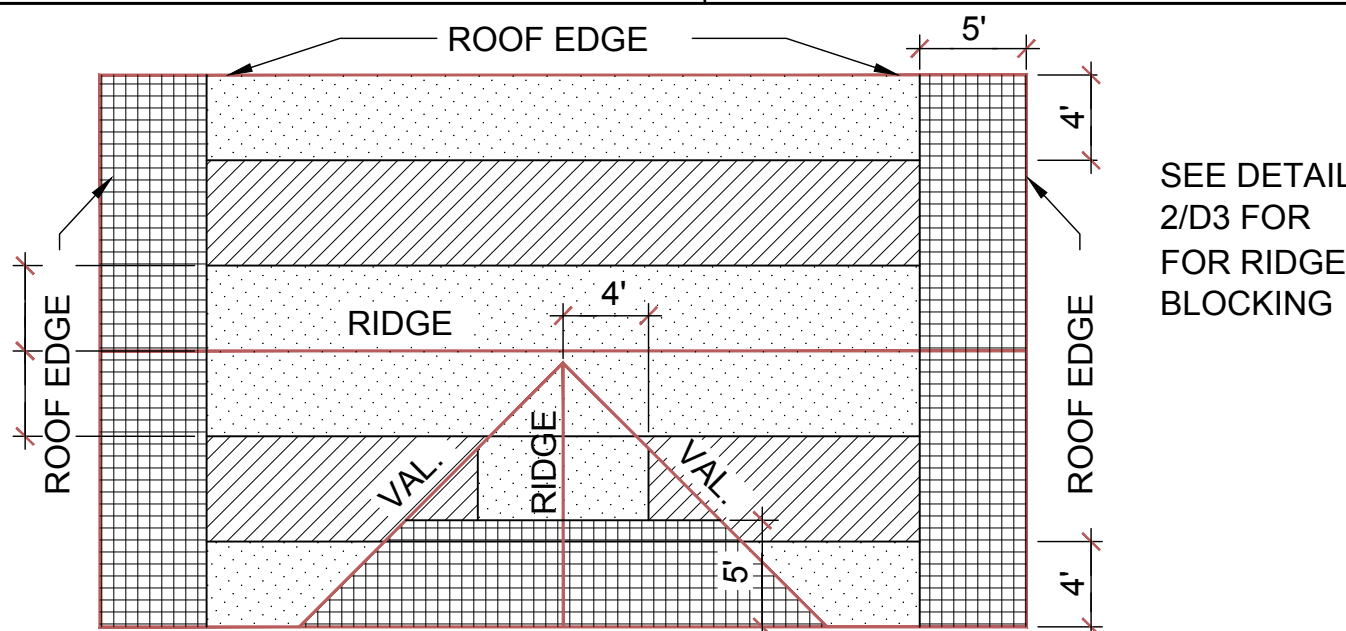
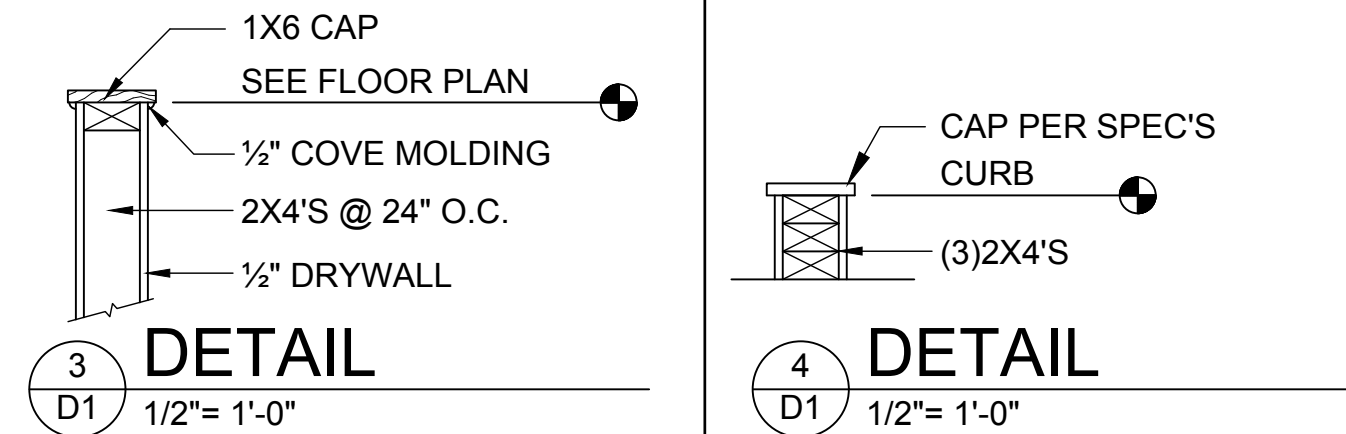
WOOD STRUCTURAL NOTES

- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C..
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN
 - DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)
 - DOUBLE STUDS @ 12" O.C..
 - DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.
 - HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER.
 - STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 19/32 OSB, NAILED (10d RING SHANK NAILS) TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED (10d RING SHANK NAILS) TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

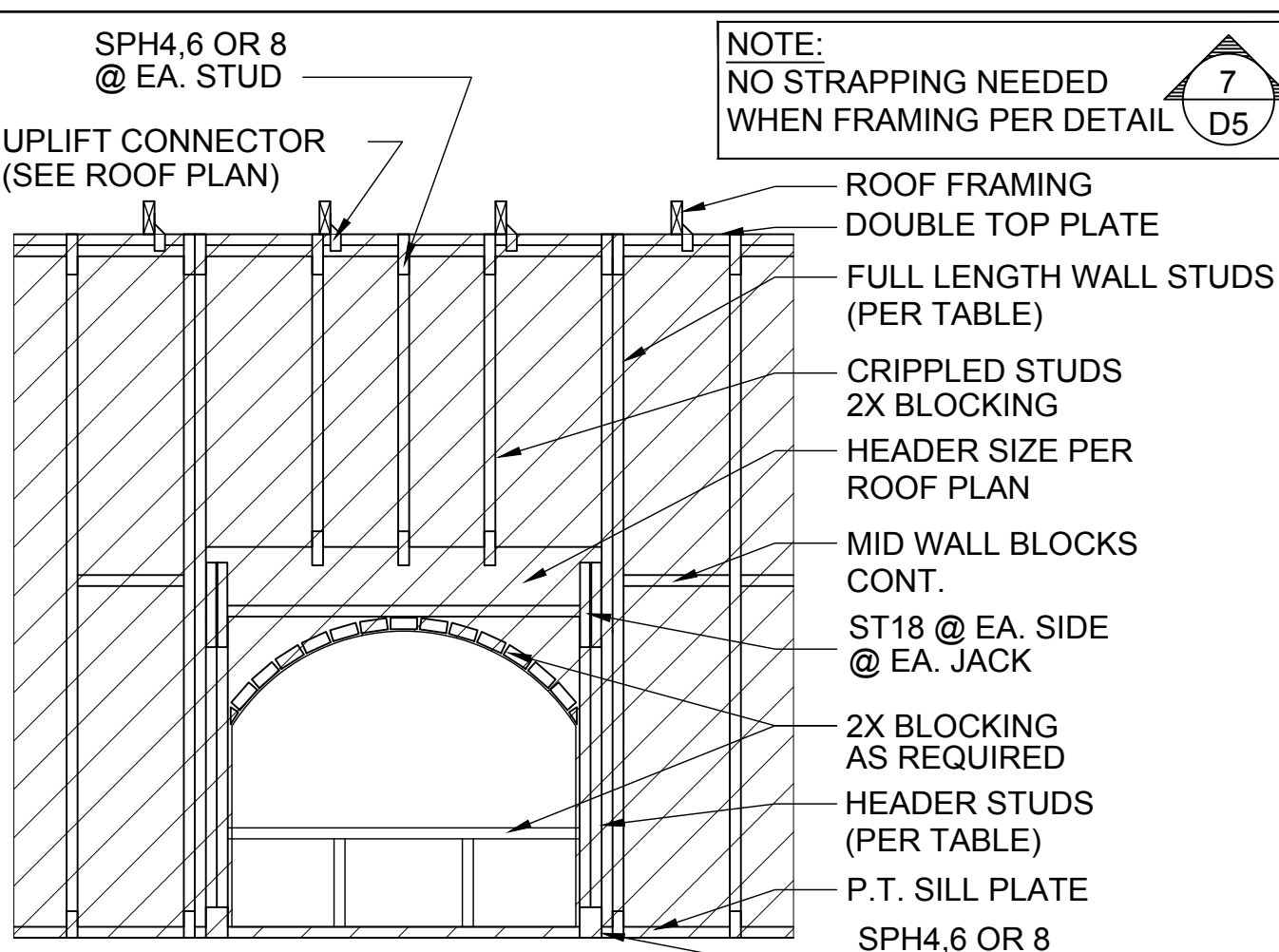
- NON BEARING WALL: 2X4 SPACED AT 24" O.C. UP TO 12'-0" HEIGHT WITH 2 ROWS OF HORIZONTAL 2X4 BLOCKING SPACE AT 4'-0" O.C.

FIELD REPAIR NOTES

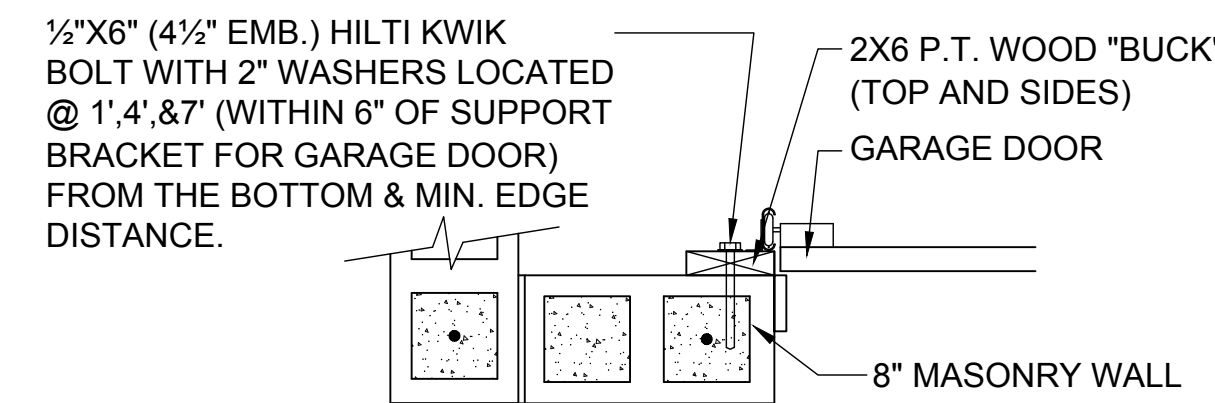
- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:
UP TO -7/8" - NO REPAIR NECESSARY
-7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED
1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE



ROOF NAILING PATTERN	
ZONE: [Pattern]	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE: [Pattern]	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE: [Pattern]	10d RING SHANK NAILS @ 4" O.C. EDGES AND 6" O.C. FIELD



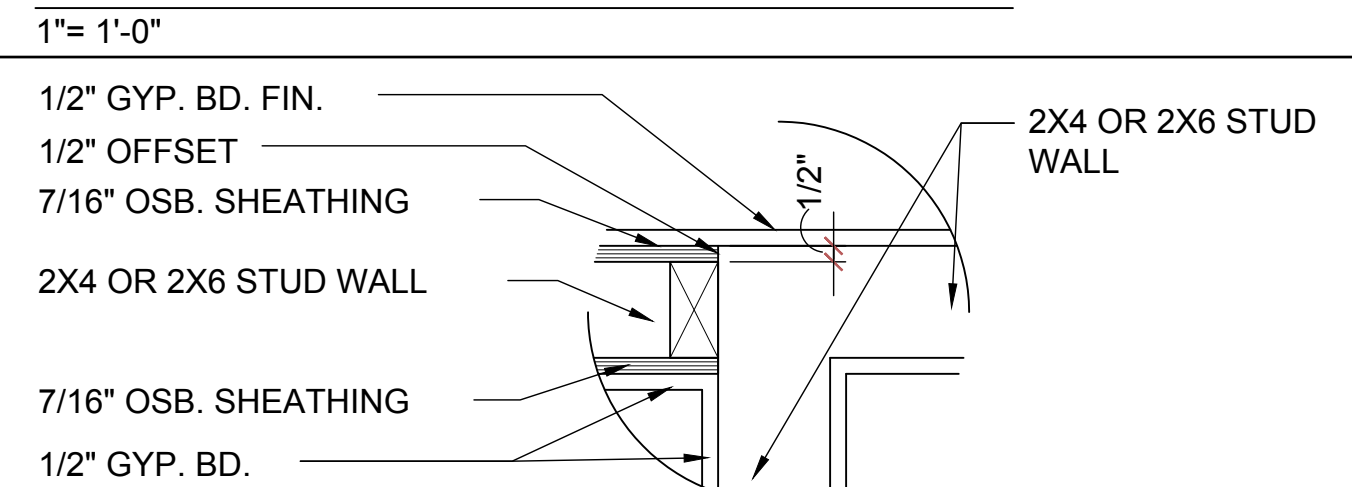
TYP. FRAMING FOR OPNGS.



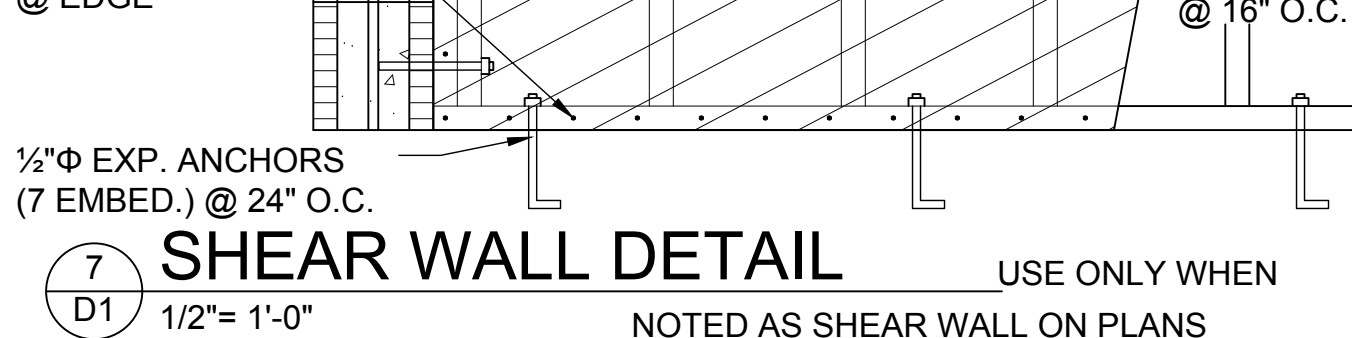
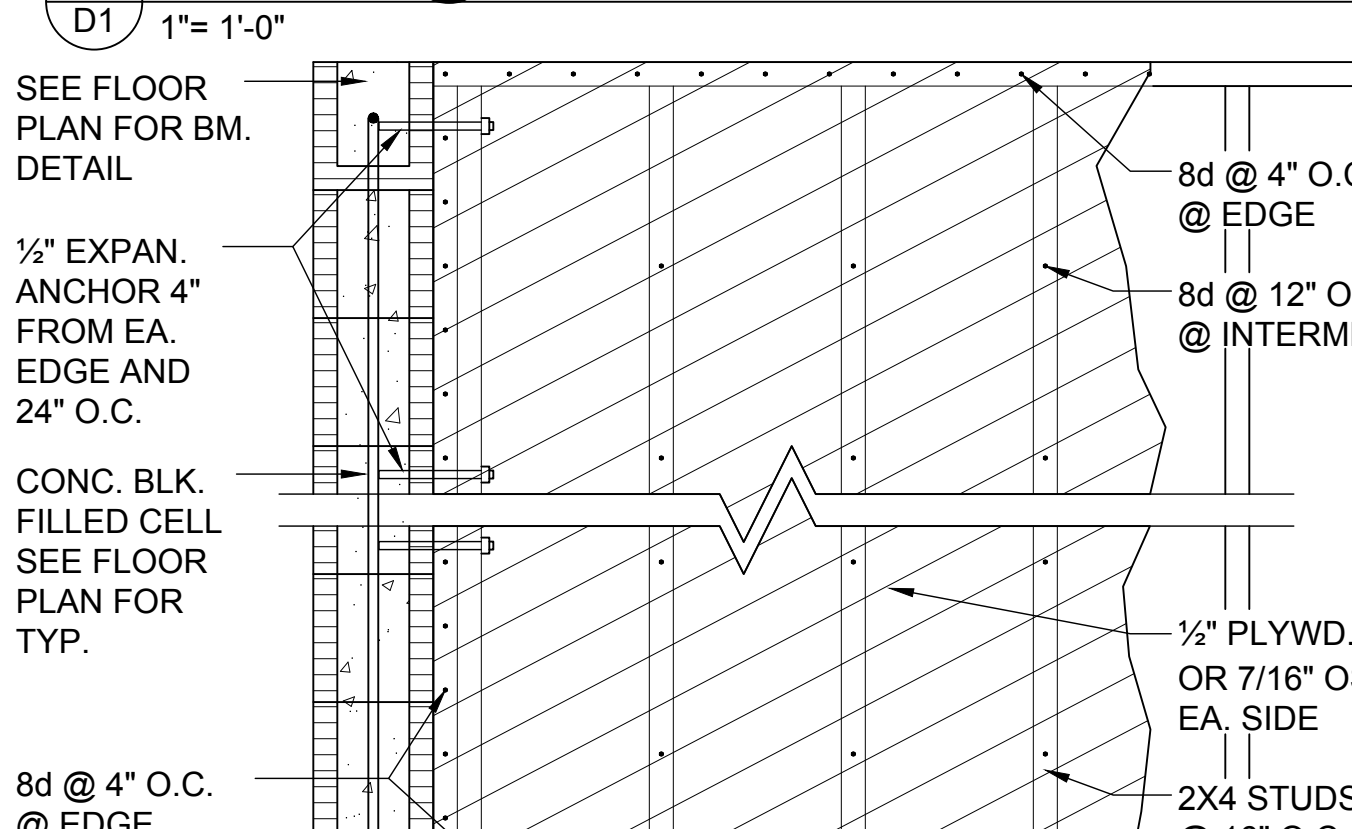
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
 - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
 - THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
 - DOOR SIZE, TYPE AND GLAZING
 - TRACK SIZE AND FASTENER DETAILS.
 - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
 - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

GARAGE BUCK DETAIL

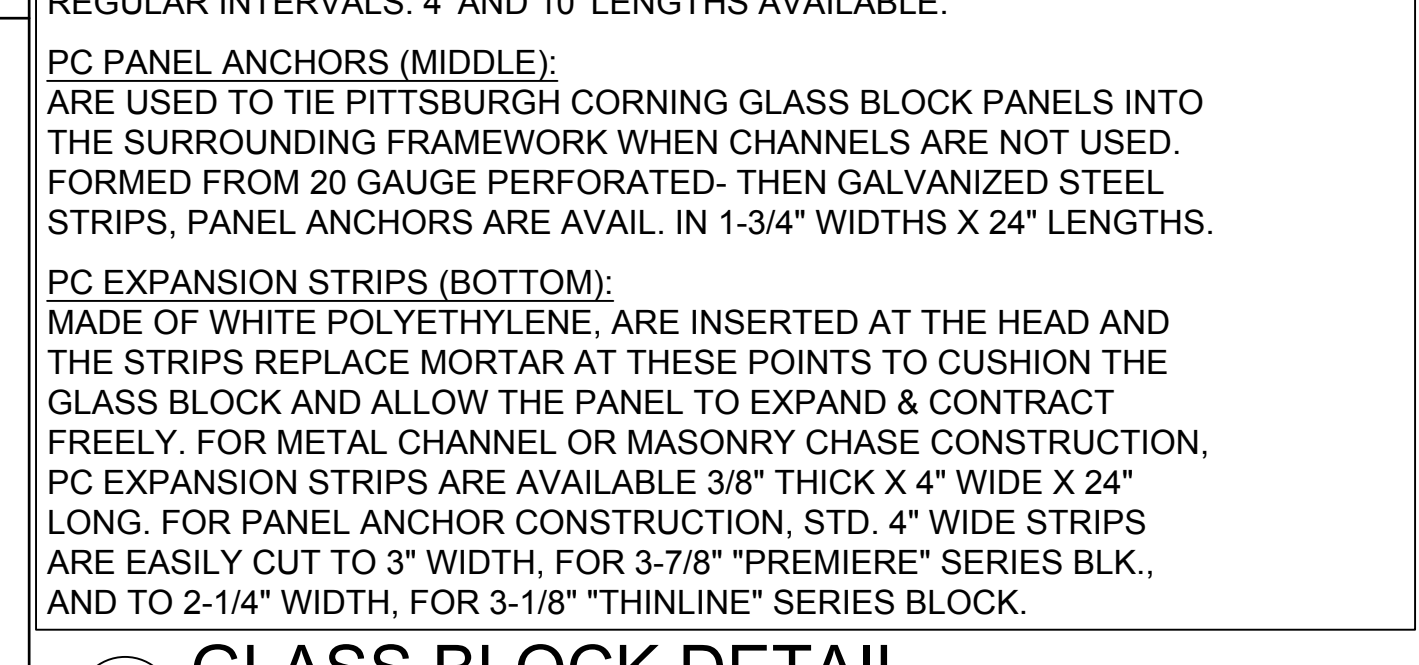
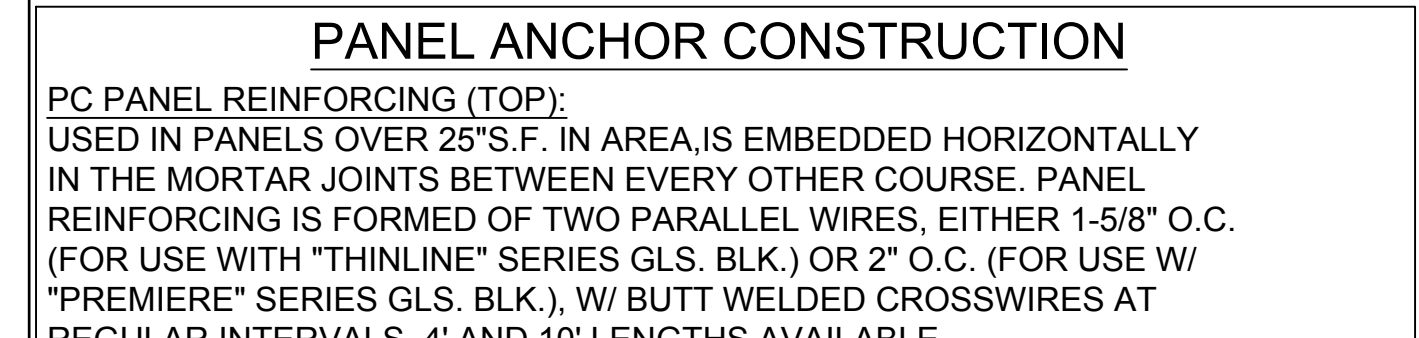
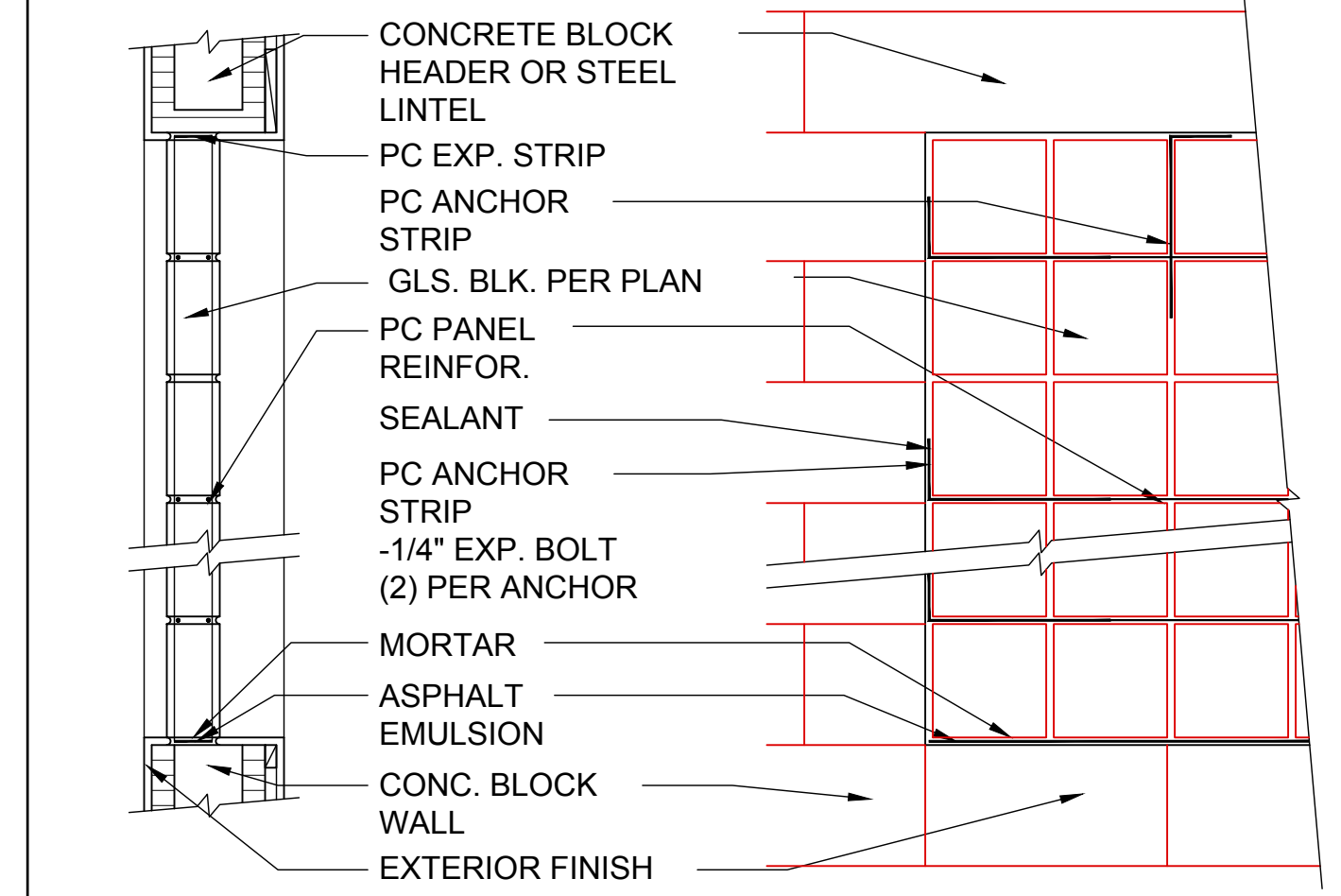
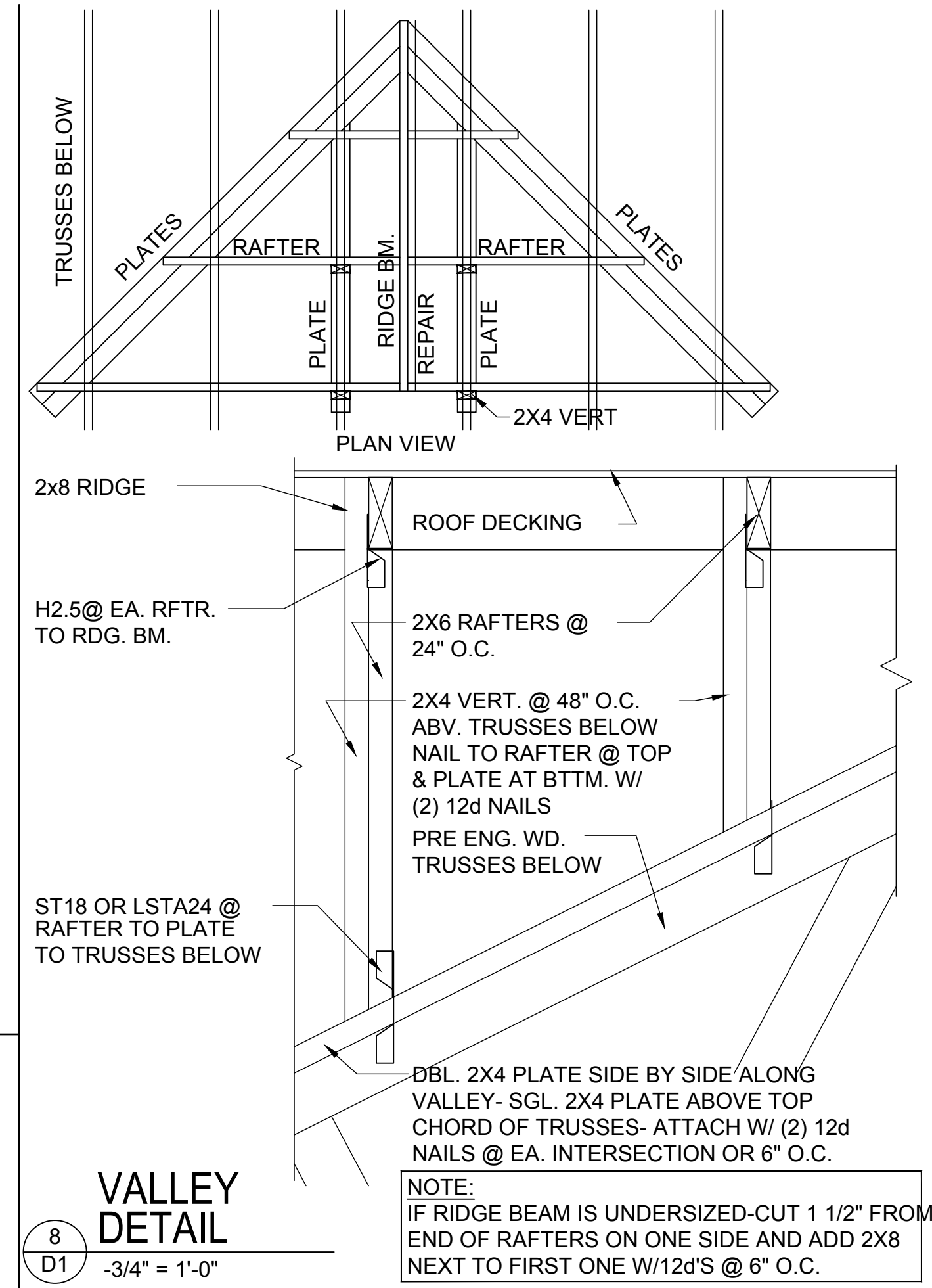


DETAIL @ CONN. TO REG. WALL



MIN. WALL AND HEADER REQUIREMENTS

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
10' OR LESS		NUMBER OF HEADER STUDS SUPPORTING END OF HEADER					
		1	1	2	2	2	2
GREATER THAN 10'		NUMBER OF FULL-LENGTH STUDS @ EACH END OF HEADER					
		2	2	3	3	3	3
		2	2	3	4	5	5

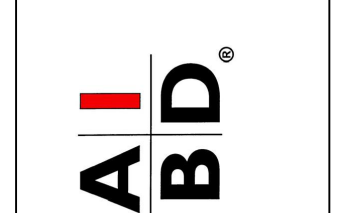


GLASS BLOCK DETAIL

GLASS BLOCK DETAIL



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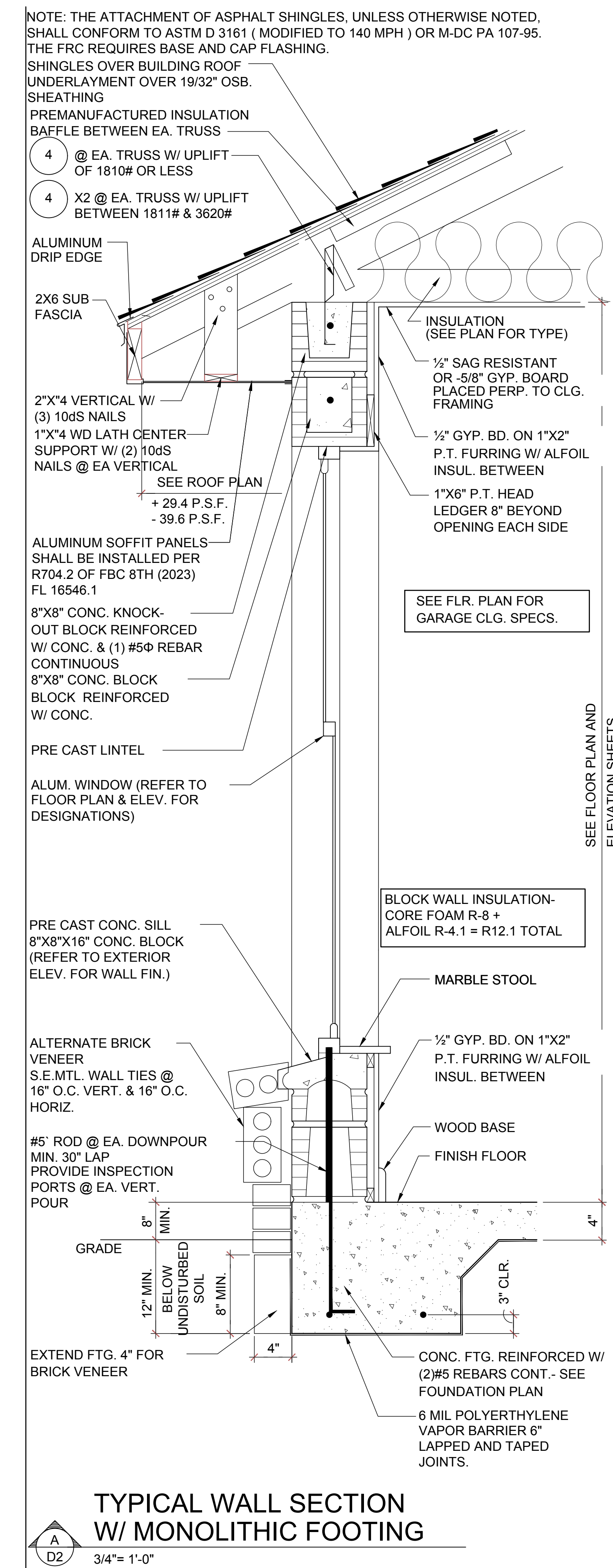
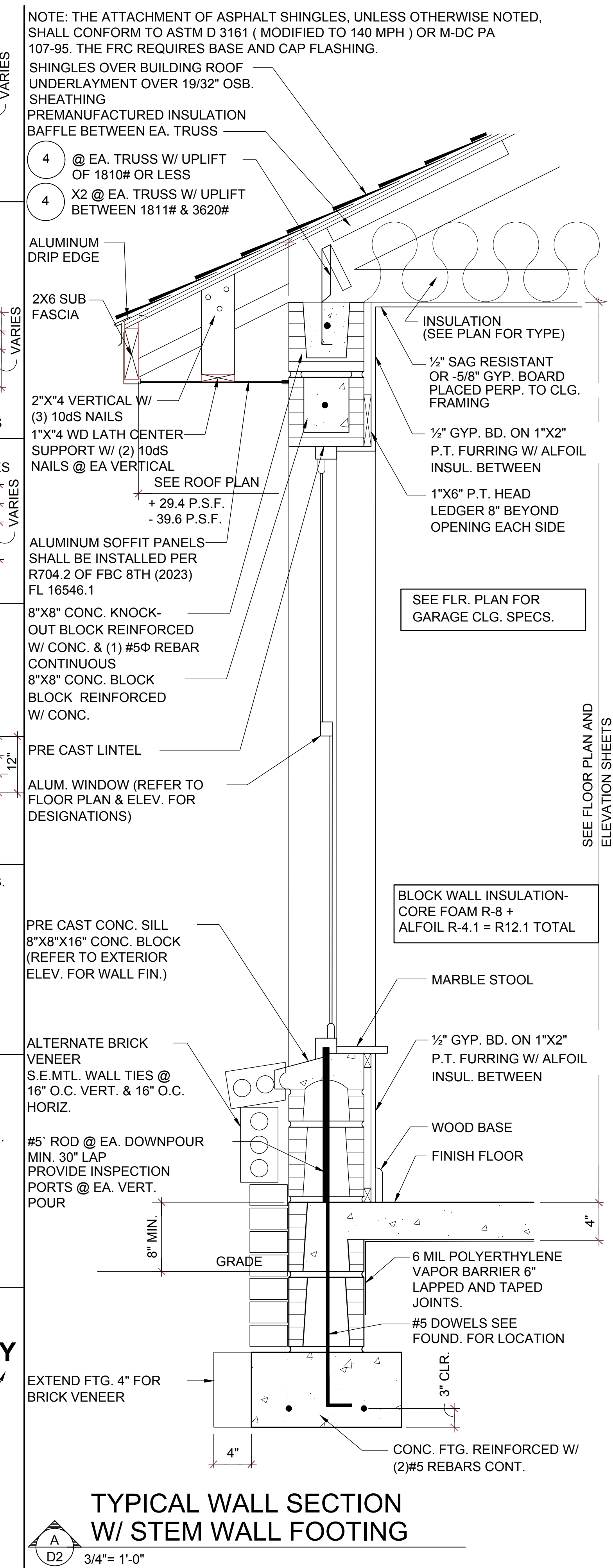
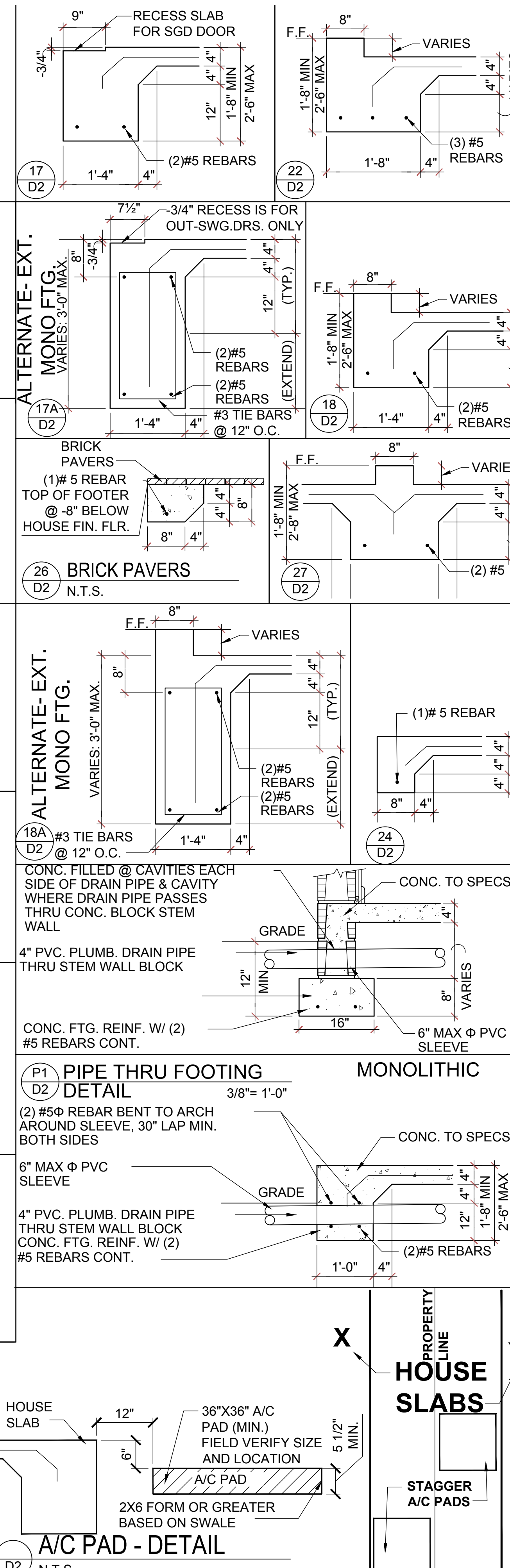
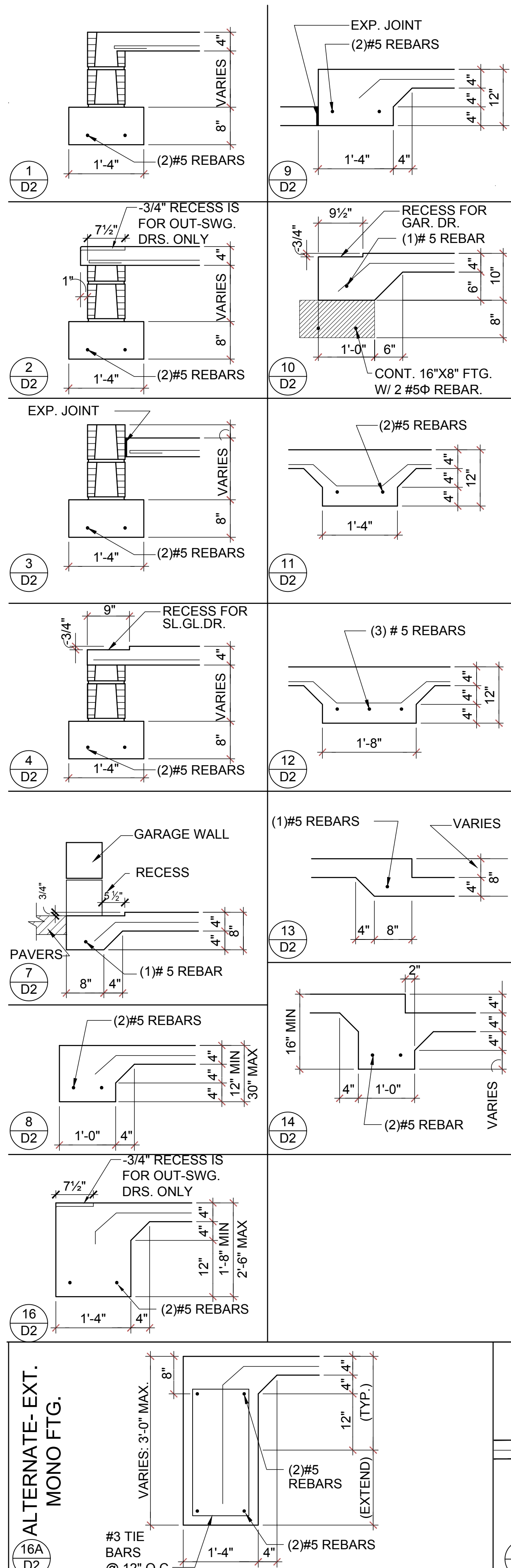
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PROJECT: 19-0206
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DRAWN BY: S.B.
DESIGNED BY: MJS

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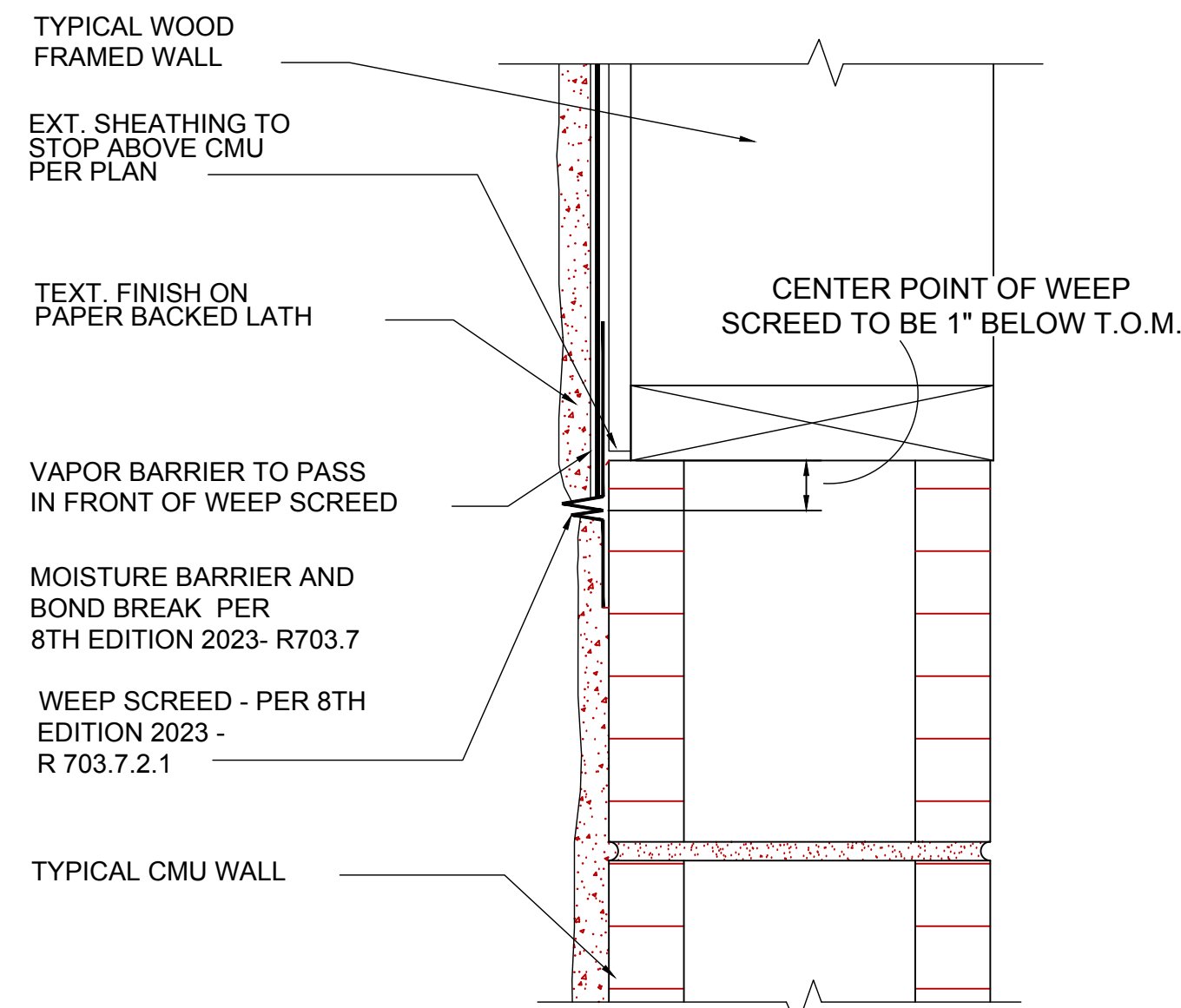
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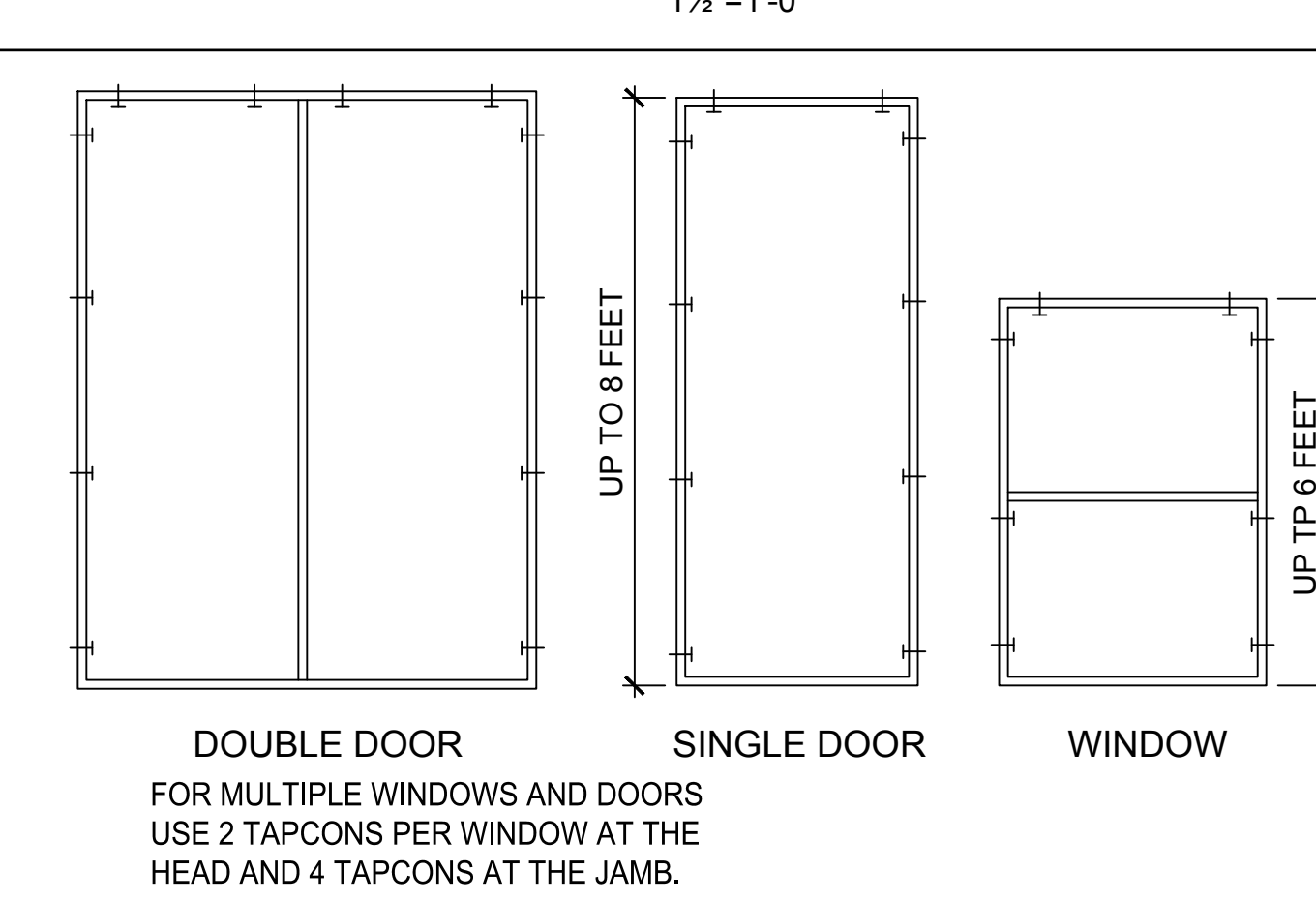
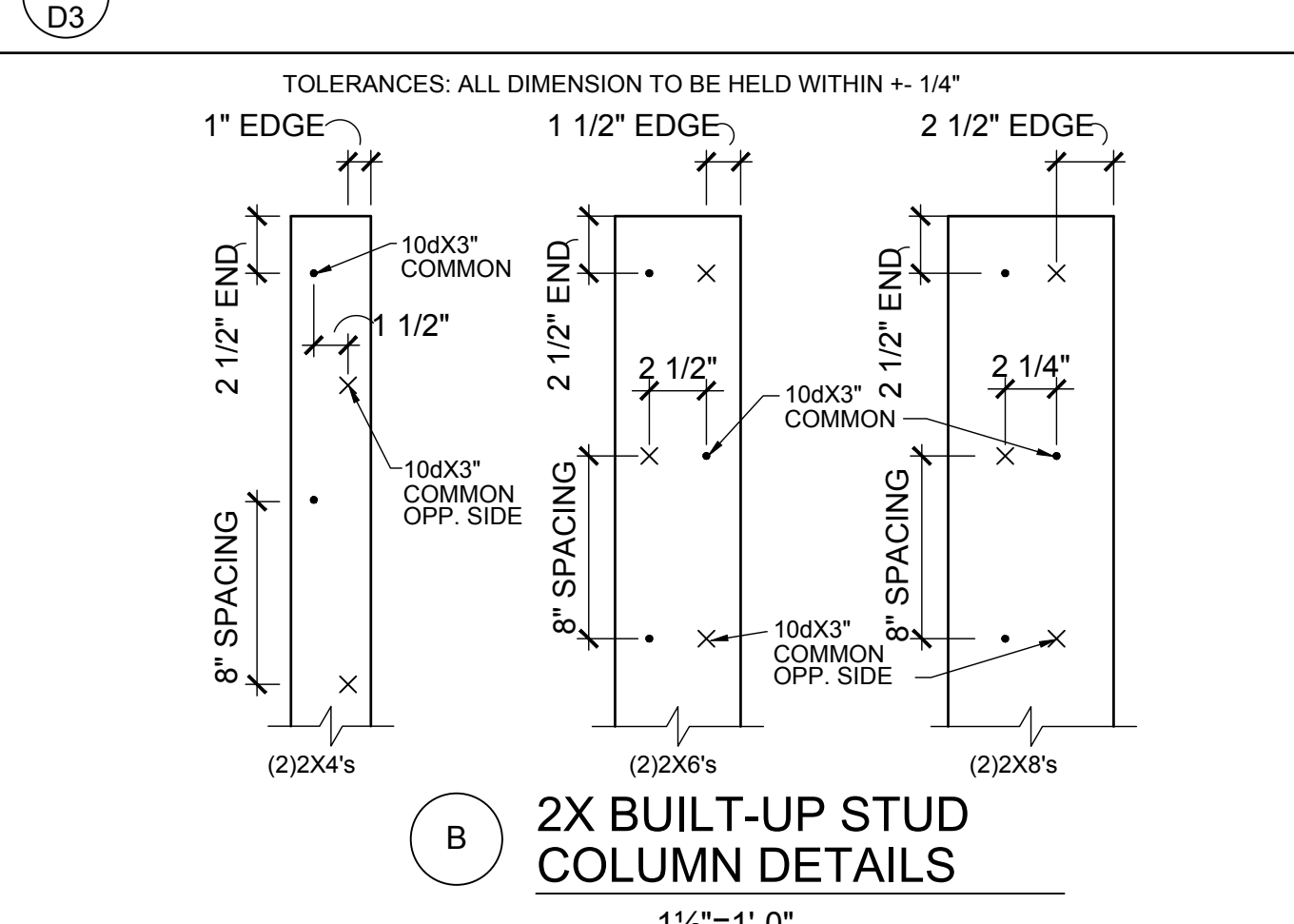
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D2	



FLASHING DETAIL



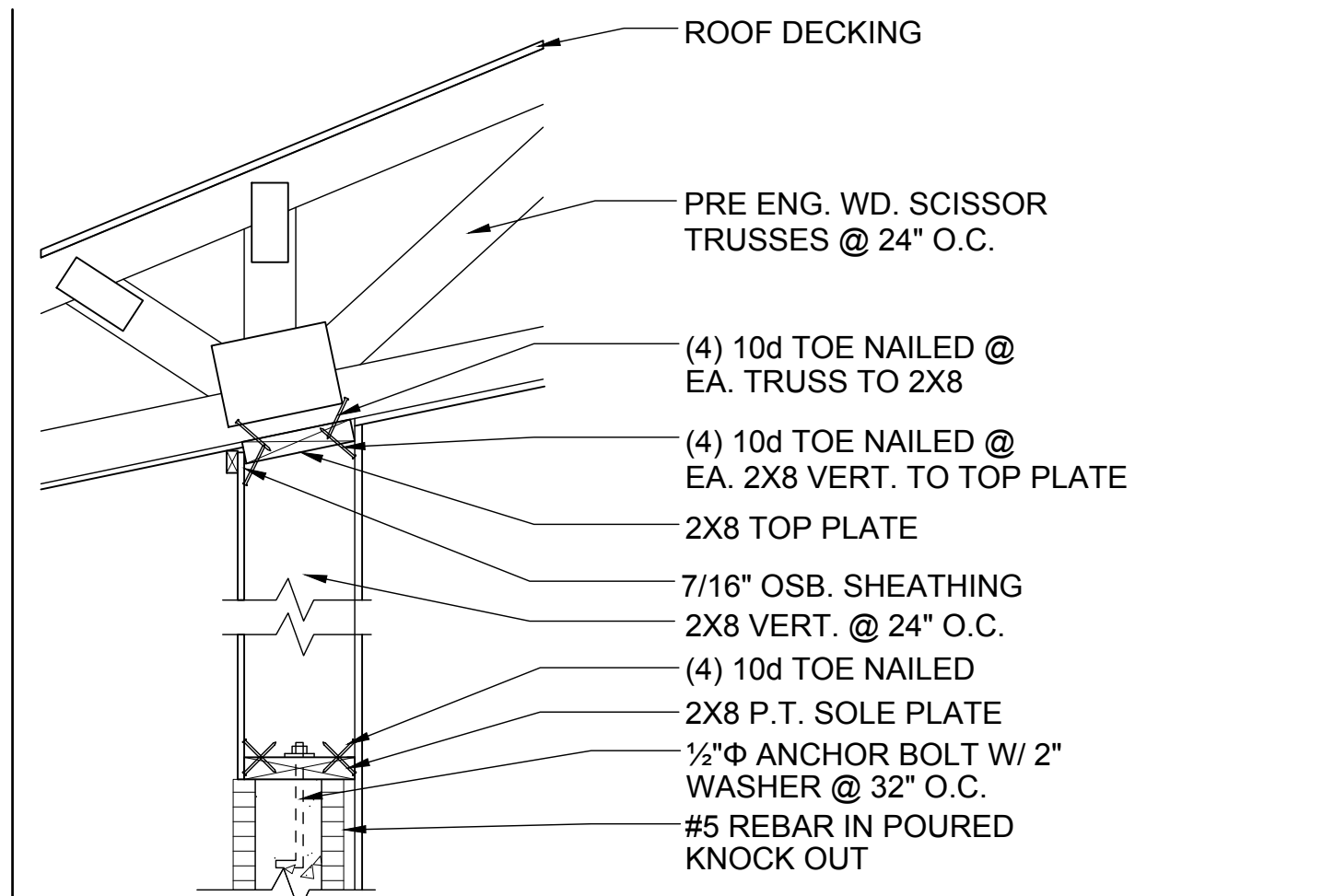
BUCK ATTACHMENT DATA

BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN PINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

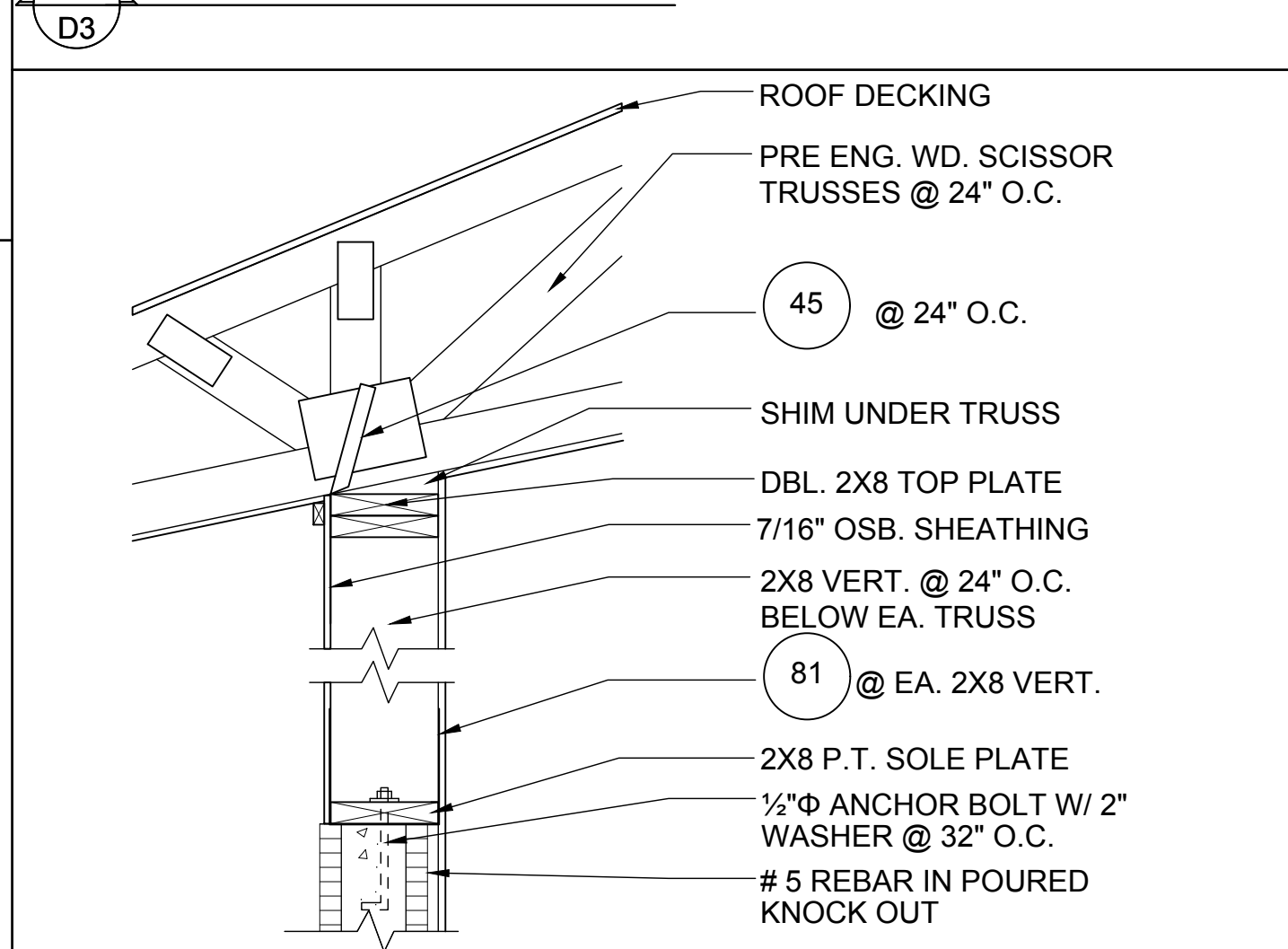
USE MIN. 2-1/4" T-NAILS w/ 1x BUCK. USE MIN. -1/4" x 3" TAPCONS w/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

NOTE

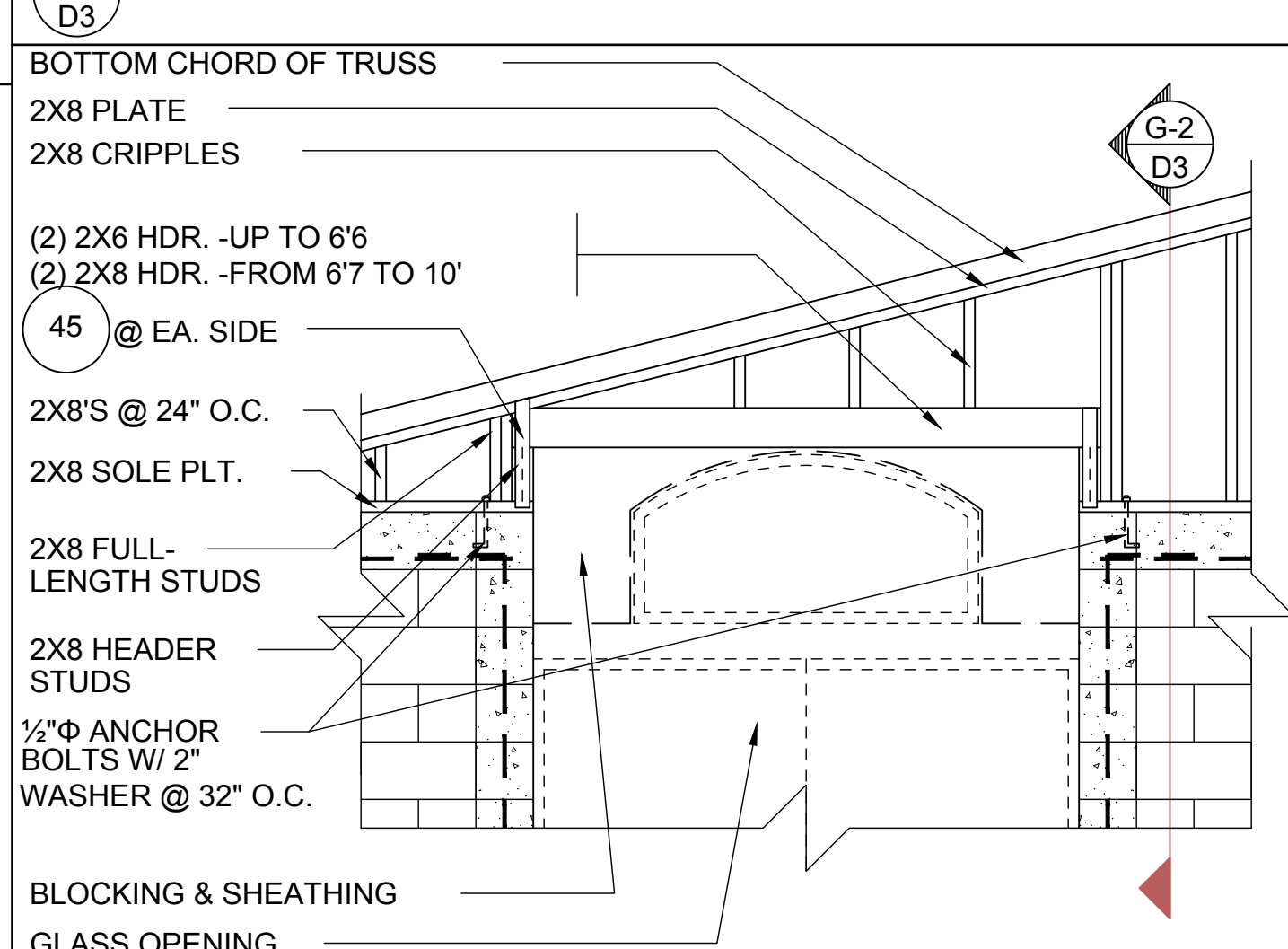
IN CASE OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3" FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4"x1-3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



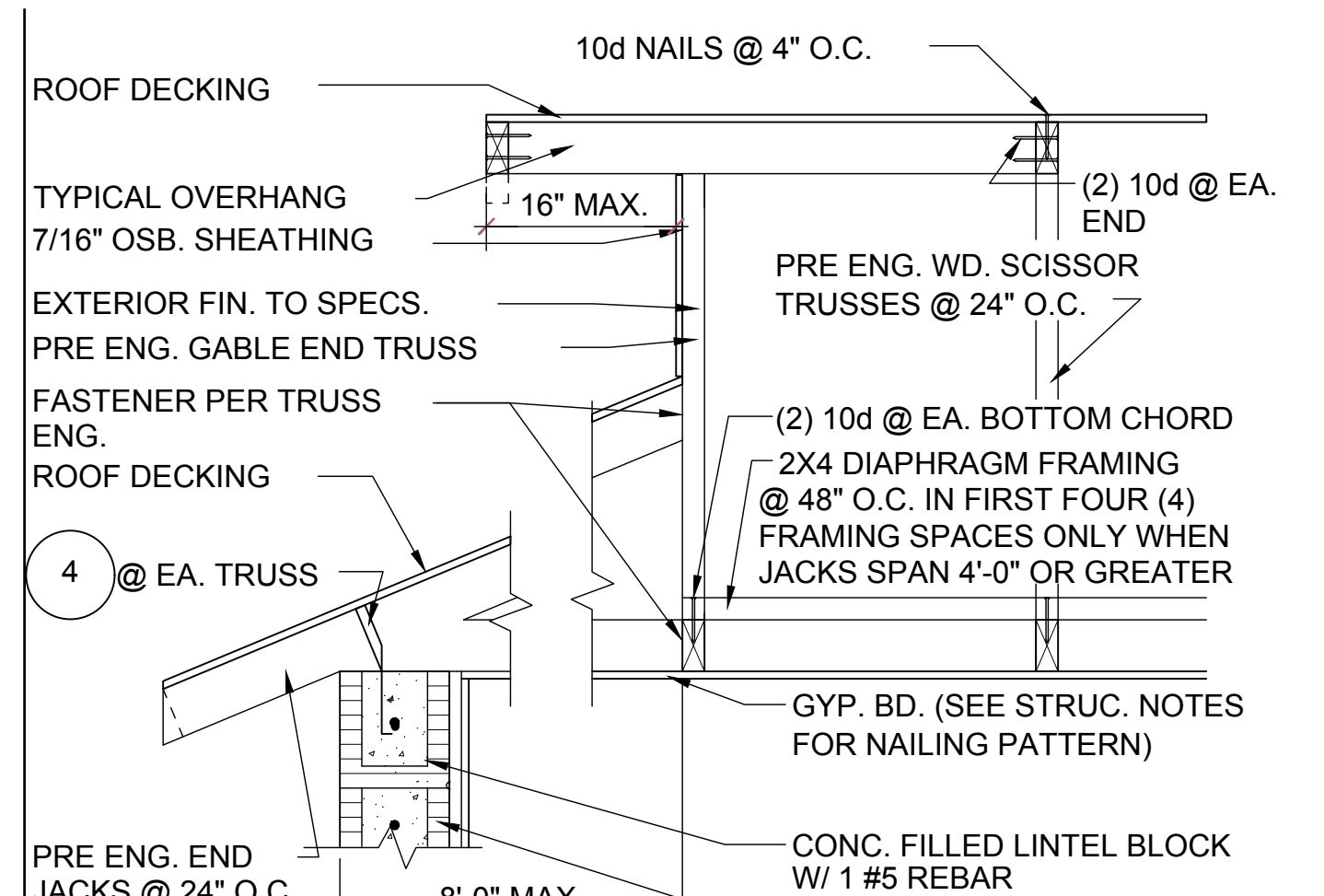
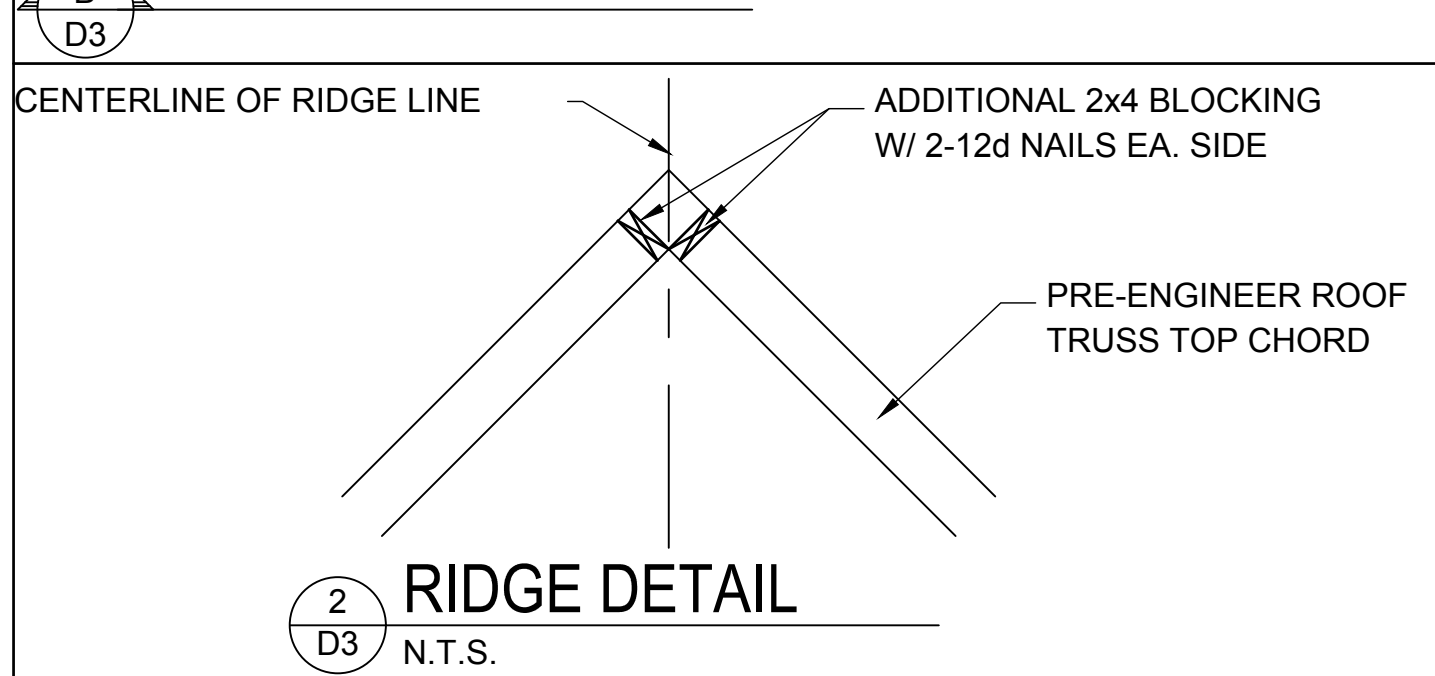
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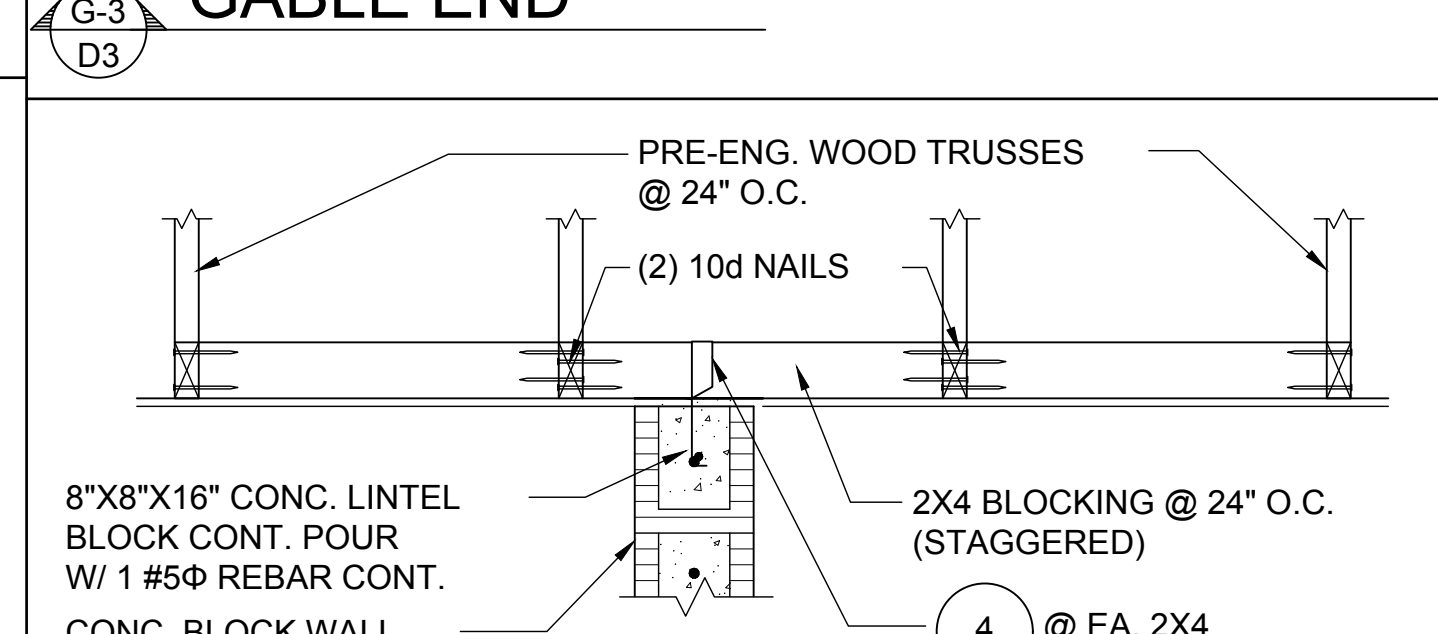
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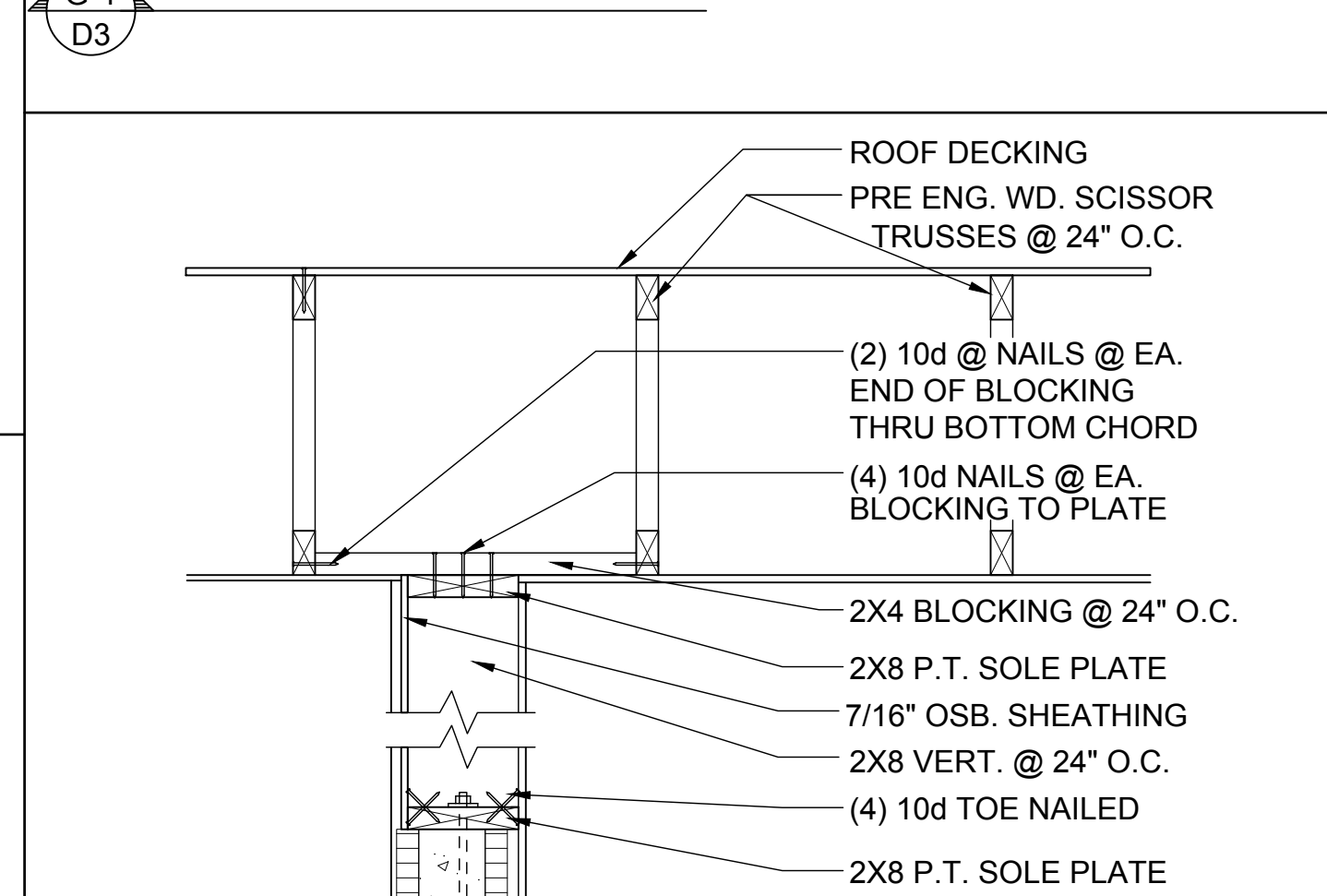
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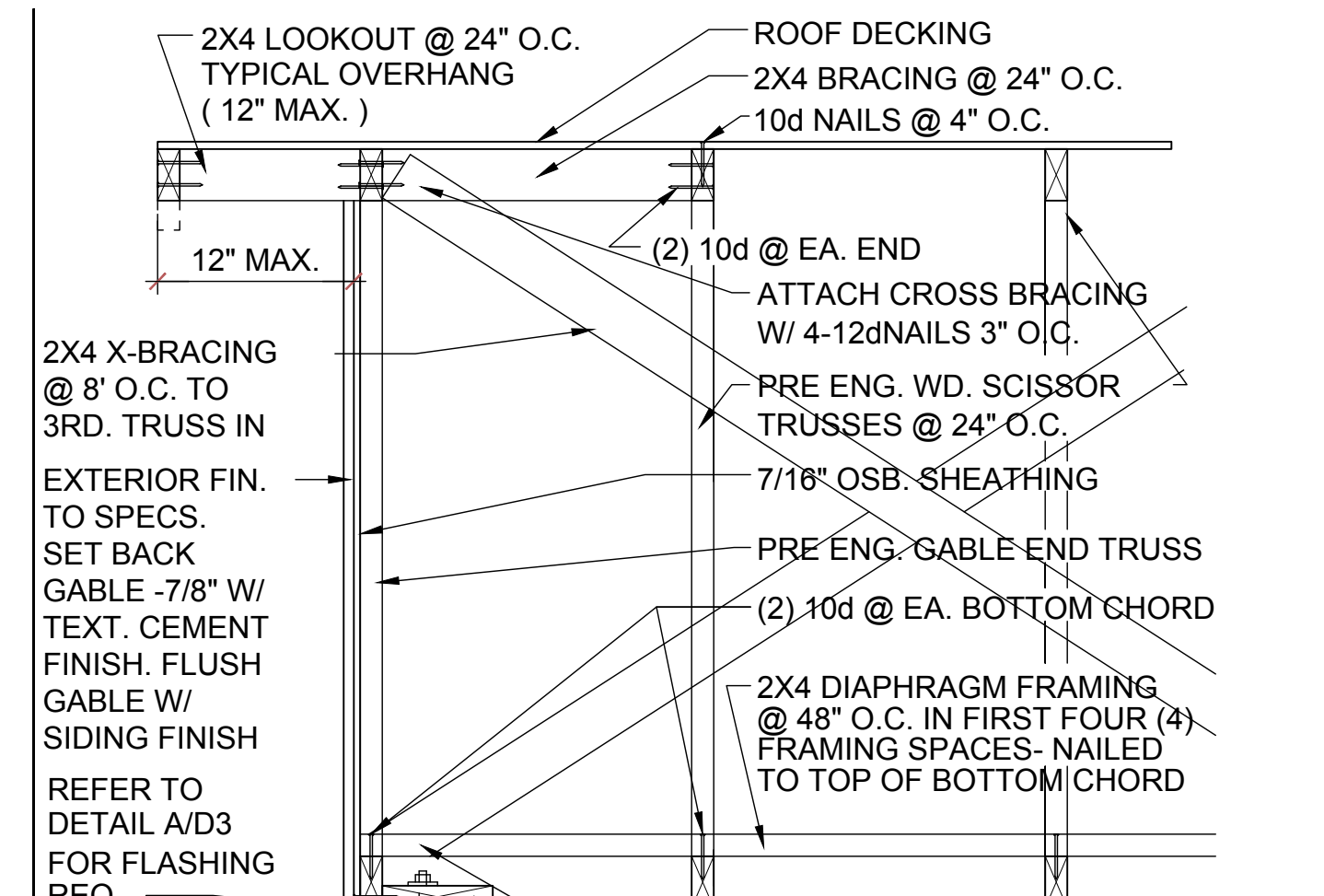
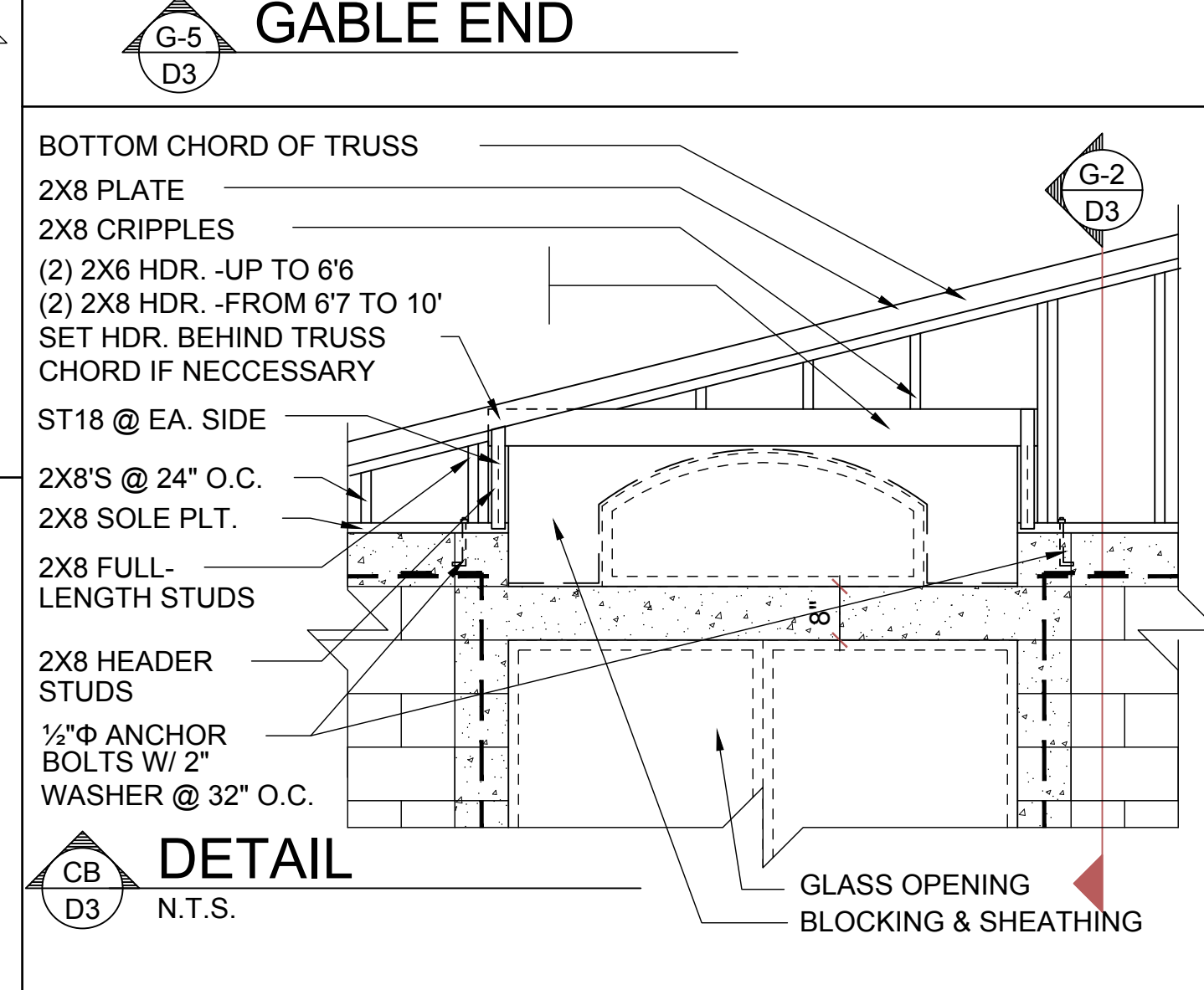
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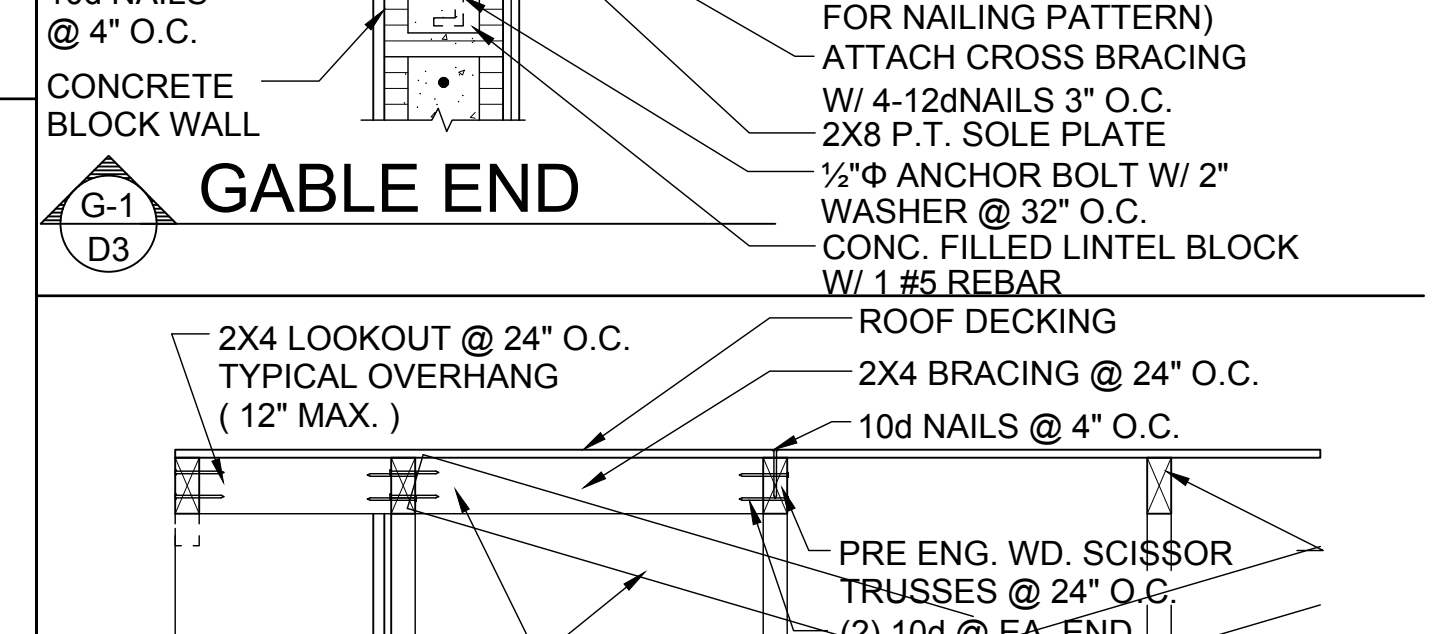
DETAIL



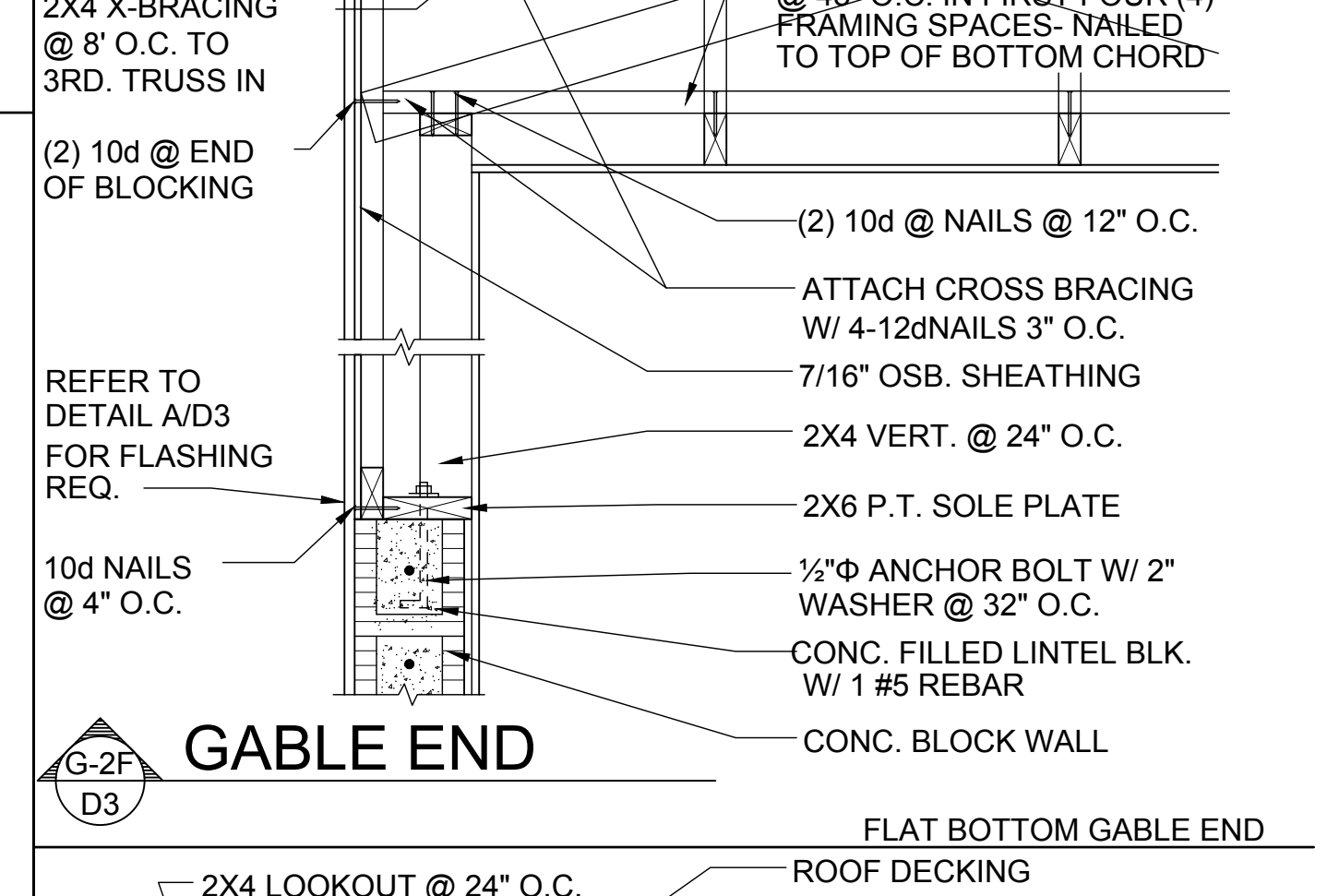
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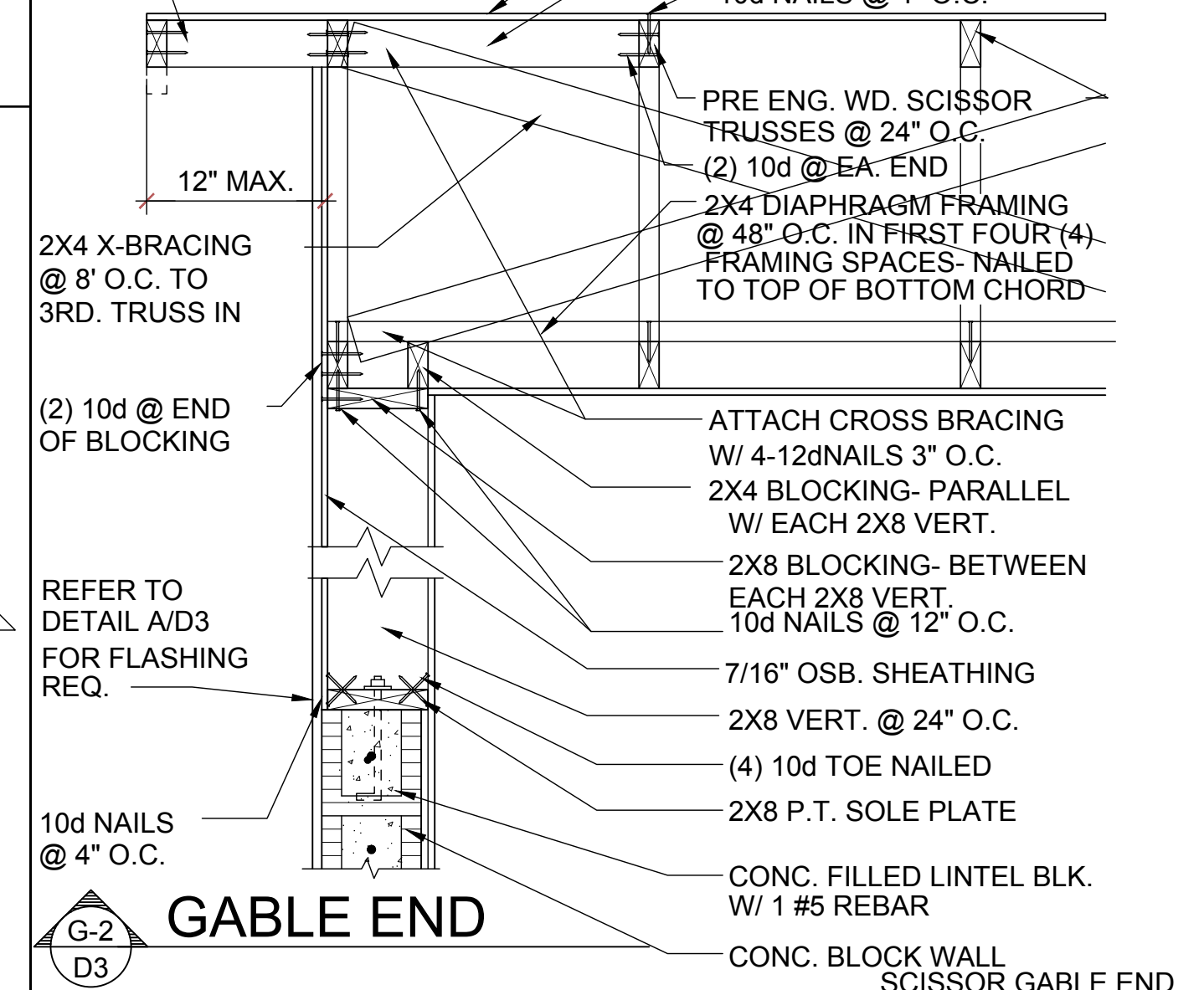
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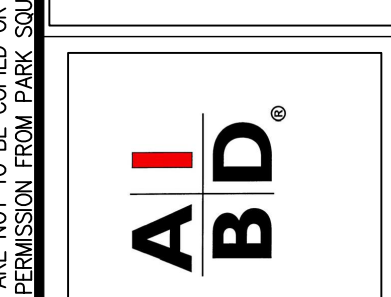
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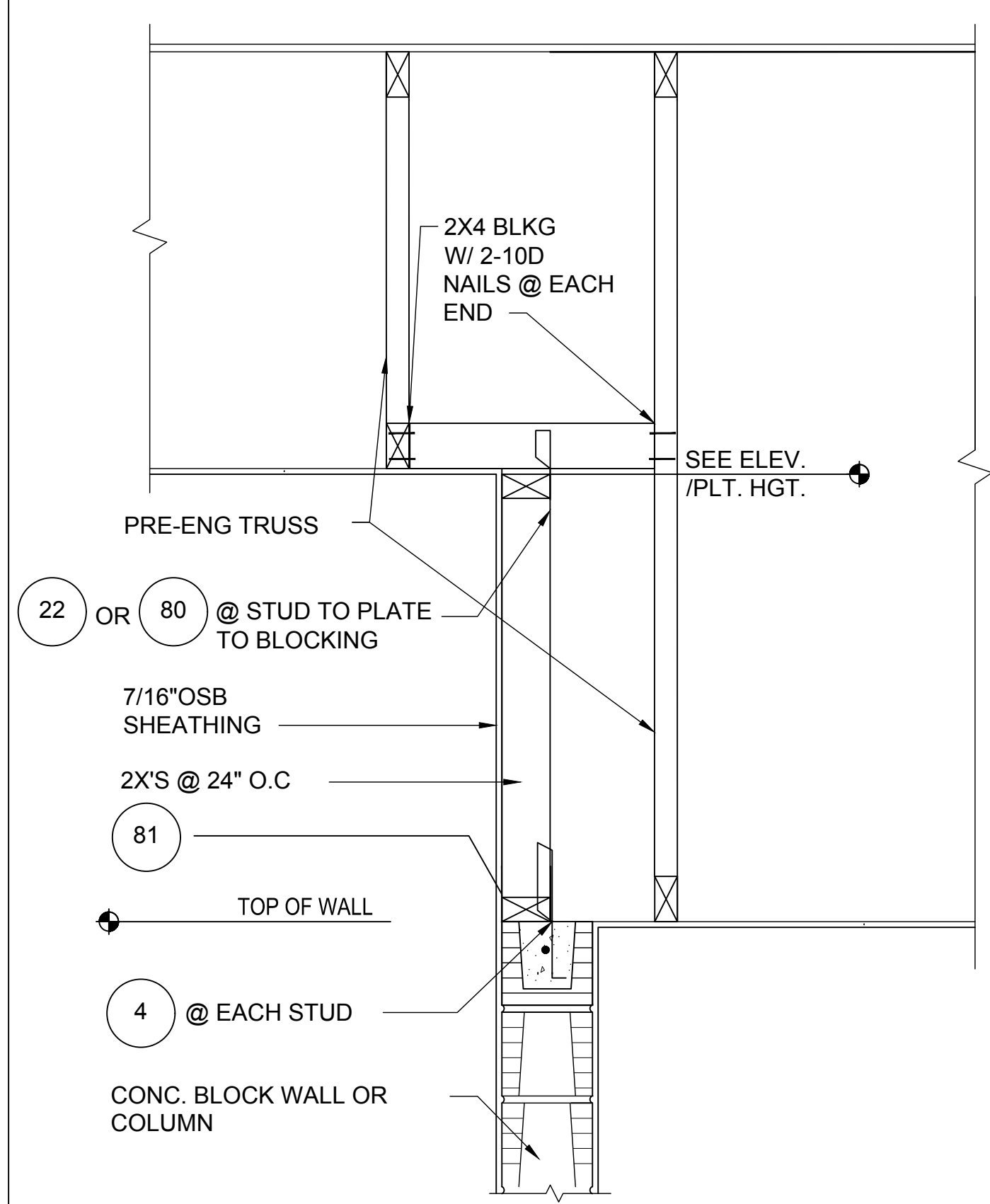
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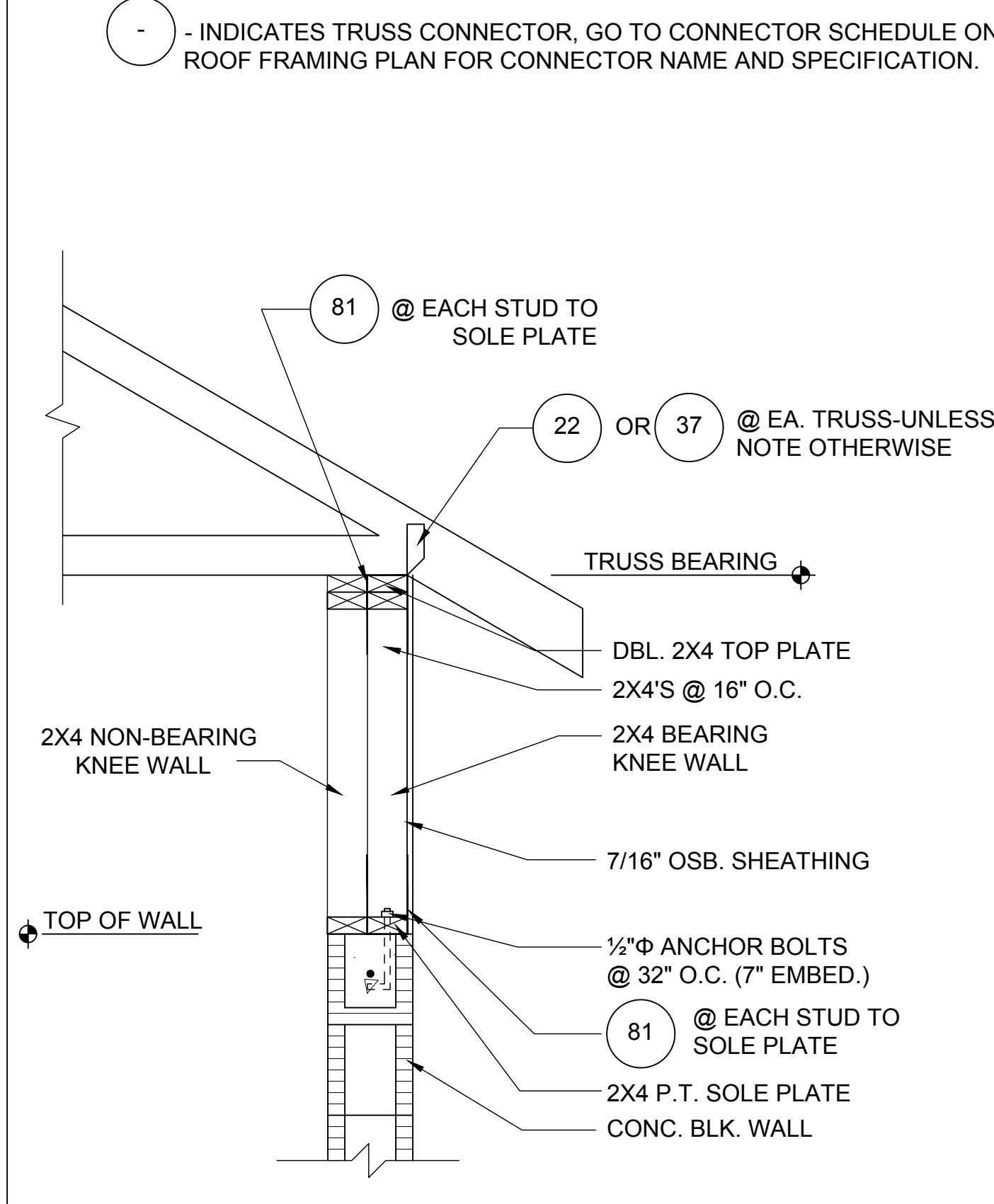


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DESIGNED BY:	MJS
STRUCTURAL DETAILS	
D3	

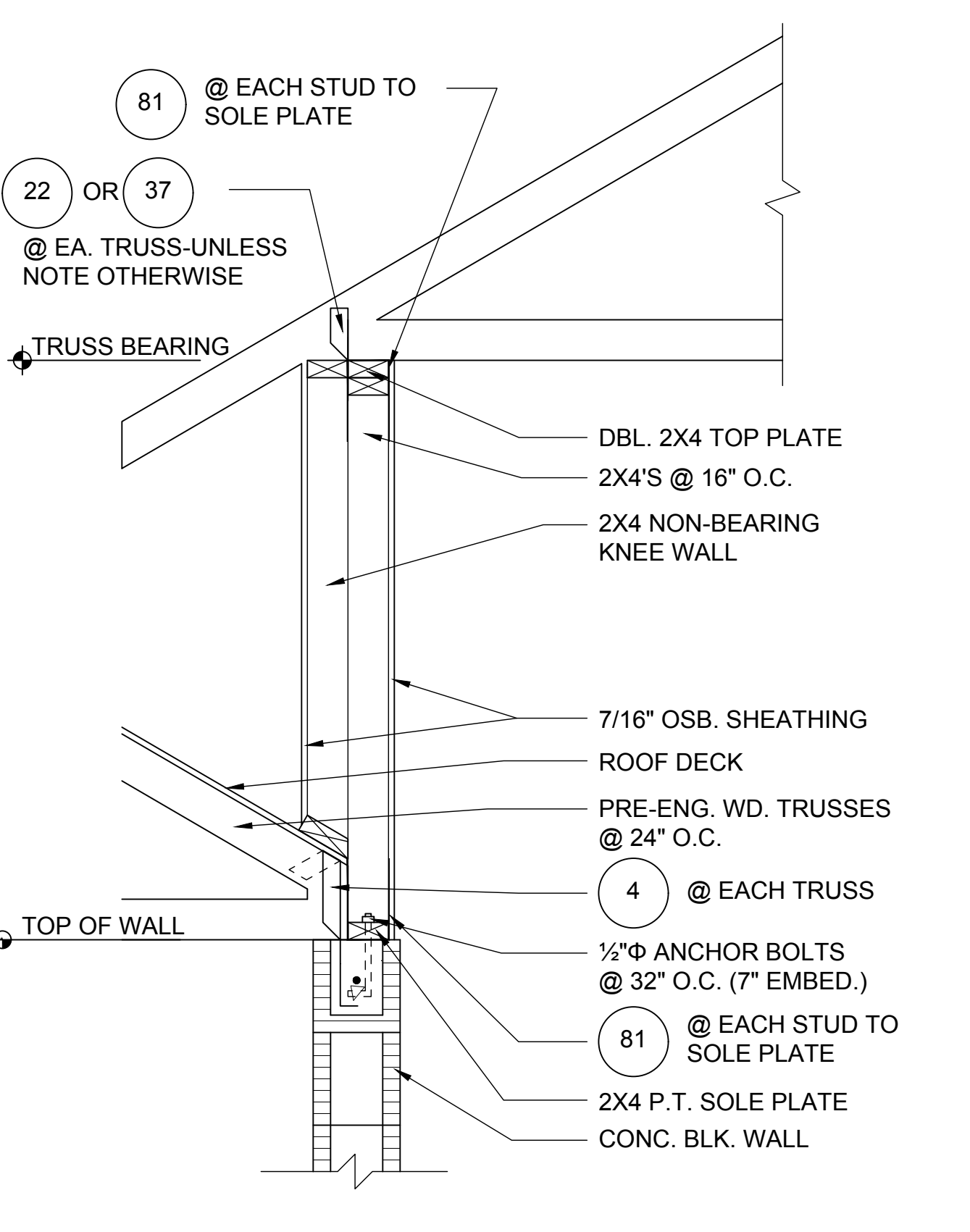
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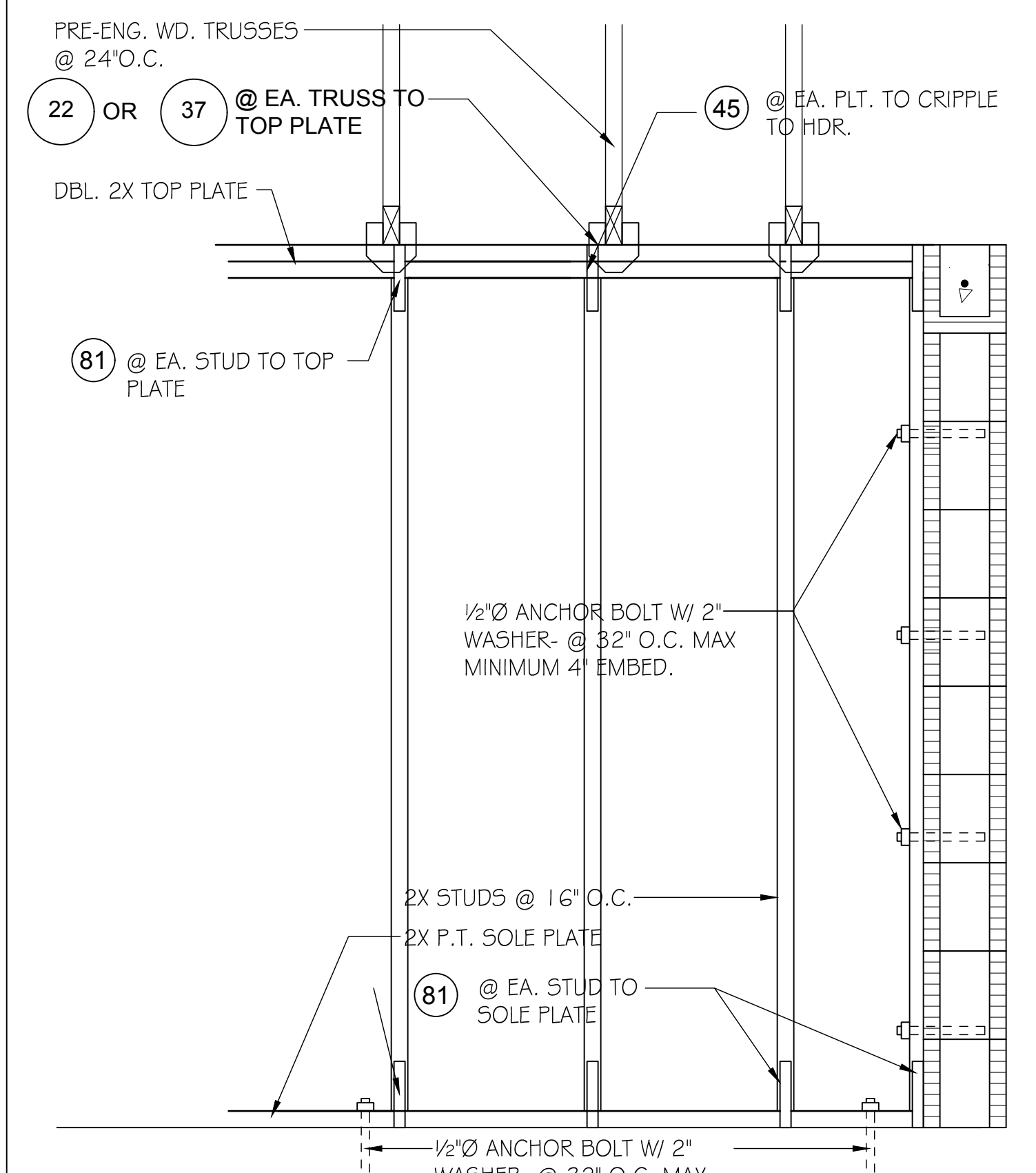
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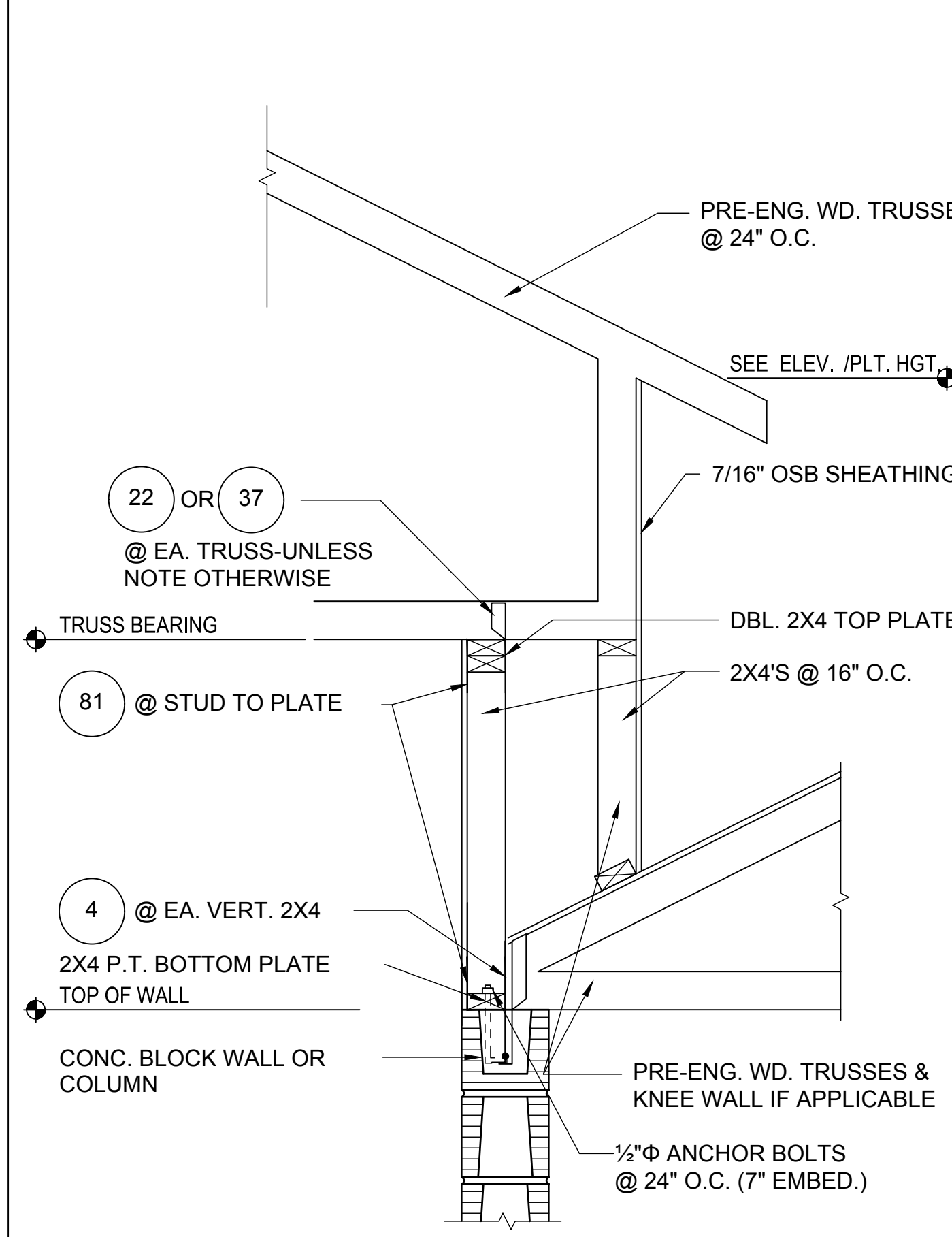
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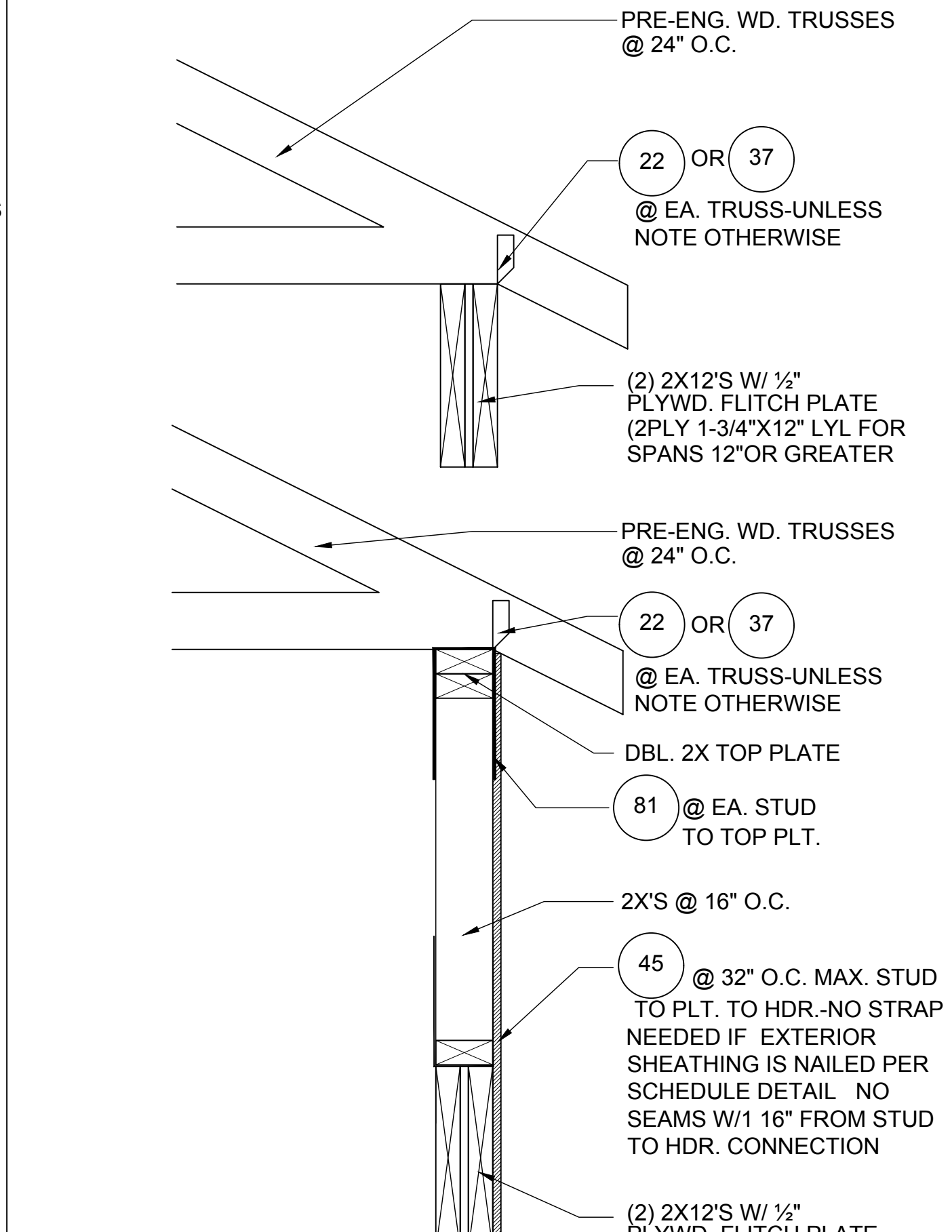
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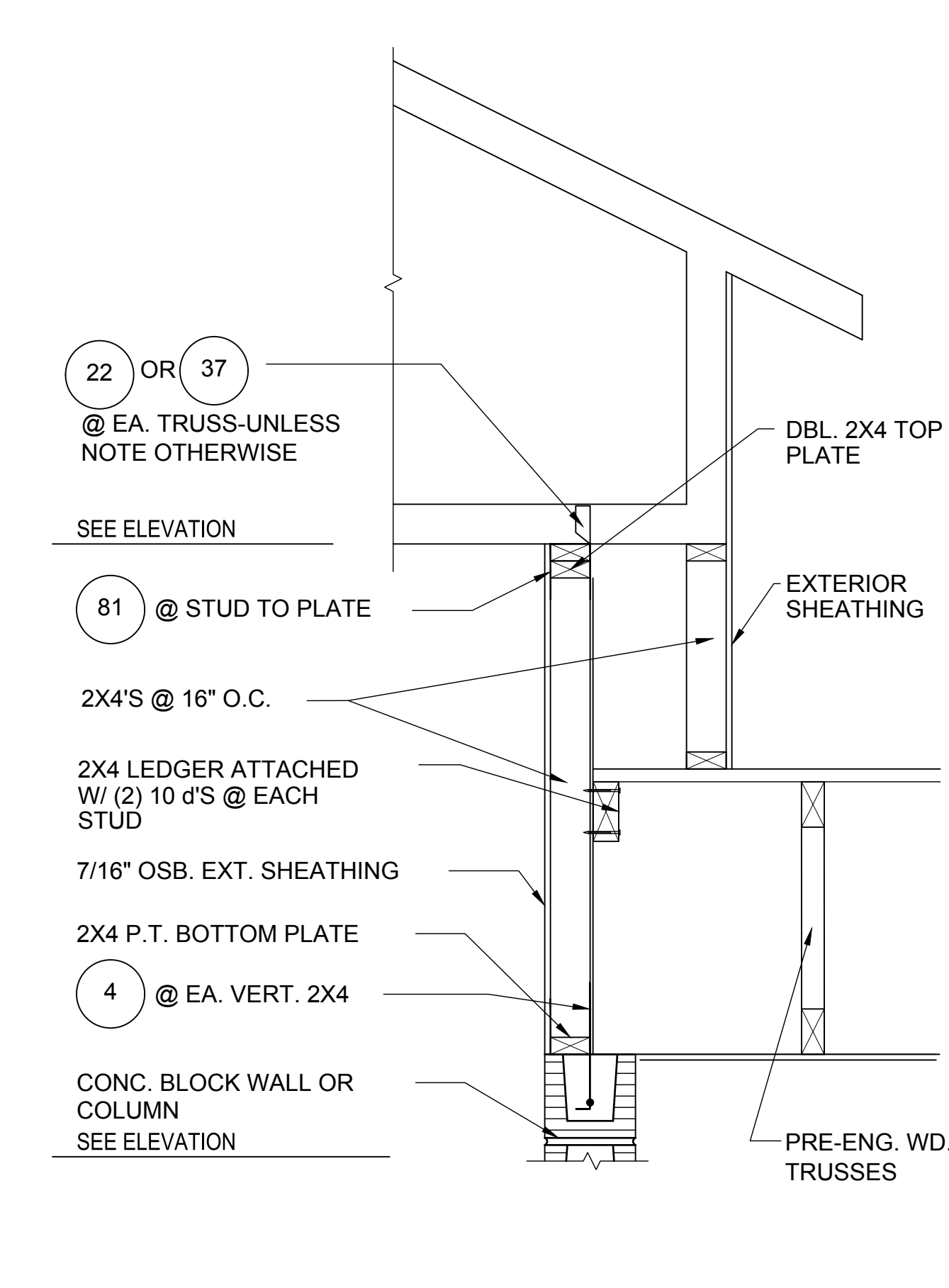
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(BEARING WALL W/ UPLIFT)



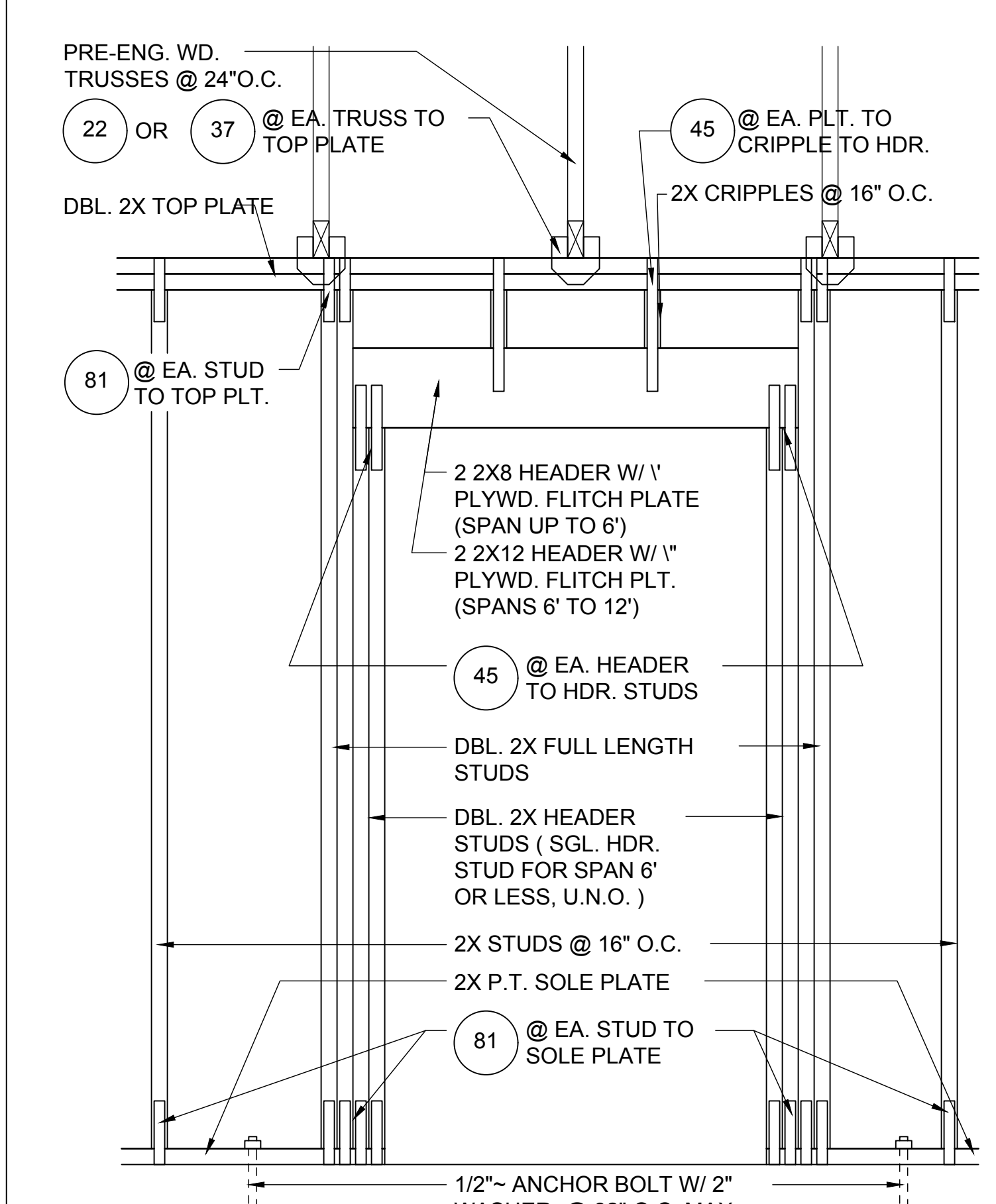
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D4
DETAIL
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5
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



6
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



8
D4
DETAIL
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)
(BEARING WALL W/ UPLIFT)

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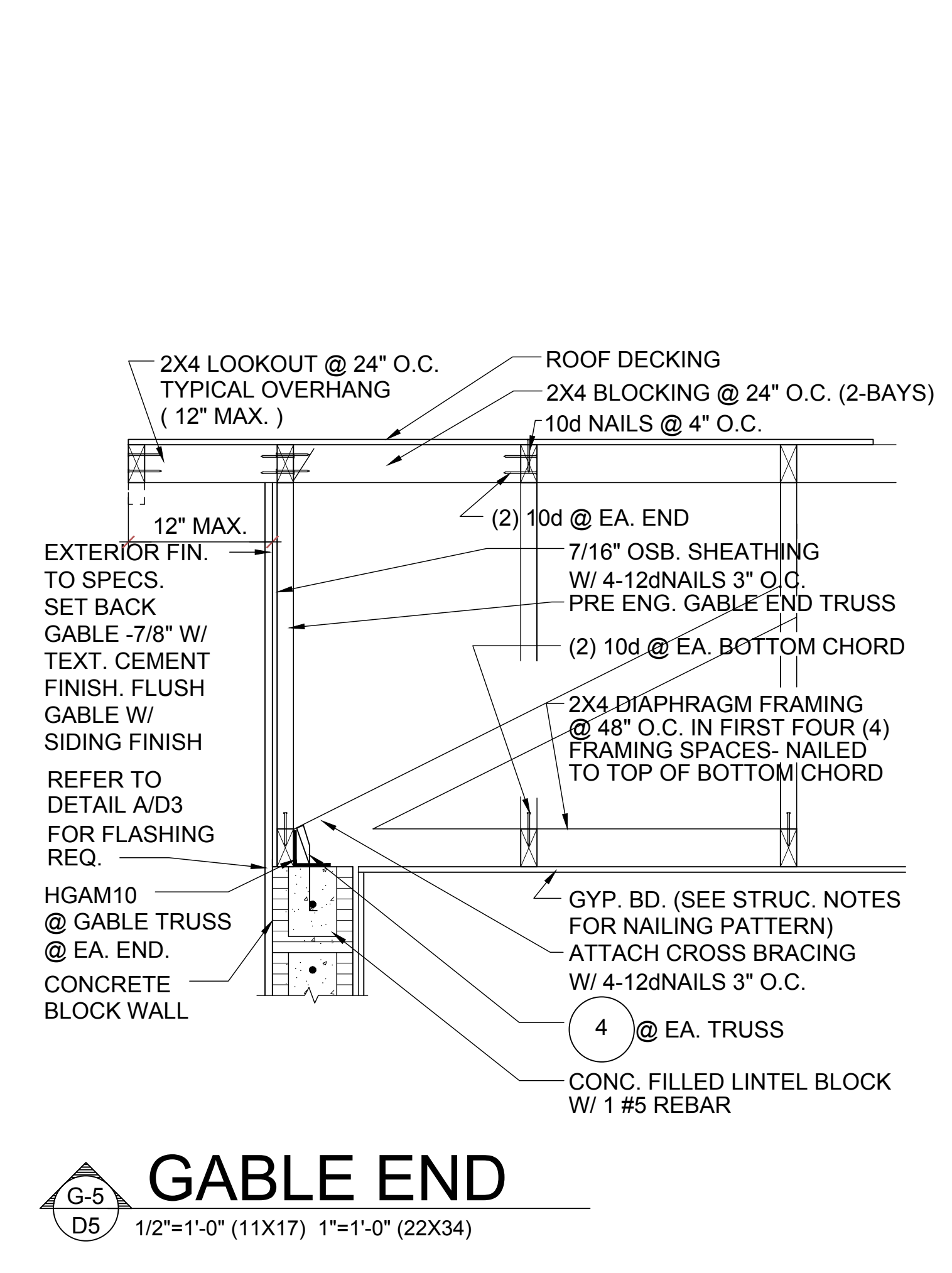
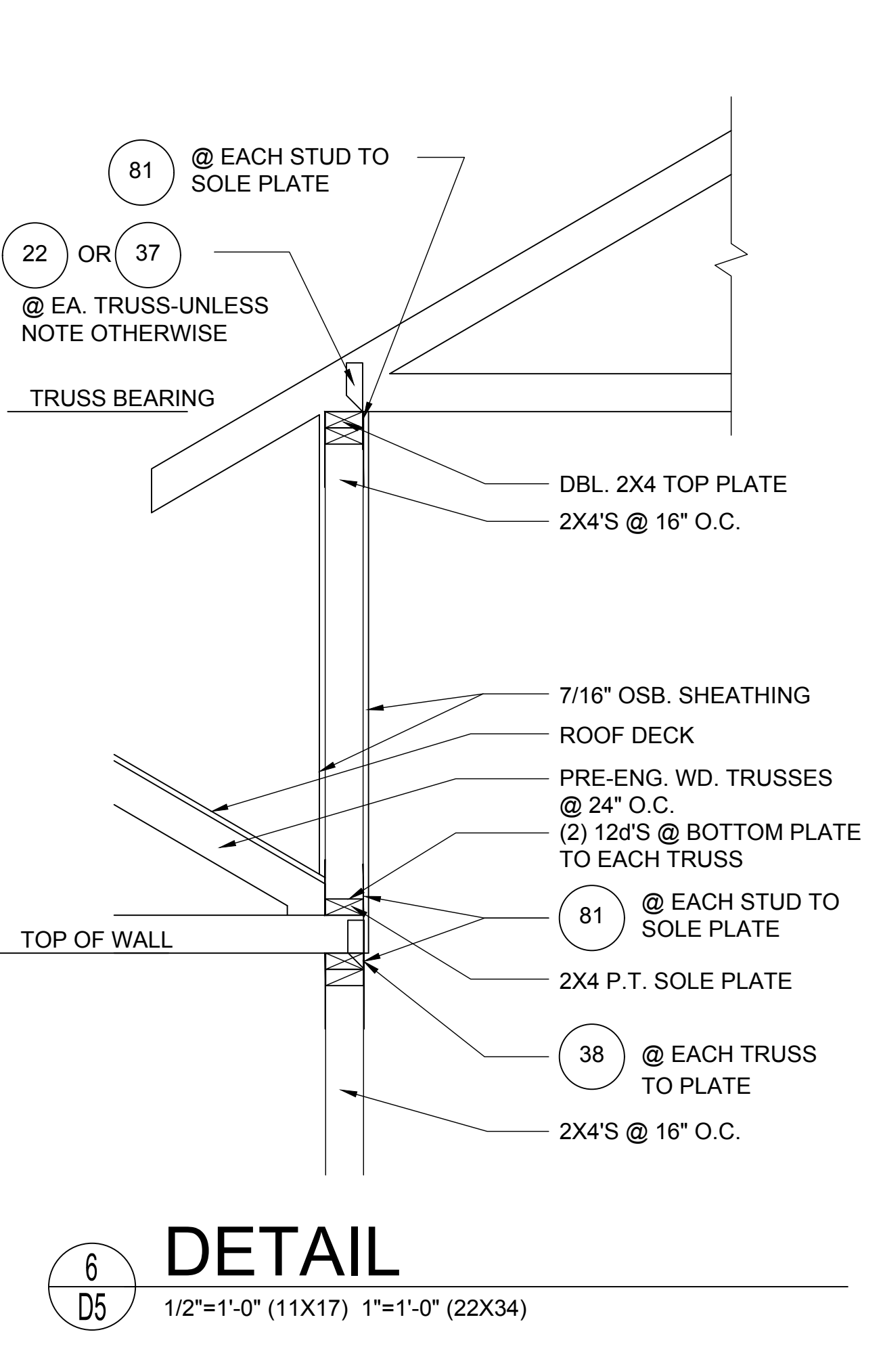
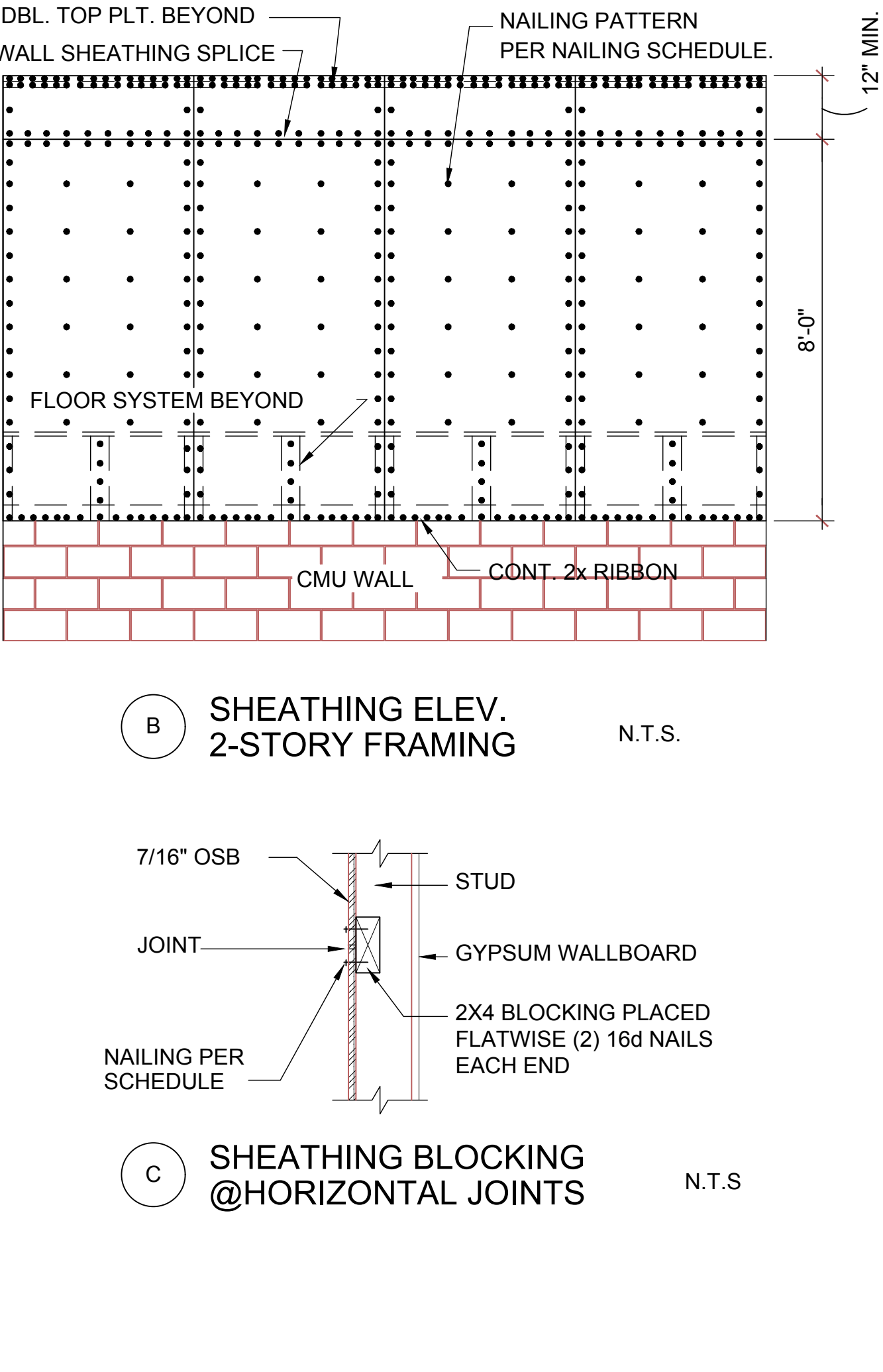
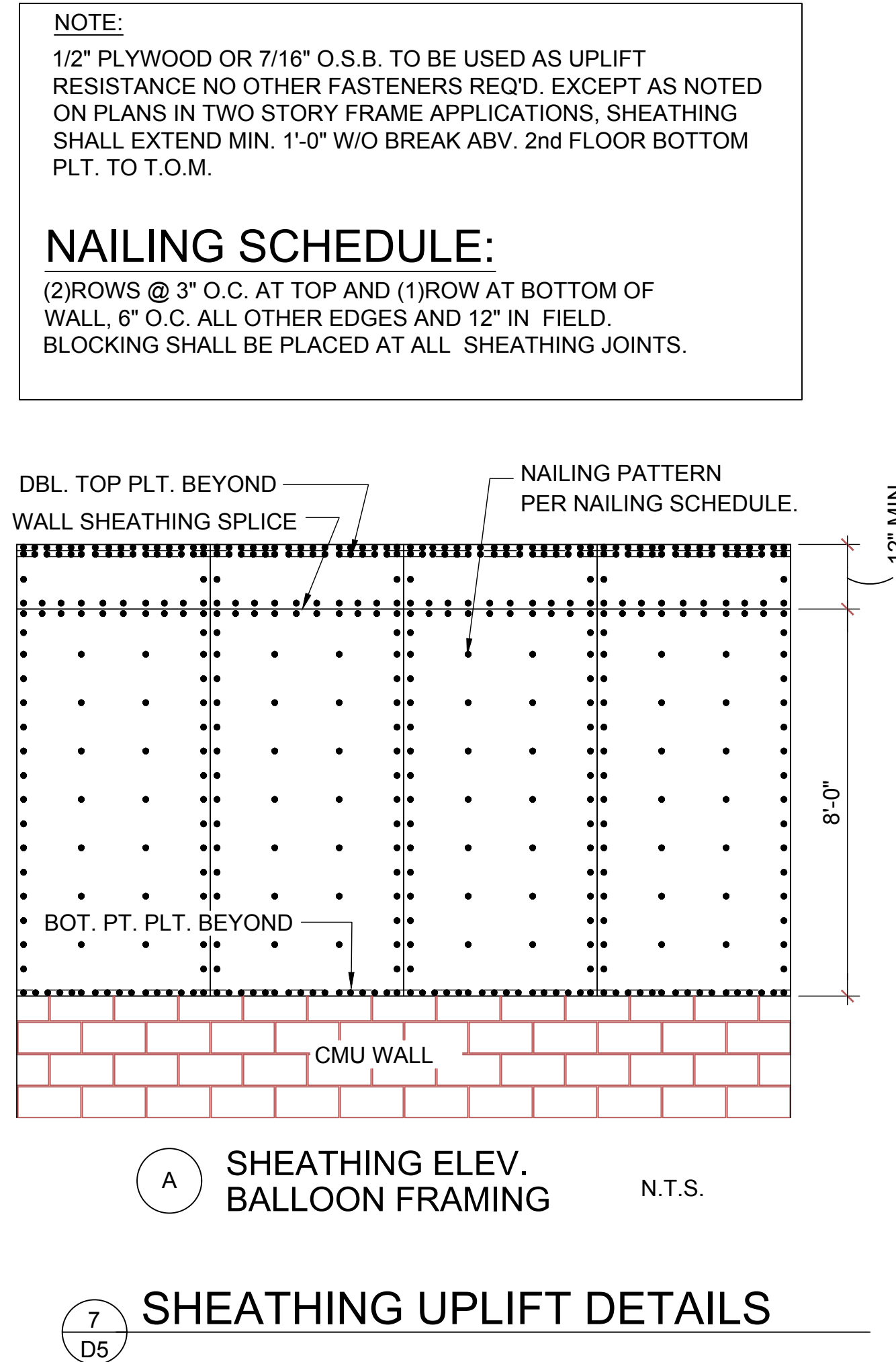
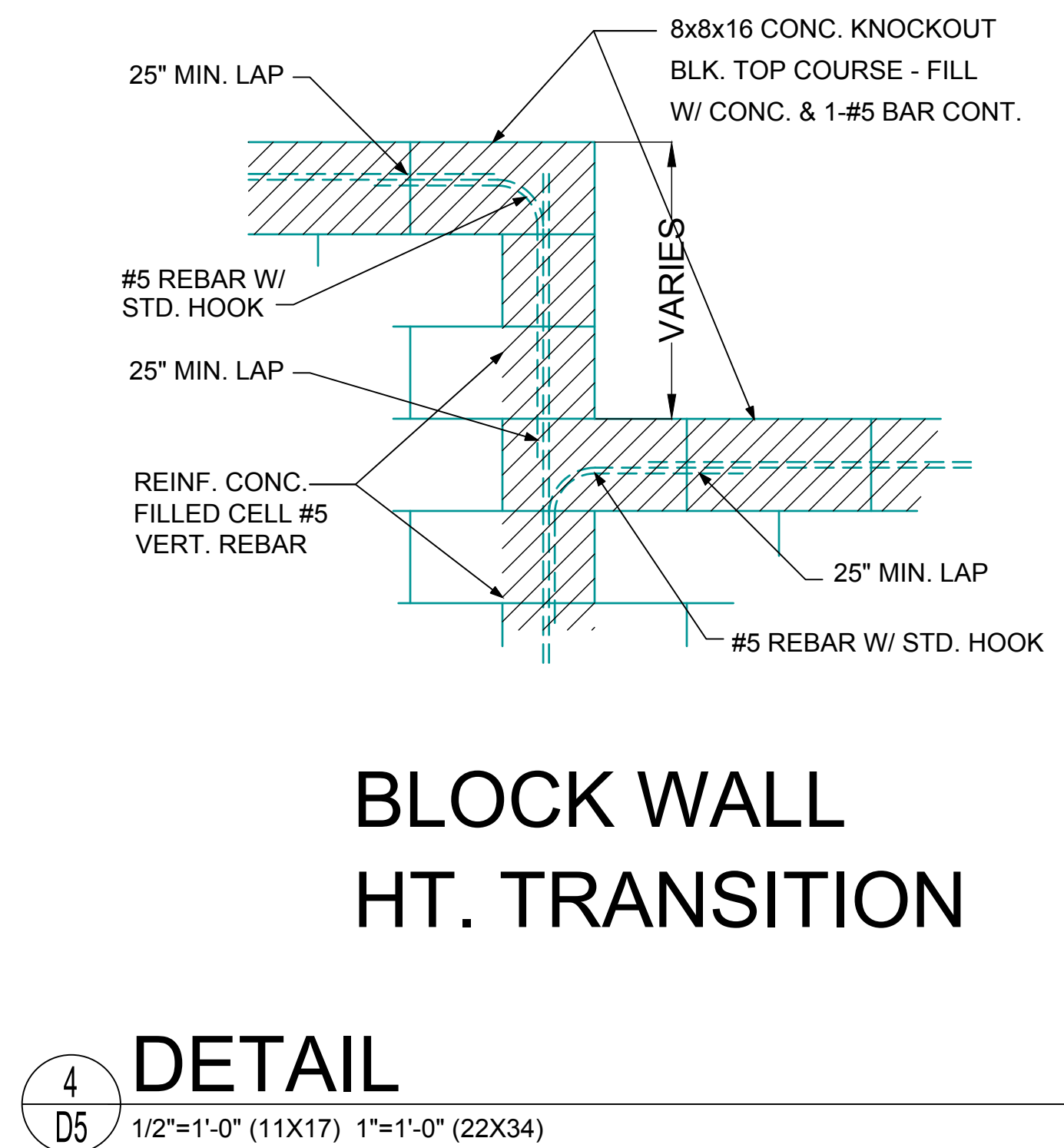
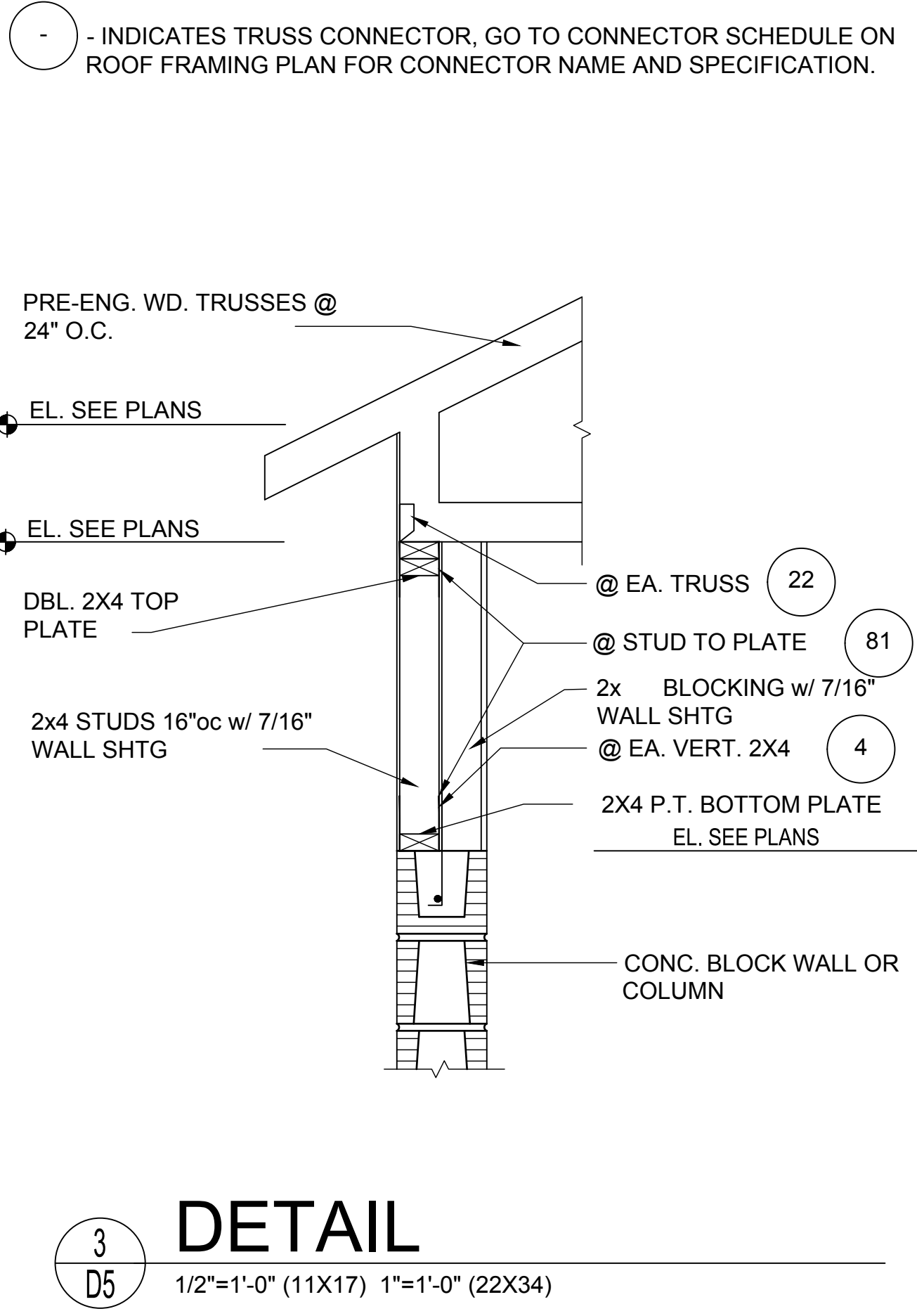
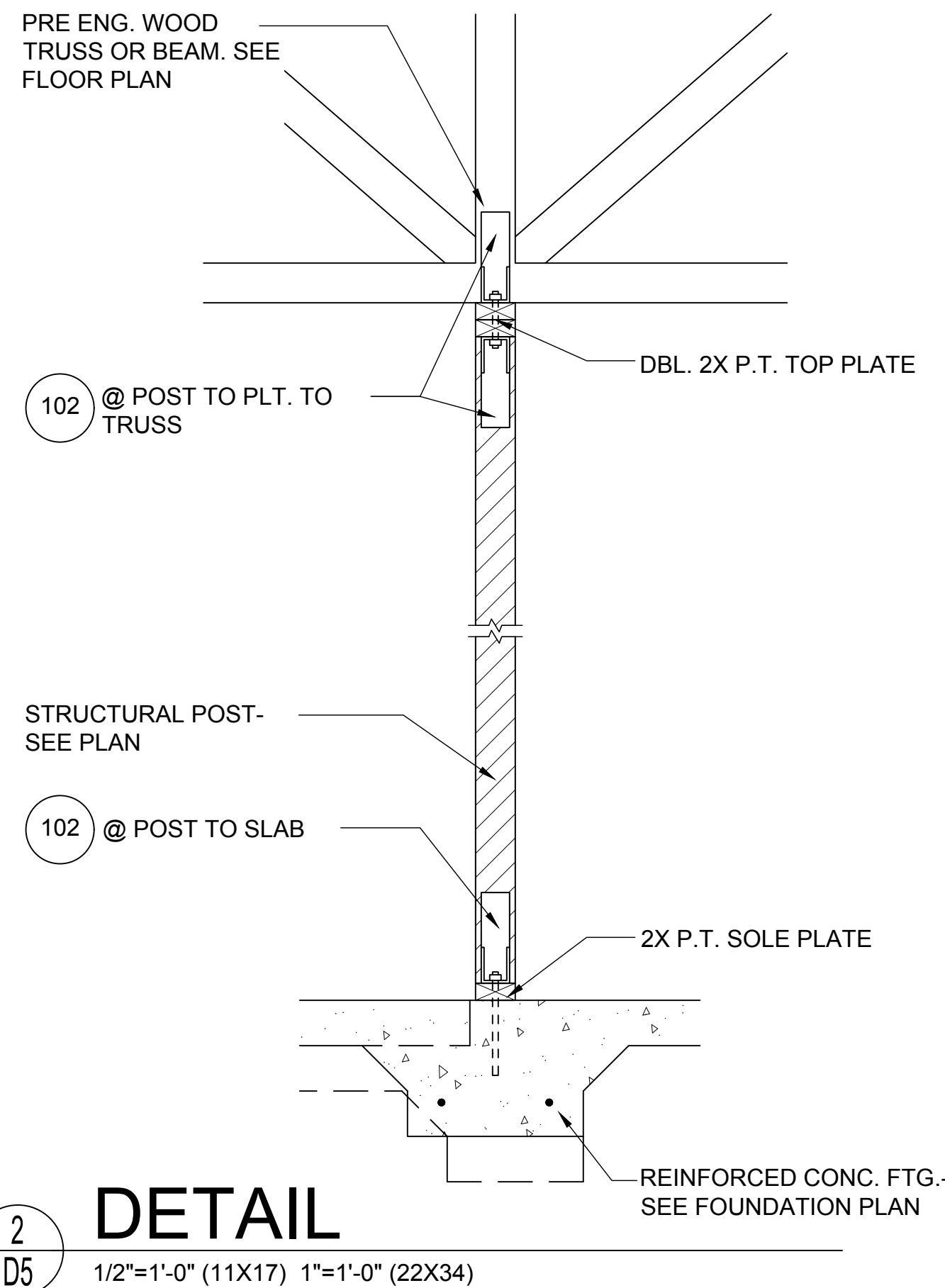
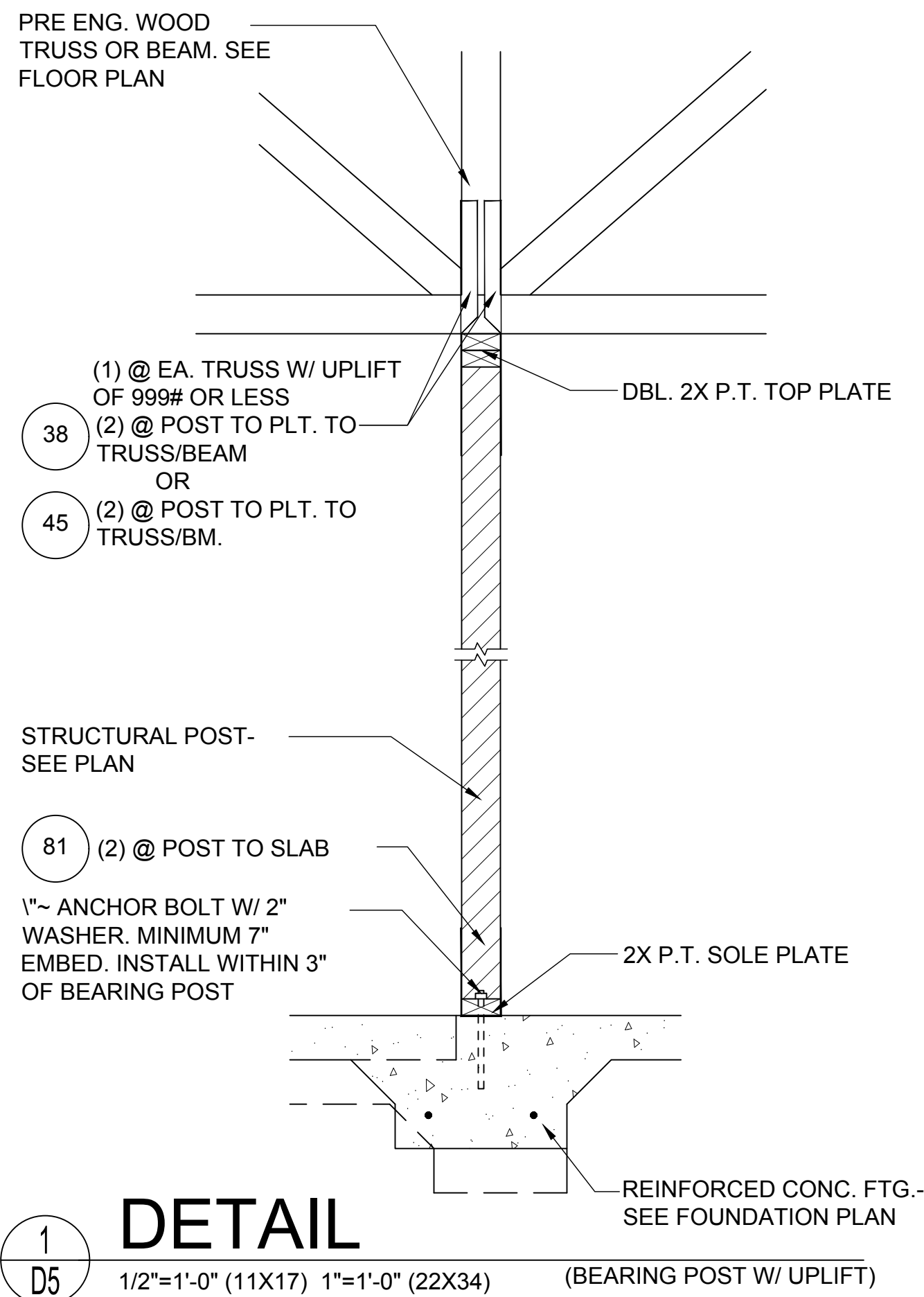
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