

# THRIVE SERIES "SPARK"

40-1301 MODEL

PAD SIZE 40'-0" x 43'-8"

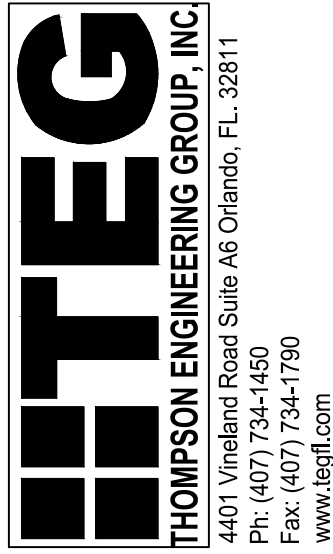


## REVISION SCHEDULE:

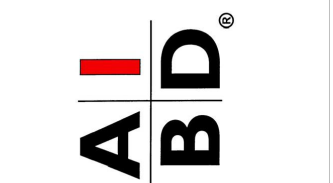
NO:	DATE:	DESCRIPTION:	BY:
1	08/06/20	REVISED MASTER SHOWER FROM BI-PASS TO SWING DOOR	C.C.
2	09/23/20	REVISED ELEC. RISER DIAGRAM PER REVISIONS FROM MONICA W.	C.C.
3	12/21/20	ADDED RIGHT HAND GARAGE SHEETS	S.B.
4	01/07/21	REVISED REAR PATIO TO 8'-0"X8'-0" ILO 8'-0"X3'-0"	S.B.
5	04/20/21	ADDED SECOND GFI TO GARAGE TO MEET CODE REQUIREMENTS	S.B.
6	04/28/21	UPDATED ELECTRICAL RISER DIAGRAM TO 200 AMP	S.B.
7	07/29/21	ADDED OPTIONAL LANAI TO PLANS	S.B.
8	08/11/21	UPDATED TRUSS PLANS	S.B.
9	12/09/21	MOVED KITCHEN ISLAND 6" FURTHER FROM FRIDGE, WIDENED KITCHEN PANTRY 6"	M.C.
10	12/09/21	MOVED MASTER BATHROOM LIGHT SWITCHES TO WALL NEAR VANITY AND LAV.	M.C.

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D4	STRUCTURAL DETAILS
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"SPARK"  
40-1301  
Lot # - Subdivision  
Street Address  
City, State, Zip

A division of Park Square  
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5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE 09/12/2017

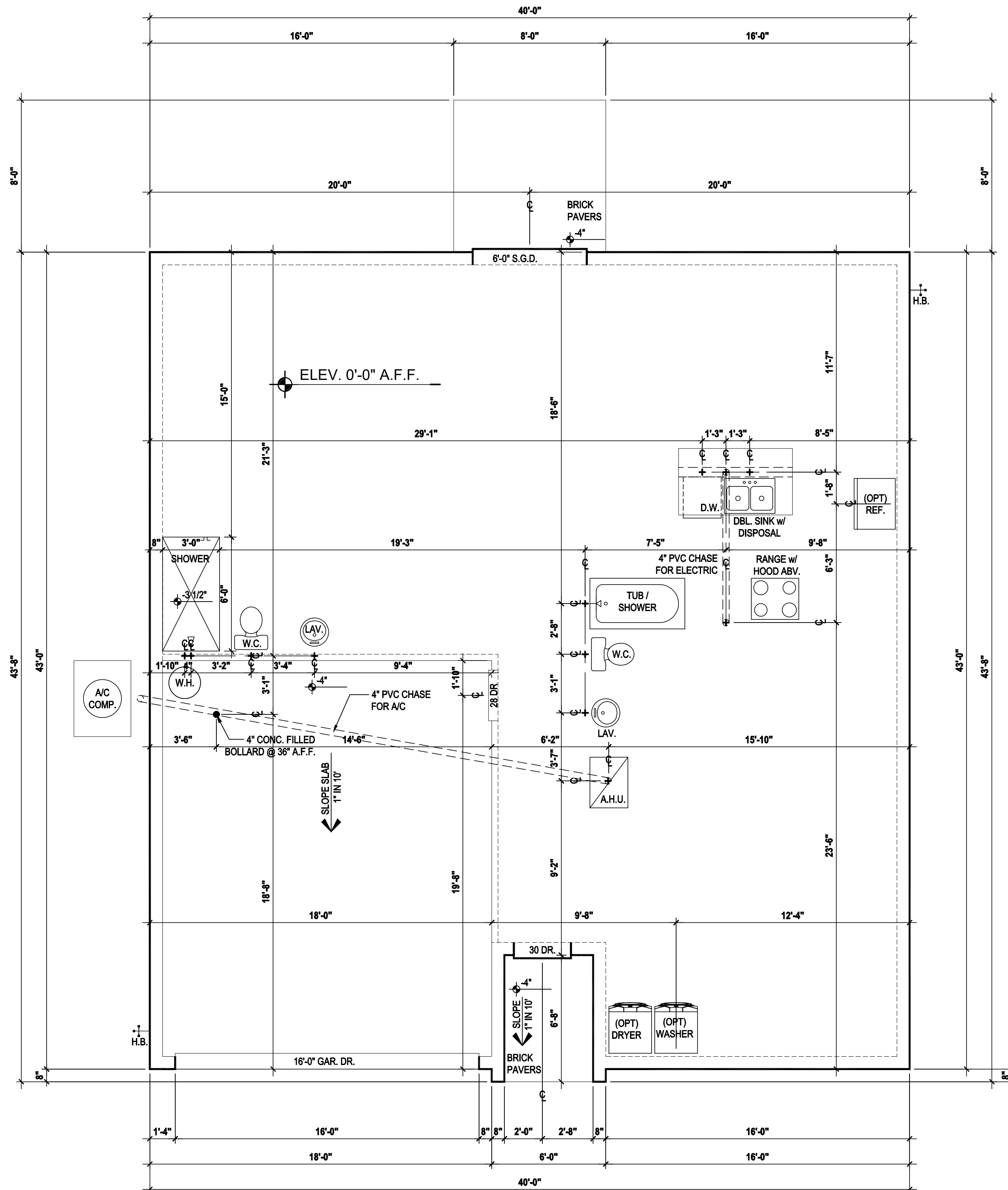
REVISIONS

PROJECT: 17-0102  
SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS

COVER PAGE

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Slab Plan "A,B,C"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

**GENERAL NOTES KEY:**

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

**DOOR NOTE KEY:**

DOOR SIZE CALLOUT:  
 20 = 2'-0"    40 B.F. = 4'-0" BIFOLD  
 24 = 2'-4"    50 B.F. = 5'-0" BIFOLD  
 26 = 2'-6"    60 B.F. = 6'-0" BIFOLD  
 28 = 2'-8"    30 = 3'-0"  
 \* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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 designers group  
 residential-commercial-architecture

**AIB**  
**GOBA**  
 GREATER ORLANDO BUILDERS ASSOCIATION

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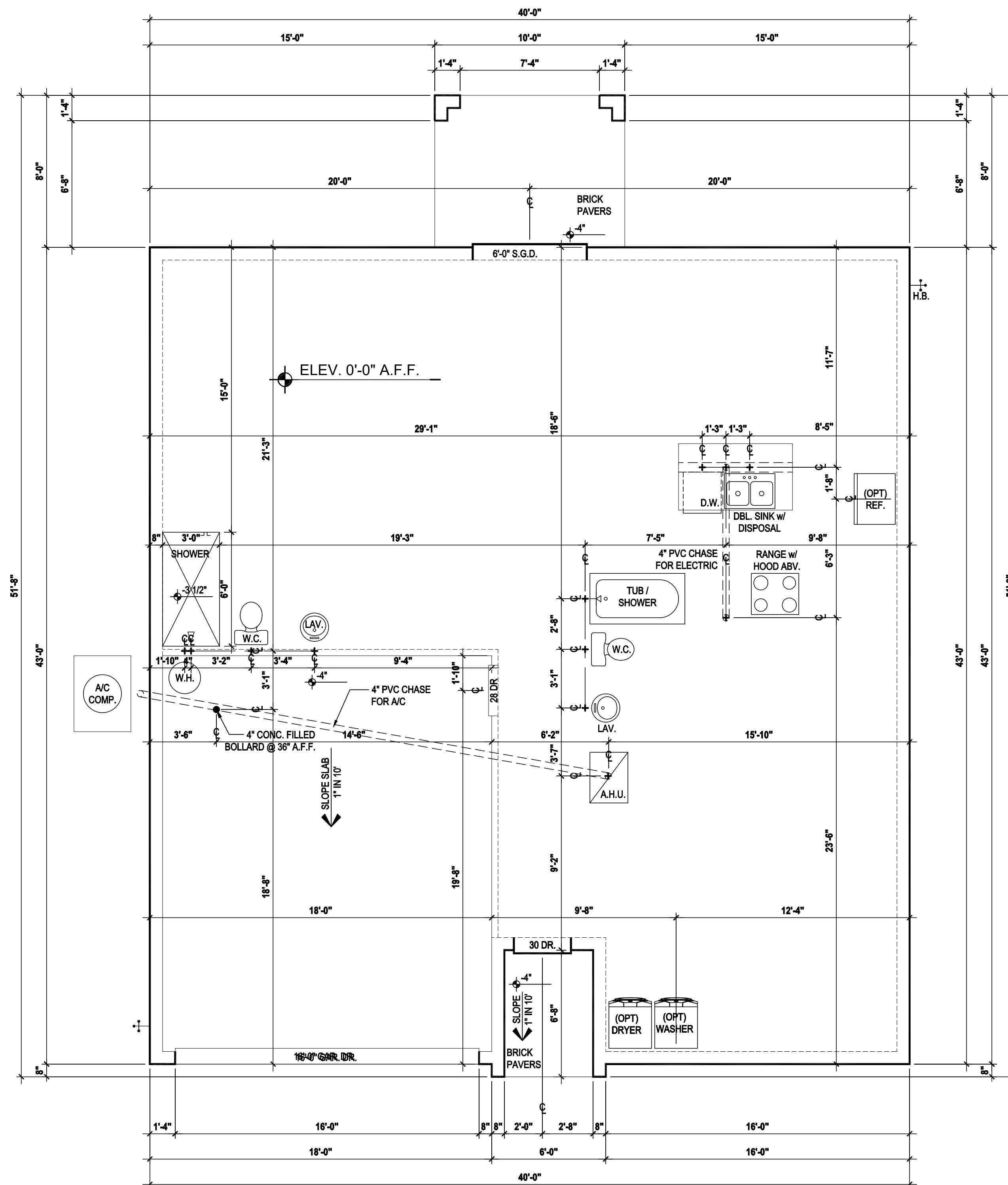
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ISSUE DATE	09/12/2017
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SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

FOUNDATION PLAN  
**A1**

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# Slab Plan "A,B,C"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

## GENERAL NOTES KEY:

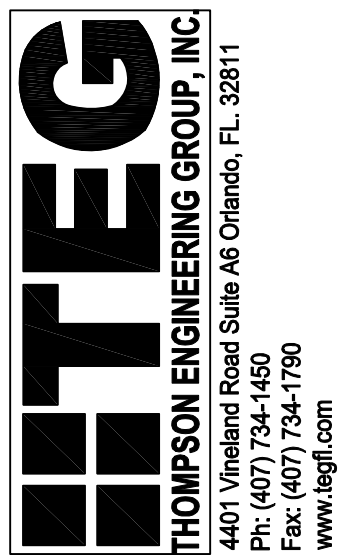
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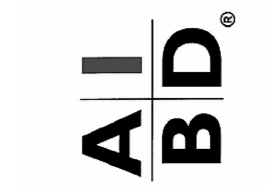
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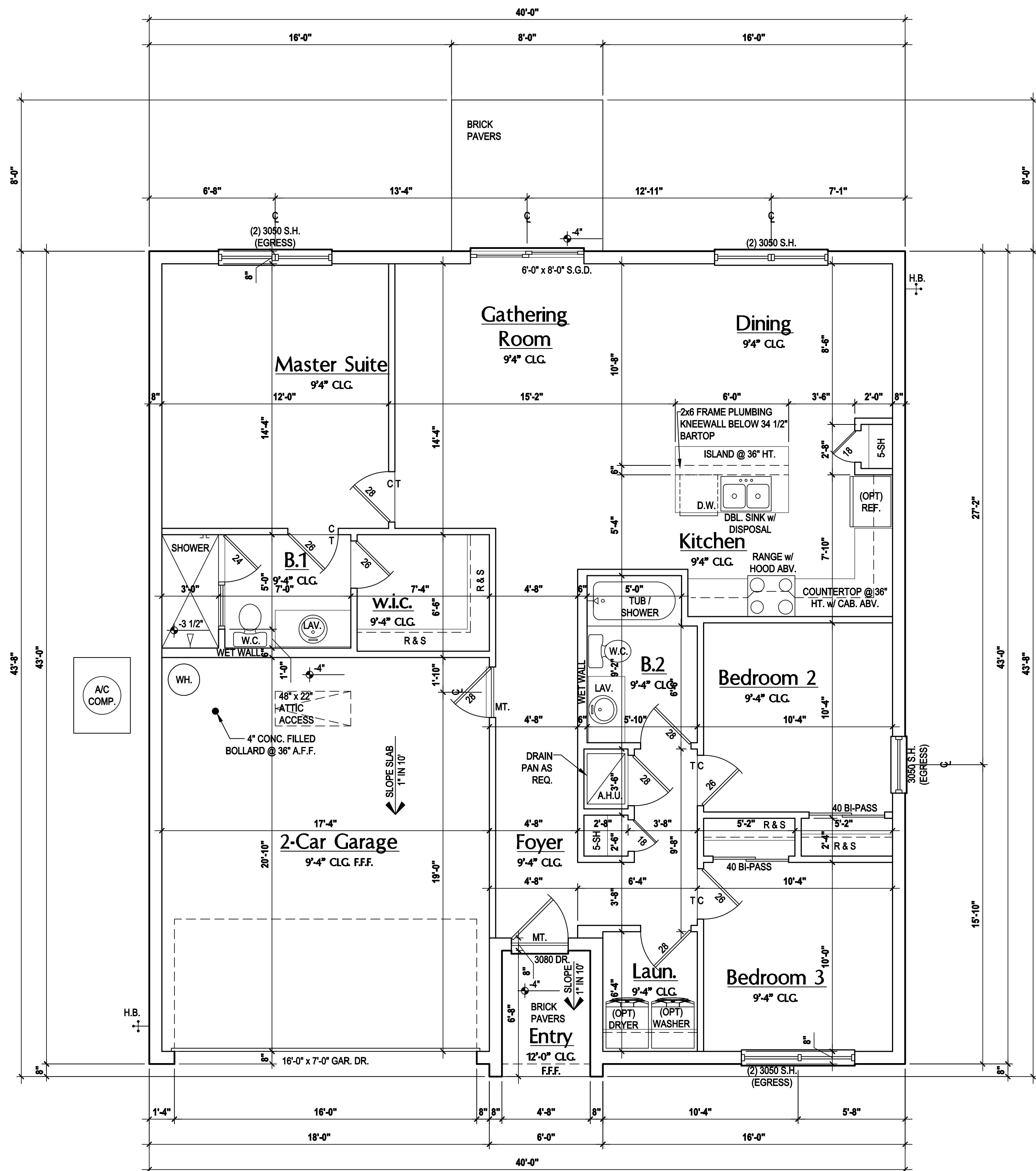
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FOUNDATION PLAN

A1.1

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**Floor Plan "A,B,C"**  
(Standard)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

**GENERAL NOTES KEY:**

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)

- ABBREVIATIONS:**
- 2 - # OF DOORS.
  - 2 - # OF WINDOWS.
  - MT - METAL THRESHOLD
  - FR - FRENCH DOORS
  - SL - SIDE LIGHT
  - FG - FIXED GLASS
  - TR - TRANSOM
  - GB - GLASS BLOCK
  - PKT - ROCKET DOOR
  - OBS - OBSCURED GLASS
  - TEMP - TEMPERED GLASS
  - SH - SINGLE HUNG
  - DH - DOUBLE HUNG
  - HR - HORIZONTAL ROLLER
  - BP - BYPASS
  - BF - BIFOLD
  - TYP. - TYPICAL

**NOTE:**  
SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

**FLOOR PLAN NOTES KEY:**

- NOTES:**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
  5. PROVIDE RECESS H2C WATER w/ DRAIN @ WASHER SPACE.
  6. VENT DRYER THRU EXTERIOR WALL U.N.O.
  7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
  9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.N.O.
  13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.N.O.
  14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.  
\* ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
  15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
  16. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED w/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
  17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
  18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  19. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  20. 1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND SIDES
  21. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
  22. ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT
  23. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
  24. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURERS SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
  25. SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT MJS & E.O.R. STRONGLY RECOMMENDS A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 96% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

**DOOR NOTE KEY:**

- DOOR SIZE CALLOUT:**
- |            |                         |
|------------|-------------------------|
| 20 = 2'-0" | 40 B.F. = 4'-0" BI-FOLD |
| 24 = 2'-4" | 50 B.F. = 5'-0" BI-FOLD |
| 26 = 2'-6" | 60 B.F. = 6'-0" BI-FOLD |
| 28 = 2'-8" |                         |
| 30 = 3'-0" |                         |

**WINDOW NOTE KEY:**

- WINDOW SIZE CALLOUT:**
- |                      |
|----------------------|
| 2040 = 2'-0" x 4'-0" |
| 2050 = 2'-0" x 5'-0" |
| 2060 = 2'-0" x 6'-0" |
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

**Area Tabulations**

Living:	
1st floor:	1,301 sf
<b>Total Living:</b>	<b>1,301 sf</b>
entry:	32 sf
garage:	391 sf
<b>Total Area:</b>	<b>1,724 sf</b>
patio slab:	64 sf

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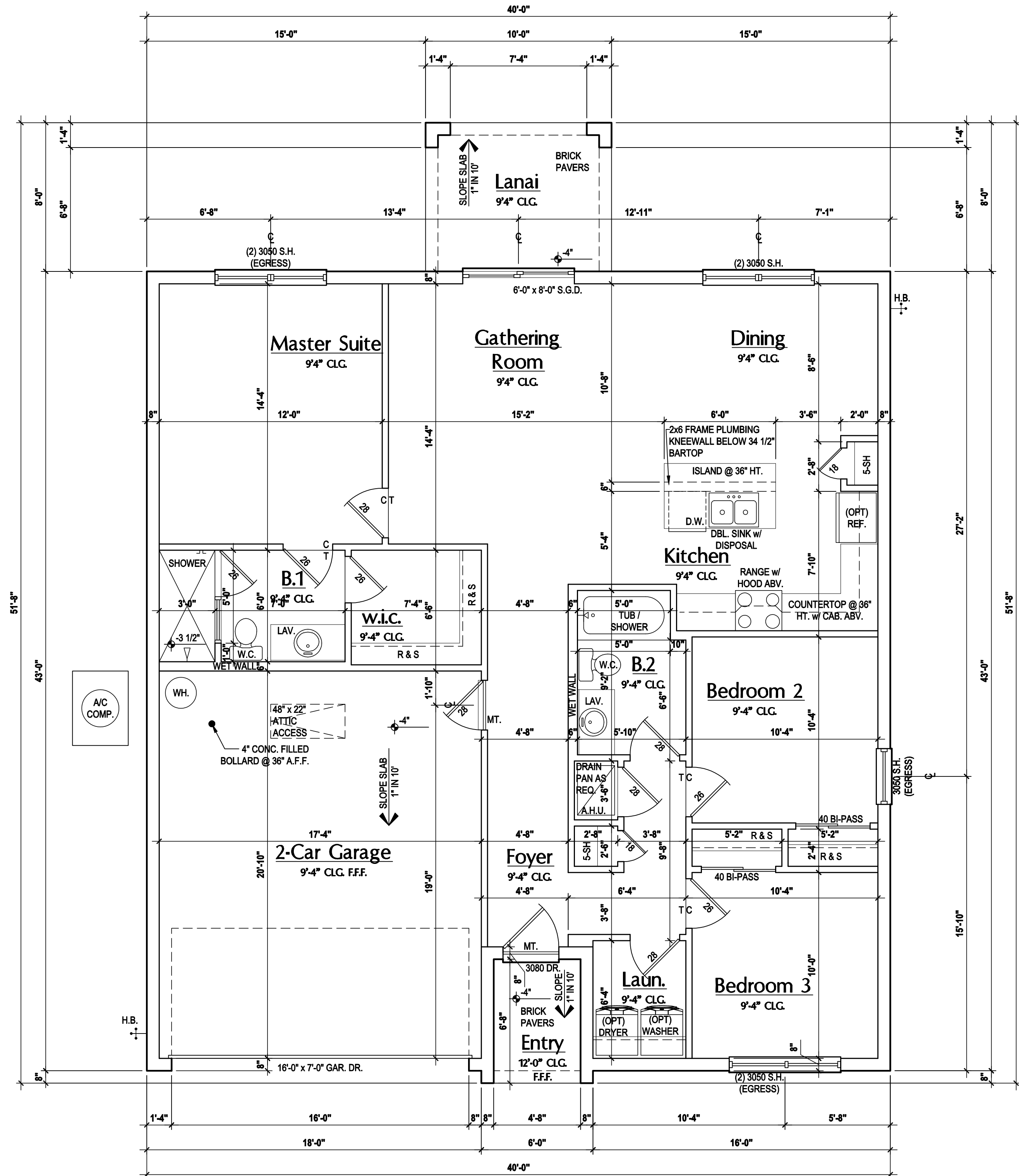
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**Park Square HOMES**

ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

FLOOR PLAN  
**A2**



**GENERAL NOTES KEY:**

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  - 2 - # OF WINDOWS.
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  - BP - BYPASS
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  - TYP. - TYPICAL

**NOTE:**  
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**FLOOR PLAN NOTES KEY:**

- NOTES:**
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  - PROVIDE RECESS H2C WATER w/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILING.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.  
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**DOOR NOTE KEY:**

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- 20 = 2'-0"
  - 24 = 2'-4"
  - 26 = 2'-6"
  - 28 = 2'-8"
  - 30 = 3'-0"
  - 40 B.F. = 4'-0" BI-FOLD
  - 50 B.F. = 5'-0" BI-FOLD
  - 60 B.F. = 6'-0" BI-FOLD

**WINDOW NOTE KEY:**

- WINDOW SIZE CALLOUT:**
- 2040 = 2'-0" x 4'-0"
  - 2050 = 2'-0" x 5'-0"
  - 2060 = 2'-0" x 6'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

**Area Tabulations**

<b>Living:</b>	
1st floor:	1,301 sf
<b>Total Living:</b>	1,301 sf
<b>entry:</b>	32 sf
<b>garage:</b>	391 sf
<b>lanai:</b>	80 sf
<b>Total Area:</b>	1,804 sf

**Floor Plan "A,B,C"**  
(Opt. Lanai)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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REVISIONS:  
PROJECT: 17-0102  
SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS  
FLOOR PLAN  
**A2.1**

**ATTIC VENT CALC'S:**

2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R805  
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN  
 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE  
 IN LOWER PORTION (EAVES).  
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE  $\frac{1}{300}$  OF VENTED  
 SPACE.

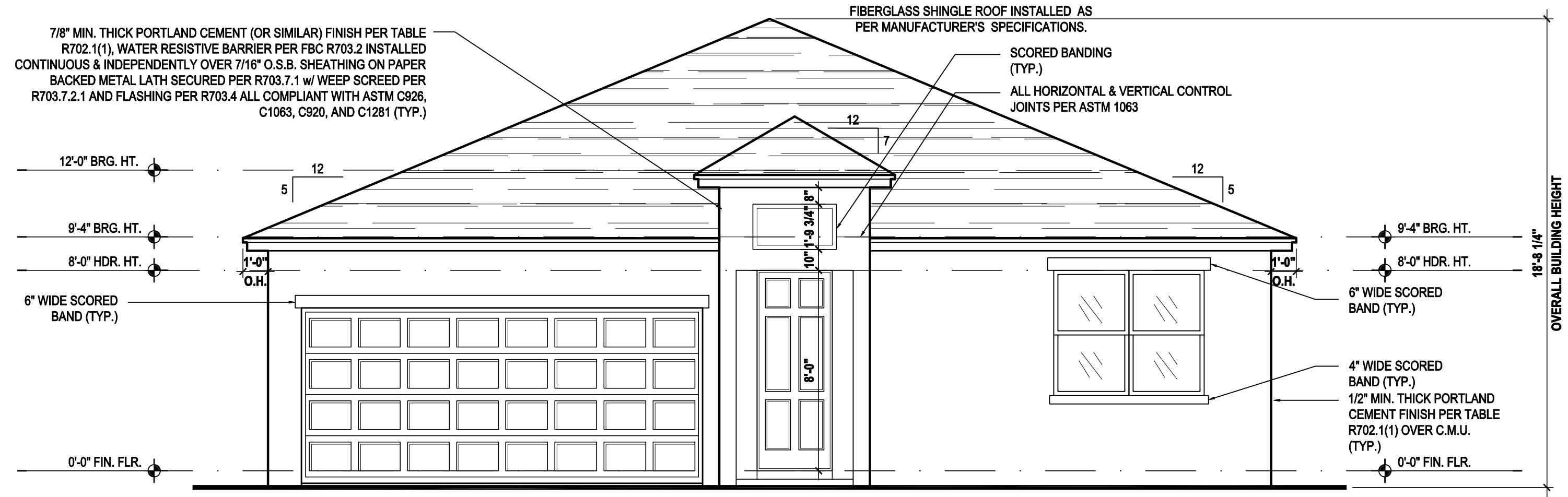
TOTAL VENTED SPACE:  $\frac{1,895}{300} = 6.316$  SF. NET FREE  
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.526 SF.  
 TO BE PROVIDED w/ OFF RIDGE VENTS:  
 4 VENTS @ .683 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.79SF.  
 TO BE PROVIDED w/ SOFFITS @ EAVE:  
 80.00 LF. @ 0.047 SF. VENTING/LF.

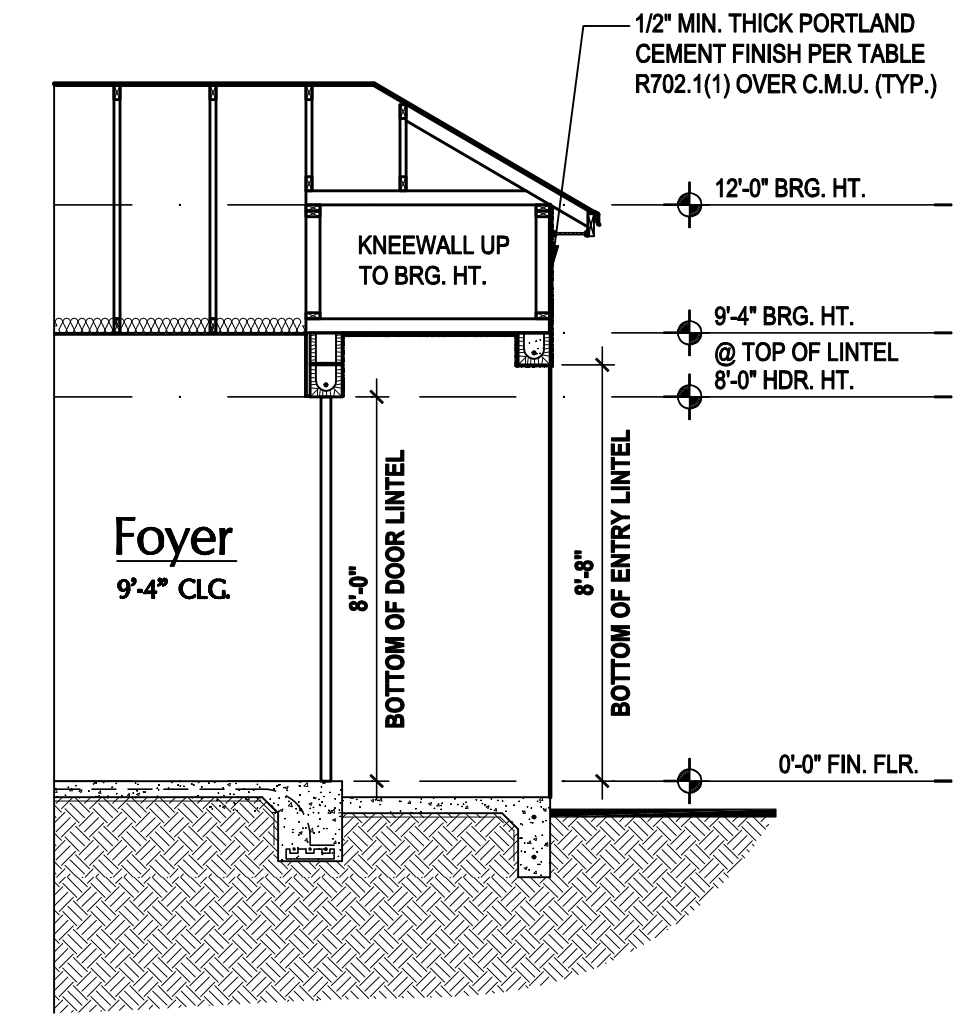
UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



**Front Elevation "A"**

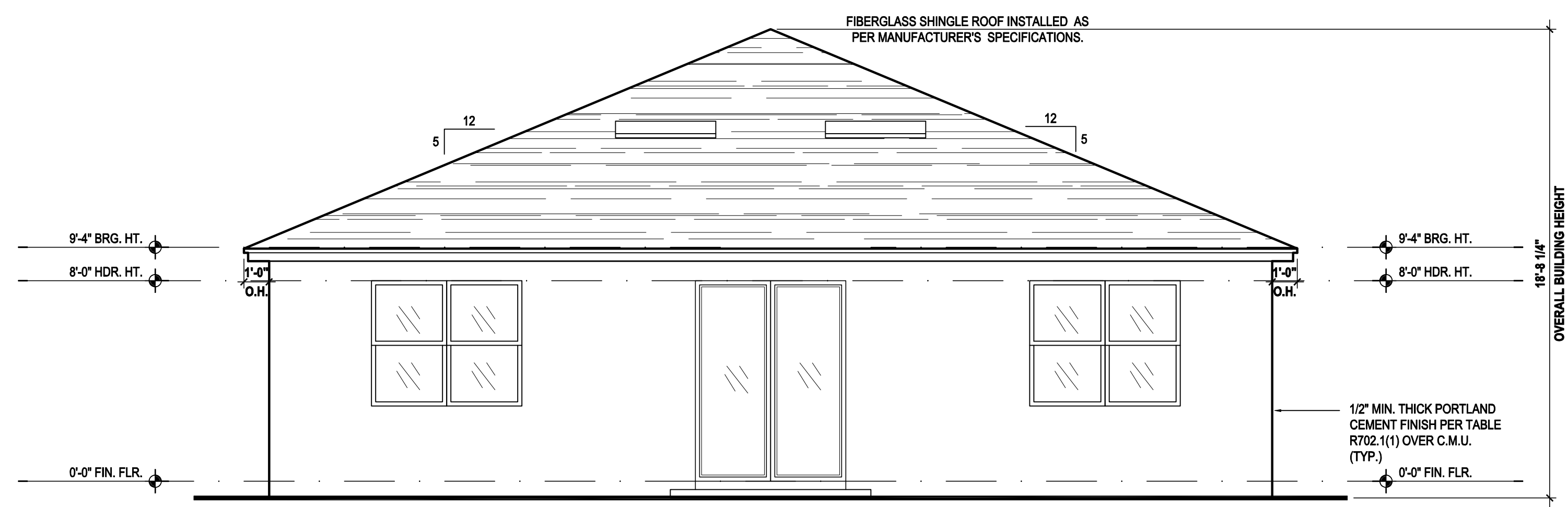
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Entry Detail**

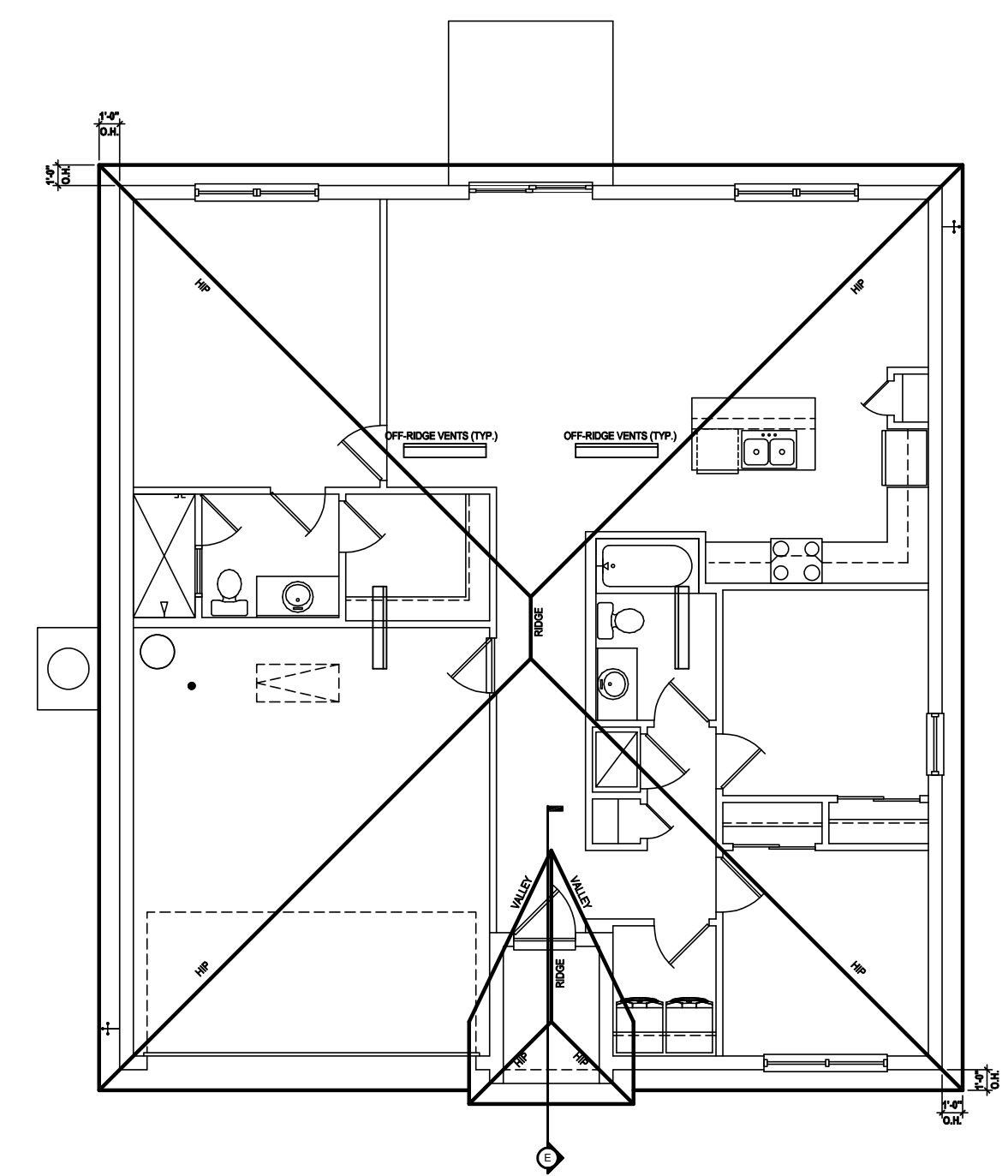
SCALE: 1/4" = 1'-0" (22x34)



**Rear Elevation "A"**

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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**GOBA**  
 GREATER ORLANDO BUILDERS ASSOCIATION

**AIB**

**GOBA**  
 GREATER ORLANDO BUILDERS ASSOCIATION

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 40-1301  
 Lot # - Subdivision  
 Street Address  
 City, State, Zip

A division of Park Square  
 Enterprises Inc.  
 5200 Vineland Rd. Suite # 200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A3.A**

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### ATTIC VENT CALC'S:

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 UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE  
 IN LOWER PORTION (EAVES).  
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MINIMUM NET VENTILATION AREA SHALL BE  $\frac{1}{30}$  OF VENTED  
 SPACE.

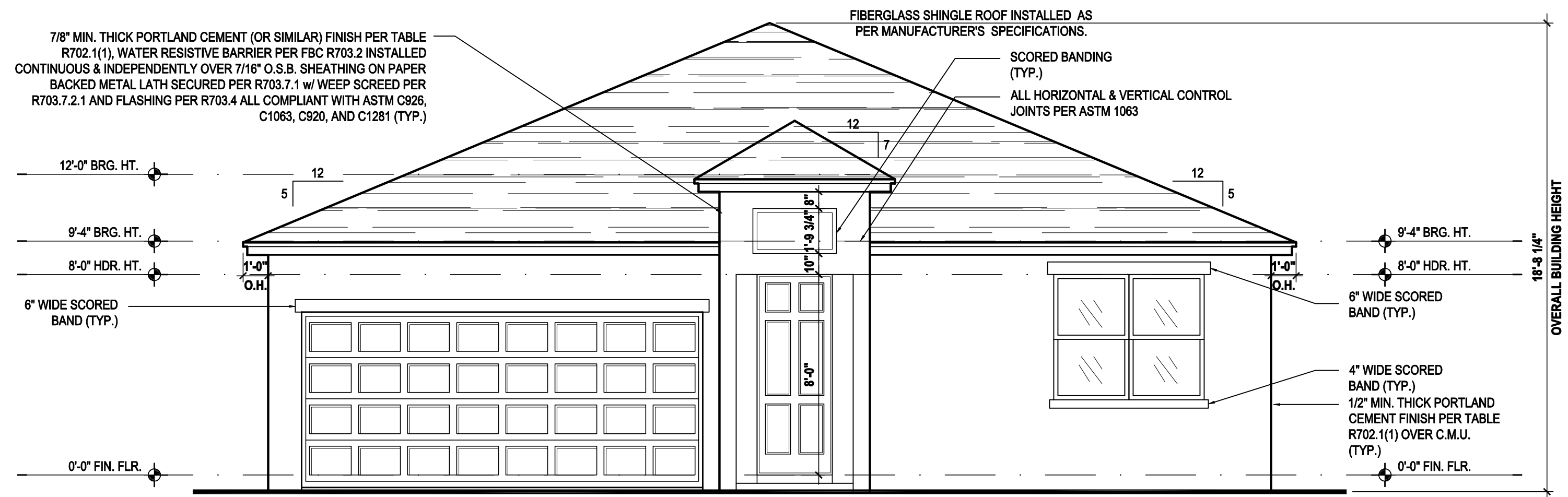
TOTAL VENTED SPACE:  $\frac{1,895}{300} = 6.316$  SF. NET FREE  
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 2,526 SF.  
 TO BE PROVIDED W/ OFF RIDGE VENTS:  
 4 VENTS @ .683 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 3.79SF.  
 TO BE PROVIDED W/ SOFFITS @ EAVE:  
 80.00 LF. @ 0.047 SF. VENTING/LF.

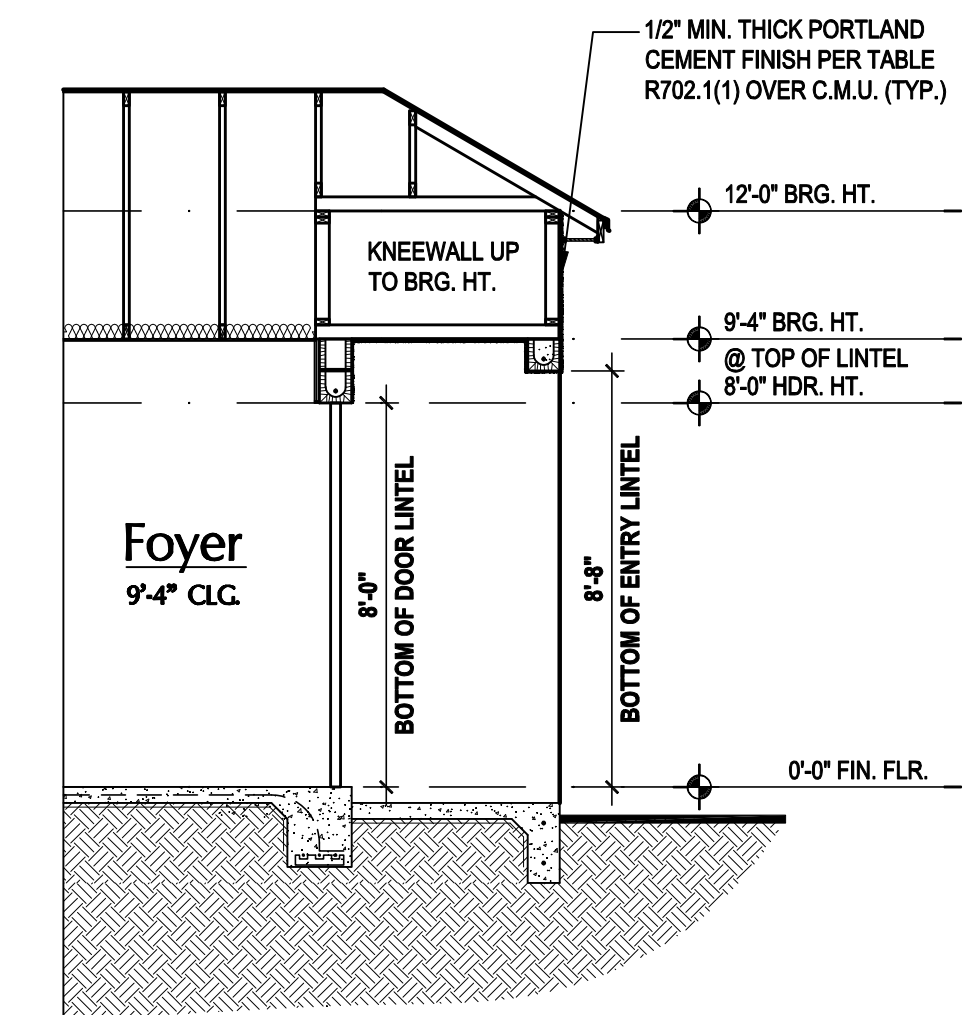
UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



## Front Elevation "A"

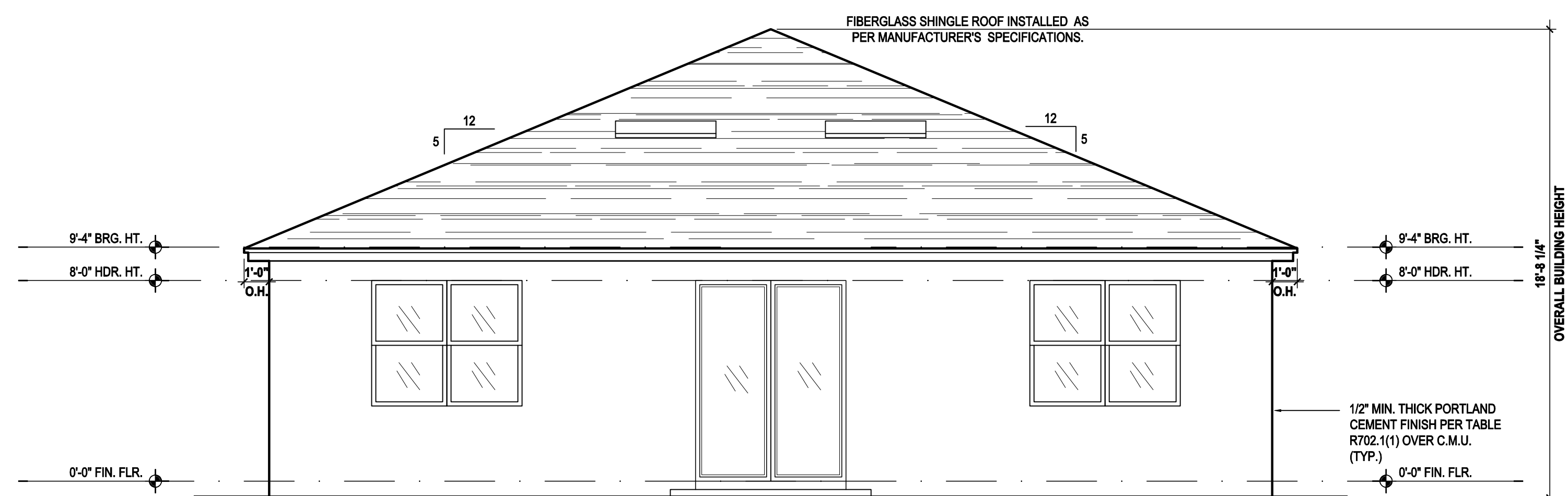
(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



## Entry Detail

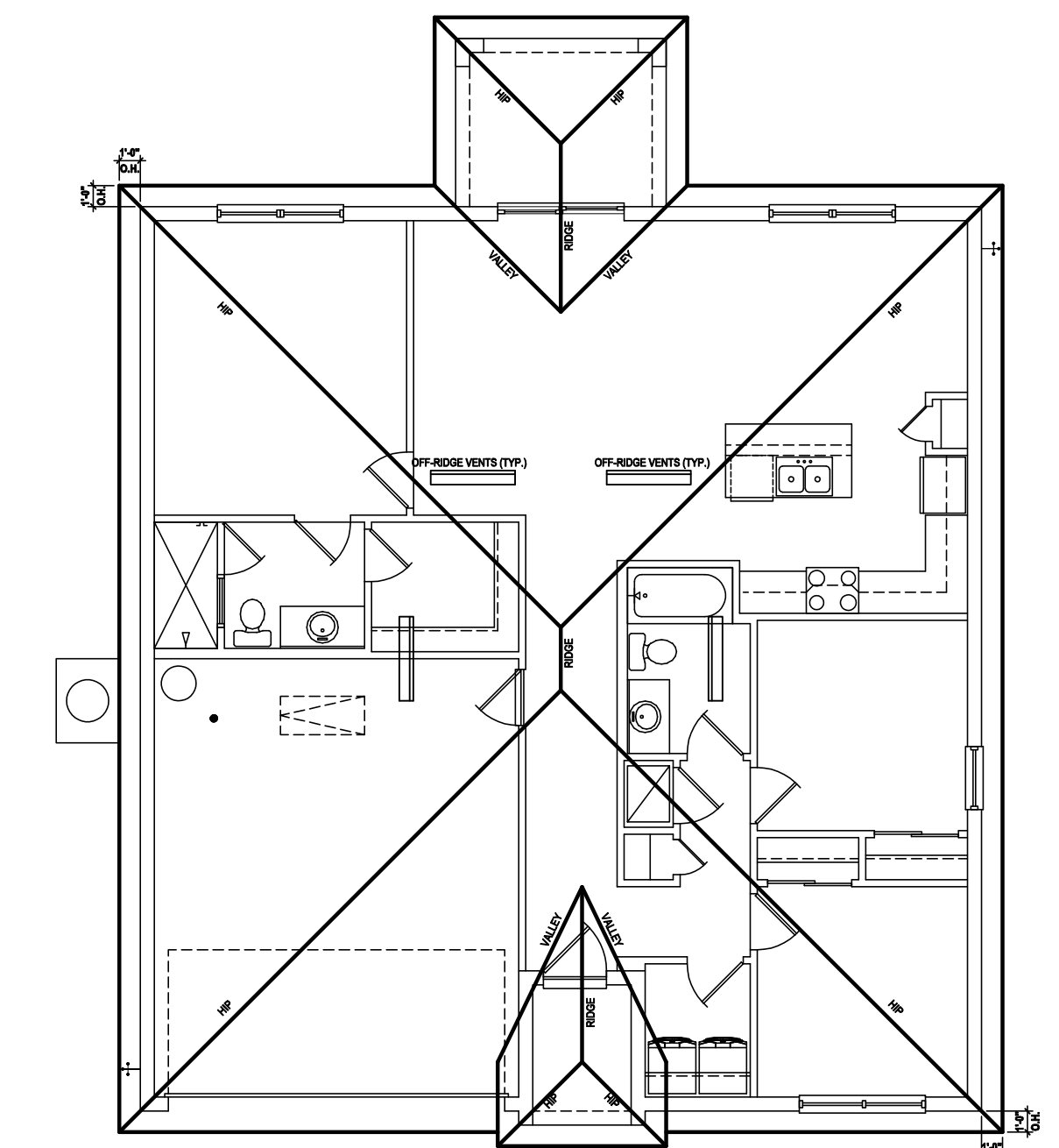
SCALE: 1/4" = 1'-0" (22x34)



## Rear Elevation "A"

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



## Roof Layout

(Opt. Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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ISSUE DATE	09/12/2017
REVISIONS	

PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A3.A1**

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MINIMUM NET VENTILATION AREA SHALL BE  $\frac{1}{300}$  OF VENTED  
 SPACE.

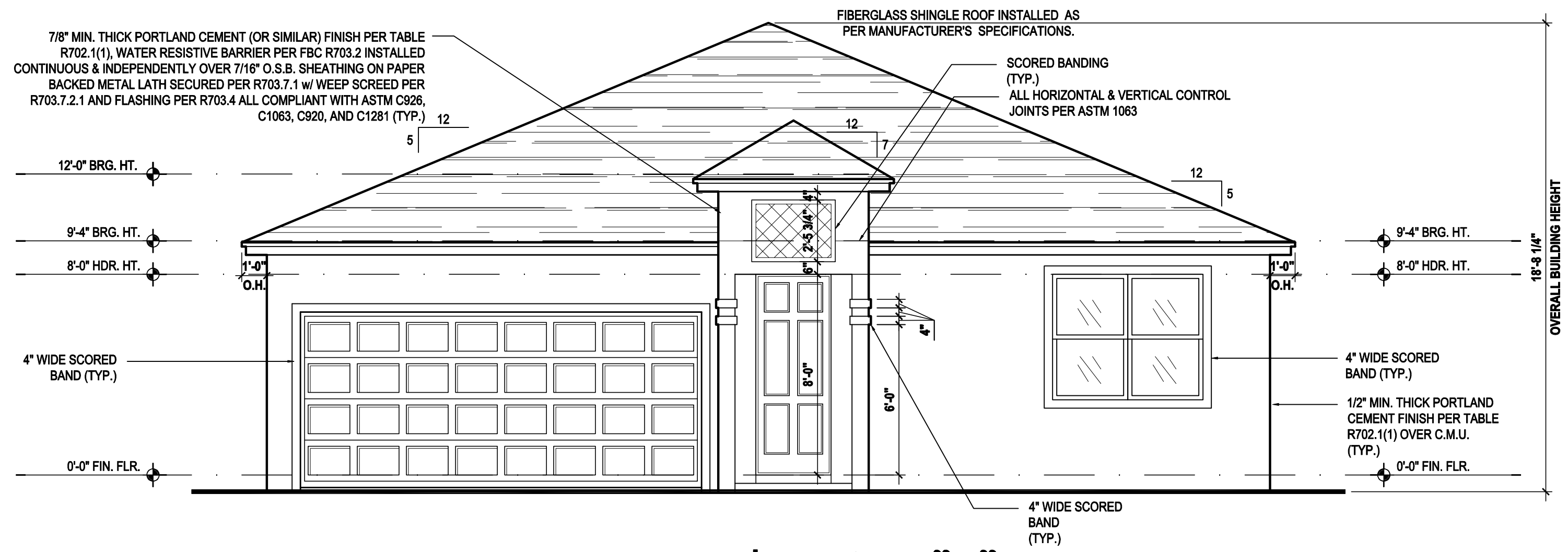
TOTAL VENTED SPACE:  $\frac{1,895}{300} = 6.316$  SF. NET FREE  
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 4 VENTS @ .683 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

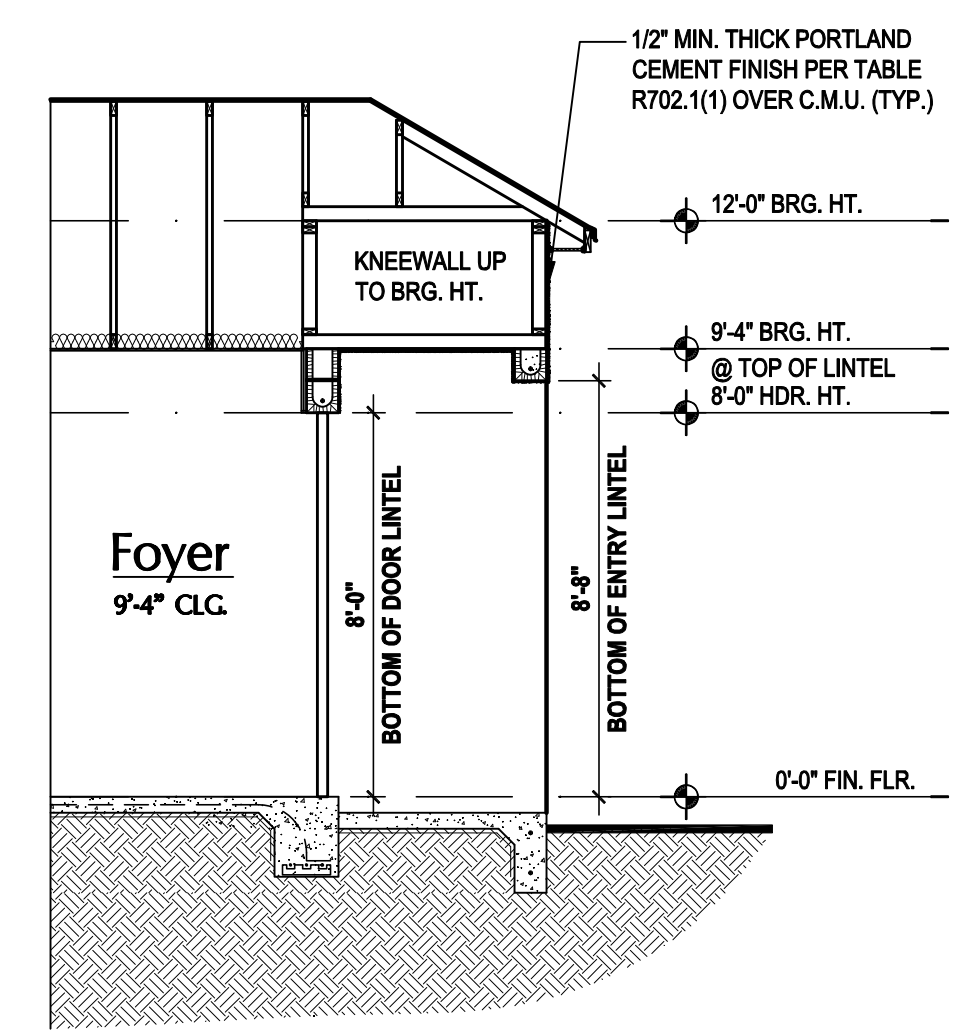
LOWER PORTION VENTILATION TOTAL: 3.79SF.  
 TO BE PROVIDED w/ SOFFITS @ EAVE:  
 80.00 LF. @ 0.047 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



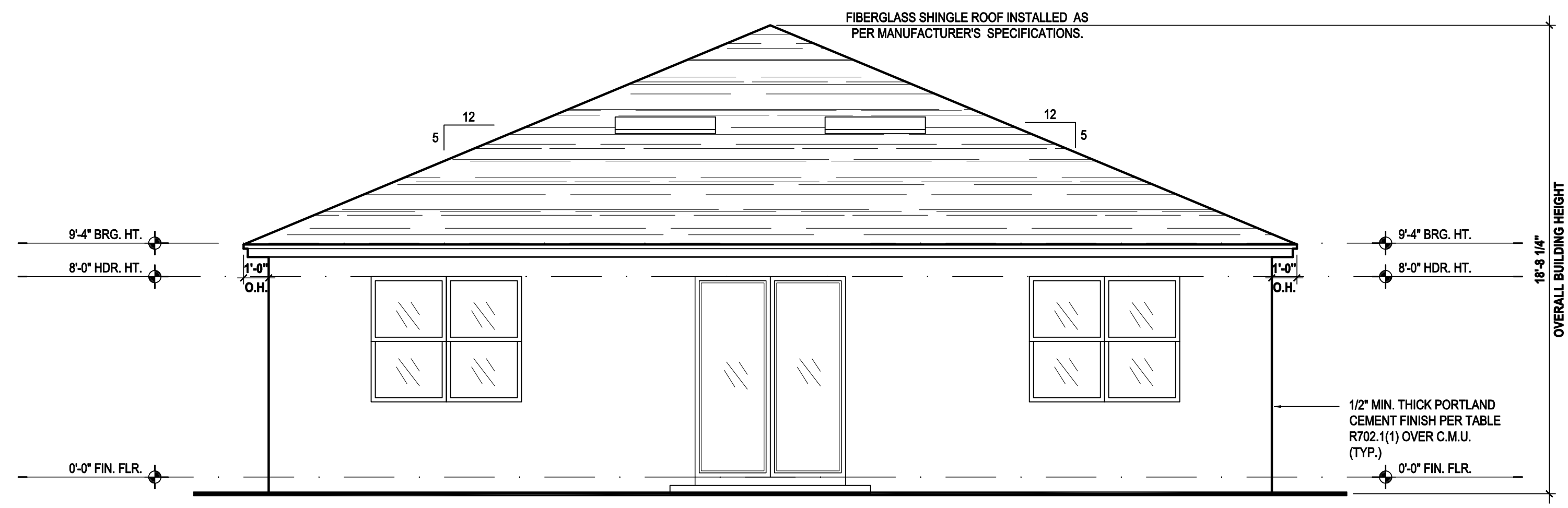
**Front Elevation "B"**  
 (Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



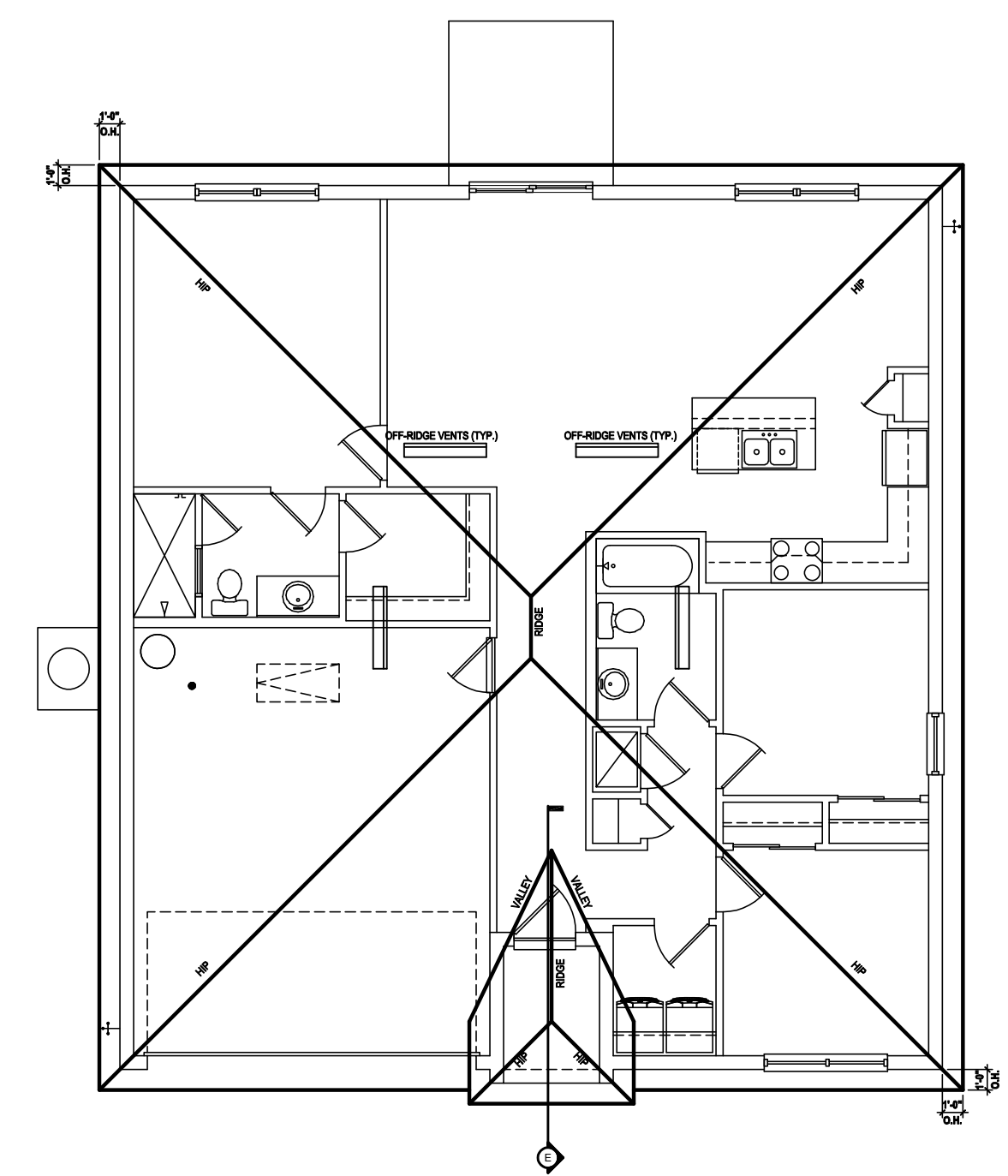
**Entry Detail**

SCALE: 1/4" = 1'-0" (22x34)



**Rear Elevation "B"**  
 (Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**  
 (Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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REVISIONS	
PROJECT:	17-0102
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DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A3.B**

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 SPACE.

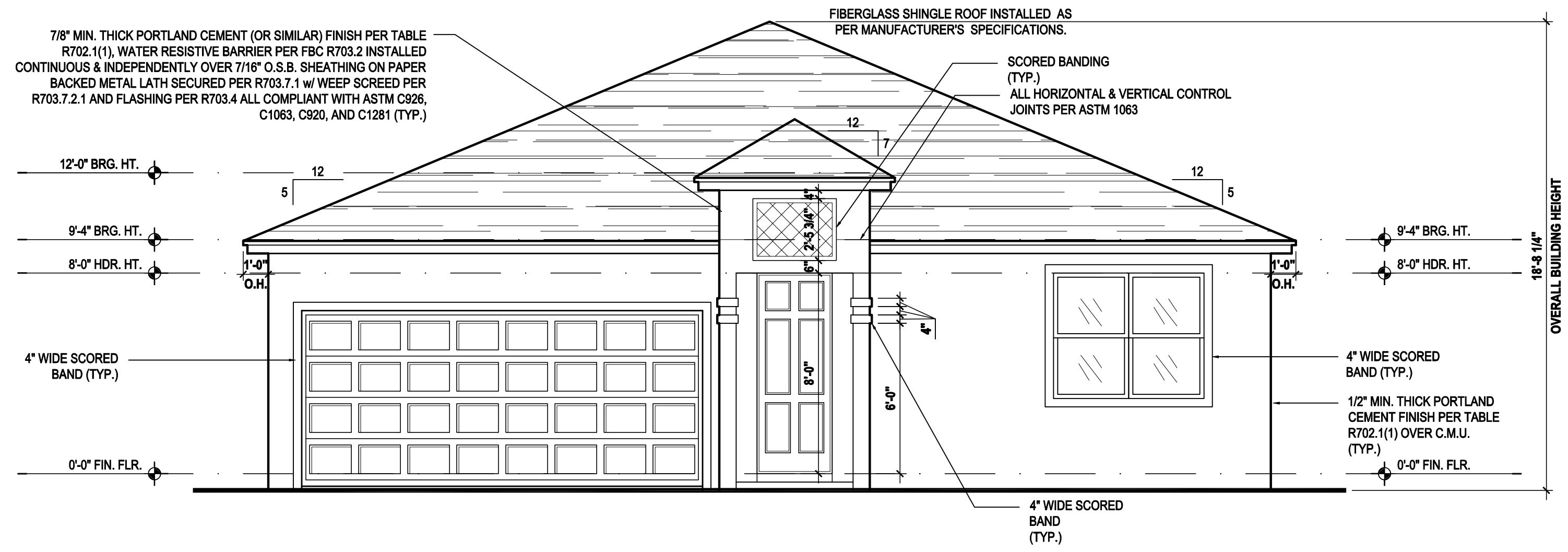
TOTAL VENTED SPACE:  $\frac{1,895}{300} = 6.316$  SF. NET FREE  
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 2.526 SF.  
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TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

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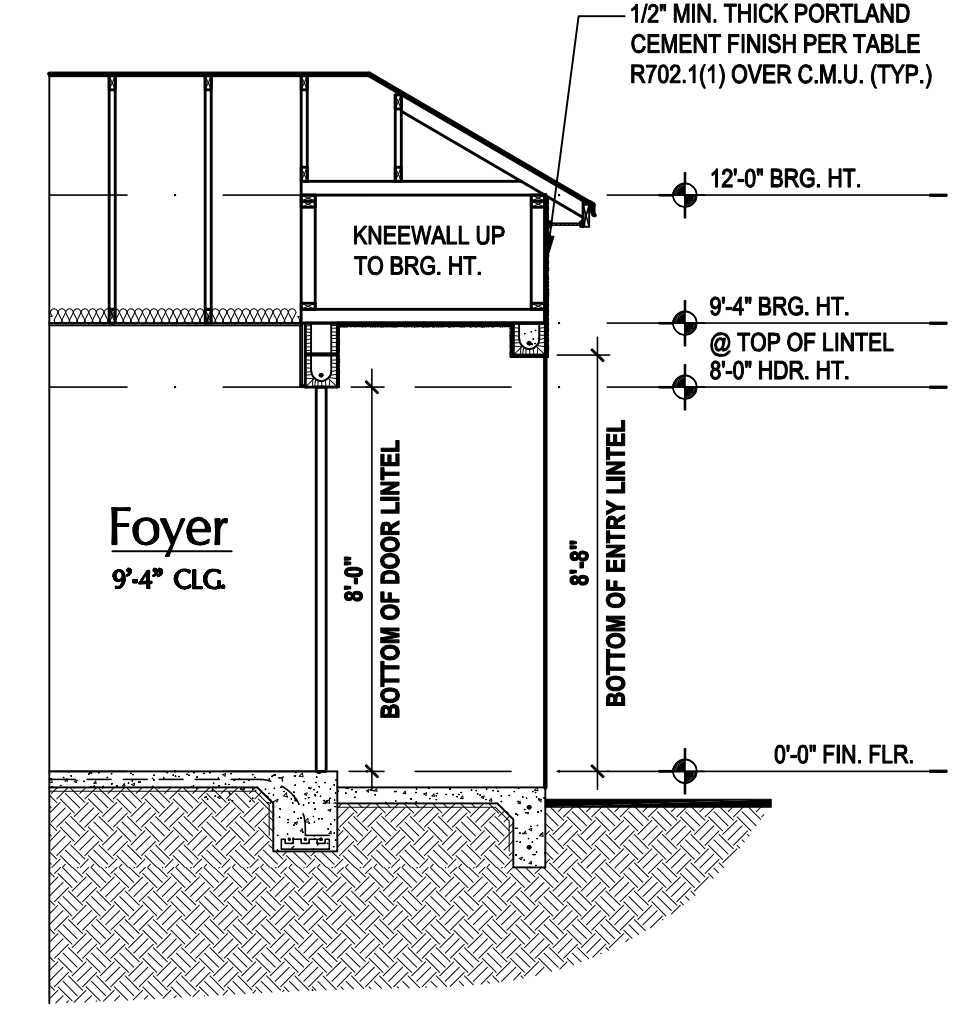
UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



**Front Elevation "B"**

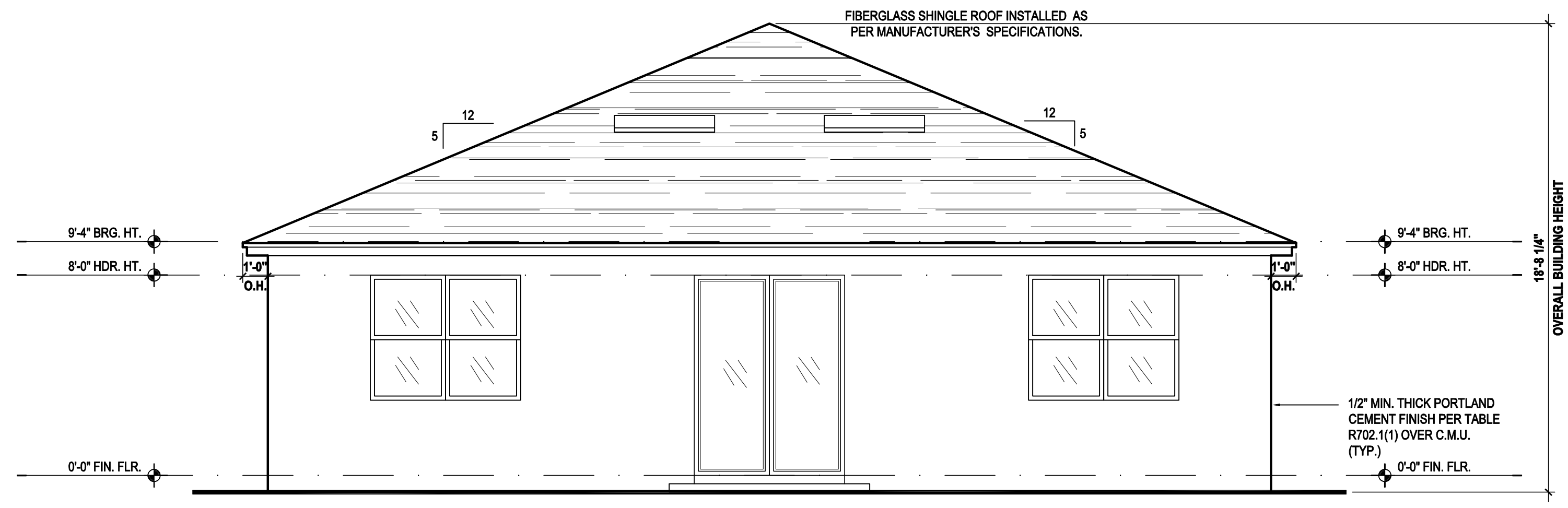
(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Entry Detail**

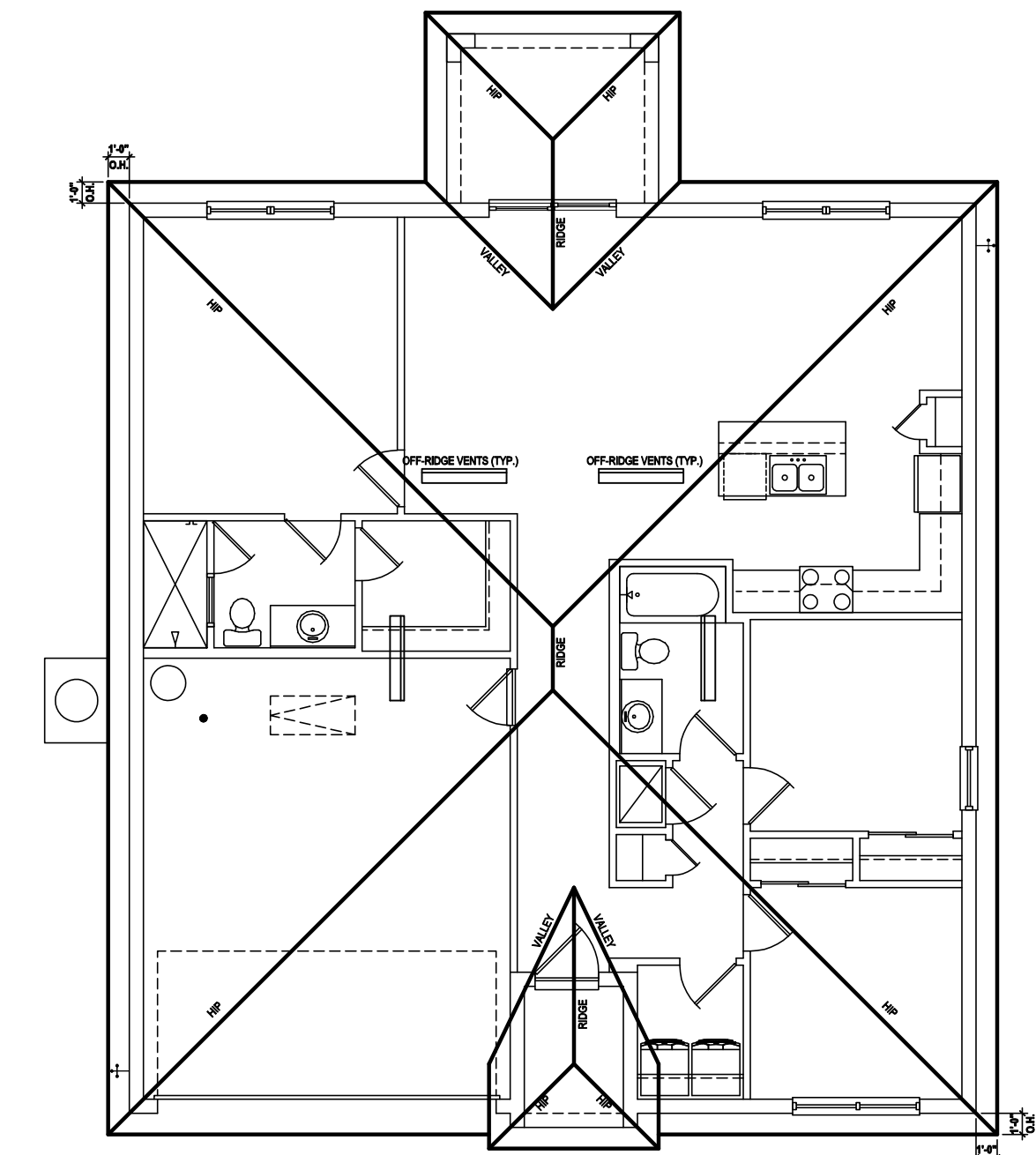
SCALE: 1/4" = 1'-0" (22x34)



**Rear Elevation "B"**

(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

(Opt. Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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ISSUE DATE	09/12/2017
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PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A3.B1**

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 SPACE.

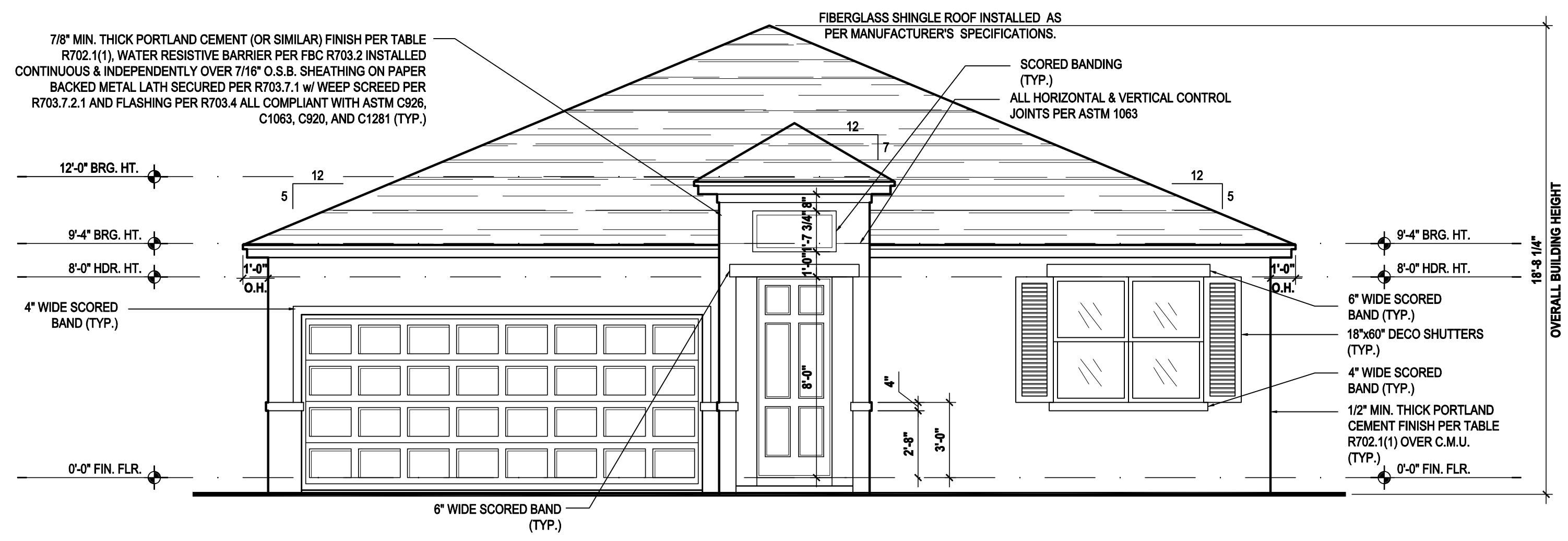
TOTAL VENTED SPACE:  $\frac{1,895}{300} = 6.316$  SF. NET FREE  
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 80.00 LF. @ 0.047 SF. VENTING/LF.

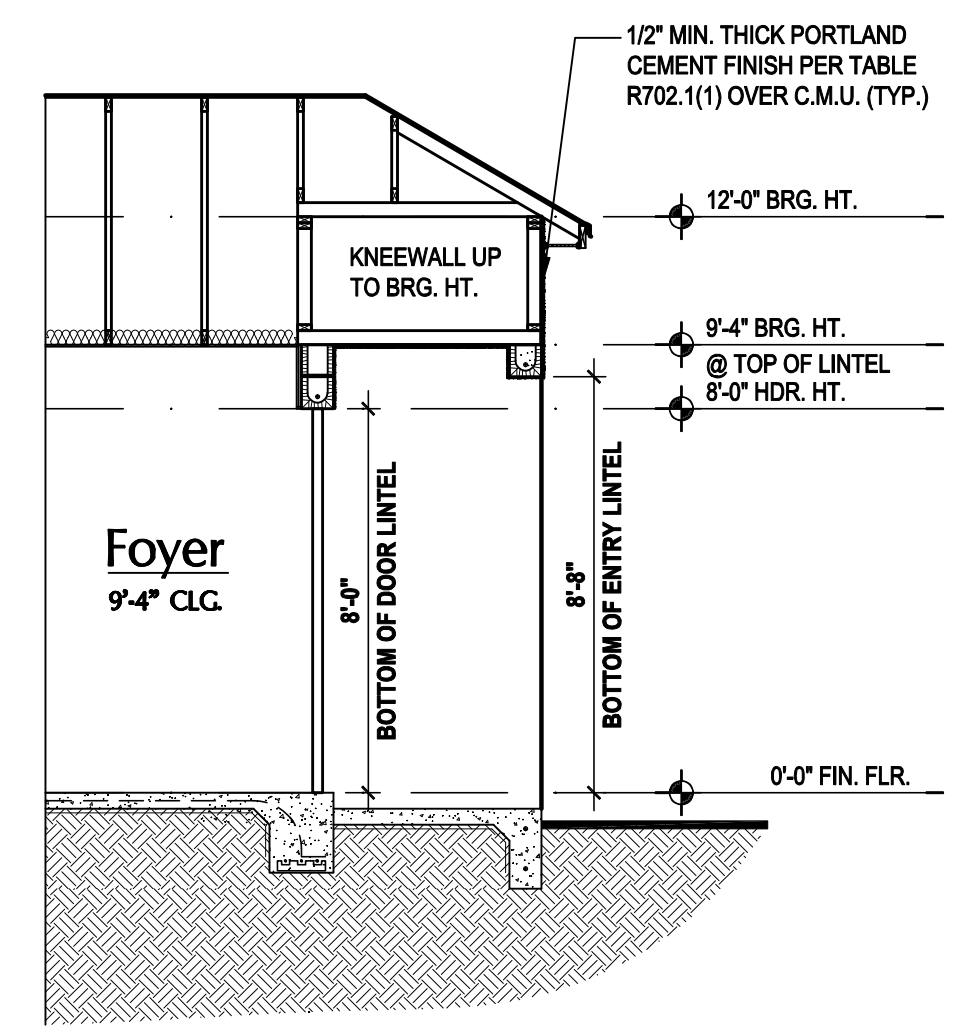
UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



**Front Elevation "C"**

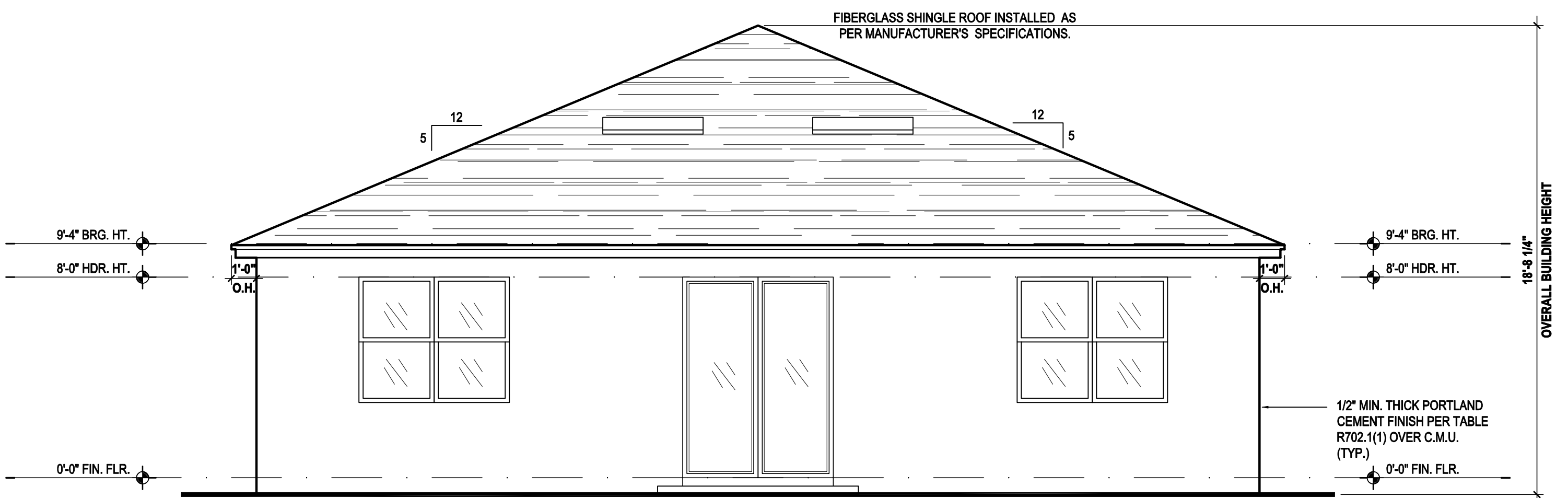
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Entry Detail**

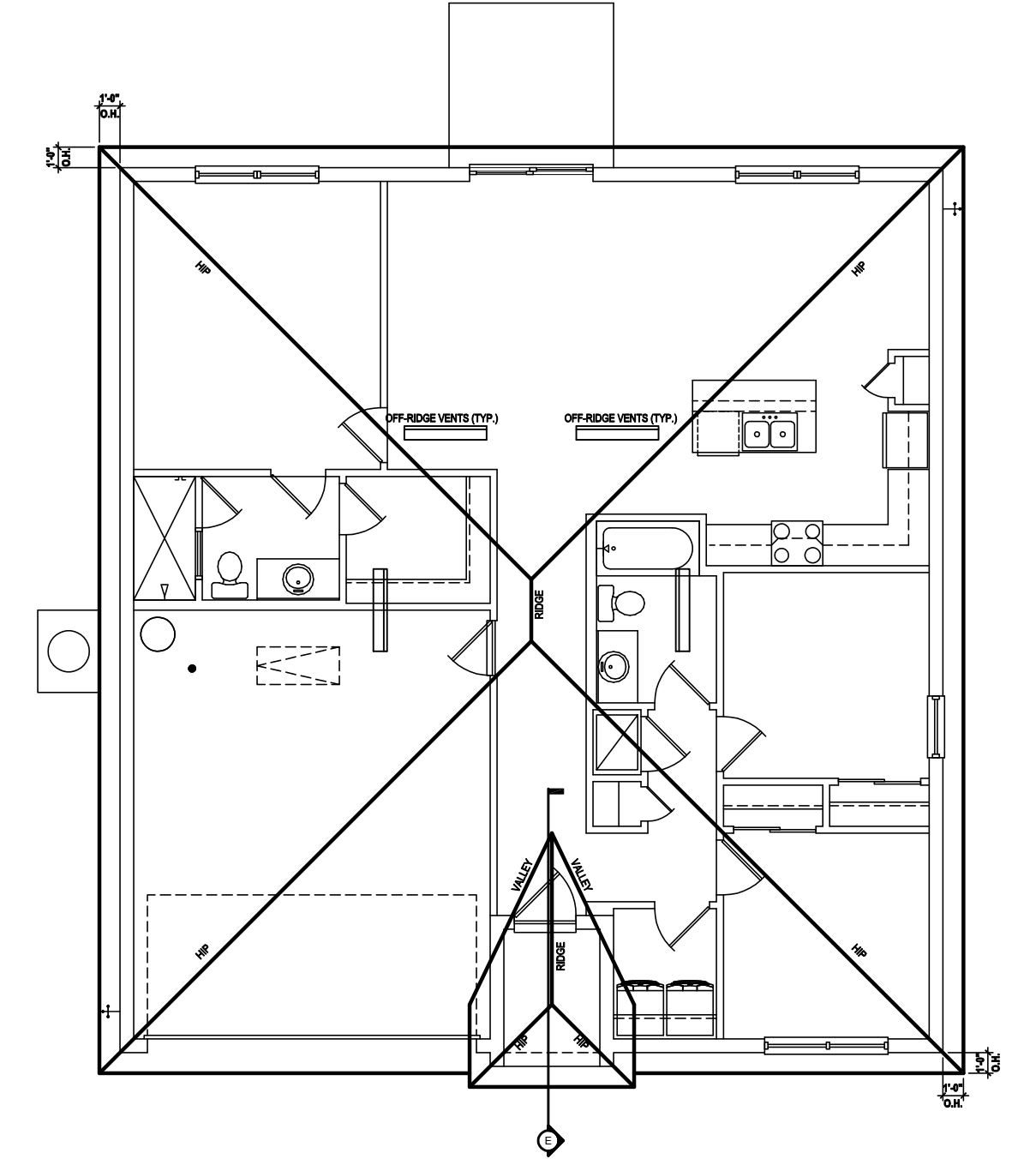
SCALE: 1/4" = 1'-0" (22x34)



**Rear Elevation "C"**

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

(Standard)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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ISSUE DATE	09/12/2017
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PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A3.C**

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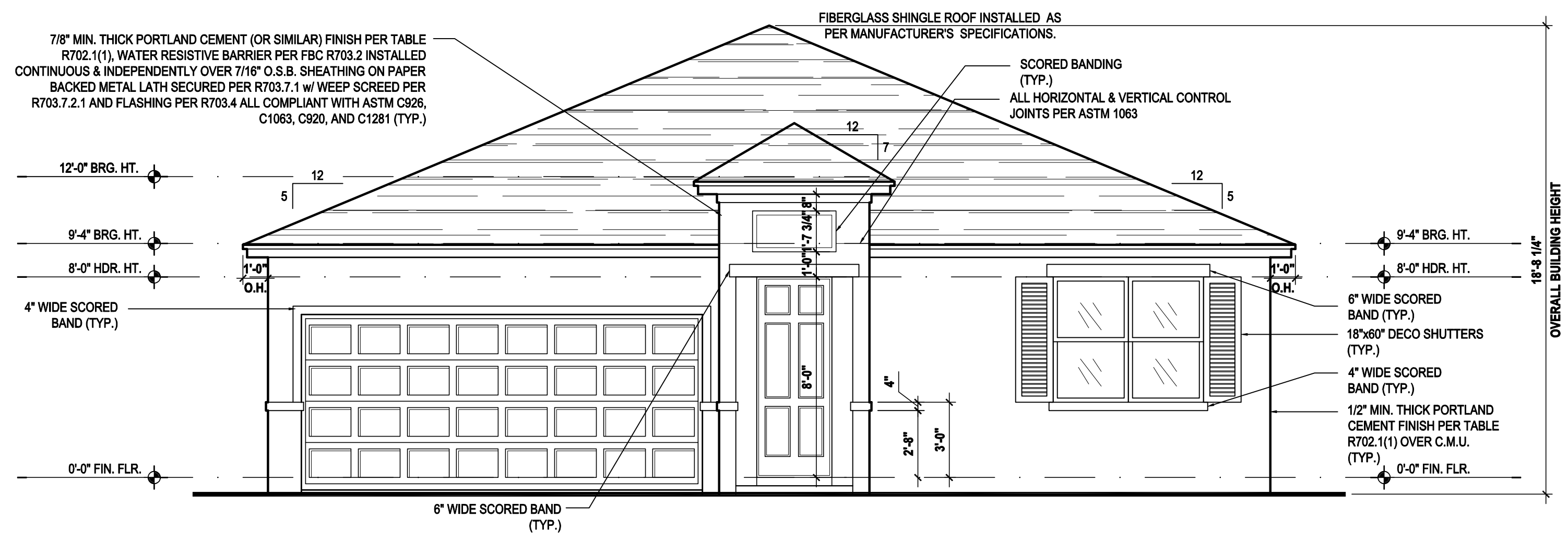
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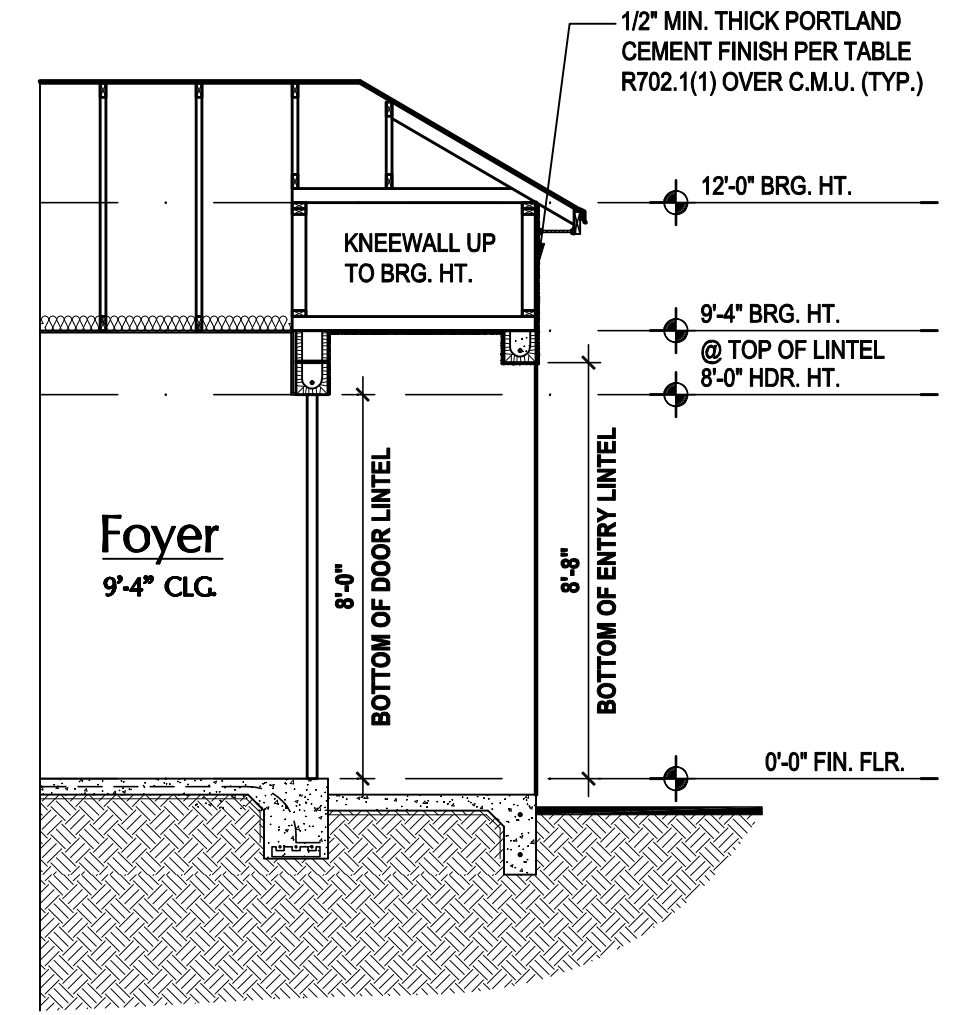
UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



**Front Elevation "C"**

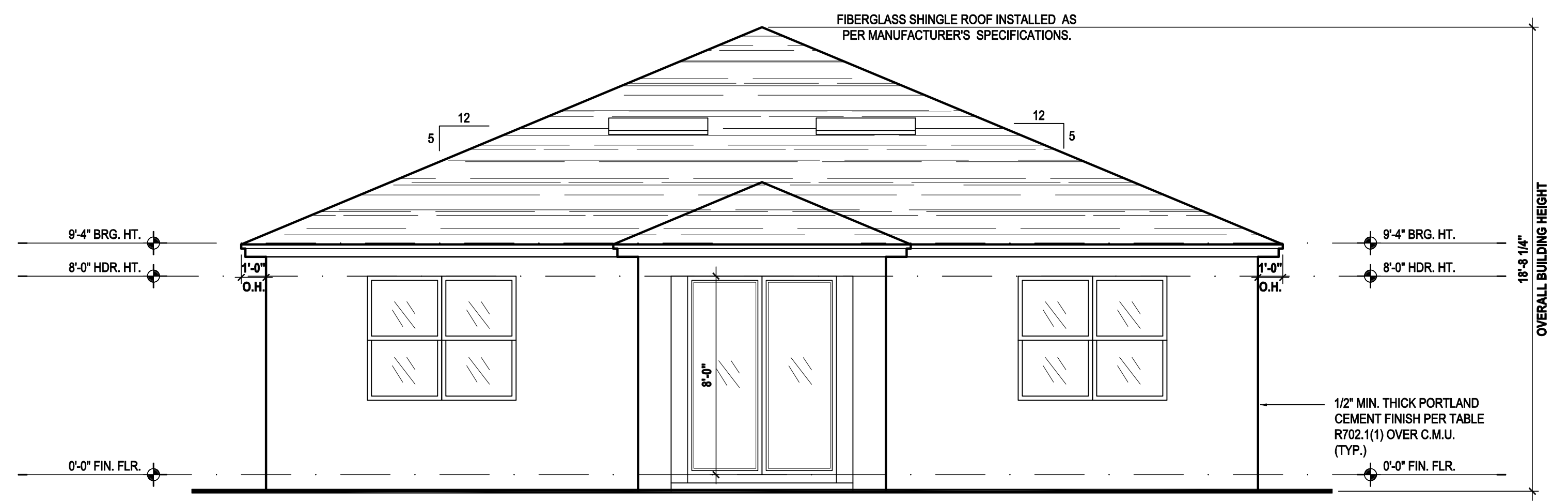
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Entry Detail**

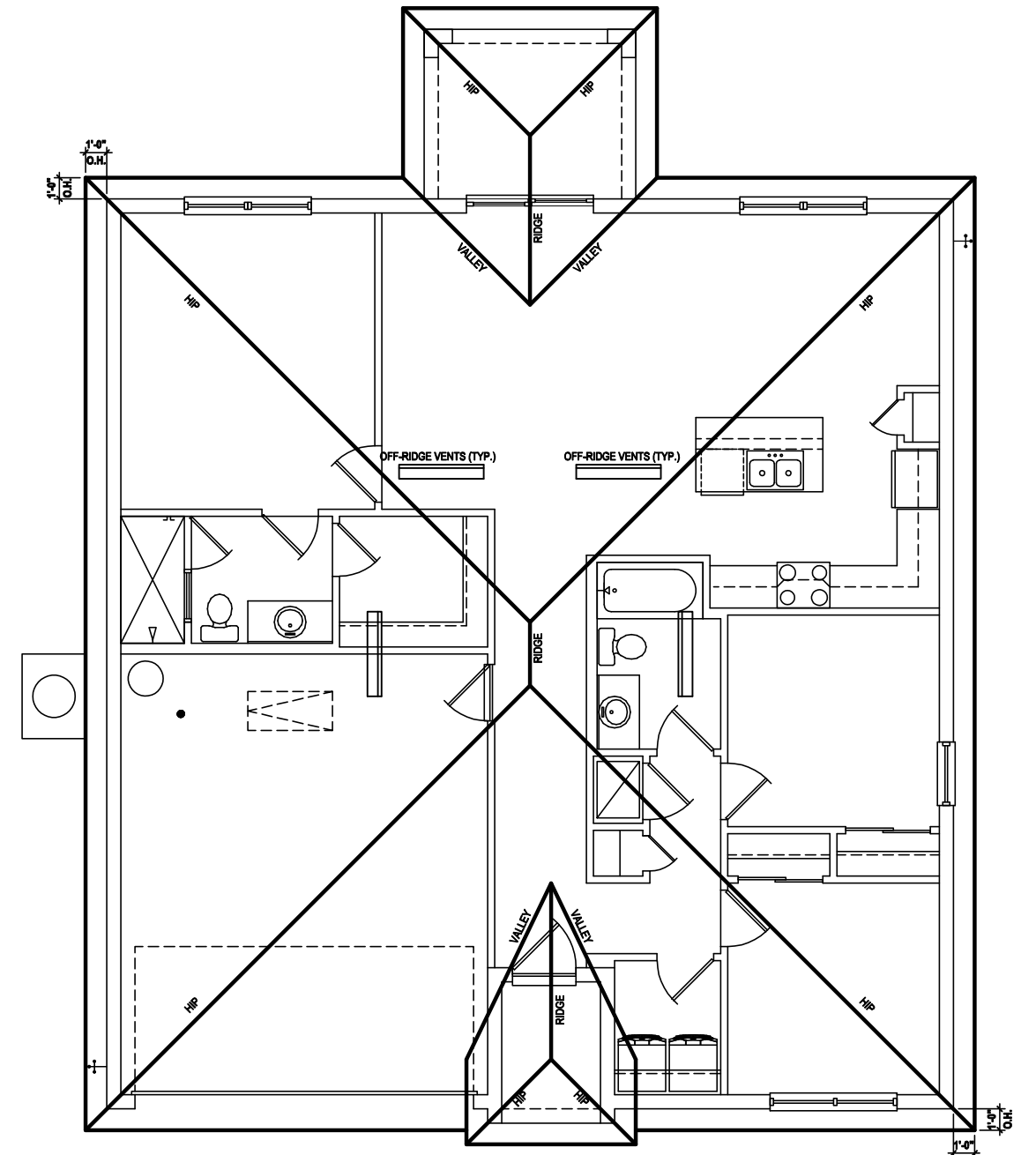
SCALE: 1/4" = 1'-0" (22x34)



**Rear Elevation "C"**

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

(Opt. Lanai)

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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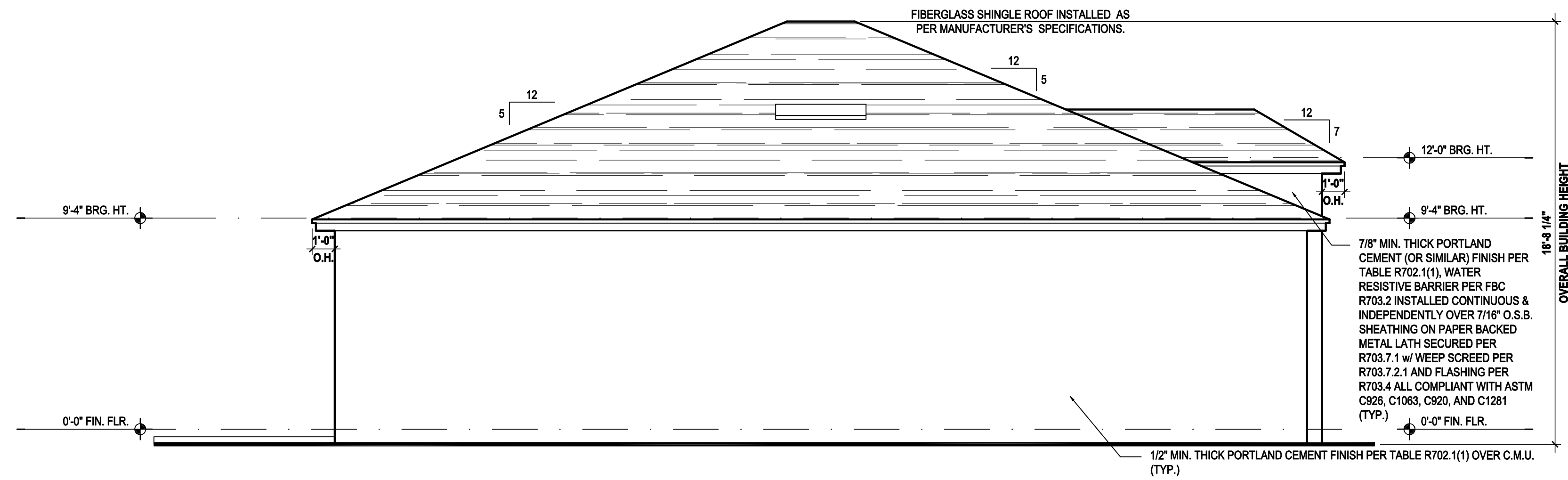
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ISSUE DATE	09/12/2017
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SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

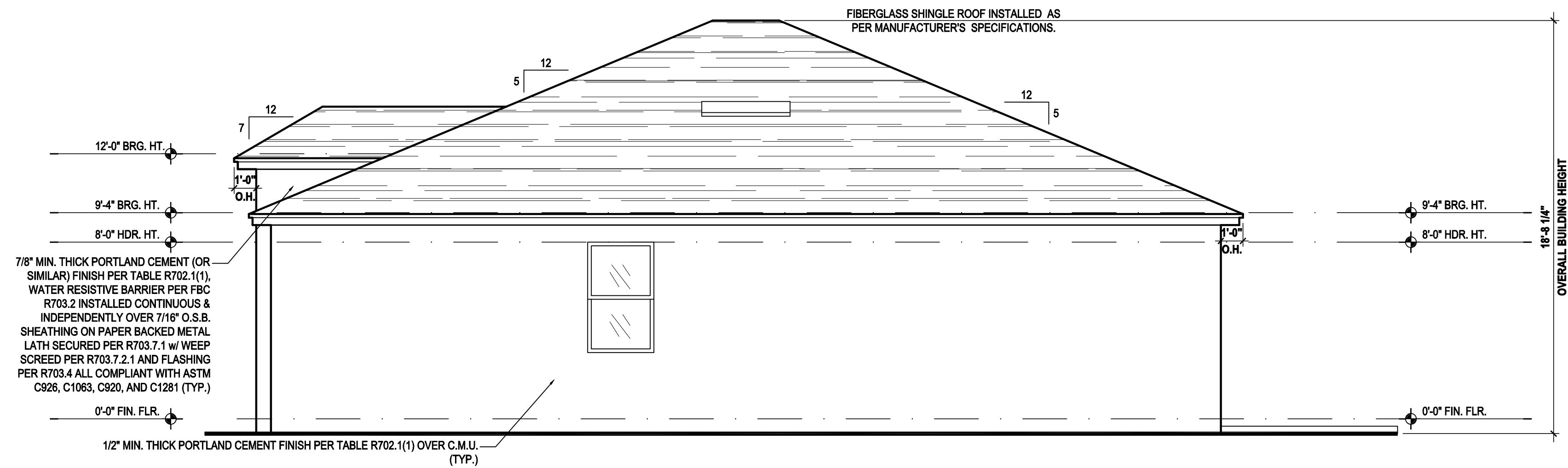
ELEVATIONS  
**A3.C1**

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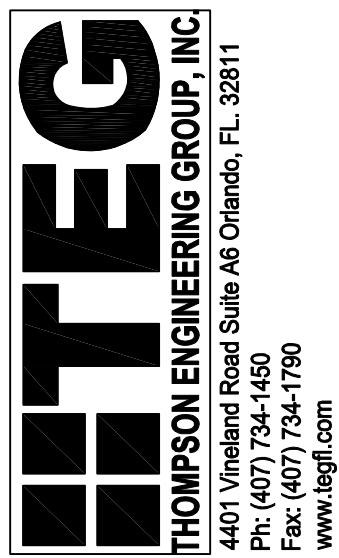
Left Elevation "A"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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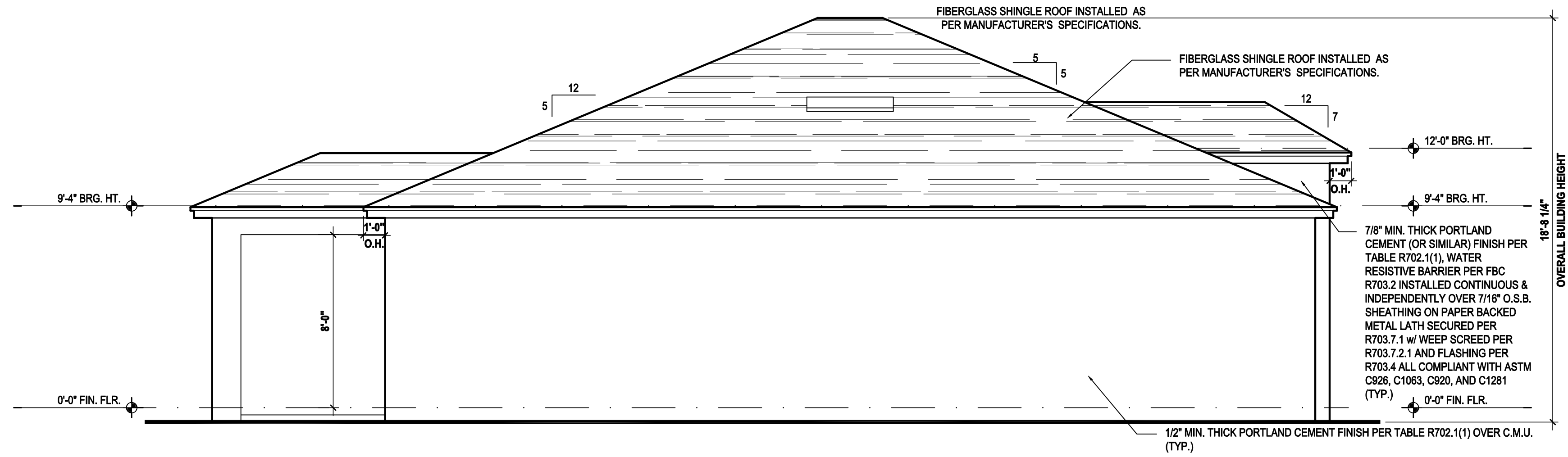
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5200 Vineland Rd. Suite # 200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
A4.A

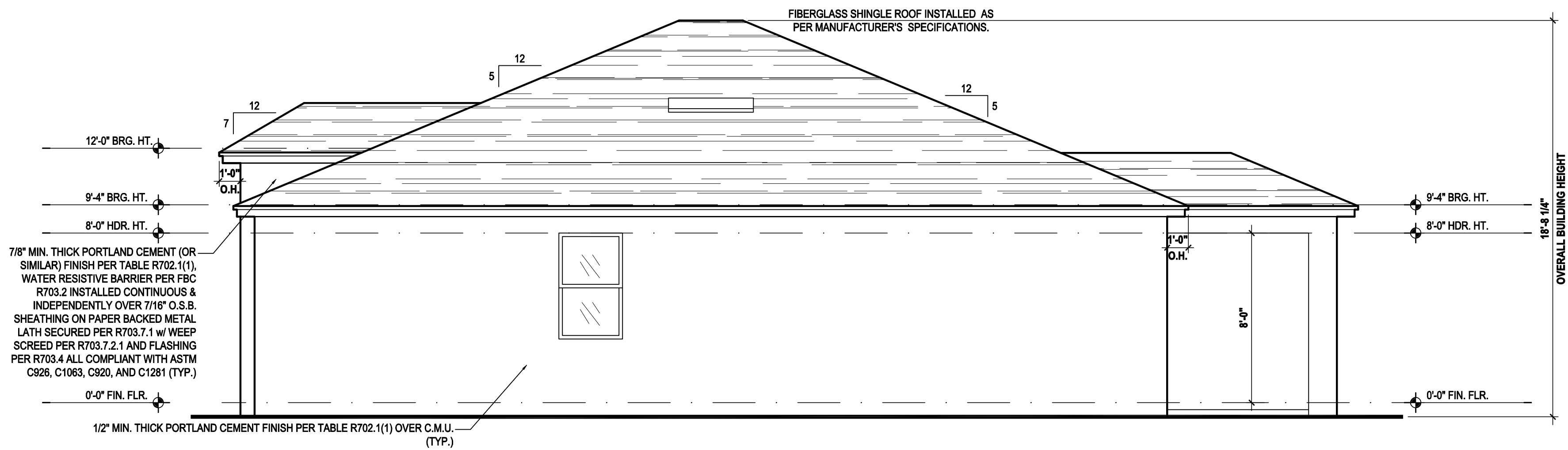
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(Opt. Lanai)

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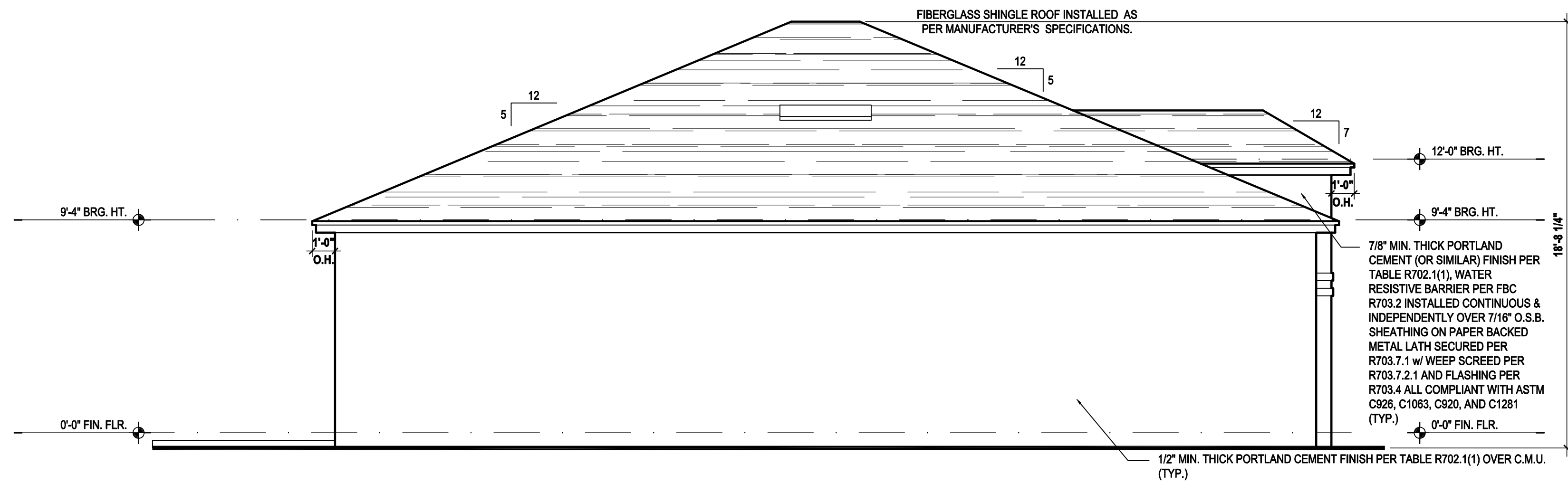


### Right Elevation "A"

(Opt. Lanai)

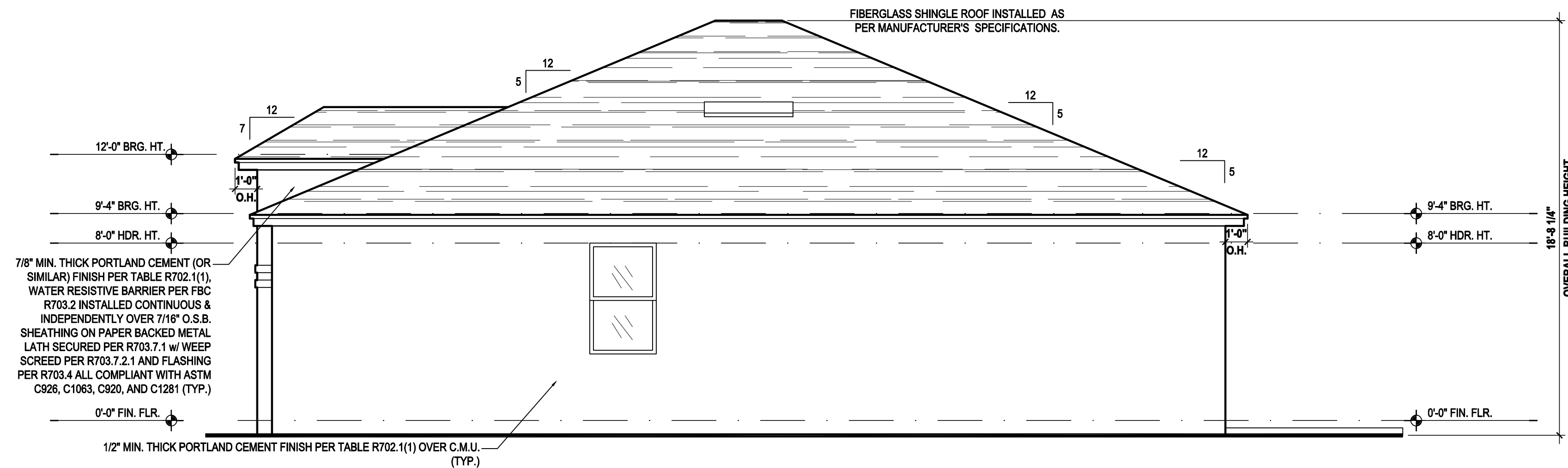
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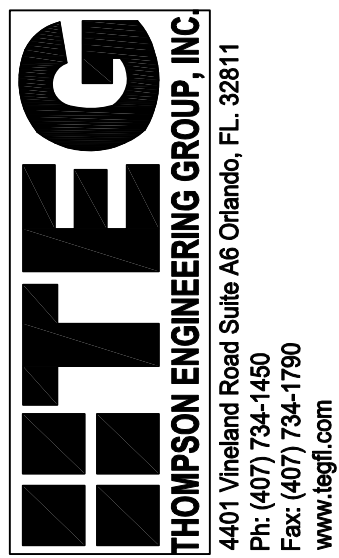
**Left Elevation "B"**  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Right Elevation "B"**  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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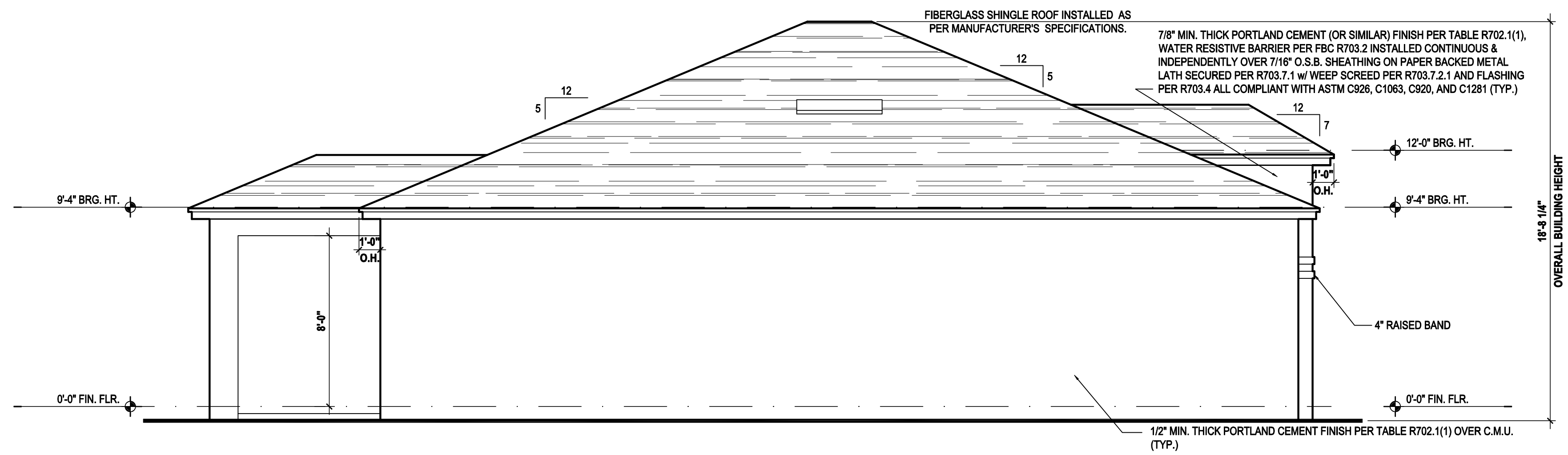
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SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELEVATIONS  
**A4.B**

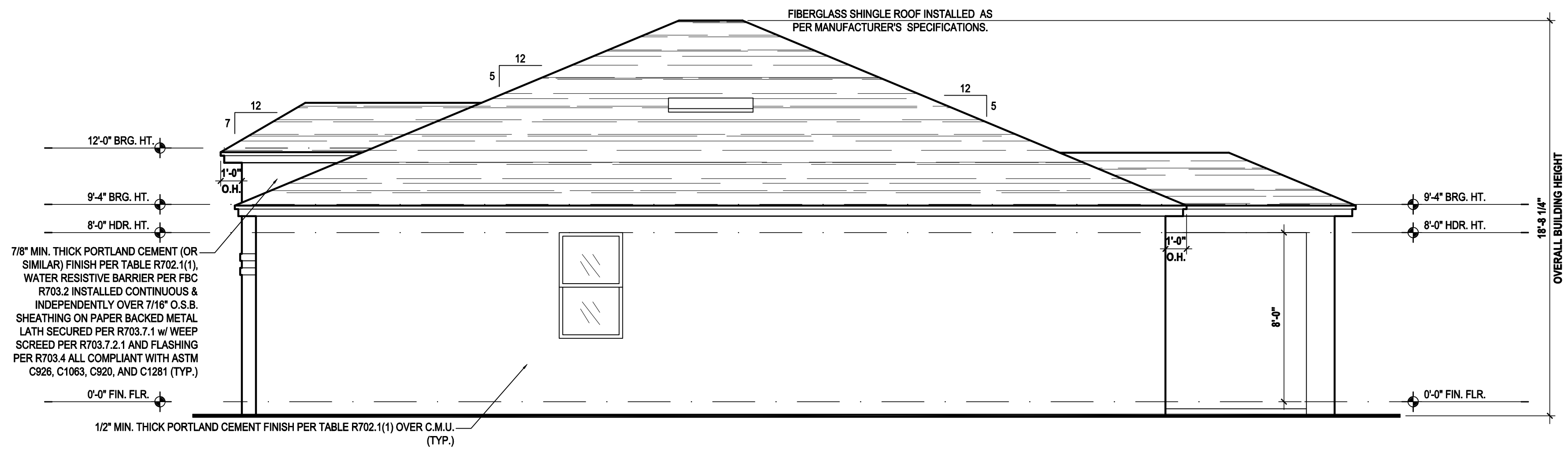
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### Left Elevation "B"

(Opt. Lanai)

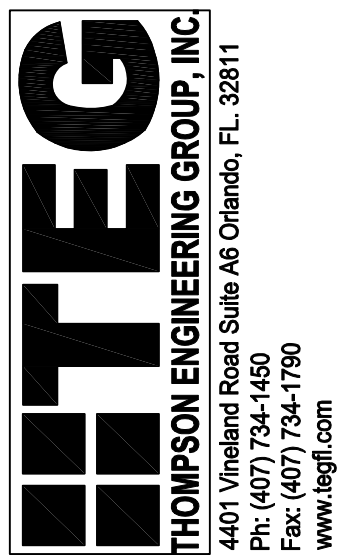
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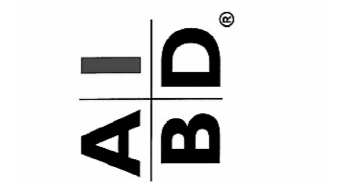
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(Opt. Lanai)

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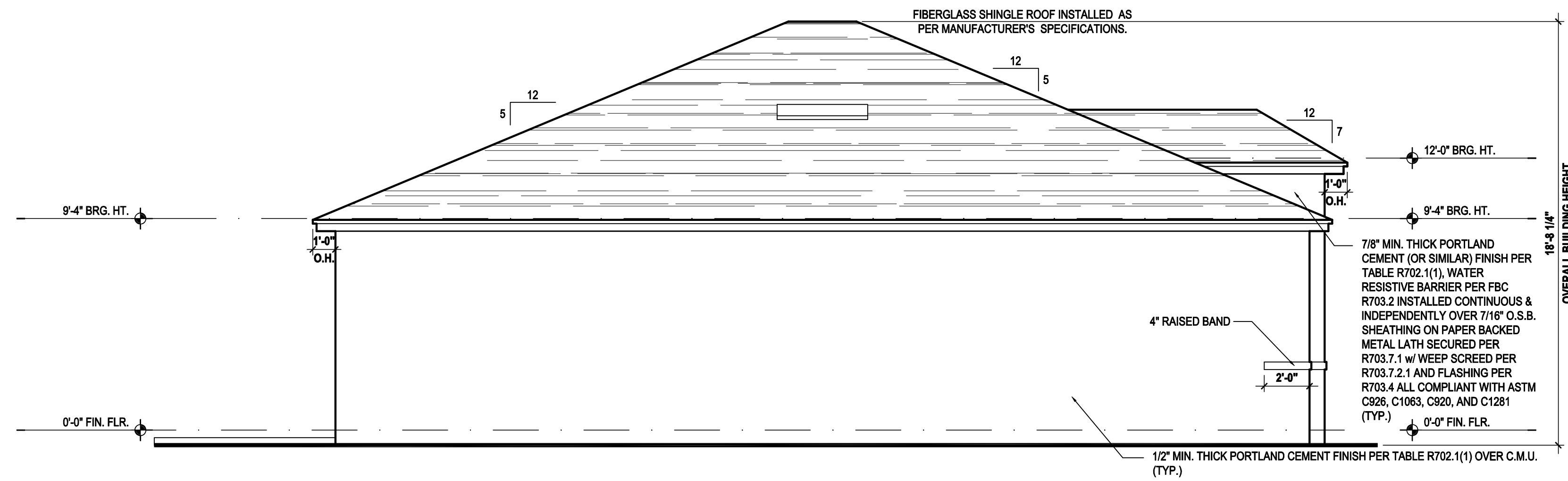
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DESIGNED BY: MJS

ELEVATIONS

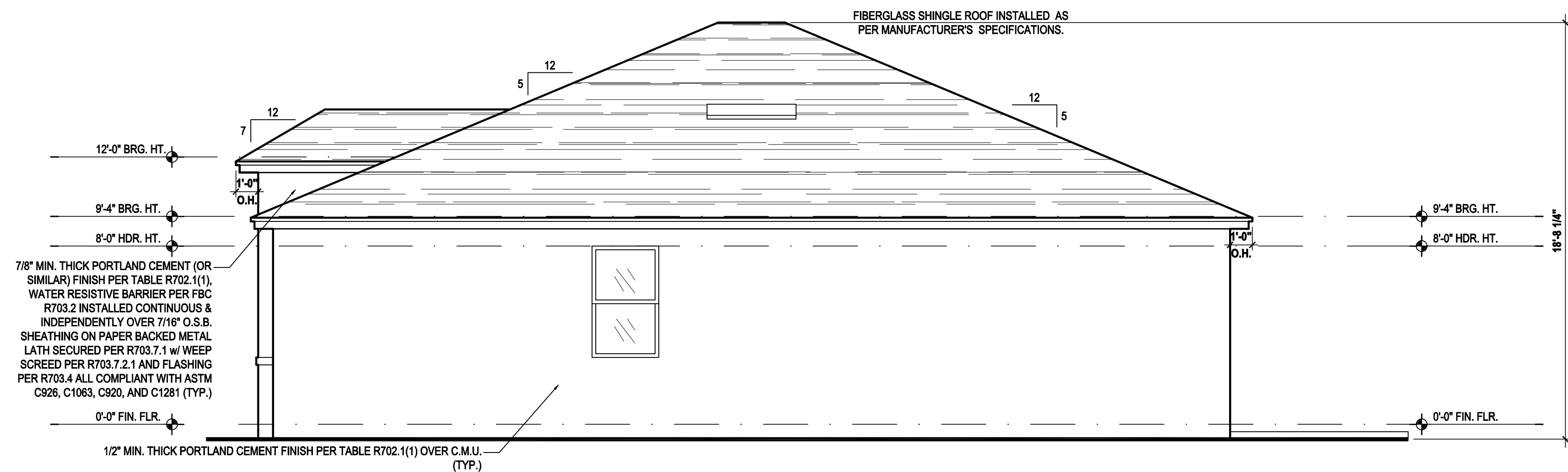
A4.B1

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Left Elevation "C"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

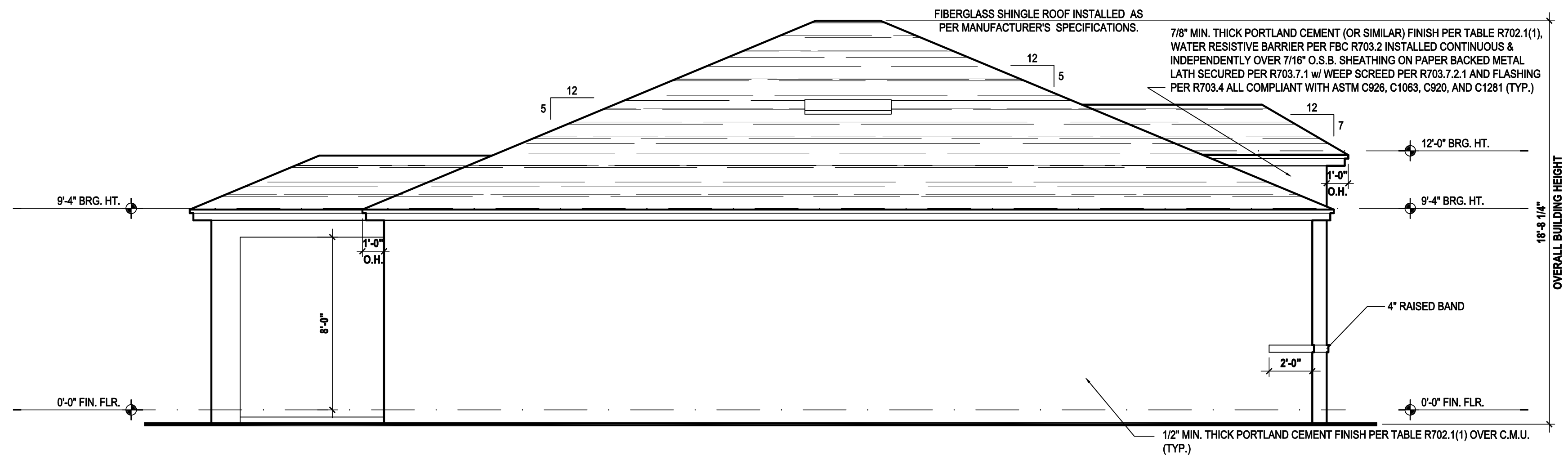


Right Elevation "C"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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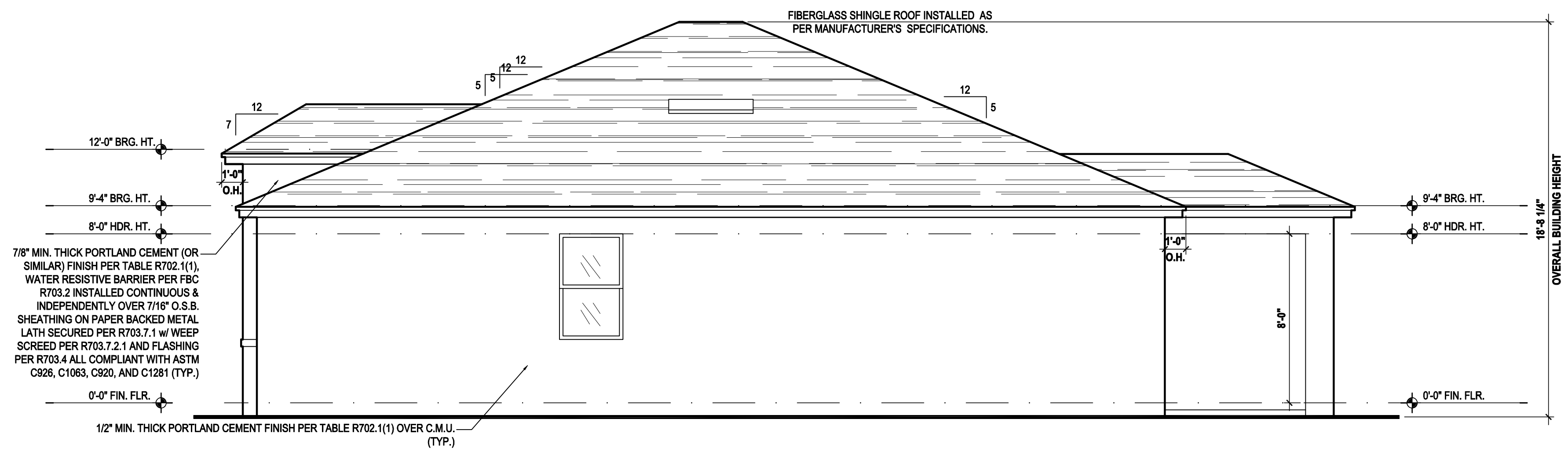




### Left Elevation "C"

(Opt. Lanai)

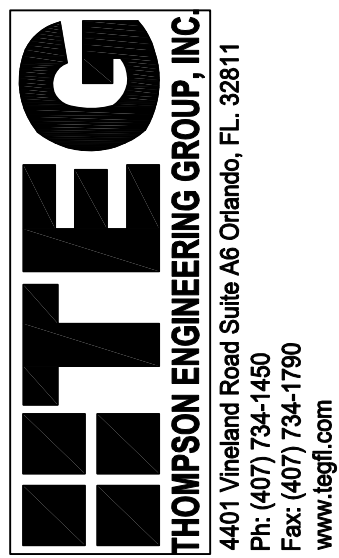
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(Opt. Lanai)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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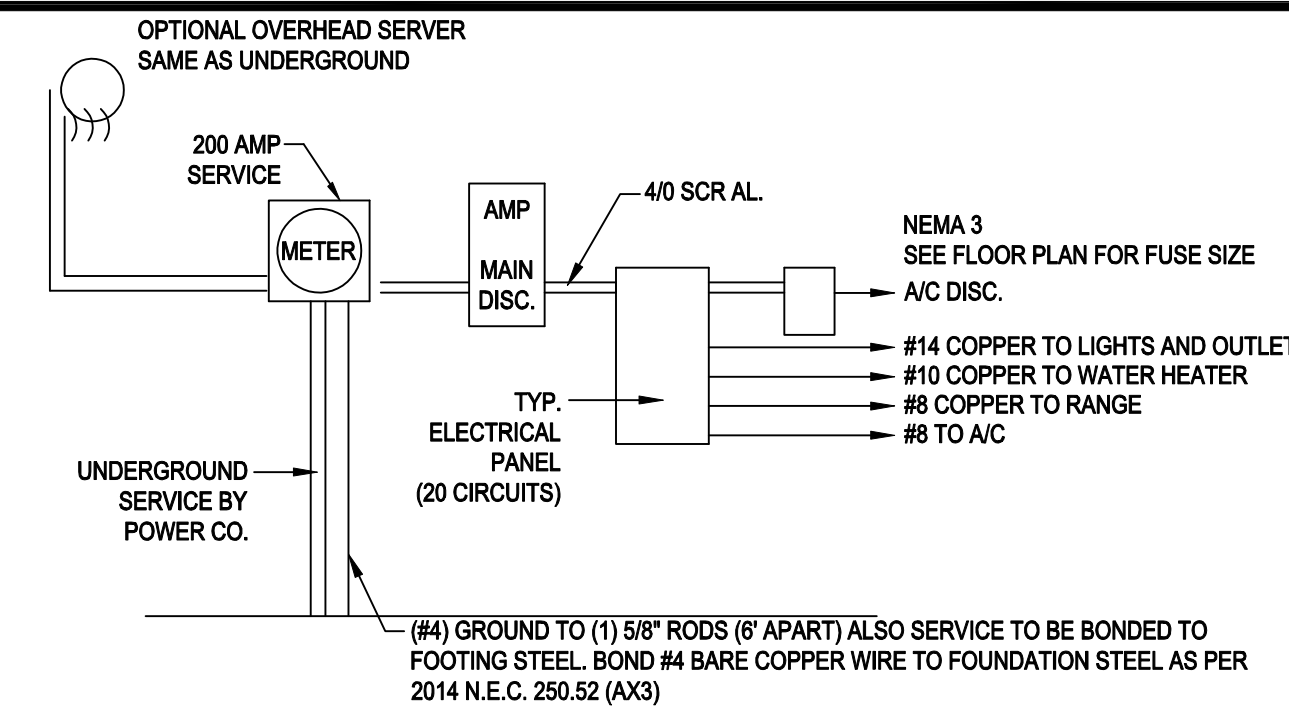
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ELEVATIONS  
A4.C1

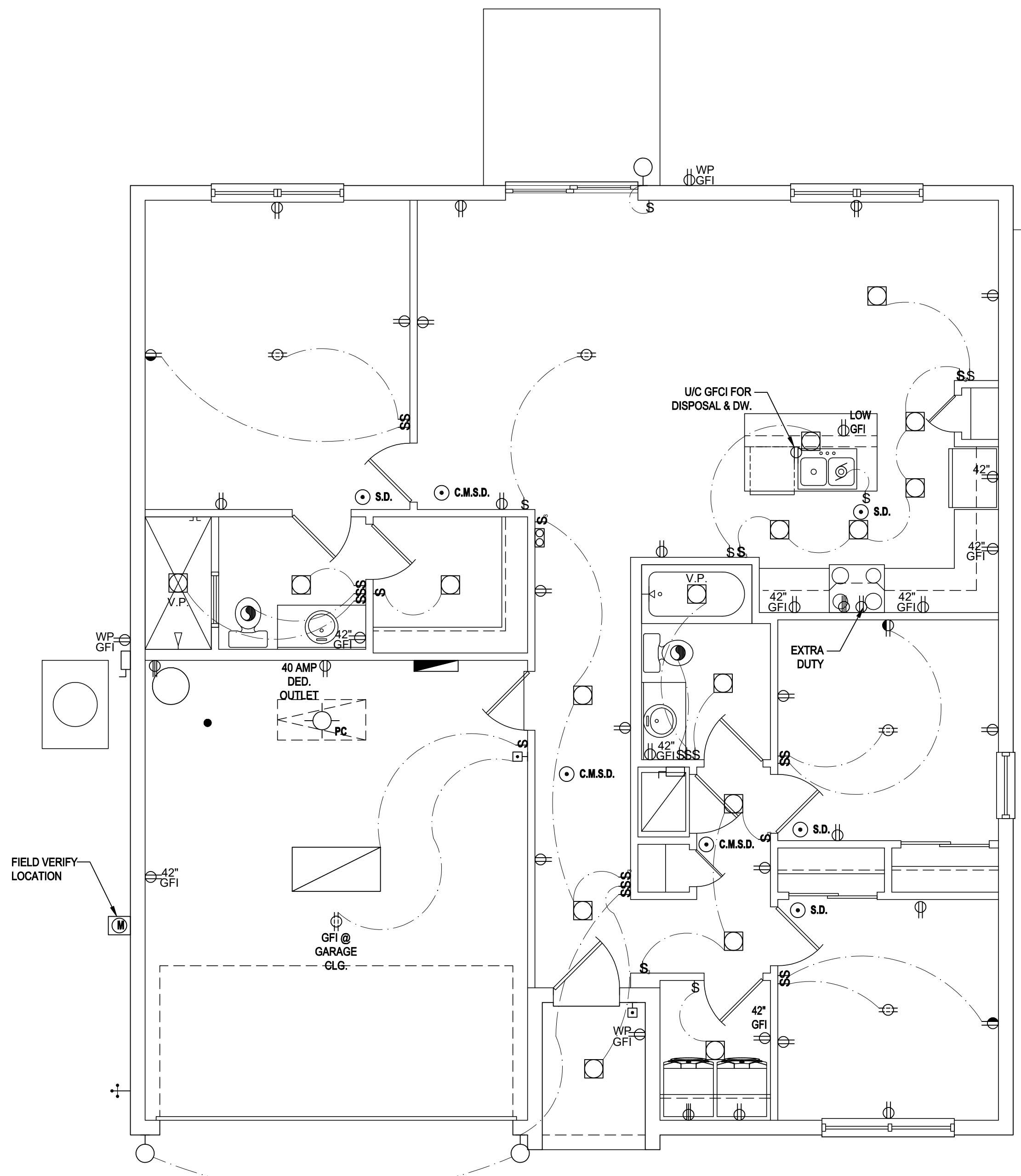
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## 200 AMP ELECTRICAL RISER



## GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
- ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
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- ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
- ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
- DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
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- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 8'-0" HEIGHT VANTY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
- IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

**NOTES:**

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## ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPERNER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

## Electrical Plan "A,B,C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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**GOBA**  
 GREATER ORLANDO BUILDERS ASSOCIATION

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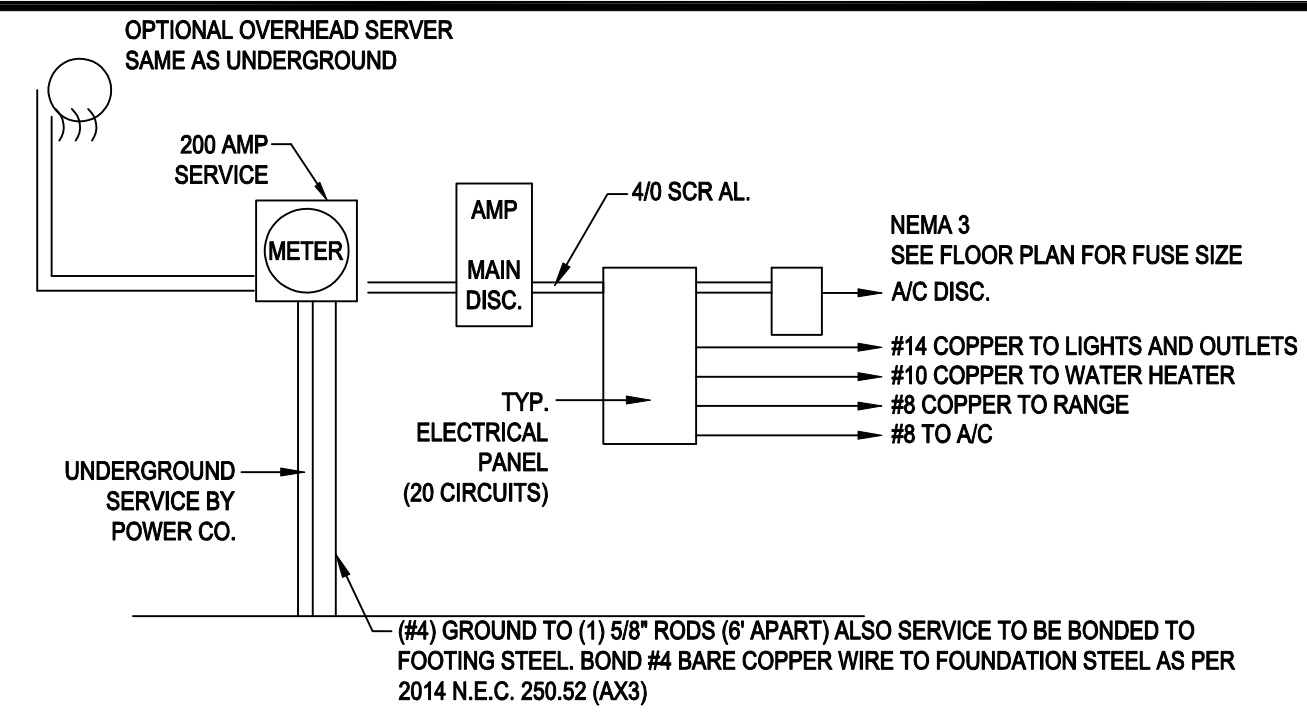
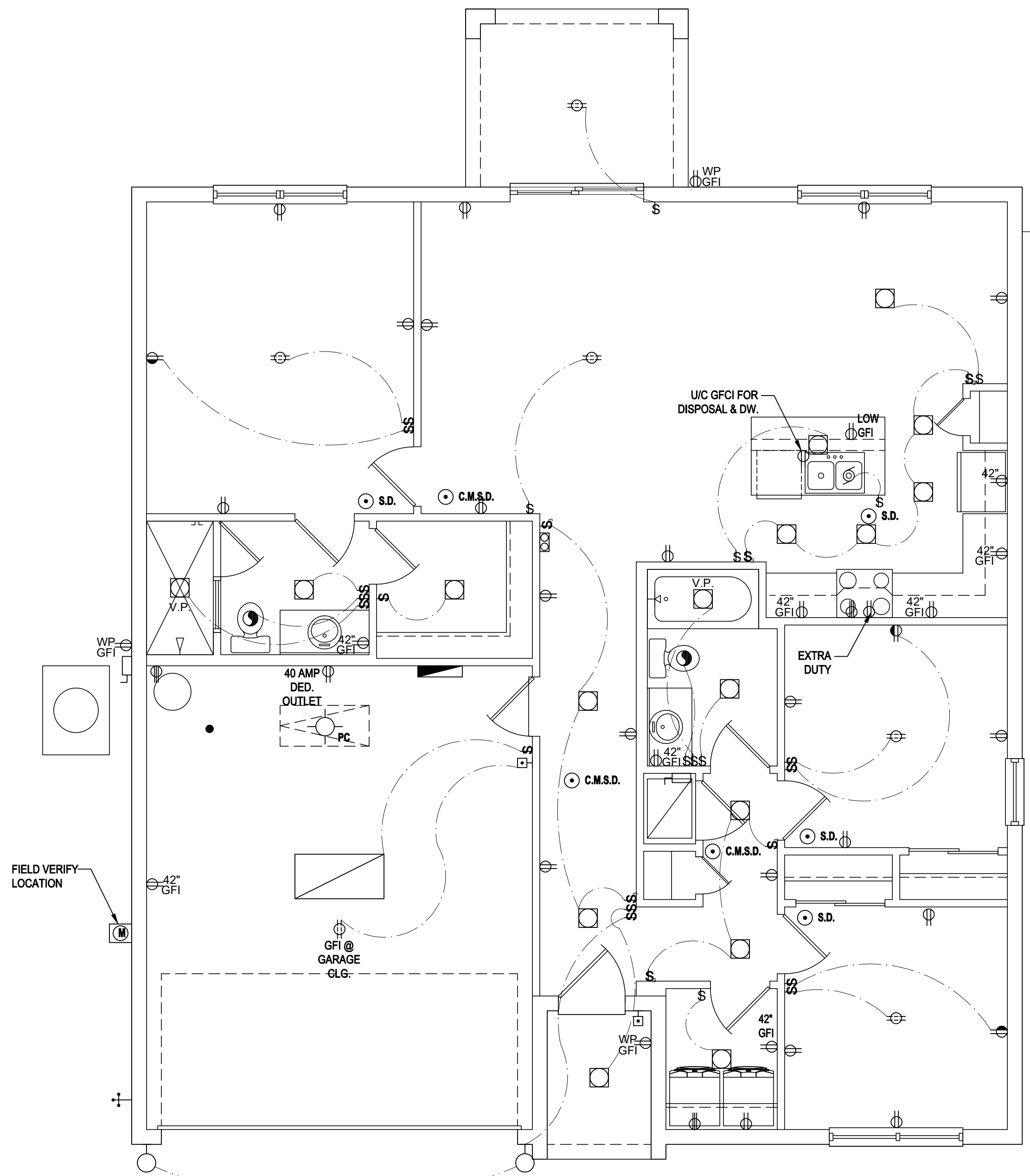
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DRAWN BY:	S.B.
DESIGNED BY:	MJS

ELECTRICAL LAYOUT  
**A5**

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	1/2 HOT, 1/2 SWITCHED
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	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

Electrical Plan "A,B,C"  
(Opt. Lanai)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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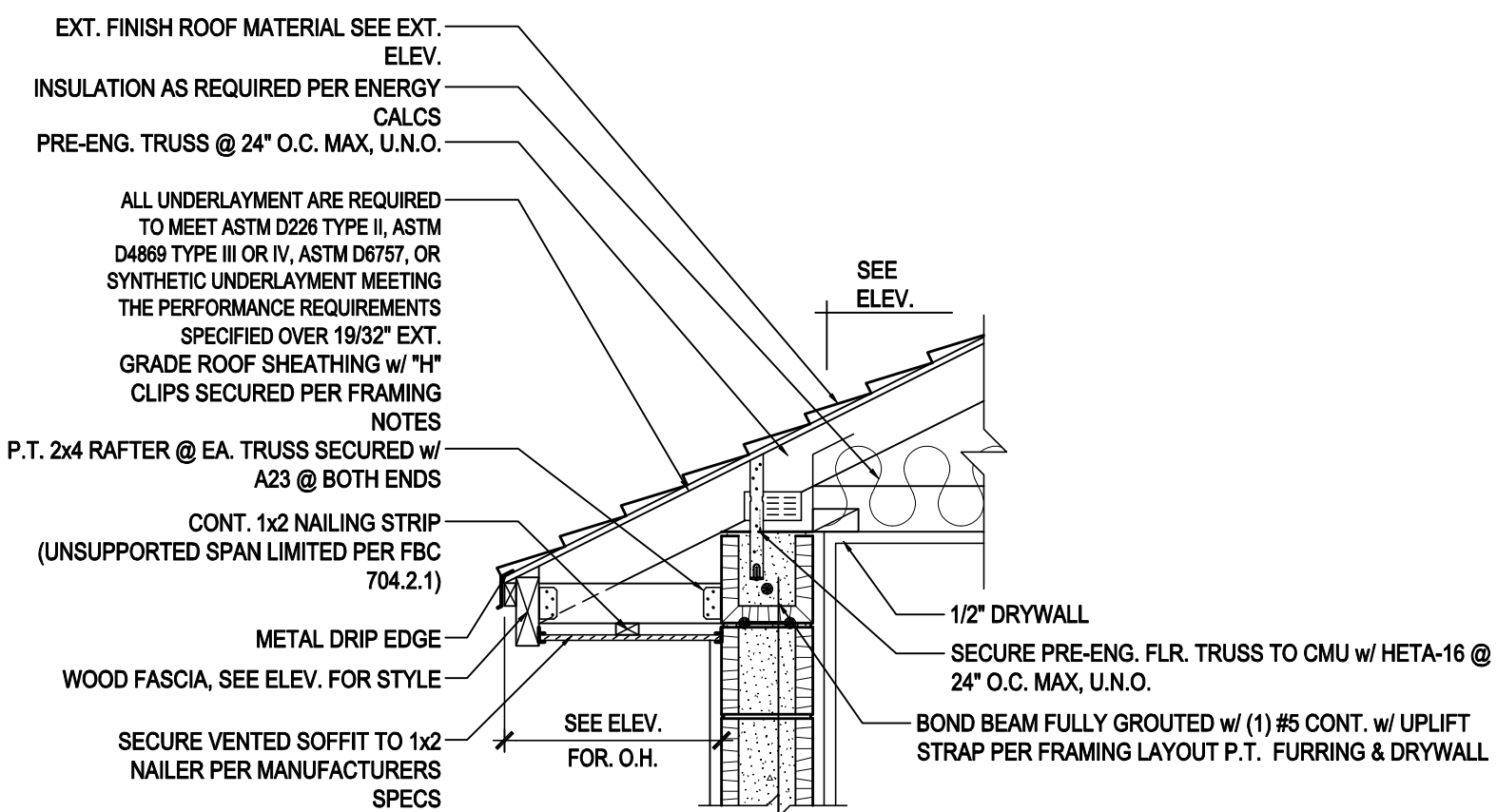
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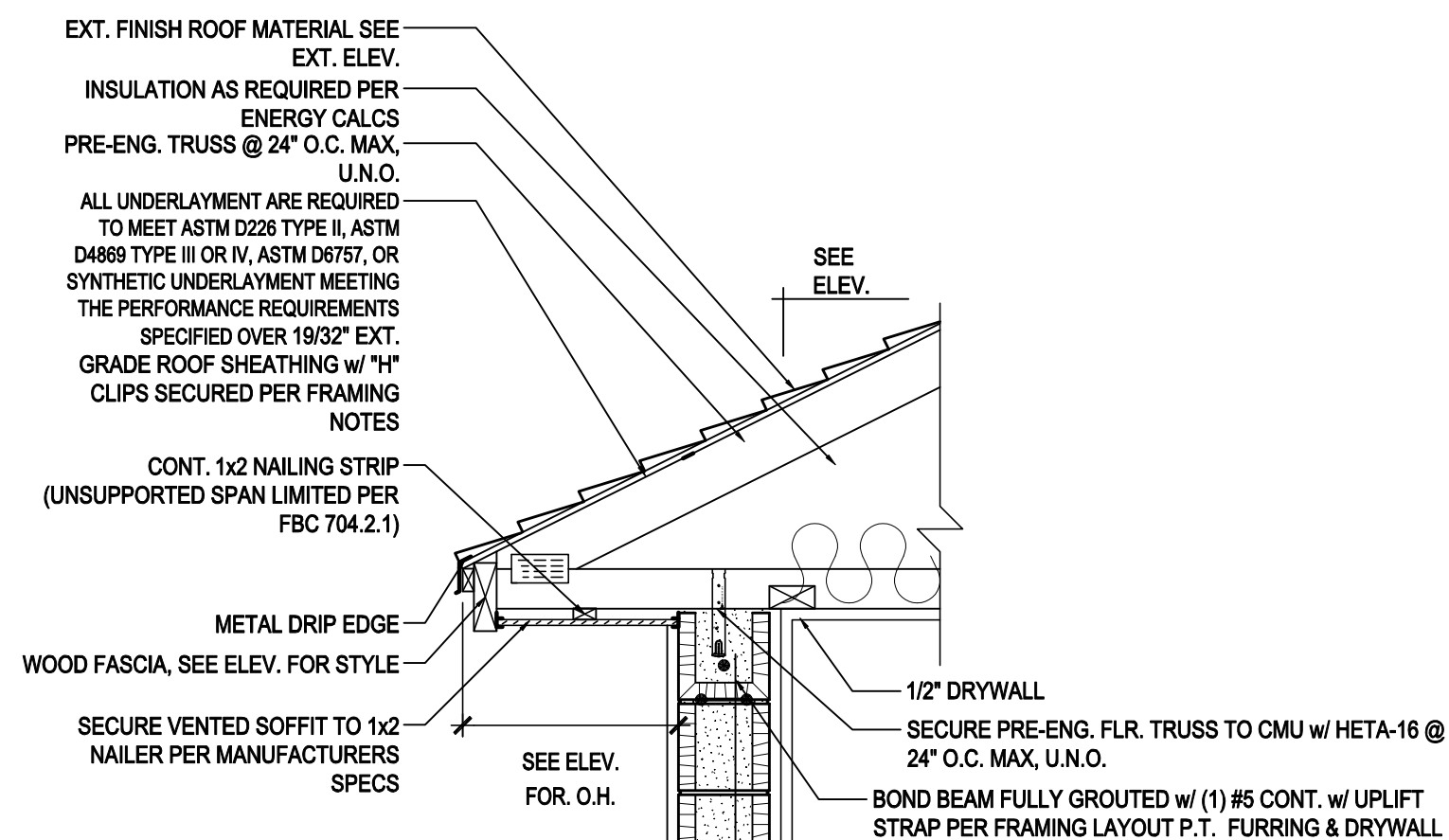
ELECTRICAL LAYOUT  
**A5.1**

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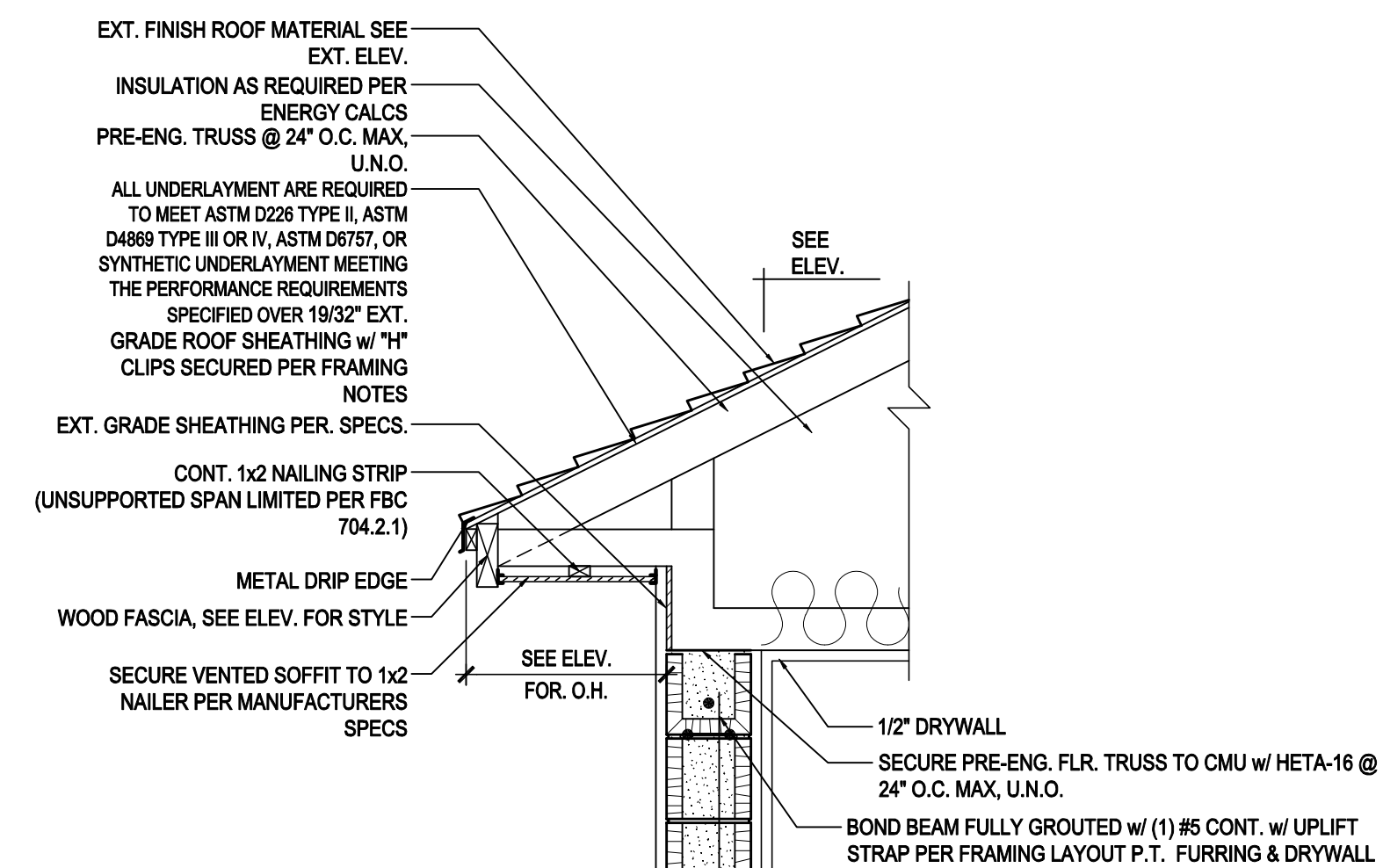
NOTE: ROOF UNDERLAYMENT SHALL COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS IN ACCORDANCE WITH R905.33 - FBC 2020 7TH EDITION



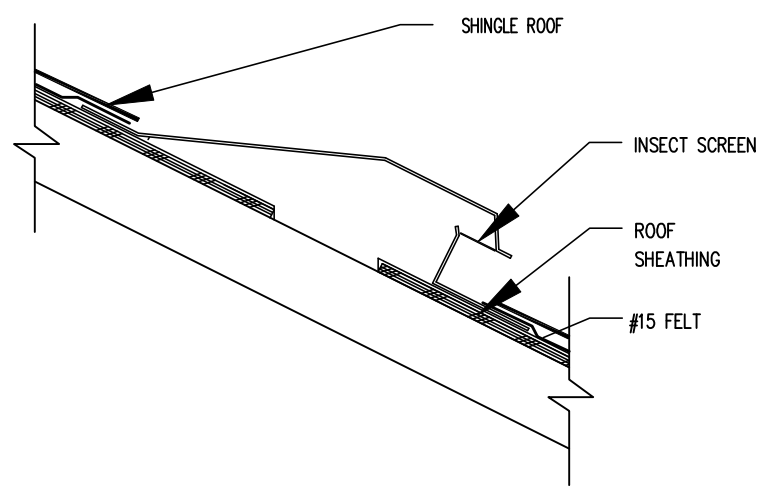
NOMINAL HEEL CONDITION



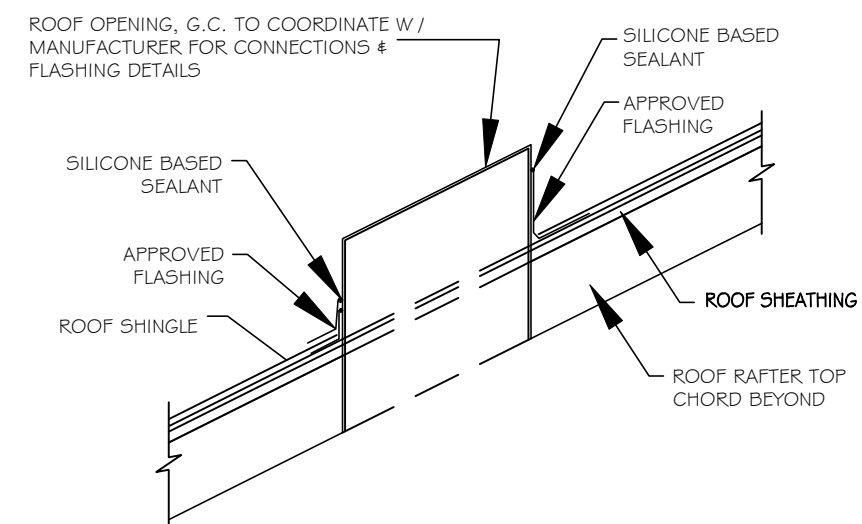
CANTILEVERED BTM. CHORD CONDITION



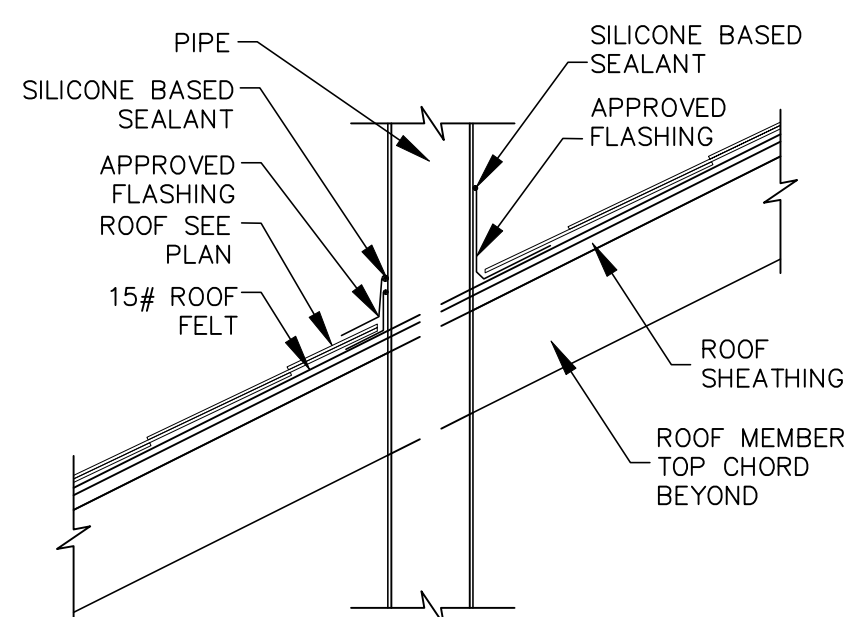
RAISED HEEL CONDITION



OFF-RIDGE VENT PENETRATION THRU ROOF



OPENING PENETRATION THRU ROOF

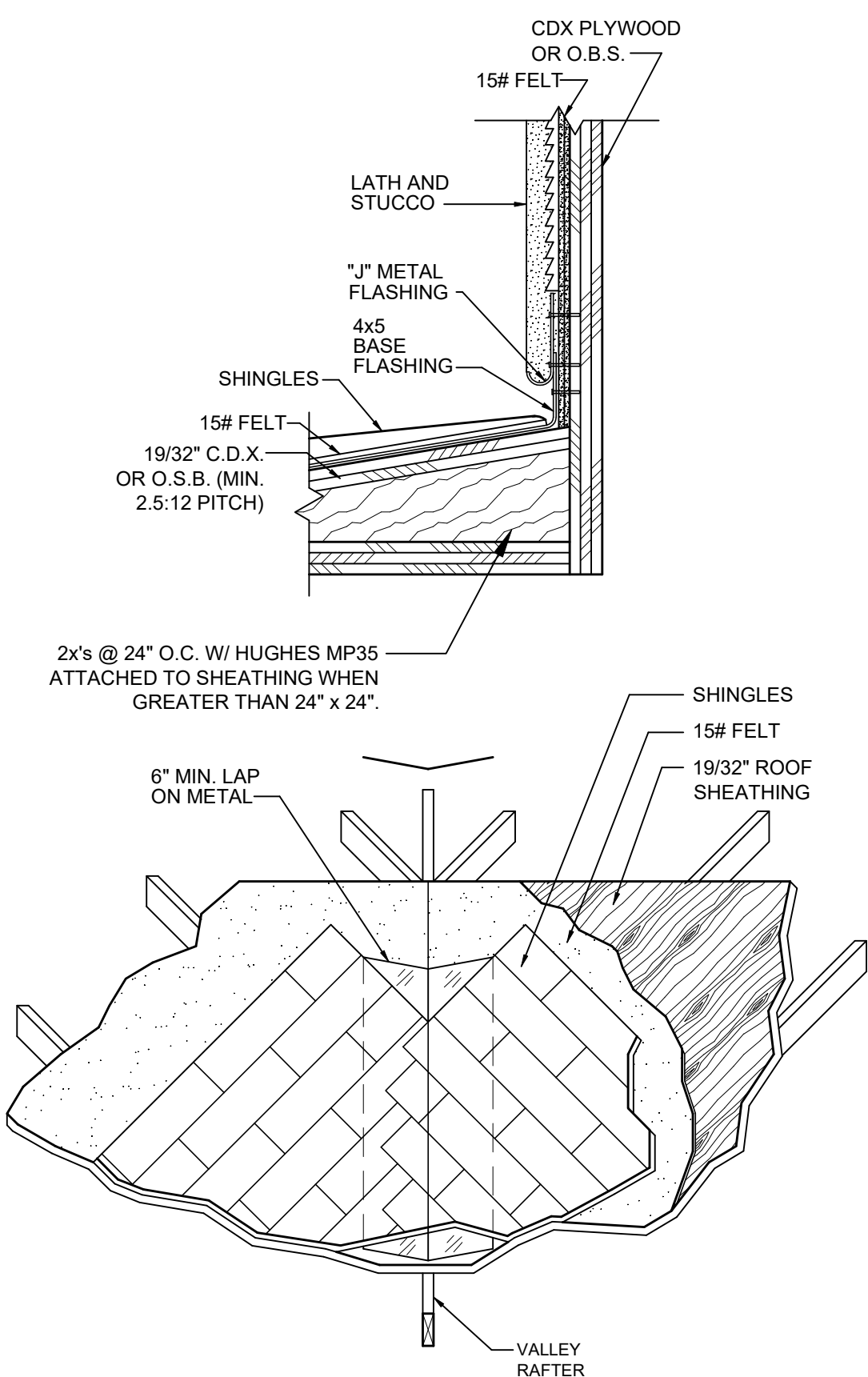


PIPE PENETRATION THRU ROOF

2 ROOF PENETRATION DETAIL

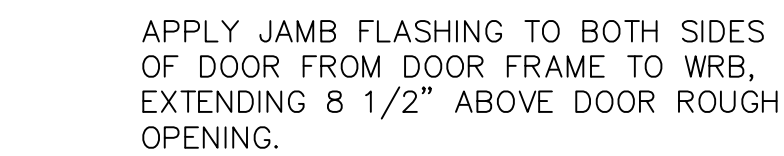
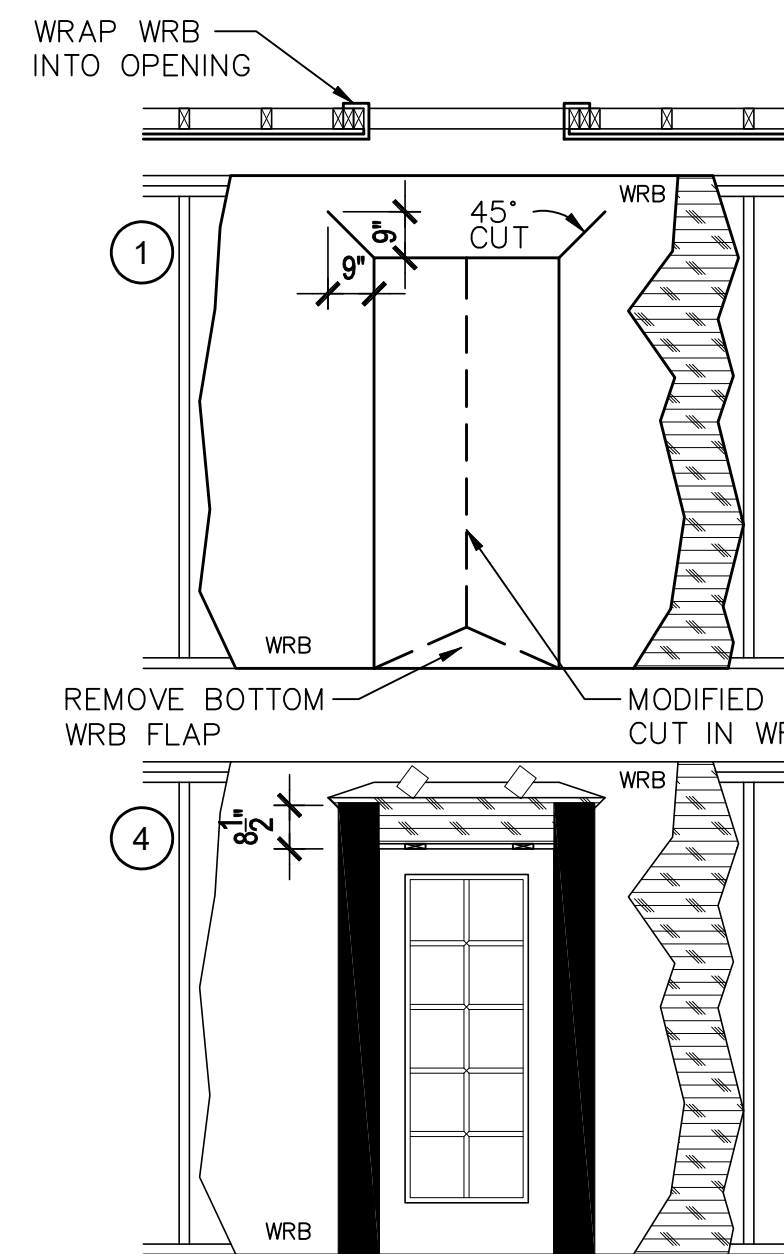
SCALE: N.T.S.

NOTE: FLASHING DETAIL TO COMPLY WITH R903.2 OF THE FBC 2020 - 7TH EDITION



3 CRICKET/FLASHING DETAIL

SCALE: N.T.S.



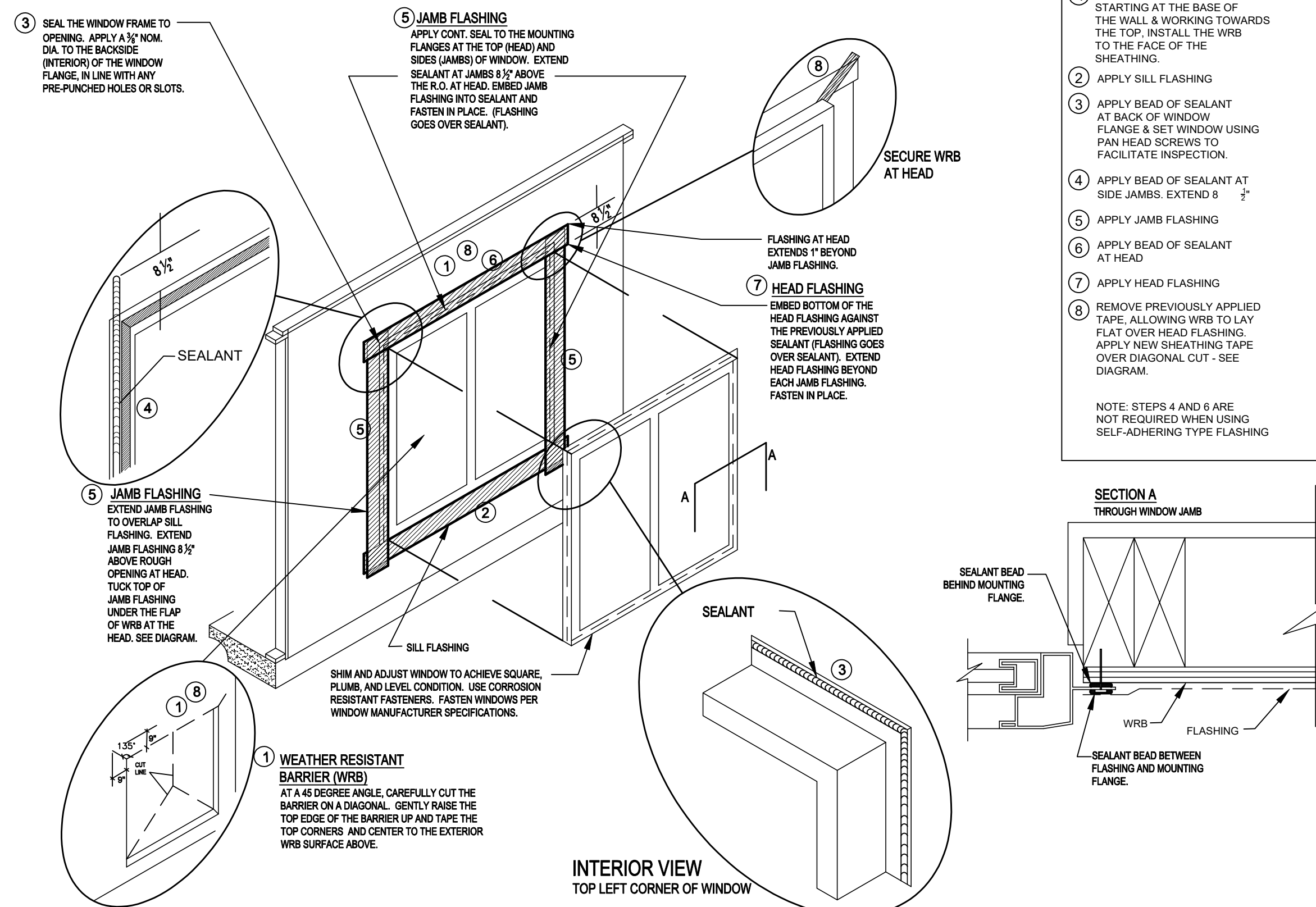
EXTERIOR DOOR FLASHING

NOTE: ALL FLASHING WILL BE SELF ADHEARING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.

SCALE: N.T.S.

WINDOW INSTALLATION (METHOD A-1) (ASTM E 2112-01)

WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



WINDOW FLASHING "METHOD A-1"

NOTE: ALL FLASHING WILL BE SELF ADHEARING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.

SCALE: N.T.S.

1 SOFFIT OVERHANG DETAIL

SCALE: N.T.S.



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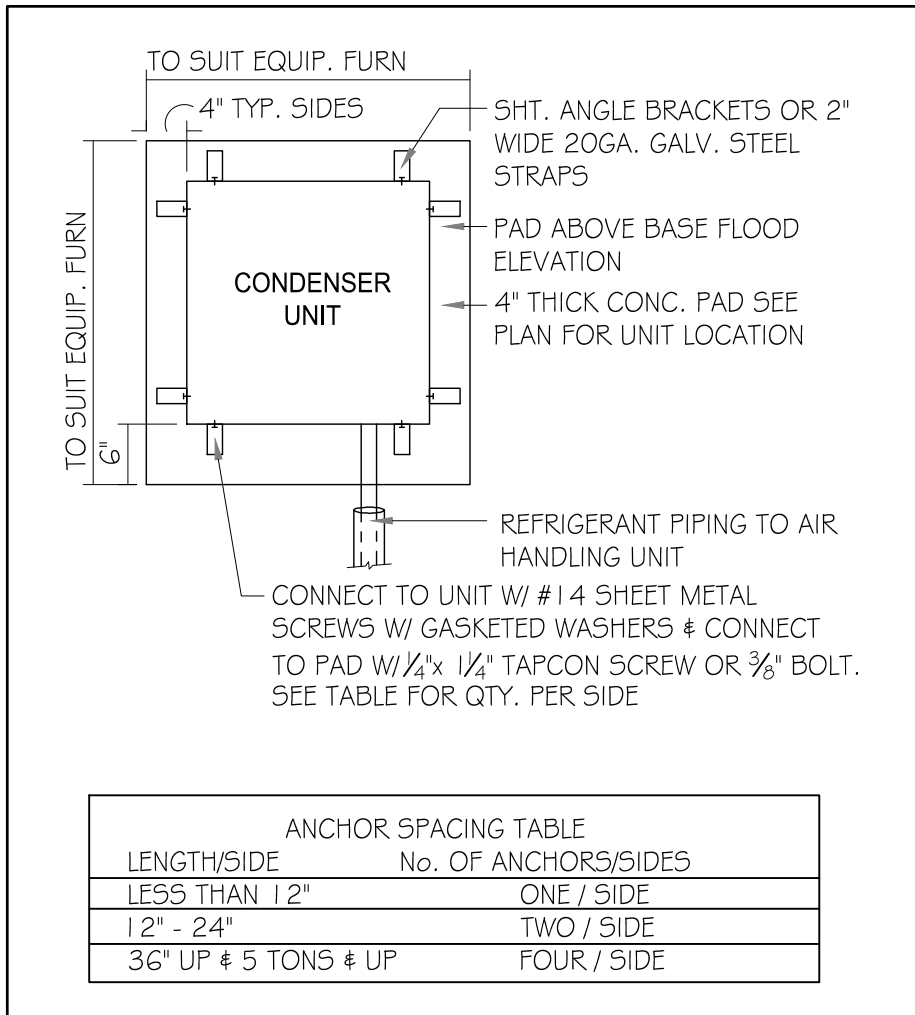
"SPARK"  
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Lot # - Subdivision  
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5200 Vineland Rd. Suite # 200  
Orlando, FL. 32811  
Phone: (407) 529-3000



ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

DETAILS  
A6



**1 COND. ANCHOR DETAIL**  
N.T.S.

**FIELD REPAIR NOTES**

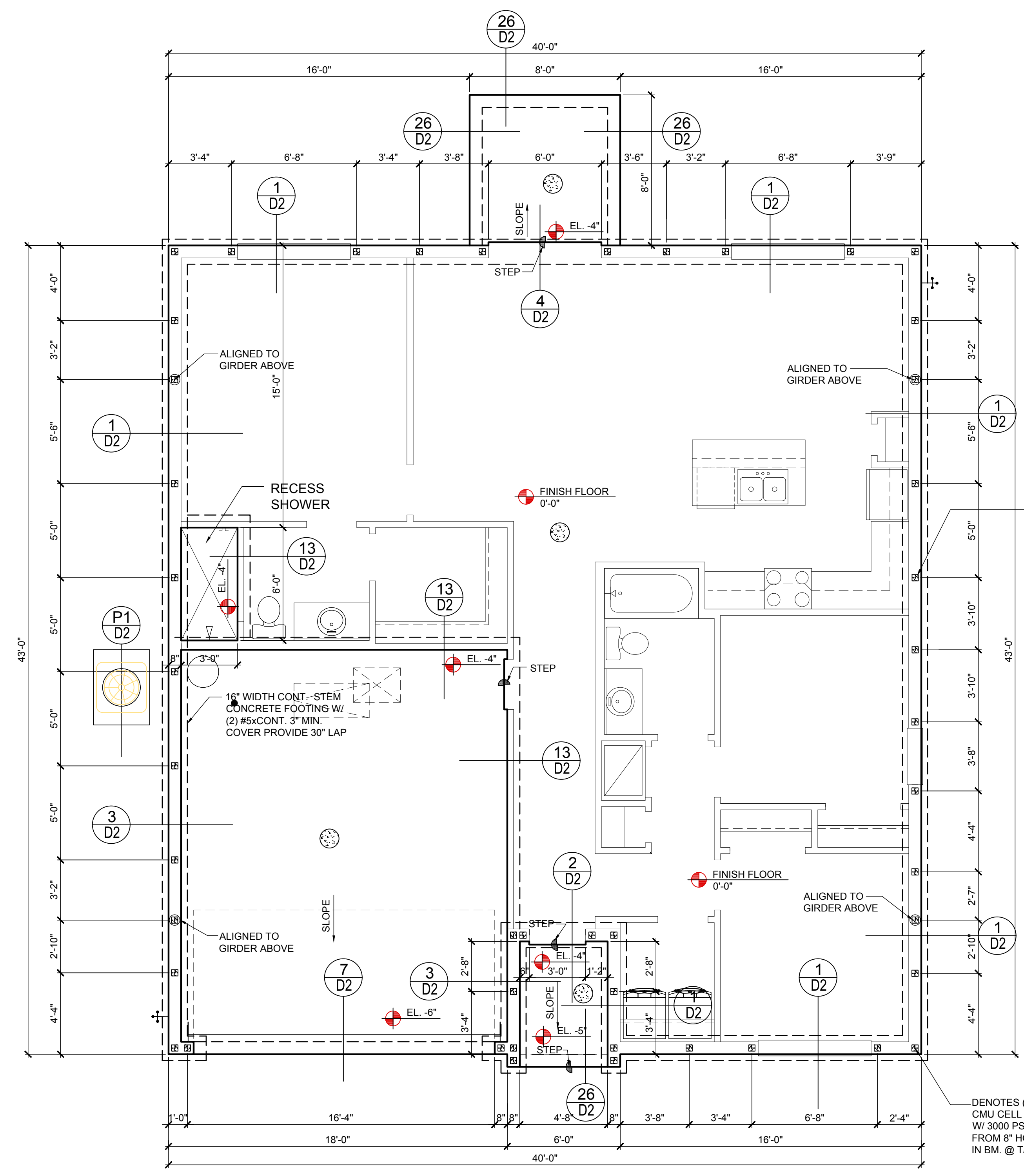
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**FOUNDATION PLAN**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

**HITEG**  
THOMPSON ENGINEERING GROUP, INC.  
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www.legit.com

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**MJS**  
designers group  
residential-commercial-architecture

**AI BID**

**GOBA**  
GREATER ORLANDO BUILDERS ASSOCIATION

"SPARK"  
40-1301  
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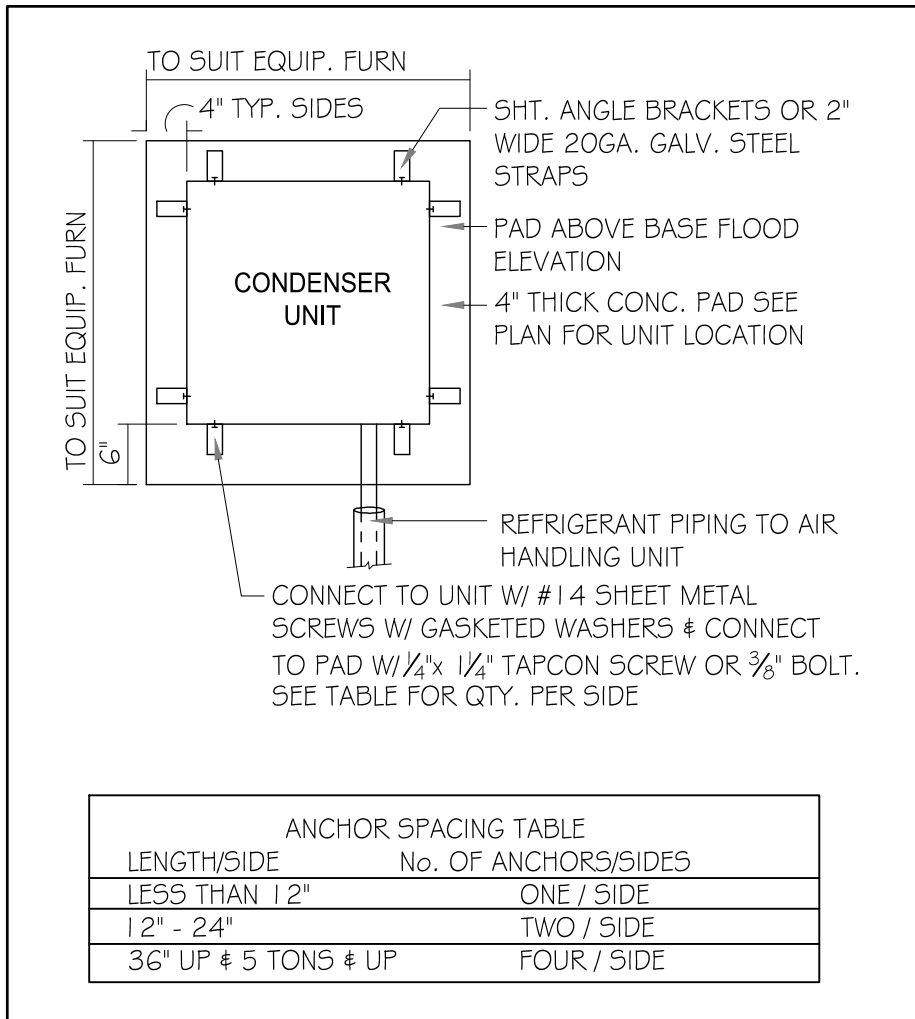
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5200 Vineland Rd. Suite #200  
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Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 09/12/2017  
REVISIONS:  
PROJECT: 17-0102  
SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS

FOUNDATION PLAN  
A,B,C (STANDARD)  
**S1**

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# 1 COND. ANCHOR DETAIL

N.T.S.

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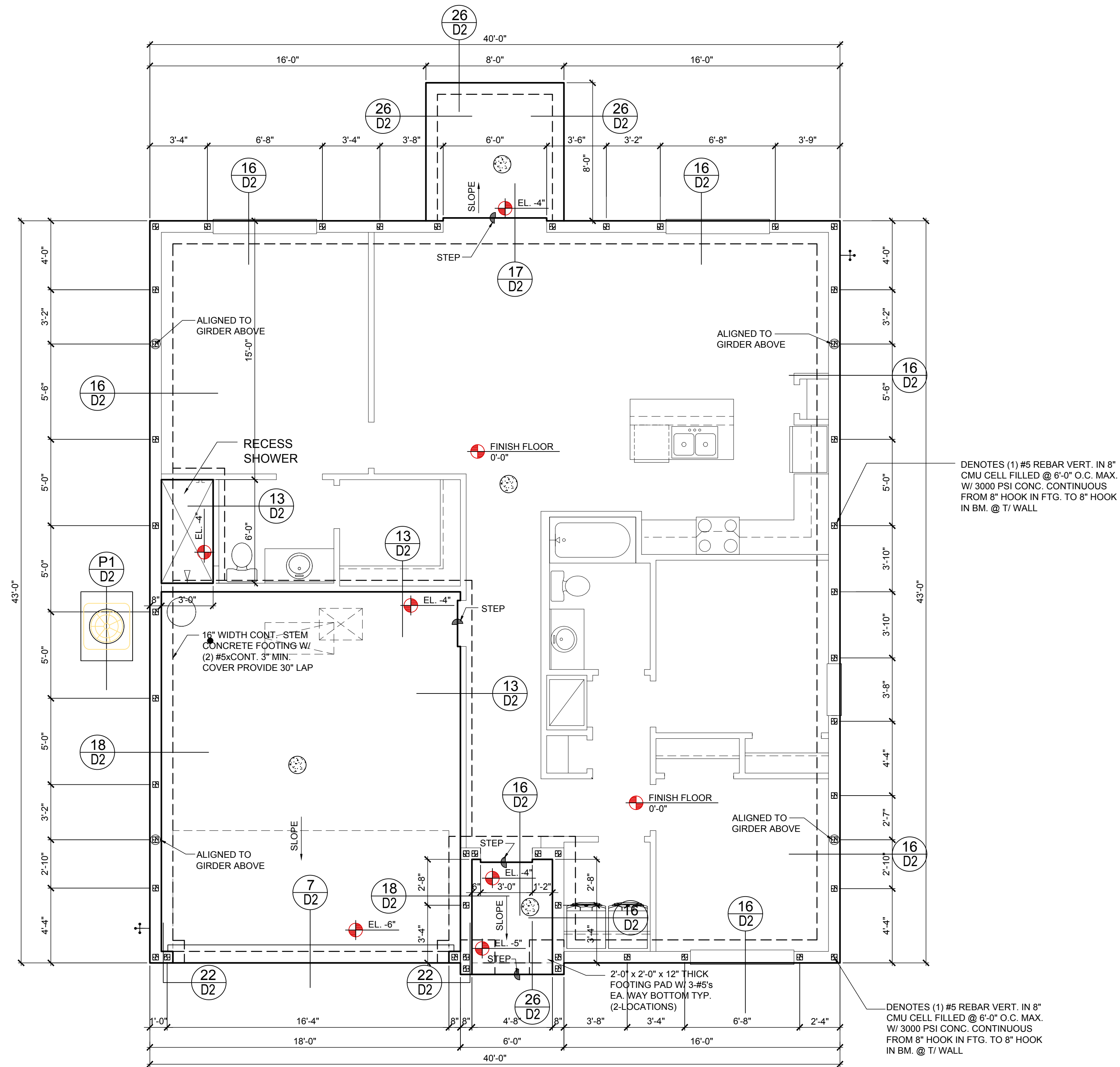
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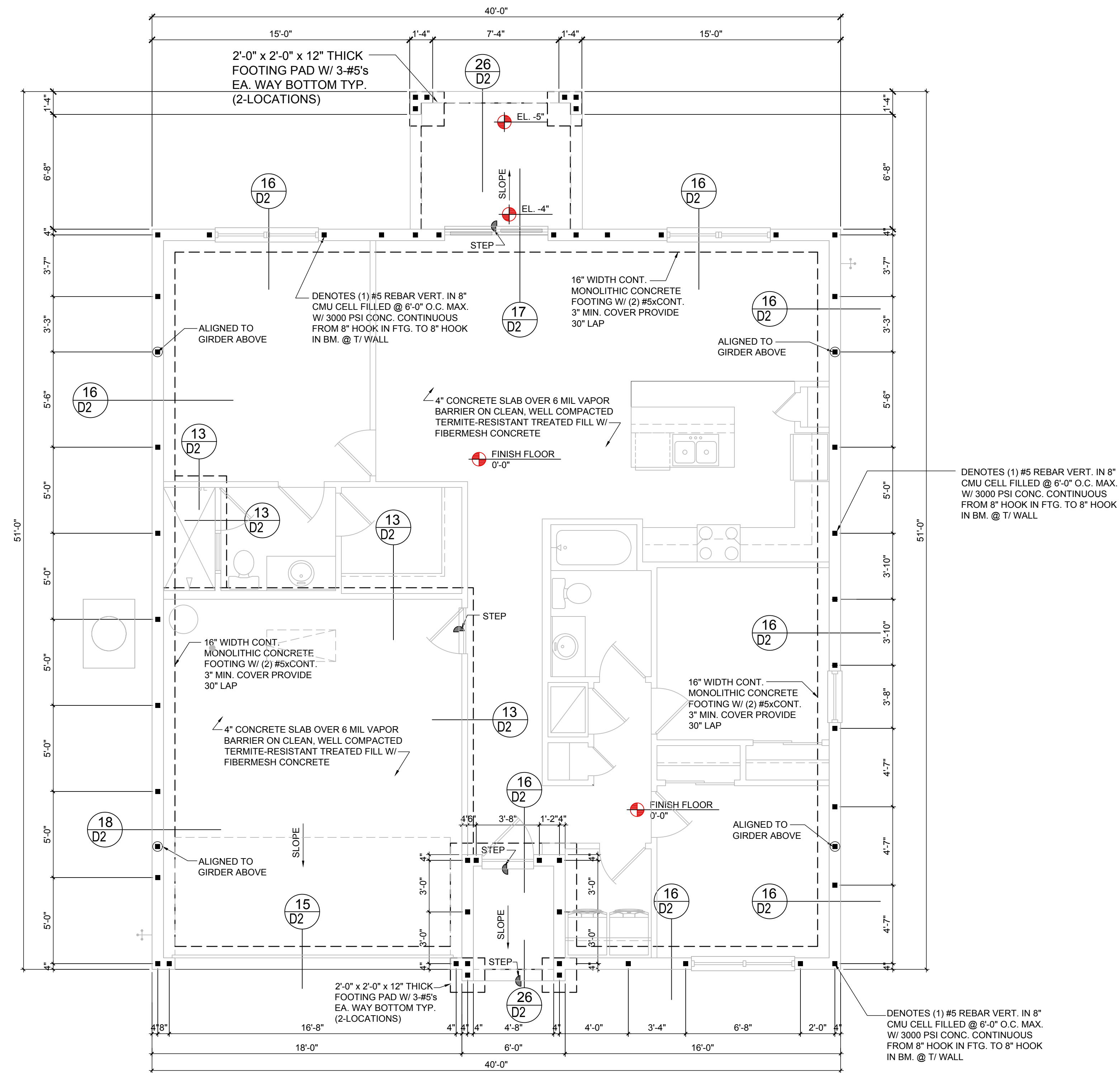
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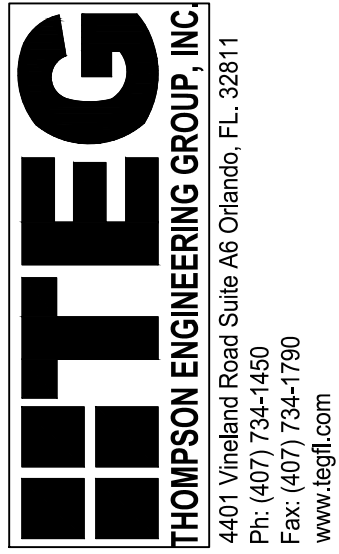
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ISSUE DATE 09/12/2017

REVISIONS

PROJECT: 17-0102  
SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS

FOUNDATION PLAN  
A,B,C (STANDARD)  
S1.1

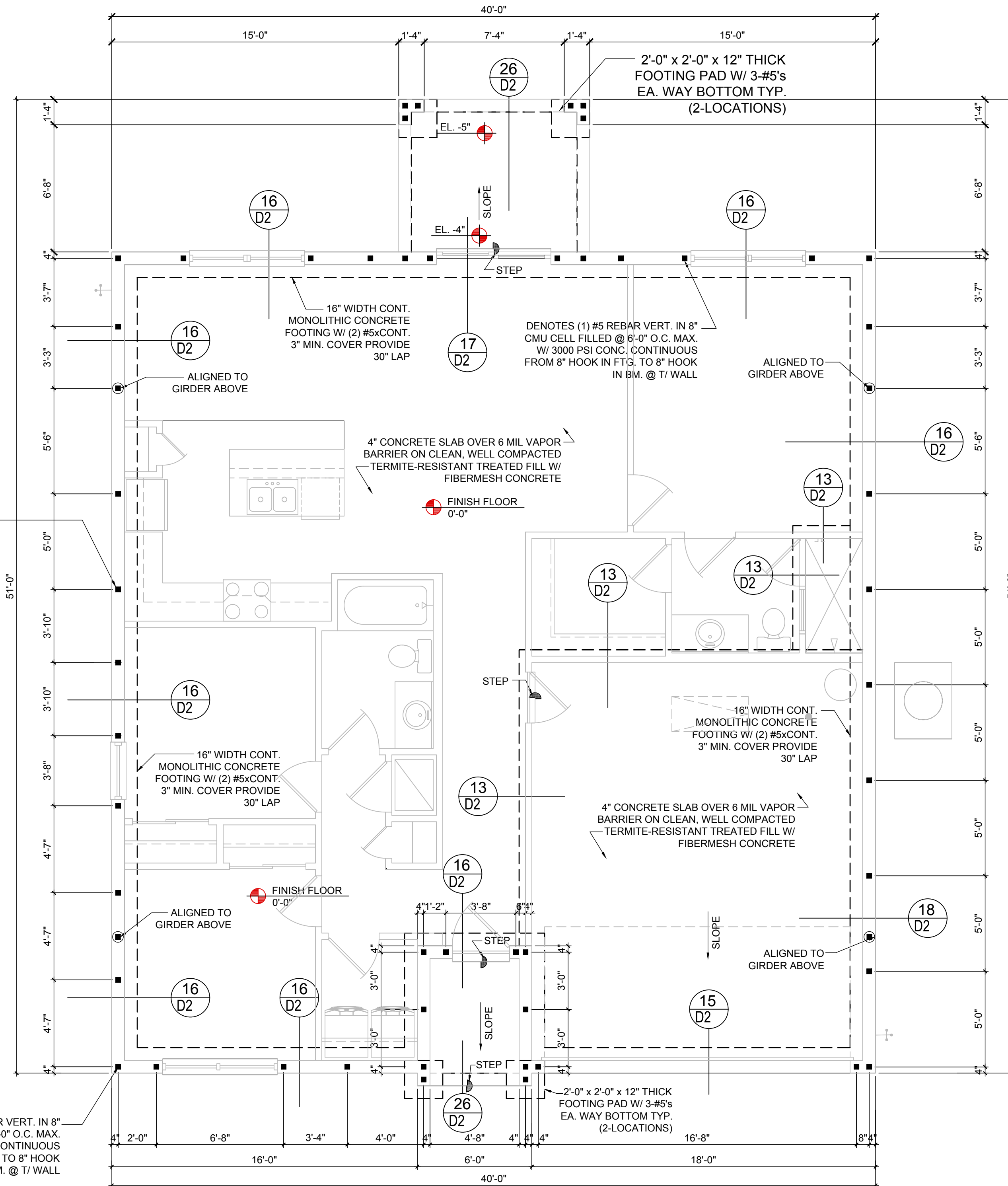
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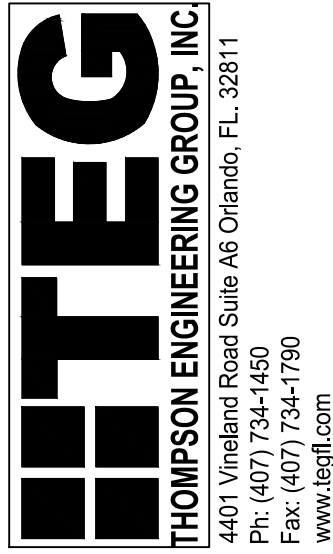
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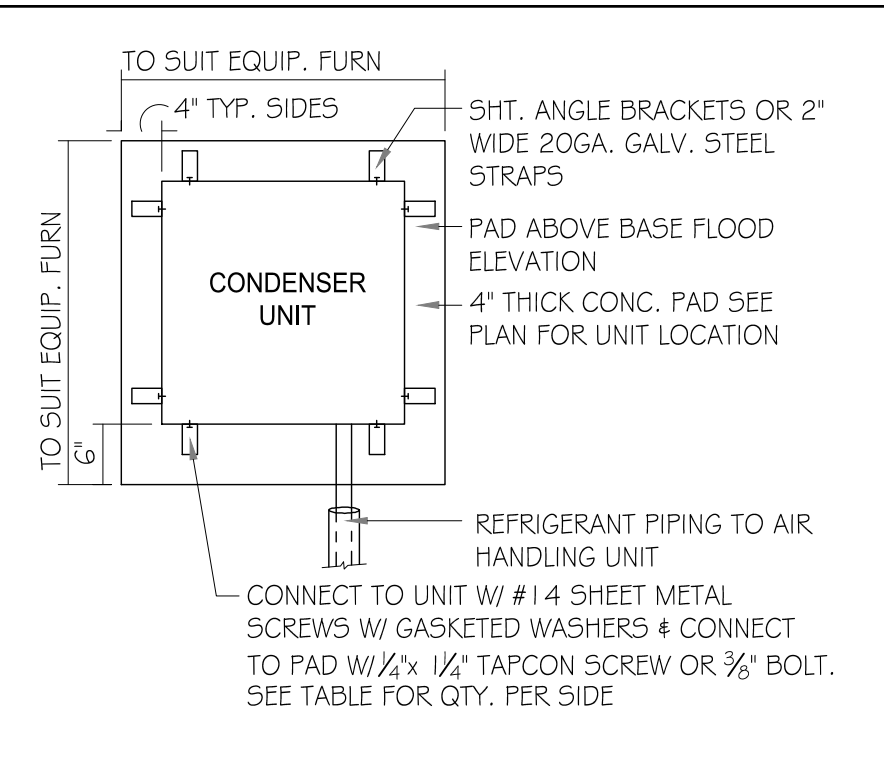
DRAWN BY: S.B.

DESIGNED BY: MJS

FOUNDATION PLAN  
A,B,C (STANDARD)

S1.1





ANCHOR SPACING TABLE	
LENGTH/SIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP & 5 TONS & UP	FOUR / SIDE

**1 COND. ANCHOR DETAIL**  
N.T.S.

**FIELD REPAIR NOTES**

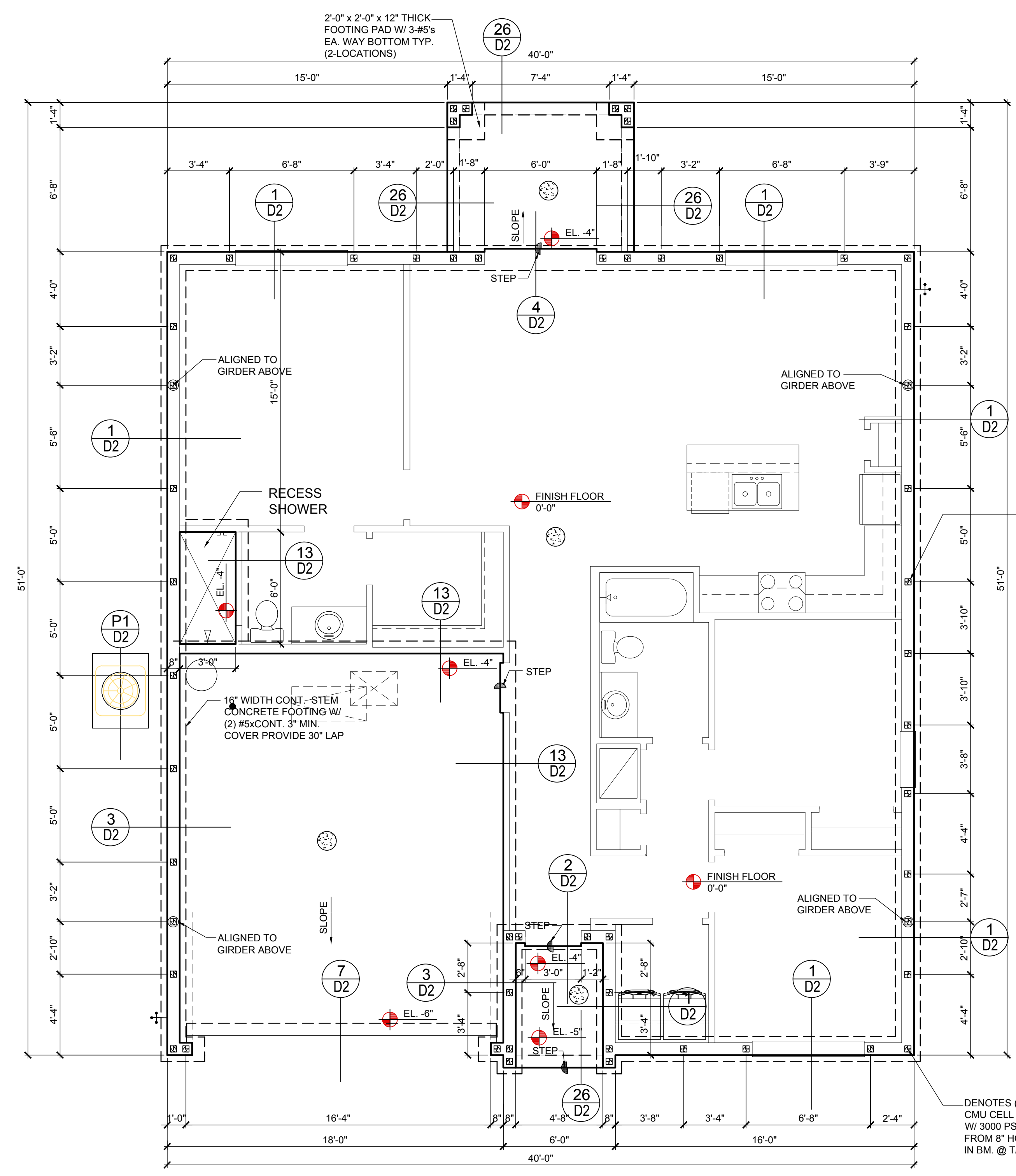
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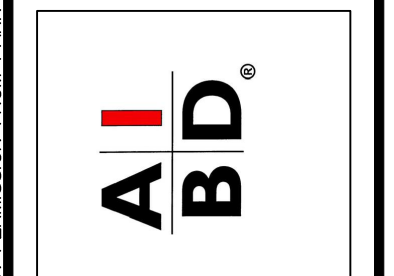
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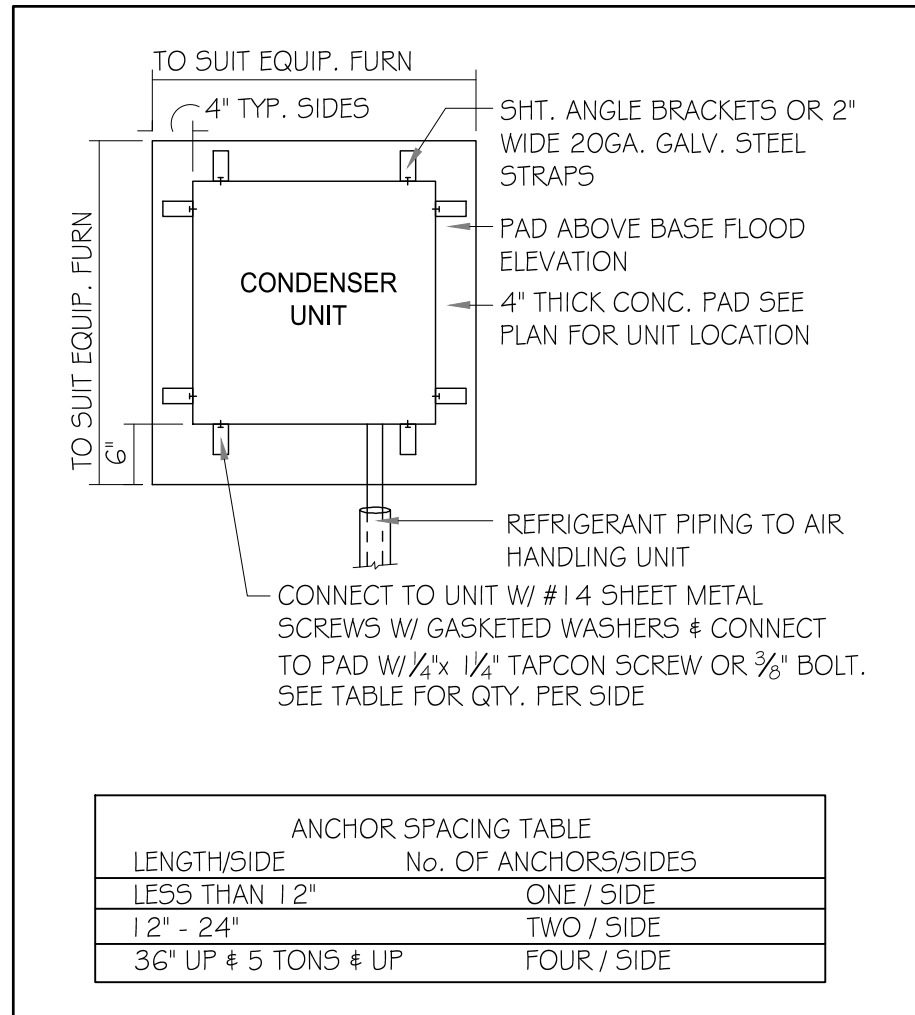
A division of Park Square Enterprises Inc.  
5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

FOUNDATION PLAN  
A,B,C (STANDARD)  
**S1.1**

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ANCHOR SPACING TABLE	
LENGTH/SIDE	No. OF ANCHORS/SIDES
LESS THAN 12"	ONE / SIDE
12" - 24"	TWO / SIDE
36" UP & 5 TONS & UP	FOUR / SIDE

**1 COND. ANCHOR DETAIL**  
N.T.S.

**FIELD REPAIR NOTES**

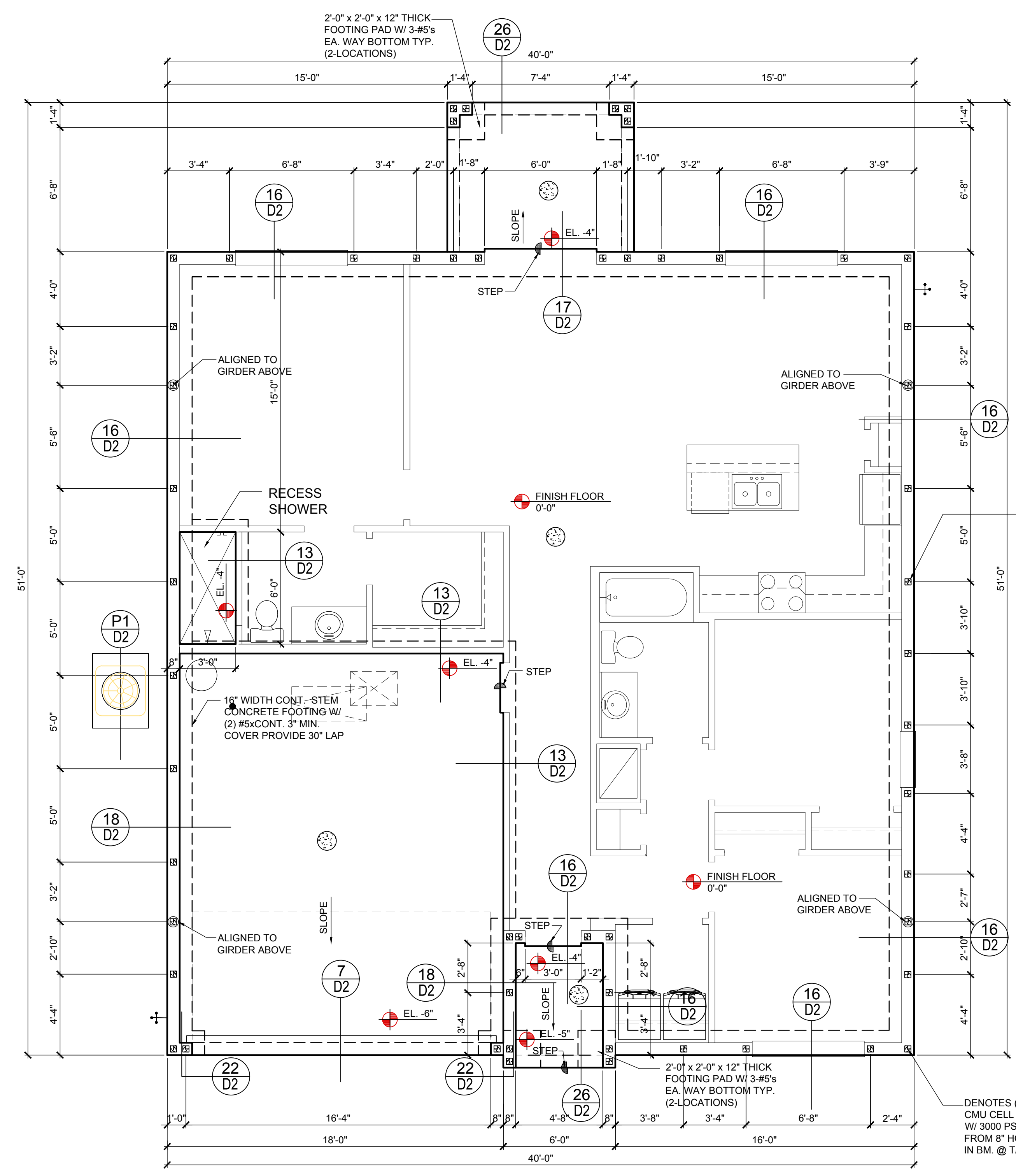
- 1- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- 2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/4" - REQUIRE SPECIAL ENGINEERING LETTER.
- 3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS 1 2 @ TOP AND BOTTOM PLATE.

**VERIFICATION OF FIELD CONDITIONS:**

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATIVE TO SAME. WHERE THERE ARE CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND DATA PRESENTED IN THE DRAWINGS, SUCH CONDITIONS SHALL BE CALLED TO THE ARCHITECT'S AND OR TO THE ENGINEER OF RECORD'S (EOR) ATTENTION AND NECESSARY ADJUSTMENTS MADE PER THEIR INSTRUCTIONS.

**FOUNDATION NOTES**

1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. ■ DENOTES FILL CELL REINF. W/ CONC. W/ 1-#5 REBAR. GRADE 60.  
● DENOTES FILL CELL RE. W/ CONC. W/ 2-#5 REBAR. GRADE 60
3. ● DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 3000 P.S.I. 4" THICK WITH G&G 10/10 GAUGE REINFORCING MAT. W/ MIN. 0.006mm (6mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WWF SHALL BE PLACE IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. \*FIBER MESH REINFORCEMENT MAY USED AS ALTERNATIVE TO WIRE.
4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
5. WATER HEATER T&P RELIEF VALVE SHALL E FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL 61-FALL E IN A FAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE
6. PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
7. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
8. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CA BE PREMISE 75 WP TERMICIDE.
9. BORA -CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.



**FOUNDATION PLAN**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)

**ITEG**  
THOMPSON ENGINEERING GROUP, INC.  
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Fax: (407) 734-1790  
www.iteg.com

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**MJS**  
designers group  
residential-commercial-architecture

**AIBID**

**GOBA**  
GREATER ORLANDO BUILDERS ASSOCIATION

"SPARK"  
40-1301  
Lot # - Subdivision  
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**Park Square HOMES**

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FOUNDATION PLAN  
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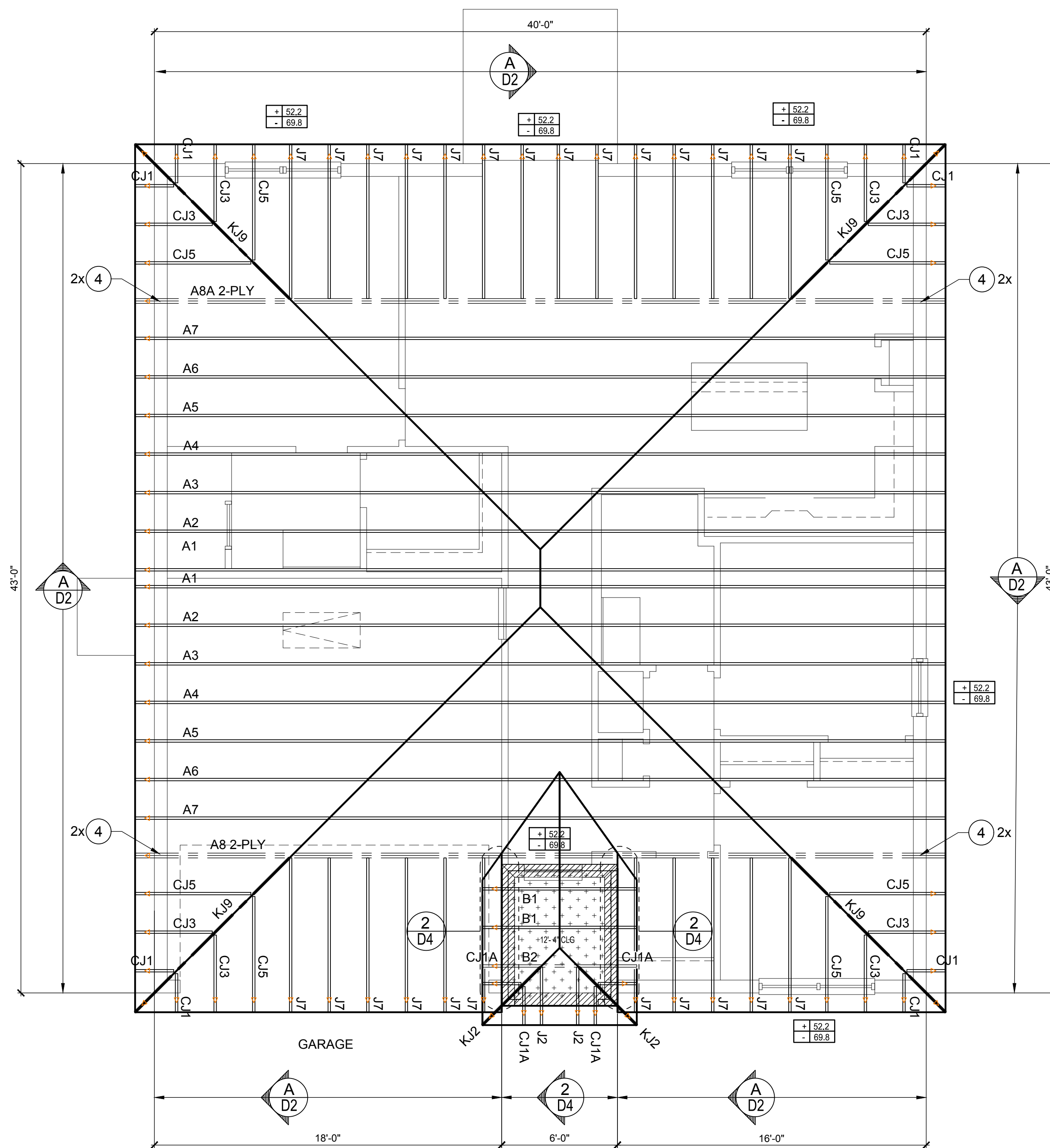
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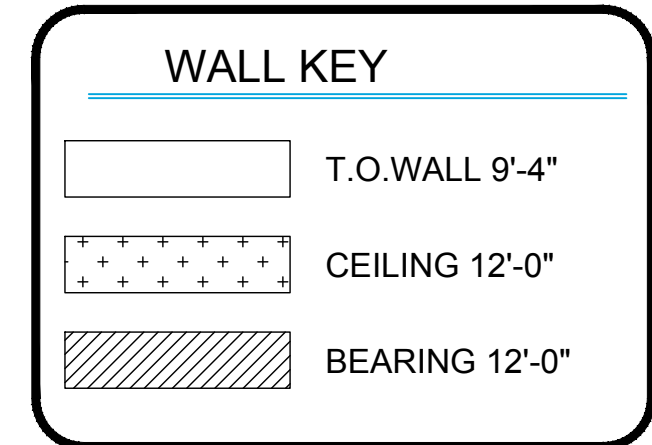


# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-3/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3"(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



**ROOF FRAMING PLAN**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)



**COMPONENT & CLADDING DESIGN WIND PRESSURES**

SEE PLAN DESIGN WIND PRESSURE

+ .XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- .XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

**FIELD REPAIR NOTES**

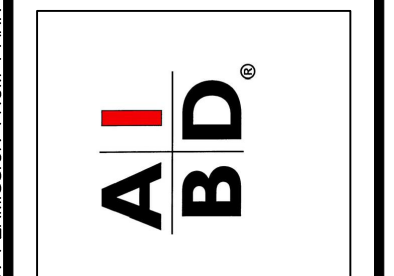
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**NOTES**

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCS1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:  
- LOMANCO: (2) 9/8" DIA. CIRCLES  
- MILLENNIUM METAL: 2 1/2"x46" HOLE



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Altamonte Springs, FL 32701  
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Fax: (407) 629-6776  
www.mjshome.com  
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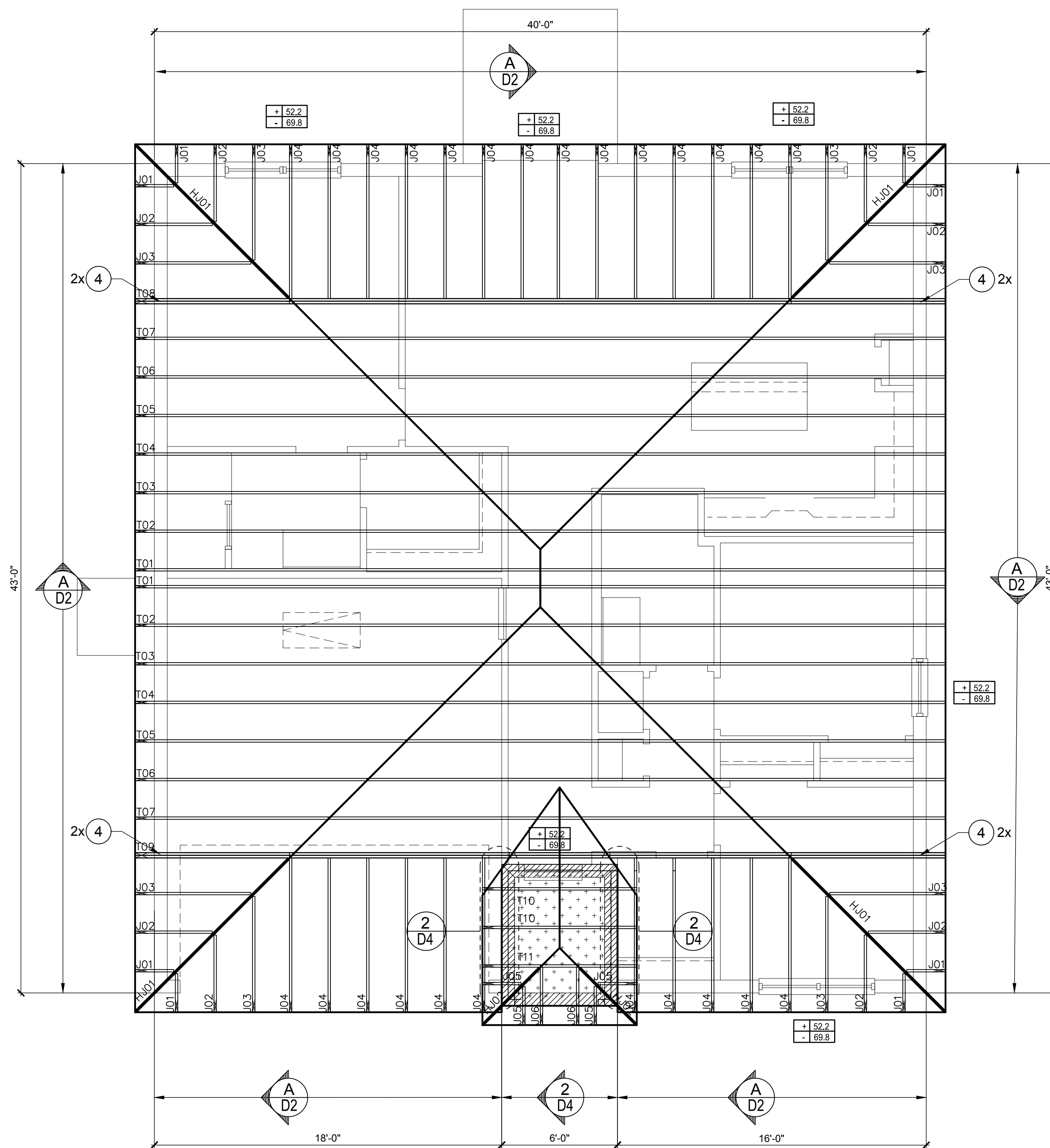
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ROOF FRAMING PLAN  
A,B,C (STANDARD)  
**S3.0**

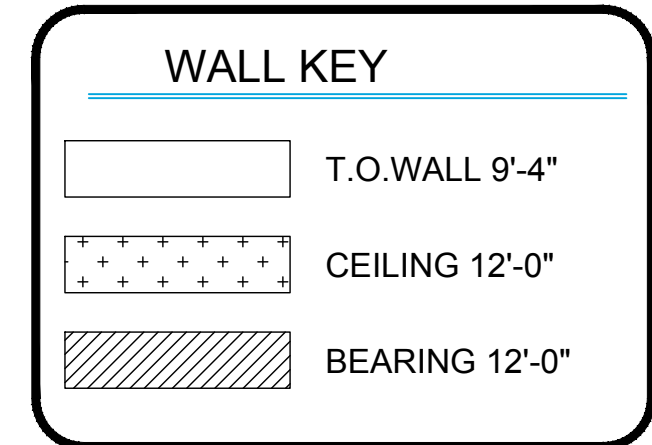
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21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
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38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
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A, B, C (STANDARD)  
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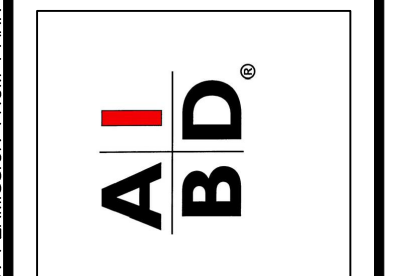
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- LOMANCO: (2) 9/2" DIA. CIRCLES  
- MILLENNIUM METAL: 2 1/2"x46" HOLE



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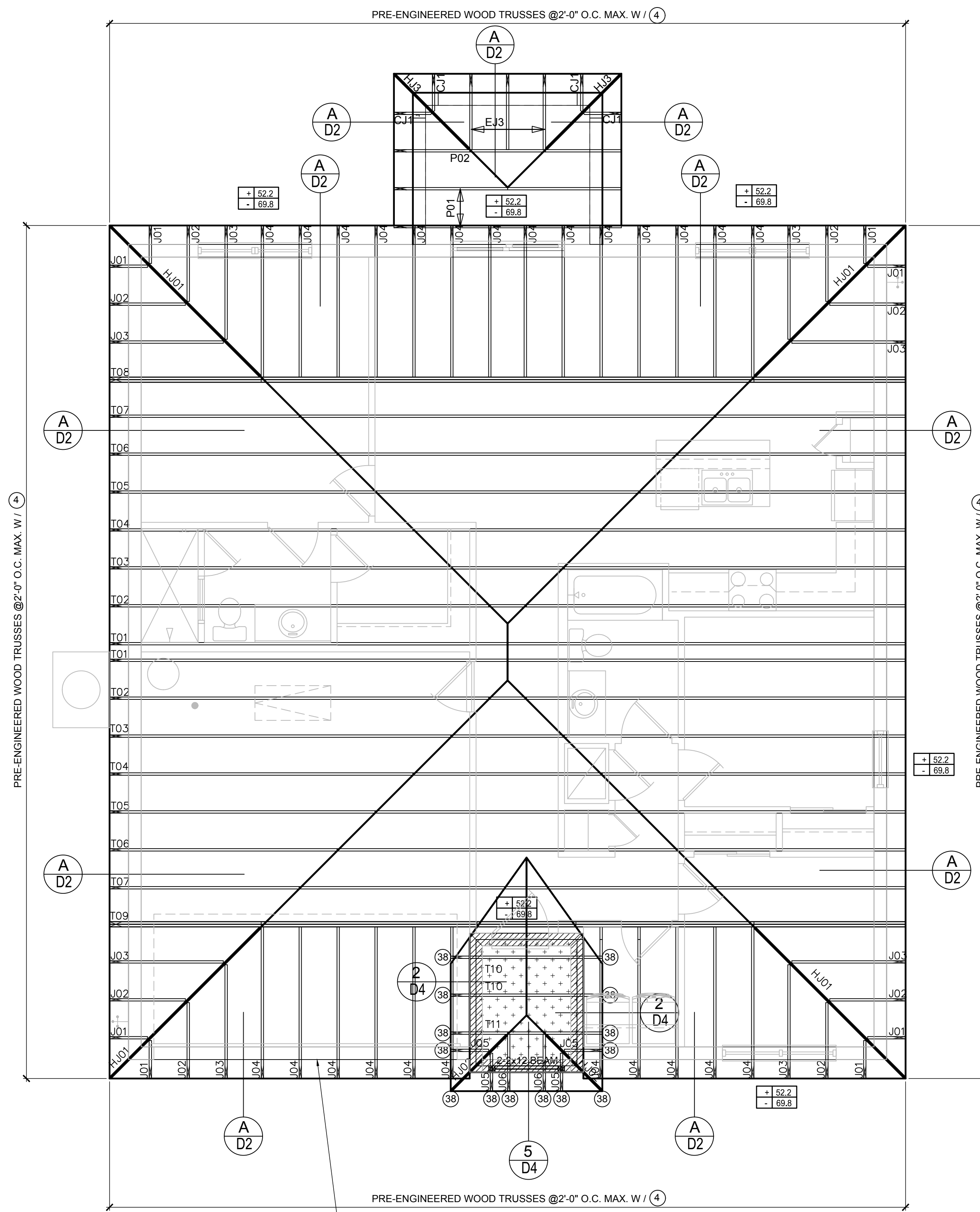
ISSUE DATE: 09/12/2017  
REVISIONS:  
PROJECT: 17-0102  
SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS

ROOF FRAMING PLAN  
A,B,C (STANDARD)  
**S3.0**

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# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d RFT / TRS: 4-8d	935	N/A
24	H7	PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/2" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3 3/8" (2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MG	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



**ROOF FRAMING PLAN (MID FLORIDA)**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

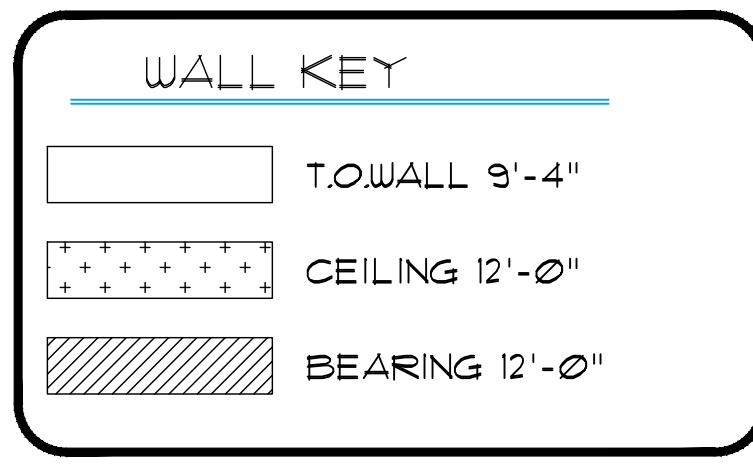
THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 24 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:  
A) THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 24PSF.  
B) THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL 7TH EDITION.

## COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



- ### NOTES
- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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  - PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
  - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
  - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
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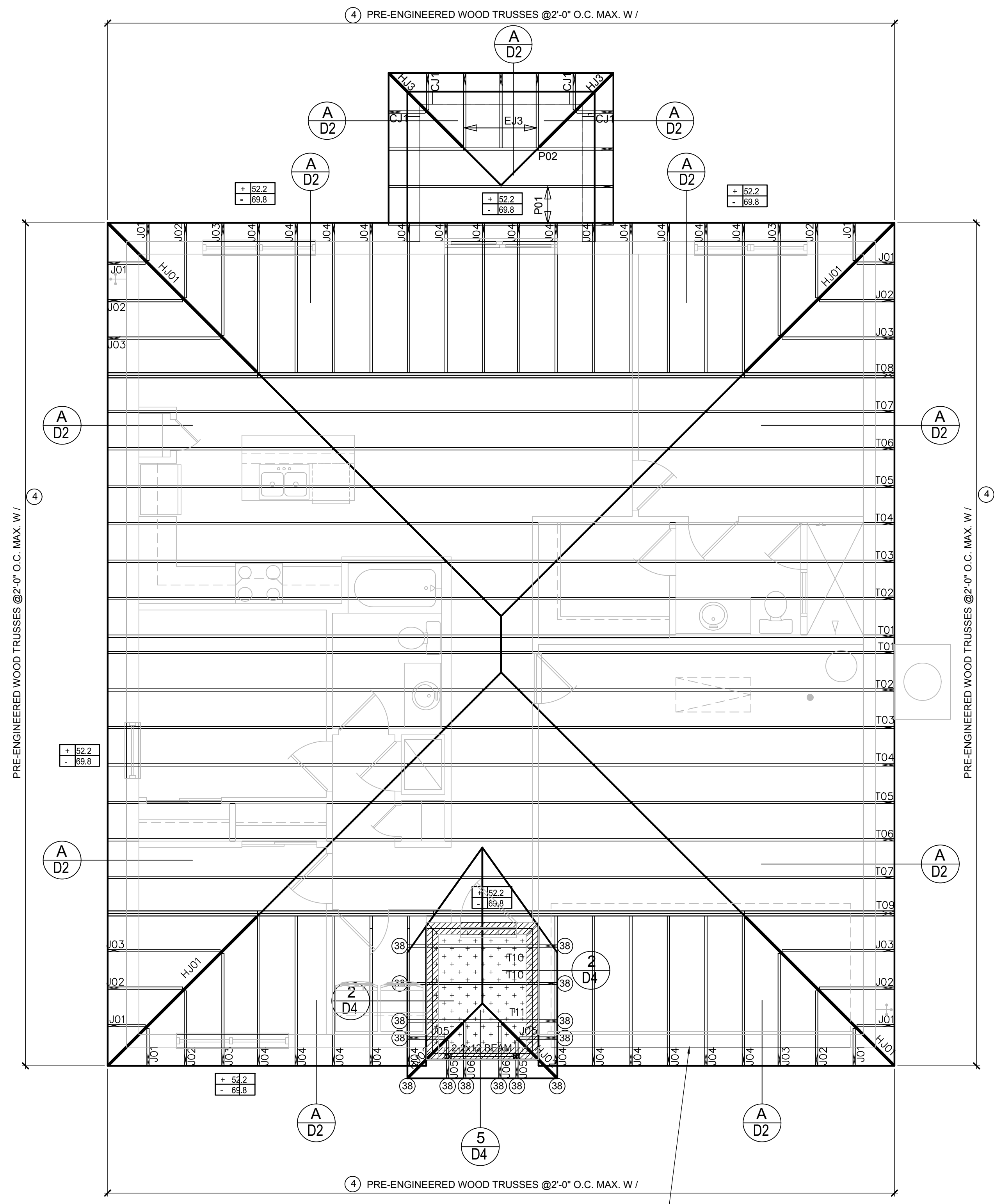
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ROOF FRAMING PLAN  
A,B,C (STANDARD)  
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# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"/(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/2"x1 1/2" TC JOIST: 10-16d	3,240	N/A
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219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
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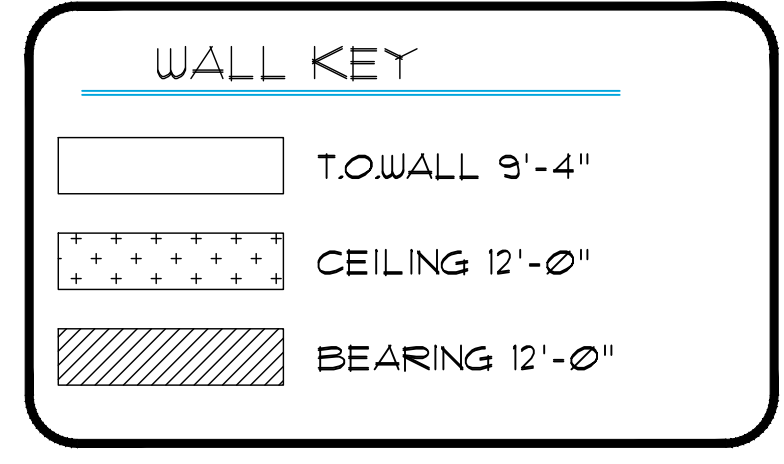
**ROOF FRAMING PLAN (MID FLORIDA)**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

## COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
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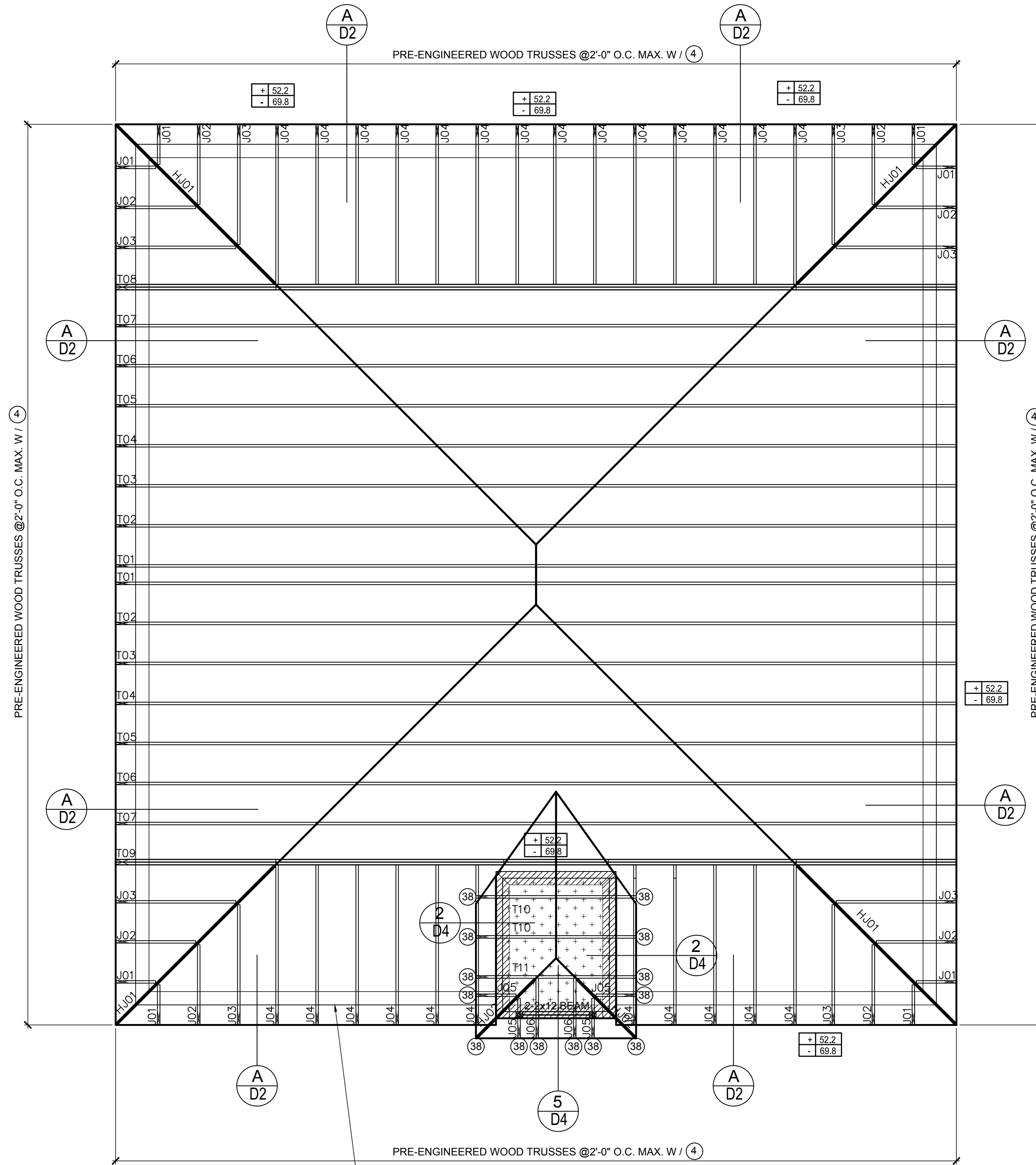
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21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
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35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
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38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
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89	CB66	(2) 7/8" BOLTS	2,300	985
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102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
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167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
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220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
232	MBHA5.50/16	HDR : (2) 3/4" φ x 8" JOIST : 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



**ROOF FRAMING PLAN (TRUEHOUSE)**  
A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

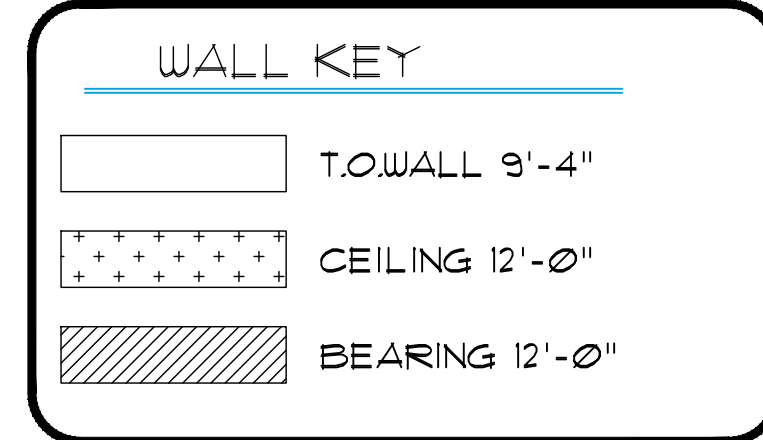
THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 24 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS.  
A) THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 24PSF.  
B) THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2020 FLORIDA BUILDING CODE RESIDENTIAL 7TH EDITION.

## COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

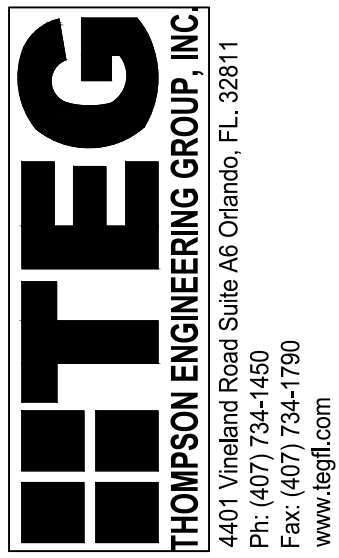
+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



## NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12' UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12' UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- SHINGLE ROOF : UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1. UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:  
- LOMANCO: (2) 9/2" DIA. CIRCLES  
- MILLENNIUM METAL: 2 1/2"x46" HOLE



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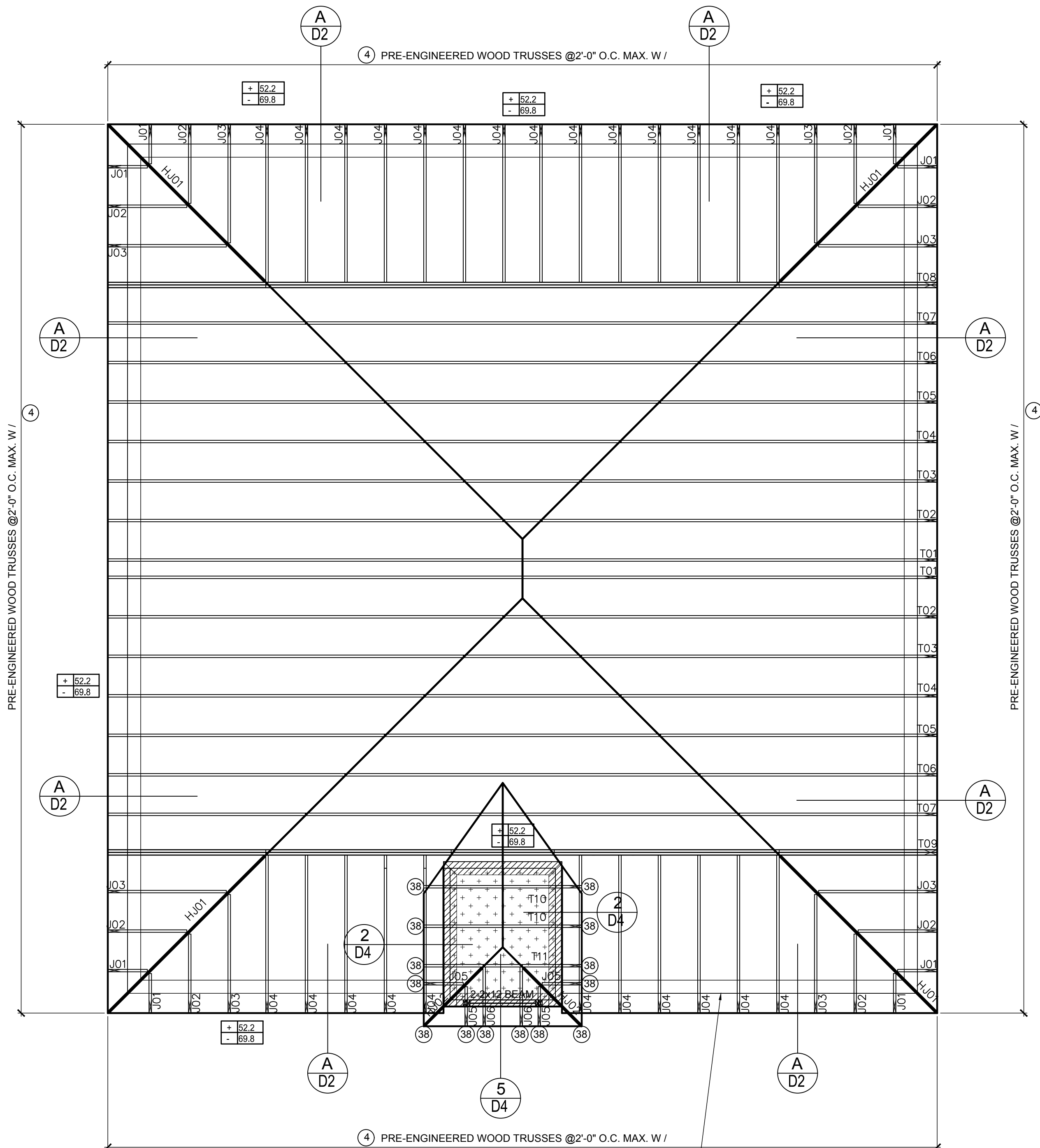
ISSUE DATE	09/12/2017
REVISIONS	
PROJECT:	17-0102
SCALE:	AS NOTED
DRAWN BY:	S.B.
DESIGNED BY:	MJS

ROOF FRAMING PLAN  
A,B,C (STANDARD)  
**S3.2**

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# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	990	N/A
39	MTS30	14-10d	990	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 5/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4x8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
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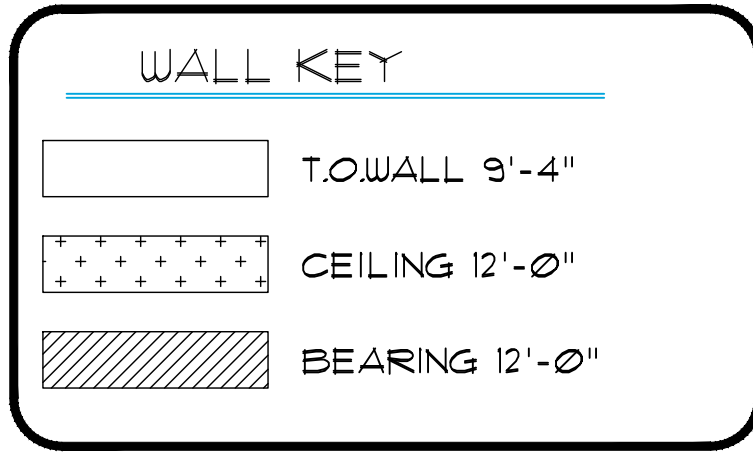
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A, B, C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

## COMPONENT & CLADDING DESIGN WIND PRESSURES

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## STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.)  
LIVE LOAD ROOF: 20 PSF.  
FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF  
OCCUPANCY= 1.0  
BUILDING CATEGORY R3, WIND EXPOSURE C  
INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- ALL FLOOR SLABS TO BE OF 3,000 PSI CONC. PLANT MIX MIN. 4" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE "M" OR "S", GROUT - 3,000 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:  
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.  
THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

- SOIL BEARING CAPACITY 2000 PSF MINIMUM

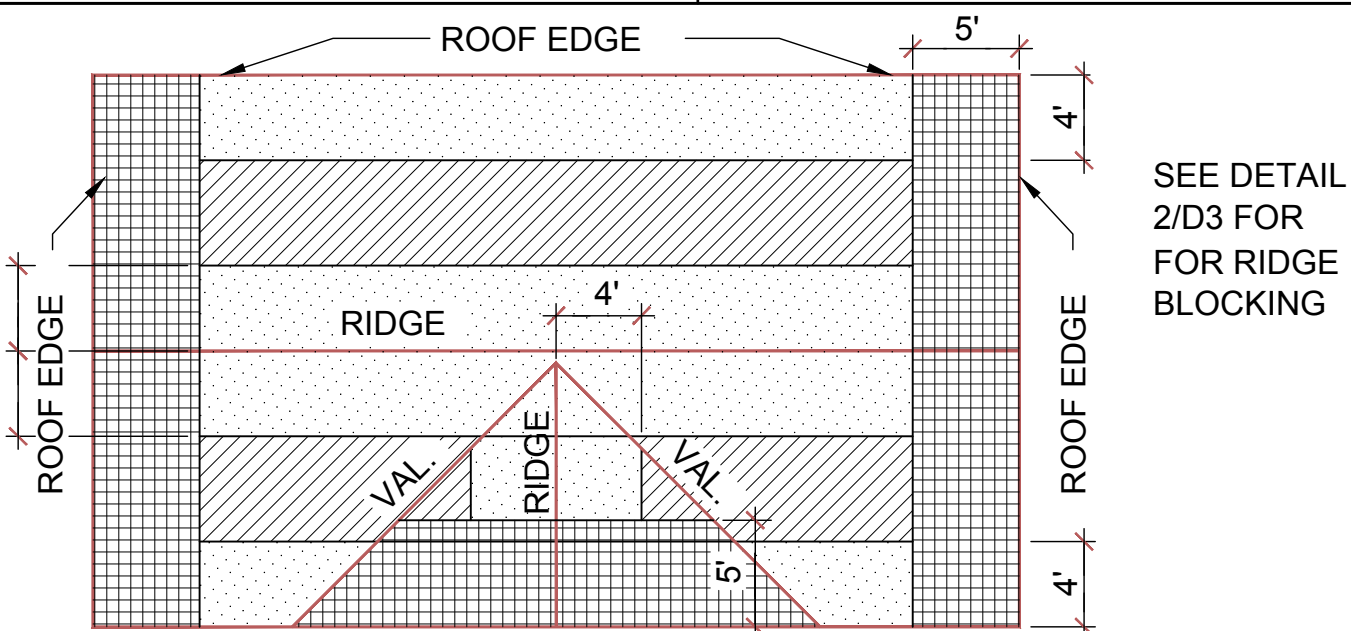
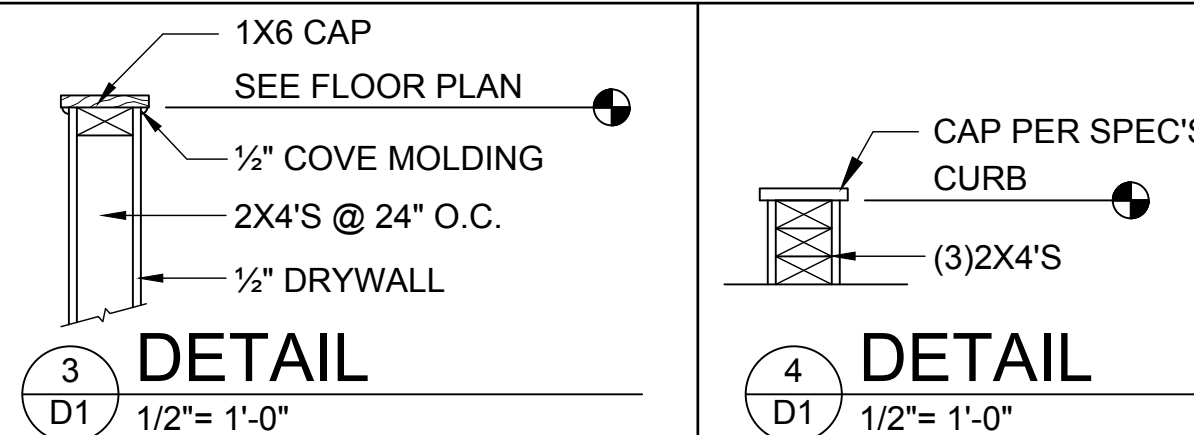
## WOOD STRUCTURAL NOTES

- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C..
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN  
-DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)  
-DOUBLE STUDS @ 12" O.C..  
-DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.  
-HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER.  
-STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 19/32 OSB, NAILED (10d RING SHANK NAILS) TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.  
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED (10d RING SHANK NAILS) TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

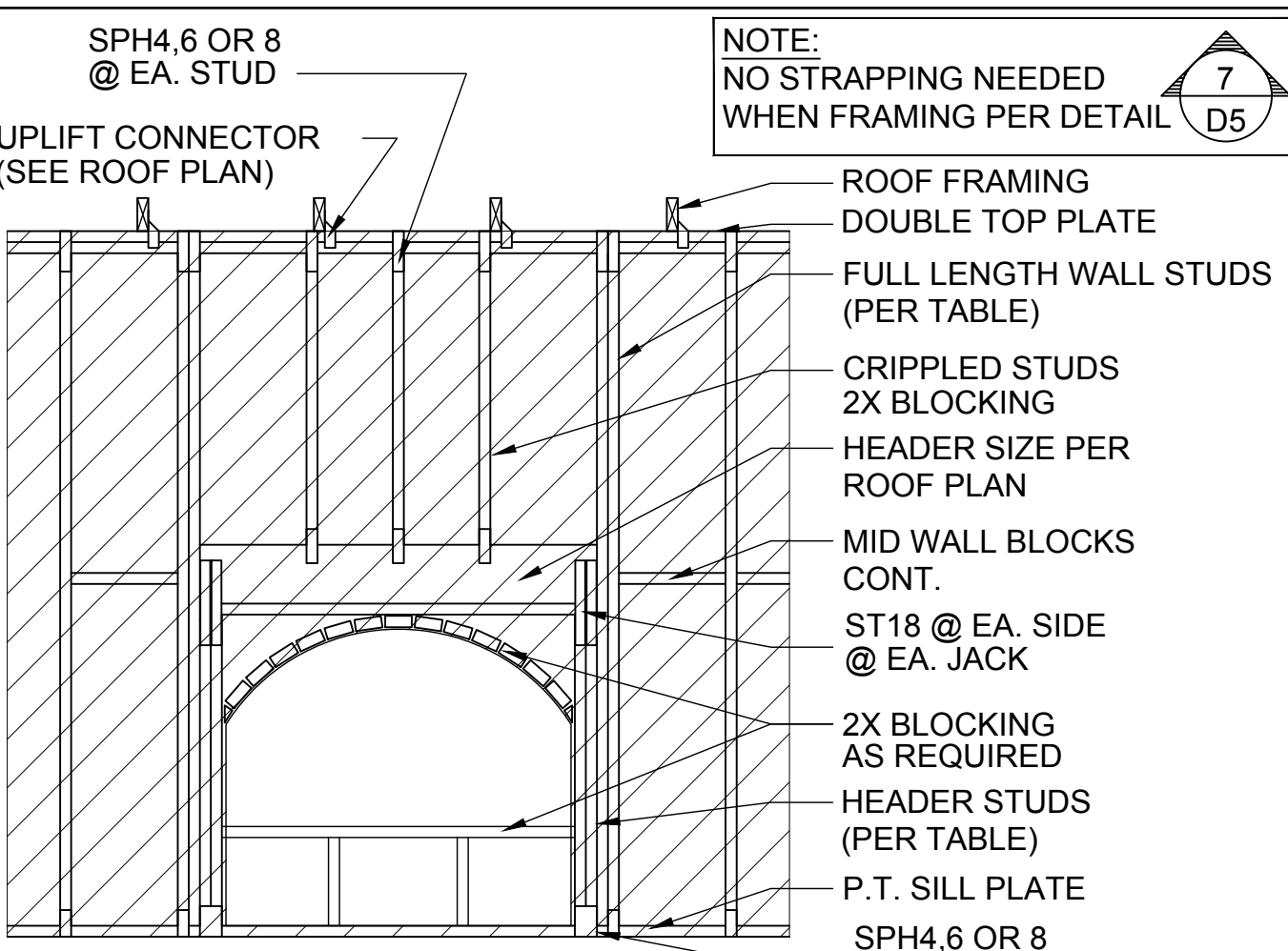
- NON BEARING WALL: 2X4 SPACED AT 24" O.C. UP TO 12'-0" HEIGHT WITH 2 ROWS OF HORIZONTAL 2X4 BLOCKING SPACE AT 4'-0" O.C.

## FIELD REPAIR NOTES

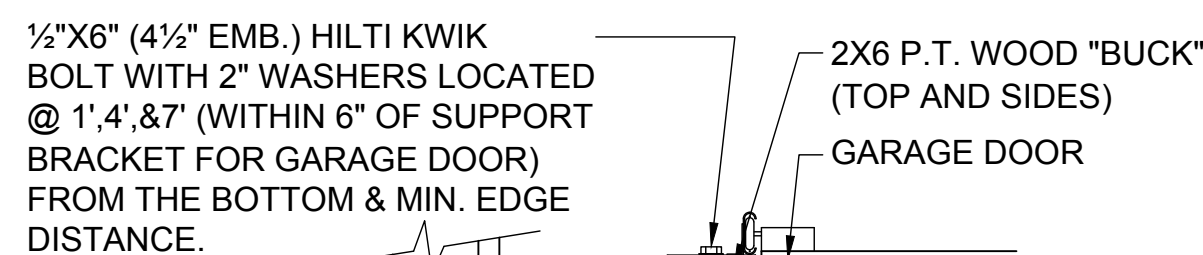
- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:  
UP TO -7/8" - NO REPAIR NECESSARY  
-7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED  
1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE



ZONE:	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	10d RING SHANK NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	10d RING SHANK NAILS @ 4" O.C. EDGES AND 6" O.C. FIELD



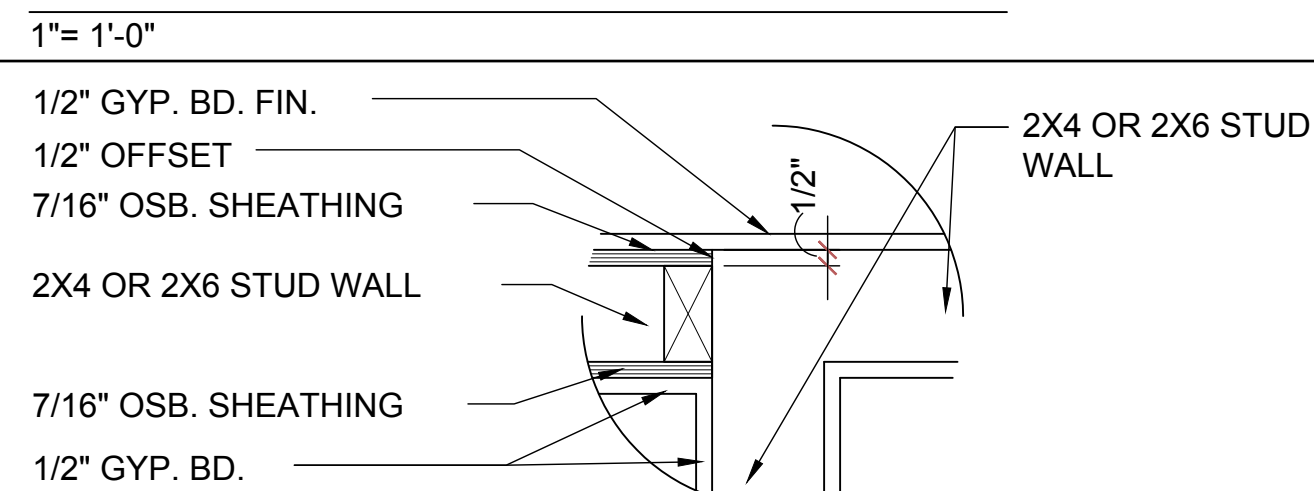
TYP. FRAMING FOR OPNGS.



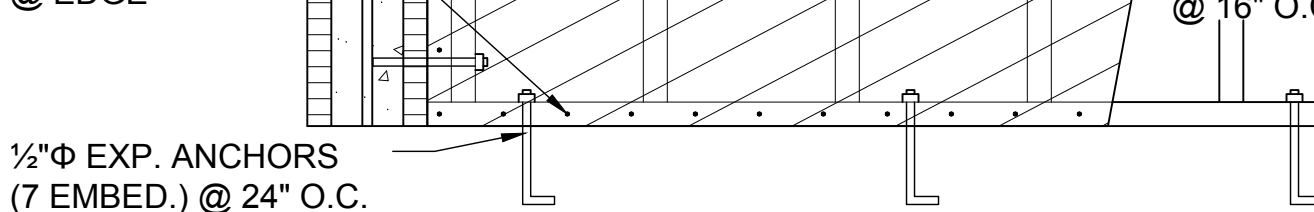
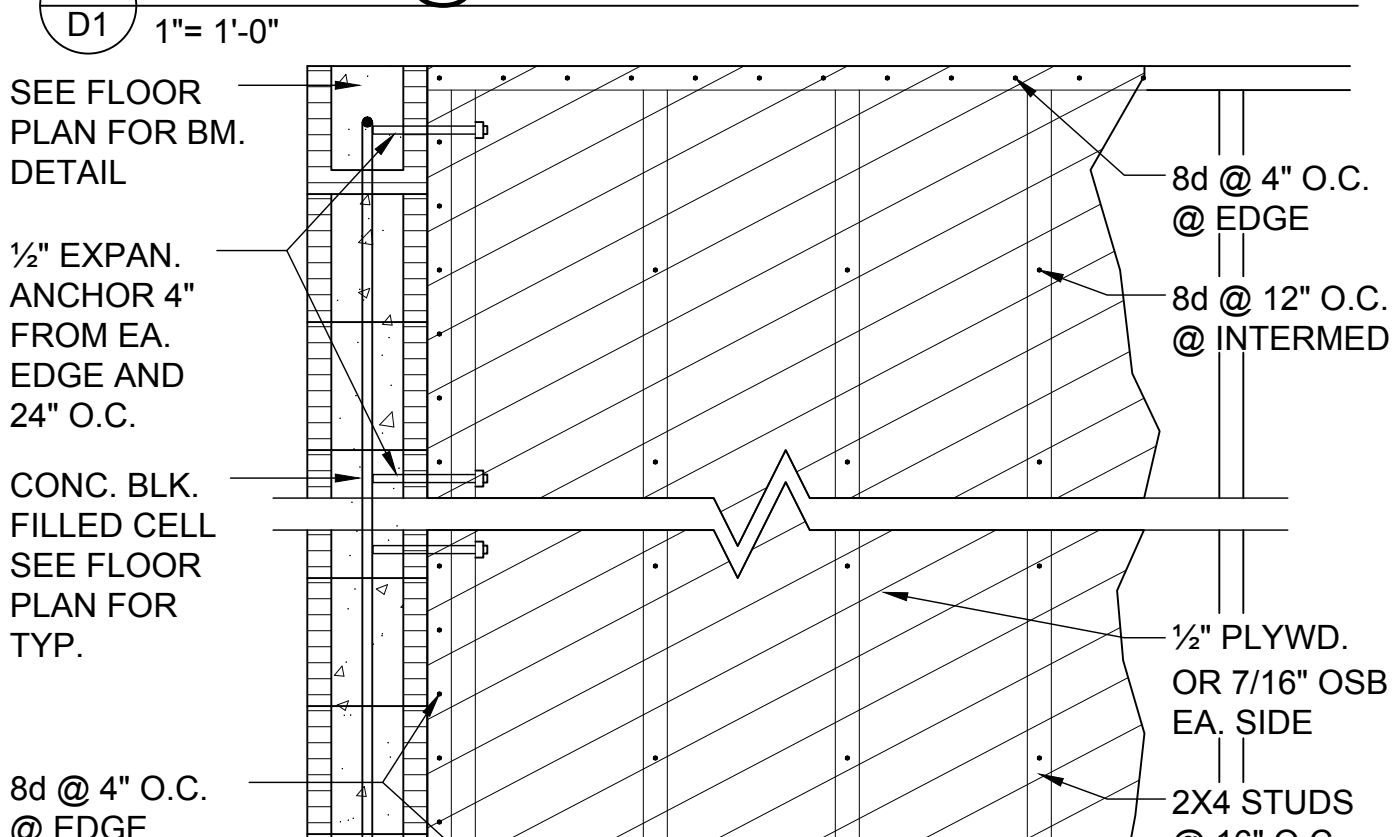
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
  - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
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  - DOOR SIZE, TYPE AND GLAZING
  - TRACK SIZE AND FASTENER DETAILS.
  - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
  - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

## GARAGE BUCK DETAIL

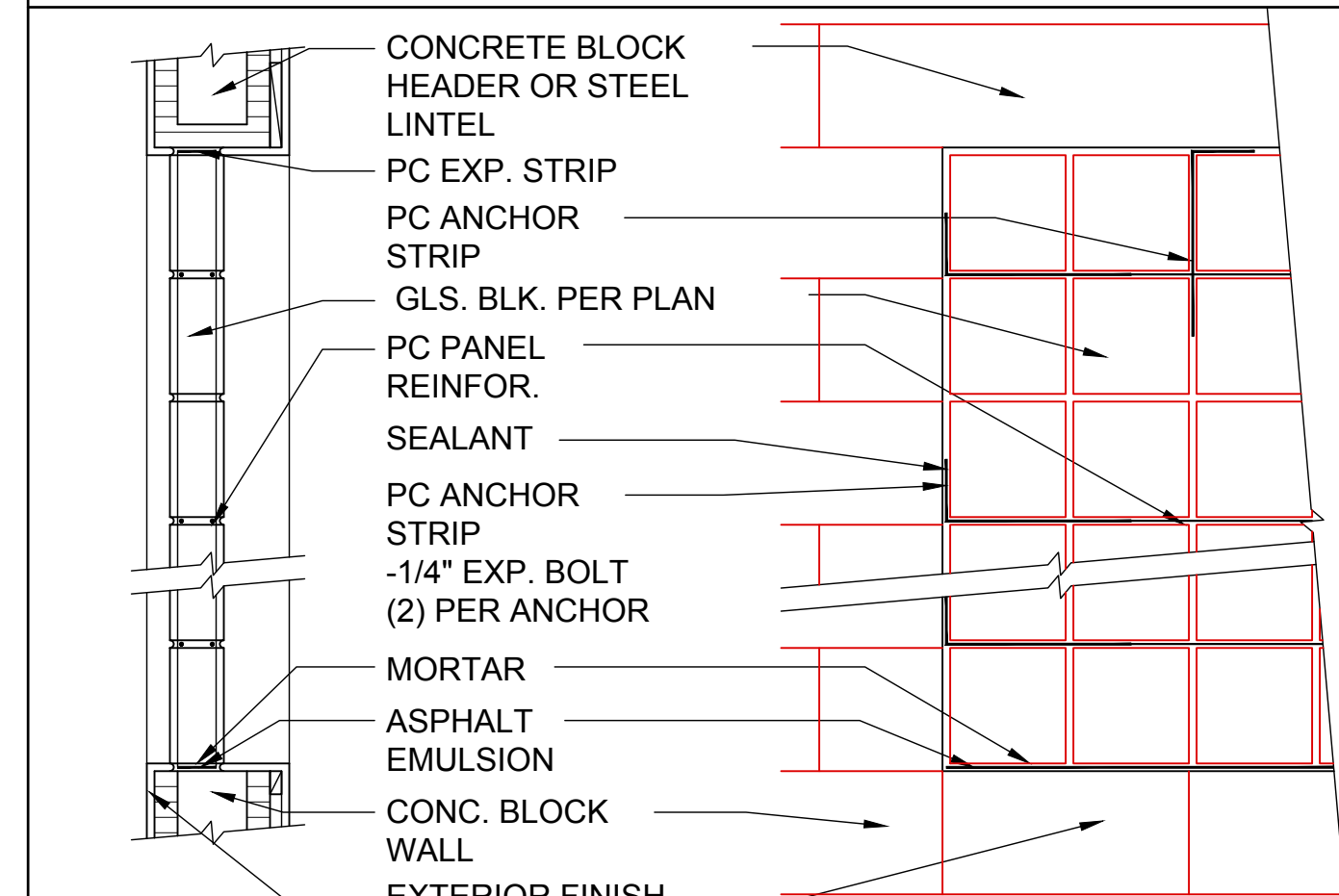
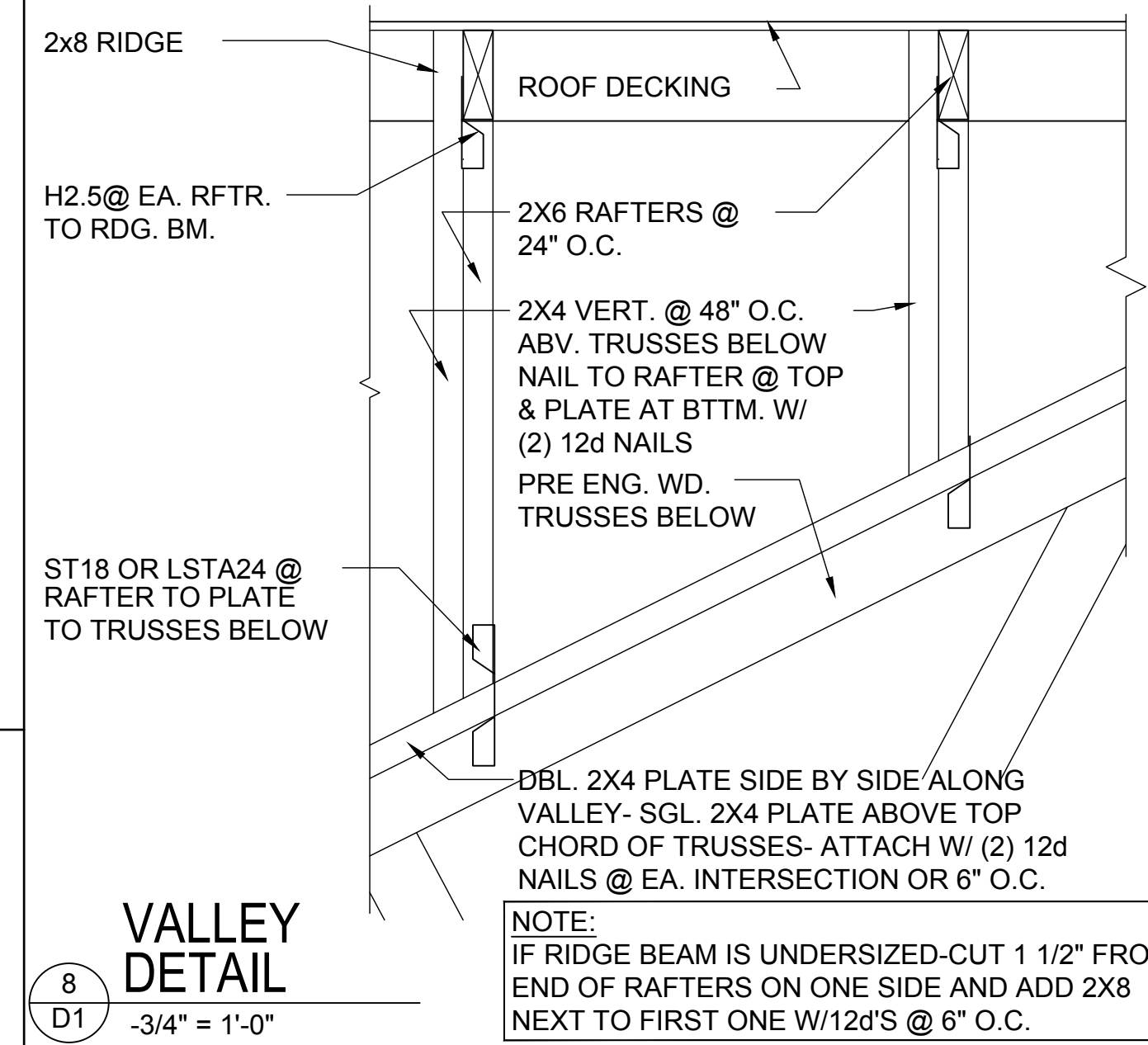
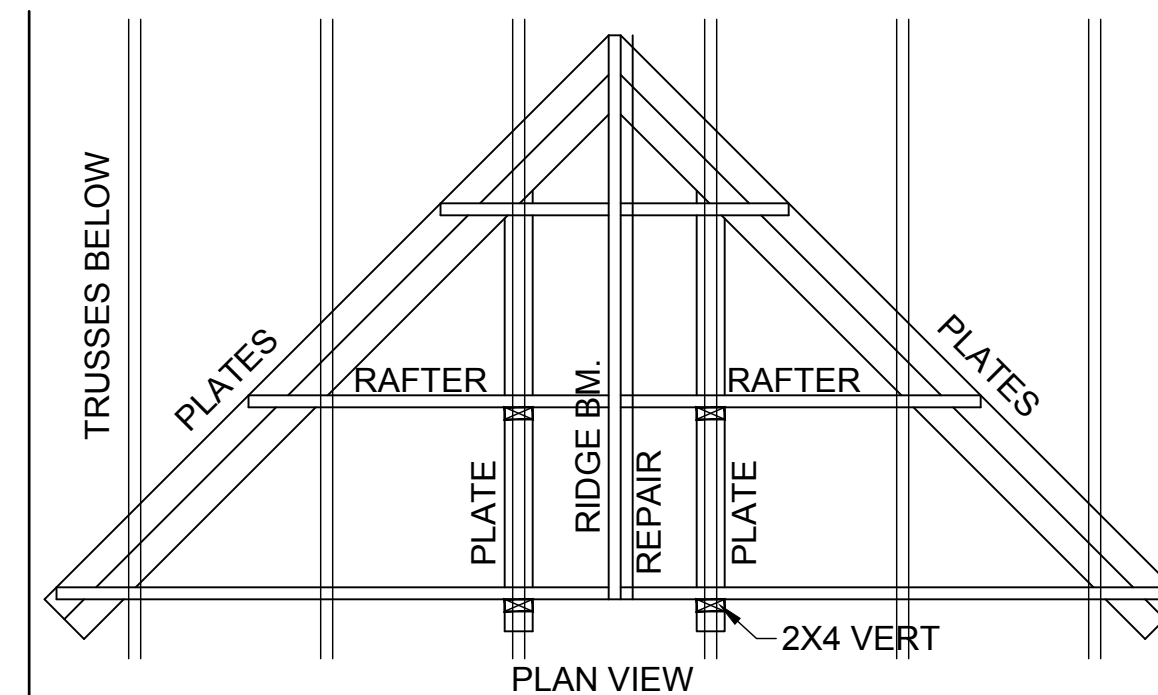


## DETAIL @ CONN. TO REG. WALL



## MIN. WALL AND HEADER REQUIREMENTS

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
10' OR LESS	1	1	2	2	2	2	
	2	2	3	3	3	3	
GREATER THAN 10'	1	1	2	2	2	2	
	2	2	3	4	5	5	



## PANEL ANCHOR CONSTRUCTION

PC PANEL REINFORCING (TOP):  
USED IN PANELS OVER 25'S.F. IN AREA IS EMBEDDED HORIZONTALLY IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1-5/8" O.C. (FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/ "PREMIERE" SERIES GLS. BLK.) W/ BUTT WELDED CROSSWIRES AT REGULAR INTERVALS. 4' AND 10' LENGTHS AVAILABLE.

PC PANEL ANCHORS (MIDDLE):  
ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED- THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1-3/4" WIDTHS X 24" LENGTHS.

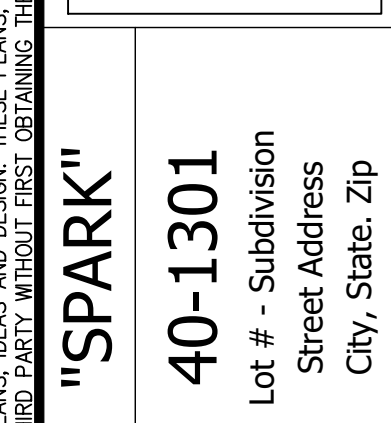
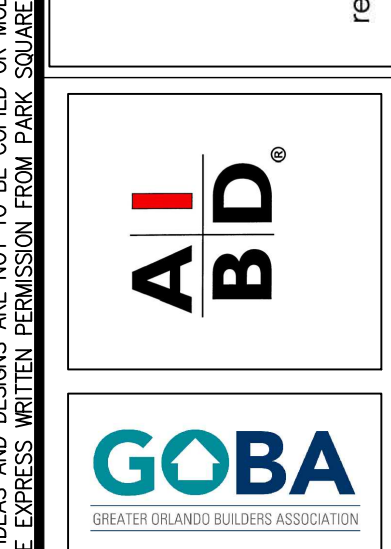
PC EXPANSION STRIPS (BOTTOM):  
MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE 3/8" THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3-7/8" "PREMIERE" SERIES BLK., AND TO 2-1/4" WIDTH, FOR 3-1/8" "THINLINE" SERIES BLOCK.

## GLASS BLOCK DETAIL

6 D1

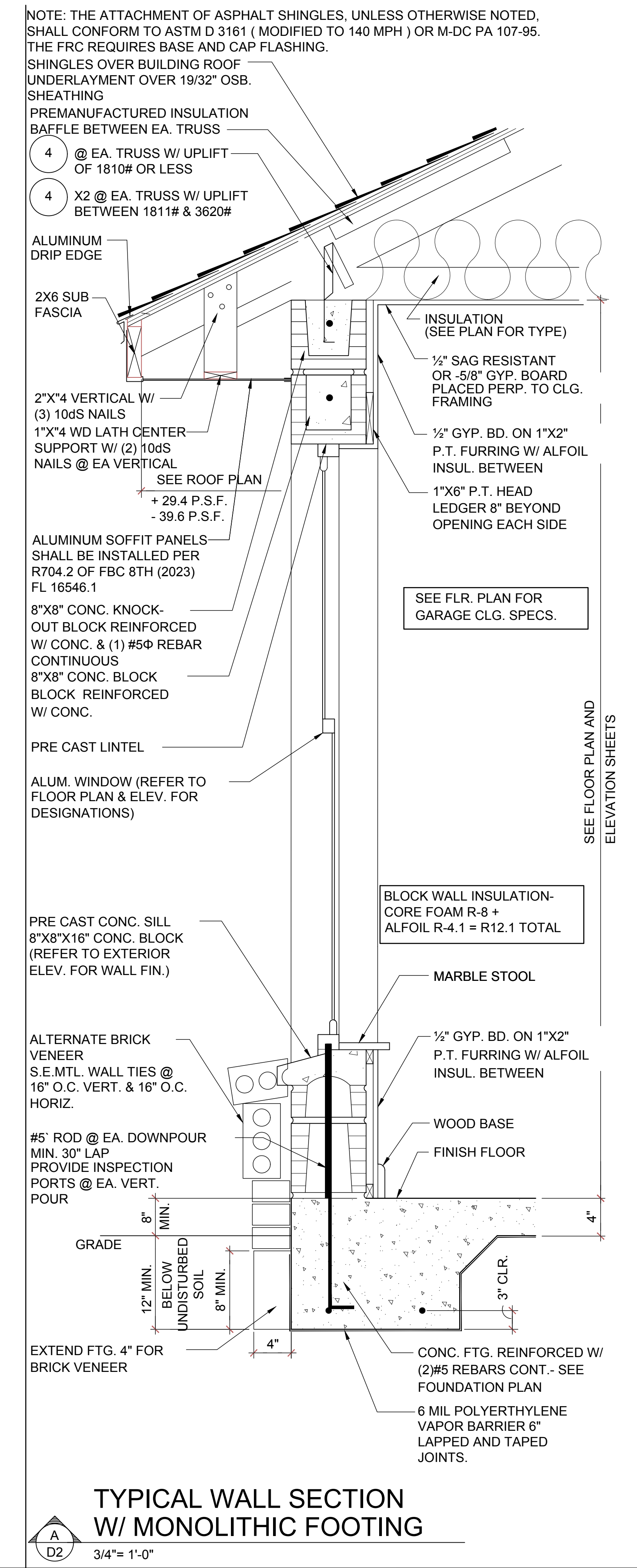
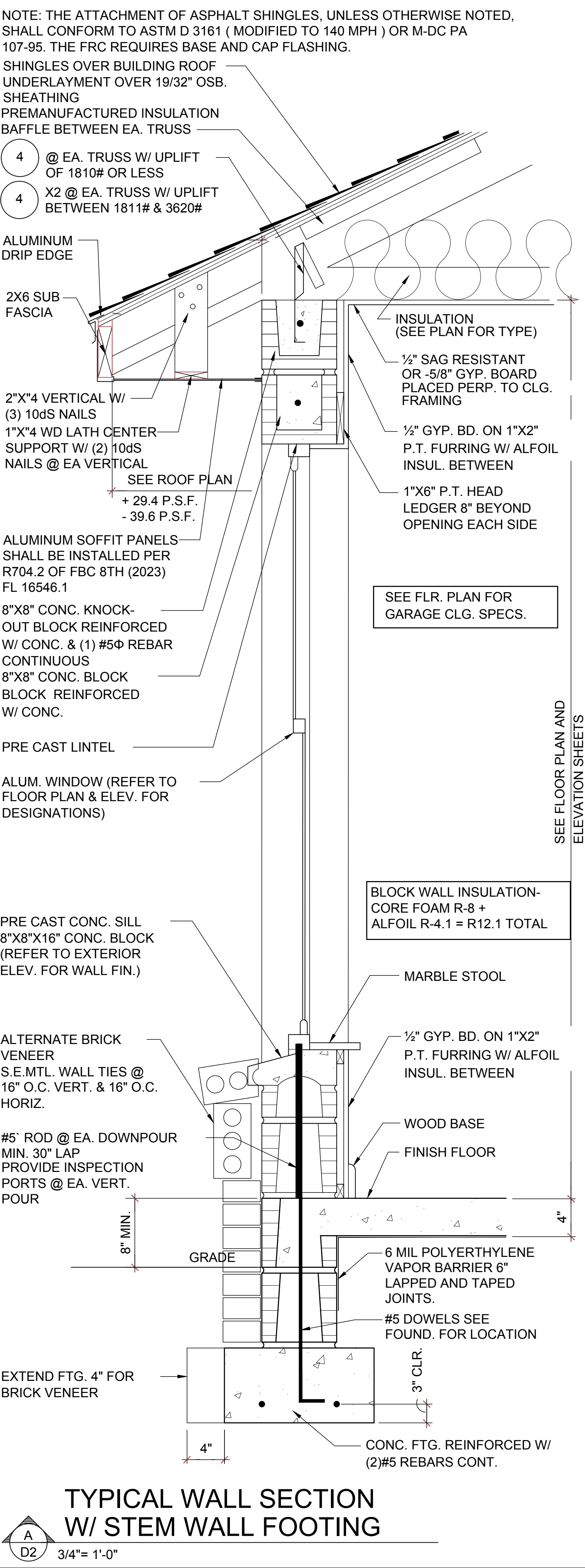
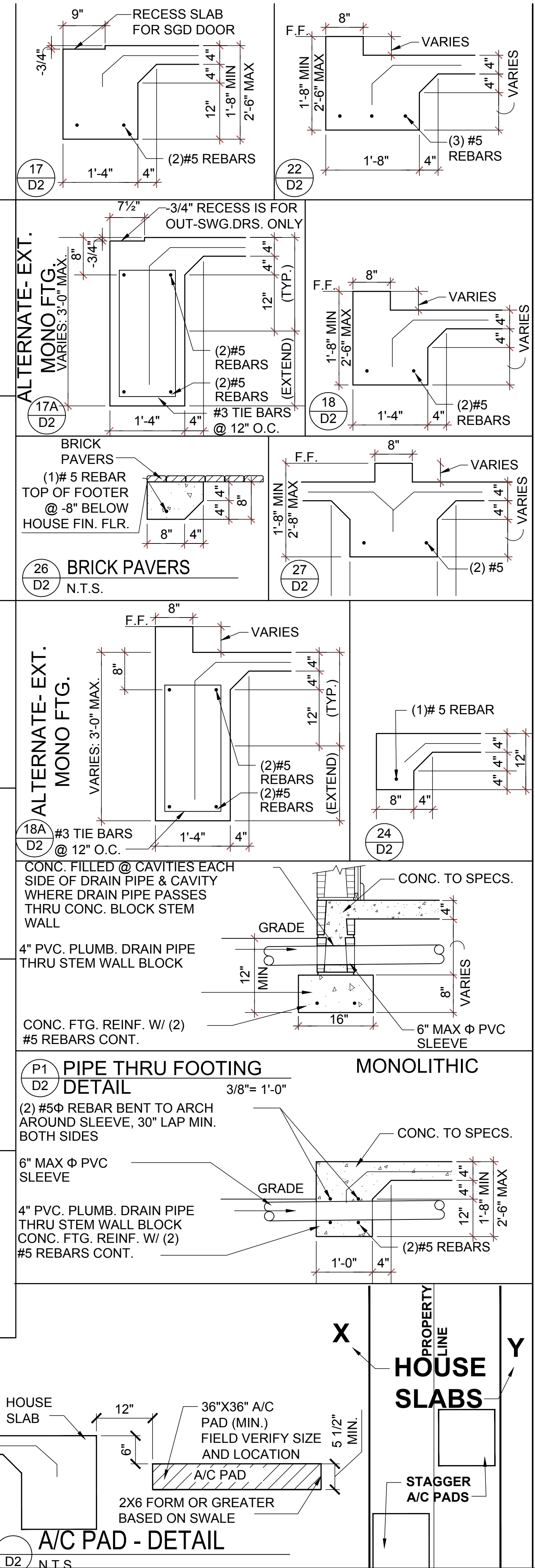
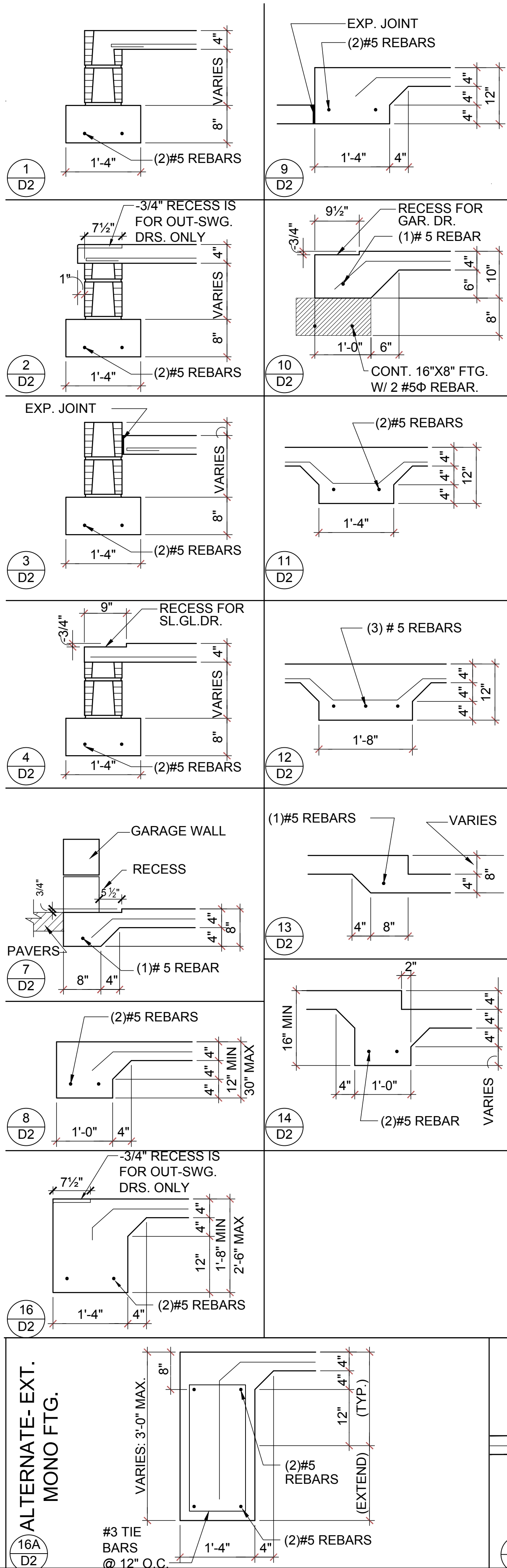


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SCALE: AS NOTED  
DRAWN BY: S.B.  
DESIGNED BY: MJS  
STRUCTURAL NOTES & DETAILS  
D1



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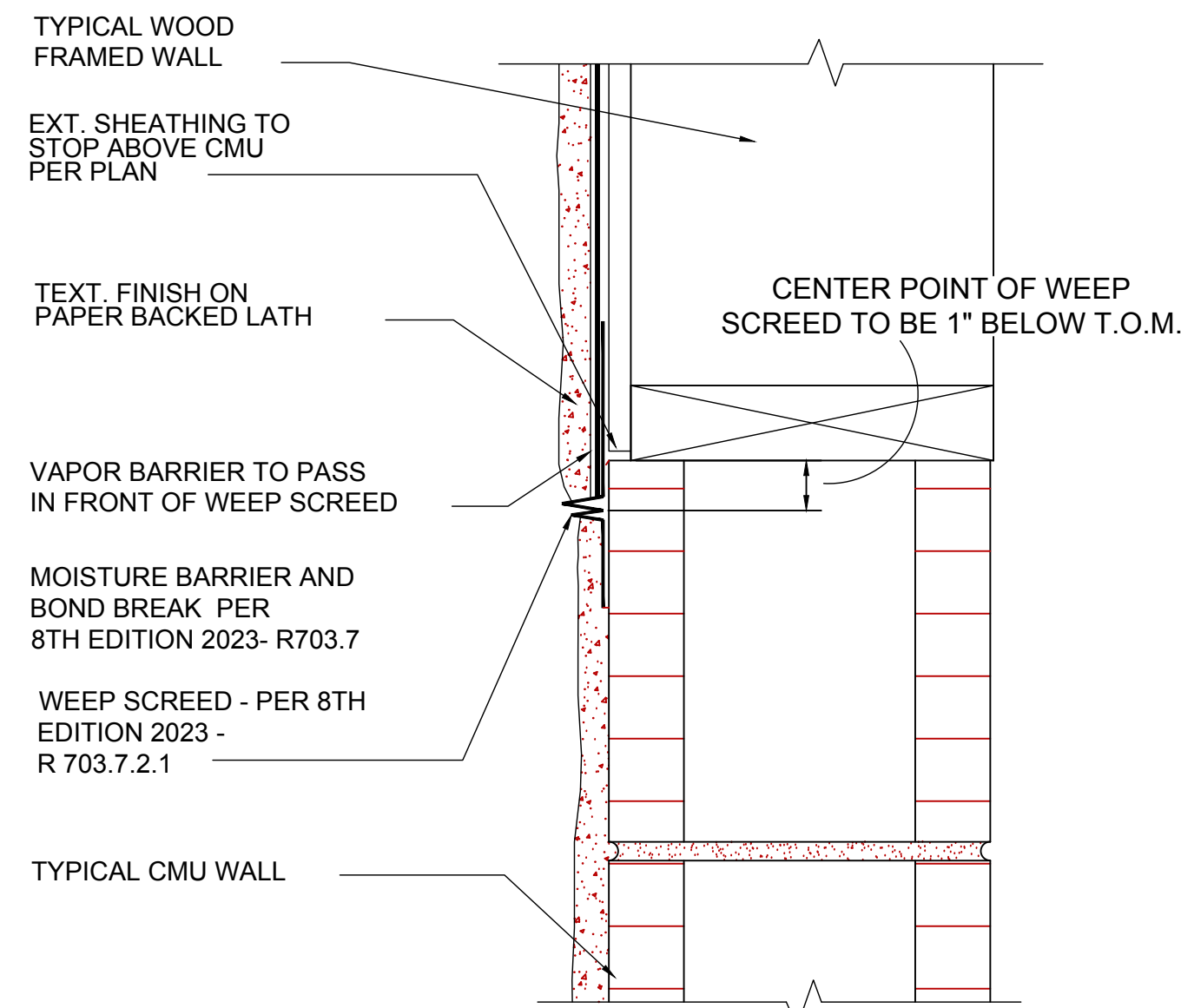
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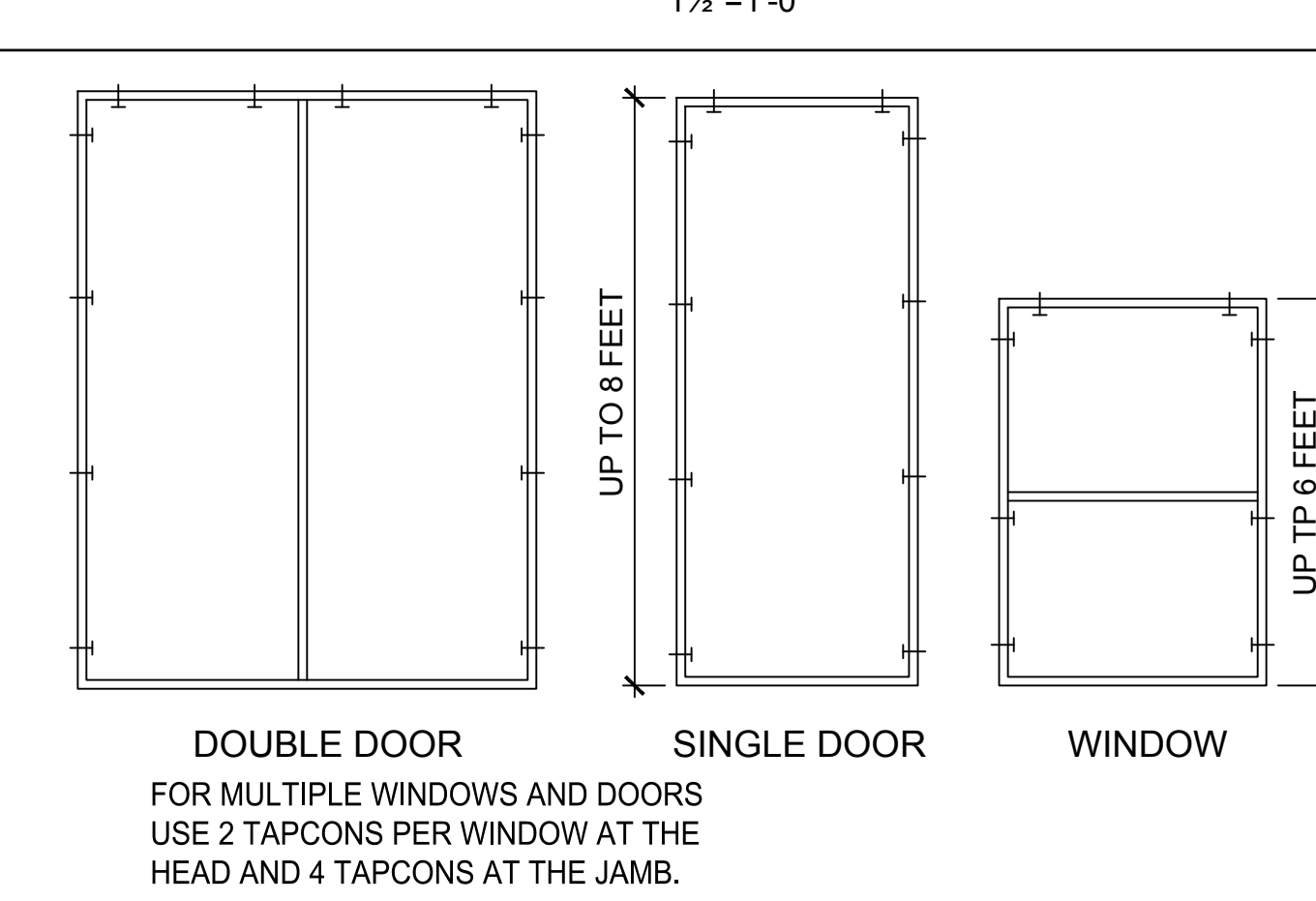
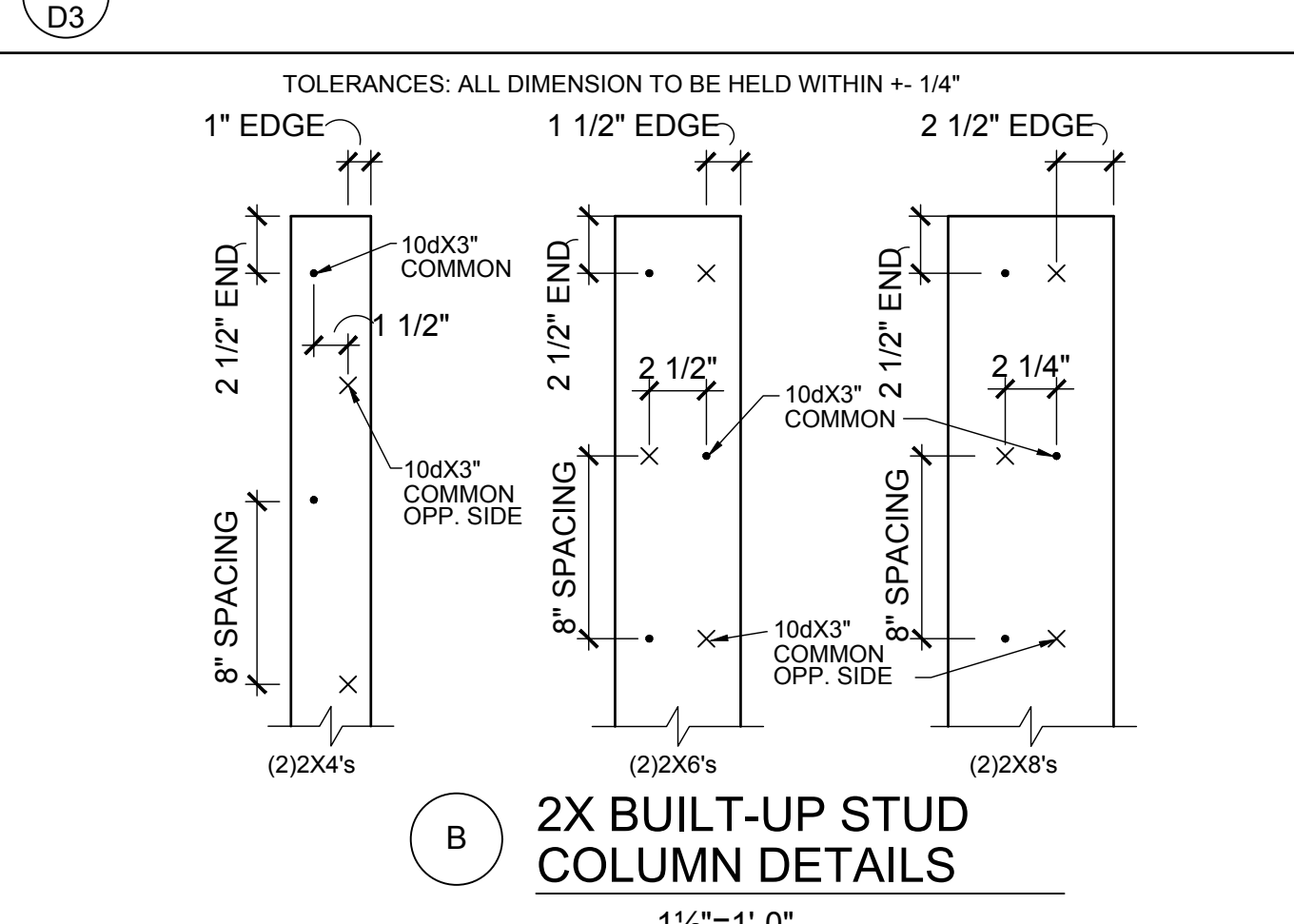
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STRUCTURAL DETAILS  
**D2**



**FLASHING DETAIL**



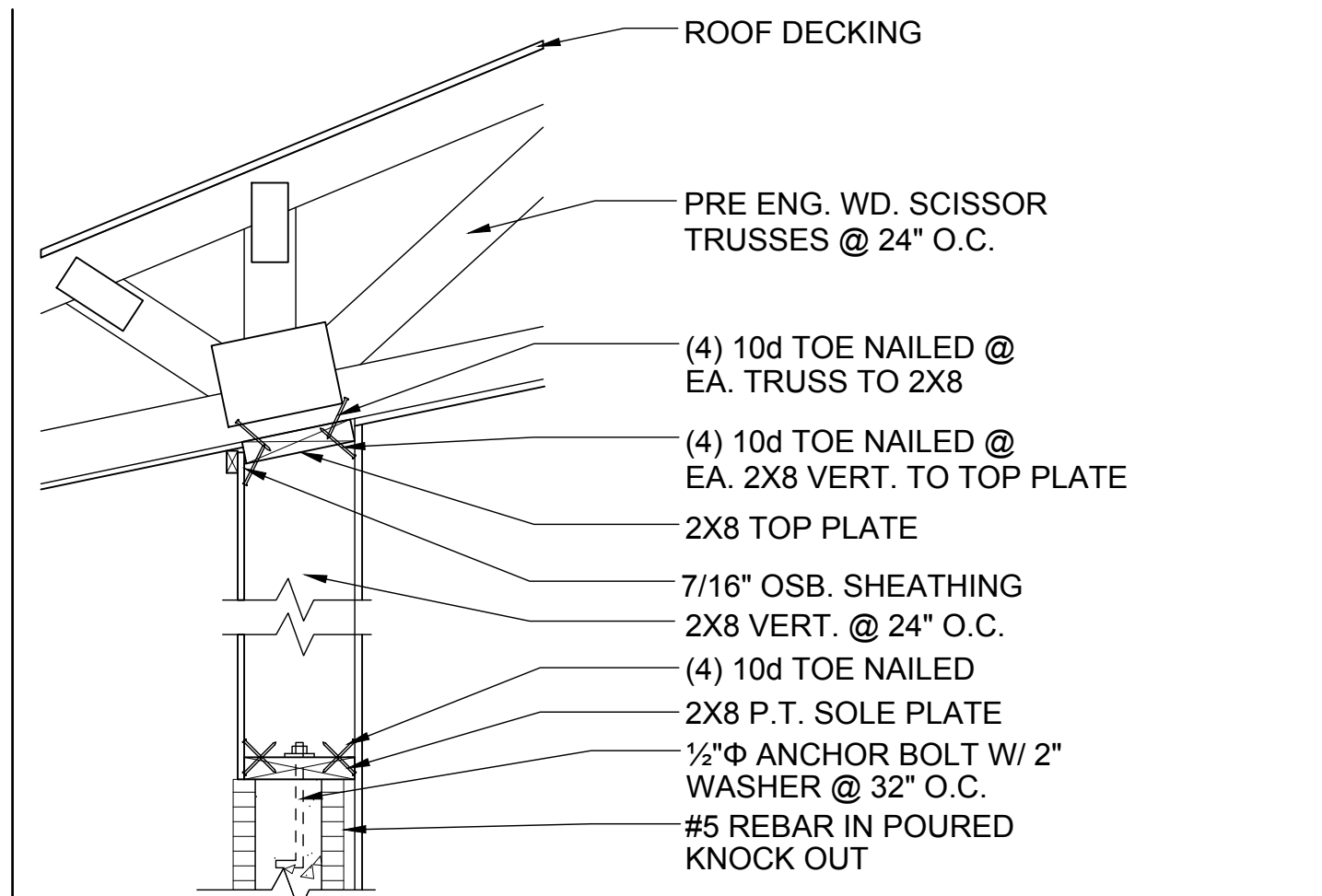
**BUCK ATTACHMENT DATA**

BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN PINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

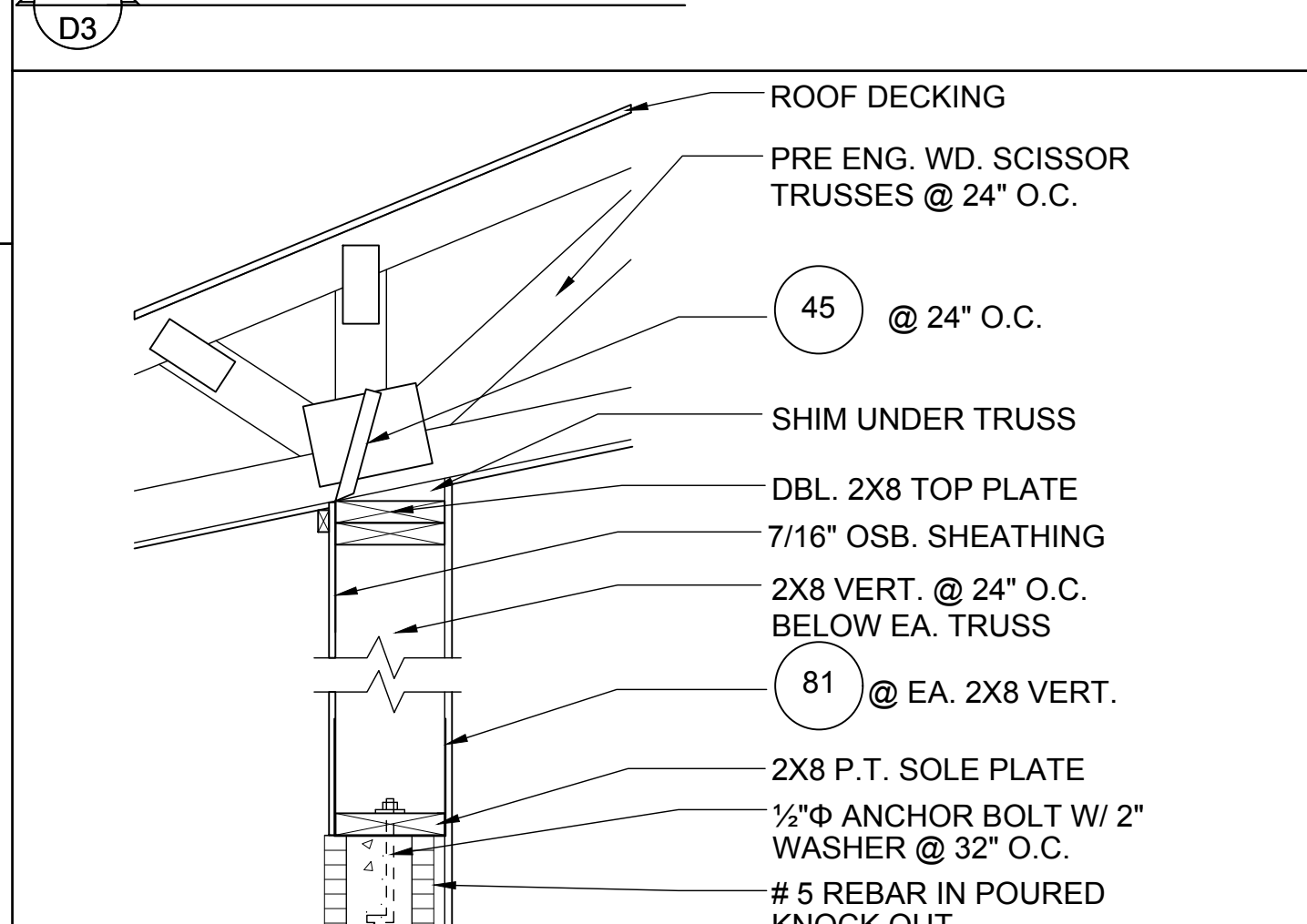
USE MIN. 2-1/4" T-NAILS w/ 1x BUCK. USE MIN. -1/4" x 3" TAPCONS w/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

**NOTE**

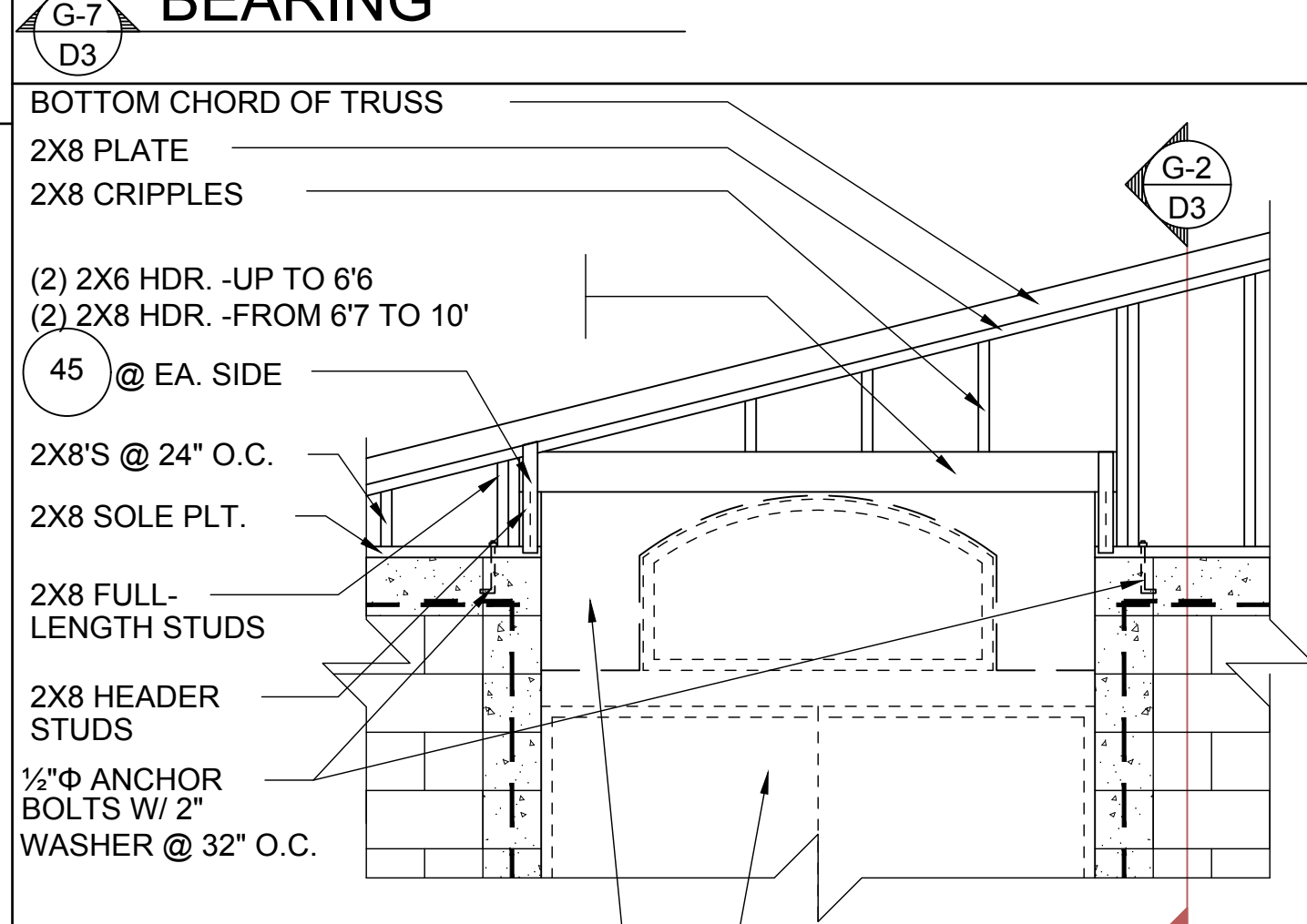
IN CASE OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3" FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4"x1-3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



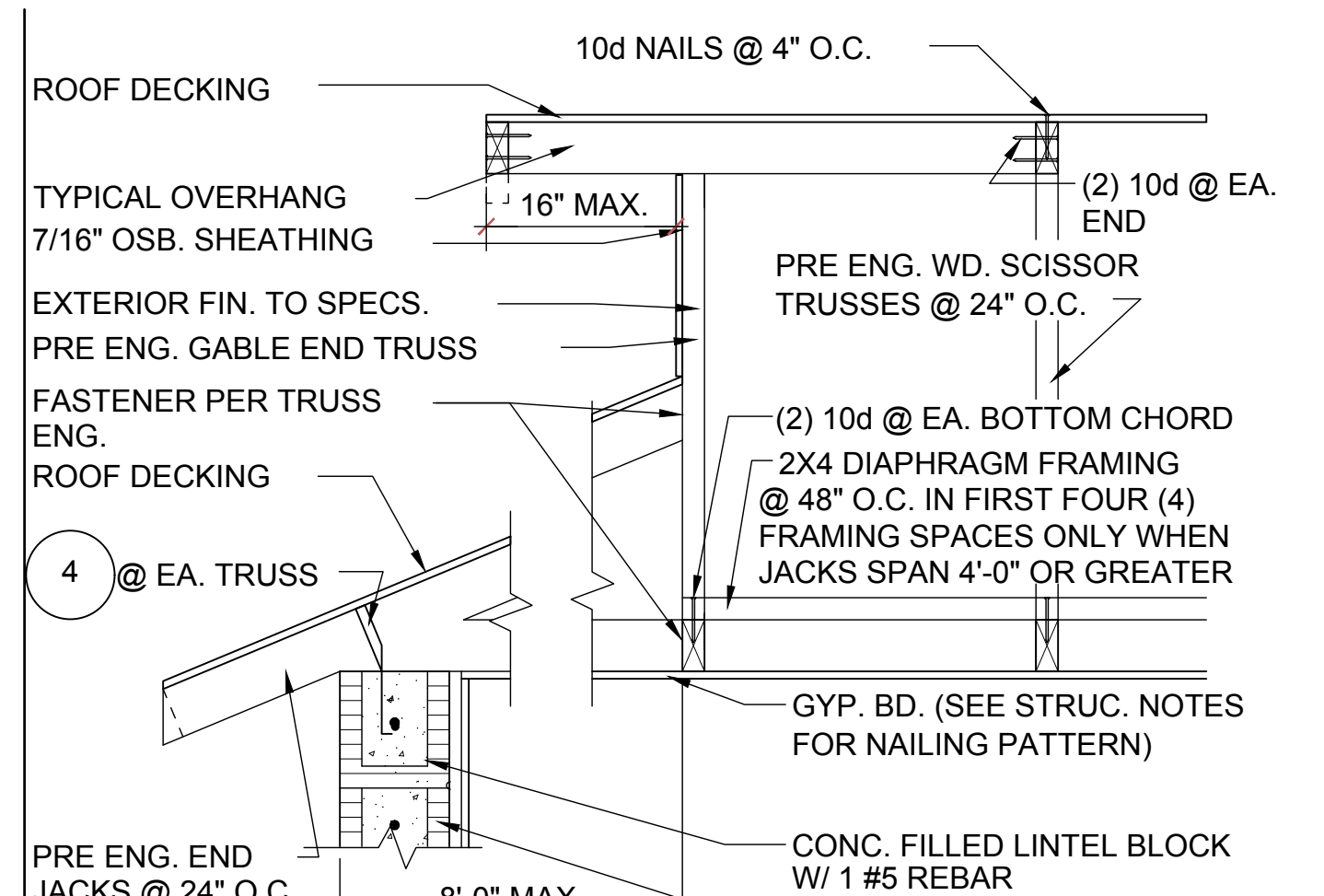
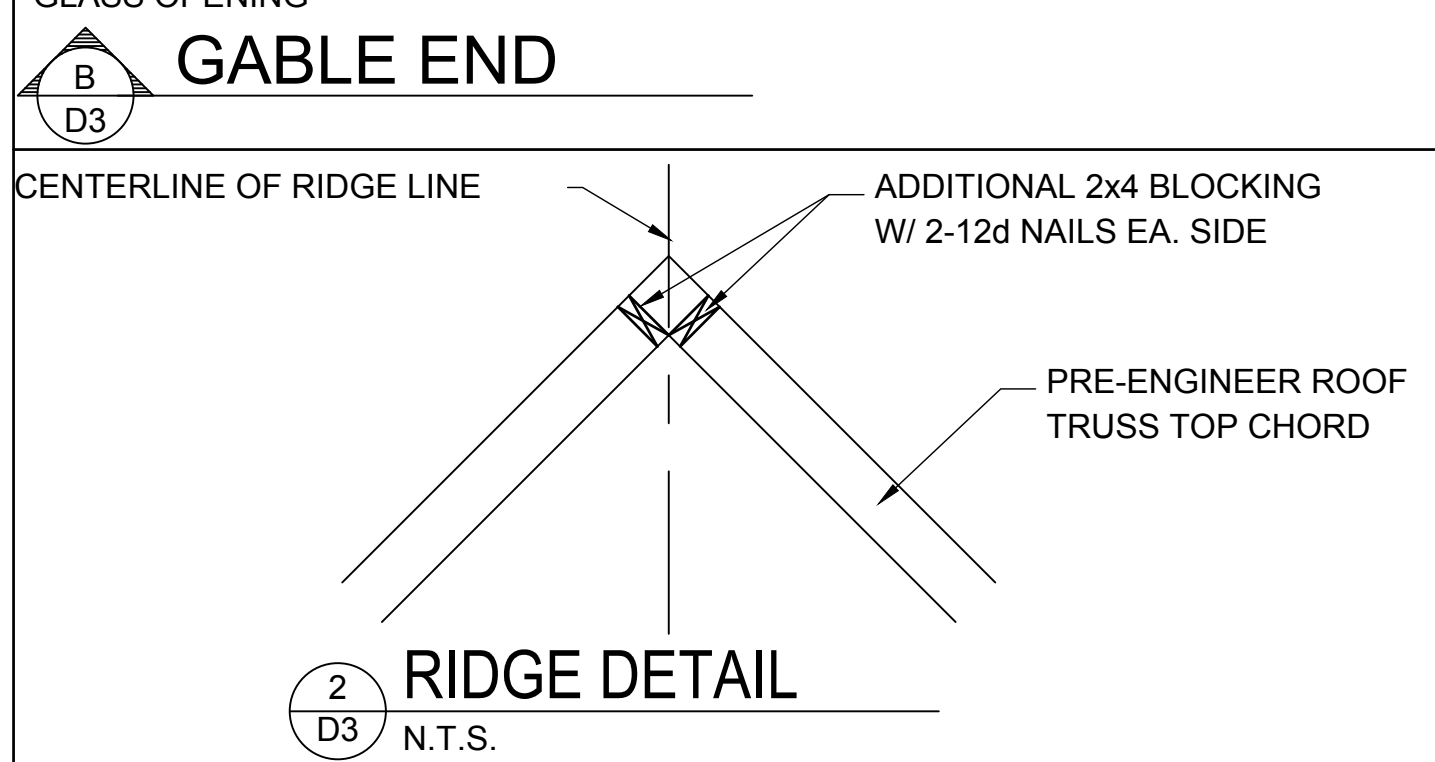
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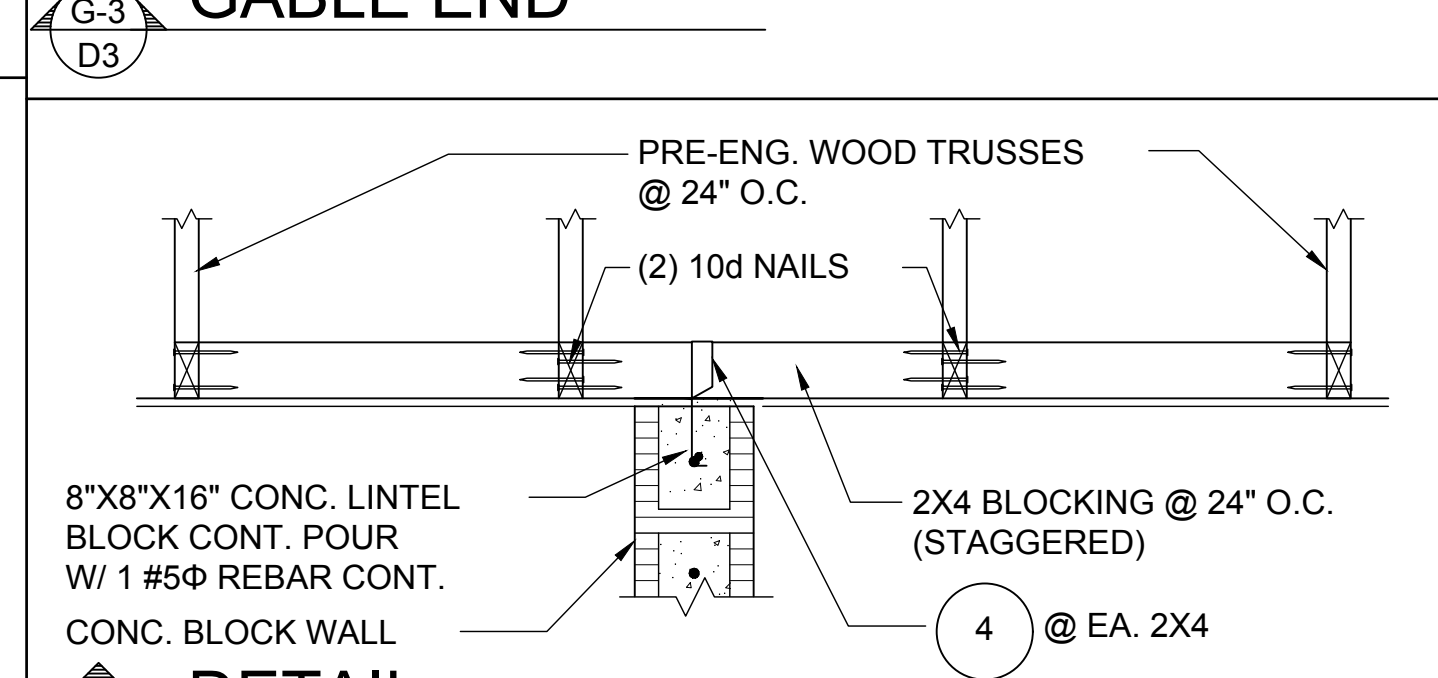
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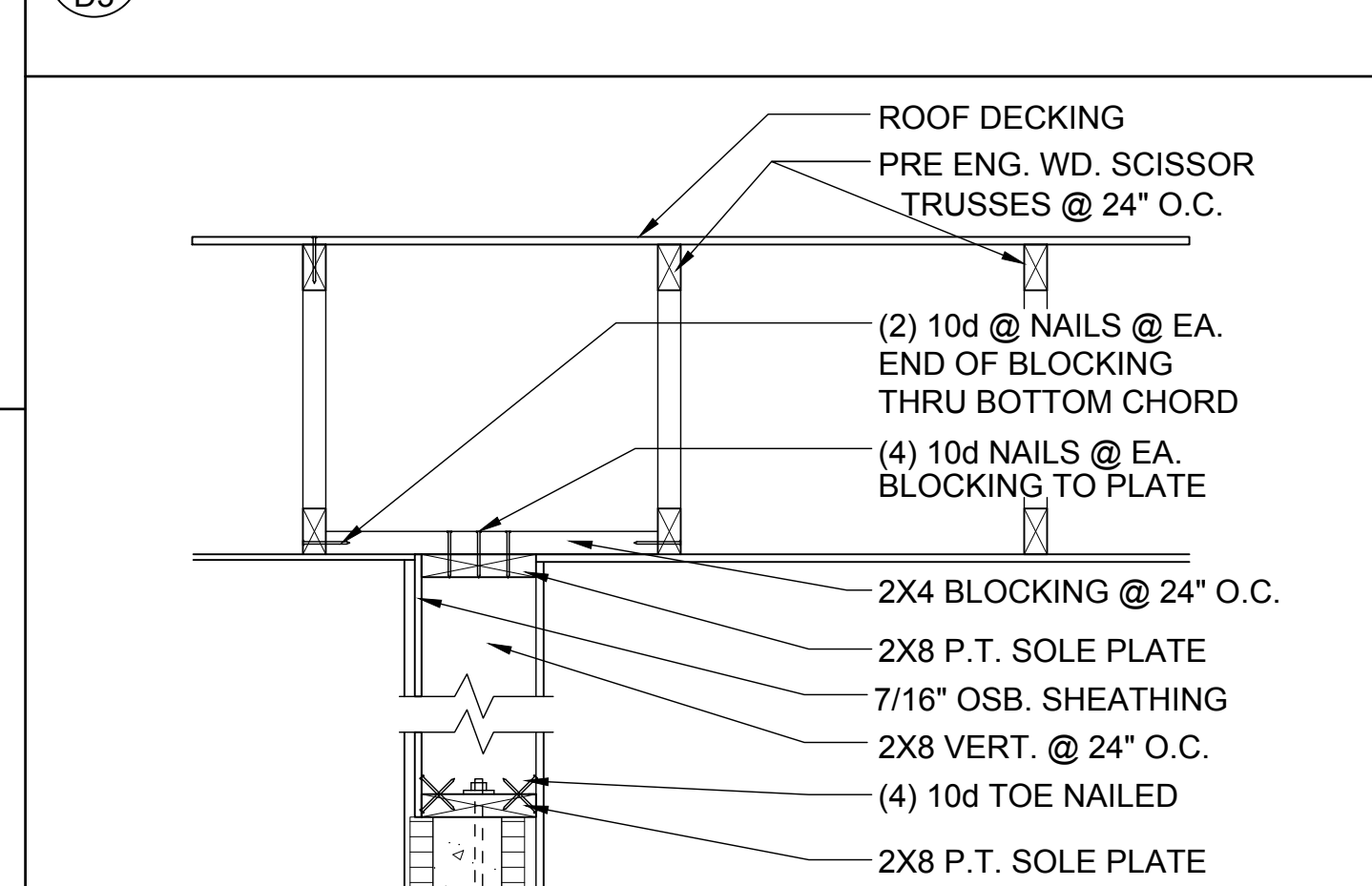
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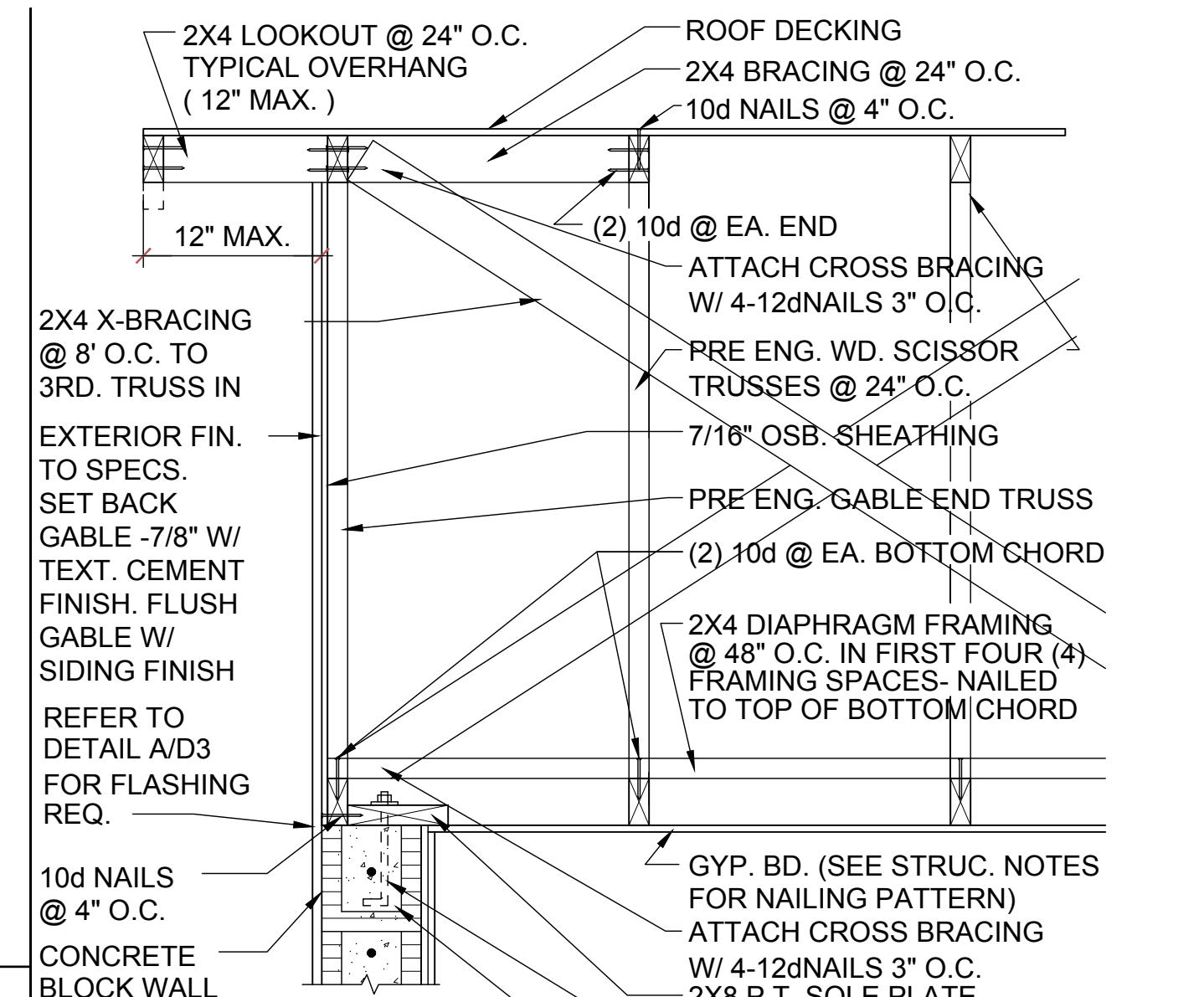
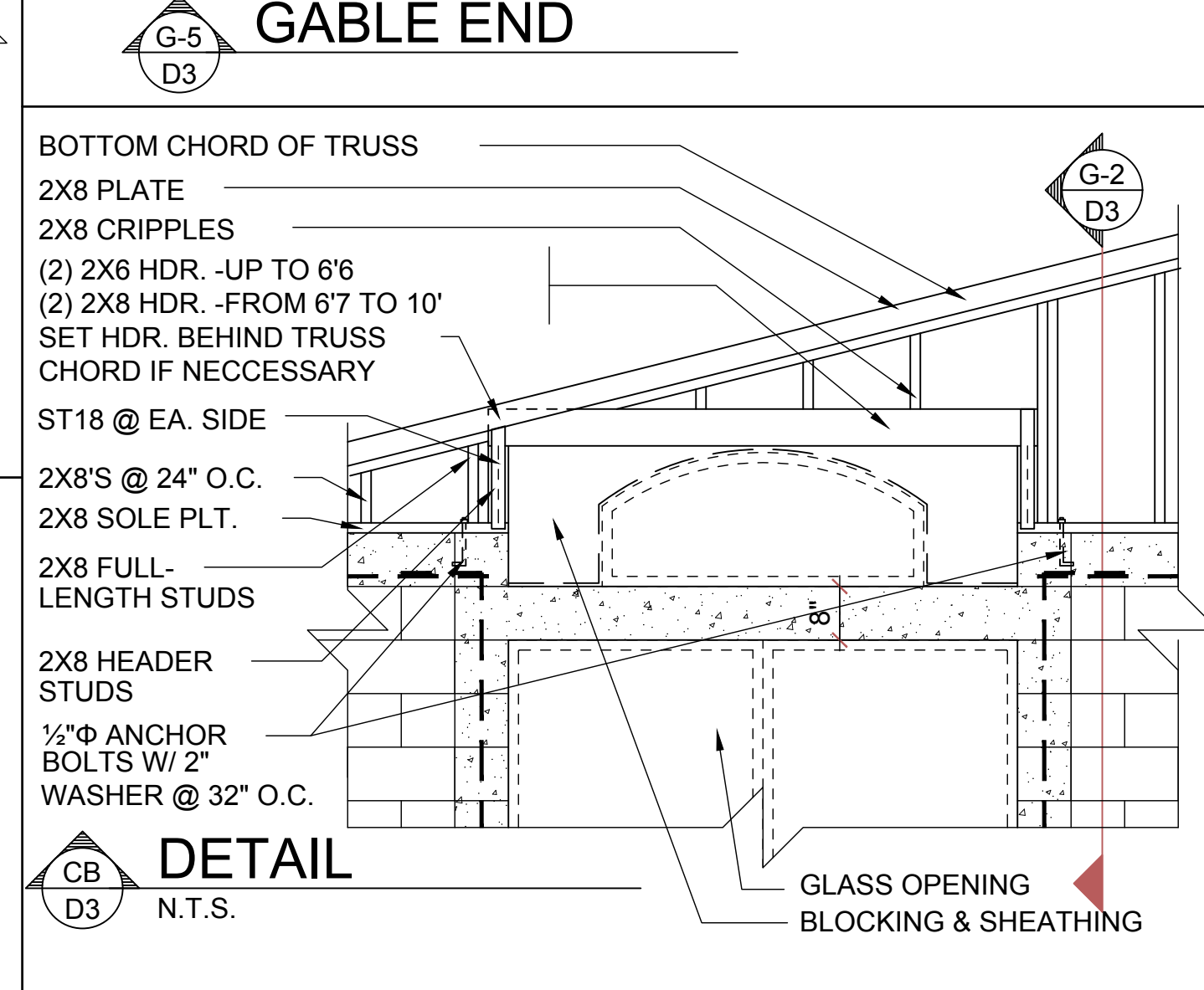
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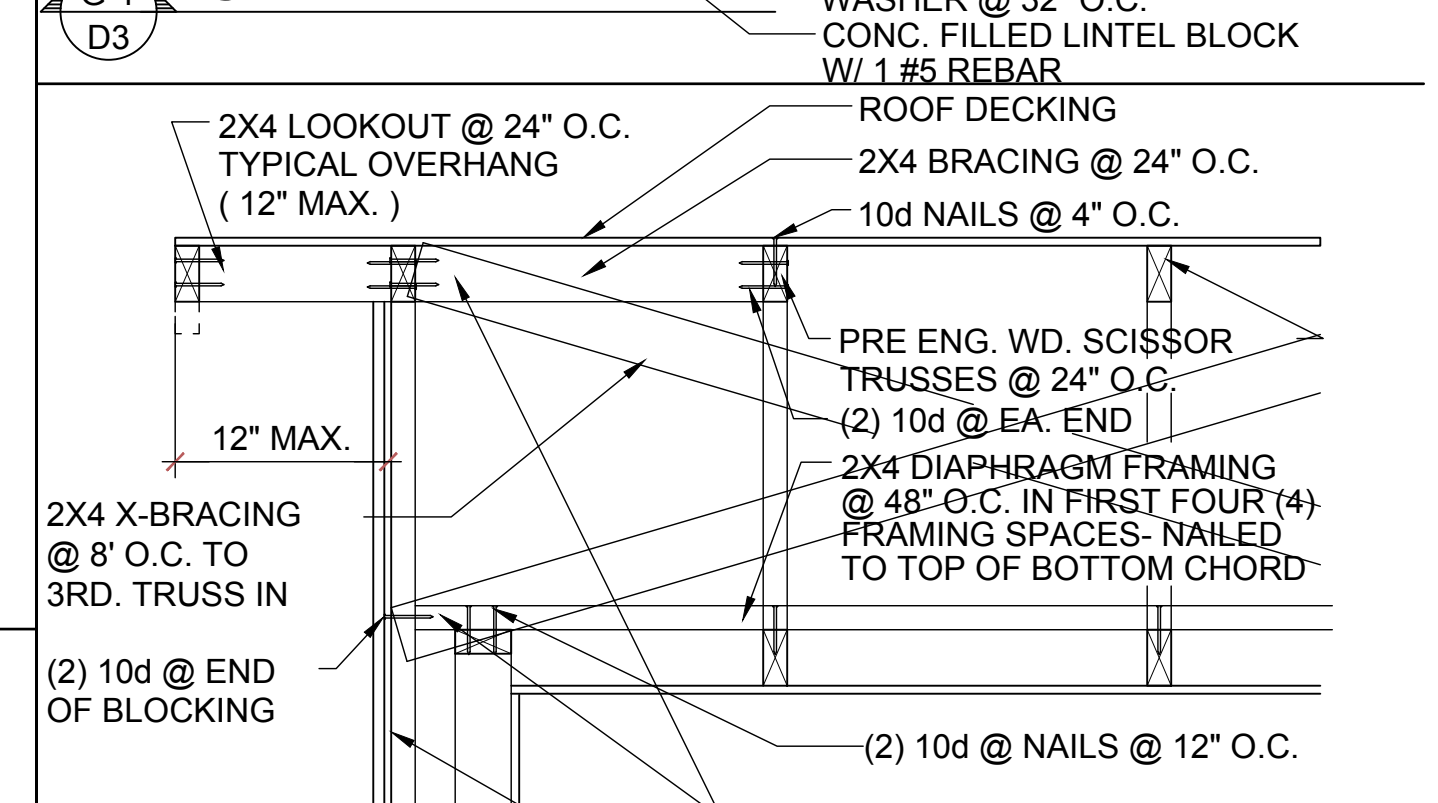
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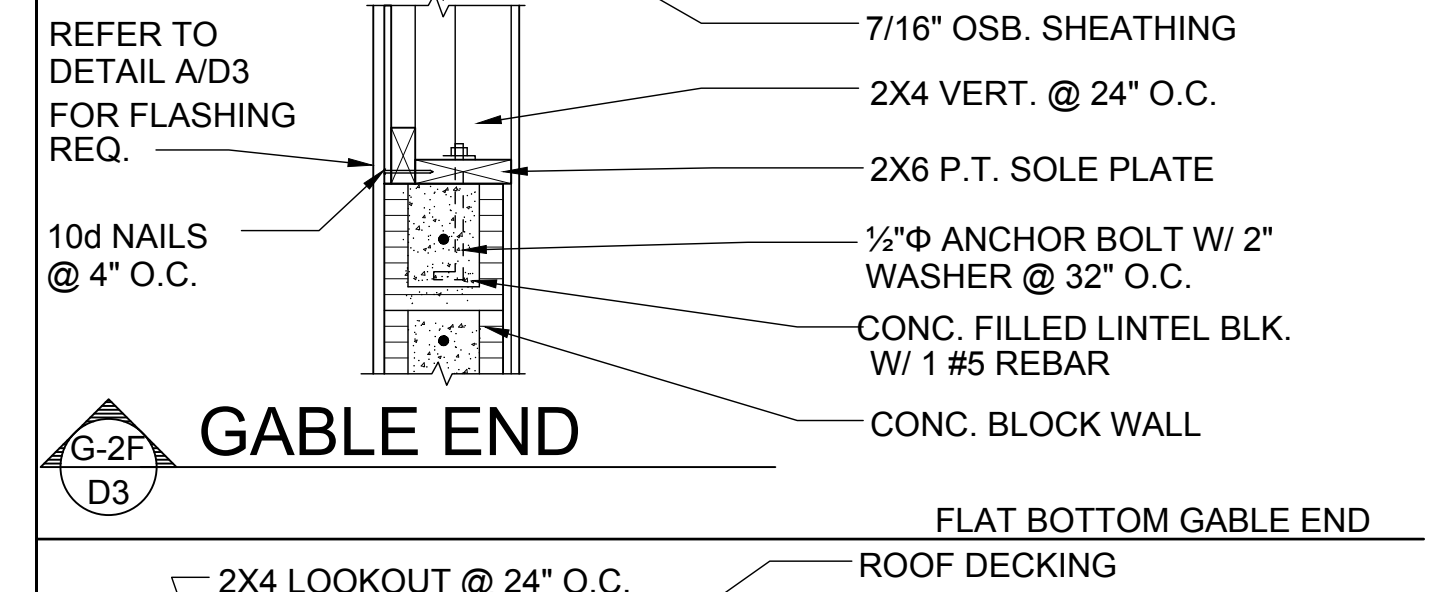
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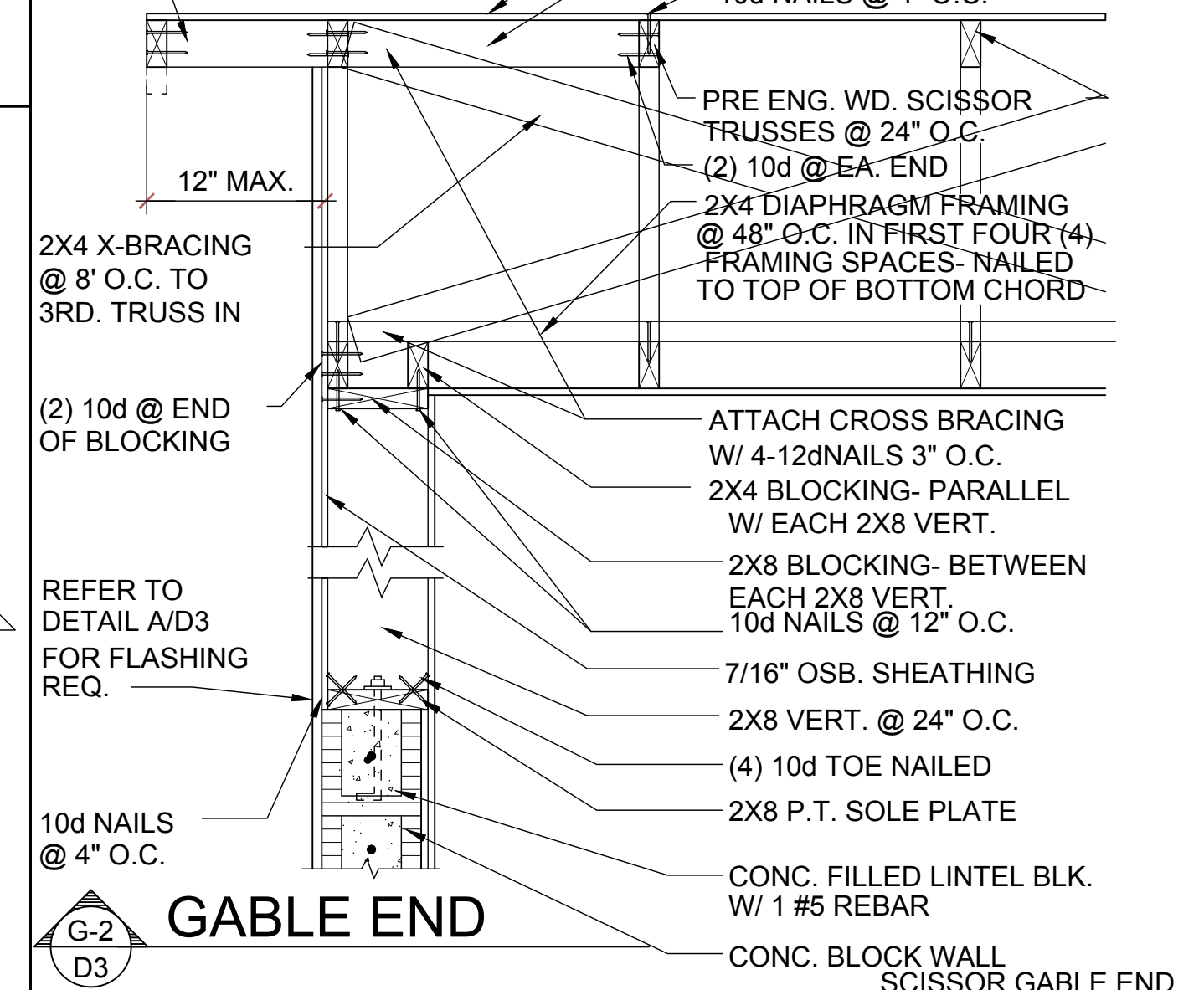
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**GABLE END**



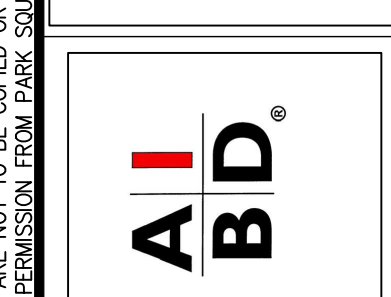
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**GABLE END**



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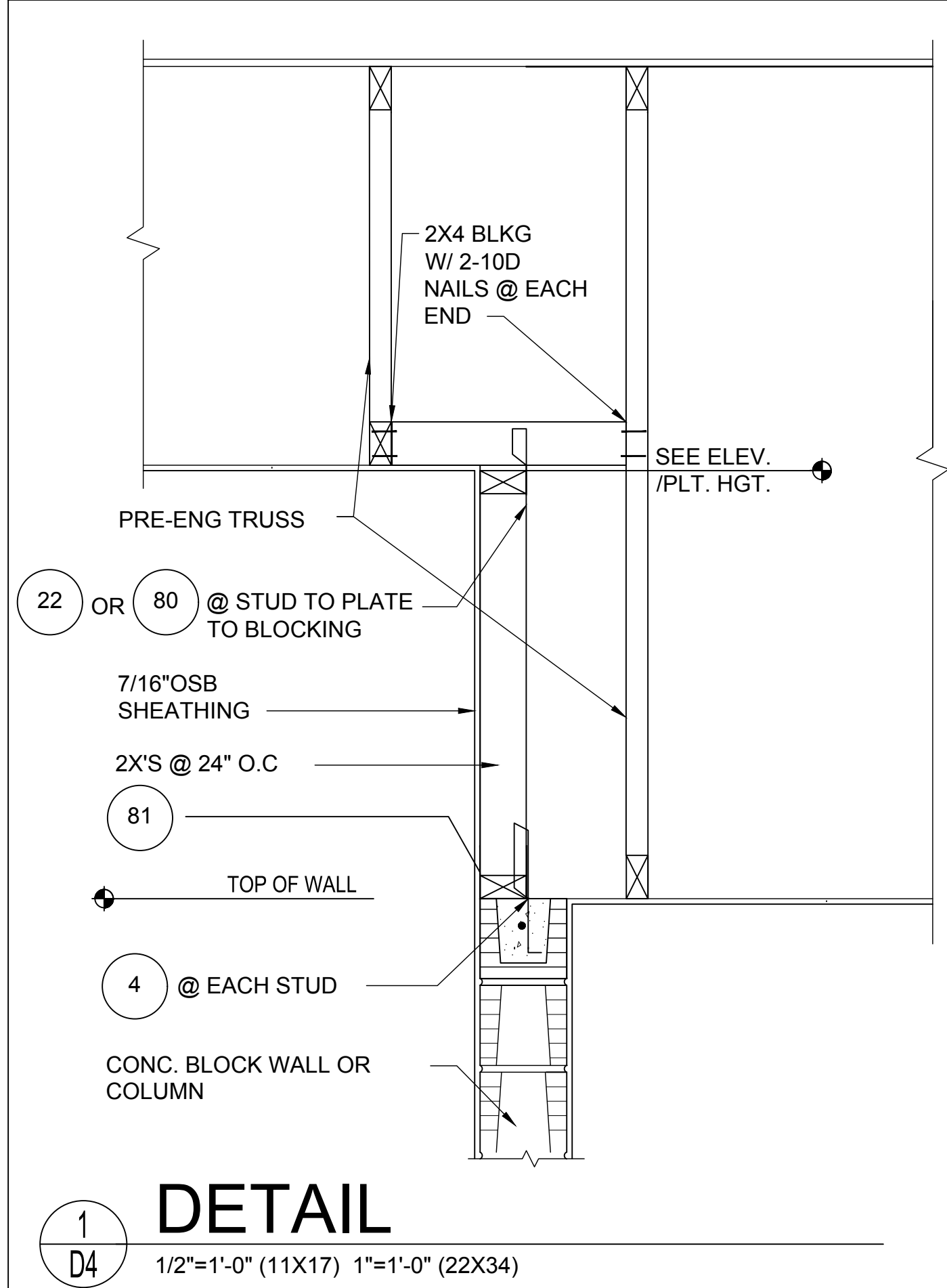
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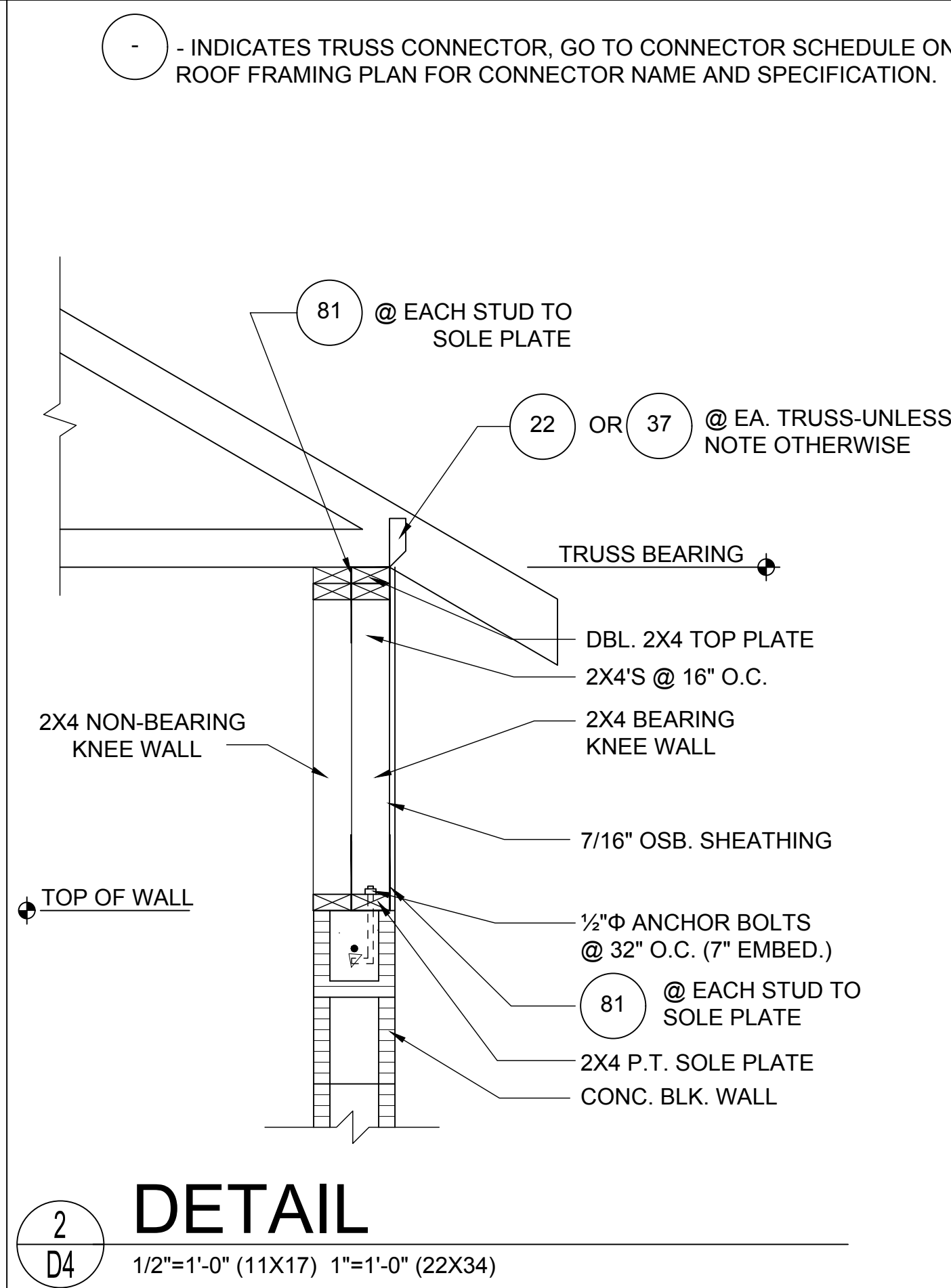


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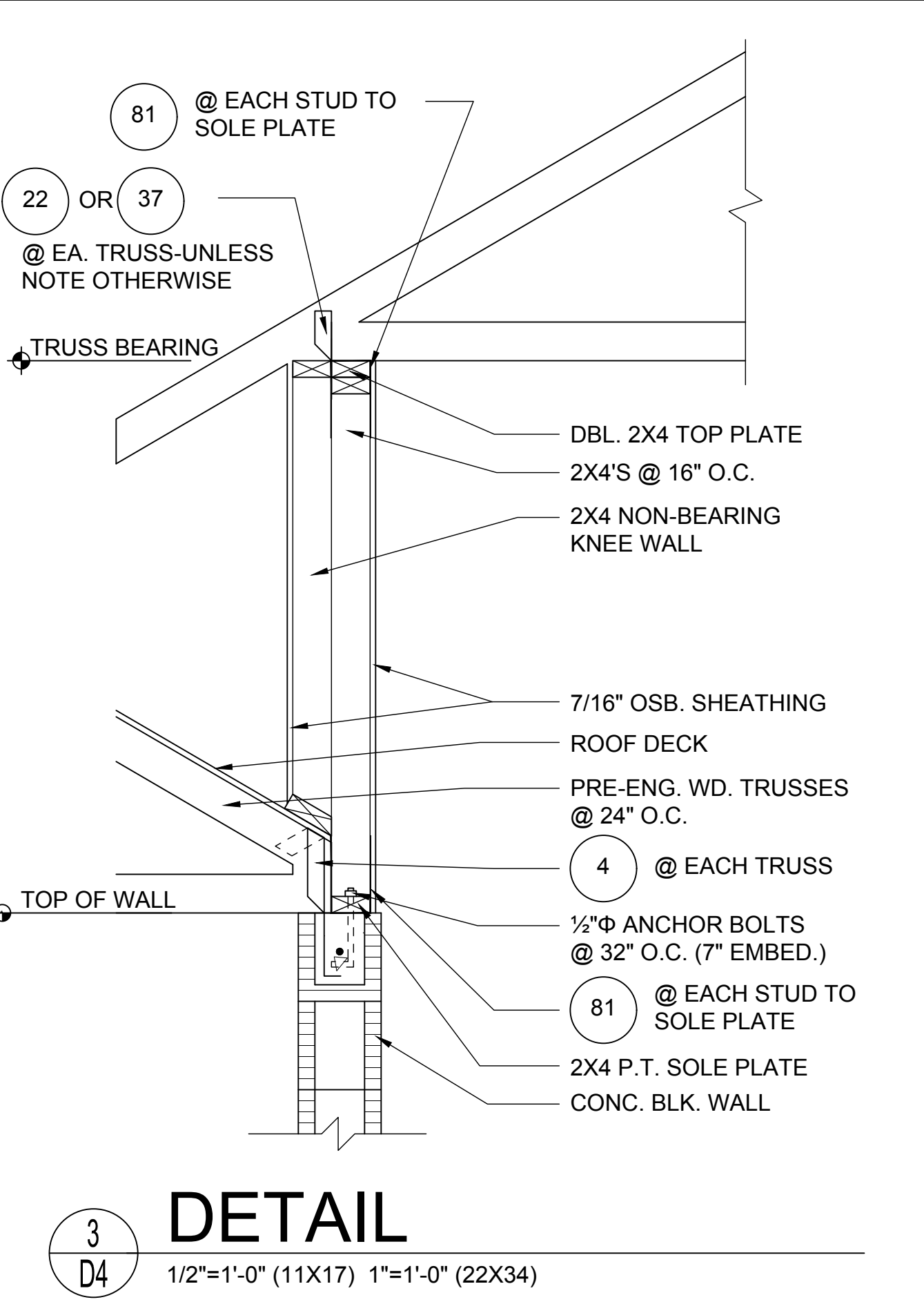
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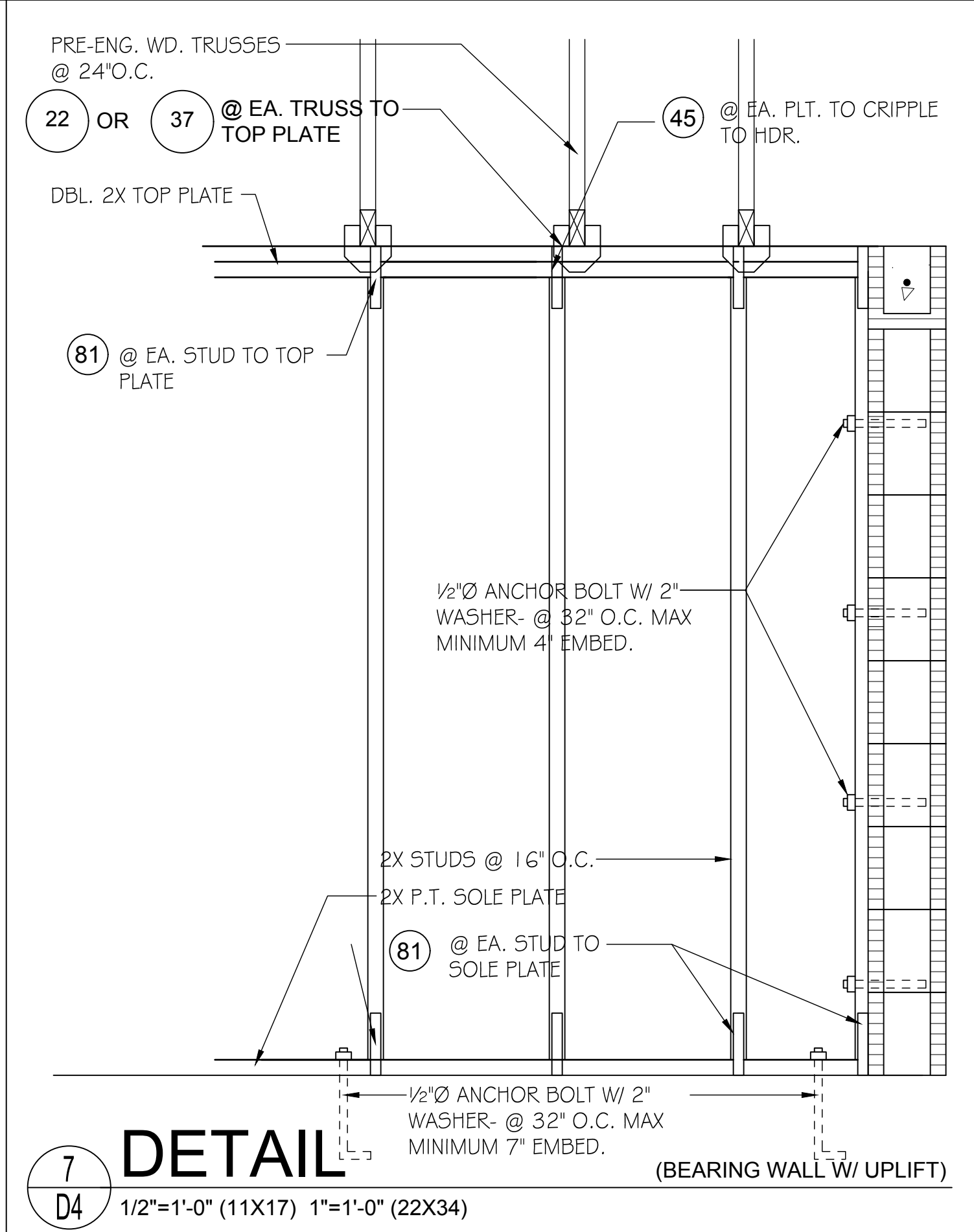
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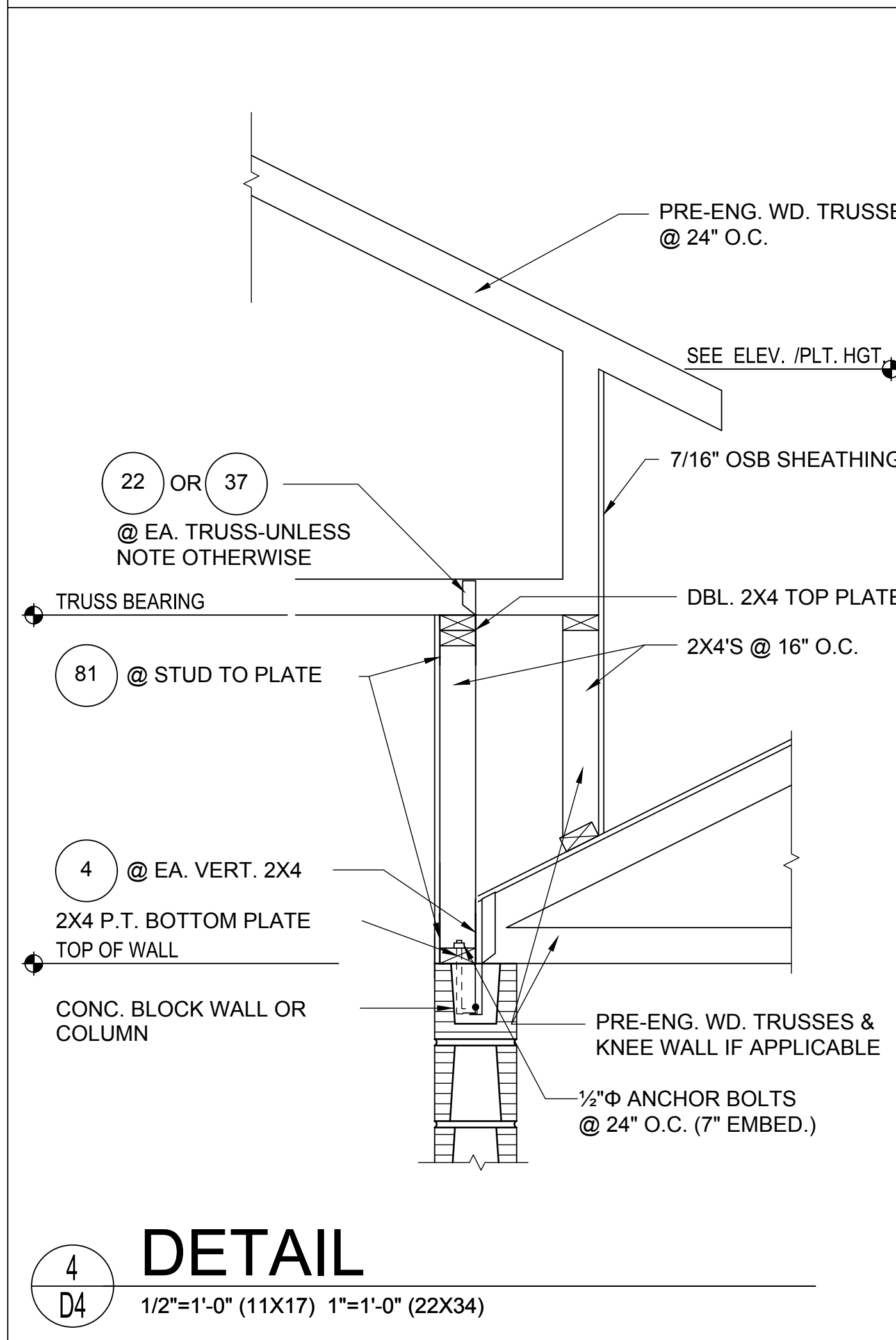
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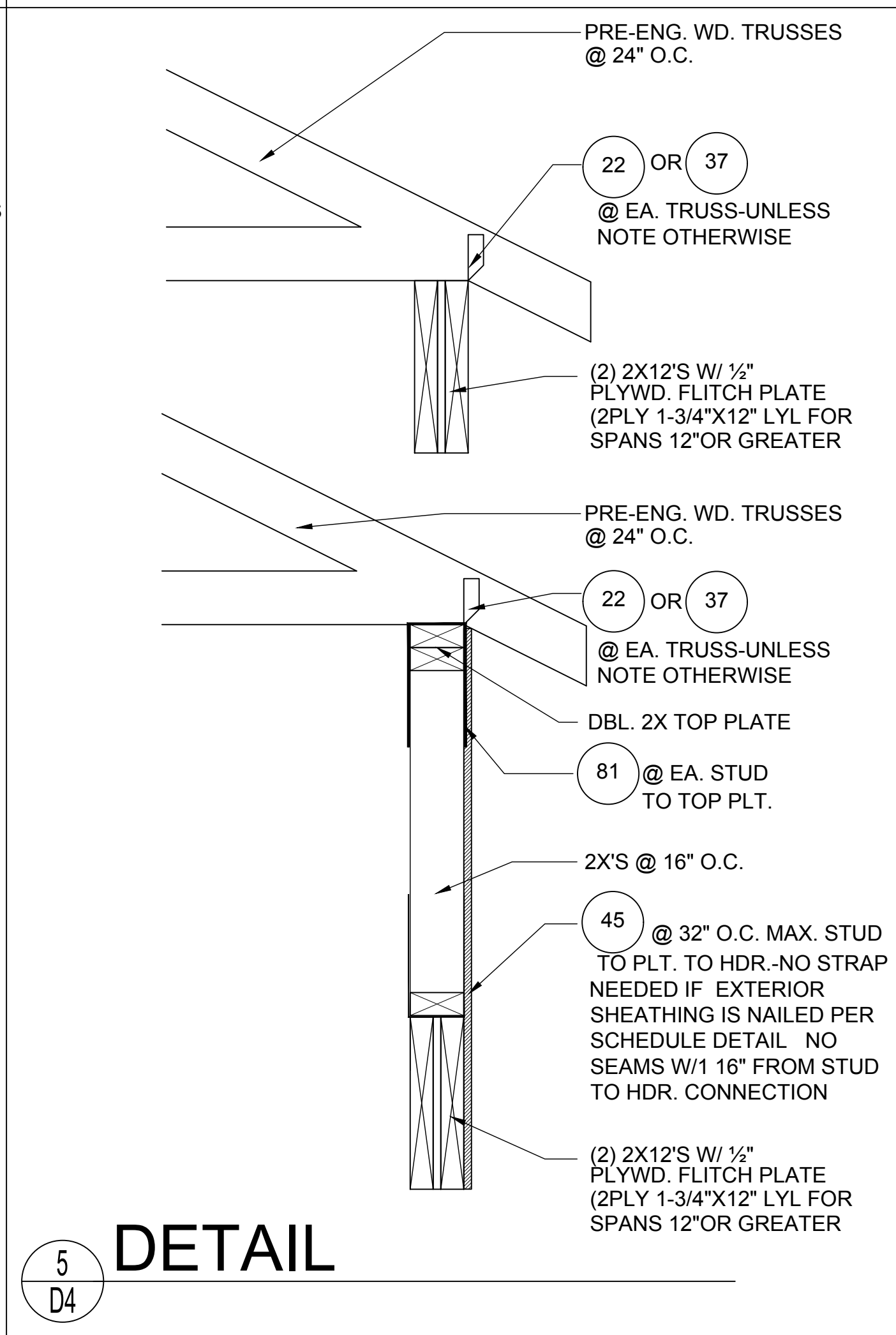
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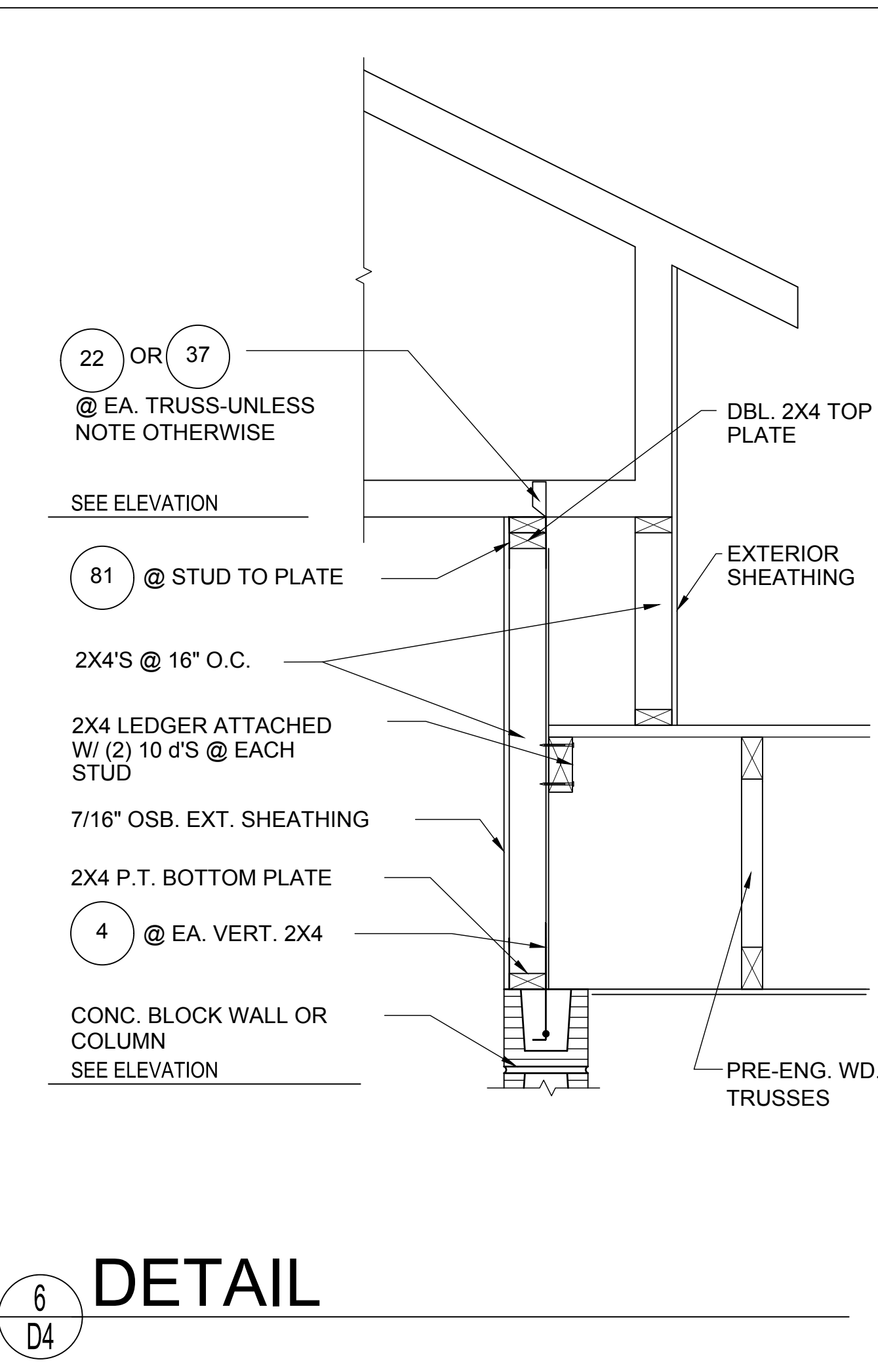
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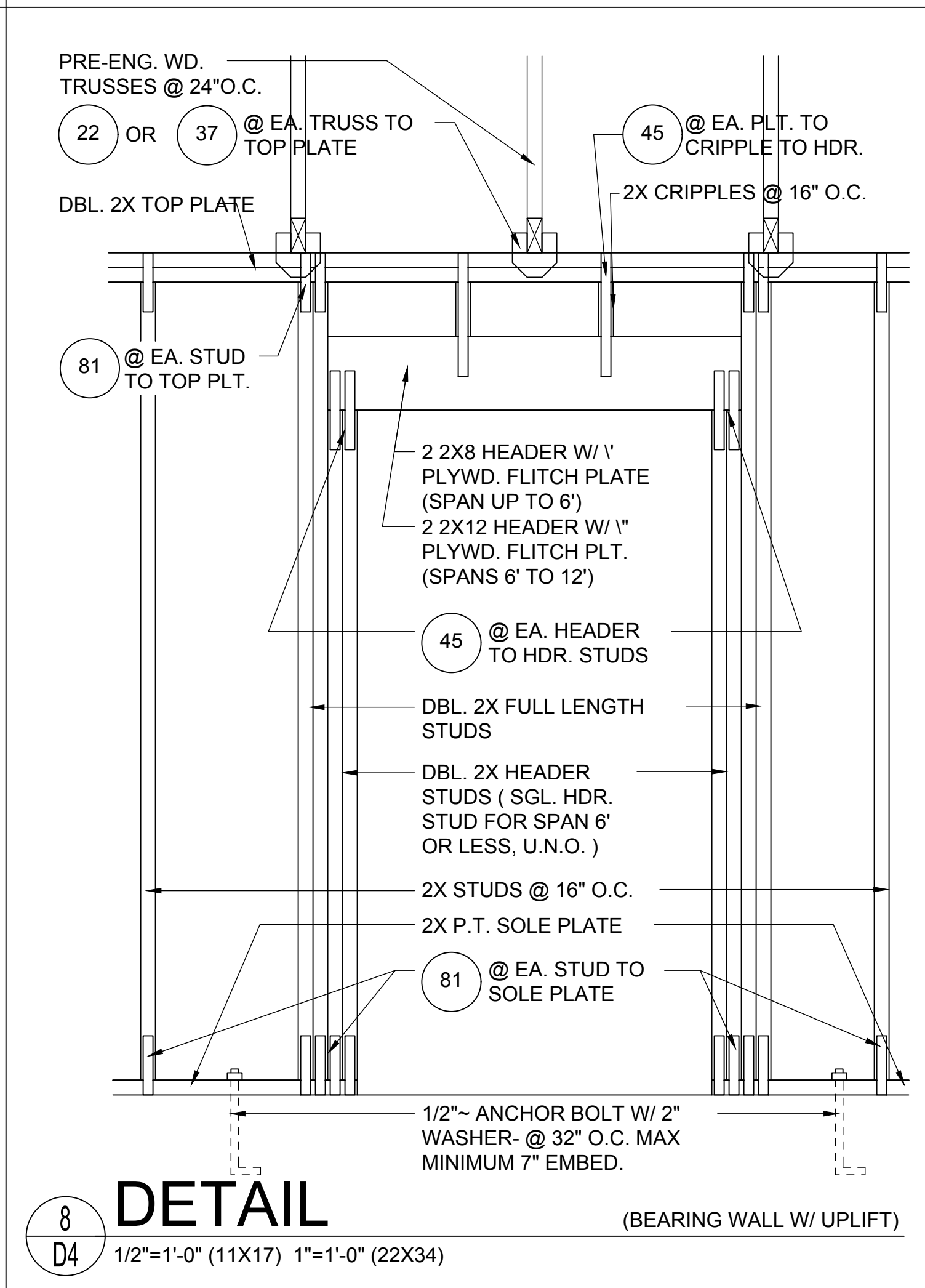
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**5**  
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**DETAIL**  
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**6**  
D4  
**DETAIL**  
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**8**  
D4  
**DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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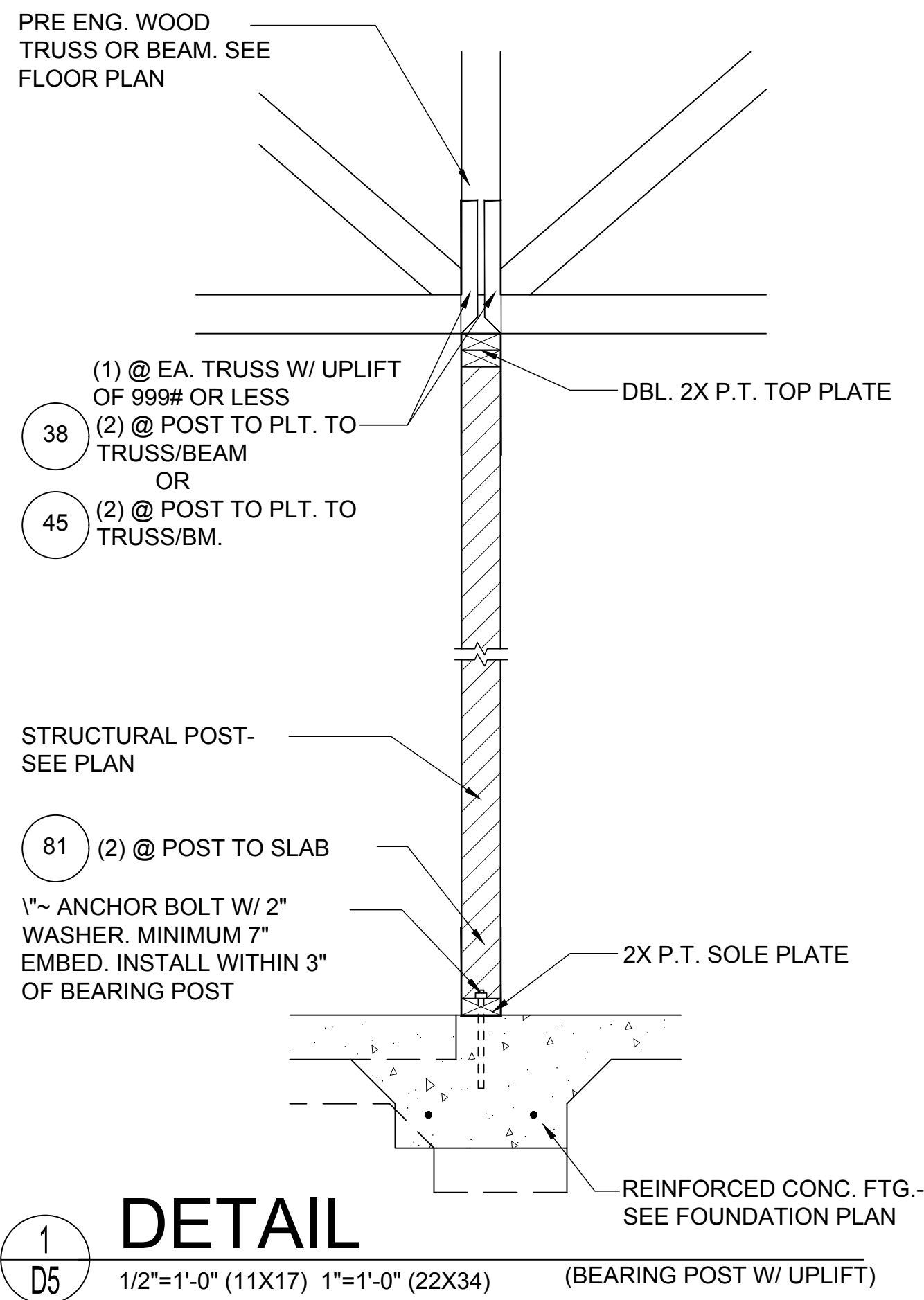
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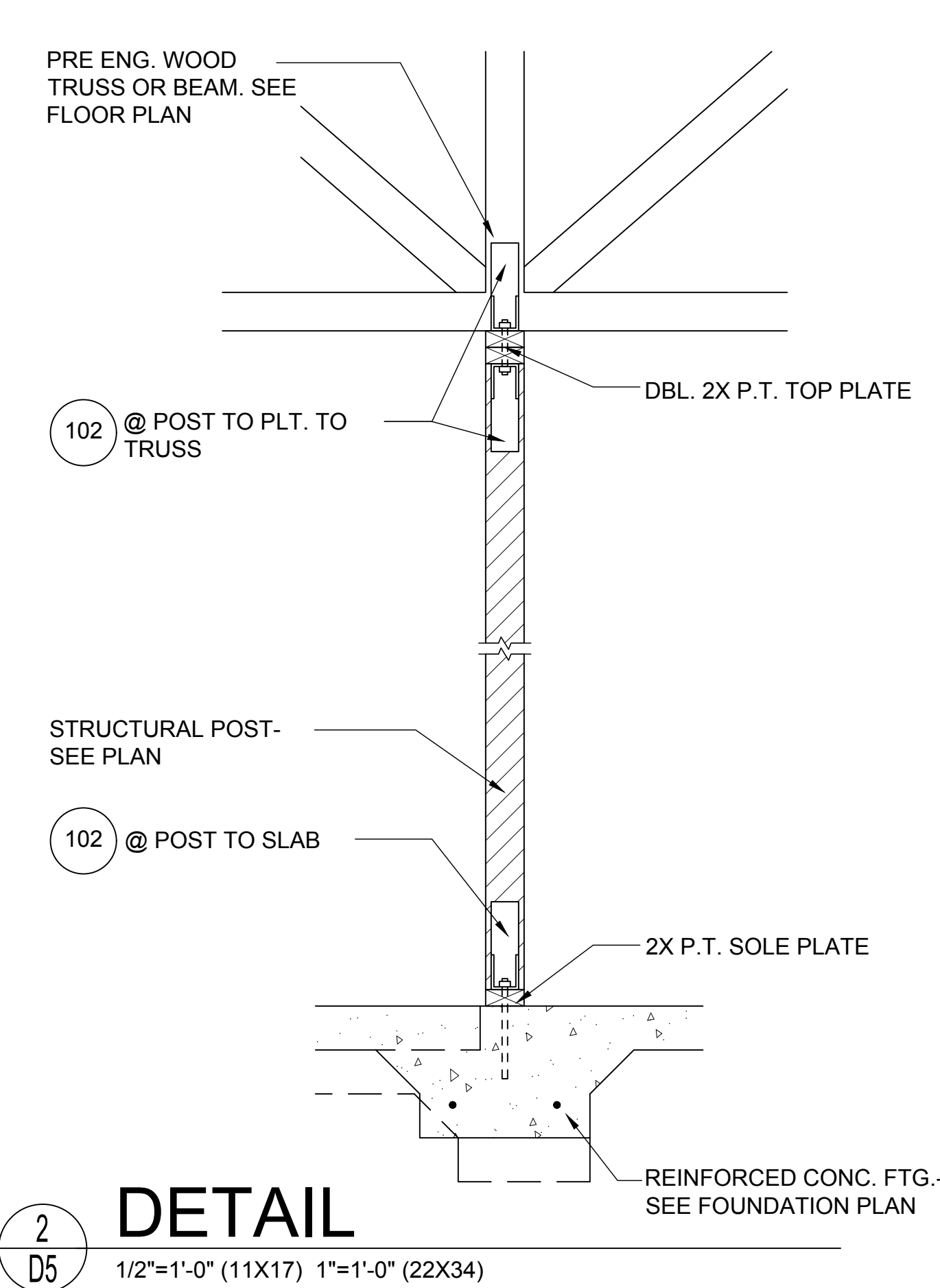
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DESIGNED BY: MJS

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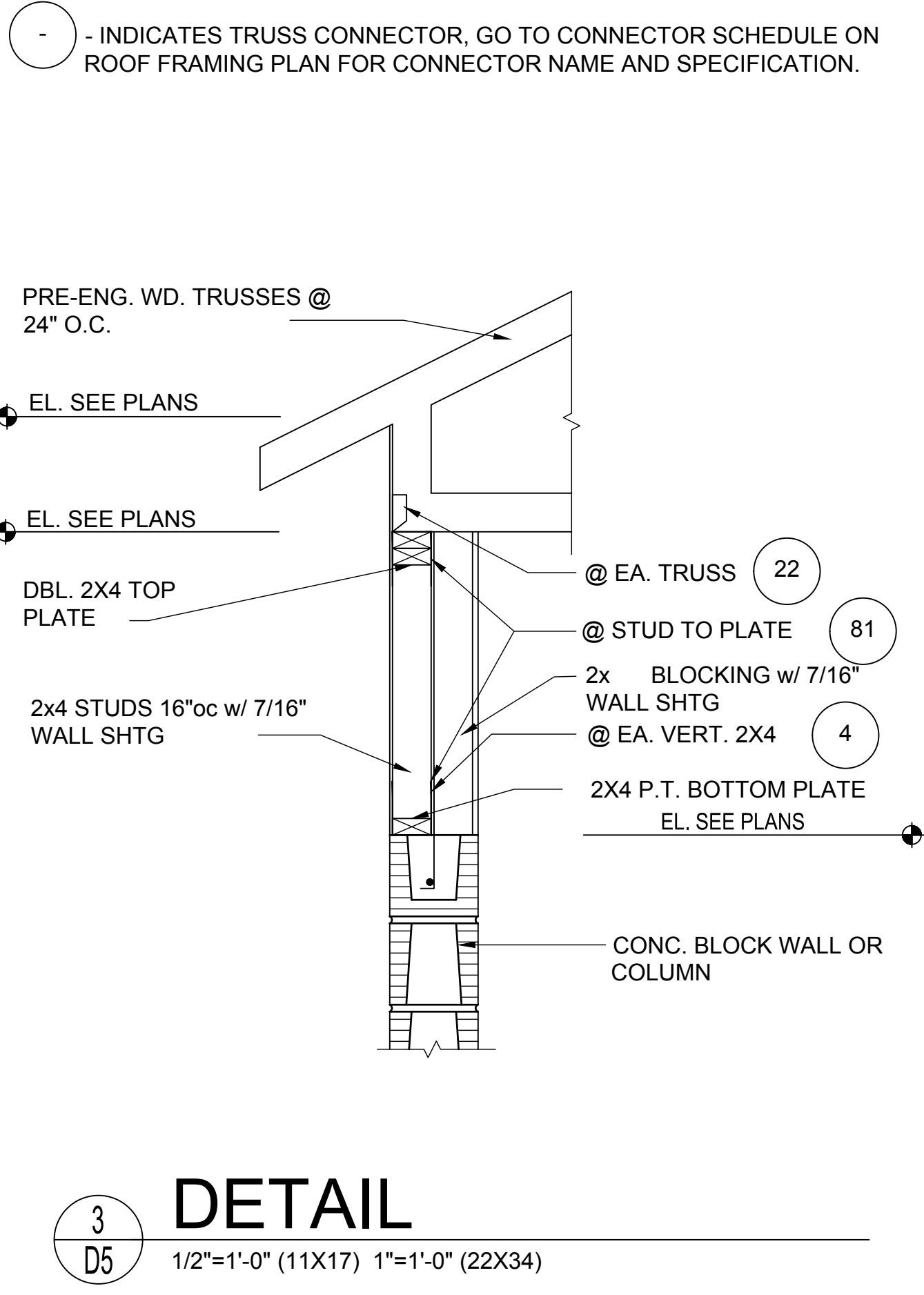
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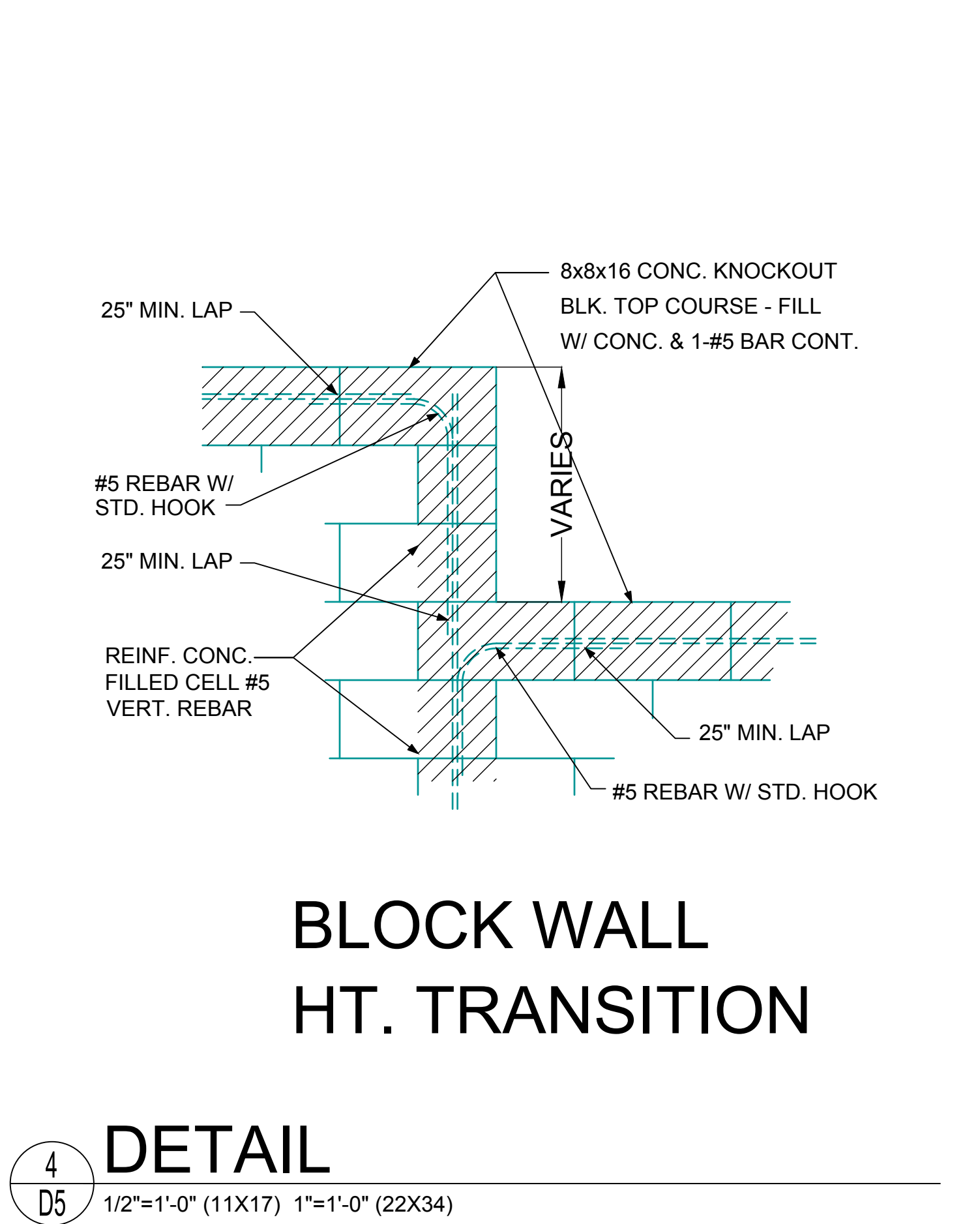
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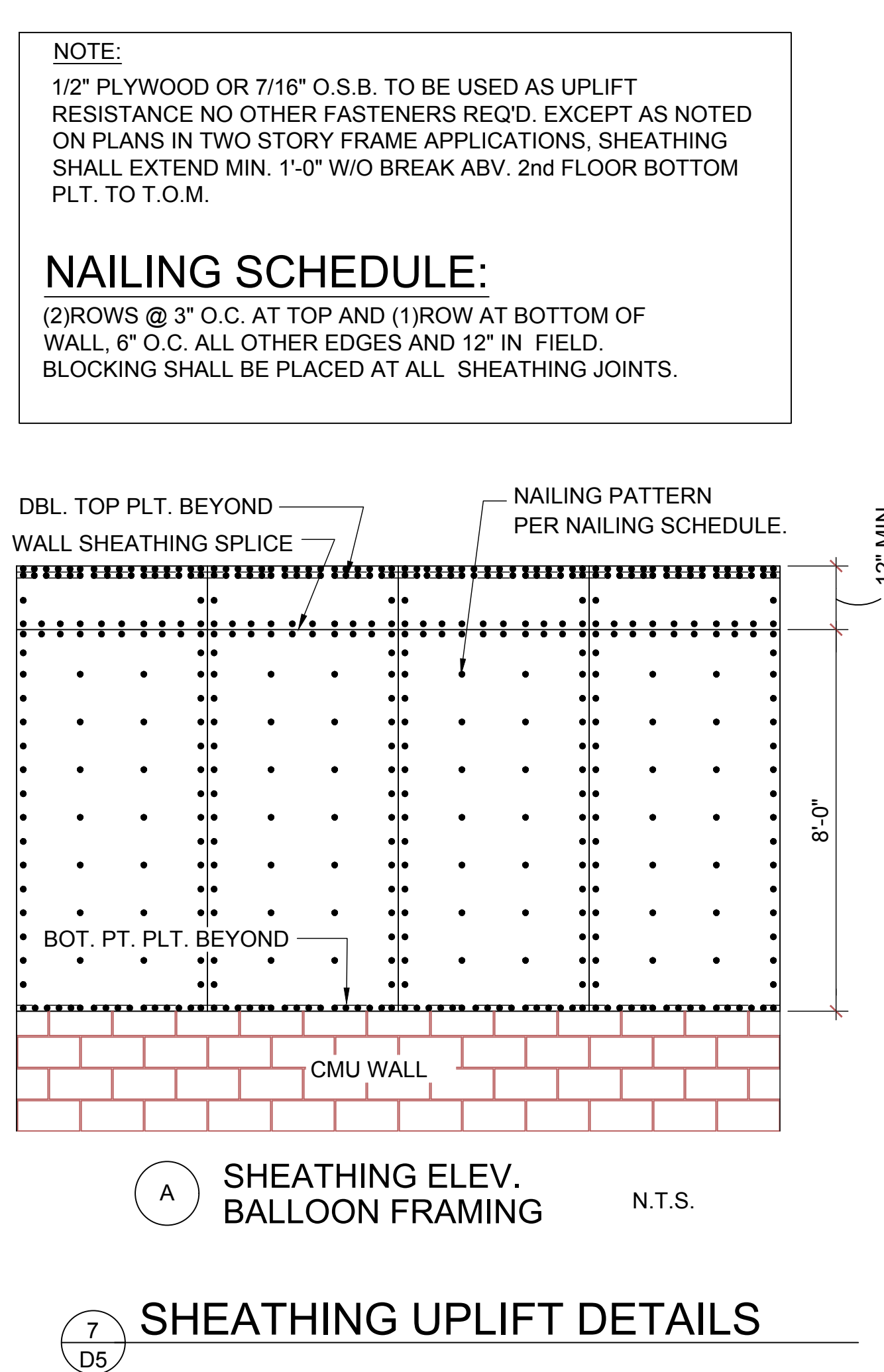
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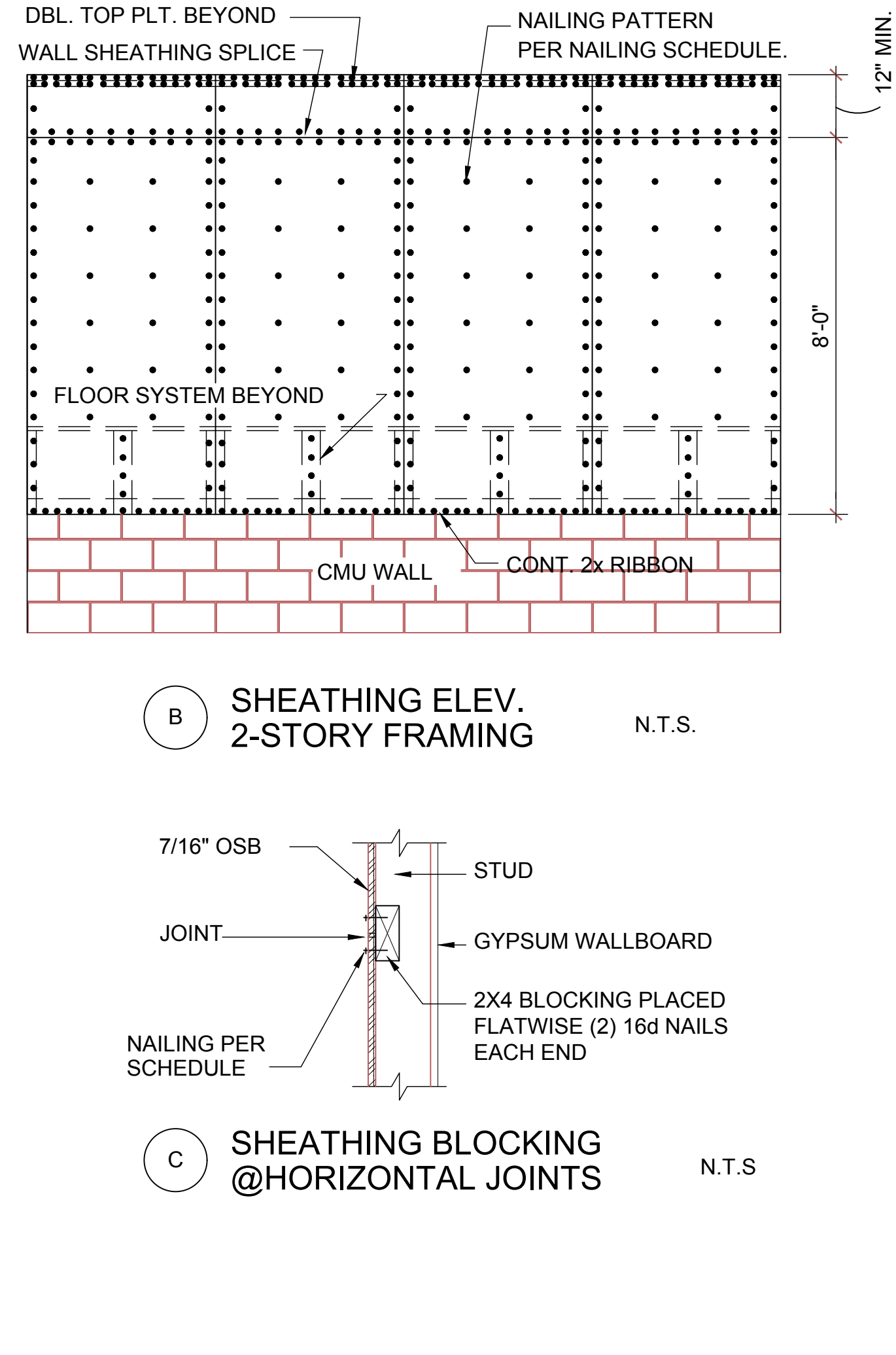
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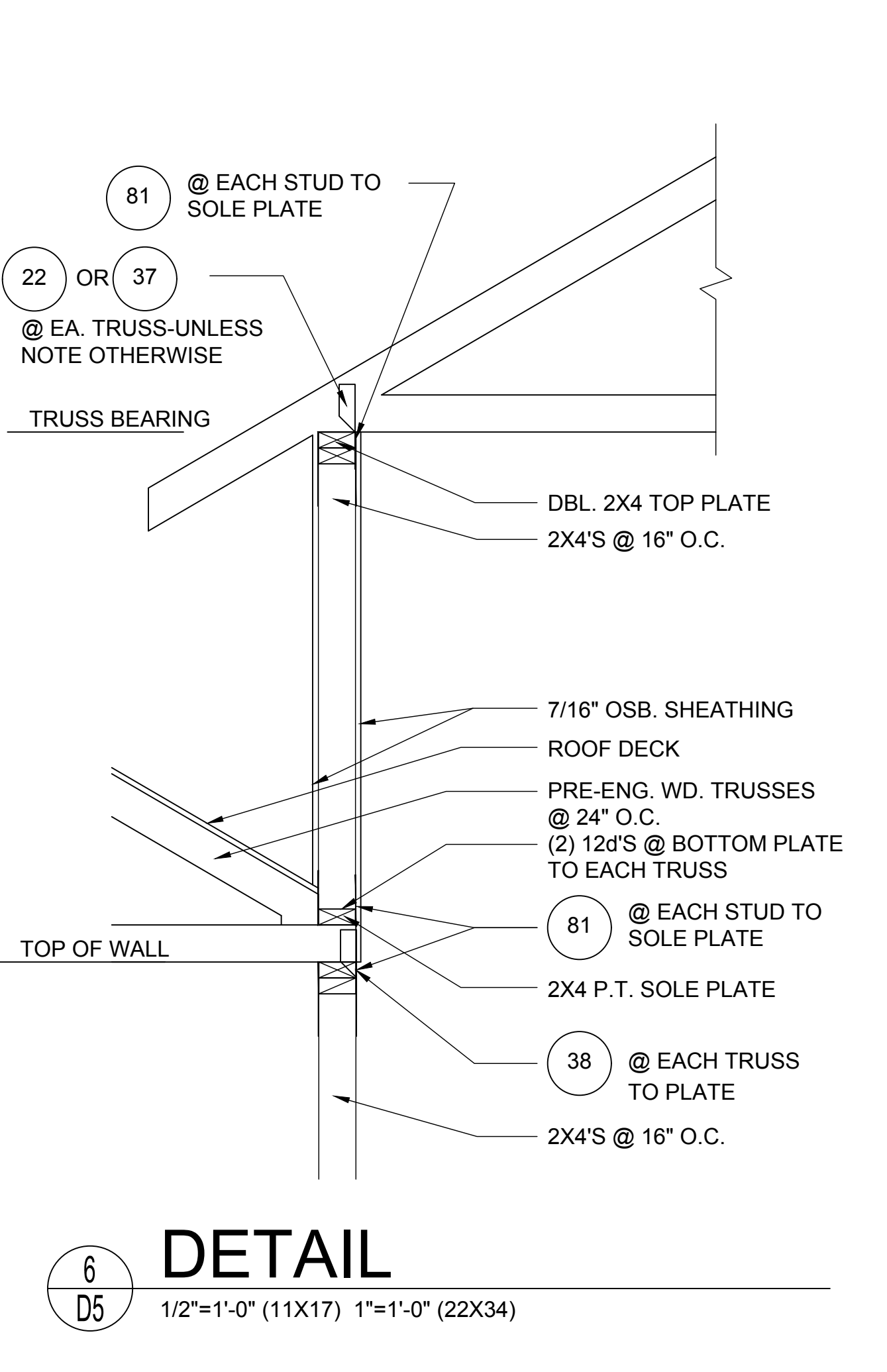
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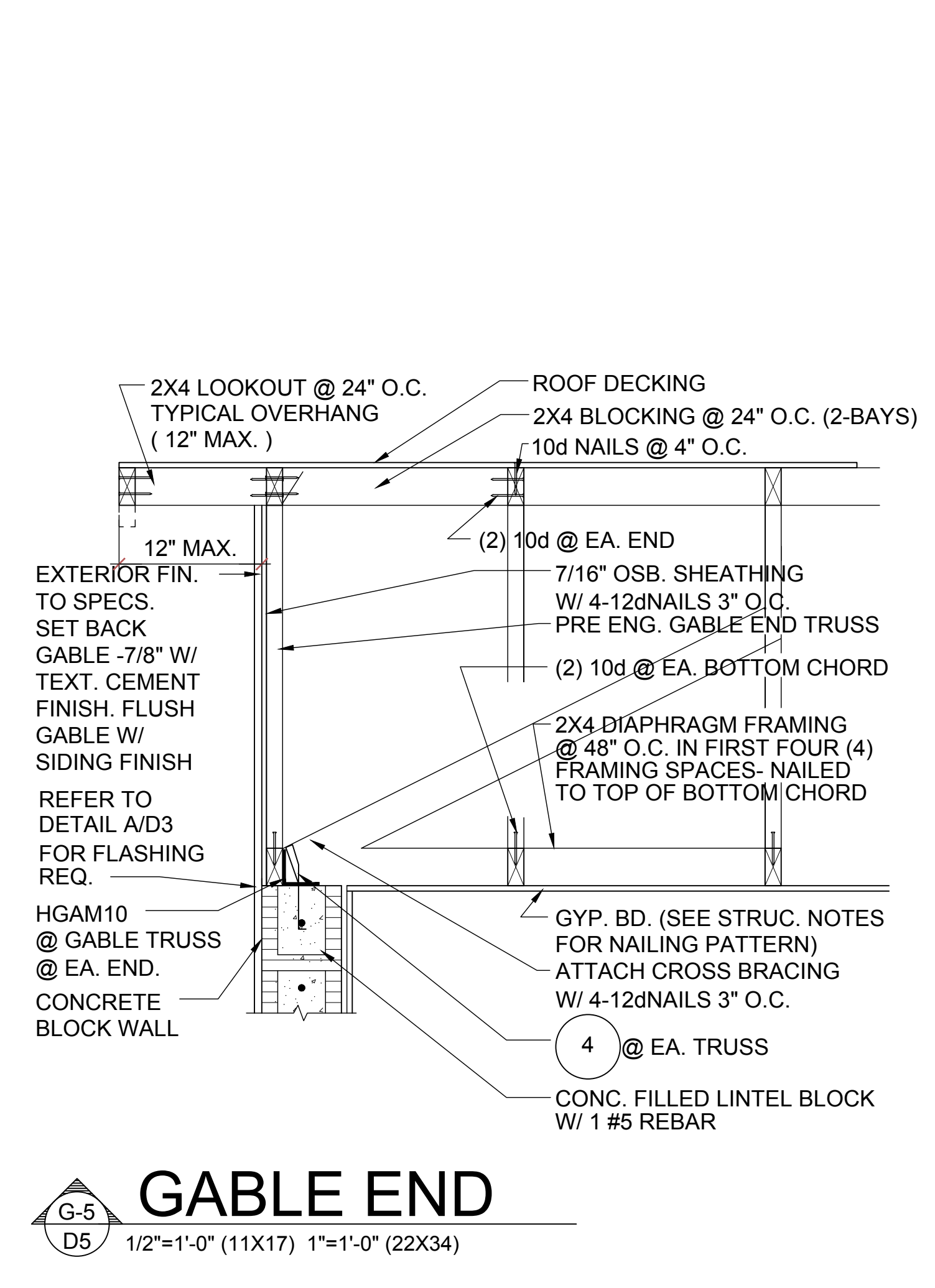
**7**  
D5  
**SHEATHING UPLIFT DETAILS**



**6**  
D5  
**DETAIL**  
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**6**  
D5  
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1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**G-5**  
D5  
**GABLE END**  
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