



# (SUBDIVISION NAME) TOWNHOMES

# Park Square HOMES

## 4-UNIT PRESIDENTIAL TH (60' SERIES) (TRUMAN, WASHINGTON, CARTER, TRUMAN-REV.)

PAD SIZE 92'-0" x 60'-0"

### SHEET INDEX:

- A0 COVER SHEET
- A1 FIRST FLOOR OVERALL
- A2 SECOND FLOOR OVERALL
- A3 SECOND FLOOR OVERALL (OPT. BDRM.#4)
- A4 SLAB PLAN
- A5 FLOOR PLANS (TRUMAN)
- A6 FLOOR PLANS (WASHINGTON)
- A7 FLOOR PLANS (CARTER)
- A8 FLOOR PLANS (TRUMAN-REV.)
- A9 FRONT & REAR ELEVATIONS
- A10 LEFT & RIGHT ELEVATIONS
- A11 BUILDING SECTION & ROOF LAYOUT
- A12 SECTIONS: TRUMAN & WASHINGTON
- E1 SECTIONS: CARTER
- E1 ELECTRICAL LAYOUT (TRUMAN)
- E2 ELECTRICAL LAYOUT (WASHINGTON)
- E3 ELECTRICAL LAYOUT (CARTER)
- E4 ELECTRICAL LAYOUT (TRUMAN-REV.)

### REVISION SCHEDULE:

NO.	DATE:	DESCRIPTION:	BY:

<h4>DISTRIBUTED LIVE LOAD</h4> <p>(N POUNDS PER SQ. FT.)</p> <table border="1"> <tr><td>UNINHABITABLE ATTICS WITHOUT STORAGE</td><td>10</td></tr> <tr><td>UNINHABITABLE ATTICS WITH LIMITED STORAGE</td><td>15</td></tr> <tr><td>HABITABLE ATTICS &amp; ATTICS SERVED WITH FIXED STAIRS</td><td>20</td></tr> <tr><td>BALCONIES (EXTERIOR) AND DECKS</td><td>40</td></tr> <tr><td>FIRE ESCAPES</td><td>40</td></tr> <tr><td>GUARDS AND HANDRAILS</td><td>200</td></tr> <tr><td>GUARD INFILL COMPONENTS</td><td>50</td></tr> <tr><td>PASSENGER VEHICLE GARAGES</td><td>40</td></tr> <tr><td>ROOMS OTHER THAN SLEEPING ROOMS</td><td>40</td></tr> <tr><td>SLEEPING ROOMS</td><td>30</td></tr> <tr><td>STAIRS</td><td>15</td></tr> </table> <h4>ANSI STANDARD FOR MEASURING HOUSES</h4> <p>THE ANSI STANDARD FOR MEASURING HOUSES: NATIONAL STANDARD Z75-1988 NEW CONSTRUCTION THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS FOR ATTACHED UNITS. THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS FOR ATTACHED UNITS. THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS AREN'T USED IN THIS SYSTEM OF MEASURING.</p> <p>THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS SEPARATED INTO TWO AREAS:</p> <ol style="list-style-type: none"> <li>AIR-CONDITIONED SPACE</li> <li>NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES, BREEZEWAYS)</li> </ol> <p>THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE. EMPLOYING WALLS, FLOORS, AND CEILING THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE USUALLY LISTED SEPARATELY."</p> <h4>GENERAL CONTRACTOR:</h4> <p>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH UNIT/ HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.</p>	UNINHABITABLE ATTICS WITHOUT STORAGE	10	UNINHABITABLE ATTICS WITH LIMITED STORAGE	15	HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	20	BALCONIES (EXTERIOR) AND DECKS	40	FIRE ESCAPES	40	GUARDS AND HANDRAILS	200	GUARD INFILL COMPONENTS	50	PASSENGER VEHICLE GARAGES	40	ROOMS OTHER THAN SLEEPING ROOMS	40	SLEEPING ROOMS	30	STAIRS	15	<h4>ENGINEERING KEY</h4> <p>DESIGN REQUIREMENTS</p> <ol style="list-style-type: none"> <li>ROOF LIVE LOAD IS 20 PSF</li> <li>FLOORS LIVE LOAD IS 40 PSF. BALCONIES, DECKS, STAIRS, LIVE LOAD IS 60PSF</li> </ol> <p>NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL (8TH EDITION)</p> <ol style="list-style-type: none"> <li>WIND EXPOSURE - CATEGORY (B)</li> <li>ULTIMATE WIND SPEED - 140MPH - NOMINAL WIND SPEED - 108MPH</li> <li>WIND IMPORTANCE FACTOR - 1.0</li> <li>INTERNAL PRESSURE COEFFICIENT - 18</li> <li>MAXIMUM PRESSURE FOR COMPONENTS AND CLADDING, 21.0 psf / 28.1 psf. UNLESS NOTED OTHERWISE.</li> <li>SINGLE FAMILY RESIDENCE TO BE RISK CATEGORY II.</li> </ol> <h4>DESIGN STATEMENT</h4> <p>THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL (8TH EDITION).</p> <table border="1"> <thead> <tr> <th>EFFECTIVE WIND AREA (SQ. FT.)</th> <th>WIND PRESSURE AND SUCTION (PSF.)</th> <th>(+) VALUE DENOTES PRESSURE</th> <th>(-) VALUE DENOTES SUCTION</th> </tr> <tr> <td></td> <td>(4)</td> <td>(5)</td> <td></td> </tr> </thead> <tbody> <tr> <td>10</td> <td>(+) 34.7 / (-) 37.7</td> <td>(+) 34.7 / (-) 46.5</td> <td></td> </tr> <tr> <td>20</td> <td>(+) 33.2 / (-) 36.1</td> <td>(+) 33.2 / (-) 43.4</td> <td></td> </tr> <tr> <td>50</td> <td>(+) 31.1 / (-) 34.0</td> <td>(+) 31.1 / (-) 39.2</td> <td></td> </tr> <tr> <td>100</td> <td>(+) 29.5 / (-) 32.5</td> <td>(+) 29.5 / (-) 36.1</td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>GARAGE DOORS</th> <th>OVERHANG</th> </tr> </thead> <tbody> <tr> <td>18'-0" x 8'-0"</td> <td>16'-0" x 7'-0"</td> </tr> <tr> <td>(+) 28.7 / (-) 31.6</td> <td>(+) 29.3 / (-) 32.2</td> </tr> <tr> <td>9'-0" x 8'-0"</td> <td>8'-0" x 7'-0"</td> </tr> <tr> <td>(+) 30.3 / (-) 33.2</td> <td>(+) 30.8 / (-) 33.8</td> </tr> <tr> <td></td> <td>(-) 39.50</td> </tr> </tbody> </table> <h4>WIND PRESSURE AND SUCTION DIAGRAM</h4> <h4>GENERAL PRESSURE NOTES</h4> <ol style="list-style-type: none"> <li>3" END ZONE IS ONLY WITHIN 5'-0" OF ALL EXTERIOR BUILDING CORNERS.</li> <li>INDICATED PRESSURES CAN BE INTERPOLATED FOR OTHER DOOR SIZES, OTHERWISE USE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.</li> </ol> <p>FLORIDA BUILDING CODE: (FBC) 2023 (8TH EDITION)</p> <p>DESIGN CRITERIA:</p> <ul style="list-style-type: none"> <li>2023 FLORIDA BUILDING CODE (BUILDING) - 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (RESIDENTIAL) - 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (PLUMBING) - 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (MECHANICAL) - 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (FUELS/GAS) - 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (EXISTING BUILDING) 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (ACCESSIBILITY) 8TH EDITION.</li> <li>2023 FLORIDA BUILDING CODE (ENERGY CONSERVATION) 8TH EDITION.</li> <li>2020 FLORIDA FIRE PREVENTION CODE (7TH EDITION).</li> <li>2020 NATIONAL ELECTRICAL CODE (NEC)</li> <li>2010 NFPA 101 - LIFE SAFETY CODE</li> <li>OCCUPANCY CLASSIFICATION: GROUP R-3 (TOWNHOMES)</li> <li>CONSTRUCTION TYPE: TYPE VB (FBC R 602.3)</li> <li>SPRINKLED: NO (FBC-8 SECTION 903)</li> <li>NUMBER OF STORIES: 2 STORIES</li> </ul> <p>SPECIFIC PARAMETERS FROM FBC 2023 USED FOR DESIGN INCLUDE:</p> <ul style="list-style-type: none"> <li>CONCRETE MASONRY RESIDENTIAL</li> <li>CONSTRUCTION WOOD FRAME CONSTRUCTION</li> <li>AMERICAN SOCIETY OF CIVIL ENGINEERS</li> </ul>	EFFECTIVE WIND AREA (SQ. FT.)	WIND PRESSURE AND SUCTION (PSF.)	(+) VALUE DENOTES PRESSURE	(-) VALUE DENOTES SUCTION		(4)	(5)		10	(+) 34.7 / (-) 37.7	(+) 34.7 / (-) 46.5		20	(+) 33.2 / (-) 36.1	(+) 33.2 / (-) 43.4		50	(+) 31.1 / (-) 34.0	(+) 31.1 / (-) 39.2		100	(+) 29.5 / (-) 32.5	(+) 29.5 / (-) 36.1		GARAGE DOORS	OVERHANG	18'-0" x 8'-0"	16'-0" x 7'-0"	(+) 28.7 / (-) 31.6	(+) 29.3 / (-) 32.2	9'-0" x 8'-0"	8'-0" x 7'-0"	(+) 30.3 / (-) 33.2	(+) 30.8 / (-) 33.8		(-) 39.50
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**MJS**  
designers group  
residential-commercial-architecture

**A I**  
**B D**

**GOBA**  
GROUP OF BUSINESS ASSOCIATION

4-Unit: (Presidential 60' Series)  
Models: Truman, Washington, Carter, Truman  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square  
Enterprises, Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

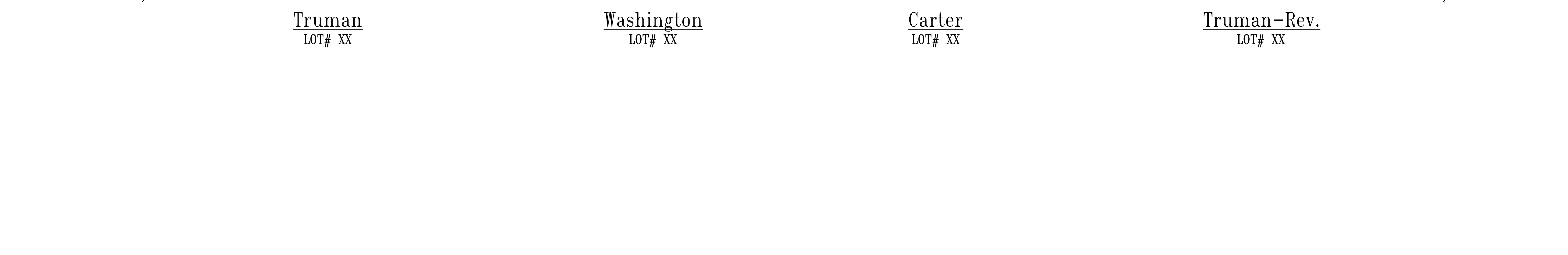
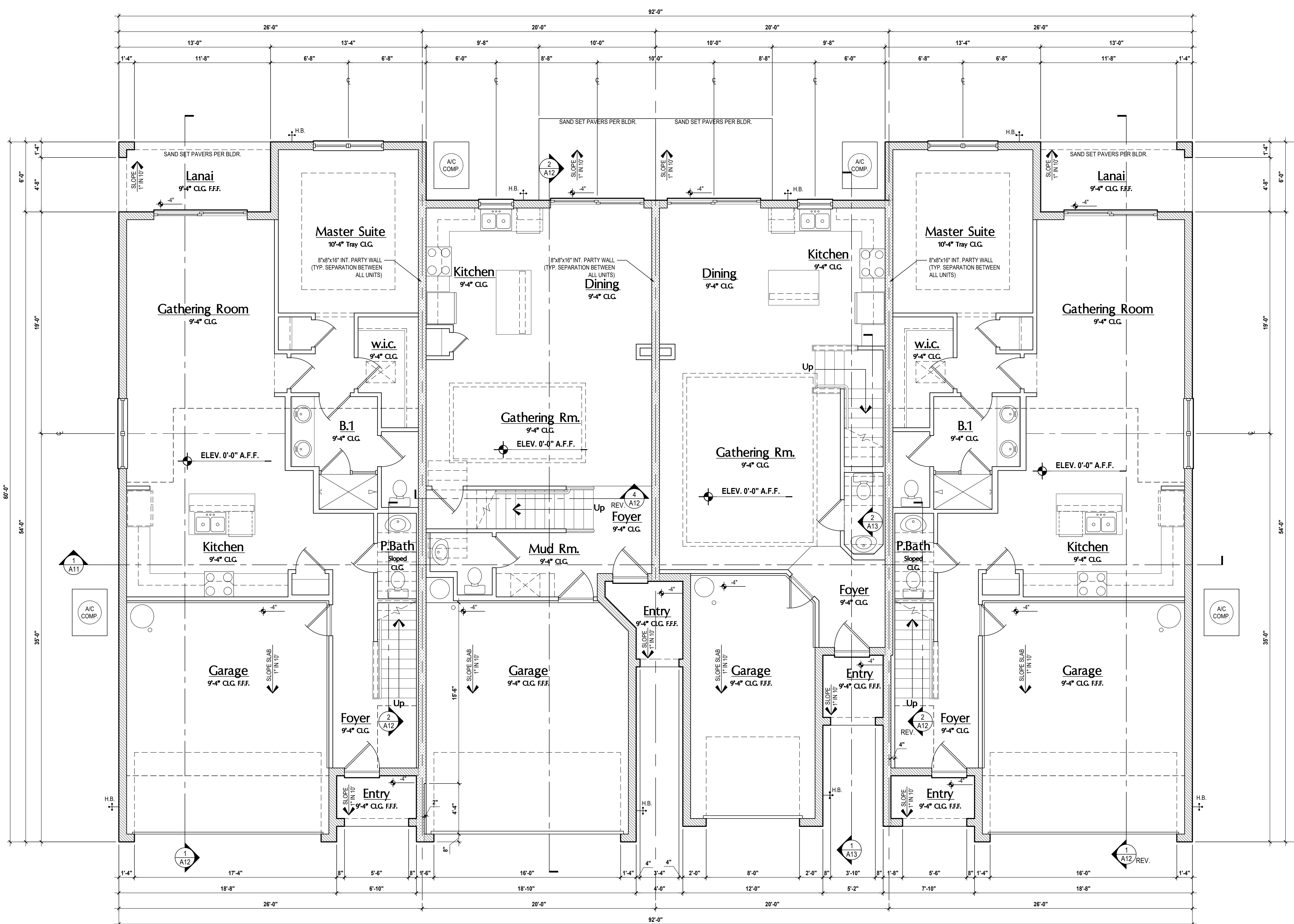
**Park Square HOMES**

ISSUE DATE: 02/02/2024  
REVISIONS:  
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

COVER PAGE  
A0

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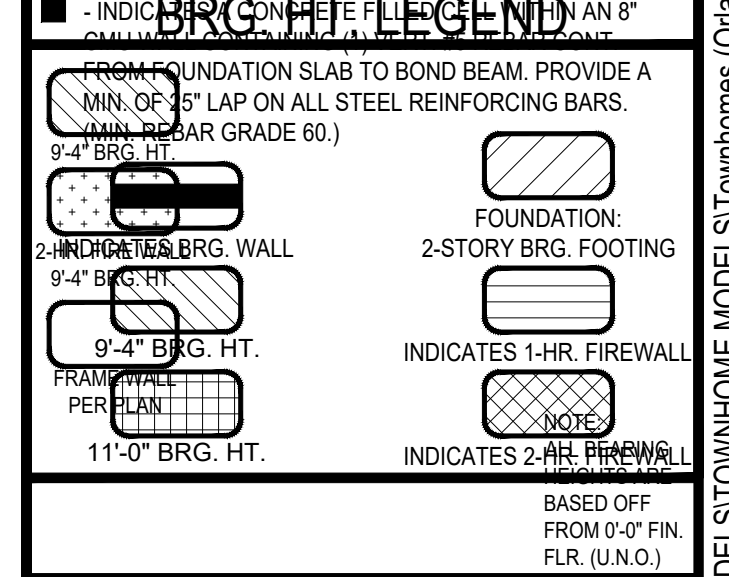
**GENERAL NOTES KEY:**

- 1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- 4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R M307.2 & FBC-R 304. AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL, NOT LESS THAN 3" ABOVE ADJOINING GROUND, PER FBC-R 1305.1.4.1
- 5. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
- 6. VENT DRYER THRU EXTERIOR WALL U.O.
- 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- 8. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
- 9. SAG RESISTANT DRYWALL ON ALL CEILINGS.
- 10. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
- 11. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
- 12. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
- 13. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.
- 14. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.
- 15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS WITH S/S & S/SER WALL SEGMENTS.
- 16. ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAR SURFACE AND ANY SPOFFS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" (127) M&U GYPSUM BOARD.
- 17. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.
- 18. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
- 19. ALL OPERABLE WINDOWS LOCATED MORE THAN 7'2" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVICE PER (FBC-R312.2).
- 20. SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
- 21. SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
- 22. ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC-R310.5.1.
- 23. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E O R STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL. (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.
- 24. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
- 25. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERLIE OF DECKING.
- 26. 5/8" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.
- 27. THERMAL BARRIER: FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (127) M&U GYPSUM BOARD; 2 1/2" (193) (1/2" (127) M&U WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA ON BOTH THE TEMPERATURE TRANSMISSION-FIRE TEST AND THE INTEGRITY-FIRE TEST OF NFPA 275.
- 28. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.
- 29. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH CURB FLASH PANELS (OR SIMILAR).
- 30. ATTIC ACCESS OPENINGS SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R402.2.4.
- 31. FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.
- 32. ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
- 33. WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C178), FIBER REINFORCED GYPSUM PANELS (ASTM C1785), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTITIOUS BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC-R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:  
2040 = 2'-0" x 4'-0"  
2050 = 2'-0" x 5'-0"  
2060 = 2'-0" x 6'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.
- DOOR SIZE CALLOUT:  
20 = 2'-0" 40 B.F. = 4'-0" B.F.-OLD  
24 = 2'-4" 50 B.F. = 5'-0" B.F.-OLD  
26 = 2'-6" 60 B.F. = 6'-0" B.F.-OLD  
28 = 2'-8" 80 B.F. = 8'-0" B.F.-OLD
- ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**



**Area Tabulations**

Living:	
1st floor:	3,498 sf
2nd floor:	3,279 sf
<b>Total Living:</b>	<b>6,777 sf</b>
entry:	134 sf
garage:	1,380 sf
lanai:	156 sf
<b>Total Area:</b>	<b>8,447 sf</b>
patio:	140 sf

**First Floor Plan**

SCALE: 1/4" = 1'-0"

4-Unit: (Presidential 60' Series)

Models: Truman, Washington, Carter, Truman

Building Pad #XX

Lot# XX-XX-XX-Subdivision

Street Address

City, State, Zip Code

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**AIBD**  
ARCHITECTS INC. FLORIDA REGISTERED ARCHITECTS

May 01, 2024 9:34am

**GOBA**  
GENERAL CONTRACTOR

PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

ISSUE DATE: 02/02/2024  
REVISIONS:

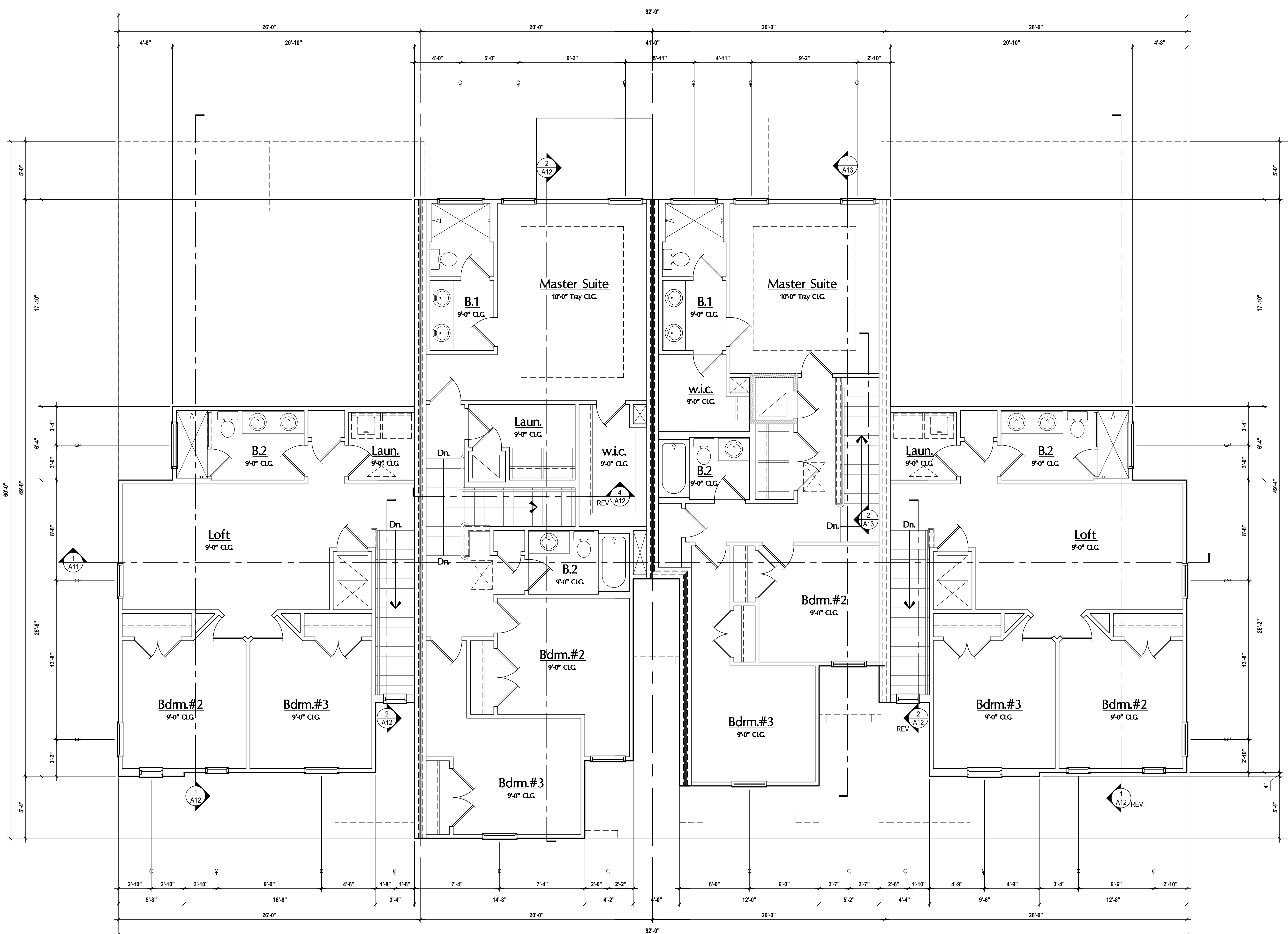
Park Square Homes

**Park Square HOMES**  
A division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

FIRST OVERALL

**A1**

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Truman (Elev. A) LOT# XX      Washington LOT# XX      Carter LOT# XX      Truman-Rev. (Elev. B) LOT# XX

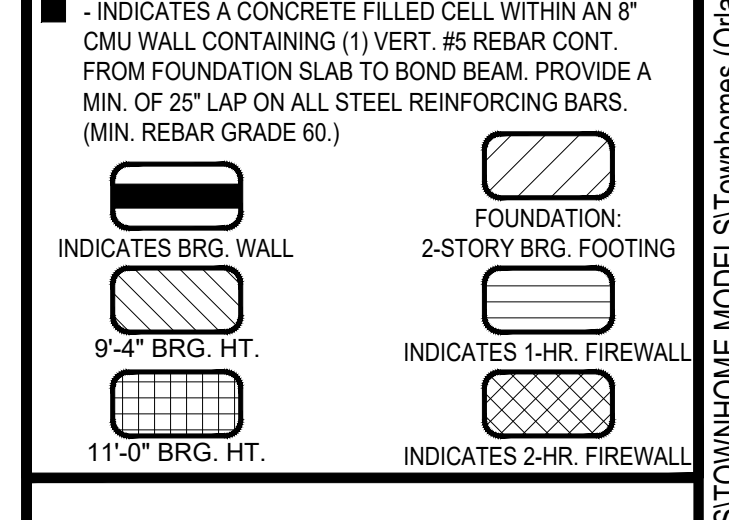
**GENERAL NOTES KEY:**

- ABBREVIATIONS: MT - METAL THRESHOLD, FR - FRENCH DOORS, SL - SIDE LIGHT, FG - FIXED GLASS, TR - TRANSOM, GB - GLASS BLOCK, PKT - POCKET DOOR, SVC - SERVICE DOOR, OBS - OBSOURED GLASS, TEMP - TEMPERED GLASS, SH - SINGLE HUNG, DH - DOUBLE HUNG, CBMT - CASEMENT, HR - HORIZONTAL ROLLER, BP - BYPASS, TYP - TYPICAL.
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE PER FBC R 603.2 & FBC R 304. AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL, NOT LESS THAN 3" ABOVE ADJOINING GROUND, PER FBC R 1305.1.4.1.
  - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILING.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/4" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/8" U.O.
  - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS & SHEAR WALL SEGMENTS.
  - ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" (12.7 MM) GYPSUM BOARD.
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.
  - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 7'2" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER (FBC-R312.2).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
  - ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC R 312.2.1.1.
  - SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & C.O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL. (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.2.1.
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.
  - 58" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.
  - THERMAL BARRIER: FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM WALLBOARD, 2 1/8" (50.8 MM) (3 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA ON BOTH THE TEMPERATURE TRANSMISSION-FIRE TEST AND THE INTEGRITY-FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE WITH SECTION FBC-R319.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH CURB FLASH PANELS (OR SIMILAR).
  - ATTIC ACCESS OPENINGS SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC R 402.2.4.
  - FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1178), FIBER REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER MAT REINFORCED CONTINUOUS BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC R 702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:**  
 2040 = 2'-0" x 4'-0"  
 2050 = 2'-0" x 5'-0"  
 2060 = 2'-0" x 6'-0"
- DOOR SIZE CALLOUT:**  
 20 = 2'-0"    40 B.F. = 4'-0" B.F. FOLD  
 24 = 2'-4"    50 B.F. = 5'-0" B.F. FOLD  
 26 = 2'-6"    60 B.F. = 6'-0" B.F. FOLD  
 28 = 2'-8"    80 B.F. = 8'-0" B.F. FOLD  
 30 = 3'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.  
 ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**



INDICATES A CONCRETE FILLED CELL WITHIN AN 8" CMU WALL CONTAINING (1) VERT. #5 REBAR CONT. FROM FOUNDATION SLAB TO BOND BEAM. PROVIDE A MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS. (MIN. REBAR GRADE 60.)

INDICATES 1-HR. FIREWALL  
 INDICATES 2-HR. FIREWALL

**4-Unit: (Presidential 60' Series)**

Models: Truman, Washington, Carter, Truman  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A division of Park Square Enterprises, Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

**Second Flr. Plan**

SCALE: 1/4" = 1'-0"  
 SECOND OVERALL  
 A2

**ITEG**  
 THOMPSON ENGINEERING GROUP, INC.  
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 Altamonte Springs, FL 32701  
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**MJS**  
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 residential-commercial-architecture

**A I B D**

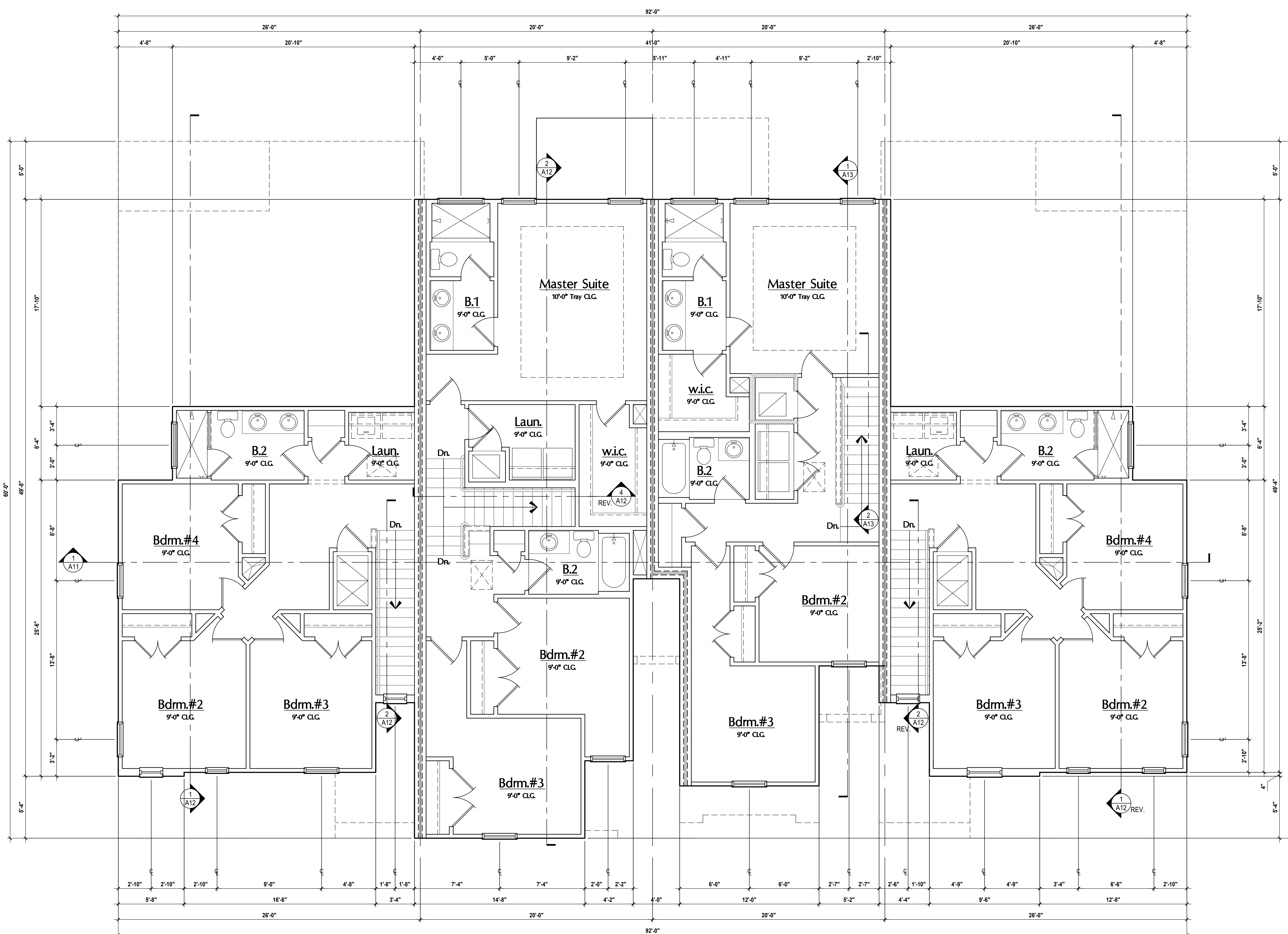
**GOBA**  
 GROUP OF ARCHITECTS

**Park Square HOMES**  
 A division of Park Square Enterprises, Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

ISSUE DATE: 02/02/2024  
 REVISIONS:  
 PROJECT: 00-0000  
 SCALE: AS NOTED  
 DRAWN BY: C.C.  
 DESIGNED BY: MJS

May 01, 2024, 9:34am  
 dlego - V:\Park Square Homes\MODELS\Townhome Models\Townhome (Cherry)\1 - Townhome Models\Presidential Townhomes (Raised Heel)\60' Series\4-Unit Presidential TH (60' Series)\2 - Second Floor Overall.dwg

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Truman  
(Elev. A)  
LOT# XX

Washington  
LOT# XX

Carter  
LOT# XX

Truman-Rev.  
(Elev. B)  
LOT# XX

**Opt. Bdrm.#4**  
SCALE 1/4" = 1'-0"

**GENERAL NOTES KEY:**

- |                      |                        |
|----------------------|------------------------|
| ABBREVIATIONS        | OBG - OBSOURED GLASS   |
| MT - METAL THRESHOLD | TEMP - TEMPERED GLASS  |
| FR - FRENCH DOORS    | SH - SINGLE HUNG       |
| SL - SIDE LIGHT      | SH - DOUBLE HUNG       |
| FG - FIXED GLASS     | CBMT - CASSEMENT       |
| TR - TRANSOM         | HR - HORIZONTAL ROLLER |
| GB - GLASS BLOCK     | BP - BYPASS            |
| PKT - POCKET DOOR    | BT - BYPASS            |
| SVC - SERVICE DOOR   | TYP - TYPICAL          |
- NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R 1307.2 & FBC-R 304. AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL. NOTES LESS THAN 3" ABOVE ADJOINING GROUND. PER FBC-R 1305.1.4.1
  - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.
  - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS & SHEAR WALL SEGMENTS.
  - ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SPOUTS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" (12.7 MM) GYPSUM BOARD.
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.
  - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 7'2" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER (FBC-R312.2).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
  - ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC-R312.2.1.
  - SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E O R STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEOTECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL. (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERLIE OF DRYWALL.
  - 5/8" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.
  - THERMAL BARRIER: FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM WALLBOARD, 2 1/8" (63.5 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA ON BOTH THE TEMPERATURE TRANSMISSION-FIRE TEST AND THE INTEGRITY-FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH CURB FLASH PANELS (OR SIMILAR).
  - ATTIC ACCESS OPENINGS SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R 402.2.4.
  - FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1178), FIBER REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER MAT REINFORCED CEMENTitious BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC-R 702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:
- 2040 = 2'-0" x 4'-0"
  - 2050 = 2'-0" x 5'-0"
  - 2060 = 2'-0" x 6'-0"
- DOOR SIZE CALLOUT:
- 20 = 2'-0"
  - 24 = 2'-4"
  - 26 = 2'-6"
  - 28 = 2'-8"
  - 30 = 3'-0"
- ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**

- INDICATES A CONCRETE FILLED CELL WITHIN AN 8" CMU WALL CONTAINING (1) VERT. #5 REBAR CONT. FROM FOUNDATION SLAB TO BOND BEAM. PROVIDE A MIN. OF 2" LAP ON ALL STEEL REINFORCING BARS. (MIN. REBAR GRADE 60)
- INDICATES BRG. WALL
- 9'-4" BRG. HT.
- 11'-0" BRG. HT.
- FOUNDATION: 2-STORY BRG. FOOTING
- INDICATES 1-HR. FIREWALL
- INDICATES 2-HR. FIREWALL

**ITEG**  
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www.iteg.com

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Fax: (407) 629-6776  
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MJS DESIGN GROUP, INC.  
DESIGNERS GROUP  
residential-commercial-architecture

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman

A division of Park Square  
Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

ISSUE DATE: 02/02/2024  
REVISIONS:  
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SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

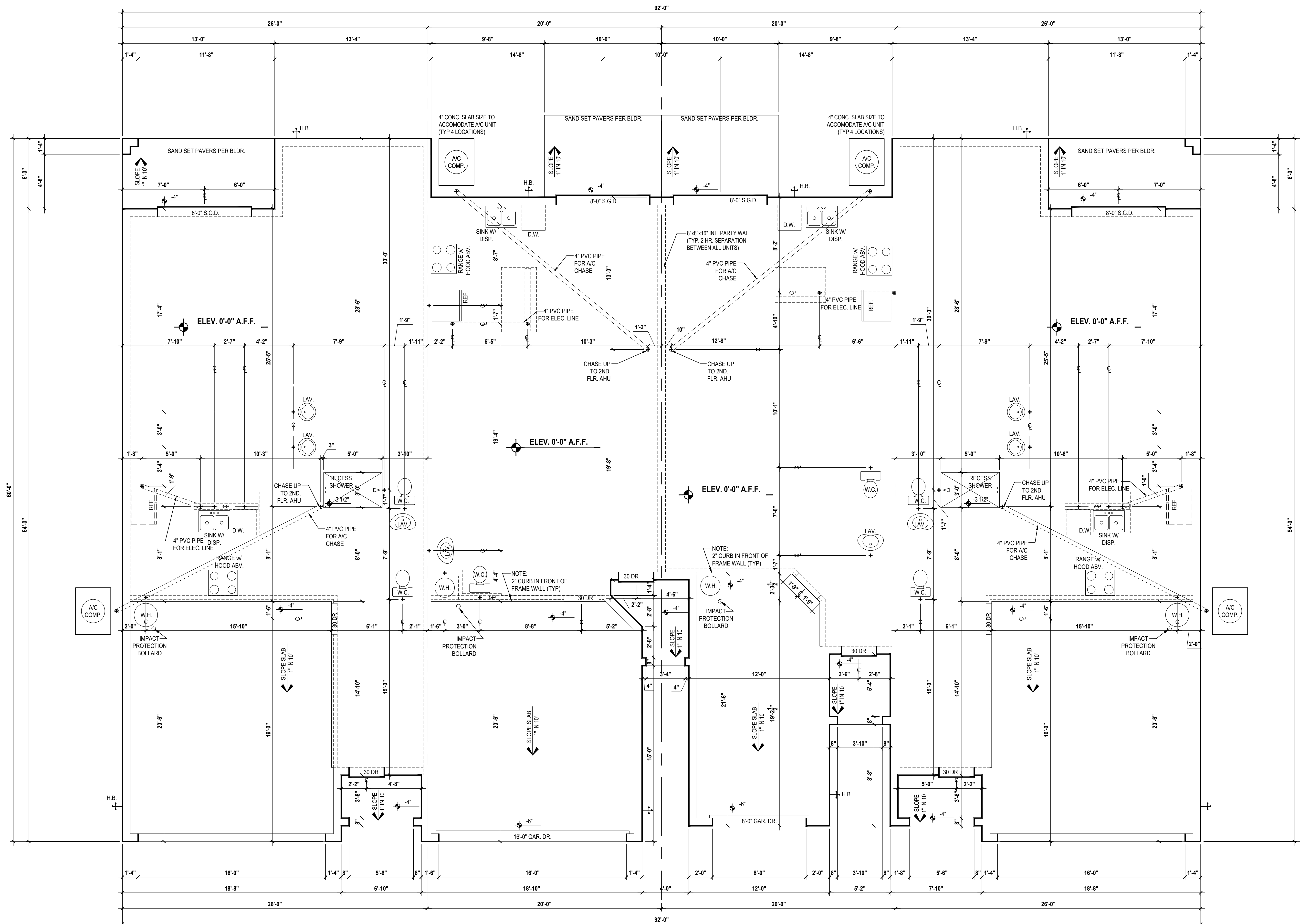
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REVISIONS:  
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

**Second Flr. Plan**  
SCALE: 1/4" = 1'-0"

SECOND OVERALL  
**A2**

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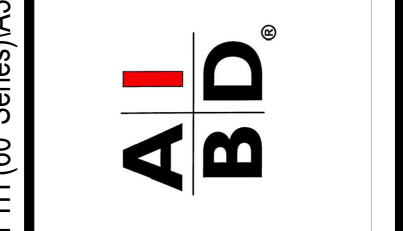
Truman  
LOT# XX
Washington  
LOT# XX
Carter  
LOT# XX
Truman-Rev.  
LOT# XX

## Slab Plan

SCALE: 1/4" = 1'-0"



815 Orienta Ave., Suite #1040  
 Altamonte Springs, FL 32701  
 Ph: (407) 629-6711  
 Fax: (407) 629-6776  
 www.mjsdesignsgroup.com  
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**4-Unit: (Residential 60' Series)**  
 Models: Truman, Washington, Carter, Truman  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

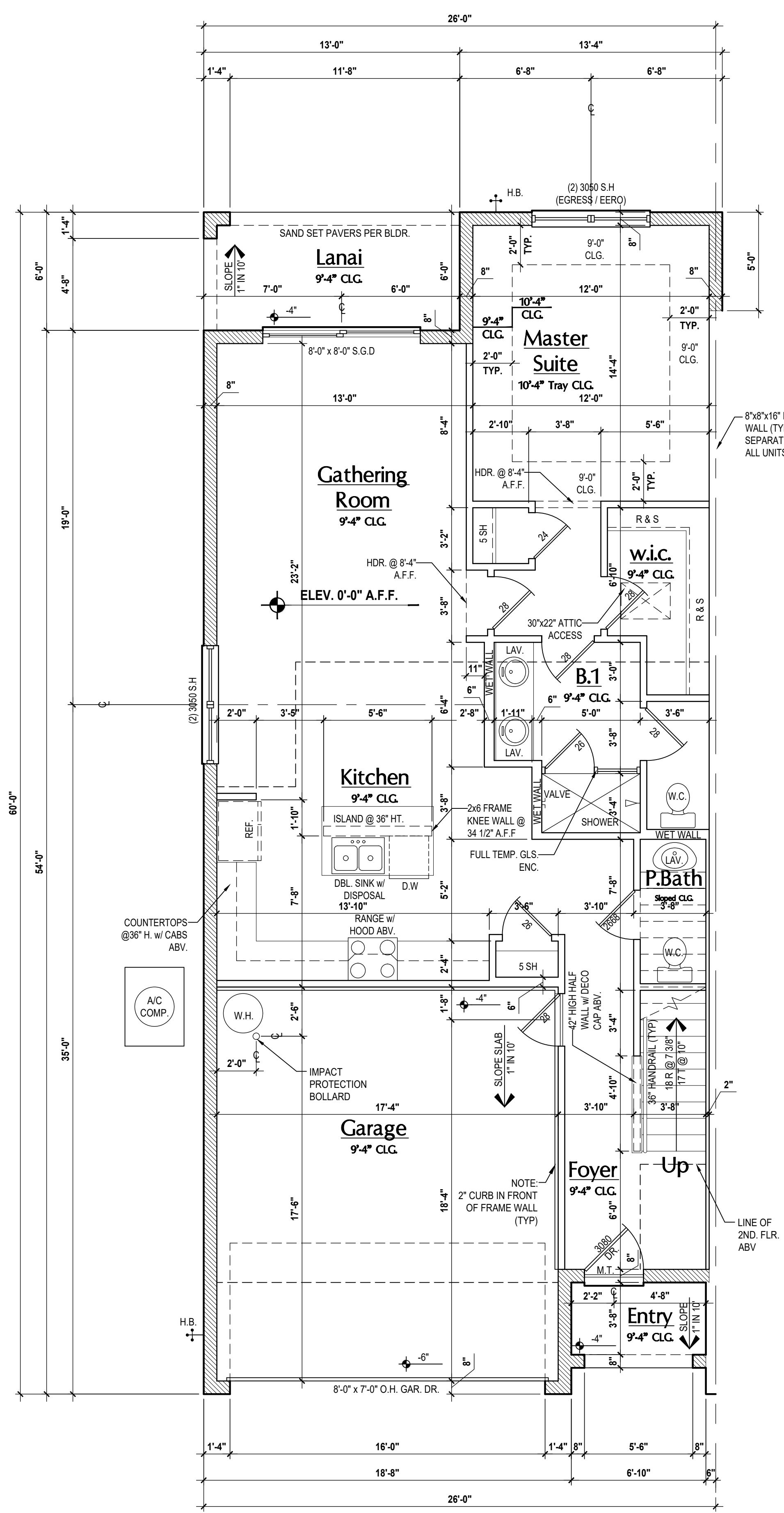
A Division of Park Square  
 Enterprises Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000



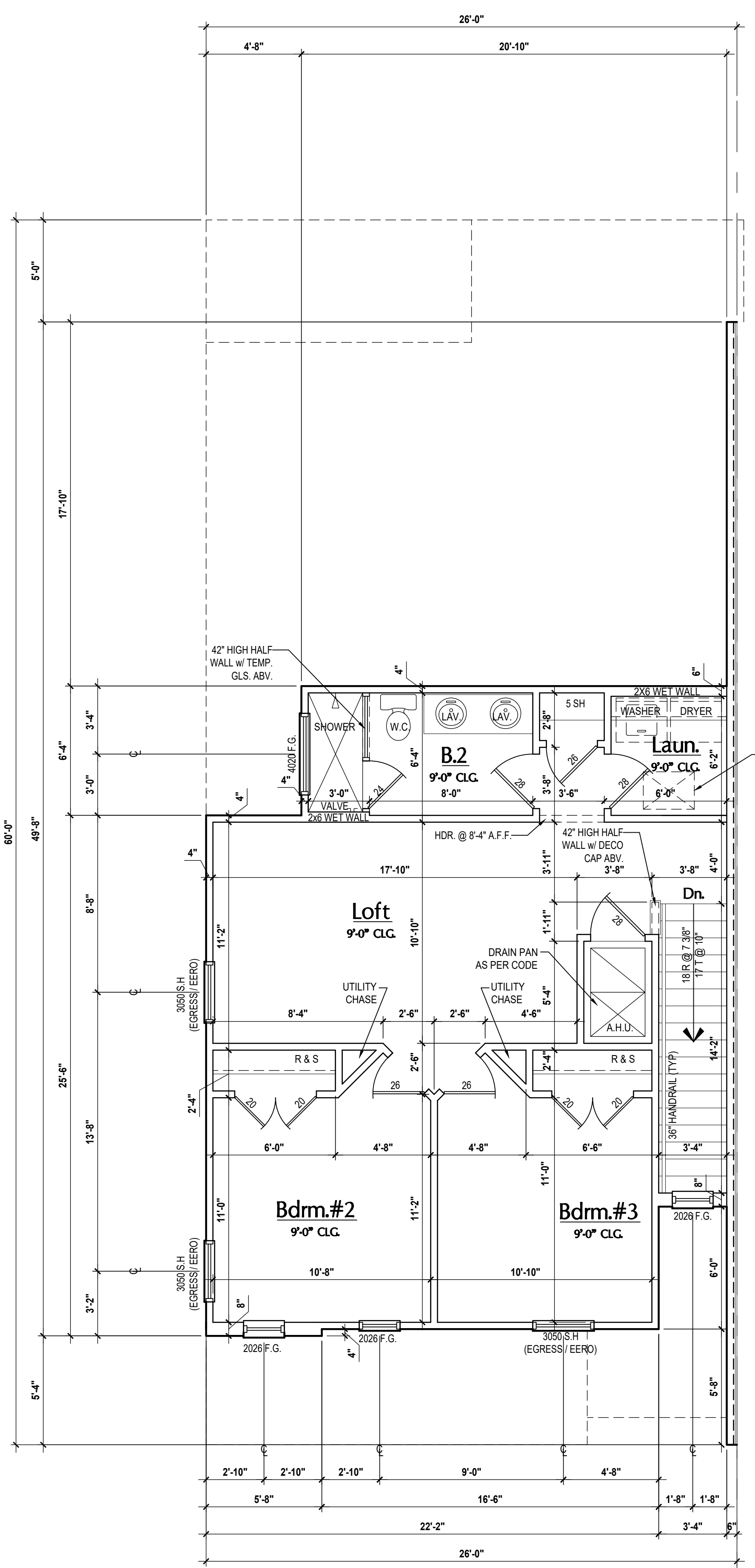
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PROJECT:	00-0000
SCALE:	AS NOTED
DRAWN BY:	C.C.
DESIGNED BY:	MJS

SLAB PLAN  
**A3**

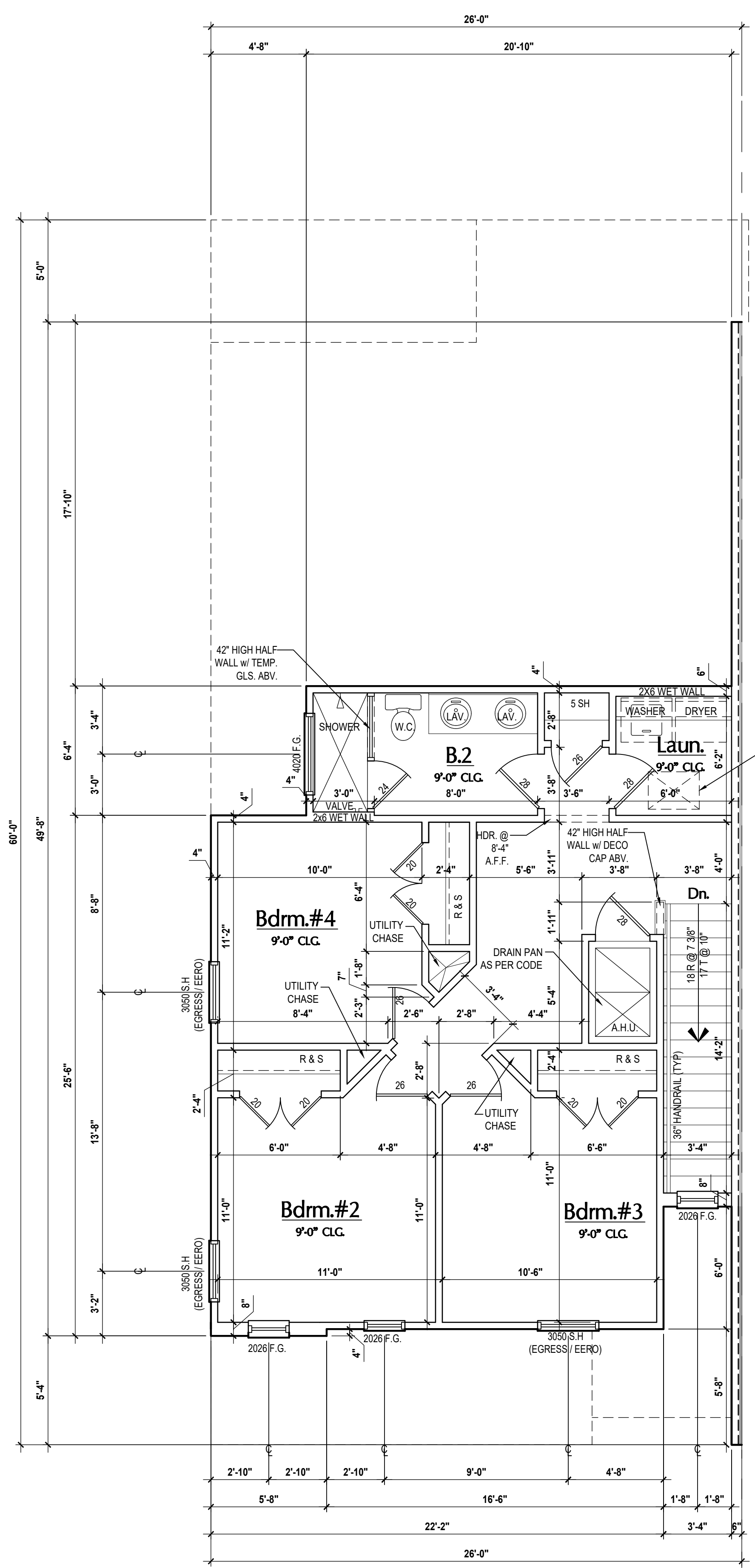
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**Truman- First Floor Plan**  
(Standard)  
SCALE 1/4" = 1'-0"



**Truman- Second Floor Plan**  
(Elev. A)  
SCALE 1/4" = 1'-0"



**Truman- Second Floor Plan**  
(Opt. Bdrm.#4)  
SCALE 1/4" = 1'-0"

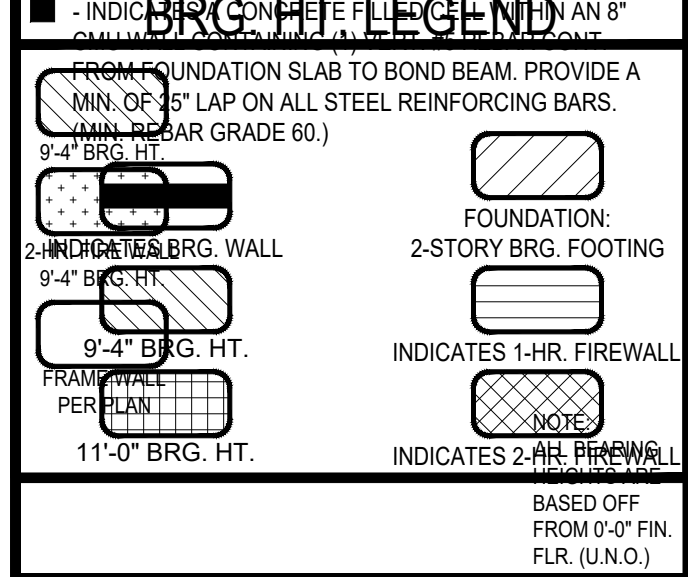
**GENERAL NOTES KEY:**

- ABBREVIATIONS:**  
 MT - METAL THRESHOLD  
 R - FRENCH DOORS  
 SL - SIDE LIGHT  
 FG - FIXED GLASS  
 TR - TRANSOM  
 GB - GLASS BLOCK  
 RCT - ROCKET DOOR  
 SVC - SERVICE DOOR
- NOTES:**  
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.  
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.  
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.  
 4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R M307.2 & FBC-M 304, AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL NOT LESS THAN 3" ABOVE ADJOINING GROUND, PER FBC-R M305.1.4.1  
 5. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.  
 6. VENT DRYER THRU EXTERIOR WALL U.O.  
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.  
 8. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.  
 9. SAG RESISTANT DRYWALL ON ALL CEILINGS.  
 10. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.  
 11. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.  
 12. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.  
 13. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.  
 14. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.  
 15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS & SHEAR WALL SECTIONS.  
 16. ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" (12.7 MM) GYPSUM BOARD.  
 17. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.  
 18. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.  
 19. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER FBC-R312.2.  
 20. SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.  
 21. SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.  
 22. ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC-R312.2 EGRESS.  
 23. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED; THE DESIGN TEAM AT MJS & E.O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR/OWNER.  
 24. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1.38" THICKNESS AS PER FBC-R302.5.1.  
 25. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.  
 26. 5/8" TYPE S DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.  
 27. THERMAL BARRIER, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM WALLBOARD, 23/32" (18.8 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.  
 28. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.  
 29. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHALL BE FITTED WITH GUSSET PANELS (OR SIMILAR).  
 30. ATTIC ACCESS OPENING SHALL BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R302.2.4.  
 31. FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.  
 32. ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.  
 33. WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1775), FIBER REINFORCED GYPSUM PANELS (ASTM C1293), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1283) OR NON-ASBESTOS FIBER MAT REINFORCED GEMMANTIOUS BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC-R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:**  
 2040 = 2'-0" x 4'-0"  
 2050 = 2'-0" x 5'-0"  
 2060 = 2'-0" x 6'-0"
- DOOR SIZE CALLOUT:**  
 20 = 2'-0" 40 B.F. = 4'-0" BI-FOLD  
 24 = 2'-4" 50 B.F. = 5'-0" BI-FOLD  
 26 = 2'-6" 60 B.F. = 6'-0" BI-FOLD  
 30 = 3'-0"
- \* ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**



**Area Tabulations**

Living:	
1st floor:	1,065 sf
2nd floor:	723 sf
<b>Total Living:</b>	<b>1,788 sf</b>
entry:	32 sf
garage:	376 sf
lanai:	78 sf
<b>Total Area:</b>	<b>2,274 sf</b>

**Floor Plan**  
SCALE 1/4" = 1'-0"

**ITEG THOMPSON ENGINEERING GROUP, INC.**  
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**MJS designers group**  
 residential-commercial-architecture

**A.I.D.®**

**GOBA**  
 GROUP-BALANCED BUILDING ASSOCIATION

**4-Unit: (Presidential 60' Series)**  
 Models: Truman, Washington, Center, Truman  
 Building Pad # XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A Division of Park Square Enterprises, Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

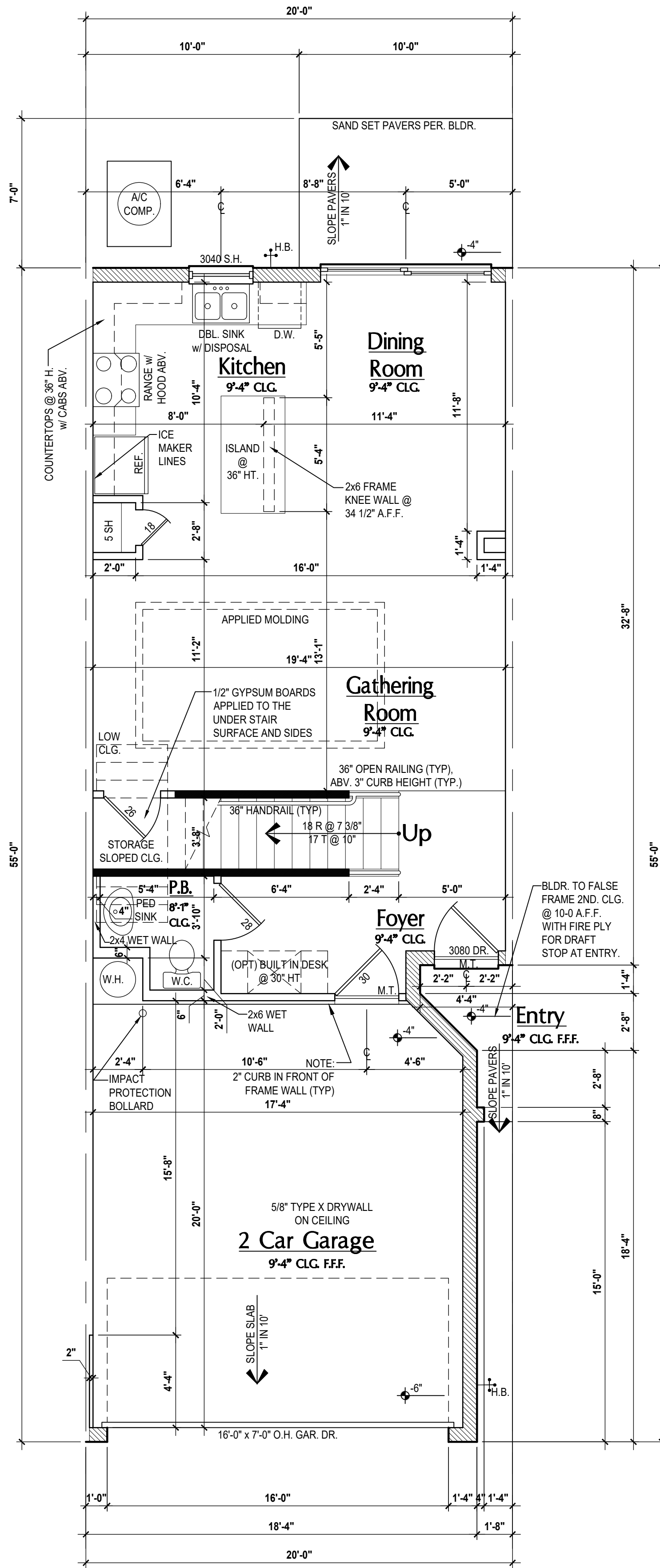
**Park Square HOMES**

PROJECT: 00-0000  
 SCALE: AS NOTED  
 DRAWN BY: C.C.  
 DESIGNED BY: MJS

ISSUE DATE: 02/02/2024  
 REVISIONS:

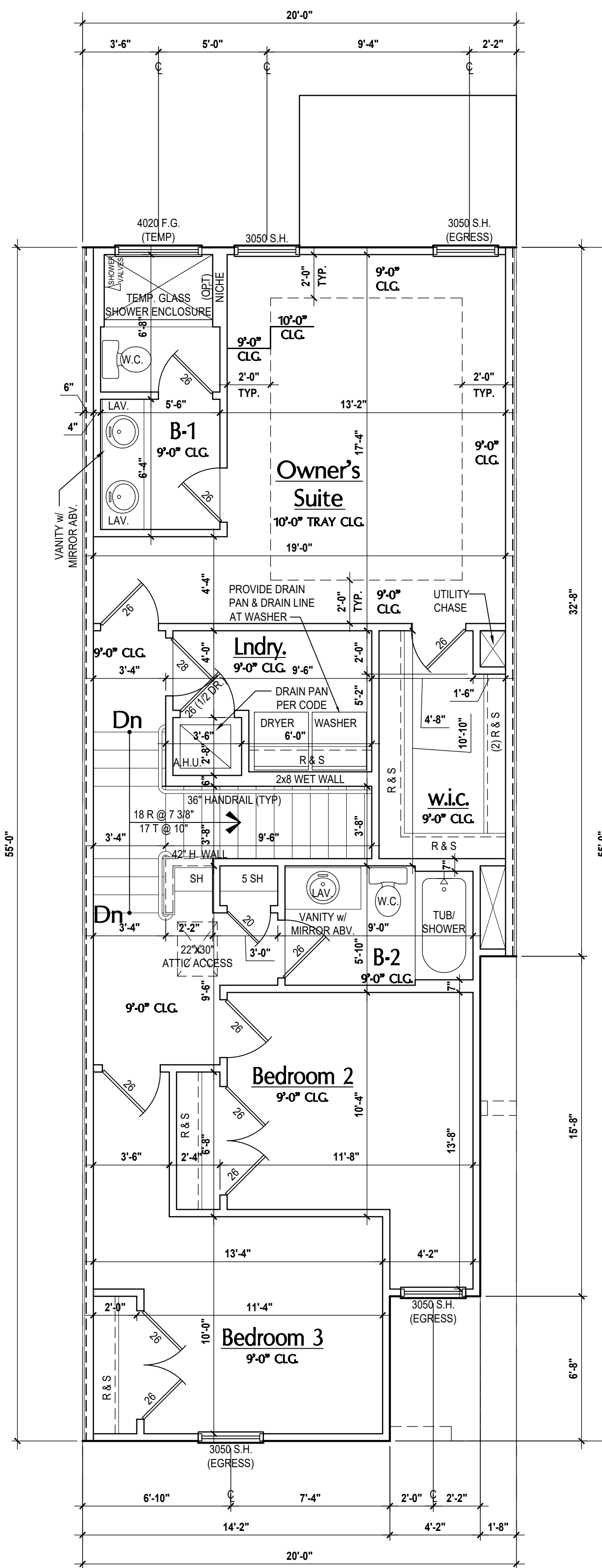
FLOOR PLANS  
**A4**

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Washington- First Floor Plan

(Standard)  
SCALE 1/4" = 1'-0"



Washington- Second Floor Plan

(Standard)  
SCALE 1/4" = 1'-0"

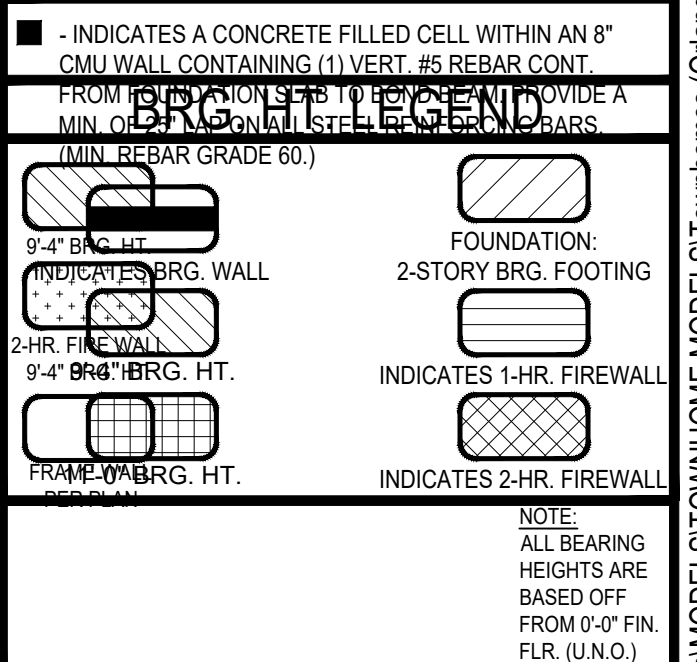
**GENERAL NOTES KEY:**

- |   |   |
|---|---|
| ABBREVIATIONS:<br>MT - METAL THRESHOLD<br>FR - FRENCH DOORS<br>SL - SIDE LIGHT<br>FG - FIXED GLASS<br>TR - TRANSOM<br>GB - GLASS BLOCK<br>PKT - POCKET DOOR<br>SVC - SERVICE DOOR | ONS - OBSCURED GLASS<br>TEMP - TEMPERED GLASS<br>SH - SINGLE HUNG<br>DH - DOUBLE HUNG<br>CMT - CASSEMENT<br>HR - HORIZONTAL ROLLER<br>BP - BYPASS<br>BT - BIRD<br>TYP - TYPICAL |
|---|---|
- NOTES:  
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.  
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.  
3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.  
4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE PER 9002.2 & 9004.106 AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL. NOTE LESS THAN 3" ABOVE ADJOINING GROUND. PER FBC R 1305.1.4.1  
5. PROVIDE RECESS H&O WATER W/ DRAIN @ WASHER SPACE.  
6. VENT DRYER THRU EXTERIOR WALL U.O.  
7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.  
8. PROVIDE RECESS H&O WATER W/ DRAIN @ WASHER SPACE.  
9. SAG RESISTANT DRYWALL ON ALL CEILINGS.  
10. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.  
11. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.  
12. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.  
13. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.  
14. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.  
15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS & SHEAR WALL SEGMENTS.  
16. ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDERSTAR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.  
17. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.  
18. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.  
19. ALL OPERABLE WINDOWS LOCATED MORE THAN 7' ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).  
20. SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.  
21. SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.  
22. ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC R310.2.EERO  
23. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL. (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.  
24. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC R302.5.1.  
25. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.  
26. 5/8" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE  
27. THERMAL BARRIER: FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2-INCH (12.7 MM) GYPSUM WALLBOARD; 2X12-INCH (51.2 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.  
28. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.  
29. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH GASKET/FLASH PANELS (OR SIMILAR).  
30. ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBCC R402.2.4.  
31. FILL VOIDS OR UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.  
32. ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.  
33. WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1178), FIBER-REINFORCED GYPSUM PANELS (ASTM C1275), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER MAT REINFORCED CERAMIC TILE BACKER UNITS (ASTM C1292) SHALL BE USED PER FBC R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:  
2040 = 2'-0" x 4'-0"  
2050 = 2'-0" x 5'-0"  
2060 = 2'-0" x 6'-0"  
• ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.
- DOOR SIZE CALLOUT:  
20 = 2'-0" 40 B.F. = 4'-0" BIFOLD  
24 = 2'-4" 50 B.F. = 5'-0" BIFOLD  
28 = 2'-8" 60 B.F. = 6'-0" BIFOLD  
28 = 2'-8" 80 B.F. = 8'-0" BIFOLD  
30 = 3'-0"  
• ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**



**Area Tabulations**

Living:	
1st floor:	679 sf
2nd floor:	976 sf
<b>Total Living:</b>	<b>1,655 sf</b>
entry:	36 sf
garage:	376 sf
<b>Total Area:</b>	<b>2,067 sf</b>
patio:	70 sf

**Floor Plan**  
SCALE 1/4" = 1'-0"

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Altamonte Springs, FL 32701  
Ph: (407) 629-6711  
Fax: (407) 629-6776  
www.mjsdesignersgroup.com  
MJS DESIGNERS GROUP  
DESIGNERS GROUP  
RESIDENTIAL COMMERCIAL ARCHITECTURE

**MJS**  
designers group  
residential commercial architecture

**AIBD**

**GOBA**  
Gypsum Board Association

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

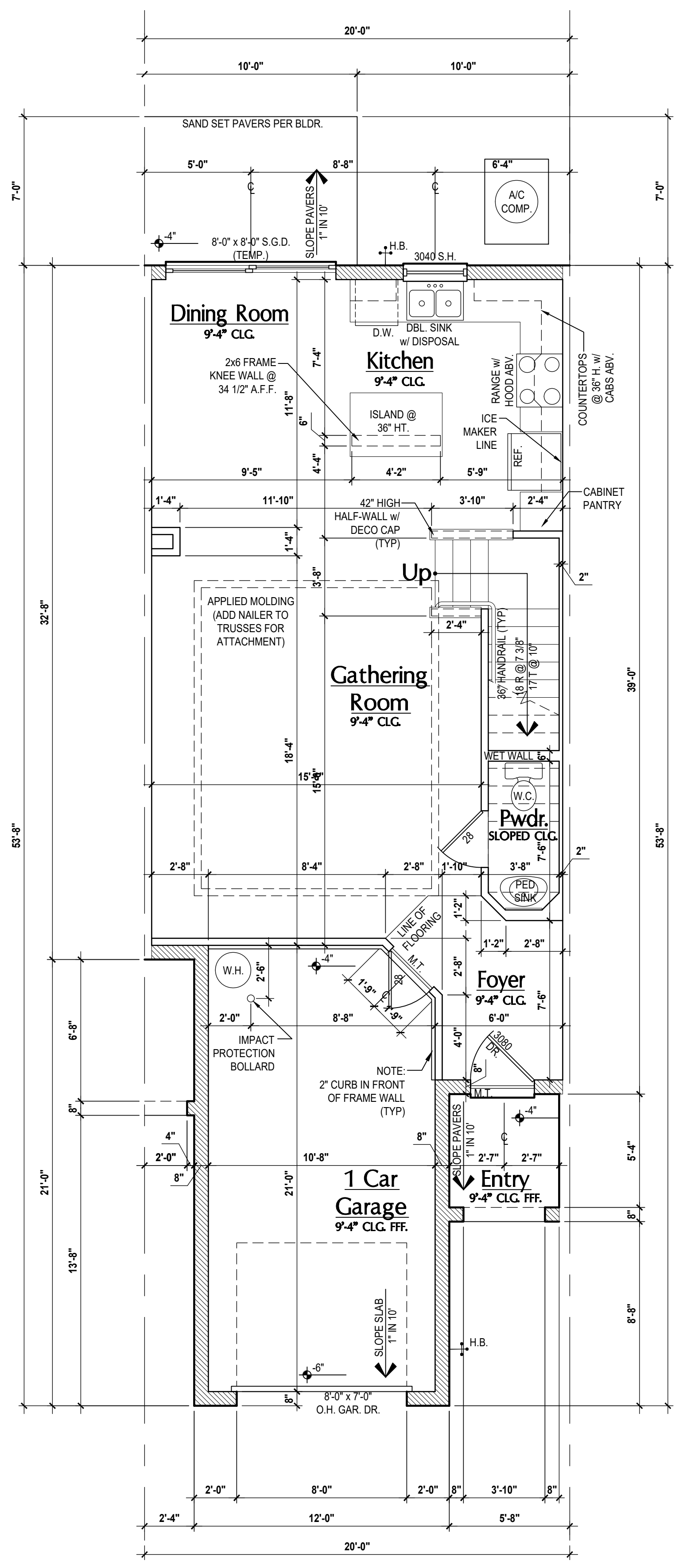
A division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #700  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

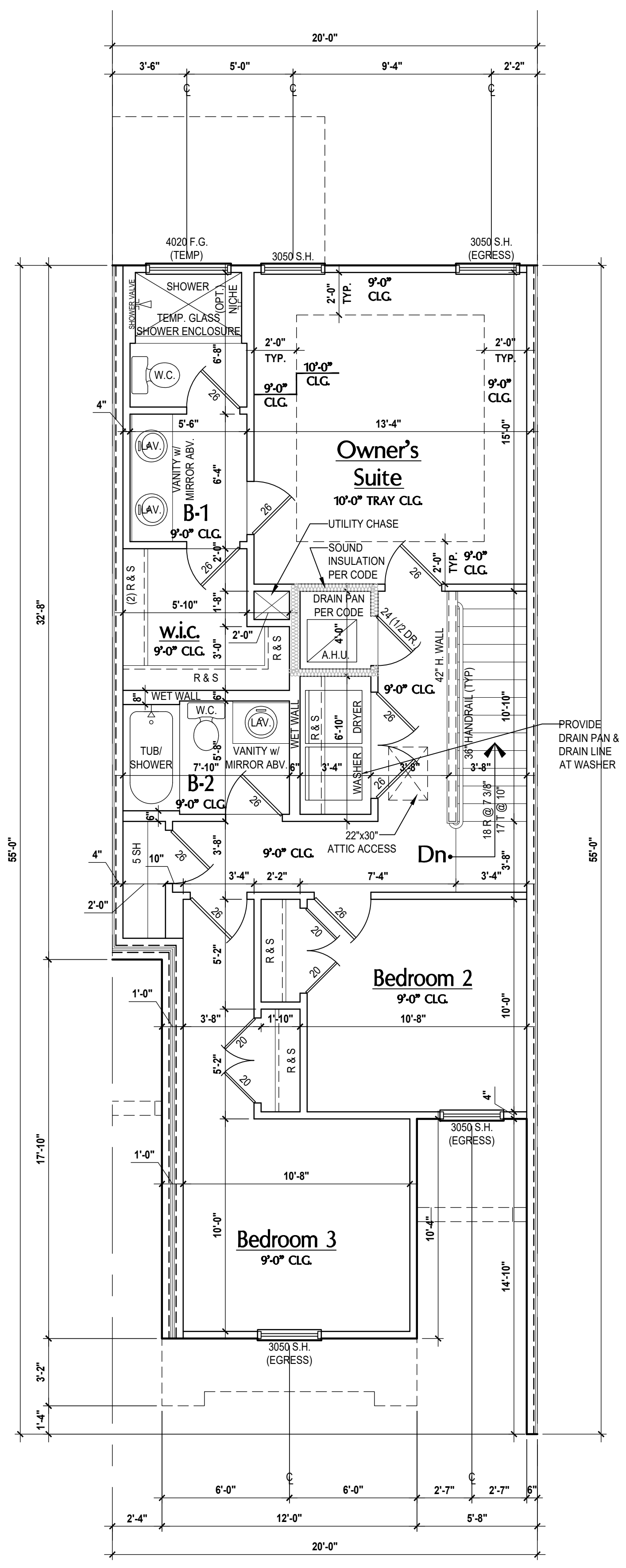
ISSUE DATE: 02/02/2024  
REVISIONS:  
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

FLOOR PLANS  
**A5**

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**Carter- First Floor Plan**  
(Standard)  
SCALE: 1/4" = 1'-0"



**Carter- Second Floor Plan**  
(Standard)  
SCALE: 1/4" = 1'-0"

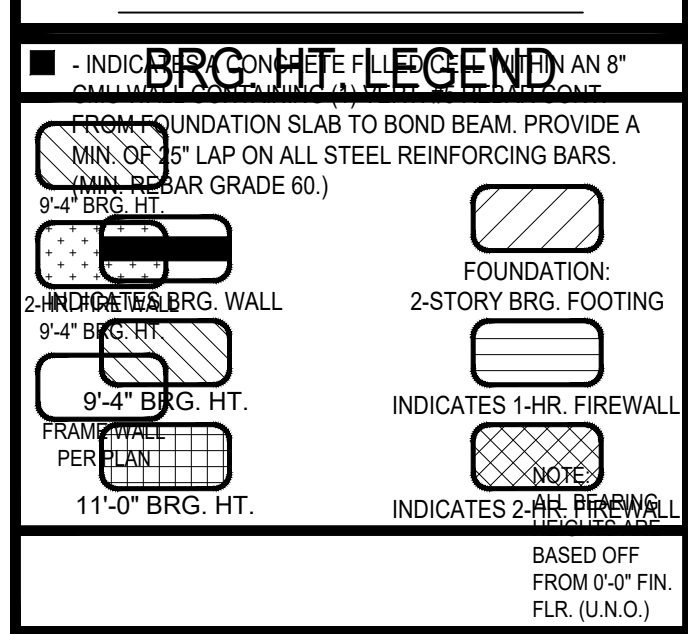
**GENERAL NOTES KEY:**

- ABBREVIATIONS:**  
 MT - METAL THRESHOLD  
 FR - FRENCH DOORS  
 SL - SIDE LIGHT  
 FG - FIXED GLASS  
 TR - TRANSOM  
 GB - GLASS BLOCK  
 PNT - POCKET DOOR  
 SVC - SERVICE DOOR  
 NOTES:  
 1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.  
 2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.  
 3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.  
 4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE. FICR-M102 & FICR-M104, AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL. NOTE: LESS THAN 3" ABOVE ADJOINING GROUND, PER FBCR M105.1.4.1.  
 5. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.  
 6. VENT DRYER THRU EXTERIOR WALL U.O.  
 7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.  
 8. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.  
 9. SAG RESISTANT DRYWALL ON ALL CEILINGS.  
 10. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.  
 11. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.  
 12. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.  
 13. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.N.O.  
 14. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.N.O.  
 15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL. SW'S - SHEAR WALL SECTIONS.  
 16. ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" X 2" (1/2" MIN. OVERLAP JOINTS).  
 17. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.  
 18. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.  
 19. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBCR-312.2).  
 20. SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.  
 21. SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.  
 22. ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC R310.2 EERO.  
 23. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E.O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. A.G. PROPERLY COMPACTED FILL (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 96% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.  
 24. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBCR-902.5.1.  
 25. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF BEARING.  
 26. 5/8" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.  
 27. THERMAL BARRIER: FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM BOARD, 2X2X4 (16 MIN) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.  
 28. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBCR-9319.  
 29. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH GUSH PANELS (OR SIMILAR).  
 30. ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBCR 902.2.4.  
 31. FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.  
 32. ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.  
 33. WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1178), FIBER-REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER-REINFORCED GEMMANTICULOUS BACKER UNITS (ASTM C1325) SHALL BE USED PER FBCR R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:**  
 2040 = 2'-0" x 4'-0"  
 2050 = 2'-0" x 5'-0"  
 2060 = 2'-0" x 6'-0"  
 \* ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.
- DOOR SIZE CALLOUT:**  
 20 = 2'-0" 40 B.F. = 4'-0" B.F.-FOLD  
 24 = 2'-4" 50 B.F. = 5'-0" B.F.-FOLD  
 26 = 2'-6" 60 B.F. = 6'-0" B.F.-FOLD  
 36 = 3'-6" BASED OFF FROM 0'-0" FIN. FLR. (U.N.O.)  
 \* ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**



**Area Tabulations**

1st floor:	689	sf
2nd floor:	838	sf
<b>Total Living:</b>	<b>1,527</b>	<b>sf</b>
entry:	34	sf
garage:	252	sf
patio:	60	sf
<b>Total Area:</b>	<b>1,873</b>	<b>sf</b>
opt. lanai:	60	sf

**Floor Plan**

SCALE: 1/4" = 1'-0"

**ITEG**  
THOMPSON ENGINEERING GROUP, INC.  
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Ph: (407) 734-1450  
Fax: (407) 734-1750  
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815 Oriole Ave., Suite #1040  
Altamonte Springs, FL 32701  
Ph: (407) 629-6711  
Fax: (407) 629-6776  
www.mjsdesignsgroup.com  
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**MJS**  
designers group  
residential-commercial-architecture

**A.I.D.**  
DESIGN BRANDS BUILDS ASSOCIATION

**GOBA**  
GOLF BRANDS BUILDS ASSOCIATION

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman  
Building Path #XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 02/02/2024  
REVISIONS:  
diego V:\Park Square Homes\MODELS\TOWNHOMES (Orlando)\1 - Townhome Models\Presidential Townhomes (Raised Heel)- 60' Series\4-Unit Presidential TH (60' Series)\4-Unit Floor Plans (Carter).dwg  
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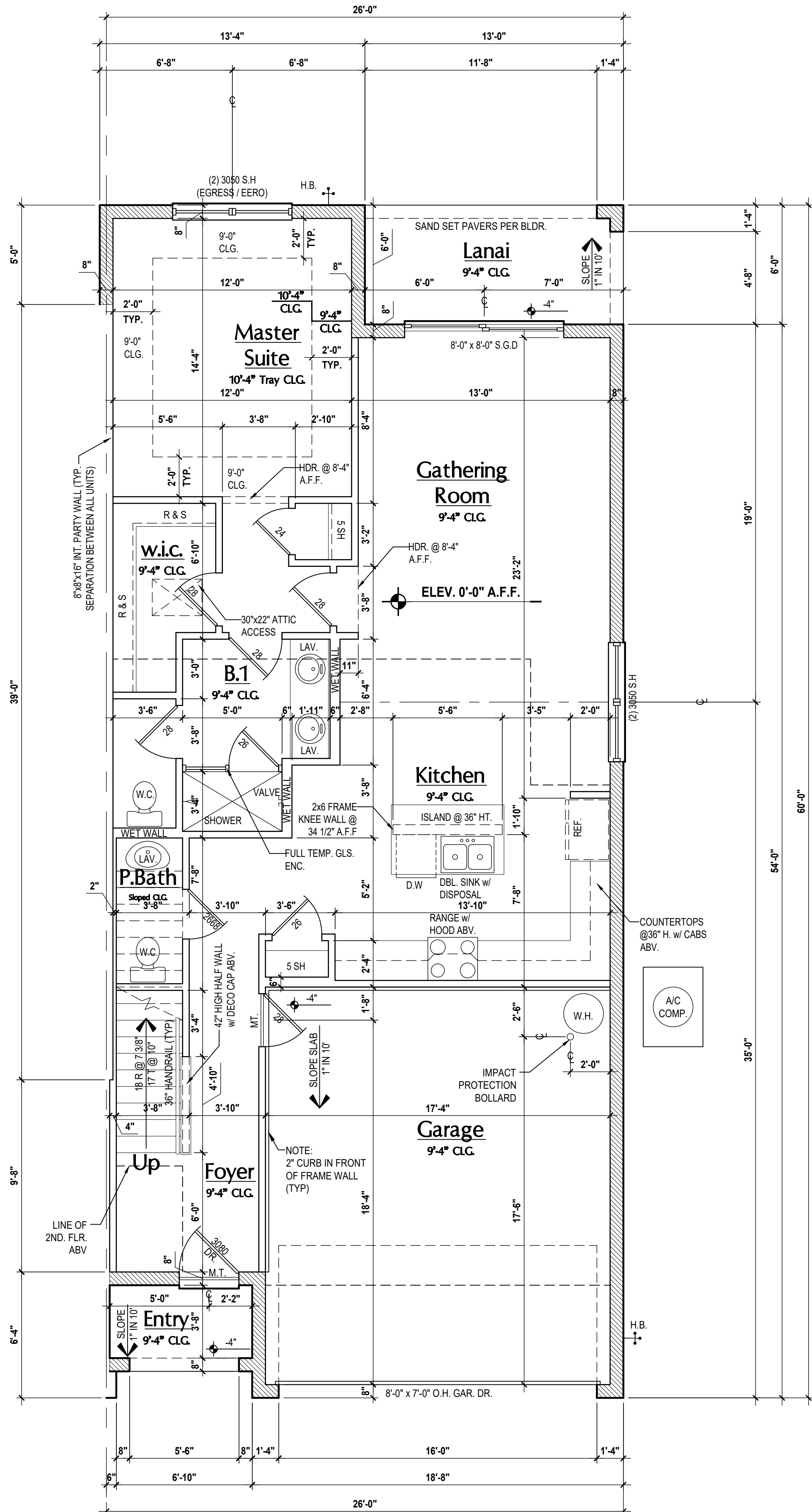
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

FLOOR PLANS  
**A6**

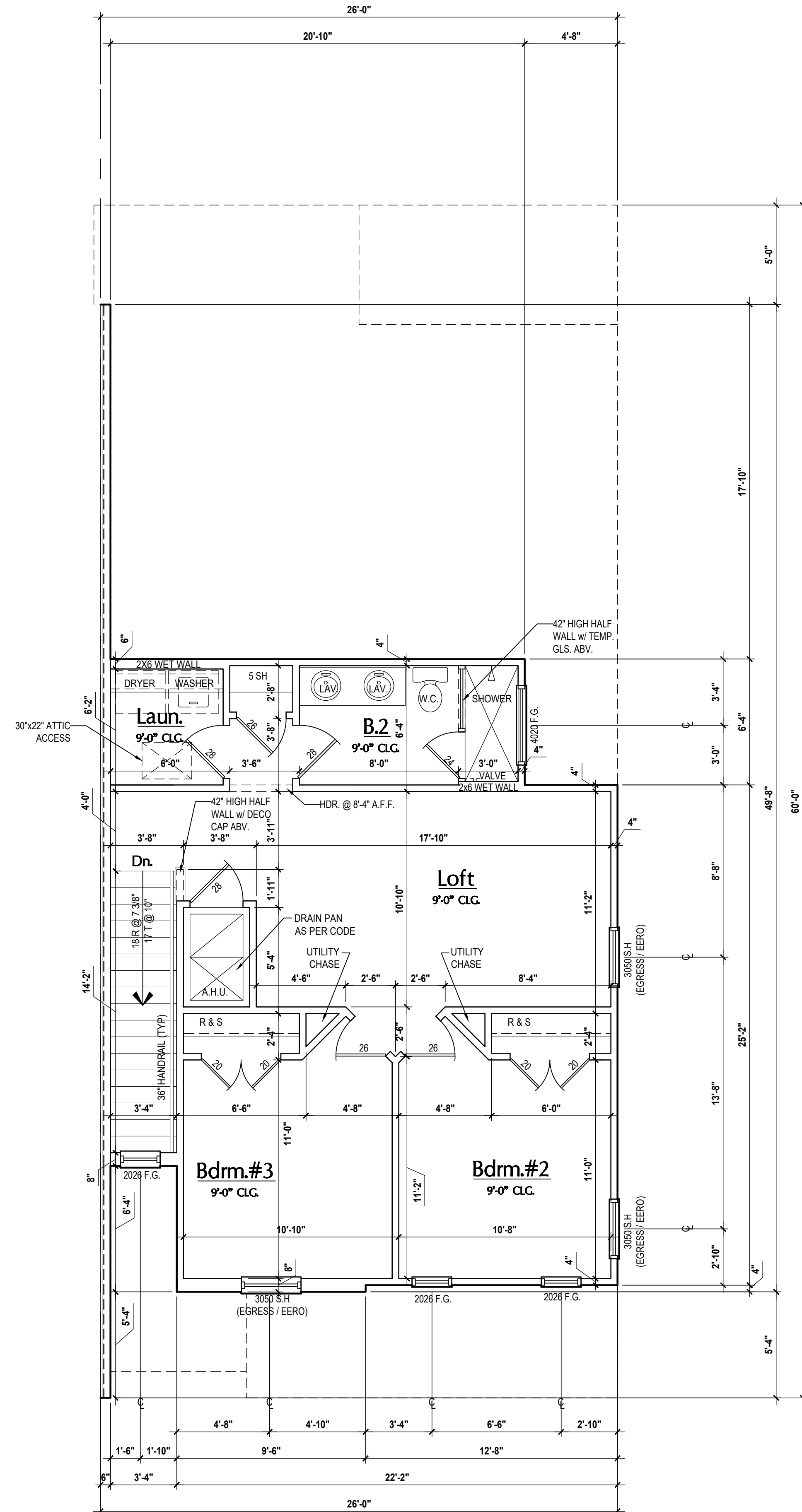
facebook houzz FIND US ON FACEBOOK & HOUZZ AT MJS CUSTOM HOME DESIGNS



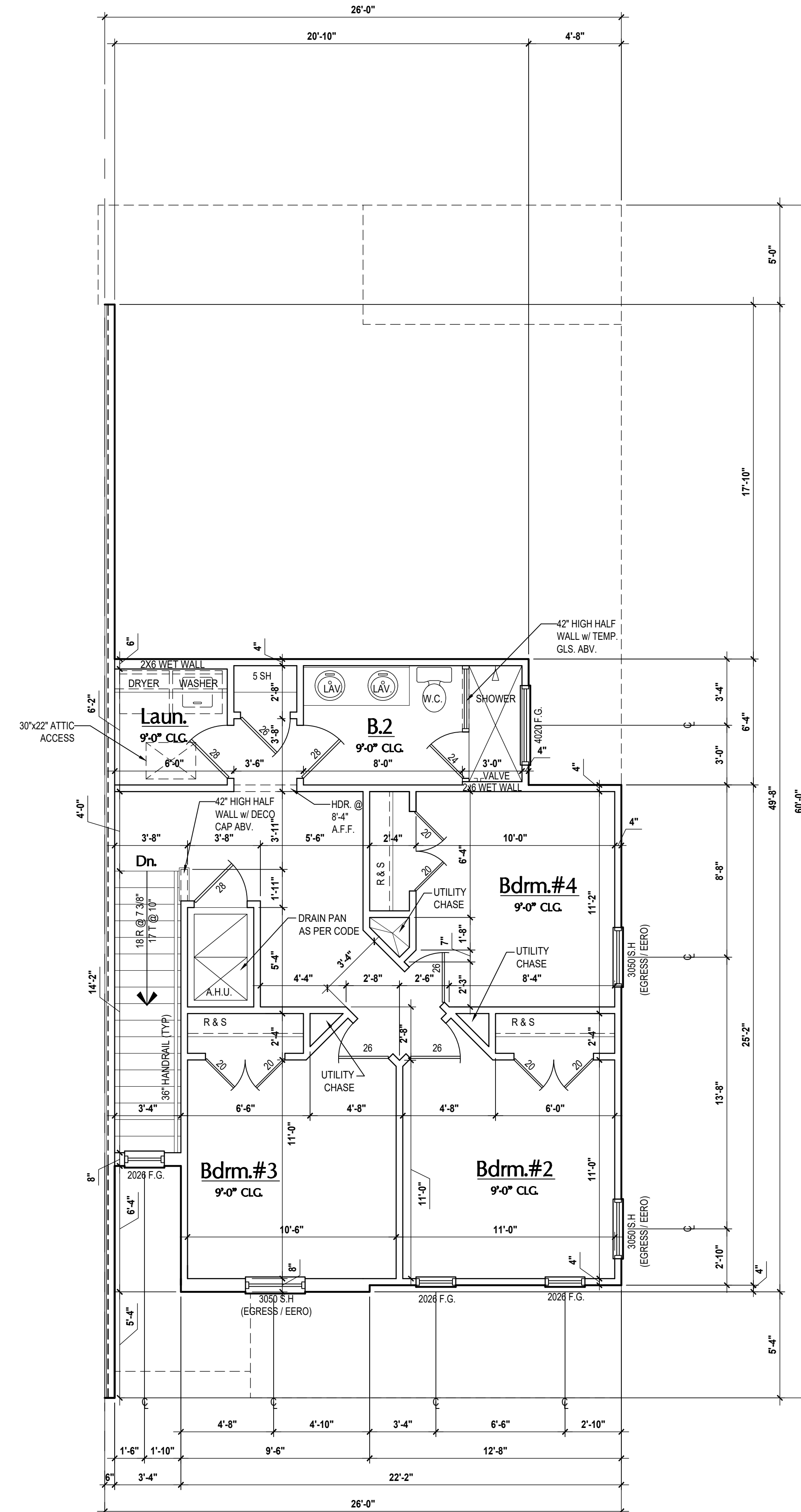
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**Truman-Rev. First Floor Plan**  
(Standard)  
SCALE 1/4" = 1'-0"



**Truman-Rev. Second Floor Plan**  
(Elev. B)  
SCALE 1/4" = 1'-0"



**Truman-Rev. Second Floor Plan**  
(Opt. Bdrm.#4)  
SCALE 1/4" = 1'-0"

**GENERAL NOTES KEY:**

- |   |  |
|---|--|
| ABBREVIATIONS:<br>MT - METAL THRESHOLD<br>FR - FRENCH DOORS<br>SL - SIDE LIGHT<br>FG - FIXED GLASS<br>TR - TRANSOM<br>GB - GLASS BLOCK<br>PCT - POCKET DOOR<br>SVC - SERVICE DOOR | ONS - OBTAINED GLASS<br>TEMP - TEMPERED GLASS<br>SH - SINGLE HUNG<br>DH - DOUBLE HUNG<br>CSMT - CASEMENT<br>HR - HORIZONTAL ROLLER<br>BP - BYPASS<br>RF - RIBBED<br>TYP. - TYPICAL |
|---|--|
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  4. AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R M307.2 & FBC-M 304, AND SHALL BE SUPPORTED ON CONCRETE SLAB OR OTHER APPROVED MATERIAL, NOT LESS THAN 3" ABOVE ADJOINING GROUND, PER FBC-R M305.1.4.1.
  5. PROVIDE RECESS H&C WATER W DRAIN @ WASHER SPACE.
  6. VENT DRYER THRU EXTERIOR WALL U.O.
  7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  8. PROVIDE RECESS H&C WATER W DRAIN @ WASHER SPACE.
  9. SAG RESISTANT DRYWALL ON ALL CEILINGS.
  10. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  11. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  12. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  13. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" U.O.
  14. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/2" U.O.
  15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS & SHEAR WALL SEGMENTS.
  16. ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" X 1/2" (1/2" MIN. CYPSUM BOARD).
  17. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR MIN. 150 M.P.H.
  18. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  19. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER FBC-R312.2.
  20. SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  21. SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
  22. ALL DOORS & WINDOWS THAT ARE EGRESS WILL BE LABELED AS SUCH AND CONFORM TO FBC-R 12.0.
  23. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED; THE DESIGN TEAM AT MJS & EOR STRONGLY RECOMMEND A SOIL TEST TO DETERMINE SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL AND PROPERLY COMPACTED FILL (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR, TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.
  24. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
  25. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.
  26. S8" TYPE X DRYWALL ON GARAGE CEILING BELOW ANY HABITABLE SPACE.
  27. THERMAL BARRIER FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7 MM) GYPSUM WALLBOARD, 2033 INCH (18 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.
  28. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.
  29. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHALL BE FITTED WITH GFLS PANELS (OR SIMILAR).
  30. ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R202.4.
  31. FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.
  32. ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  33. WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1775), FIBER REINFORCED GYPSUM PANELS (ASTM C1293), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1288) OR NON-ASBESTOS FIBER-MAT REINFORCED CERAMIC TILE BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC-R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW / DOOR NOTE KEY:**

- WINDOW SIZE CALLOUT:**  
2040 = 2'-0" x 4'-0"  
2050 = 2'-0" x 5'-0"  
2060 = 2'-0" x 6'-0"
- DOOR SIZE CALLOUT:**  
20 = 2'-0" 40 B.F. = 4'-0" BI-FOLD  
24 = 2'-4" 50 B.F. = 5'-0" BI-FOLD  
26 = 2'-6" 60 B.F. = 6'-0" BI-FOLD  
30 = 3'-0"
- \* ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.  
\* ALL INTERIOR DOOR HEIGHTS ARE TO BE DETERMINED BY THE BUILDER.

**BRG. HT. LEGEND**

- |                          |                          |
|--------------------------|--------------------------|
| INDICATES BRG. WALL      | FOUNDATION               |
| INDICATES 1-HR. FIREWALL | INDICATES 2-HR. FIREWALL |
- BASED OFF FROM OFF. FIN. F.L.R. (U.O.)

**Area Tabulations**

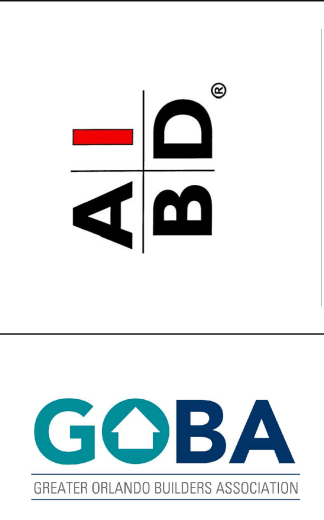
Living:	
1st floor:	1,065 sf
2nd floor:	726 sf
<b>Total Living:</b>	<b>1,791 sf</b>
entry:	32 sf
garage:	376 sf
lanai:	78 sf
<b>Total Area:</b>	<b>2,277 sf</b>

**Floor Plan**

SCALE 1/4" = 1'-0"



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**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Center, Truman

A division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

PROJECT:	00-0000
SCALE:	AS NOTED
DRAWN BY:	C.C.C.
DESIGNED BY:	MJS
ISSUE DATE:	02/02/2024
REVISIONS:	
FLOOR PLANS:	<b>A7</b>

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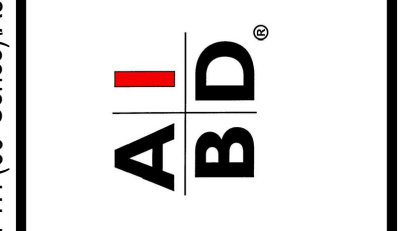
**Front Elevation**  
(Standard)  
SCALE 1/4" = 1'-0"



**Rear Elevation**  
(Standard)  
SCALE 1/4" = 1'-0"



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**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman  
Building Pad # XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

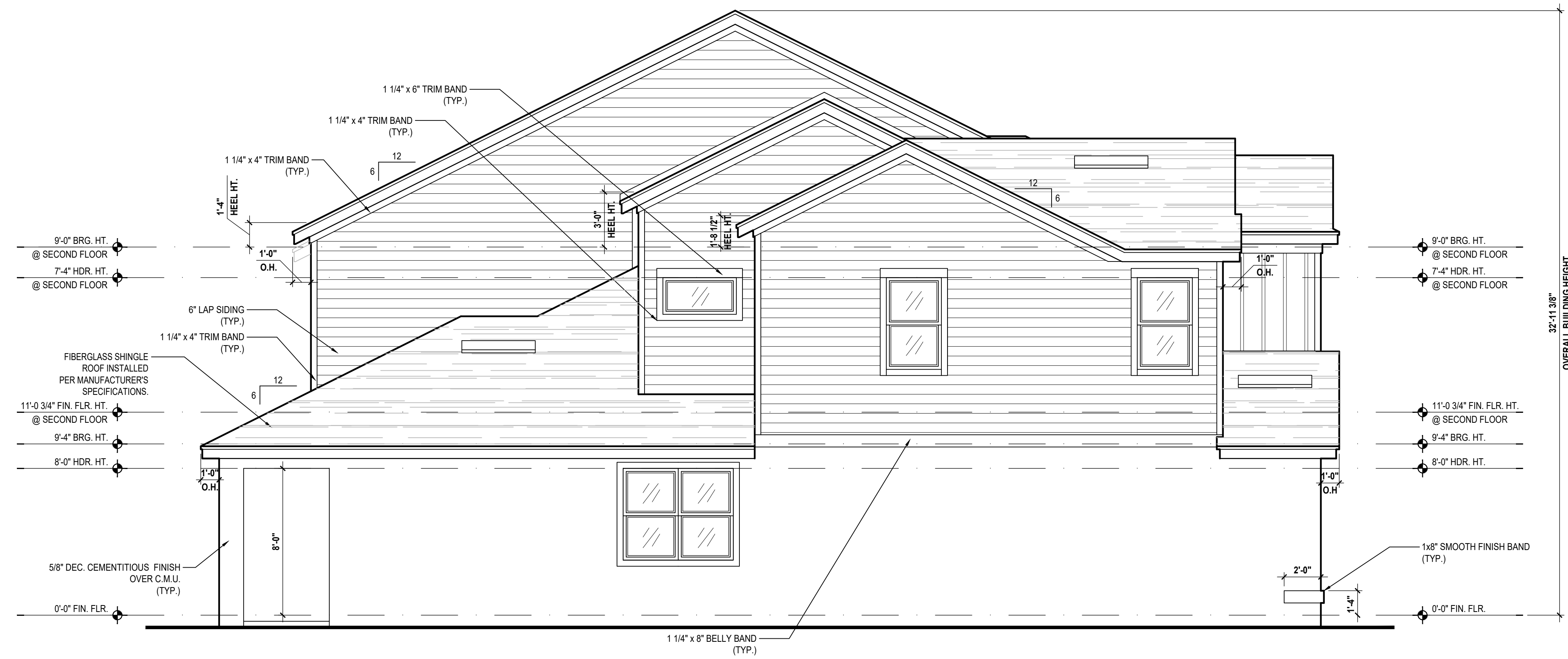


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REVISIONS	

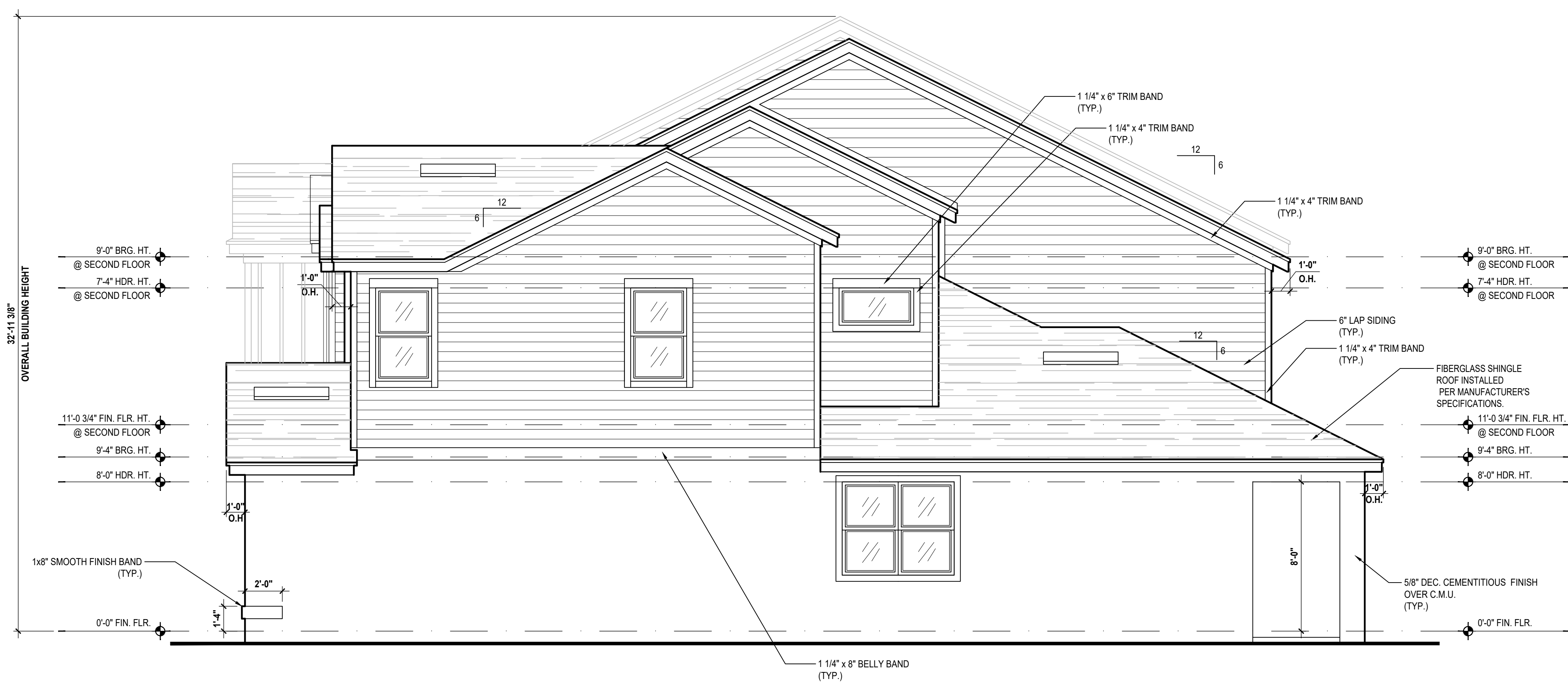
PROJECT:	00-0000
SCALE:	AS NOTED
DRAWN BY:	C.C.
DESIGNED BY:	MJS

ELEVATIONS  
**A8**

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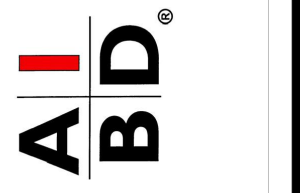
Left Elevation  
(Standard)  
SCALE 1/4" = 1'-0"



Right Elevation  
(Standard)  
SCALE 1/4" = 1'-0"



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d:\egp - V:\Park Square Homes\MODELS\TOWNHOME MODELS\Townhomes (Chancel)\1 - Townhome Models\Presidential Townhomes (Raised Heel)\30' Series\4-Unit Presidential TH (60' Series)\A9 Elevations.dwg

4-Unit: (Presidential 60' Series)

Models: Truman, Washington, Carter, Truman  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square  
Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



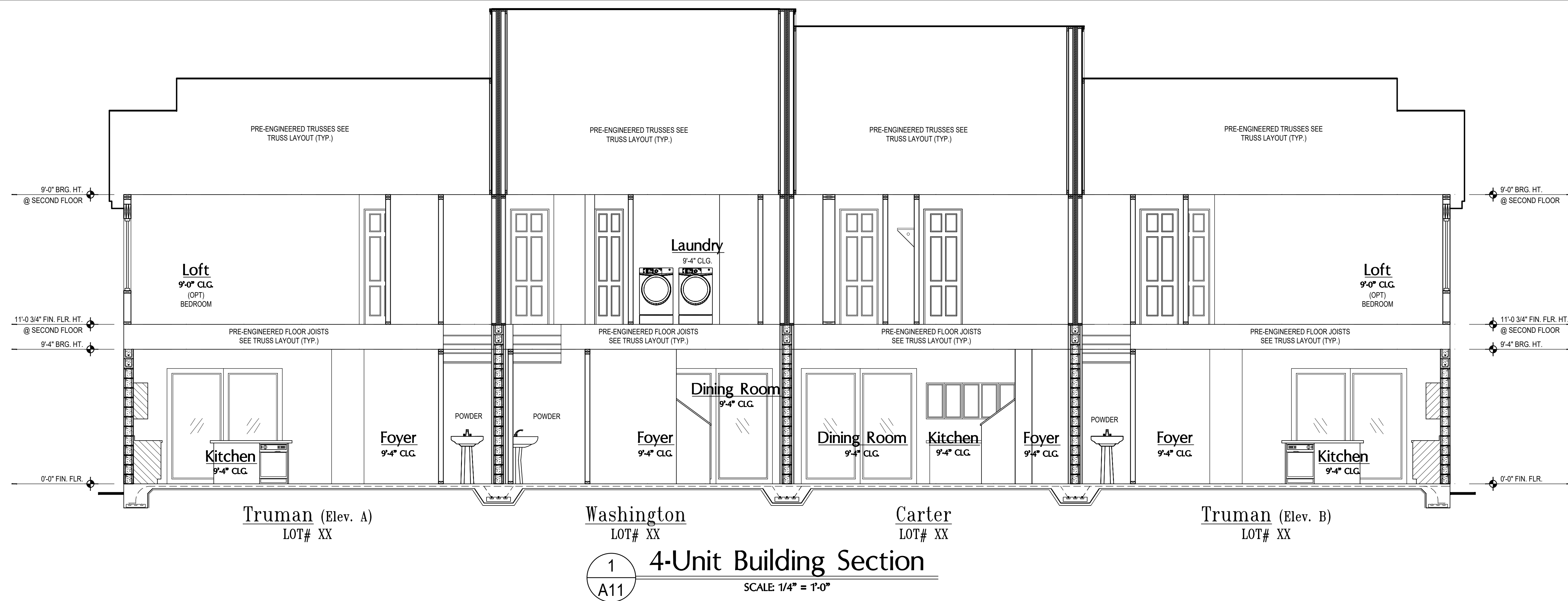
ISSUE DATE: 02/02/2024

REVISIONS

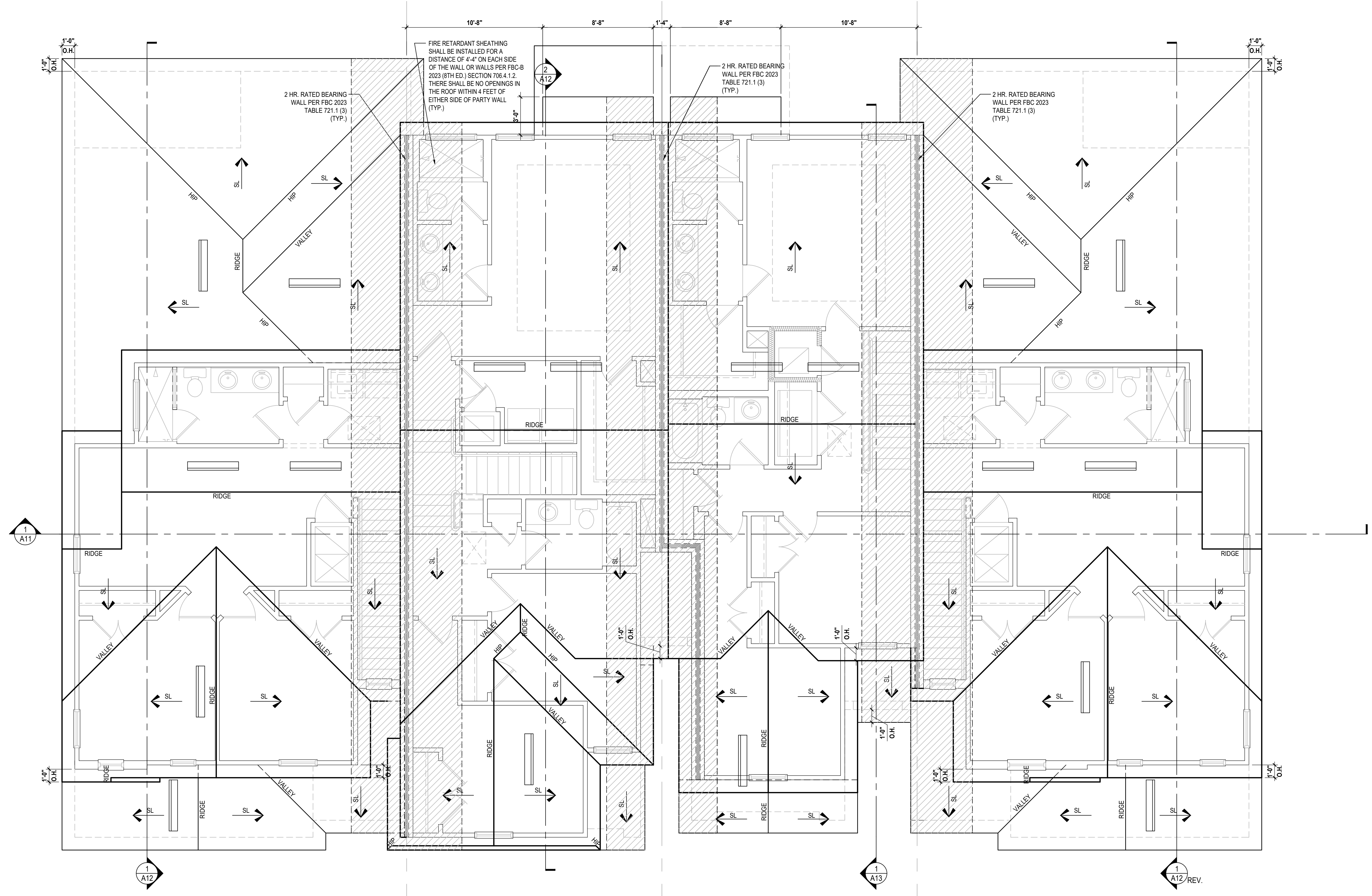
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

ELEVATIONS

A9



**1**  
**A11**  
**4-Unit Building Section**  
 SCALE 1/4" = 1'-0"



**Roof Layout**  
 SCALE 1/4" = 1'-0"

ATTIC VENT CALC'S.	
<b>TRUMAN, FIRST FLR. (FRONT)</b>	
ROOF AREA:	189 SQ. FT.
AV VOLUME = (189/300) = 0.63 SQ. FT. / 2 = 315 SQ. FT.	
315 x 144 = 45,360 SQ. IN.	
45,360 SQ. IN. / 96.75" = 468	
AV REQUIRED:	(1) VENTS NEEDED
<b>TRUMAN, FIRST FLR. (REAR)</b>	
ROOF AREA:	678 SQ. FT.
AV VOLUME = (678/300) = 2.26 SQ. FT. / 2 = 1.13 SQ. FT.	
1.13 x 144 = 162.72 SQ. IN.	
162.72 SQ. IN. / 96.75" = 1.68	
AV REQUIRED:	(2) VENTS NEEDED
<b>TRUMAN, SECOND FLR.</b>	
ROOF AREA:	871 SQ. FT.
AV VOLUME = (871/300) = 2.90 SQ. FT. / 2 = 1.45 SQ. FT.	
1.45 x 144 = 208.80 SQ. IN.	
208.80 SQ. IN. / 96.75" = 2.16	
AV REQUIRED:	(3) VENTS NEEDED
<b>WASHINGTON, SECOND FLR.</b>	
ROOF AREA:	1,108 SQ. FT.
AV VOLUME = (1,108/300) = 3.69 SQ. FT. / 2 = 1.845 SQ. FT.	
1.845 x 144 = 265.68 SQ. IN.	
265.68 SQ. IN. / 96.75" = 2.75	
AV REQUIRED:	(3) VENTS NEEDED
<b>CARTER, SECOND FLR.</b>	
ROOF AREA:	988 SQ. FT.
AV VOLUME = (988/300) = 3.29 SQ. FT. / 2 = 1.645 SQ. FT.	
1.645 x 144 = 236.88 SQ. IN.	
236.88 SQ. IN. / 96.75" = 2.45	
AV REQUIRED:	(3) VENTS NEEDED
2023 FLORIDA BUILDING CODE (8TH EDITION) SECTION R608 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)	
NOTE: AS AN ALTERNATE TO TYP. ROOF INSUL. & VENTING A CLOSED ATTIC SYSTEM MAY BE SUBSTITUTED USING AN ICYNENE OR SIMIL.	

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**A.I.D.**  
**BD**

**GOBA**  
GROUP OF BUILDING AND DESIGN ASSOCIATES

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman

A Division of Park Square Enterprises Inc.  
**Park Square HOMES**  
5200 Vineyard Rd. Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

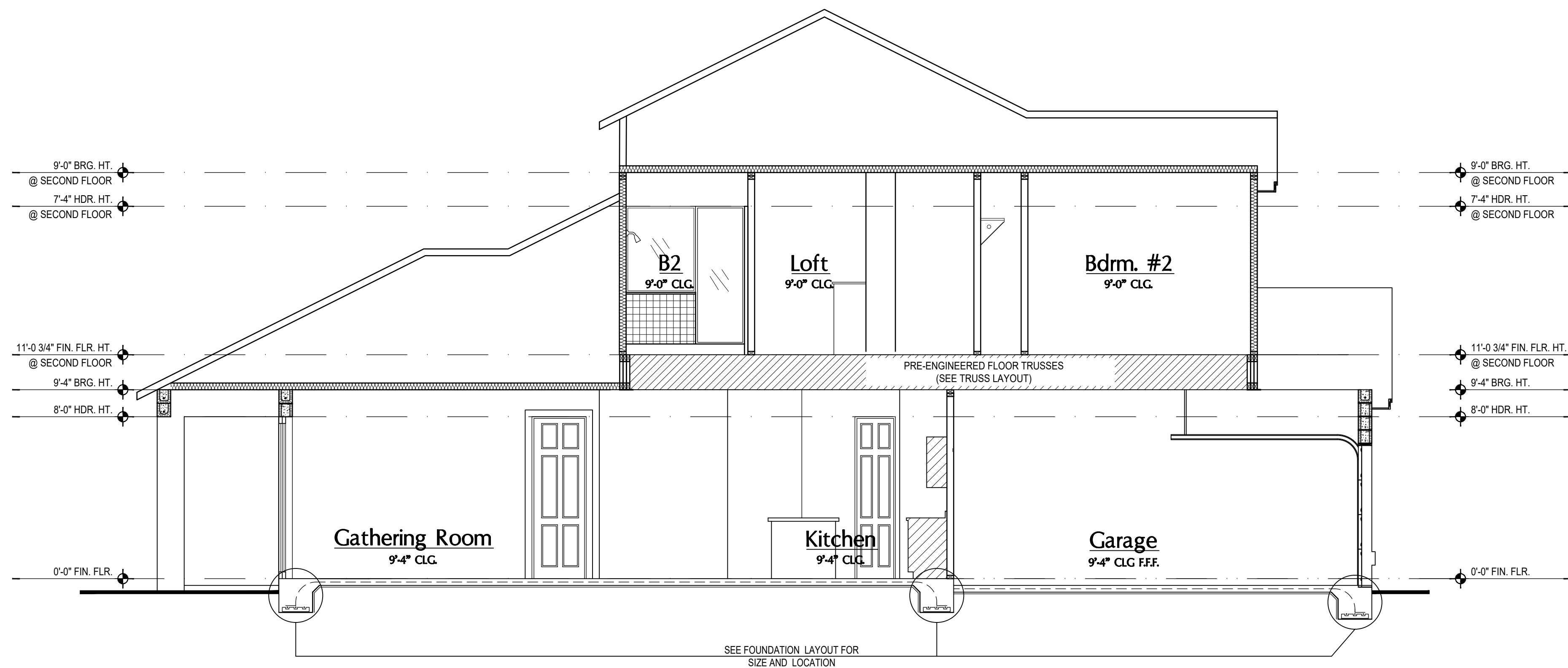
Building Pad # XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

ISSUE DATE: 02/02/2024  
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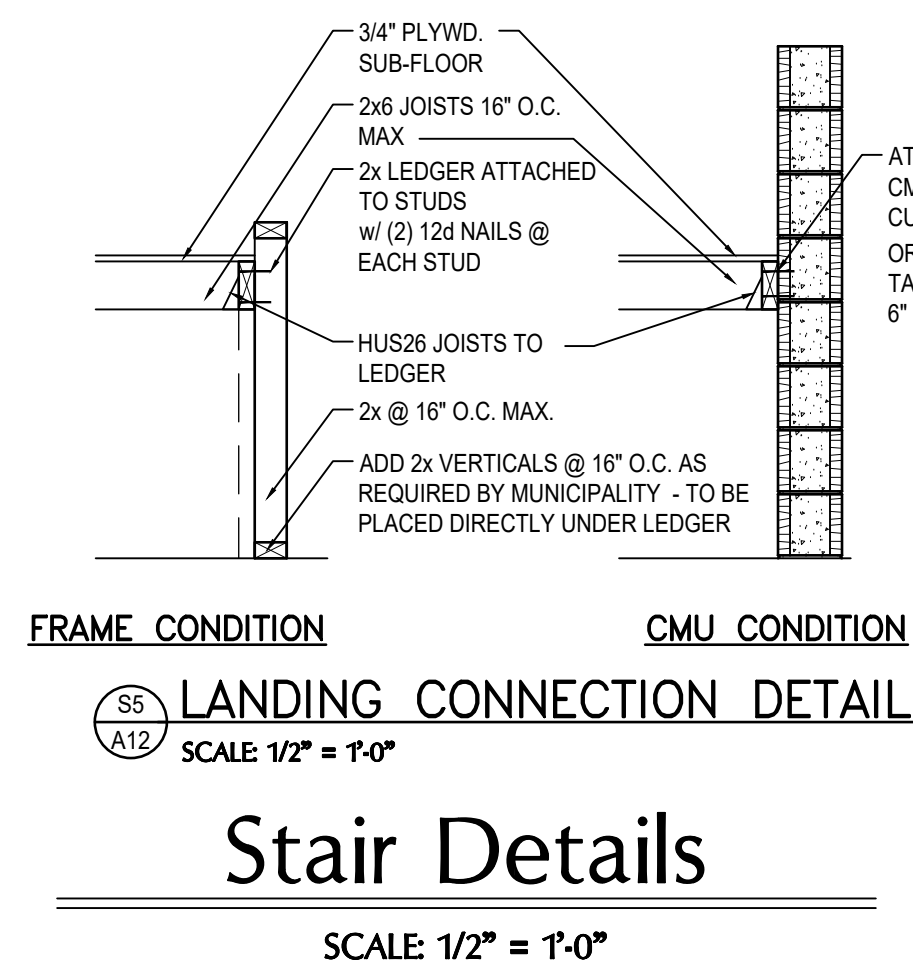
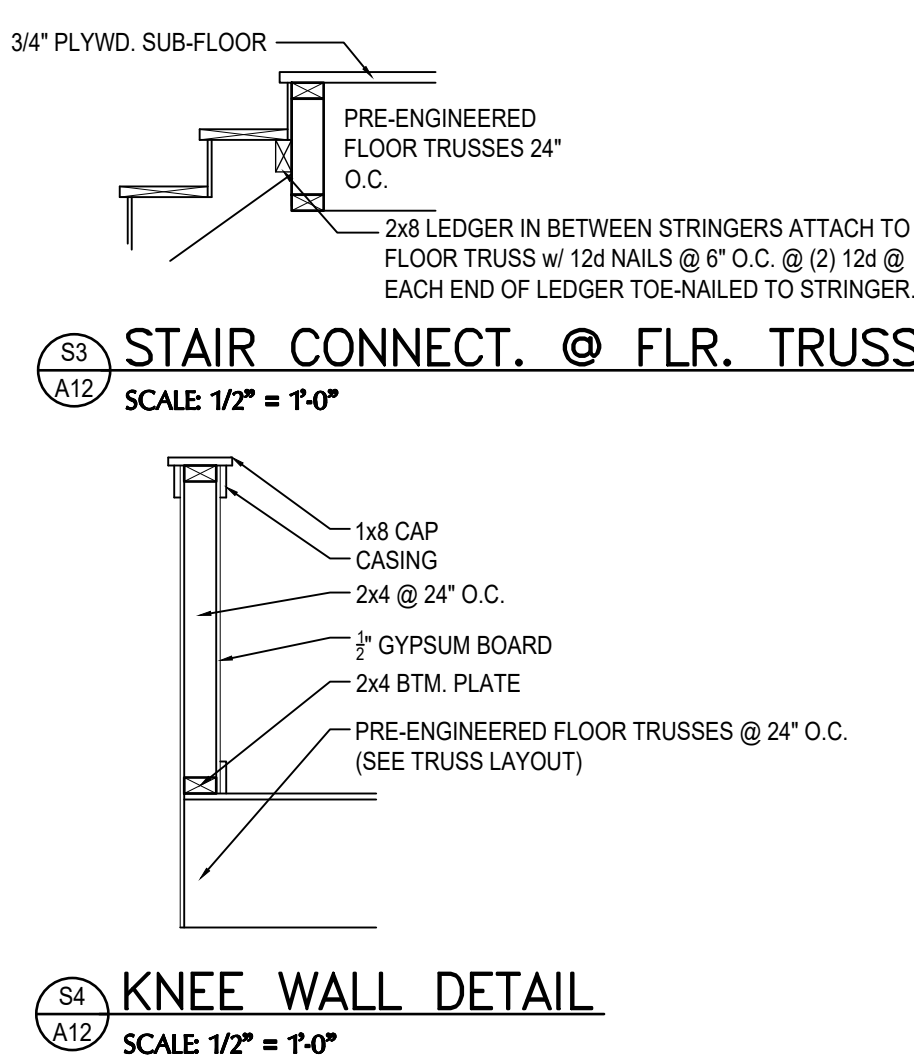
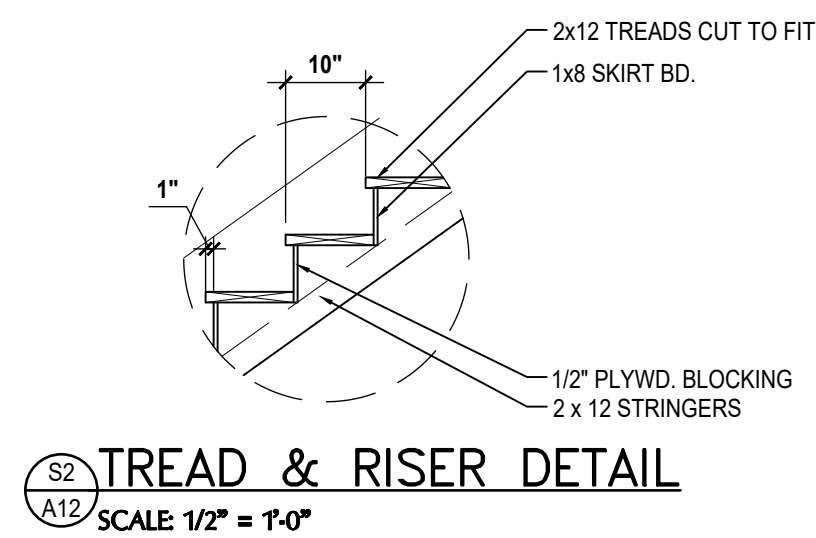
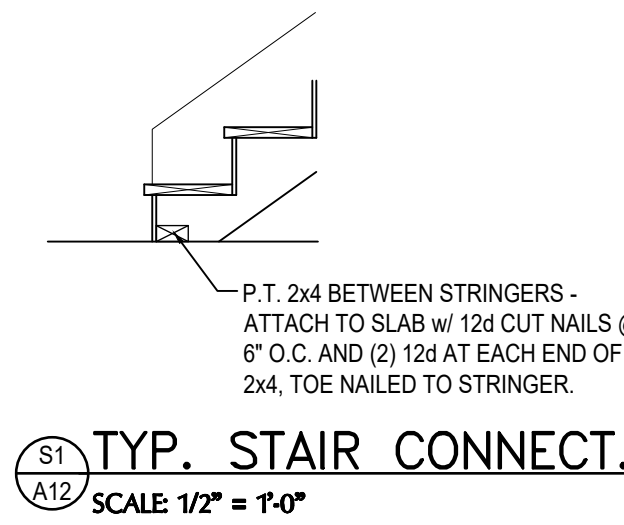
PROJECT: 00-000  
 SCALE: AS NOTED  
 DRAWN BY: C.C.  
 DESIGNED BY: MJS

May 01, 2024 9:35am

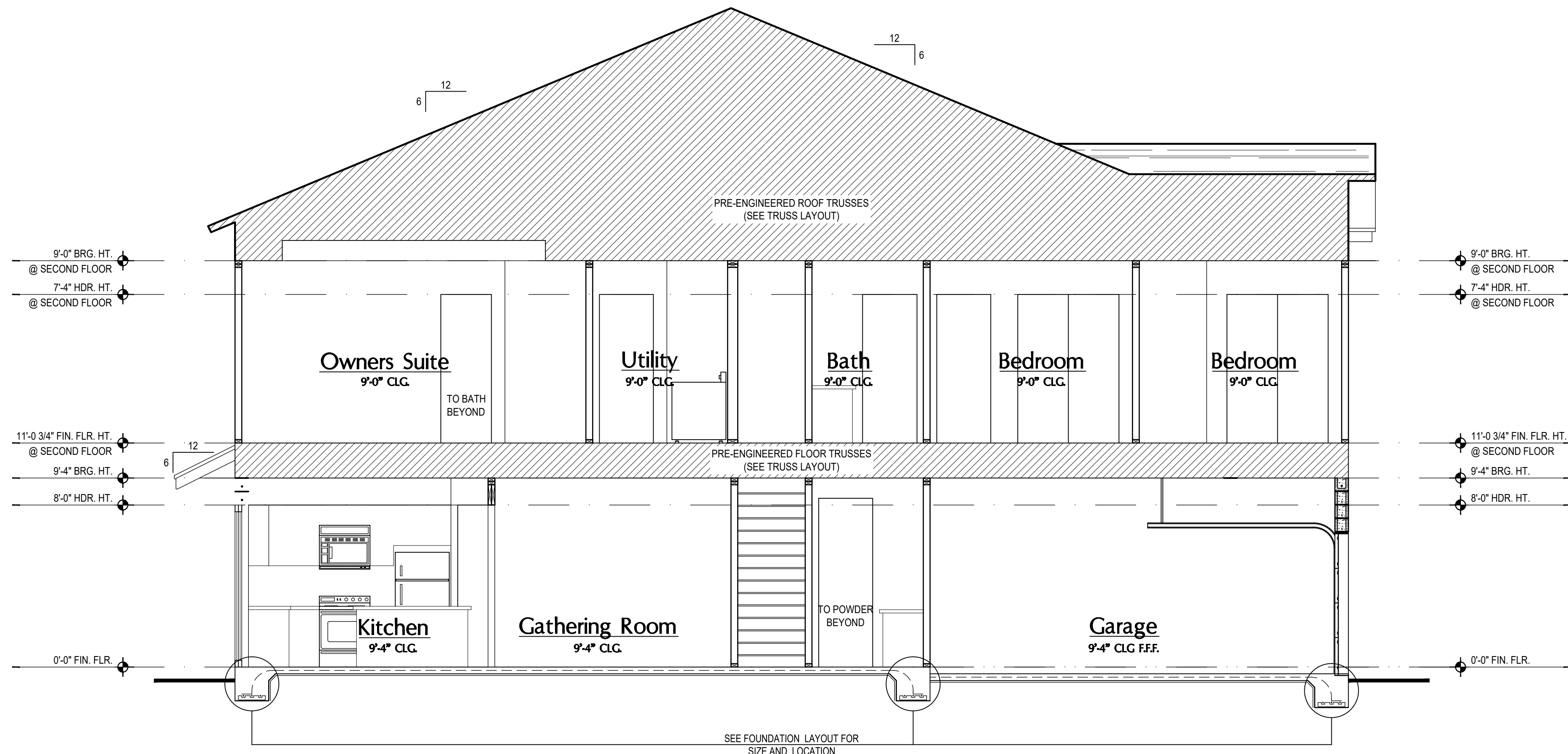
SECTIONS  
**A10**



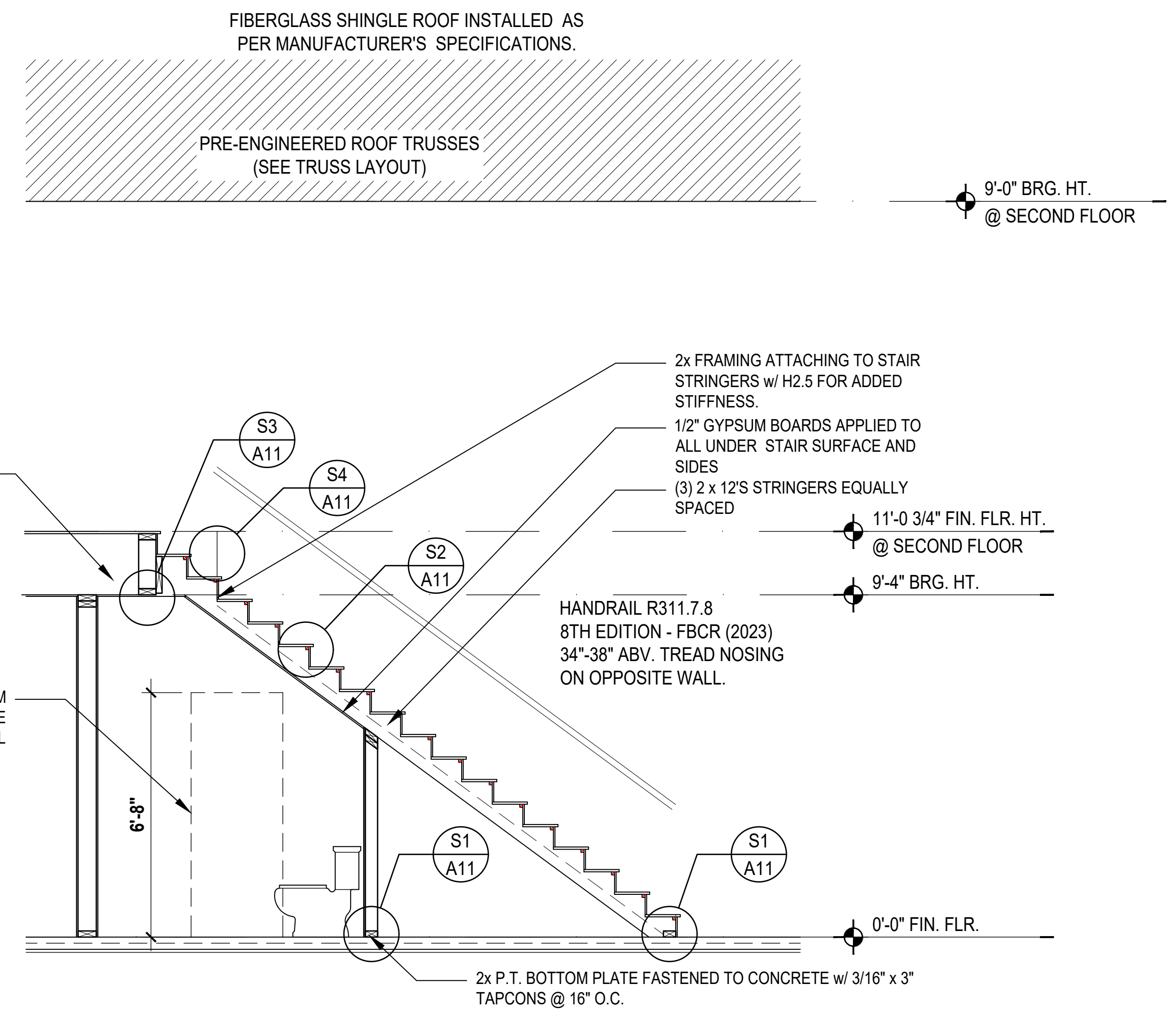
**1 Truman: Building Section**  
A12 SCALE: 1/4" = 1'-0"



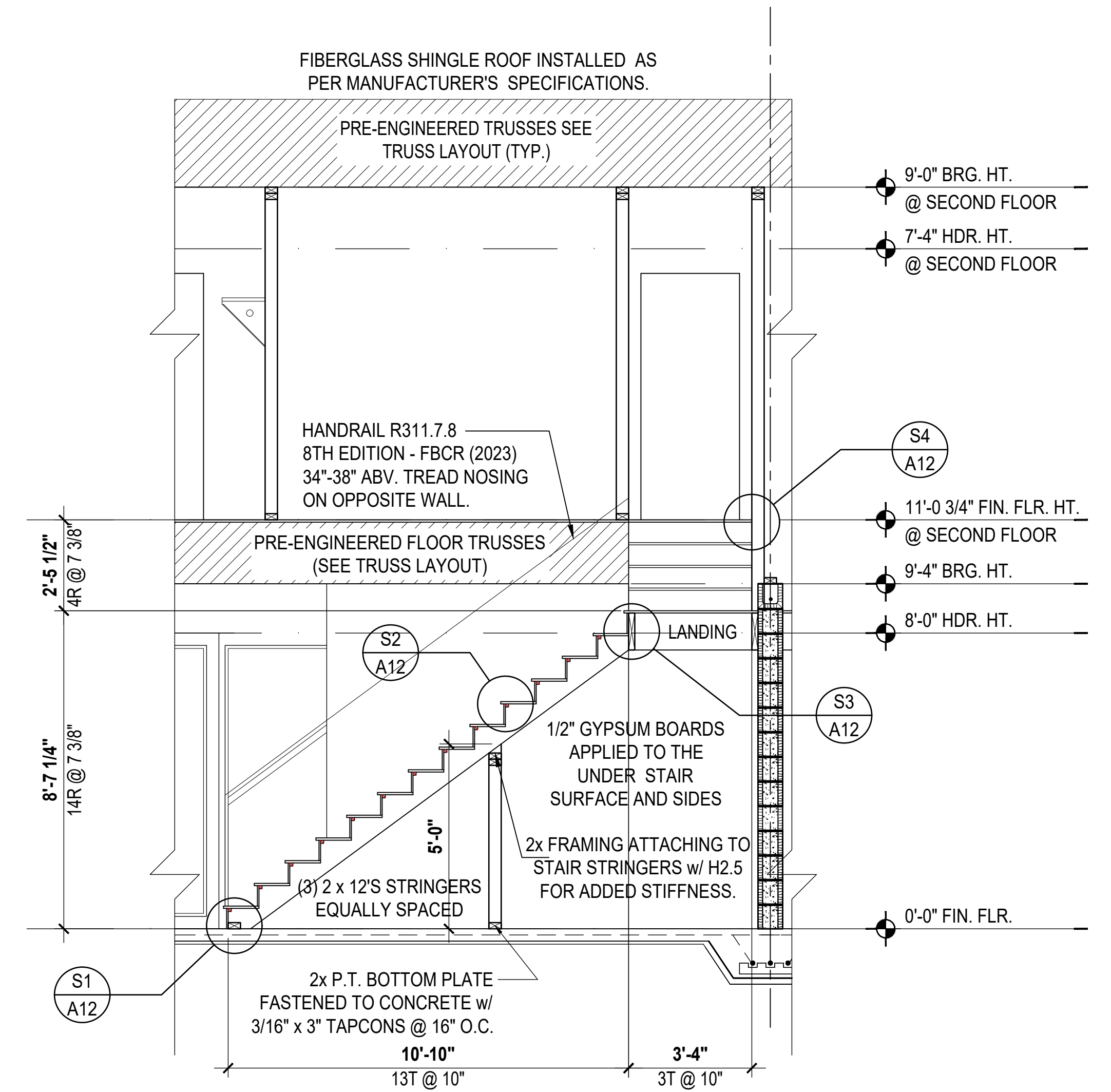
- NOTES:**
1. STAIRWAY CONSTRUCTION TO CONFORM TO FBC-R 2023, 8TH EDITION SECTION R311.7
  2. STAIRWAY SHALL NOT BE LESS THAN 36" MIN. IN WIDTH.
  3. HEADROOM SHALL NOT BE LESS THAN 6 FEET 8 INCHES MIN. IN CLEARANCE.
  4. RISERS SHALL BE AT A MAX HGT. OF 7 3/4".
  5. TREAD DEPTH SHALL NOT BE LESS THAN 11 INCHES.
  6. TREAD NOSING SHALL HAVE A MAX. RADIUS CURVATURE OF 9/16" AND A PROJECTION OF 3/4" BUT NOT MORE THAN 1 1/4". NOSING PROJECTION NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES.
  7. 3/16" MAX VARIATION IN RISERS / TREADS ADJACENT TO EACH OTHER.
  8. 3/8" MAX VARIATION IN ANY RISER / TREAD.
  9. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
  10. UNDER MIN. 6" WIDE @ NARROW END.
  11. HANDRAIL HGT. SHALL BE NOT LESS THAN 34" BUT NOT GREATER THAN 38".



**3 Washington: Building Section**  
A12 SCALE: 1/4" = 1'-0"

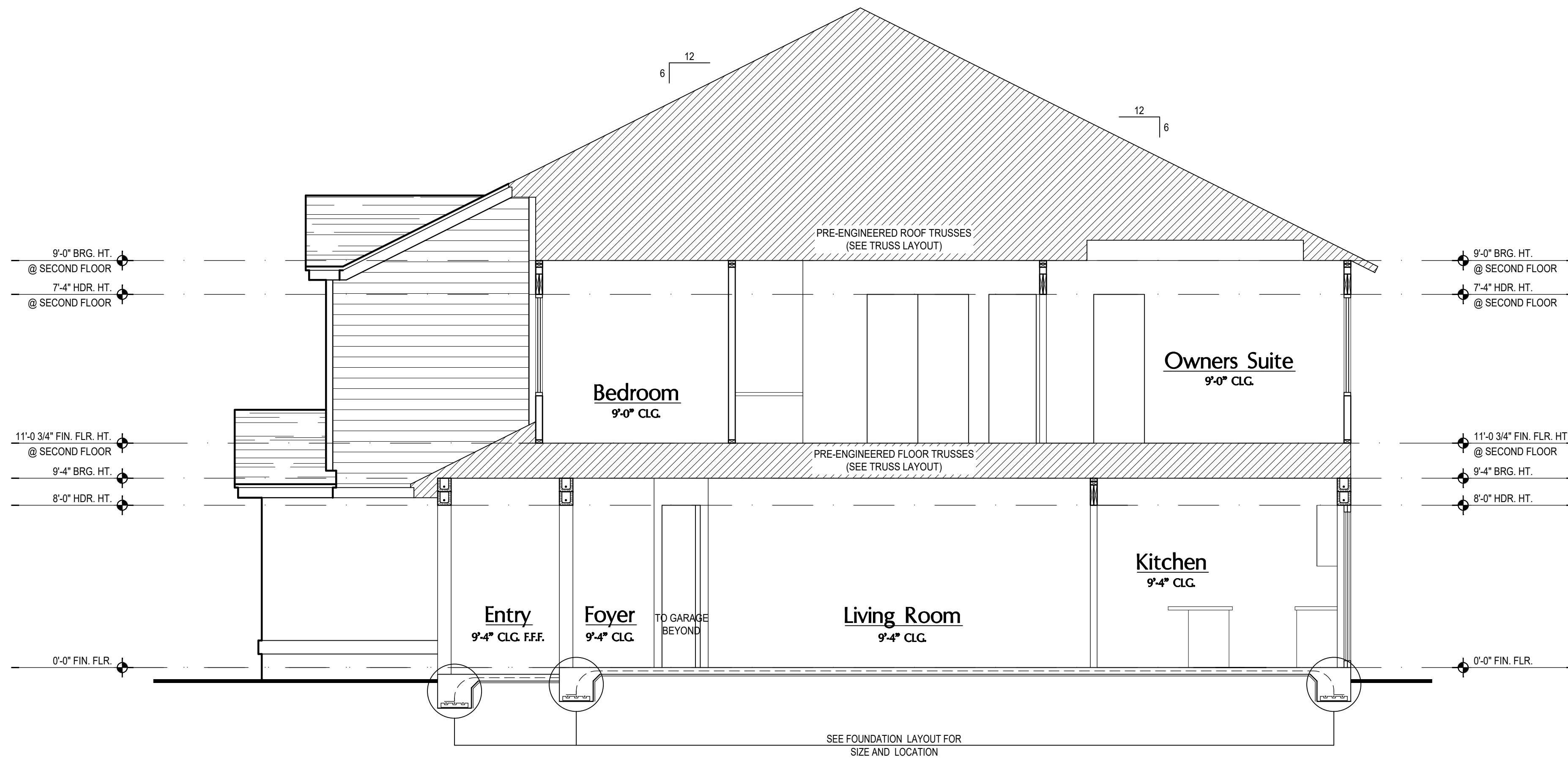


**2 Truman: Stair Section**  
A12 SCALE: 3/8" = 1'-0"

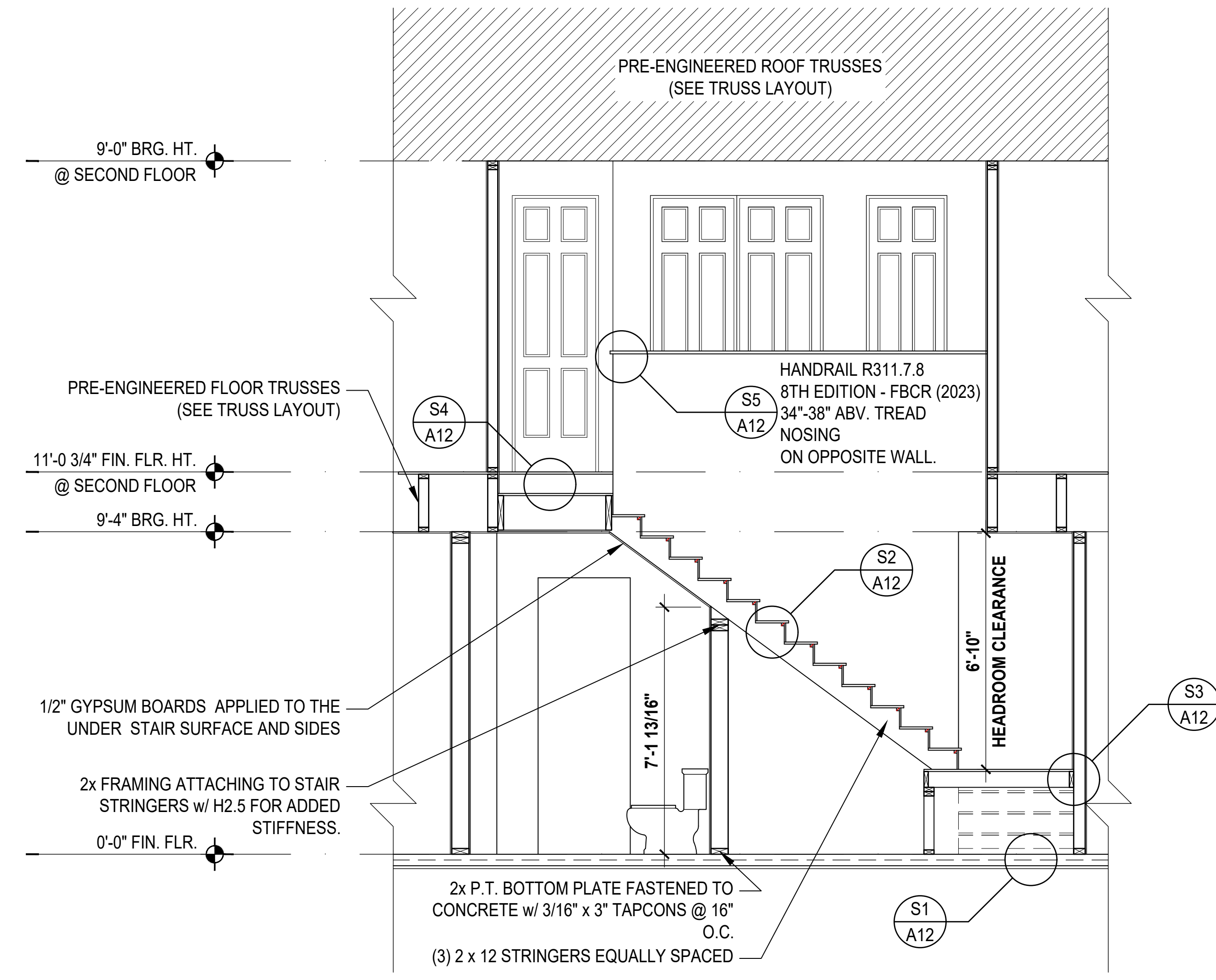


**4 Washinton: Building Section**  
A12 SCALE: 3/8" = 1'-0"

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**1 Carter: Building Section**  
 SCALE: 1/4" = 1'-0"



**2 Carter: Stair Section**  
 SCALE: 3/8" = 1'-0"

PROJECT:	00-0000
SCALE:	AS NOTED
DRAWN BY:	C.C.
DESIGNED BY:	MJS

SECTIONS  
**A12**

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 Orlando, FL 32811  
 Phone: (407) 529-3000

**4-Unit: (Presidential 60' Series)**  
 Models: Truman, Washington, Carter, Truman  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

GOBA  
GRASSROOTS ORGANIZATION ASSOCIATION

AIBD  
ARCHITECTS IN BUSINESS DESIGN ASSOCIATION

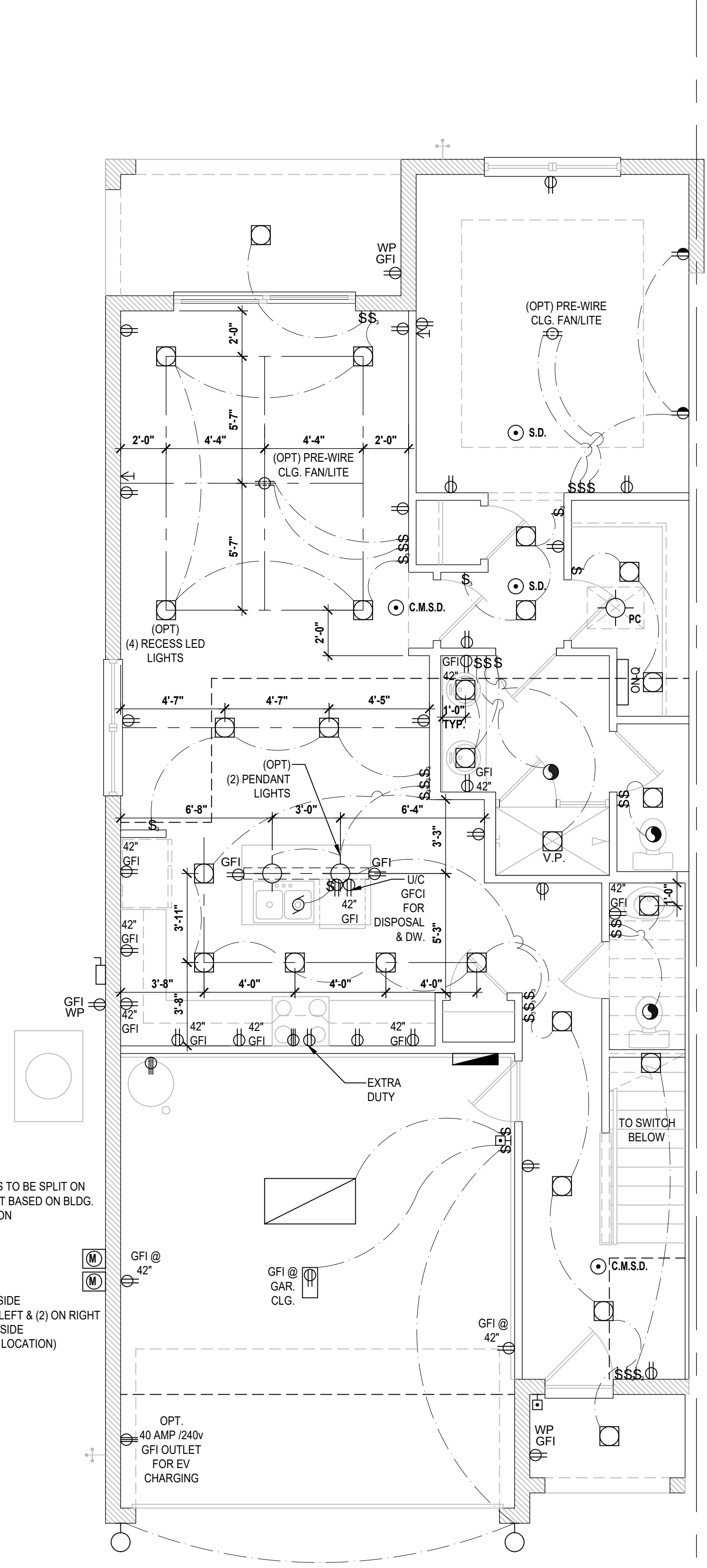
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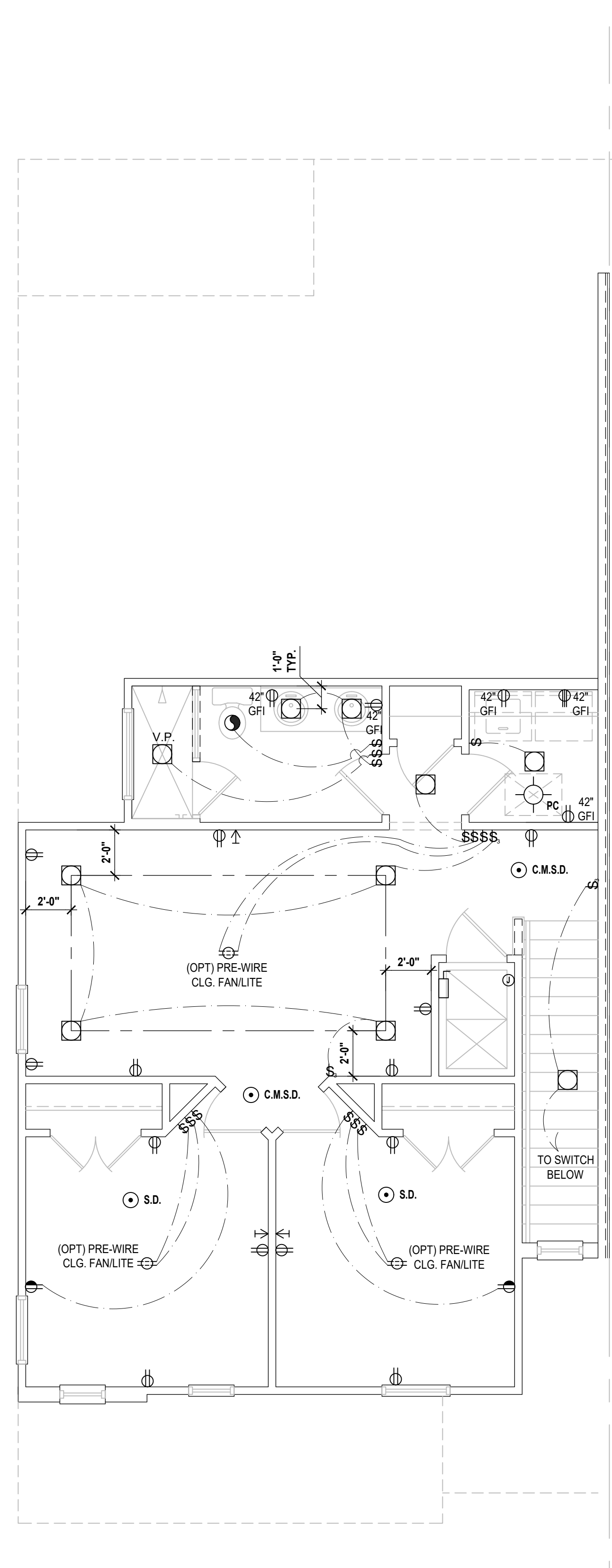
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d:\egp - V:\Park Square Homes\MODELS\TOWNHOME MODELS\Townhomes (Orlando)\1 - Townhome Models\Presidential Townhomes (Raised Heel)\60' Series\4-Unit Presidential TH (60' Series)\A12 Sections-Carter & Kennedy.dwg

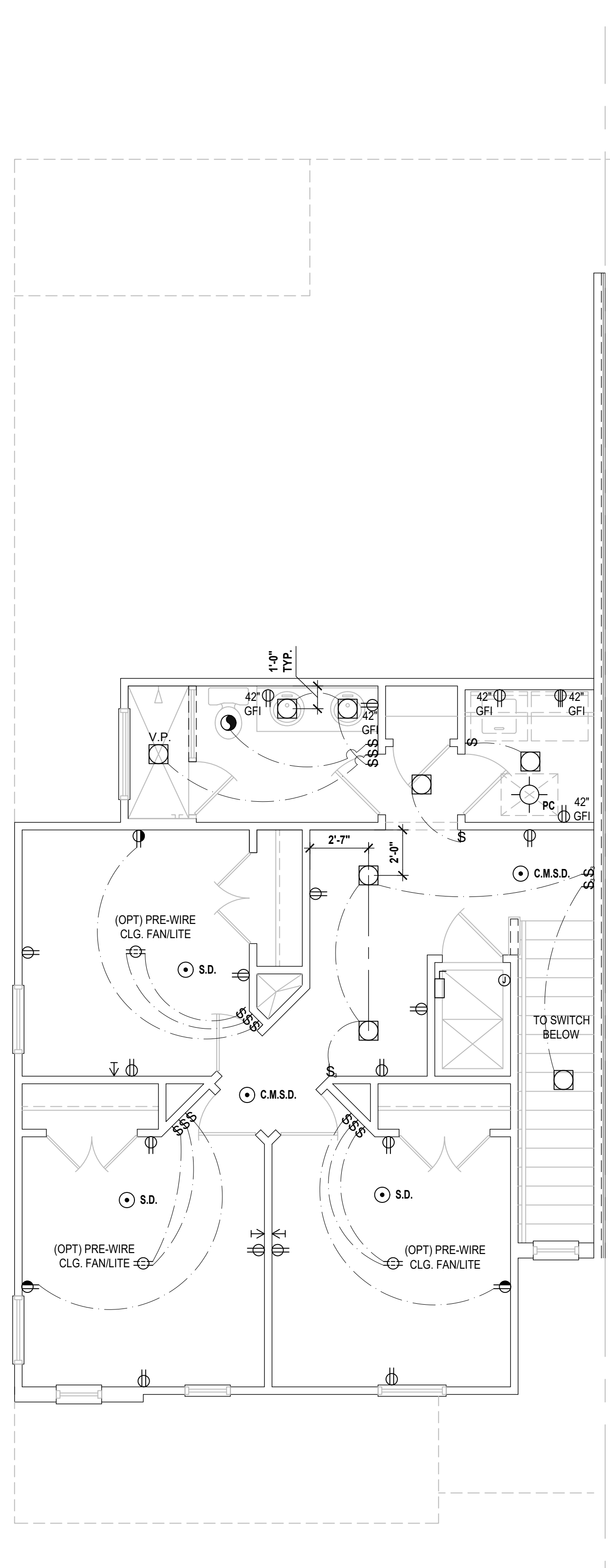
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**Truman- First Floor**  
(Standard)  
SCALE 1/4" = 1'-0"



**Truman- Second Floor**  
(Elev. A)  
SCALE 1/4" = 1'-0"



**Truman- Second Floor**  
(Opt. 4 Bedroom)  
SCALE 1/4" = 1'-0"

**GENERAL NOTES KEY:**

1. BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
  2. ALL OUTLETS ARE TO BE AFCI PROTECTED.
  3. ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
  4. ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
  5. ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
  6. ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
  7. DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
  8. EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
  9. OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
  10. OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
  11. ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
  12. ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
  13. 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
  14. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  15. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE ARE SUBJECT TO THE PROVISIONS OF FBCE R402.4.5. FIXTURES SHALL BE RATED FOR ZERO CLEARANCE INSULATION CONTACT) AND SEALED AIR TIGHT. ALSO SEE FBCE 410.116.
- NOTES:**
- THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, INCLUDING KITCHEN EQUIPMENT AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL RELEVANT MUNICIPALITY CODES, STANDARDS AND ORDINANCES.
  - LOCATION OF FIXTURES AND / OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.
  - ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 8TH EDITION (2023) RESIDENTIAL AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
  - VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.
- SMOKE DETECTOR REQUIREMENTS:**
- ALL SMOKE/CARBON DETECTOR LOCATIONS MUST BE A MINIMUM OF 3' FROM ANY BATHROOM PER FBC-R314.3 (4). THEY MUST ALSO BE LOCATED NO MORE THAN 10' FROM ANY BEDROOM DOOR OPENING PER FBC-R315.1.

**ELECTRICAL KEY:**

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION
	INTERCOM

**Electrical Layout**  
SCALE: 1/4" = 1'-0"

4-Unit: (Presidential 60' Series)

Models: Truman, Washington, Center, Truman

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**AIB**

**GOBA**  
GROUP OF BUILDERS ASSOCIATION

Building Part #XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

ISSUE DATE: 02/02/2024

REVISIONS:

NO.	DESCRIPTION

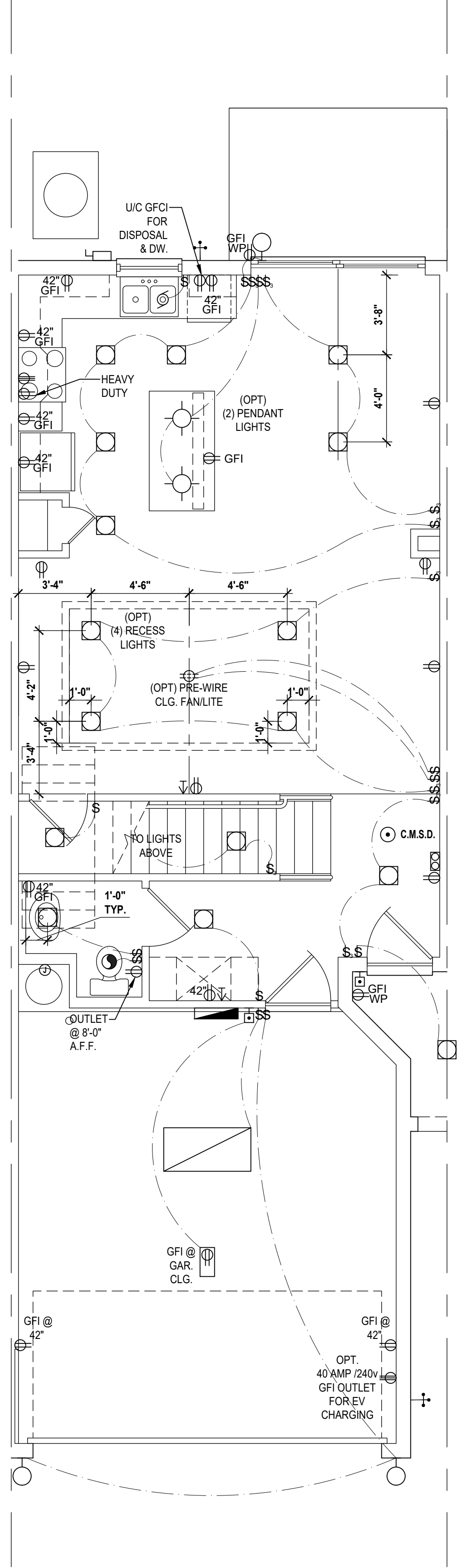
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PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

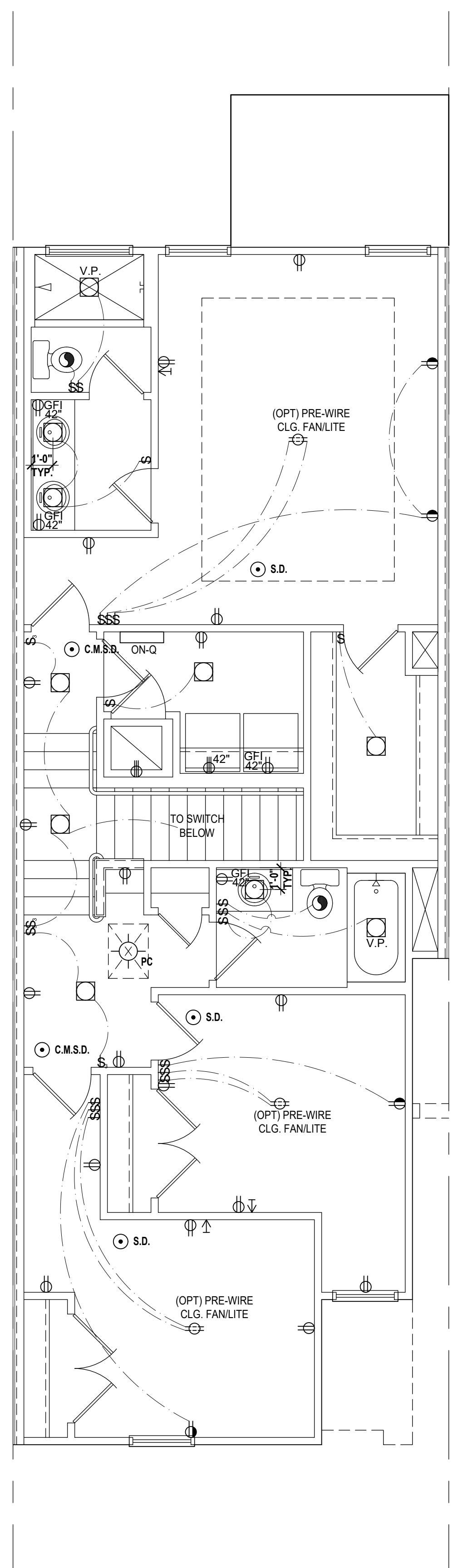
diego V:\Park Square Homes\MODELS\TOWNHOMES (Orlando)\1 - townhome Models\Presidential Townhomes (Raised High)-60' Series\4-Unit Presidential TH (60' Series)\E1 Electrical Layout (Truman).dwg

**E1**

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**Washington- First Floor**  
(Standard)  
SCALE: 1/4" = 1'-0"



**Washington- Second Floor**  
(Standard)  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES KEY:**

1. BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
  2. ALL OUTLETS ARE TO BE AFCI PROTECTED.
  3. ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
  4. ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
  5. ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
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  7. DW AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
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  9. OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
  10. OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
  11. ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
  12. ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
  13. 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
  14. ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  15. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE ARE SUBJECT TO THE PROVISIONS OF FBCE R402.4.5. FIXTURES SHALL BE (RATED FOR ZERO CLEARANCE INSULATION CONTACT) AND SEALED AIR TIGHT. ALSO SEE FBCE 410.116.
- NOTES:**
- THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, INCLUDING KITCHEN EQUIPMENT AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL RELEVANT MUNICIPALITY CODES, STANDARDS AND ORDINANCES.
  - LOCATION OF FIXTURES AND/OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.
  - ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 8TH EDITION (2023) RESIDENTIAL AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.
  - VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.
- SMOKE DETECTOR REQUIREMENTS:**  
ALL SMOKE/CARBON DETECTOR LOCATIONS MUST BE A MINIMUM OF 3' FROM ANY BATHROOM PER FBC-R314.3 (4). THEY MUST ALSO BE LOCATED NO MORE THAN 10' FROM ANY BEDROOM DOOR OPENING PER FBC-R315.1.

**ELECTRICAL KEY:**

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	S.M.O.K.E. DETECTOR
	C.M.S.D. CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION
	INTERCOM

**Electrical Layout**  
SCALE: 1/4" = 1'-0"

PROJECT:	00-0000
SCALE:	AS NOTED
DRAWN BY:	C.C.
DESIGNED BY:	MJS

ISSUE DATE: 02/02/2024  
REVISIONS:

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**MJS**  
designers group  
residential-commercial-architecture

**A I I**  
**B I D**

**GOBA**  
GROUP BRANDS BUILDING ASSOCIATION

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman  
Building Pad #XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

**Park Square HOMES**  
A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

ISSUE DATE: 02/02/2024  
REVISIONS:  
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

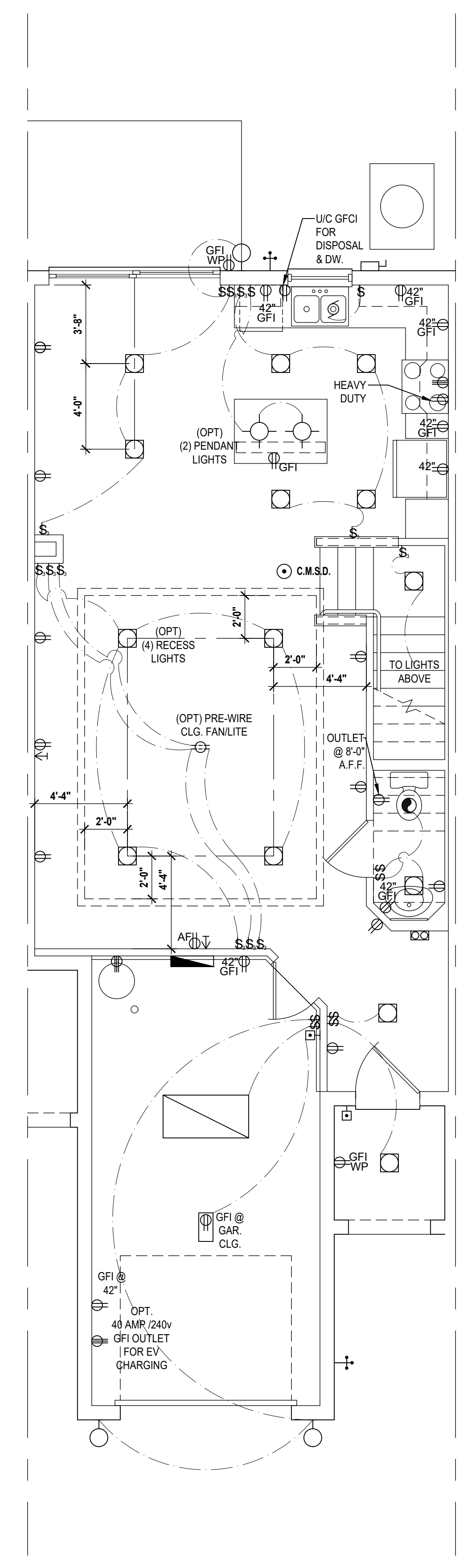
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**E2**

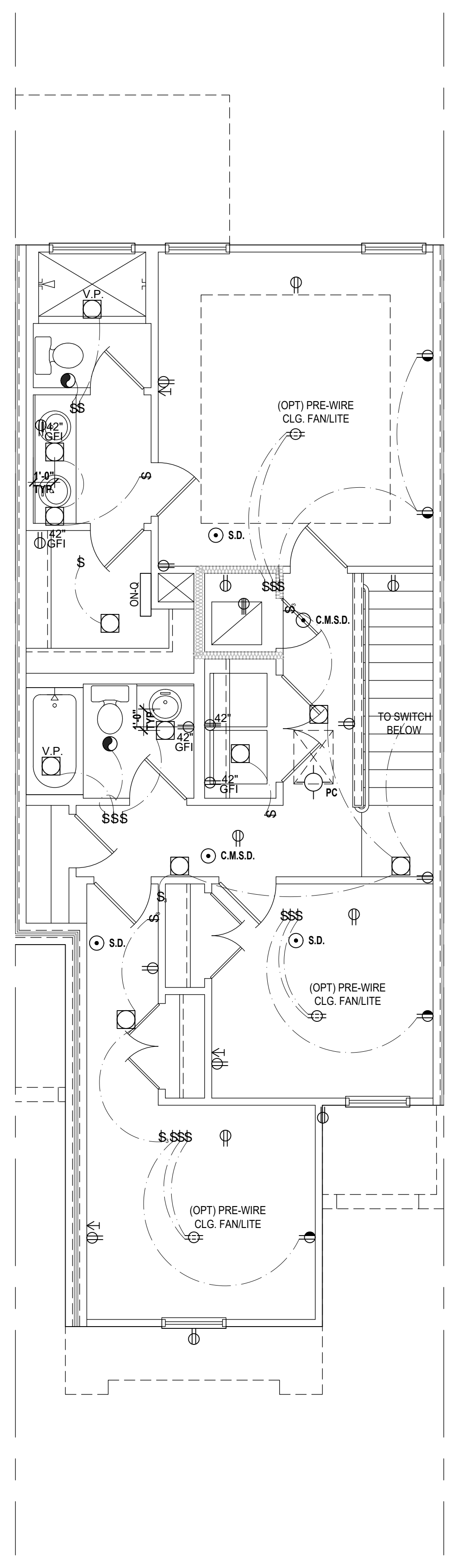
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**Carter First Floor**  
SCALE: 1/4" = 1'-0"



**Carter Second Floor**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES KEY:**

1. BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
2. ALL OUTLETS ARE TO BE AFCI PROTECTED.
3. ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
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12. ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
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**NOTES:**

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**ELECTRICAL KEY:**

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
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	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	S.M.O.K.E. DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION
	I.C. INTERCOM

**Electrical Plan**  
SCALE: 1/4" = 1'-0"

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**MJS**  
designers group  
residential-commercial-architecture

**A I D**  
BD

**GOBA**  
GROUP OF ARCHITECTS

**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Carter, Truman  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

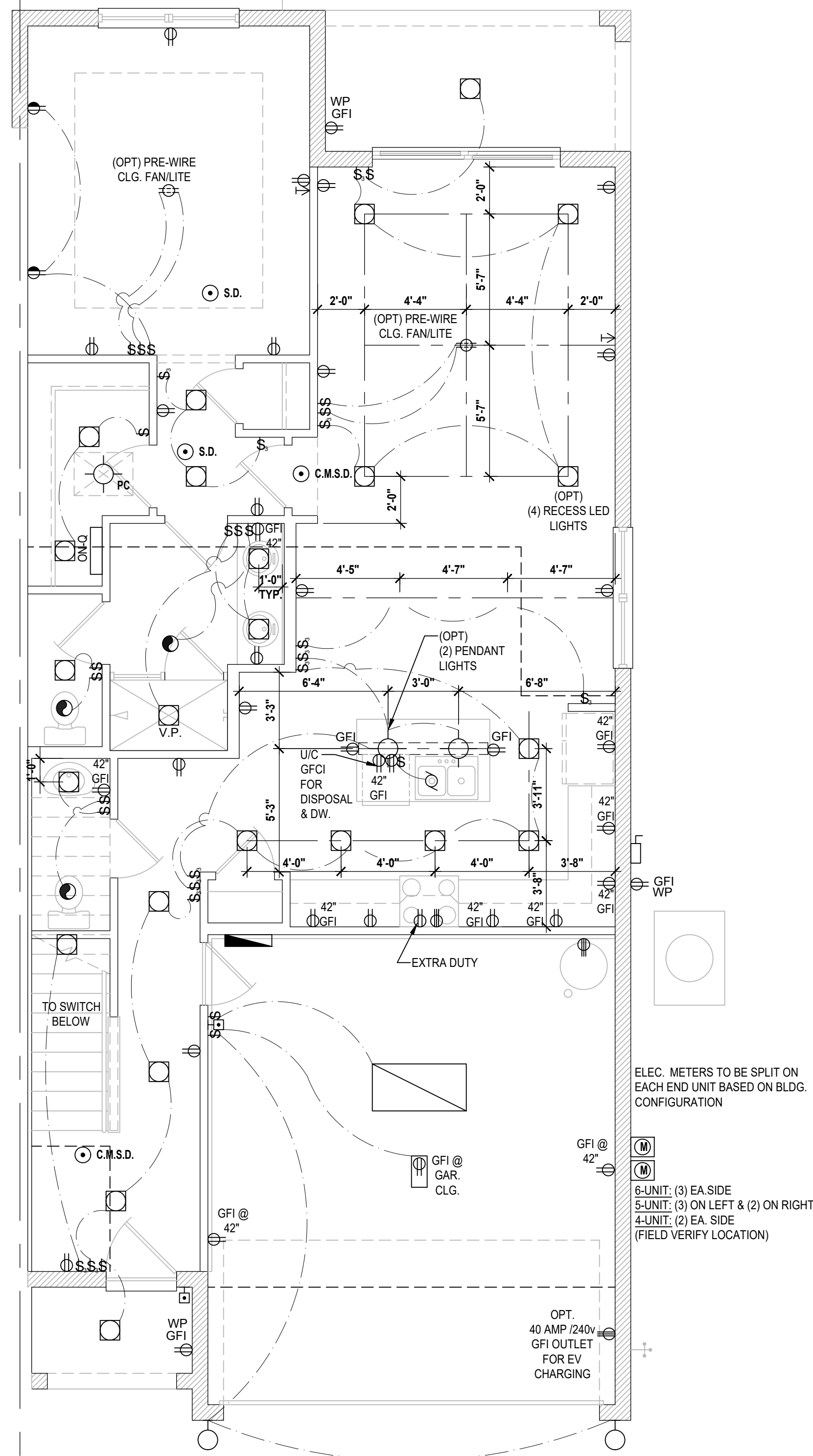
**Park Square HOMES**  
A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

ISSUE DATE: 02/02/2024  
REVISIONS:  
PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

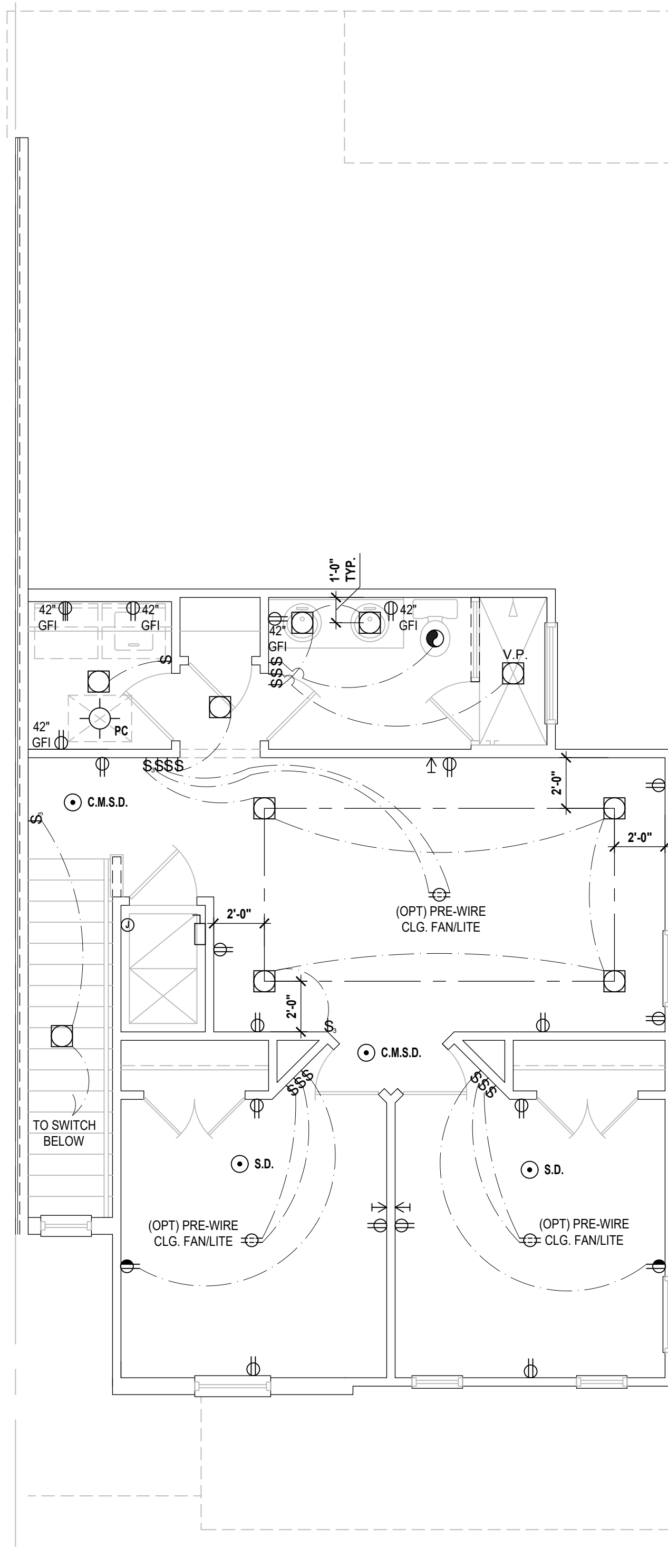
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ELECTRICAL LAYOUT  
**E3**

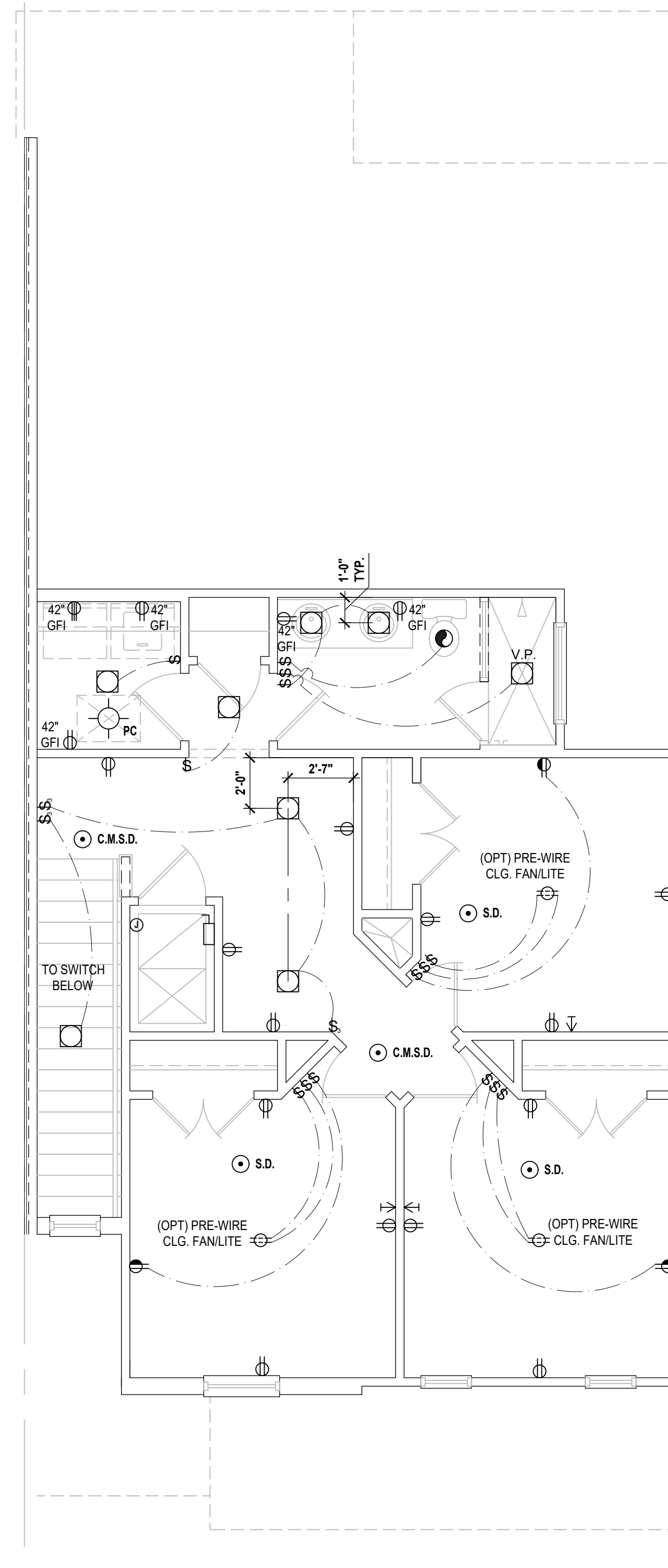
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**Truman-Rev. First Floor**  
(Standard)  
SCALE: 1/4" = 1'-0"



**Truman-Rev. Second Floor**  
(Elev. B)  
SCALE: 1/4" = 1'-0"



**Truman-Rev. Second Floor**  
(Opt - 4 Bedroom)  
SCALE: 1/4" = 1'-0"

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**ELECTRICAL KEY:**

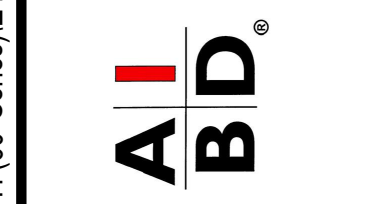
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
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	1/2 HOT, 1/2 SWITCHED
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	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
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	DIMMER SWITCH
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	FLUORESCENT LIGHT
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	DISCONNECT SWITCH
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	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	L.V. LOW VOLTAGE
	V.P. VAPOR PROOF
	A.F. ARC FAULT PROTECTION
	INTERCOM

**Electrical Layout**

SCALE: 1/4" = 1'-0"



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Fax: (407) 629-6776  
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**4-Unit: (Presidential 60' Series)**  
Models: Truman, Washington, Center, Truman

A Division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE: 02/02/2024

REVISIONS

PROJECT: 00-0000  
SCALE: AS NOTED  
DRAWN BY: C.C.  
DESIGNED BY: MJS

ELECTRICAL LAYOUT

E4