

1966

THE MARGATE II - BONUS (SIDING)

FLORIDA SERIES

PAD SIZE: 40' X 65'

SHEET INDEX:

00 COVER SHEET	12A UPPER TRUSS LAYOUT 'A'	
01AB FOUNDATION PLAN 'A' & 'B'	12A.1 UPPER TRUSS LAYOUT 'A' BONUS ROOM OPT.	
01C FOUNDATION PLAN 'C'	12B UPPER TRUSS LAYOUT 'B'	
02AB FLOOR PLAN W/ DIMENSIONS 'A' & 'B'	12B.1 UPPER TRUSS LAYOUT 'B' BONUS ROOM OPT.	
02C FLOOR PLAN W/ DIMENSIONS 'C'	12C UPPER TRUSS LAYOUT 'C'	
03AB FLOOR PLAN W/ NOTES 'A' & 'B'	12C.1 UPPER TRUSS LAYOUT 'C' BONUS ROOM OPT.	
03C FLOOR PLAN W/ NOTES 'C'	13AB PRE-CAST LINTEL LAYOUT- 'A' & 'B'	
04AB UPPER FLOOR PLAN W/ DIMENSIONS 'A' & 'B'	13C PRE-CAST LINTEL LAYOUT- 'C'	
04AB.1 UPPER FLOOR PLAN W/ DIM. 'A' & 'B' BON. ROOM OPT.	14 TYPICAL DETAILS	
04C UPPER FLOOR PLAN W/ DIMENSIONS 'C'	15 TYPICAL DETAILS	
04C.1 UPPER FLOOR PLAN W/ DIM. 'C' BON. ROOM OPT.	16 TYPICAL DETAILS	
05AB UPPER FLOOR PLAN W/ NOTES 'A' & 'B'	17 TYPICAL DETAILS	
05AB.1 UPPER FLOOR PLAN W/ NOTES 'A' & 'B' BON. ROOM OPT.	D1 TYPICAL STRUCTURAL DETAILS	
05C UPPER FLOOR PLAN W/ NOTES 'C'	D2 TYPICAL STRUCTURAL DETAILS	
05C.1 UPPER FLOOR PLAN W/ NOTES 'C' BON. ROOM OPT.	D3 TYPICAL STRUCTURAL DETAILS	
06A EXTER. ELEVATION 'A'- FRONT & REAR	D4 TYPICAL STRUCTURAL DETAILS, 2 STORY	
06B EXTER. ELEVATION 'B'- FRONT & REAR	D5 TYPICAL STRUCTURAL DETAILS, 2 STORY	
06C EXTER. ELEVATION 'C'- FRONT & REAR		
07A EXTER. ELEVATION 'A'- LEFT & RIGHT		
07B EXTER. ELEVATION 'B'- LEFT & RIGHT		
07C EXTER. ELEVATION 'C'- LEFT & RIGHT		
08 CROSS SECTION / INTERIOR ELEVATIONS		
09 ELECTRICAL PLAN		
10 UPPER ELECTRICAL PLAN		
10.1 UPPER ELECTRICAL PLAN-BONUS ROOM OPT.		
11A TRUSS LAYOUT 'A'		
11B TRUSS LAYOUT 'B'		
11C TRUSS LAYOUT 'C'		

* ADD .3 FOR 3-CAR GARAGE OPTION

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	03/12/18	UPDATE 2017 CODE - ELEV A & B	MW
2	06/20/18	-CREATED STAIRS SECTION & INT, ELEV. FOR BOOK SHELF	NJF
3	08/15/18	-ADDED 2ND BONUS ROOM OPT.- AS ONE LARGE SPACE.	JF
		-CHANGED CLOSET DOOR IN BR2 TO 2/4	
4	10/04/18	-DELETED A/C UNIT BY B. BA. -RELOCATED LINEN CLOSET DOOR TO B. BA -REVISED THE AREA WHERE THE A/C UNIT USED TO BE TO MATCH THE OPEN BONUS OPTION -REDUCED 5 1/2' WALL BETWEEN BR. 2 AND GARAGE TO 3 1/2'	NJF
5	11/06/18	-REPLACE BONUS LINEN BIFOLD W/ PRE-HUNG DR	MW
6	11/28/18	-DELETE MASTER BR. NICHE & CHANGE ALL INTERIOR ARCHES TO FLAT SOFFITS	MW
7	02/15/19	-ADDED 2019 PLAN FEET CHANGES	MW
8	05-16-19	-ADDED NEW A, B, C SIDING ELEVATIONS	JF
9	05-16-19	-MODIFIED ELEVATIONS FOR CORRECT BONUS ROOM CONFIGURATION	JA
10	01-13-21	-UPDATE TO CODE 2020	TN
11	06-10-21	-REMOVE MEDICINE CABINET FROM BATHROOMS -ADD 2x6 WALL IN LAUNDRY ROOM	TN
12	08-05-21	-ADD FRONT ENTRY SECTION	TN

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1st EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION 1966 MARGATE II - BONUS

FLORIDA SERIES

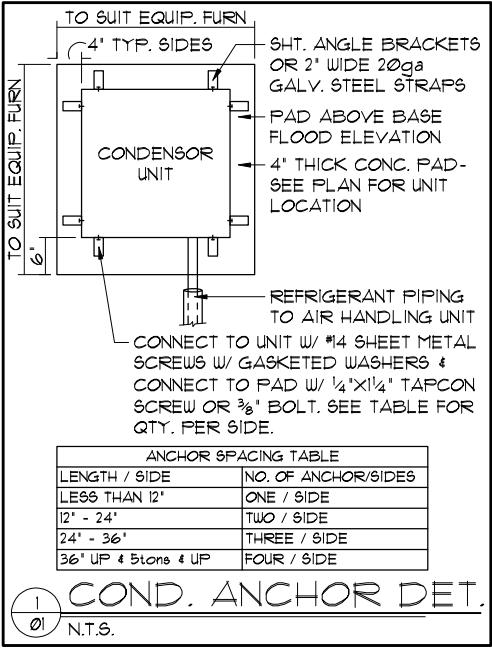
Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

REVISIONS	BY
04-22-19	DAL

DATE 04-05-2017	SCALE AS NOTED
DRAWN RDC	JOB N/A
SHEET 00	OF 00 SHEETS

COVER SHEET



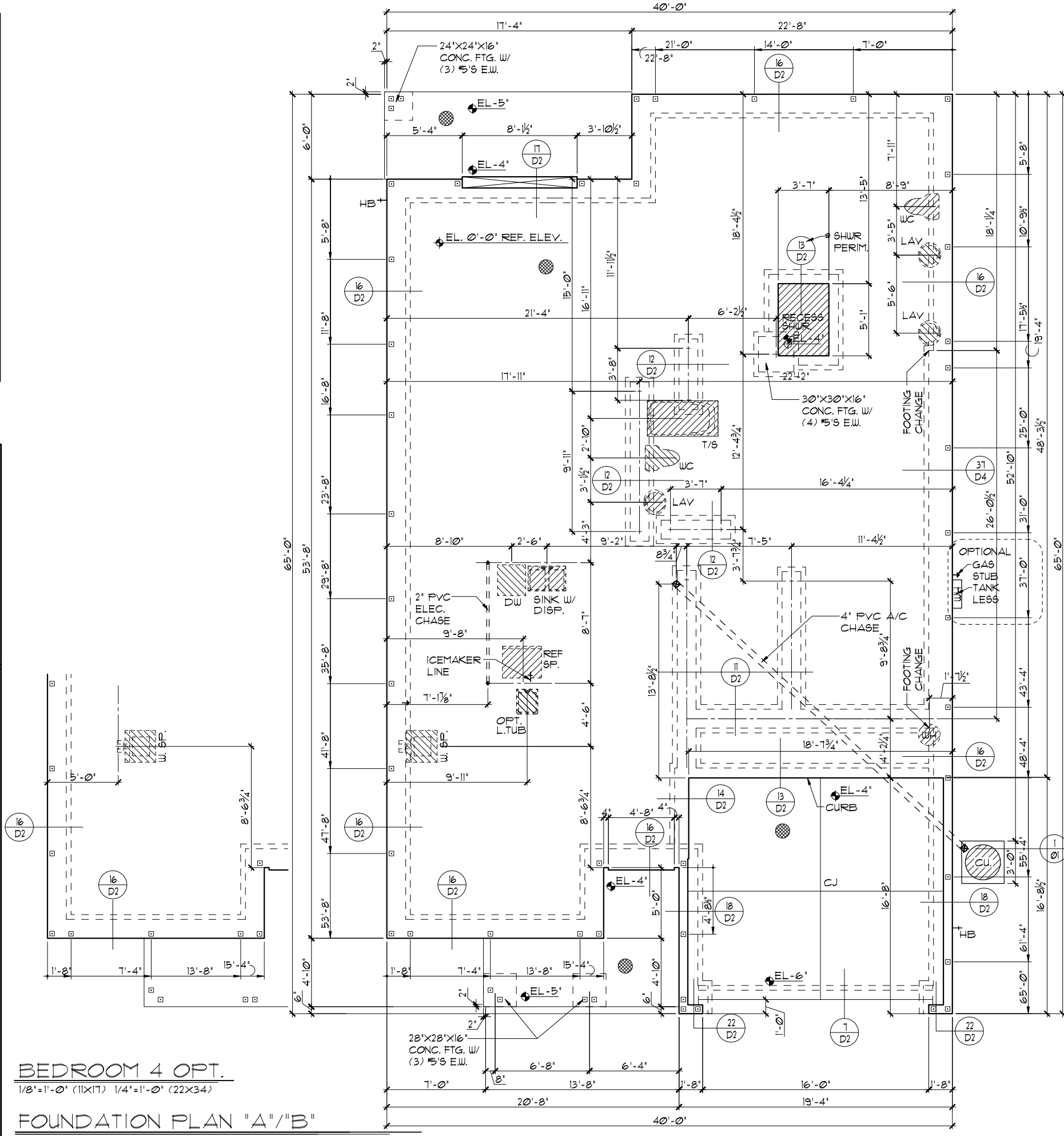
ANCHOR SPACING TABLE

LENGTH / SIDE	NO. OF ANCHOR/SIDES
LESS THAN 12'	ONE / SIDE
12' - 24'	TWO / SIDE
24' - 36'	THREE / SIDE
36' UP & 5ftone & UP	FOUR / SIDE

1 COND. ANCHOR DET.
N.T.S.

FOUNDATION NOTES

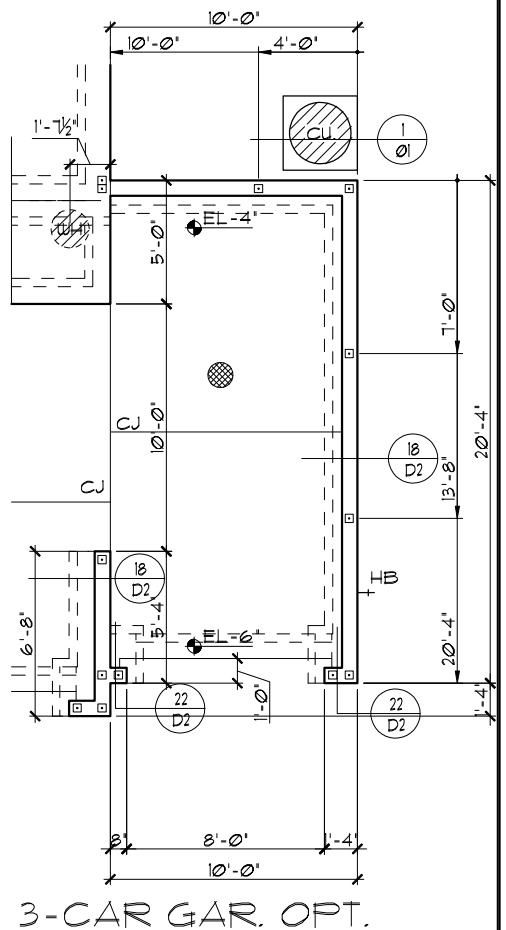
- CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- DENOTES FILL CELL REINF. W/ CONC. W/ (1) #5 REBAR GRADE 60
- DENOTES FILL CELL REINF. W/ CONC. W/ (2) #5 REBAR GRADE 60
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
- DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4" THICK WITH 6x6 10/10 GAUGE REINFORCING MAT. WITH MIN. 1" COVER. TERMITE TREATED SOIL WITH 0.06mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WVF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE MESH.
- PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
- ~~STANDARD FOOTING~~ NOT USED
- ~~ALTERNATE FOOTING~~
- MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.402 FLORIDA BUILDING CODE.



BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FOUNDATION PLAN "A"/"B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

M. BA. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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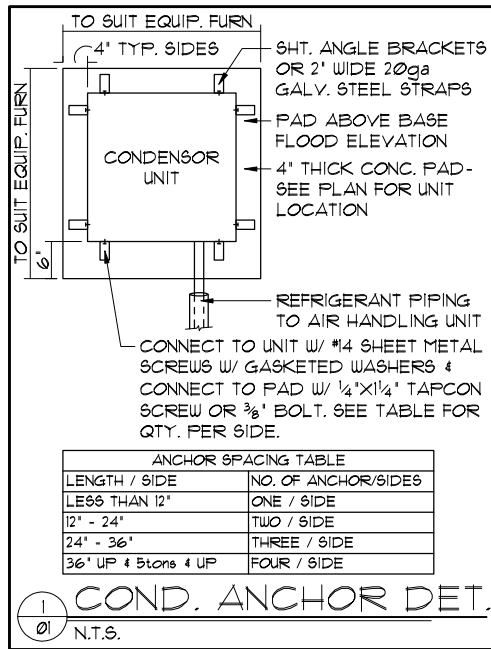
LOT: SPECIFIC INFORMATION
FLORIDA SERIES
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
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Phone: (407) 529 - 3000
Park Square HOMES

1966
MARGATE II - BONUS

REVISIONS		BY
04-22-19		DAL

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DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
01AB
OF 20 SHEETS

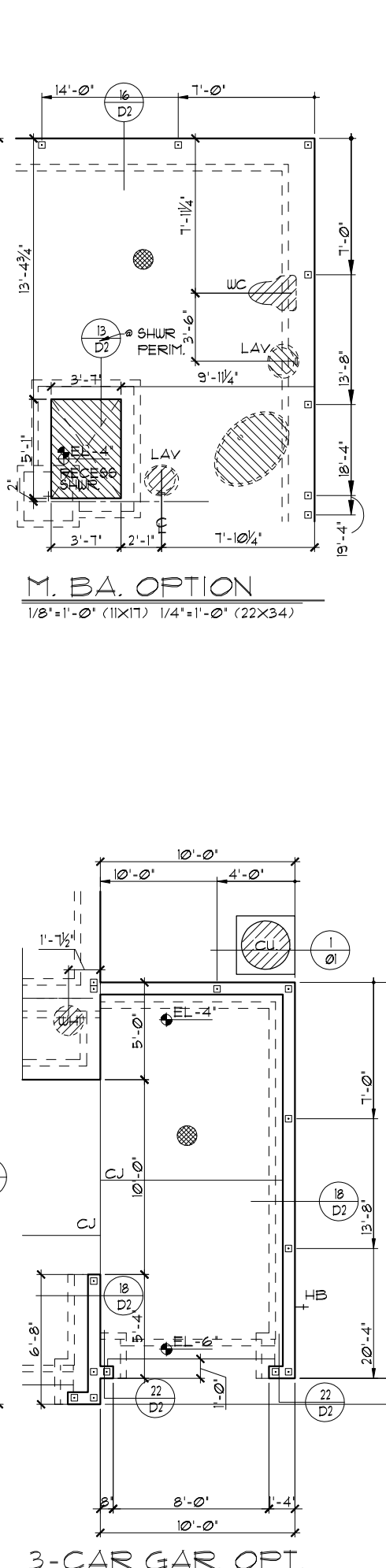
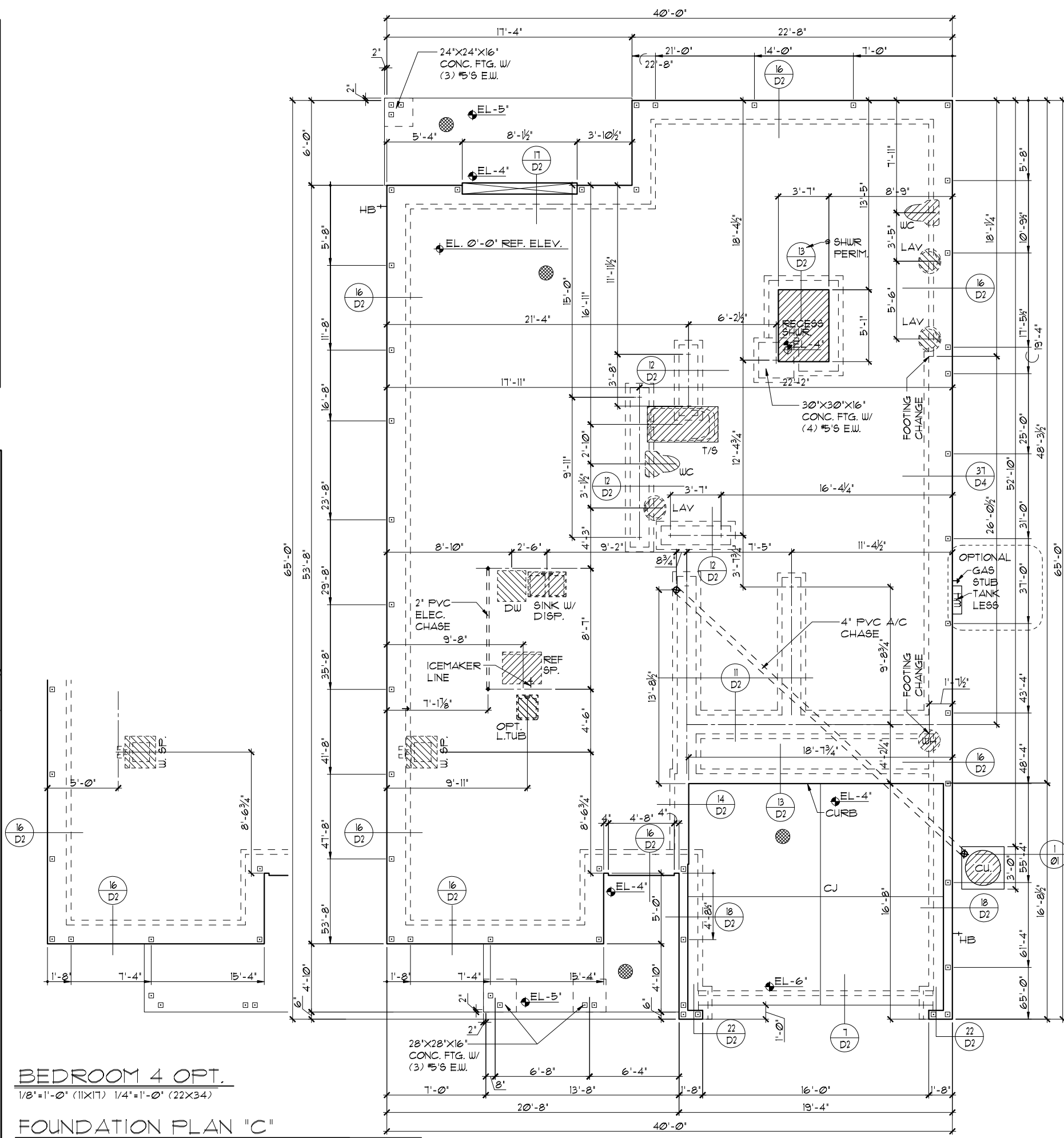


ANCHOR SPACING TABLE	
LENGTH / SIDE	NO. OF ANCHOR/SIDES
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12' - 24'	TWO / SIDE
24' - 36'	THREE / SIDE
36' UP & 5' LONG & UP	FOUR / SIDE

COND. ANCHOR DET.
N.T.S.

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BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
FOUNDATION PLAN "C"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

3-CAR GAR. OPT.
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FOUNDATION PLAN

1966

MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
01C OF 00 SHEETS

REVISIONS	BY
04-22-19	DAL

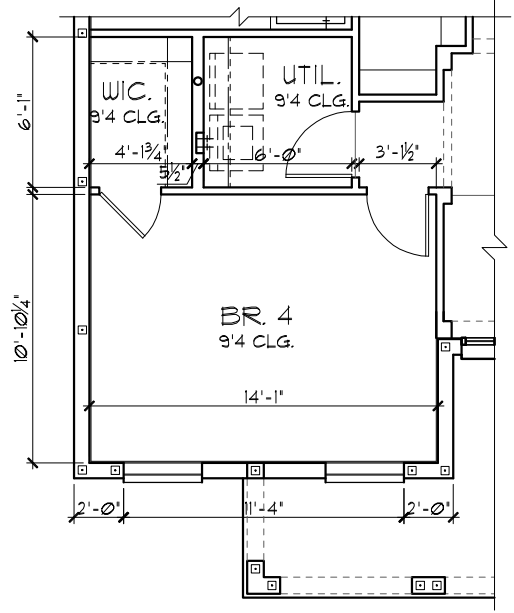
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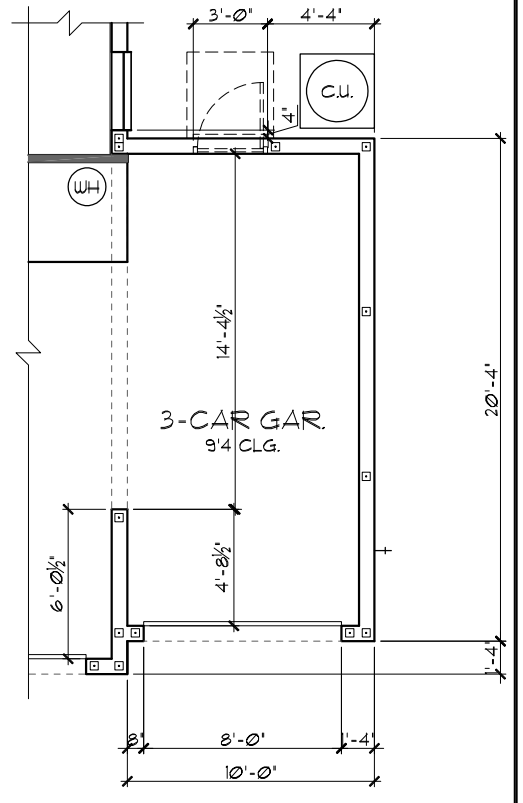
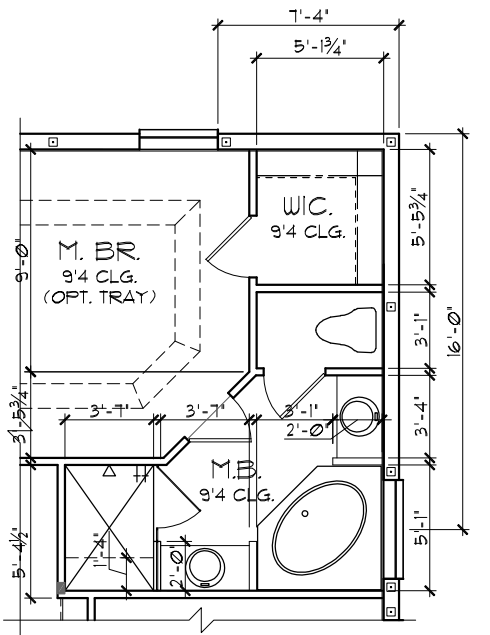
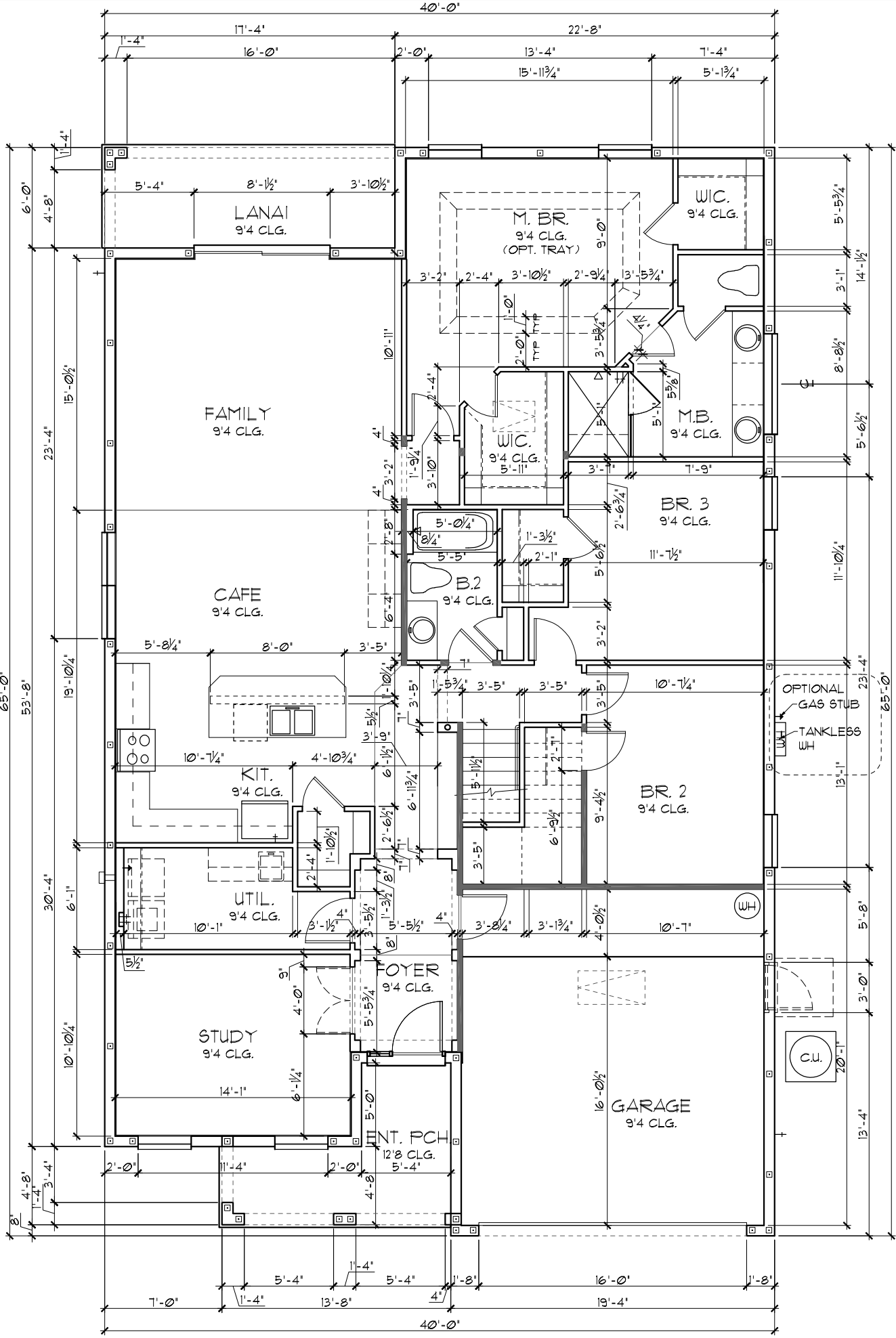
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TABULATION	
UPPER LIVING	428 SF.
LOWER LIVING	1,966 SF.
TOTAL LIVING	2,394 SF.
GARAGE	393 SF.
ENTRY PORCH	90 SF.
LANAI	104 SF.
TOTAL UNDER ROOF	2,981 SF.
OPT. 3-CAR GARAGE	203 SF.
TOTAL UNDER ROOF	3,184 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
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FLOOR PLAN W/ DIMENSIONS "A"/"B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPT.
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04-22-19	DAL

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FLOOR PLAN W/ DIMENSIONS

1966

MARGATE II - BONUS

DATE 04-05-2017

SCALE AS NOTED

DRAWN RDC

JOB N/A

SHEET

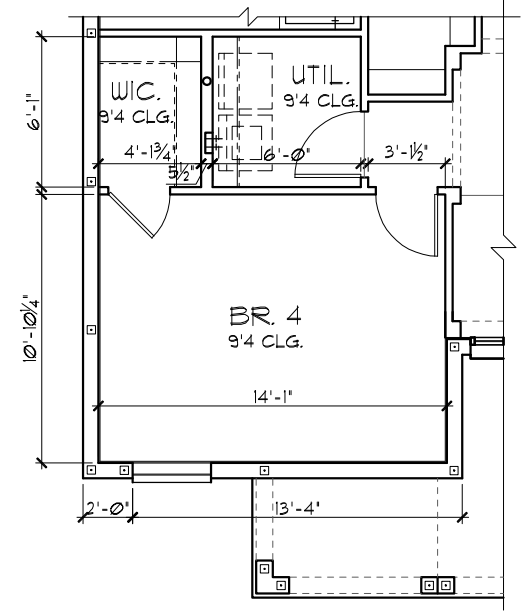
02AB

OF 00 SHEETS

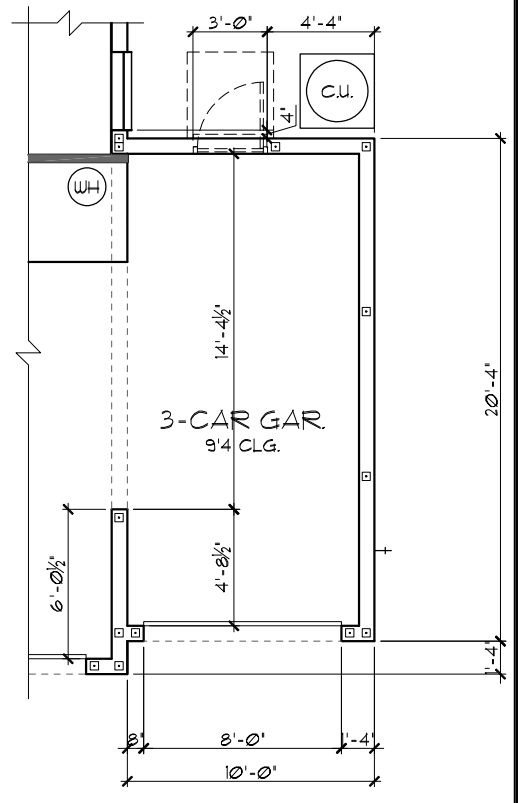
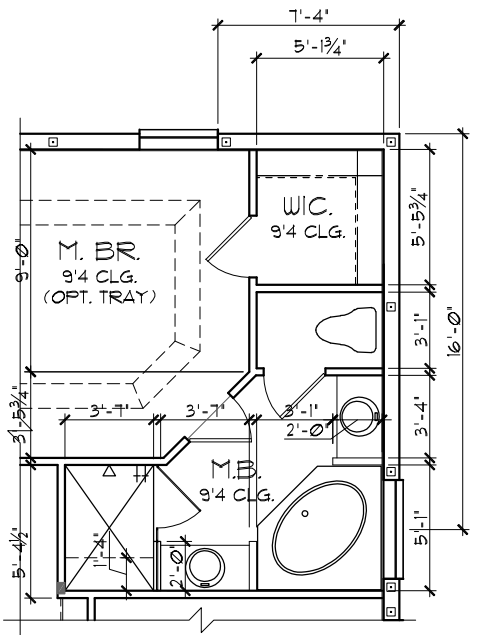
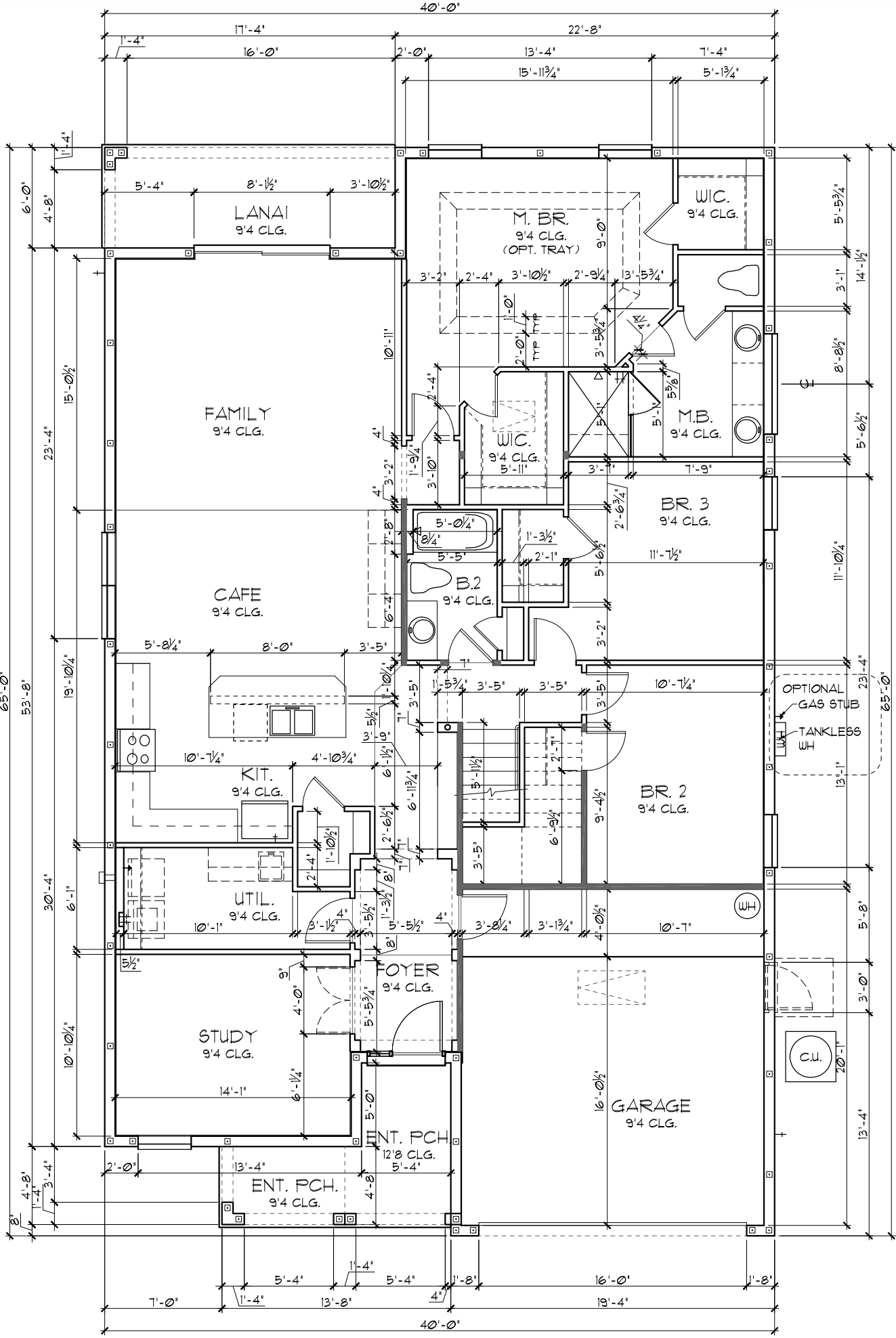
FLORIDA SERIES

TABULATION	
UPPER LIVING	428 SF.
LOWER LIVING	1,966 SF.
TOTAL LIVING	2,394 SF.
GARAGE	393 SF.
ENTRY PORCH	90 SF.
LANAI	104 SF.
TOTAL UNDER ROOF	2,981 SF.
OPT. 3-CAR GARAGE	203 SF.
TOTAL UNDER ROOF	3,184 SF.

- GENERAL NOTES**
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 - FULL ALL DIMENSIONS FROM THE REAR OF PLAN.



FLOOR PLAN W/ DIMENSIONS "C"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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REVISIONS	BY
04-22-19	DAL

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FLOOR PLAN W/ DIMENSIONS

1966
MARGATE II - BONUS

DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET
02C
 OF 00 SHEETS

LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

ROOF LIVE LOADS

ROOF: SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-2:00	2:01-6:00	OVER 6:00
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V-B
- ENCLOSURE CLASSIFICATION +/- .18, INCLUDED INTERNAL PRESSURE IN NOTE #6 COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

DESIGN WIND PRESSURE IAW FLA RESIDENTIAL CODE, SECTION R301
NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

GENERAL NOTES

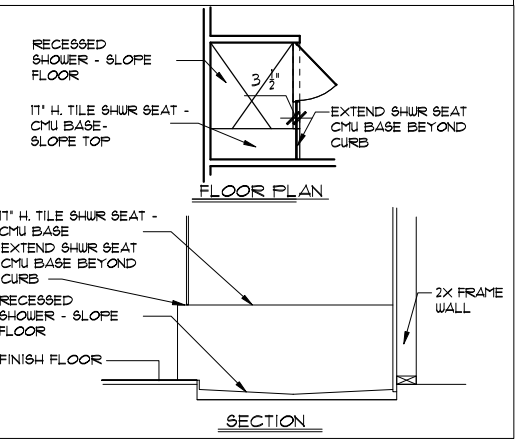
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- | | |
|--|---|
| | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF. |
| | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF. |
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

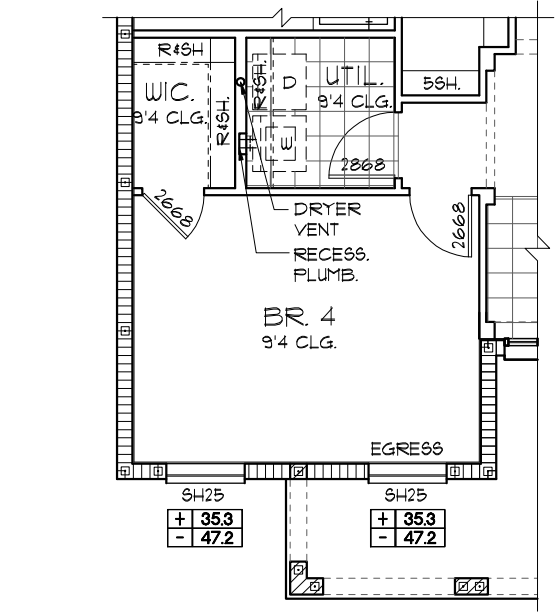
EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

- NOTE:
- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2020)
 - WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2

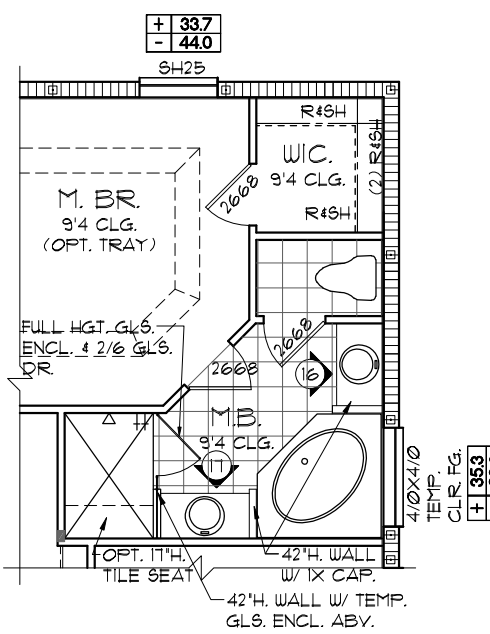
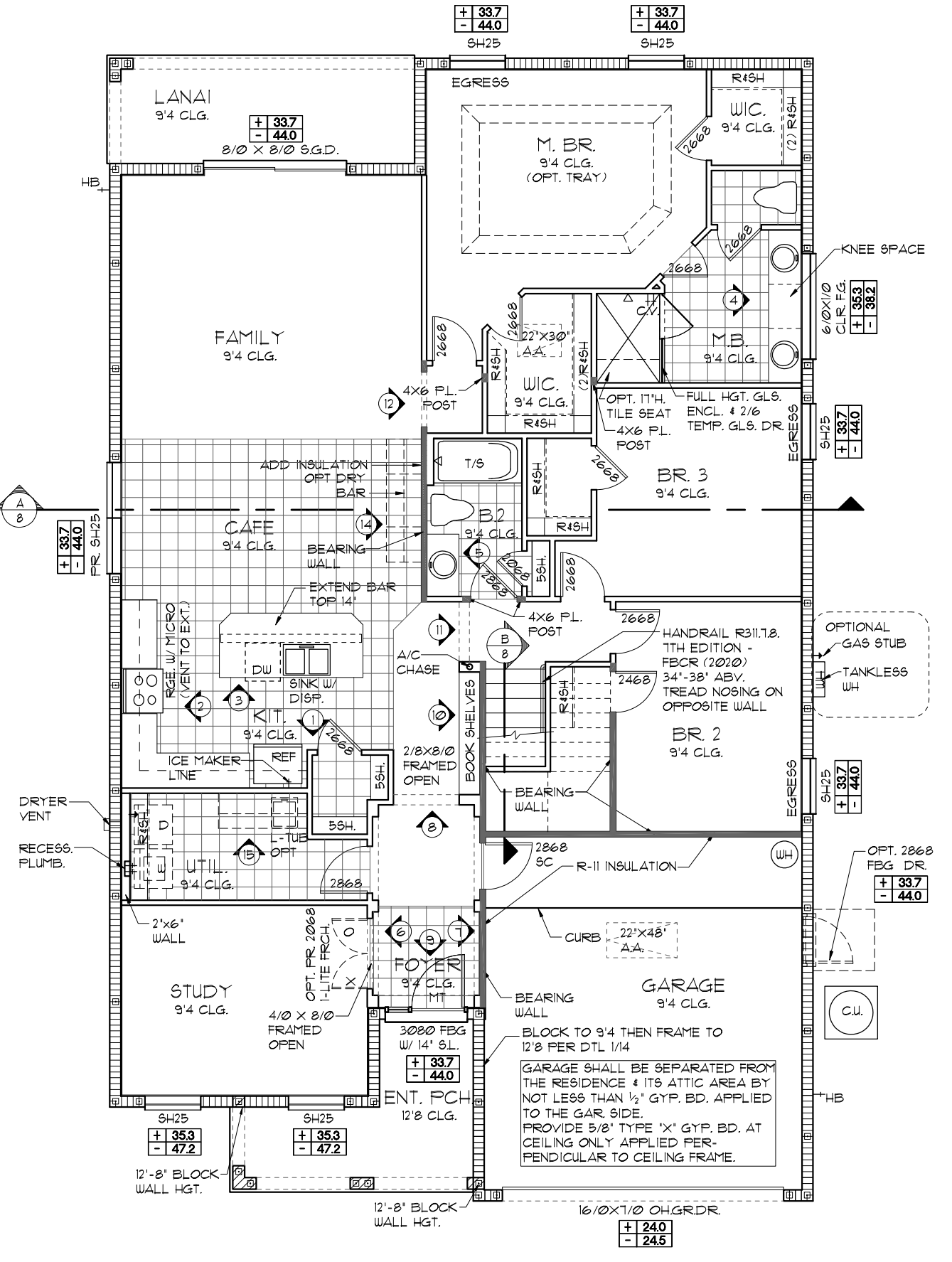


SECTION

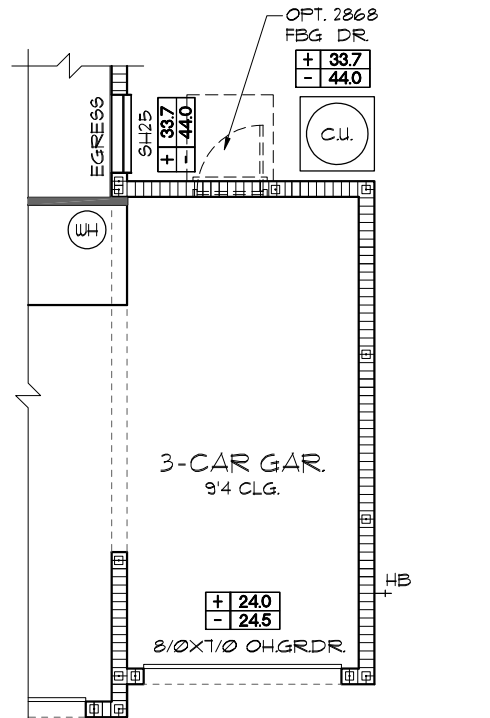


BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLOOR PLAN W/ NOTES "A"/"B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



M.B.A. OPTION
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3-CAR GAR. OPT.
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NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

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 MARGATE II - BONUS
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET
 03AB OF 00 SHEETS

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REVISIONS	BY
04-22-19	DAL

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LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

ROOF LIVE LOADS

ROOF: SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
TOTAL	20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF

ROOMS OTHER THAN SLEEPING ROOM:

SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-2:00	2:01-6:00	OVER 6:00
0-12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE CLASSIFICATION +/- .18, INCLUDED INTERNAL PRESSURE IN NOTE #6 COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

DESIGN WIND PRESSURE IAW FLA RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

GENERAL NOTES

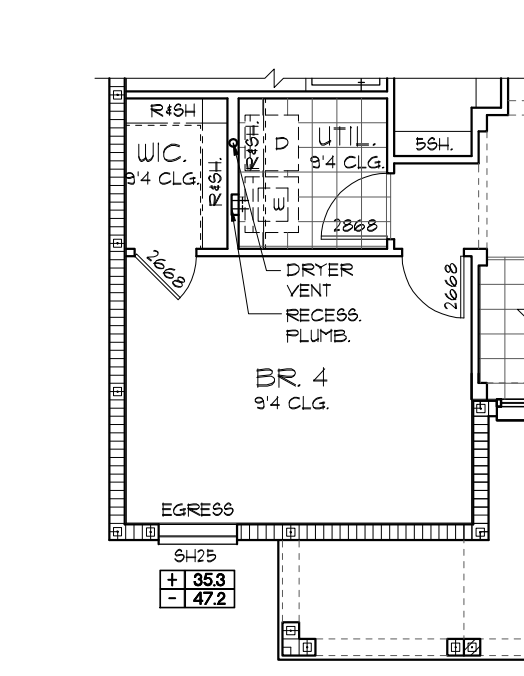
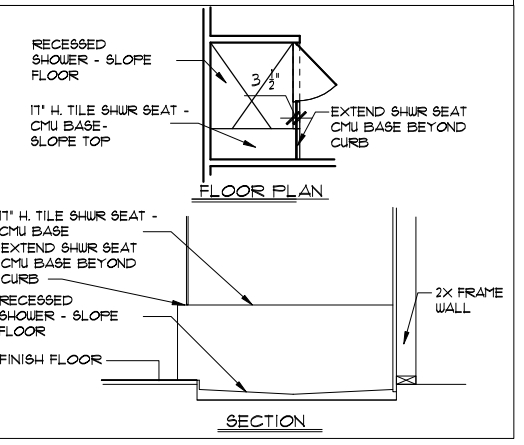
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- | | |
|--|---|
| | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF. |
| | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF. |
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

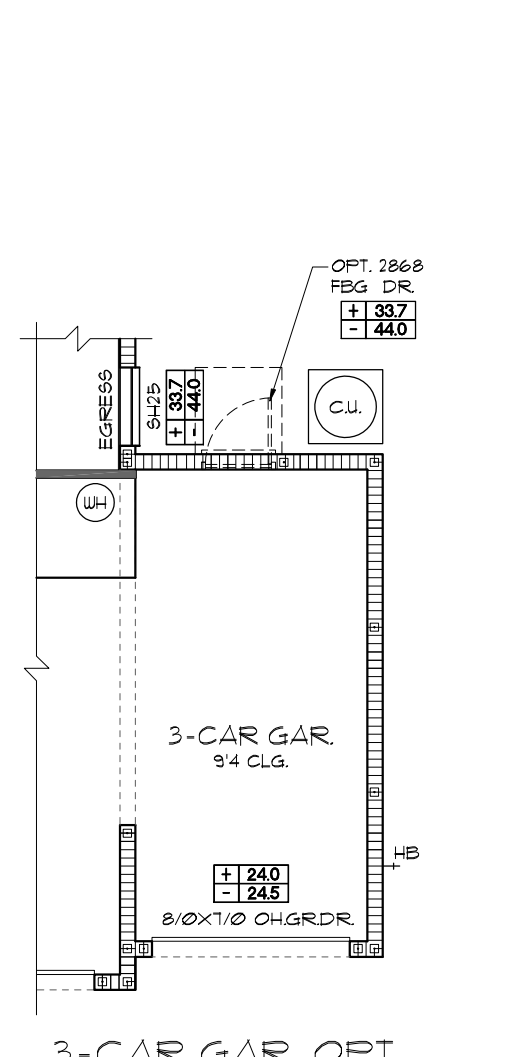
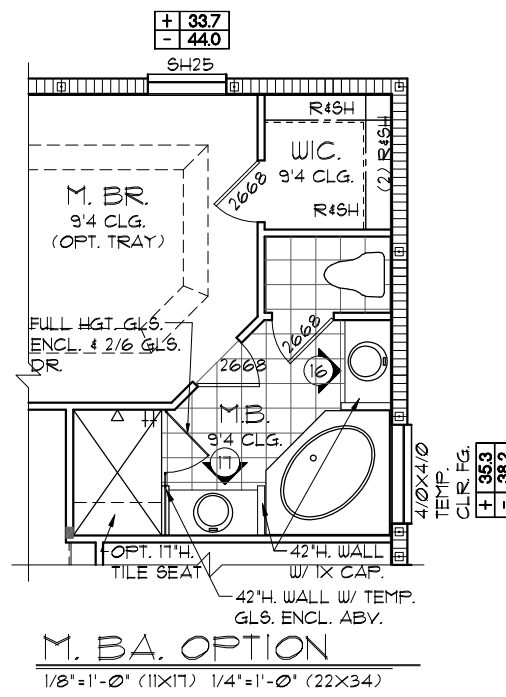
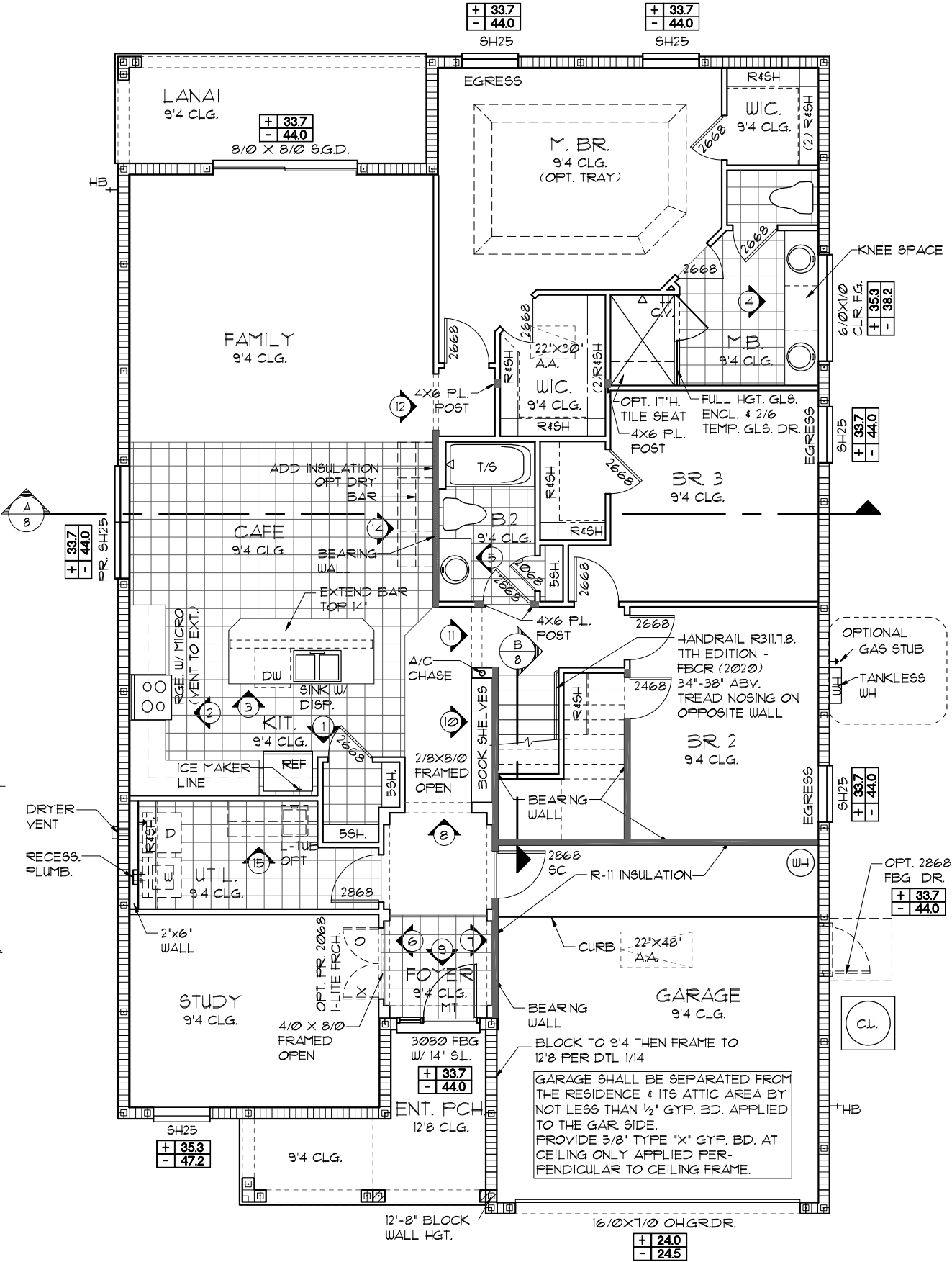
EGRESS WINDOW SCHEDULE - R310.2.1 - FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

- NOTE:
- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2020)
 - WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2



FLOOR PLAN W/ NOTES "C"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



FLORIDA SERIES

LOT: SPECIFIC INFORMATION

1966

MARGATE II - BONUS

DATE 04-05-2017

SCALE AS NOTED

DRAWN RDC

JOB N/A

SHEET

03C OF 00 SHEETS

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

Engineering By: MICHAEL A. THOMPSON, PE 47509, PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32818 Phone: (407) 529 - 3000

FLOOR PLAN W/ NOTES

REVISIONS BY: 04-22-19 DAL

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 17TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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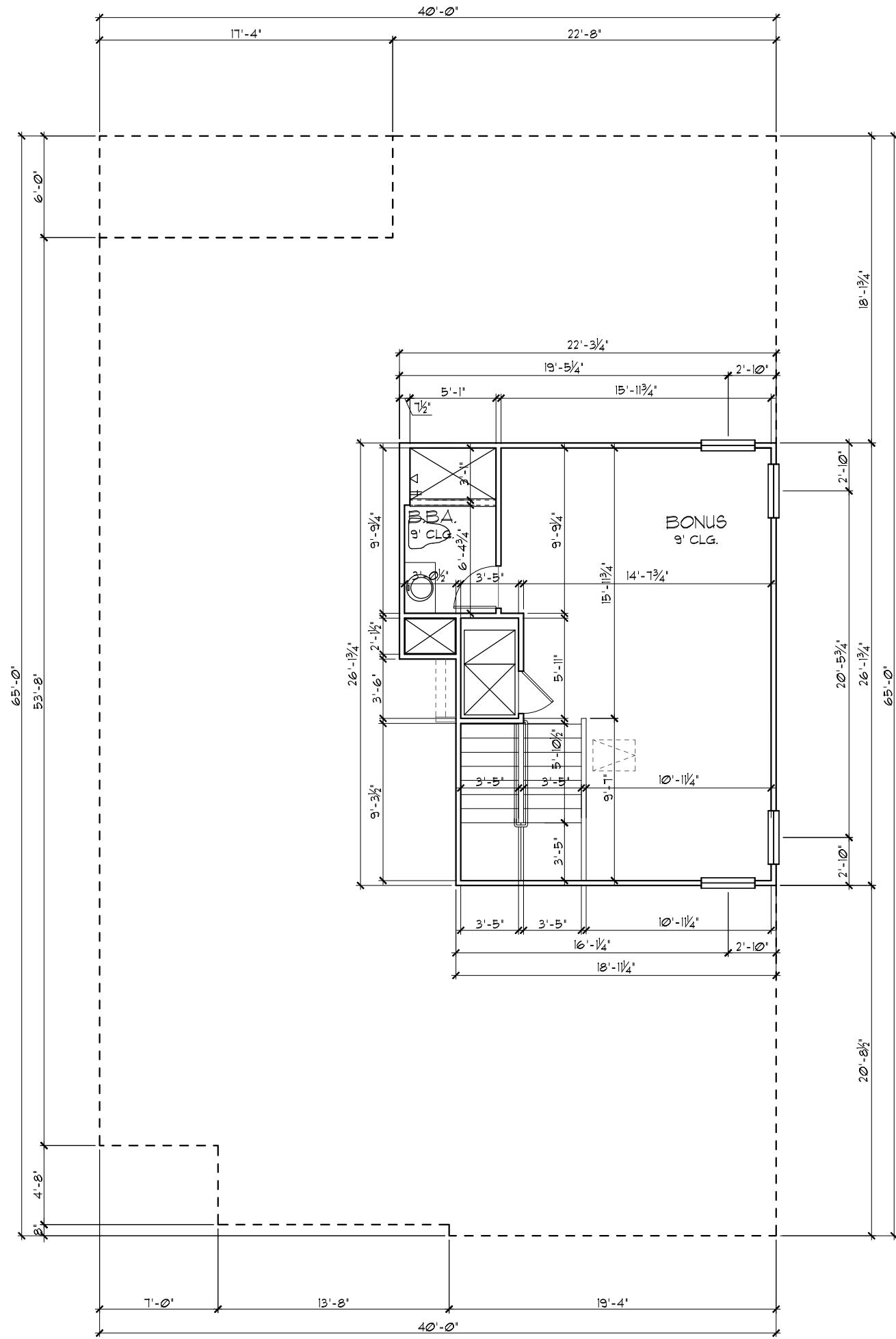
TABULATION	
UPPER LIVING -----	473 SF.

GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

UPPER FLOOR PLAN W/ DIMENSIONS "A"/"B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



BONUS/ BATH OPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

1966
MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
04AB0
OF 08 SHEETS

FLOOR PLAN W/ DIMENSIONS

BONUS ROOM OPT.

Park Square HOMES

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Orlando, Florida, 32811
Phone: (407) 529 - 3000

FLORIDA SERIES

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REVISIONS	BY
04-22-19	DAL

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

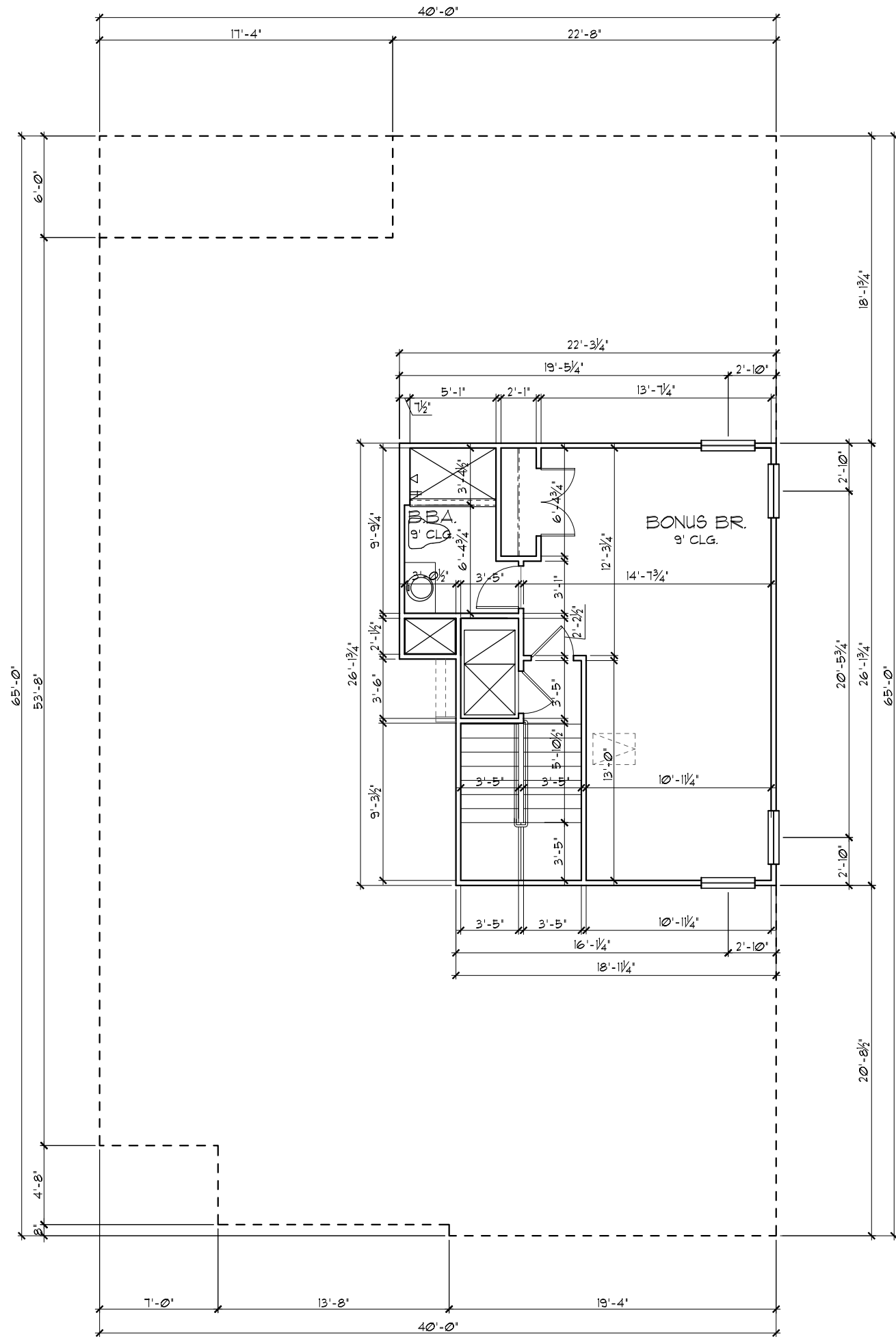
TABULATION	
UPPER LIVING -----	473 SF.

GENERAL NOTES

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2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2' UNLESS NOTED OTHERWISE.
5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

UPPER FLOOR PLAN W/ DIMENSIONS "A"/"B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



BEDROOM/ BATH OPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1st EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RC
JOB	N/A
SHEET	04AB.1
OF	08 SHEETS

1966

MARGATE II - BONUS

FLOOR PLAN W/ DIMENSIONS
BONUS ROOM OPT.

Park Square
HOMES

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FLORIDA SERIES

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REVISIONS	BY
04-22-19	DAL

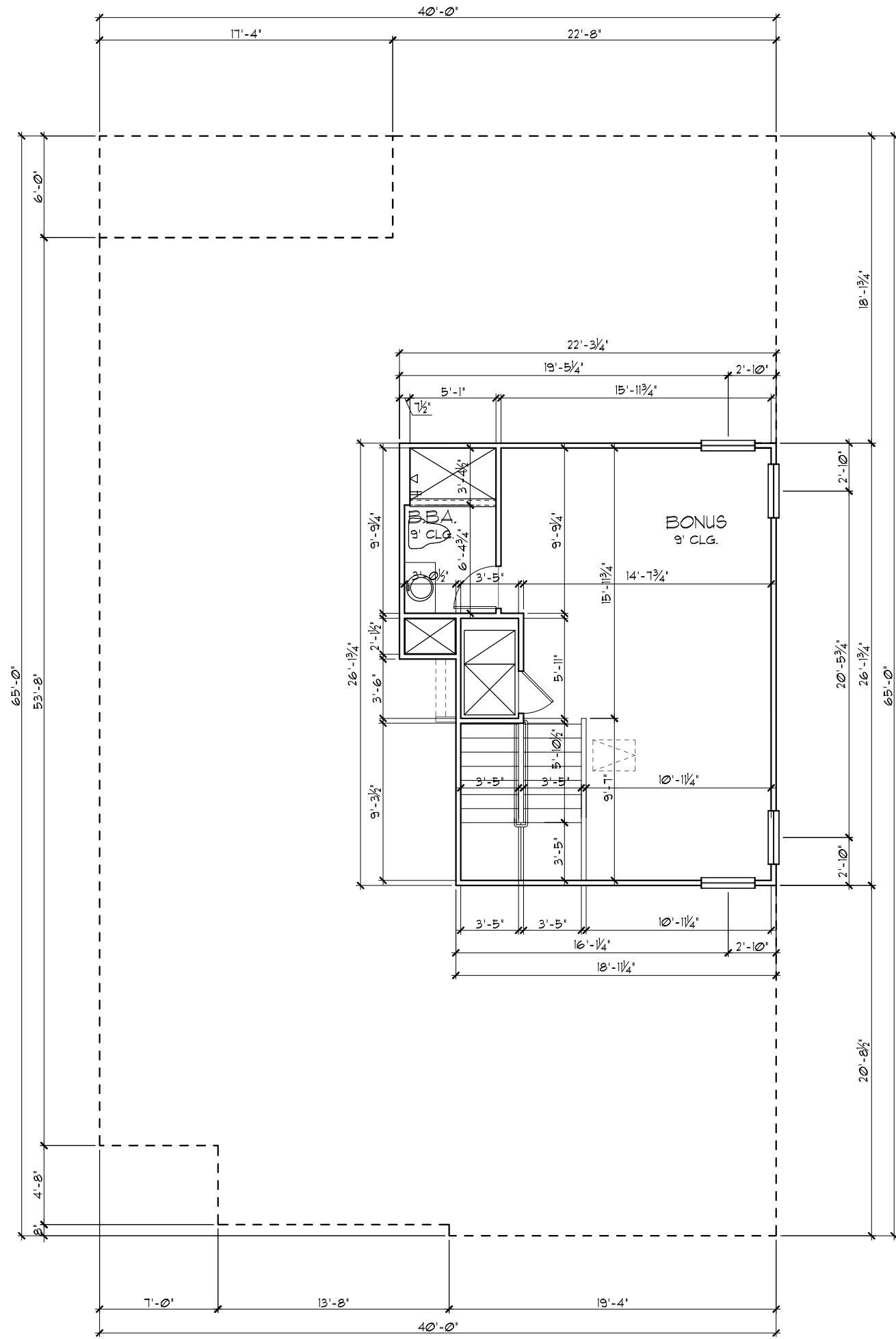
TABULATION	
UPPER LIVING -----	473 SF.

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5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



BONUS/ BATH OPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1st EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD C
JOB	N/A
SHEET	
1966	
MARGATE II - BONUS	

FLOOR PLAN W/ DIMENSIONS
BONUS ROOM OPT.

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REVISIONS	BY
04-22-19	DAL

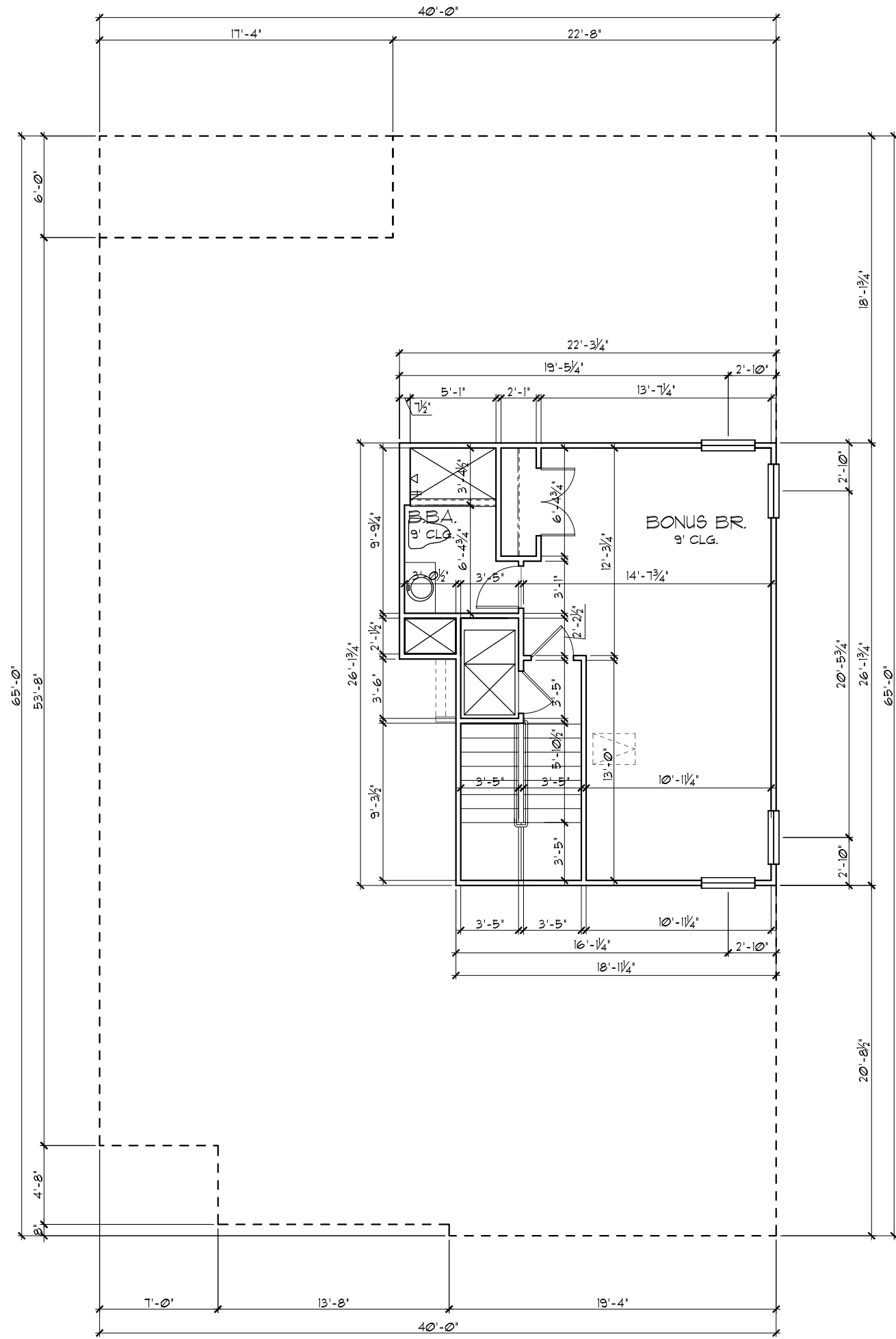
TABULATION	
UPPER LIVING -----	473 SF.

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UPPER FLOOR PLAN W/ DIMENSIONS "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



BEDROOM/ BATH OPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1st EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD C
JOB	N/A
SHEET	04C.1
OF	00 SHEETS

1966

FLOOR PLAN W/ DIMENSIONS
BONUS ROOM OPT.

MARGATE II - BONUS

FLORIDA SERIES

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	MICHAEL A. THOMPSON
	PE 47509
	PHONE 407-721-2292

REVISIONS	BY
04-22-19	DAL

LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF.- R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2

WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

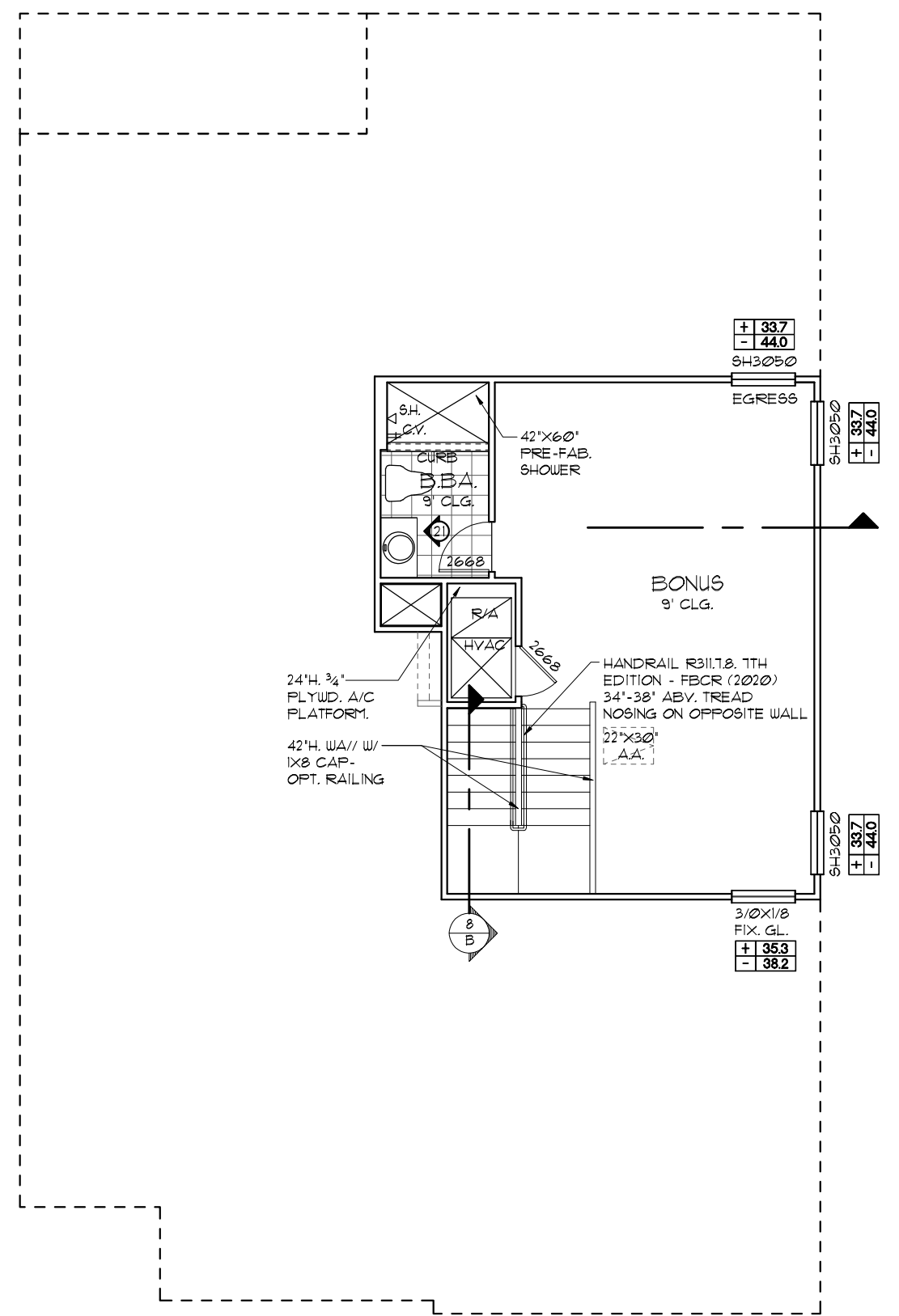
- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE CLASSIFICATION +/- 10, INCLUDED INTERNAL PRESSURE IN NOTE #6 COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE IAW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
 - VENT DRYER THRU ROOF.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
 - | | |
|----------|-------------------------------------|
| [Symbol] | DENOTES CONC. BLOCK WALL HGT. @ N/A |
| [Symbol] | DENOTES CONC. BLOCK WALL HGT. @ N/A |
 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
 - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2
 - ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
 - ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

UPPER FLOOR PLAN W/ NOTES "A"/"B"
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

1966
MARGATE II - BONUS

FLOOR PLAN W/ NOTES
BONUS ROOM OPT.

Engineering By: **Park Square Homes**
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MICHAEL A. THOMPSON
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PHONE 407-721-2292

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Orlando, Florida, 32811
Phone: (407) 529 - 3000

REVISIONS	BY
04-22-19	DAL

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
05AB.0 OF 00 SHEETS

FLORIDA SERIES

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 17TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

FLOOR LIVE LOADS

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

ROOF LIVE LOADS

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2

WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

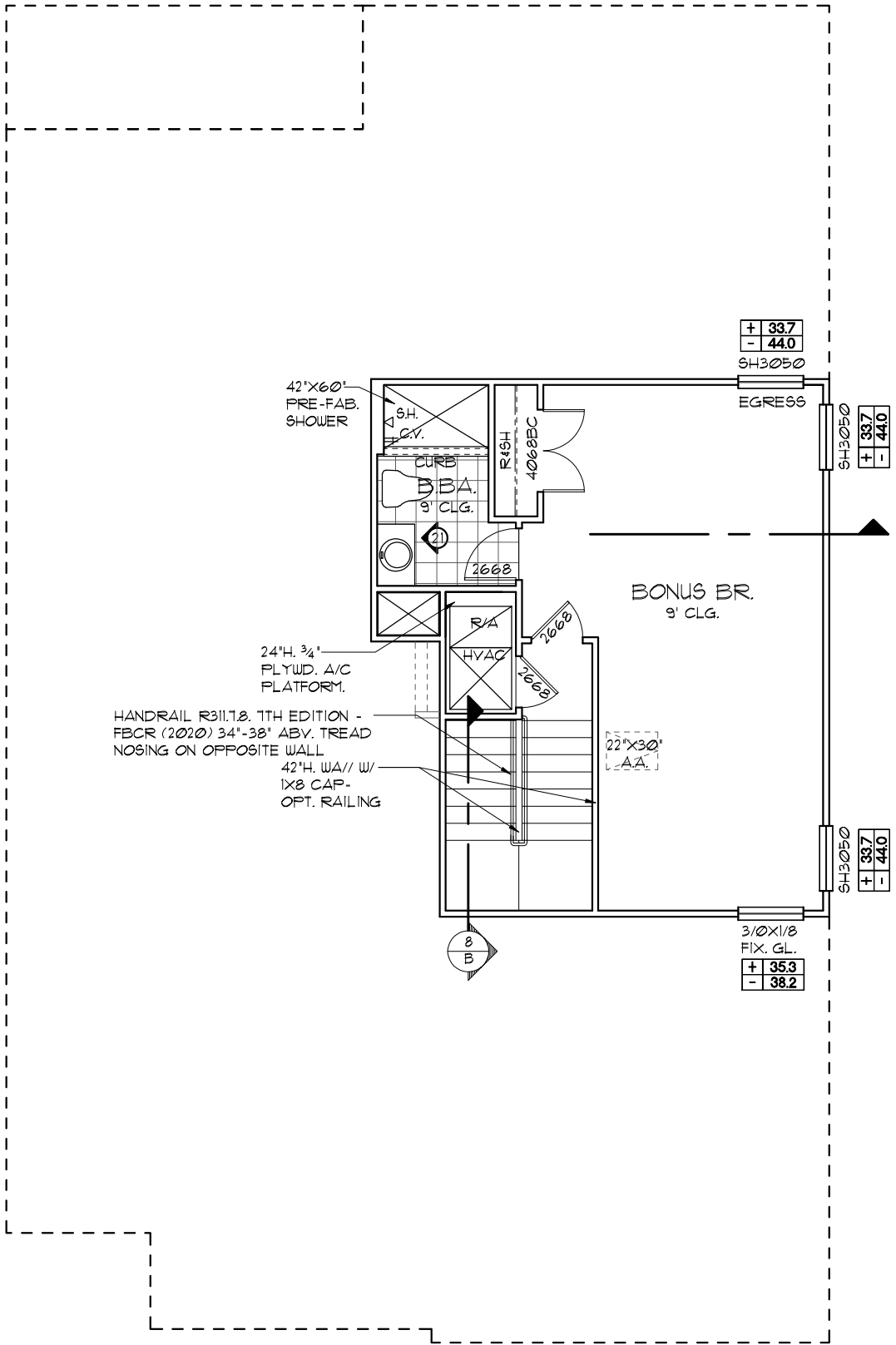
- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE CLASSIFICATION +/- .18, INCLUDED INTERNAL PRESSURE IN NOTE #6 COEFFICIENT:
- COMPONENT / CLADDING - SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE IAW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
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|-----------|-------------------------------------|
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 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
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 - ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

UPPER FLOOR PLAN W/ NOTES "A"/"B"
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



BEDROOM/ BATH OPTION
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 17TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH
 LOT: SPECIFIC INFORMATION
 FLORIDA SERIES
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida, 32811
 Phone: (407) 528 - 3000
 Engineering By: TEQ, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292
 FLOOR PLAN W/ NOTES BONUS ROOM OPT.
 1966
 MARGATE II - BONUS
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET
 05AB.1 OF 08 SHEETS
 NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

REVISIONS	BY
04-22-19	DAL

LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING
RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
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ROOF LIVE LOADS

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MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
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WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING
RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
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- WIND EXPOSURE: B
- BUILDING TYPE: V B
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- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

GENERAL NOTES

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- | | |
|----------|-------------------------------------|
| [Symbol] | DENOTES CONC. BLOCK WALL HGT. @ N/A |
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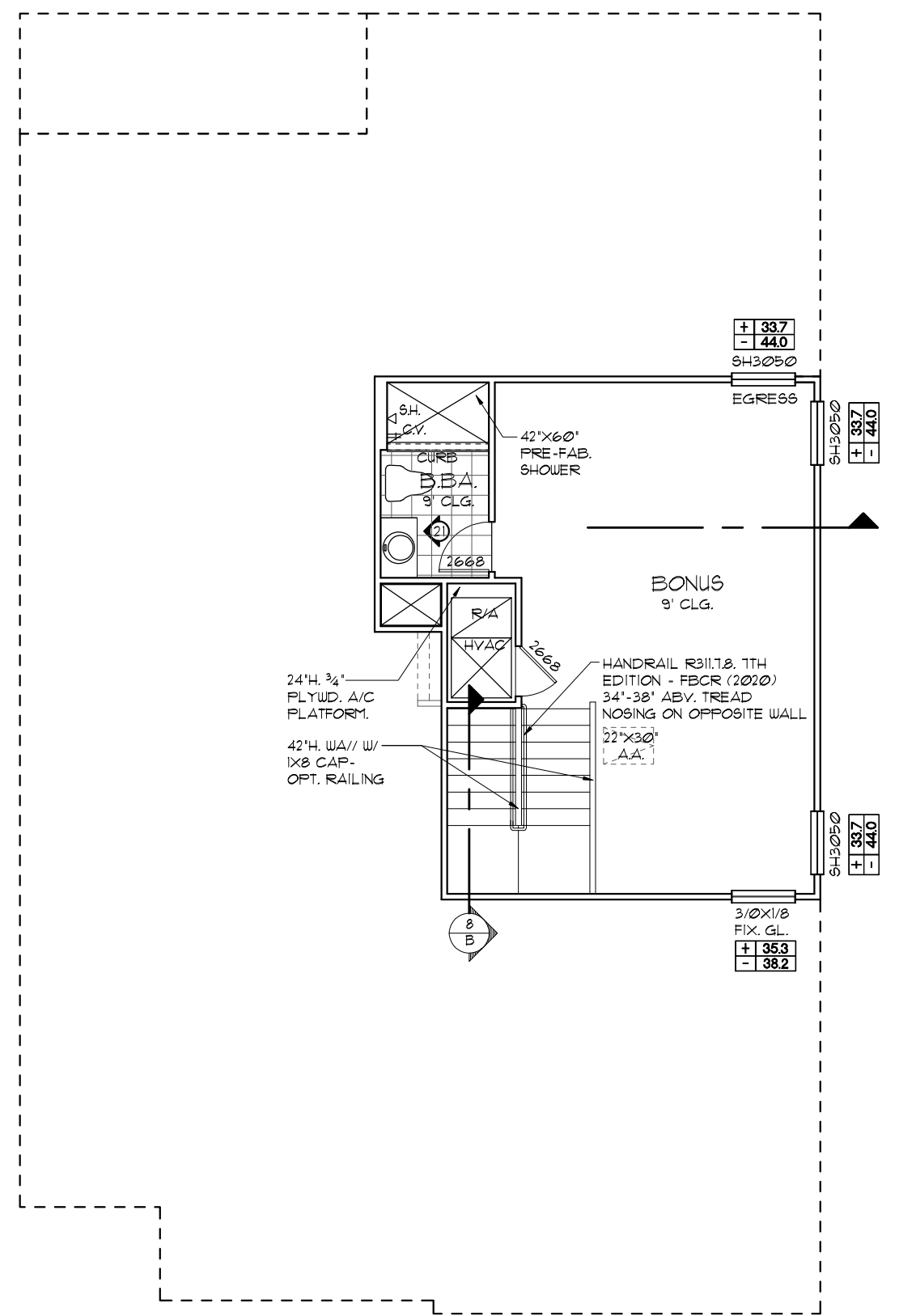
NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
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NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF.- R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2



UPPER FLOOR PLAN W/ NOTES "C"
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

FLORIDA SERIES

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 17TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

1966
MARGATE II - BONUS

FLOOR PLAN W/ NOTES
BONUS ROOM OPT.

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida, 32811
Phone: (407) 529 - 3000

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

REVISIONS	BY
04-22-19	DAL

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET

05C.0
OF 08 SHEETS

LOAD INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

DEAD LOADS

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

ROOF: LIVE LOADS

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

EGRESS WINDOW SCHEDULE - R310.2.1- FBCR2020

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2

WIND INFORMATION
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

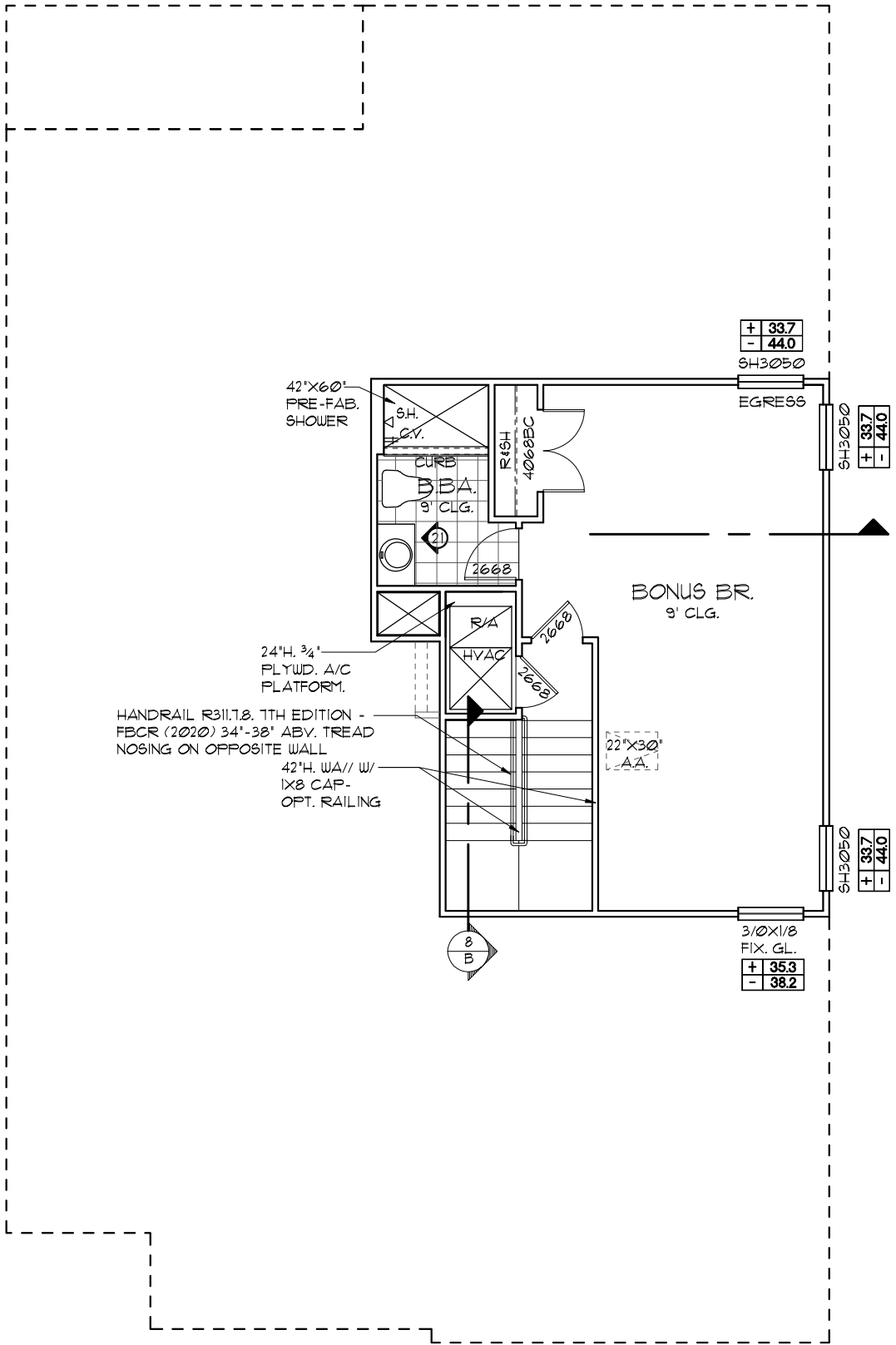
- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE CLASSIFICATION +/- 10, INCLUDED INTERNAL PRESSURE IN NOTE #6 COEFFICIENT:
- COMPONENT / CLADDING - SEE PLAN DESIGN WIND PRESSURE:

+ XXX DESIGN WIND PRESSURE IAW FLA
- XXX RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
 - VENT DRYER THRU ROOF.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
 - | | |
|--|-------------------------------------|
| | DENOTES CONC. BLOCK WALL HGT. @ N/A |
| | DENOTES CONC. BLOCK WALL HGT. @ N/A |
 - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
 - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2
 - ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

UPPER FLOOR PLAN W/ NOTES "C"
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



BEDROOM/ BATH OPTION
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 LOT: SPECIFIC INFORMATION
 1966
 MARGATE II - BONUS

FLORIDA SERIES
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida 32811
 Phone: (407) 529 - 3000

REVISIONS	BY
04-22-19	DAL

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

FLOOR PLAN W/ NOTES
BONUS ROOM OPT.

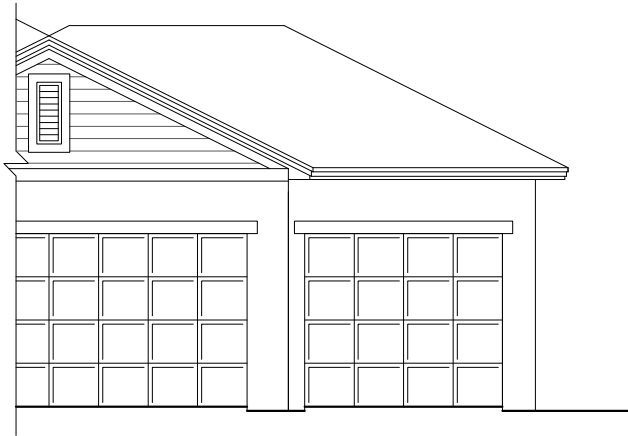
DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET

05C.1
OF 08 SHEETS

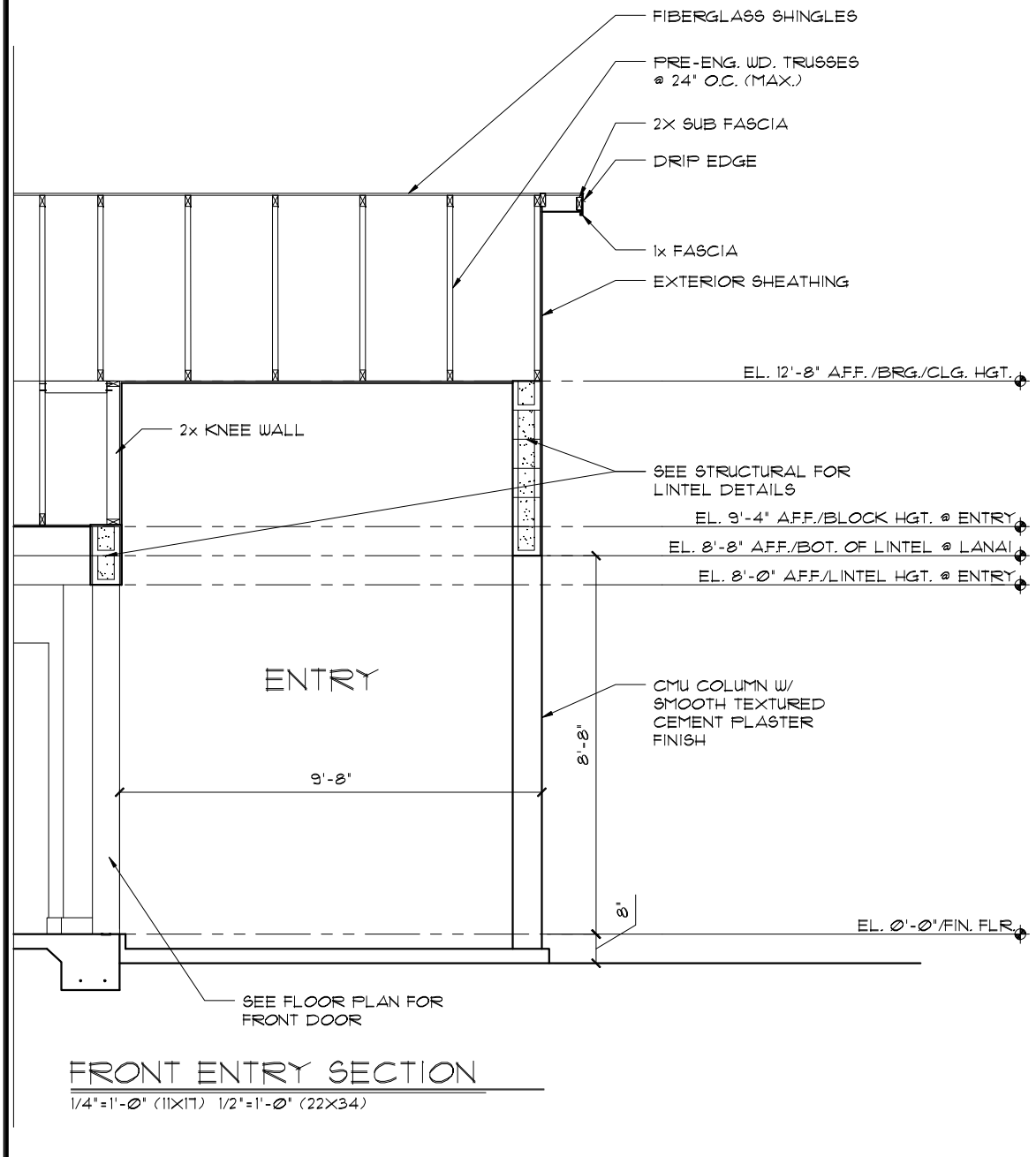
NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

EXTERIOR FINISH NOTES

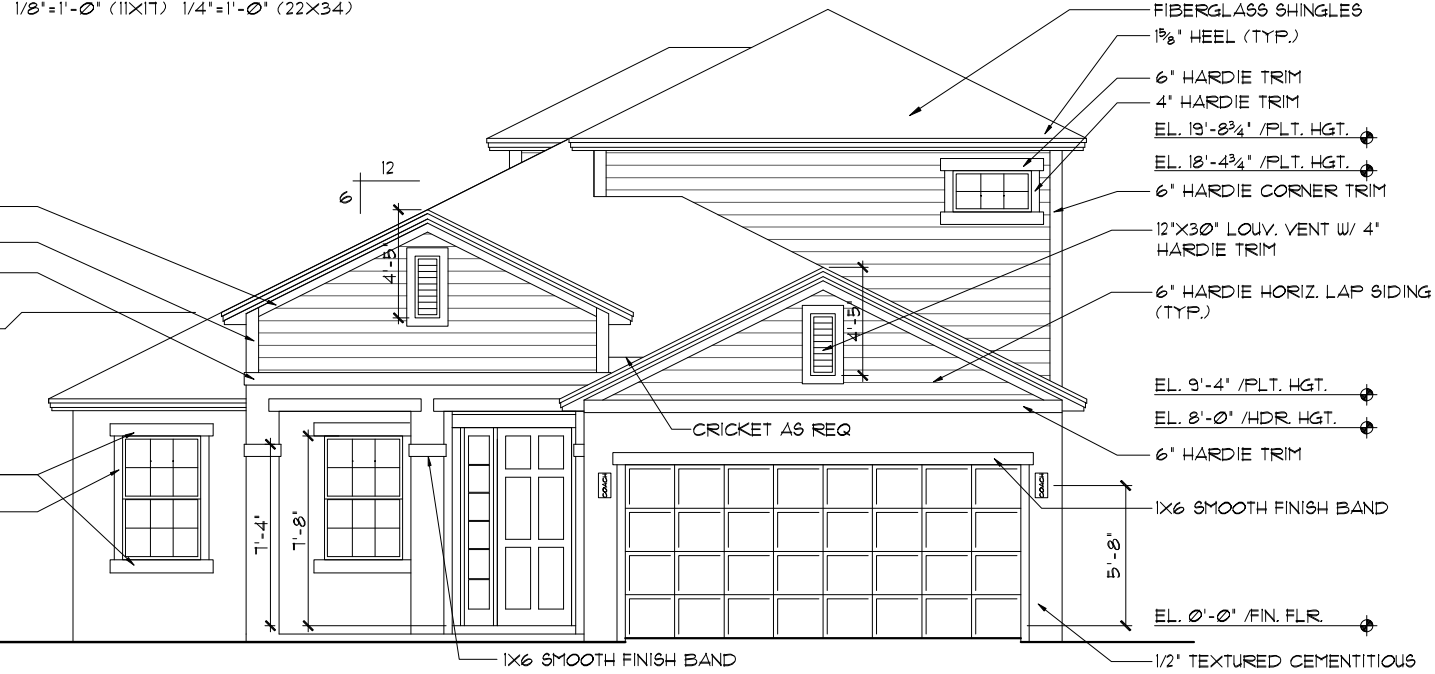
- LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020 - ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIAL. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1-1/2 INCH 11 GAGE NAILS HAVING A 7/16 INCH HEAD, OR 1 1/2 INCH LONG 16 GAGE STAPLES SPACED IN ACCORDANCE WITH ASTM C1063 OR C1181 OR AS OTHERWISE APPROVED.
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
- WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020- MINIMUM NO 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. THE WEATHER RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020- INSTALLED OVER WOOD BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER EQUIVALENT TO 2 LAYERS OF GRADE D PAPER
- 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER ON EXTERIOR WALLS.
- STUCCO APPLICATION MUST BE IAW R103.1.4 OF THE 11TH EDITION, FBCR 2020 OR EXCEPTION : APPLICATION INSTALLED IN ACCORDANCE WITH ASTM C 926
- UNDERLAYMENT REQUIREMENTS MUST BE IAW R305.1.1 OF THE 11TH EDITION, FBCR 2020 - R305.1.1 Underlayment. Underlayment for roof slopes 2:12 and greater shall conform to the applicable standards listed in this chapter. Underlayment materials required to comply with ASTM D226, D1970, D4869 and D6751 shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated. Underlayment for roof slopes 2:12 and greater shall be applied and attached in accordance with Section R305.1.1.1, R305.1.1.2 or R305.1.1.3, as applicable.



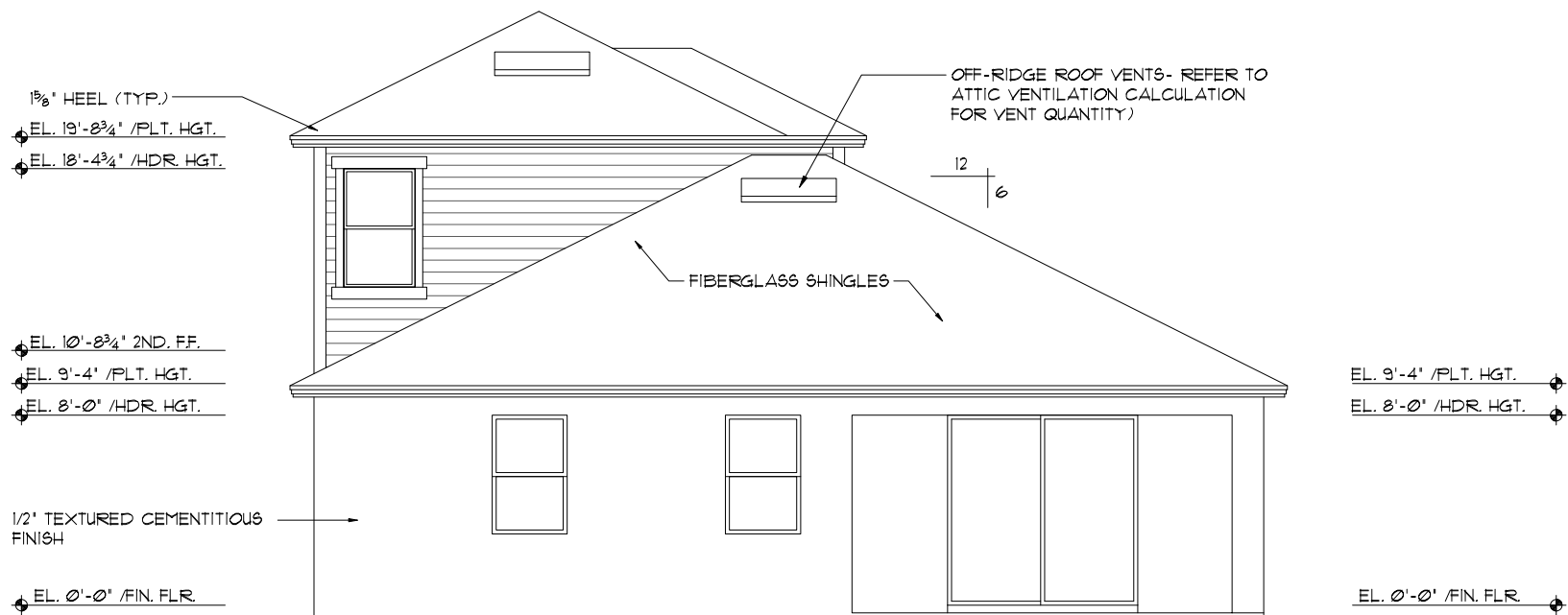
3-CAR GAR. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



- EL. 19'-8 3/4" /PLT. HGT.
- EL. 18'-4 3/4" /HDR. HGT.
- 4" HARDIE TRIM
- 6" HARDIE CORNER TRIM
- 6" HARDIE TRIM
- EL. 12'-10" /PLT. HGT.
- EL. 12'-8" /BRG. HGT.
- EL. 9'-4" /PLT. HGT.
- EL. 8'-0" /HDR. HGT.
- 1X6 SMOOTH FINISH BAND
- 1X4 SMOOTH FINISH BAND
- EL. 0'-0" /FIN. FLR.
- 1/2" TEXTURED CEMENTITIOUS FINISH
- EL. 10'-8 3/4" 2ND. FF.
- EL. 9'-4" /PLT. HGT.
- EL. 8'-0" /HDR. HGT.
- EL. 0'-0" /FIN. FLR.



FRONT ELEVATION "A"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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LOT: SPECIFIC INFORMATION
1966
MARGATE II - BONUS

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Orlando, Florida, 32811
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EXTERIOR ELEVATION FRONT AND REAR

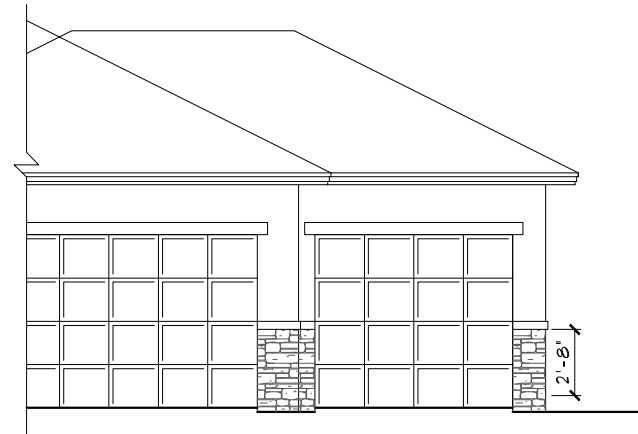
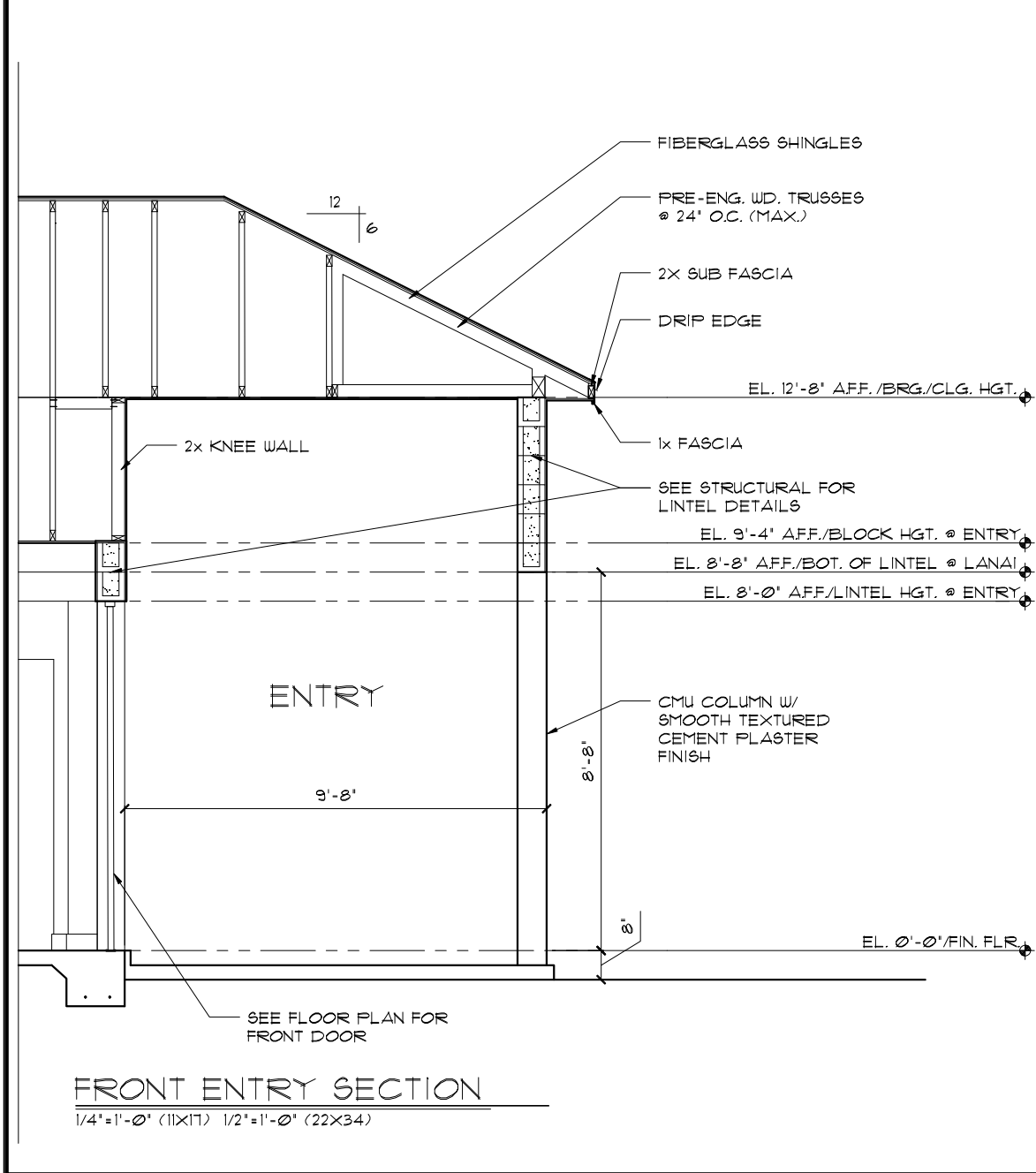
REVISIONS	BY
04-22-19	DAL

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

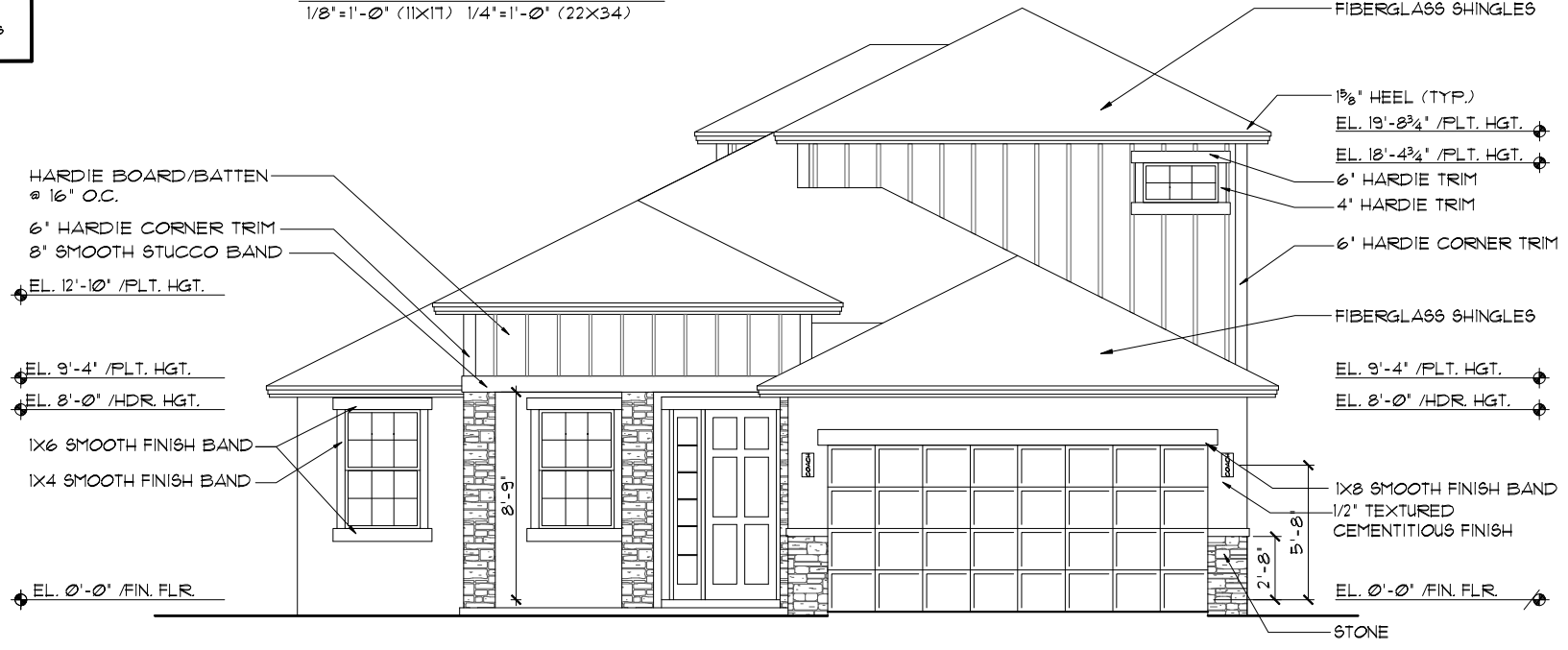
DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET 06A OF 08 SHEETS

EXTERIOR FINISH NOTES

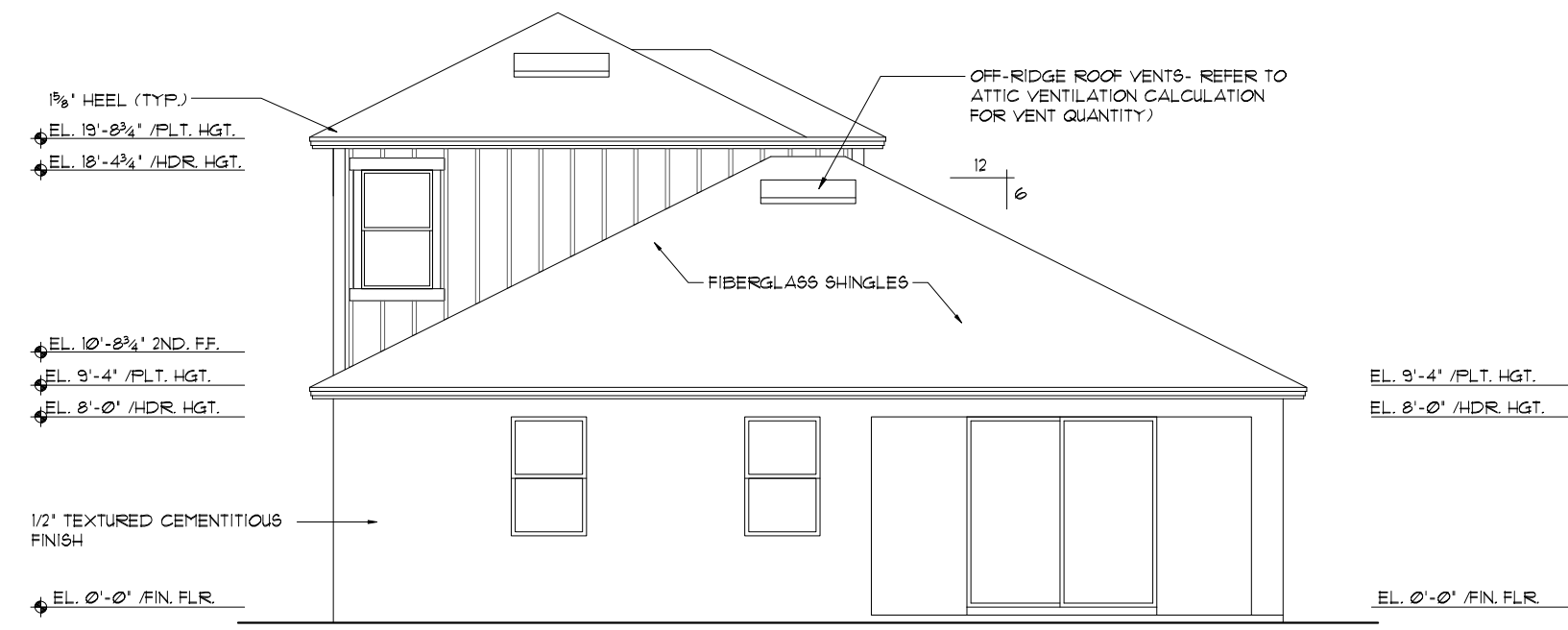
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3-CAR GAR. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



FRONT ELEVATION "B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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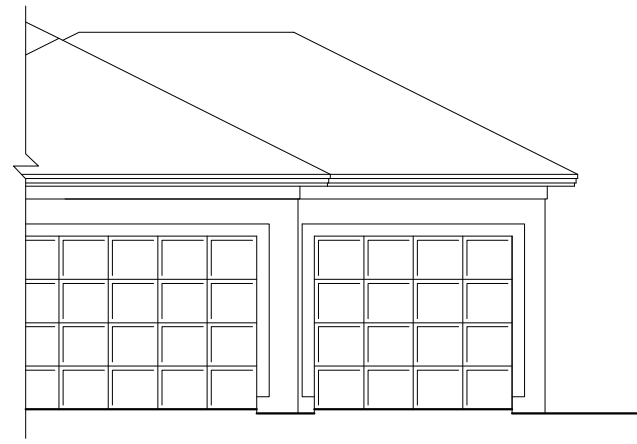
REVISIONS	BY
04-22-19	DAL

Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

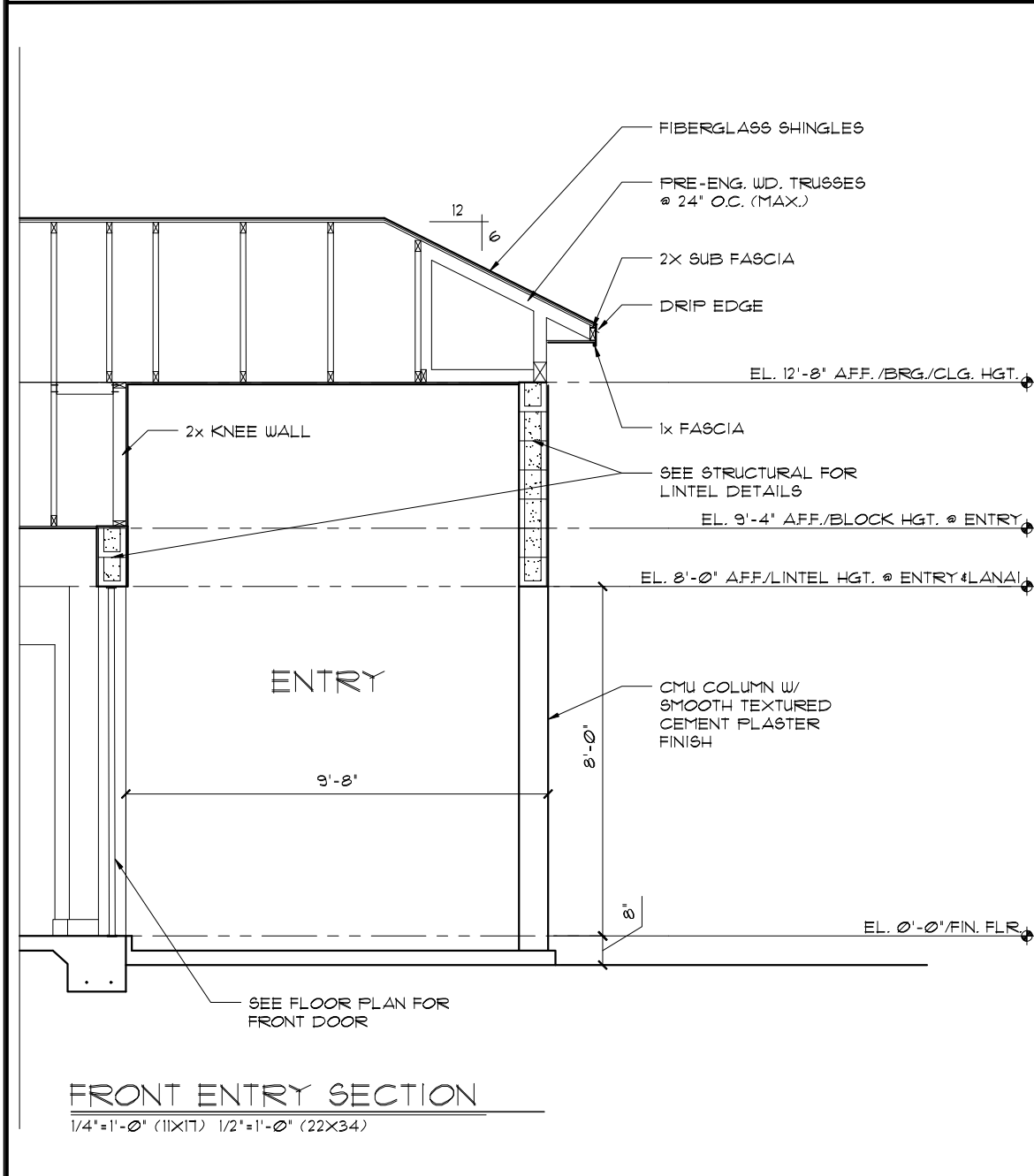
DATE 04-05-2017	SCALE AS NOTED
DRAWN RDC	JOB N/A
SHEET 06	OF 08 SHEETS

EXTERIOR FINISH NOTES

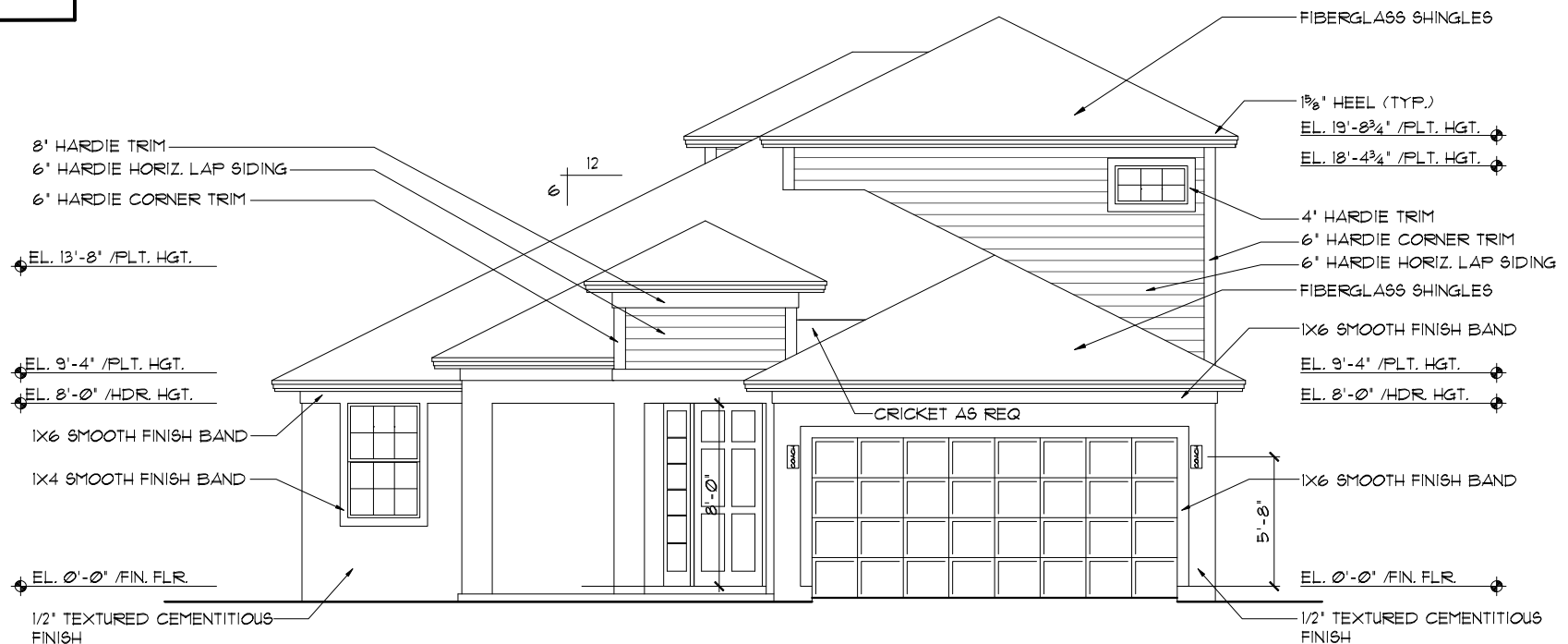
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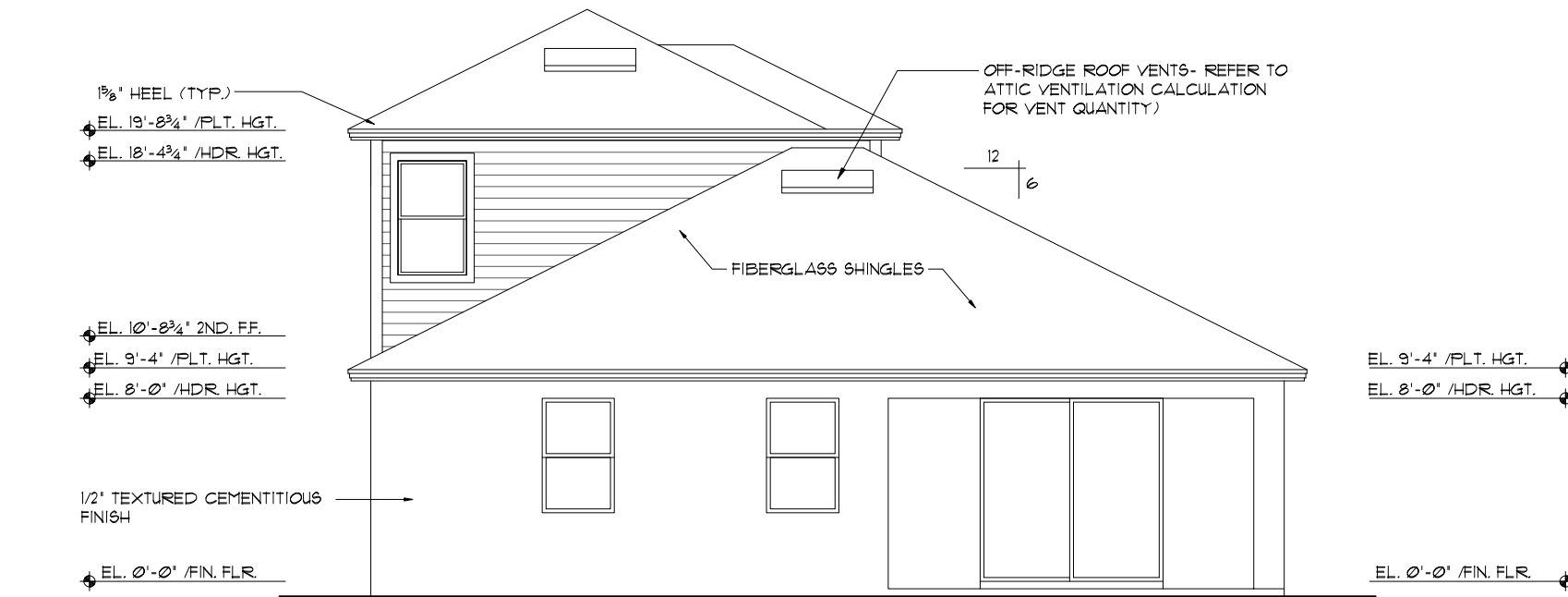
3-CAR GAR. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



FRONT ENTRY SECTION
1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



FRONT ELEVATION "C"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



REAR ELEVATION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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 1966
 MARGATE II - BONUS

REVISIONS	BY
04-22-19	DAL

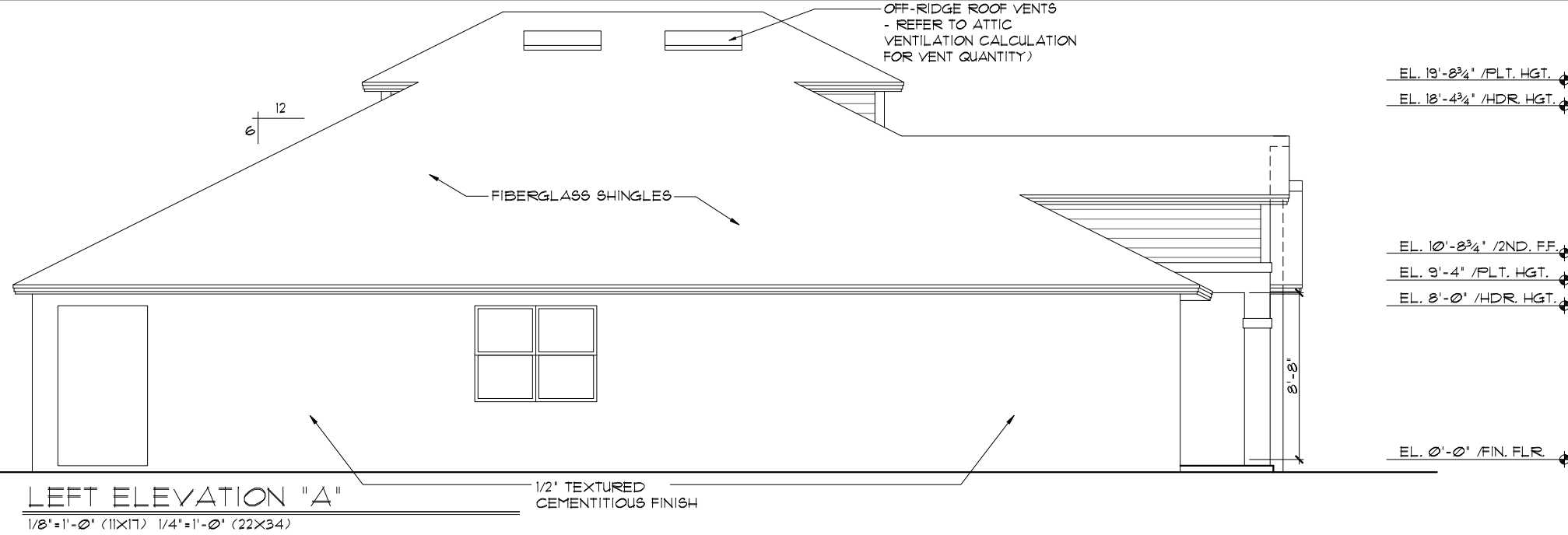
Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

DATE 04-05-2017	SCALE AS NOTED
DRAWN RDC	JOB N/A
SHEET	06C
OF 00 SHEETS	

EXTERIOR FINISH NOTES

- LATH TO BE ATTACHED IAW R703.1.1 OF THE 17TH EDITION, FBCR 2020
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R703.1.2 OF THE 17TH EDITION, FBCR 2020
- WEEP SCREED TO BE INSTALLED IAW R703.1.2.1 OF THE 17TH EDITION, FBCR 2020
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R703.1.3 OF THE 17TH EDITION, FBCR 2020
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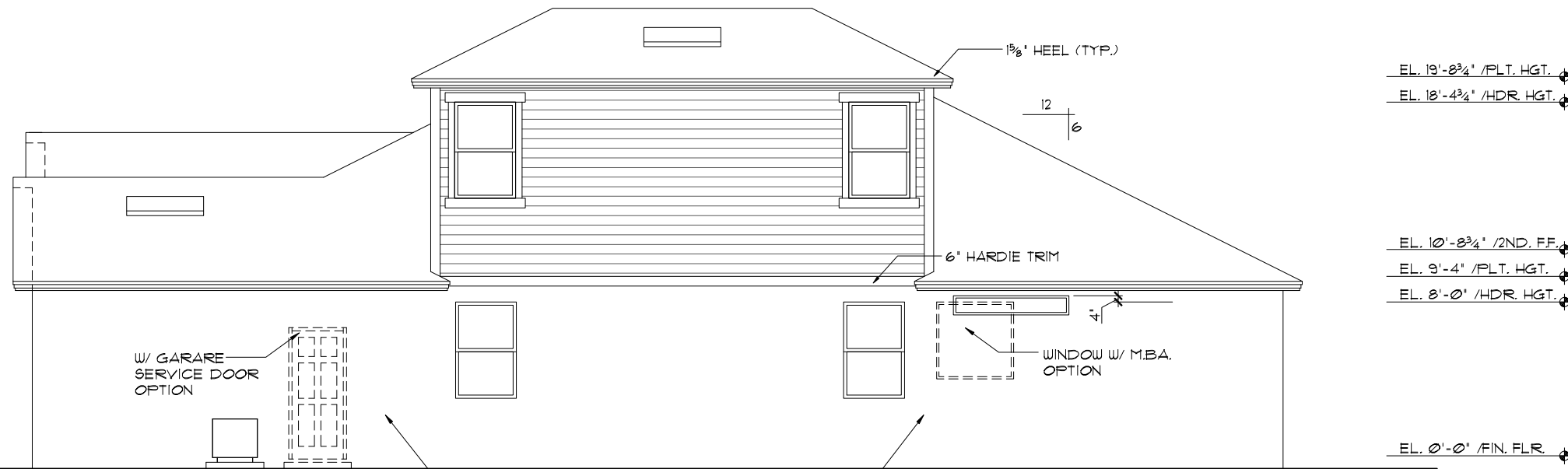
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 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

LEFT ELEVATION "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

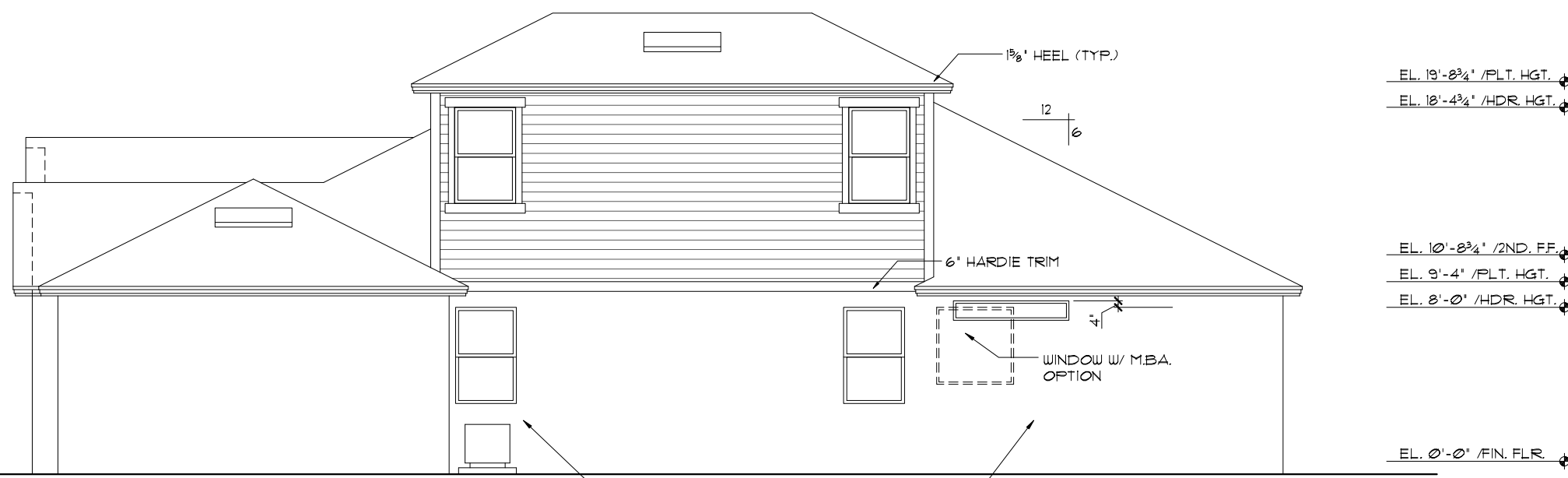
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 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

RIGHT ELEVATION "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

RIGHT ELEVATION "A" (3-CAR)
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

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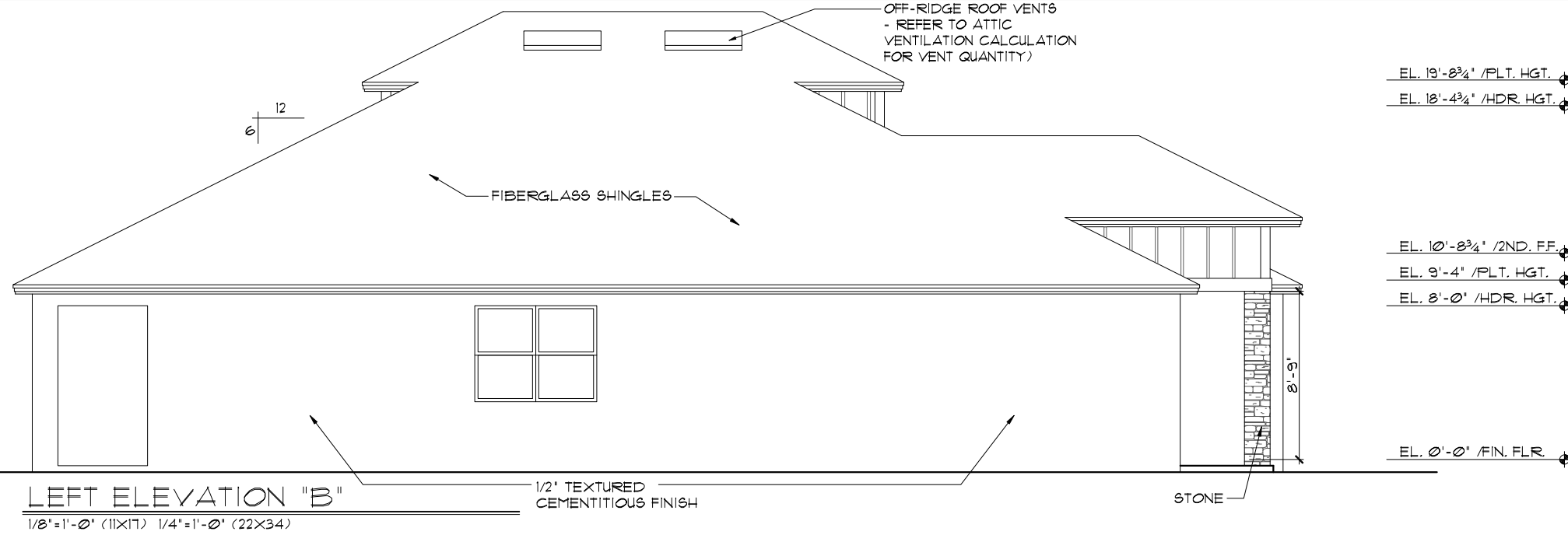
REVISIONS		BY
04-22-19		DAL

EXTERIOR ELEVATION LEFT AND RIGHT	
1966	MARGATE II - BONUS
DATE 04-05-2017	
SCALE AS NOTED	
DRAWN RDC	
JOB N/A	
SHEET 07A	
OF 00 SHEETS	

EXTERIOR FINISH NOTES

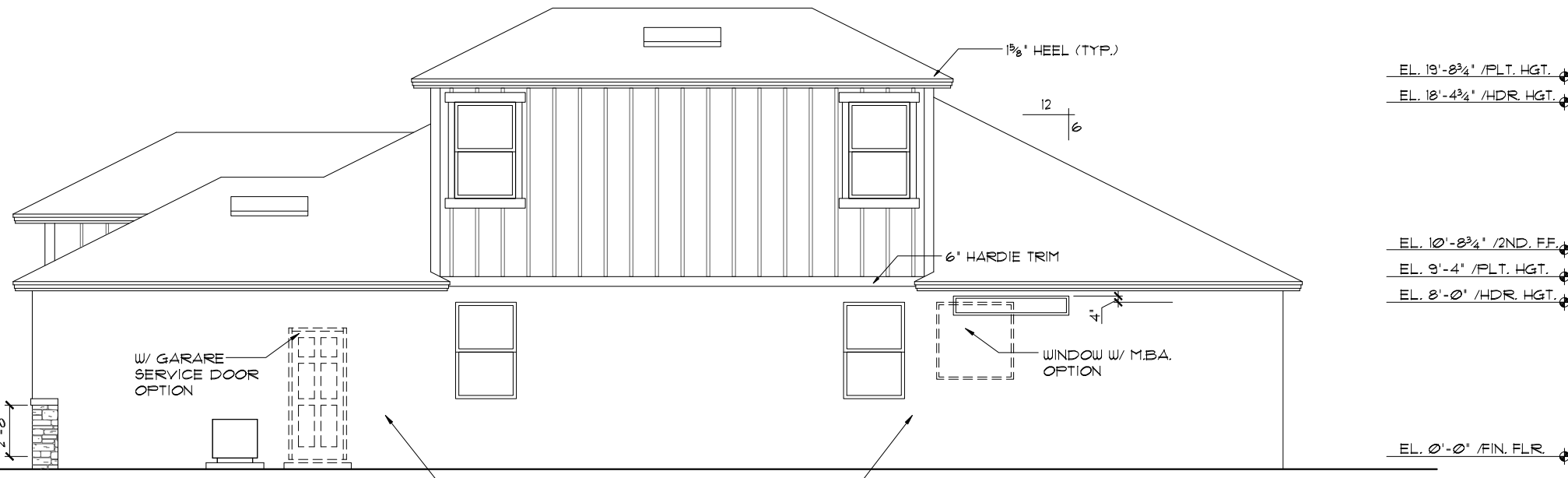
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- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
- WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
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 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



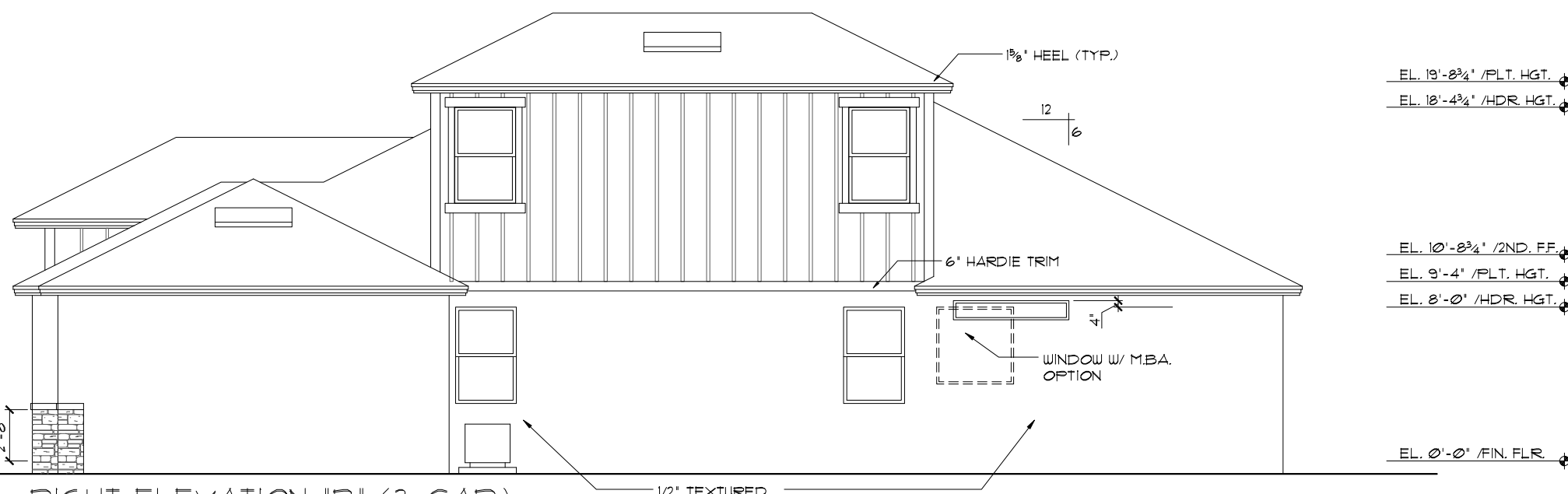
LEFT ELEVATION "B"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



RIGHT ELEVATION "B"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



RIGHT ELEVATION "B" (3-CAR)
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

LOT: SPECIFIC INFORMATION
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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REVISIONS	BY
04-22-19	DAL

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Park Square HOMES

EXTERIOR ELEVATION
 LEFT AND RIGHT

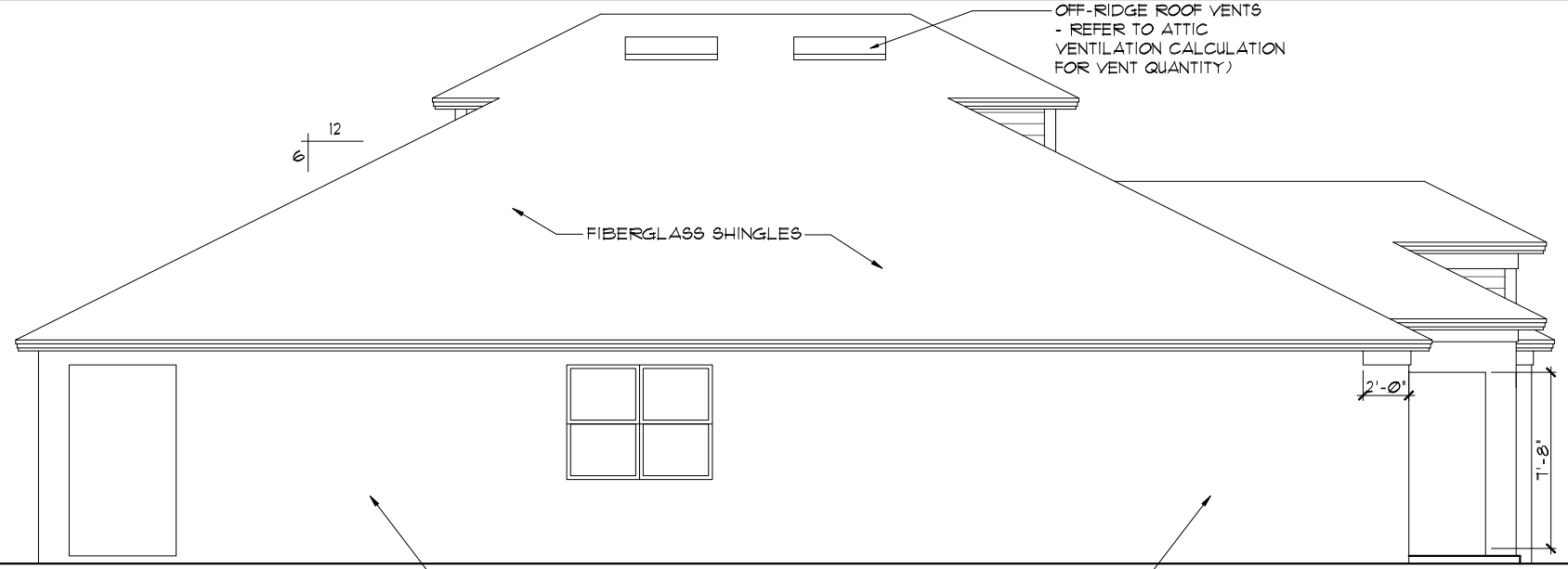
1966
 MARGATE II - BONUS

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RDC
JOB	N/A
SHEET	07B
OF	00 SHEETS

EXTERIOR FINISH NOTES

- LATH TO BE ATTACHED IAW R103.1.1 OF THE 11TH EDITION, FBCR 2020
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 11TH EDITION, FBCR 2020
- WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 11TH EDITION, FBCR 2020
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 11TH EDITION, FBCR 2020
- 'ZIP SYSTEMS' WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.

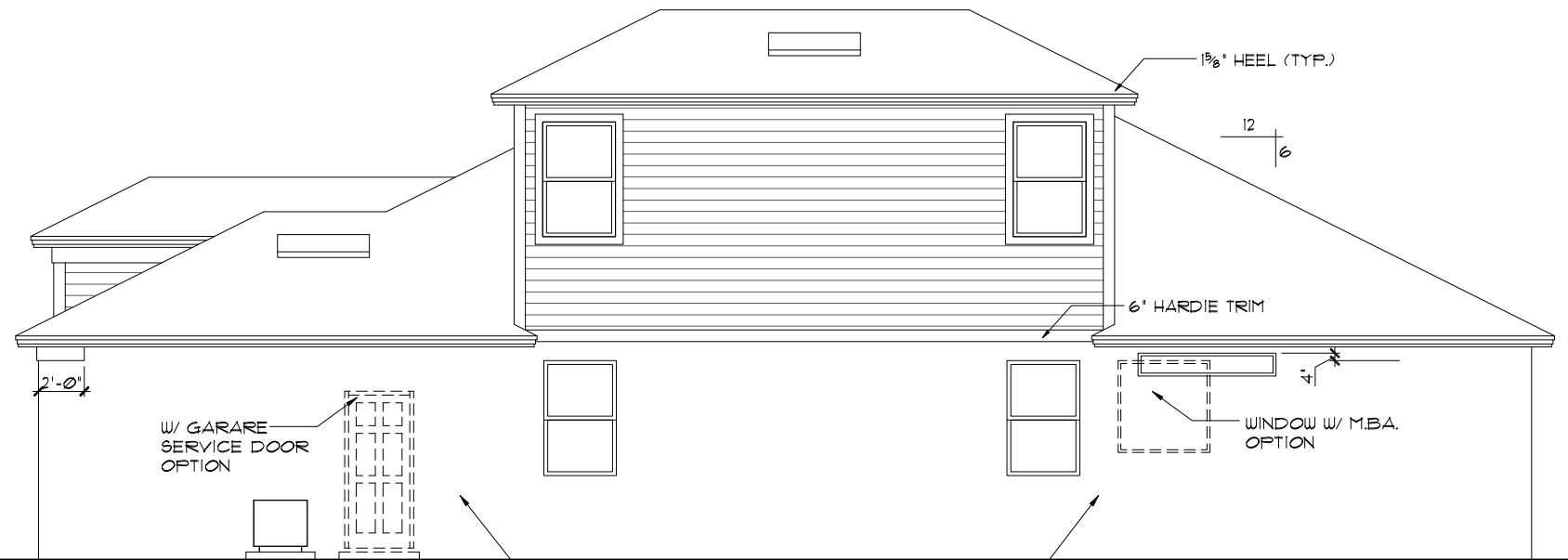
EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



LEFT ELEVATION "C"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

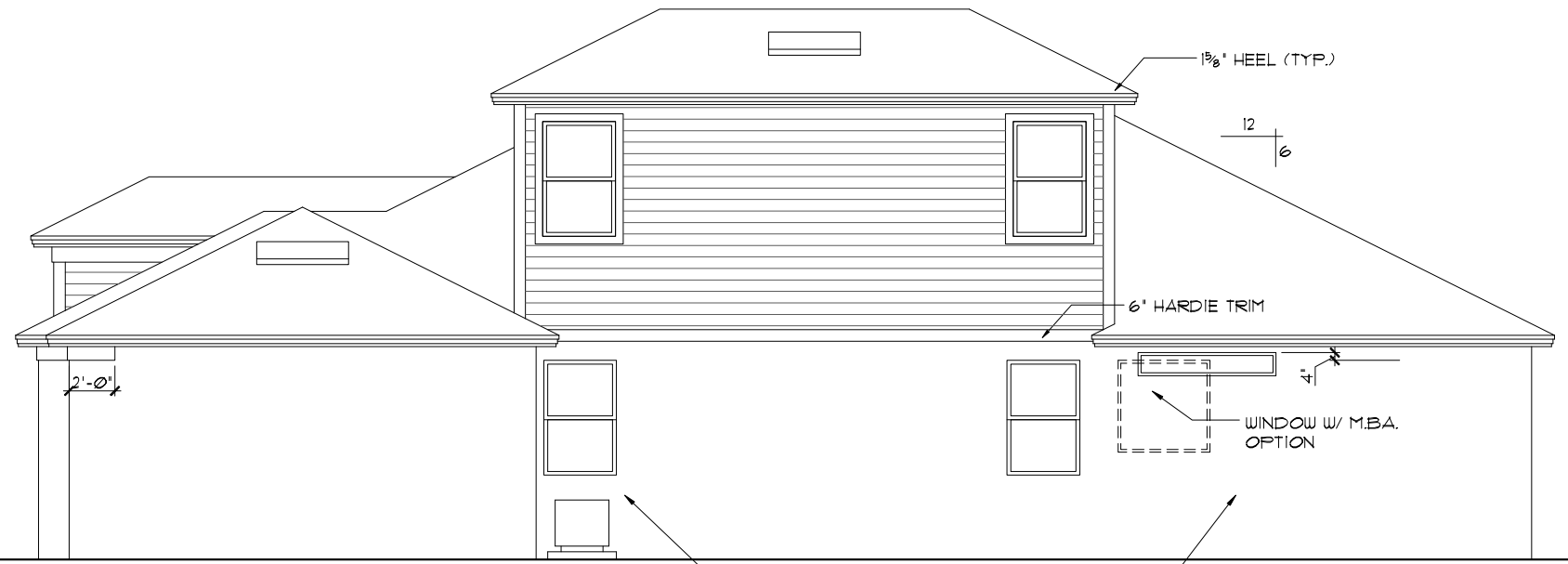
EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



RIGHT ELEVATION "C"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
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 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.



RIGHT ELEVATION "C" (3-CAR)
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
 1/2" TEXTURED CEMENTITIOUS FINISH

EL. 19'-8³/₄' /PLT. HGT.
 EL. 18'-4³/₄' /HDR. HGT.
 EL. 10'-8³/₄' /2ND. FF.
 EL. 9'-4" /PLT. HGT.
 EL. 8'-0" /HDR. HGT.
 EL. 0'-0" /FIN. FLR.

FLORIDA SERIES

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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REVISIONS	BY
04-22-19	DAL

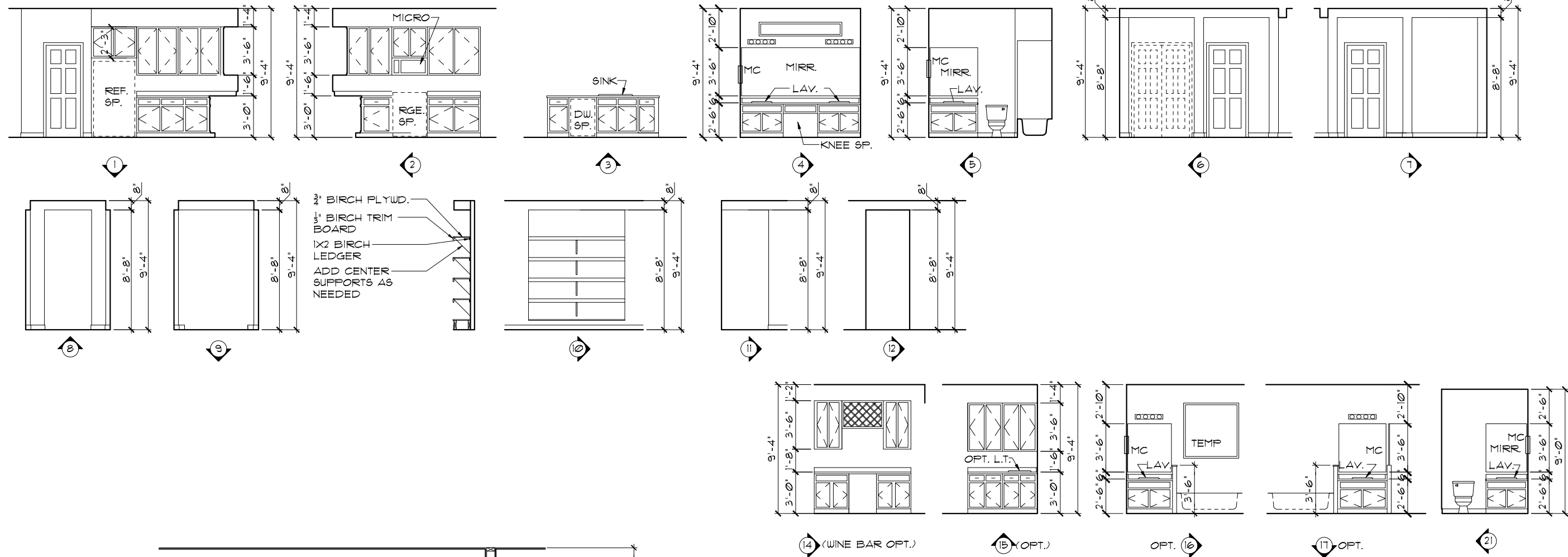
Engineering By:
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 MICHAEL A. THOMPSON
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 5200 Vineland Road, Suite 200
 Orlando, Florida, 32811
 Phone: (407) 529 - 3000

Park Square HOMES
 EXTERIOR ELEVATION LEFT AND RIGHT

1966
 MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
07C
OF 00 SHEETS



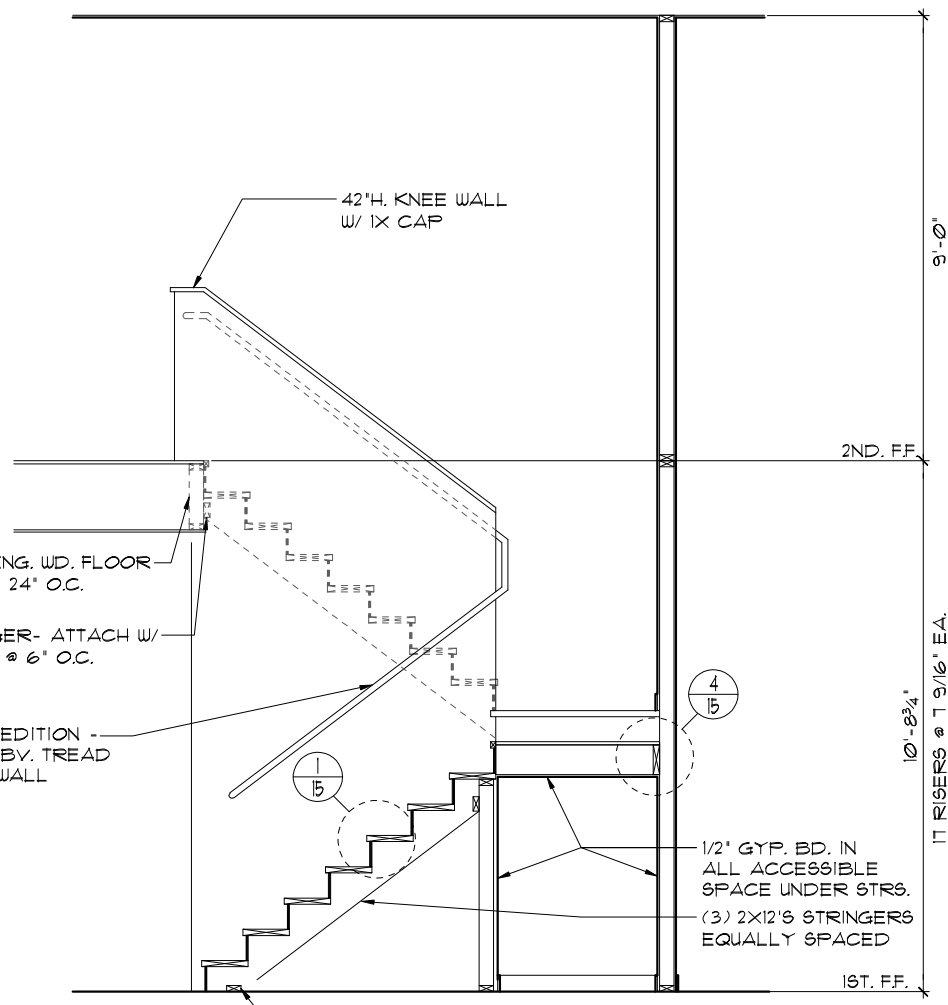
INTERIOR ELEVATIONS

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)
NOTE: INTERIOR ELEVATIONS ARE CONCEPTUAL ONLY.
SEE CABINET SHOP DRAWINGS FOR FINAL VERIFICATION.

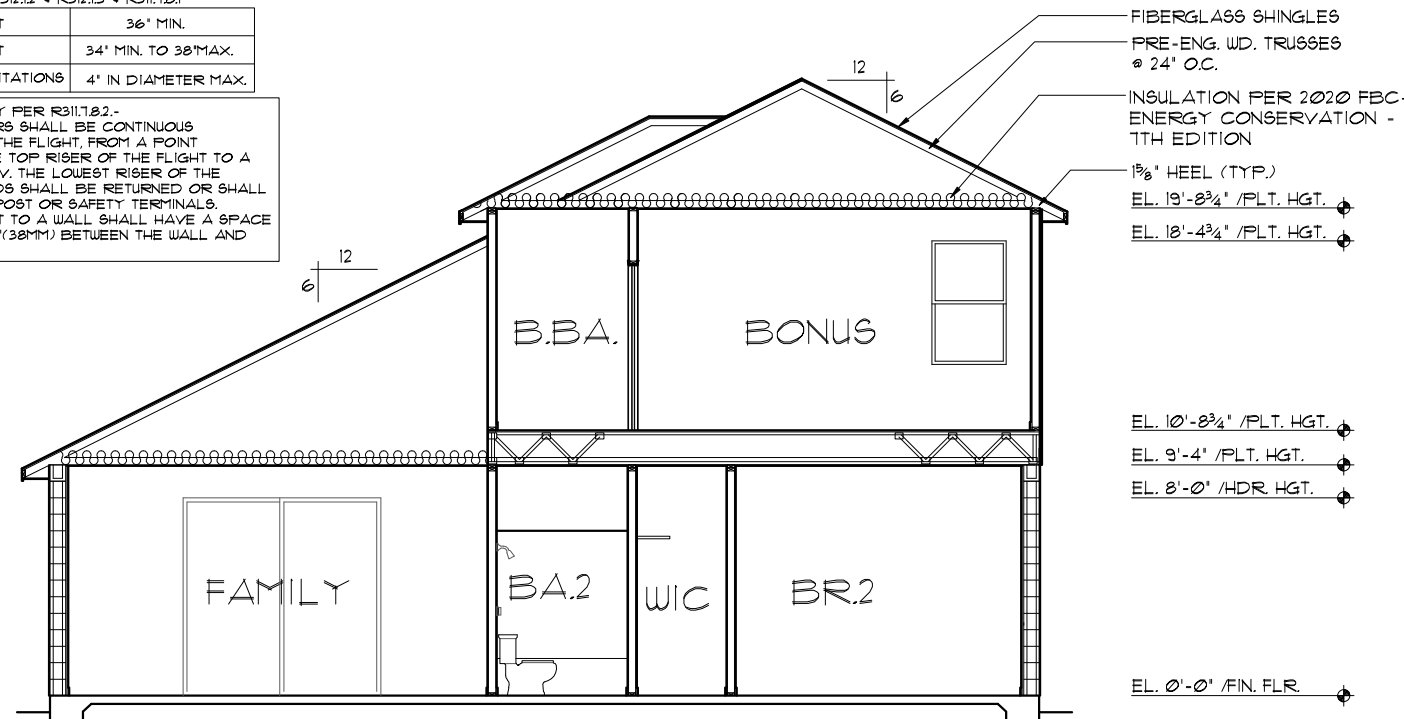
PER FBC R301- TABLE R301.5

GUARDRAILS & HANDRAILS	200 PSF
GUARDRAIL IN-FILL COMPONENTS	50 PSF
PER FBC R312- R312.12 & R312.13 & R311.1.8.1	
GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4" IN DIAMETER MAX.

NOTE: HANDRAIL CONTINUITY PER R311.1.8.2- HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" (38MM) BETWEEN THE WALL AND THE HANDRAIL.



STAIR SECTION
1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



CROSS SECTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

FLORIDA SERIES
Engineering By
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04-22-19	DAL

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Orlando, Florida, 32811
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Interior Elevations/
CROSS SECTION

1966
MARGATE II - BONUS
DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET 00
OF 00 SHEETS

MECHANICAL/GENERAL NOTES
PER 11TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.
A) CHAPTER 13 OF THE FBC-R 2020 11TH SECTION M1305.1

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 11TH EDITION.

4.) IAW NEC 2020- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
6.) ALL OUTLETS IN BATHROOMS AND LAUNDRY ROOM SHALL BE GFCI

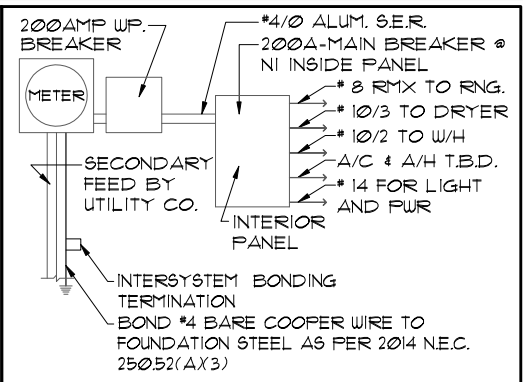
7.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR-STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL* TO BE USED ON THIS JOB TO BE:
BRK: SMOKE-9120B, C/O- SC9120B
KIDDE: SMOKE-21007581, C/O 21006377-N

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED. P2801.1

9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 11TH ED.

10.) THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NEC 2014
12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)2
12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NEC2020 - ARTICLE 210-52



ELECTRICAL RISER DIAGRAM

NOTE: ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)1 TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

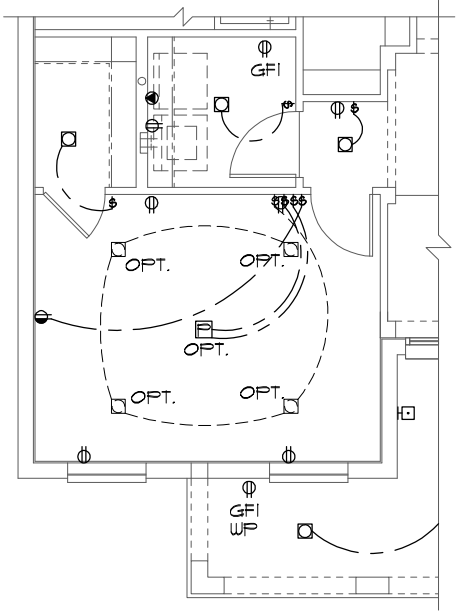
250.52(A)3 Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/4 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

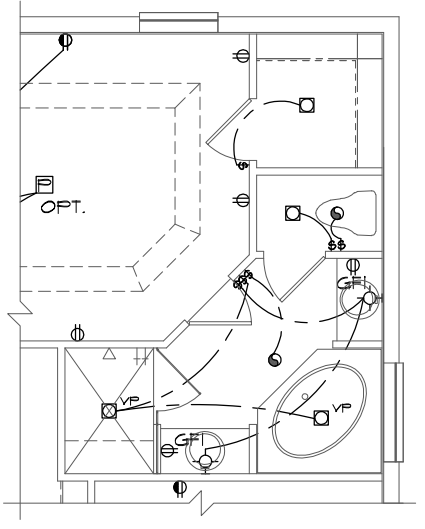
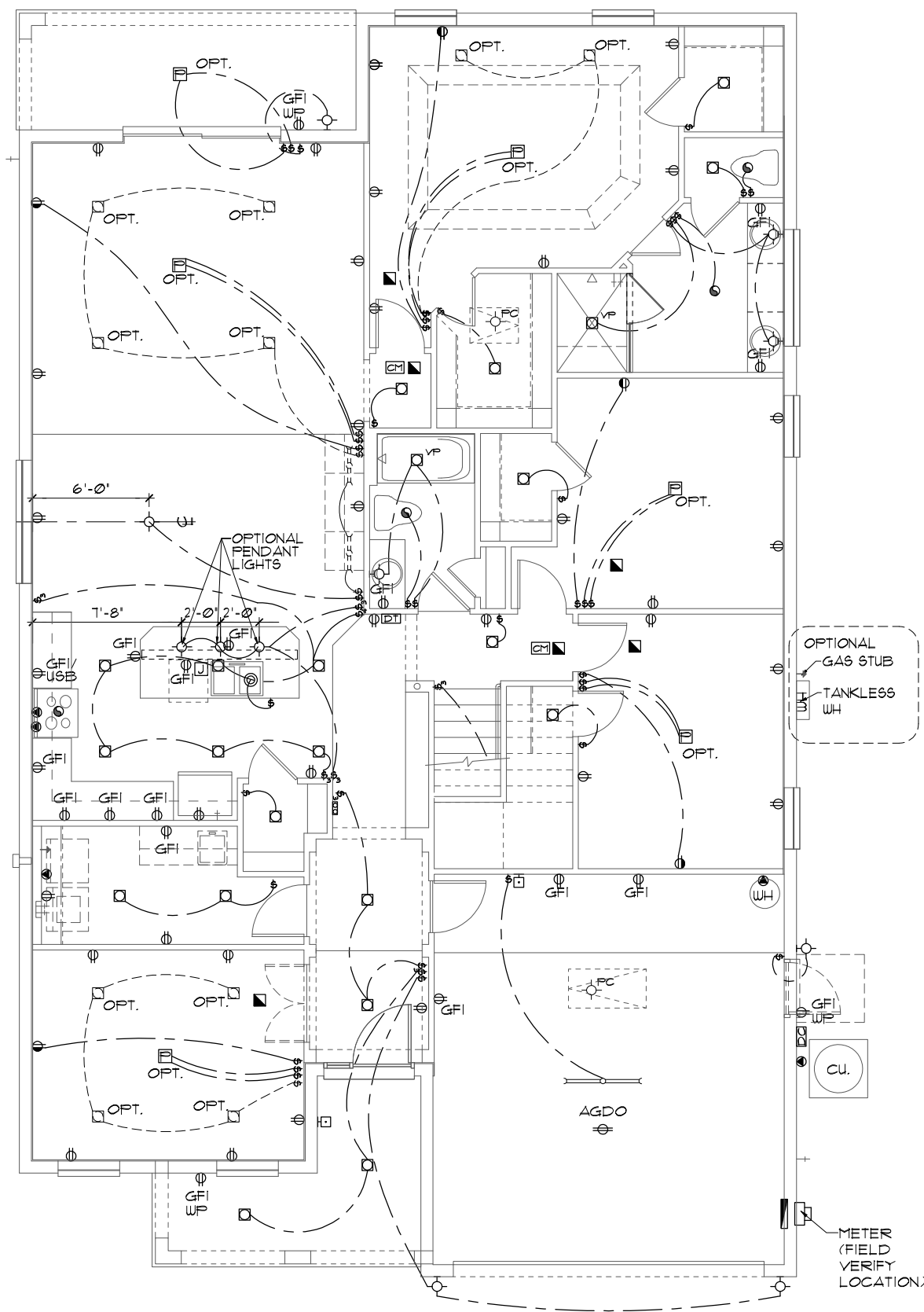
The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

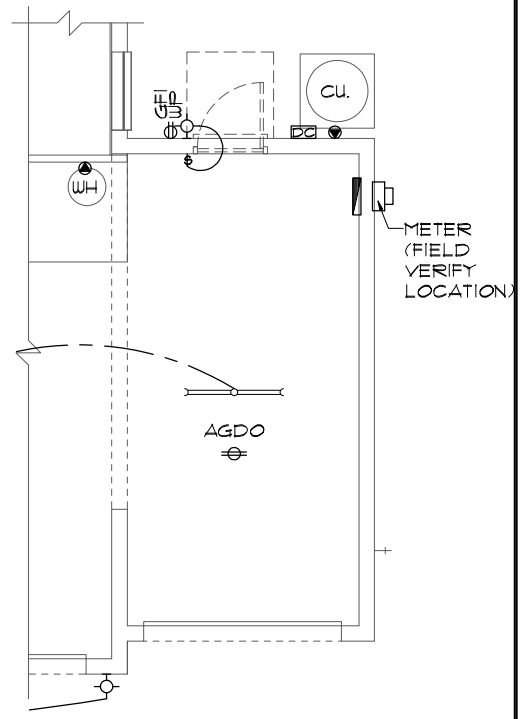


BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ELECTRICAL PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



M. B.A. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

ELECTRICAL LEGEND

⊕	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊕	THREE WAY SWITCH	◀	OUTLET, PHONE
⊕	OUTLET 110-115	◻	INTERCOM
⊕	OUT. 110-115, SPLIT WIRED	◻	CHIMES
⊕	OUT. 110-115, W/ USB	◻	SMOKE DETECTOR
⊕	OUT. 110-115, CLG. MOUNT.	◻	CARBON MONOXIDE
⊕	OUT. 110-115, FLR. MOUNT.	◻	PUSH BUTTON
⊕	SFCL. PURPOSE 220-240	◻	EXHAUST FAN
⊕	LIGHT FIXT., CLG. MTD.	◻	EX. FAN/LIGHT COMBO
⊕	LIGHT FIXT., WALL MTD.	◻	DISPOSAL
⊕	LIGHT FIXT., RECESSED	◻	ELECTRICAL PANEL
⊕	LIGHT FIXT., REC. ADJUST.	◻	CEILING FAN, PREWIRE
⊕	LIGHT FIXT., PULL CHAIN	◻	CEILING FAN, INSTALL
⊕	LIGHT FIXT., FLUORESCENT	◻	ELECT. JUNCTION BOX
⊕	LIGHT FIXT., EXT. FLOODS	◻	THERMOSTAT
⊕	LIGHT FIXT., EMERG. EXIT	◻	DISCONNECT SWITCH
⊕	LIGHT FIXT., EXIT/BACKUP	◻	ELEC. POWER METER

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION
1966
MARGATE II - BONUS
DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET 09
OF 00 SHEETS

FLORIDA SERIES

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Park Square HOMES

ELECTRICAL PLAN

REVISIONS BY
04-22-19 DAL

MECHANICAL/GENERAL NOTES
PER 7TH ED. 2020 FLA BLD. CODE-RESIDENTIAL

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.
A) CHAPTER 13 OF THE FBC-R 2020 7TH SECTION M1305.1

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2020 7TH EDITION.

4.) IAW NEC 2020- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) ALL OUTLETS IN BATHROOMS AND LAUNDRY ROOM SHALL BE GFCI

7.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR-STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL* TO BE USED ON THIS JOB TO BE:
BRK: SMOKE-9120B, C/O- SC9120B
KIDDE: SMOKE-21007581, C/O 21006377-N

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 7TH ED. F2801.1

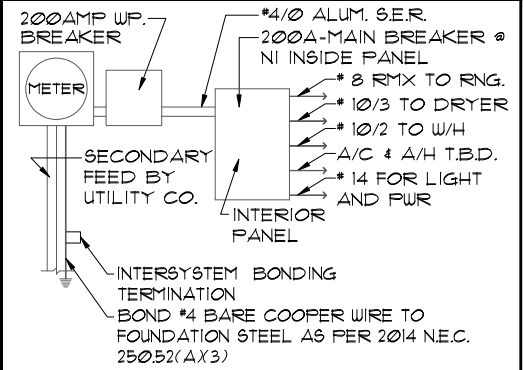
9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2020, 7TH ED.

10.) THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NEC 2014

12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)(2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NEC 2020 - ARTICLE 210-52



ELECTRICAL RISER DIAGRAM

NOTE:
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

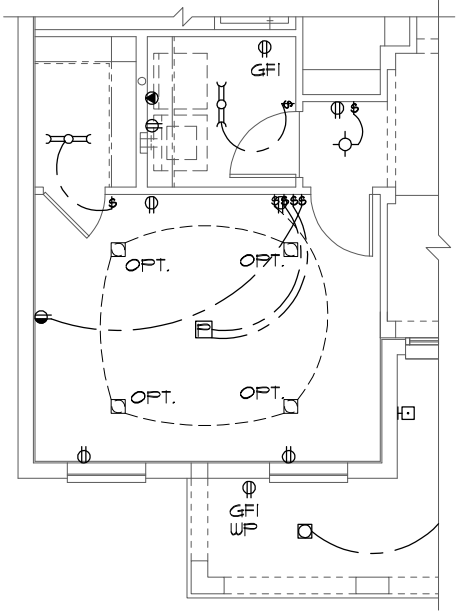
250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

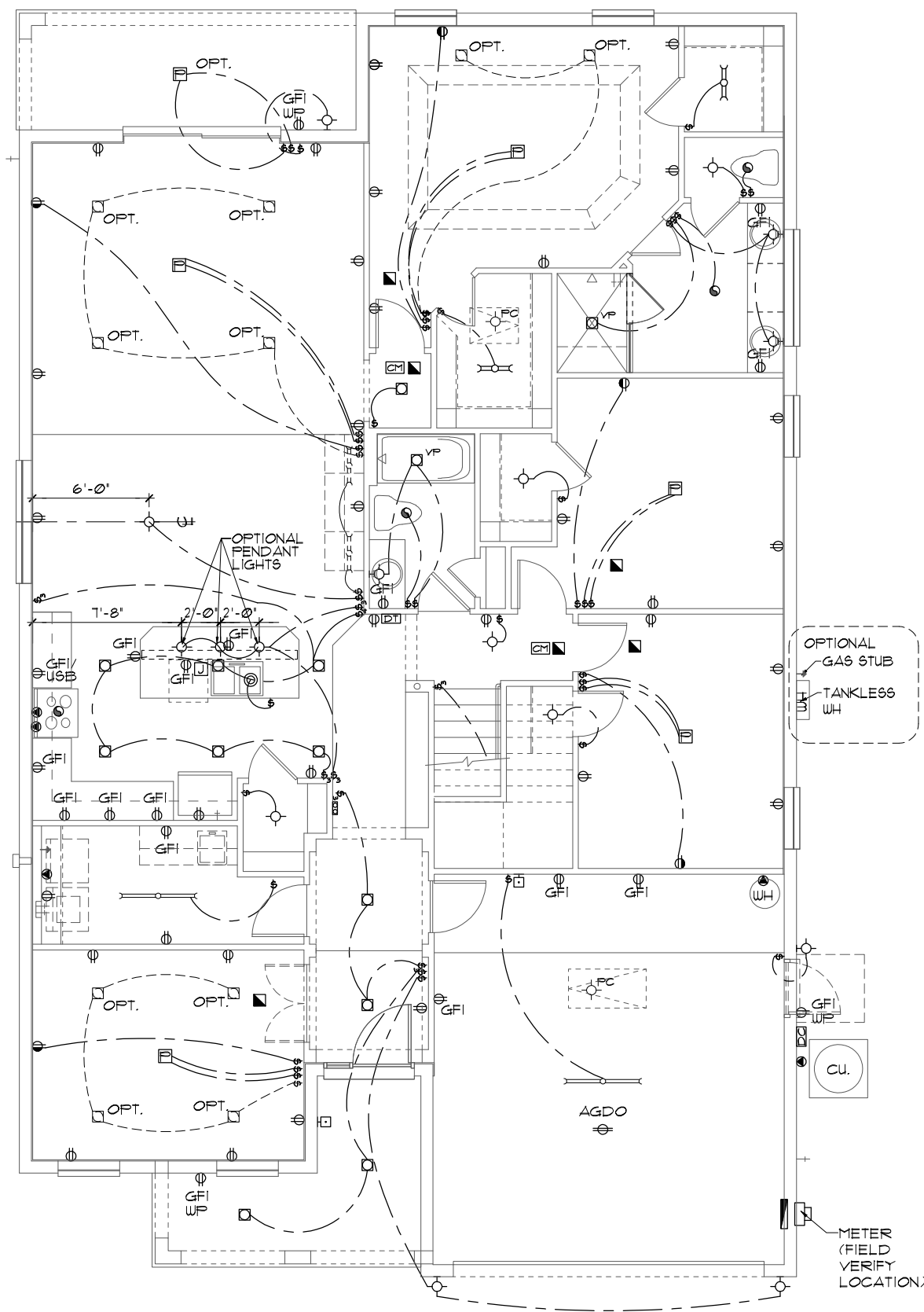
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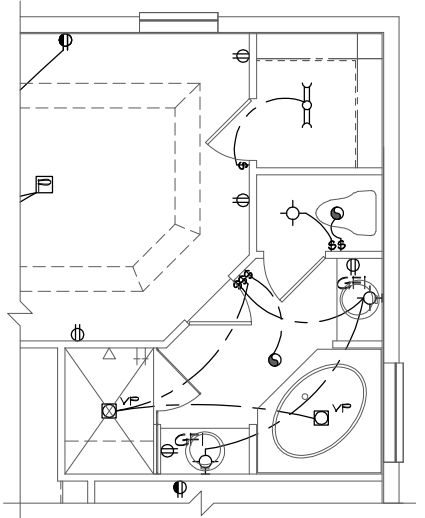
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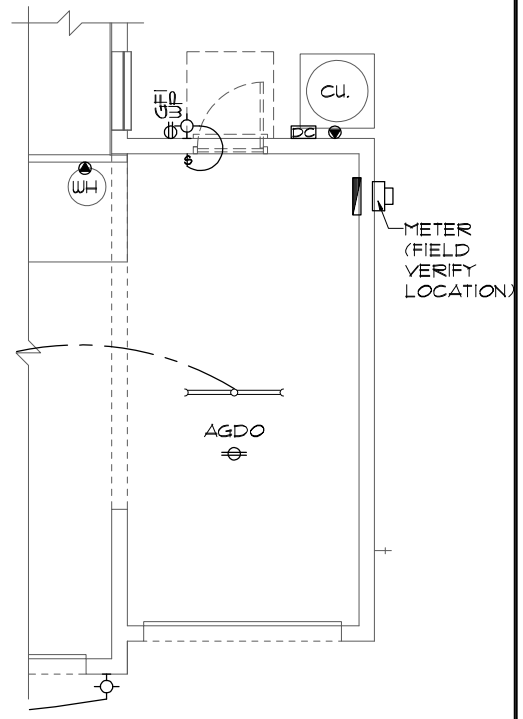
BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



ELECTRICAL PLAN
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



M. B.A. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

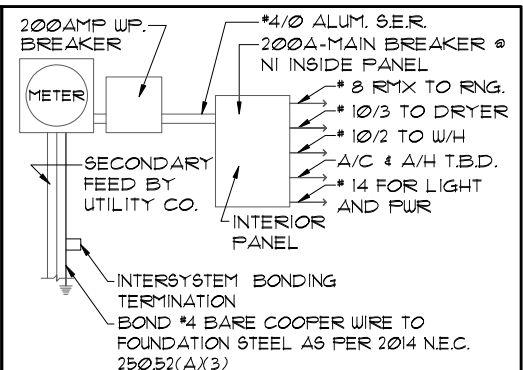
ELECTRICAL LEGEND

⊞	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊞	THREE WAY SWITCH	◀	OUTLET, PHONE
⊞	OUTLET 110-115	◻	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊞	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR
⊞	OUT. 110-115, CLG. MOUNT.	⊞	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊞	SFCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊞	LIGHT FIXT., CLG. MTD.	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊞	LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., FULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

LOT: SPECIFIC INFORMATION
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 FLORIDA SERIES
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 Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
 PE 47509
 PHONE 407-721-2292
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida, 32818
 Phone: (407) 529 - 3000
 Park Square HOMES
 ELECTRICAL PLAN
 1966
 MARGATE II - BONUS
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 09
 OF 00 SHEETS

MECHANICAL/GENERAL NOTES

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 - BRK: SMOKE-9120B, C/O- SC9120B
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 - 12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)(2)
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ELECTRICAL RISER DIAGRAM

NOTE: ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/4 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

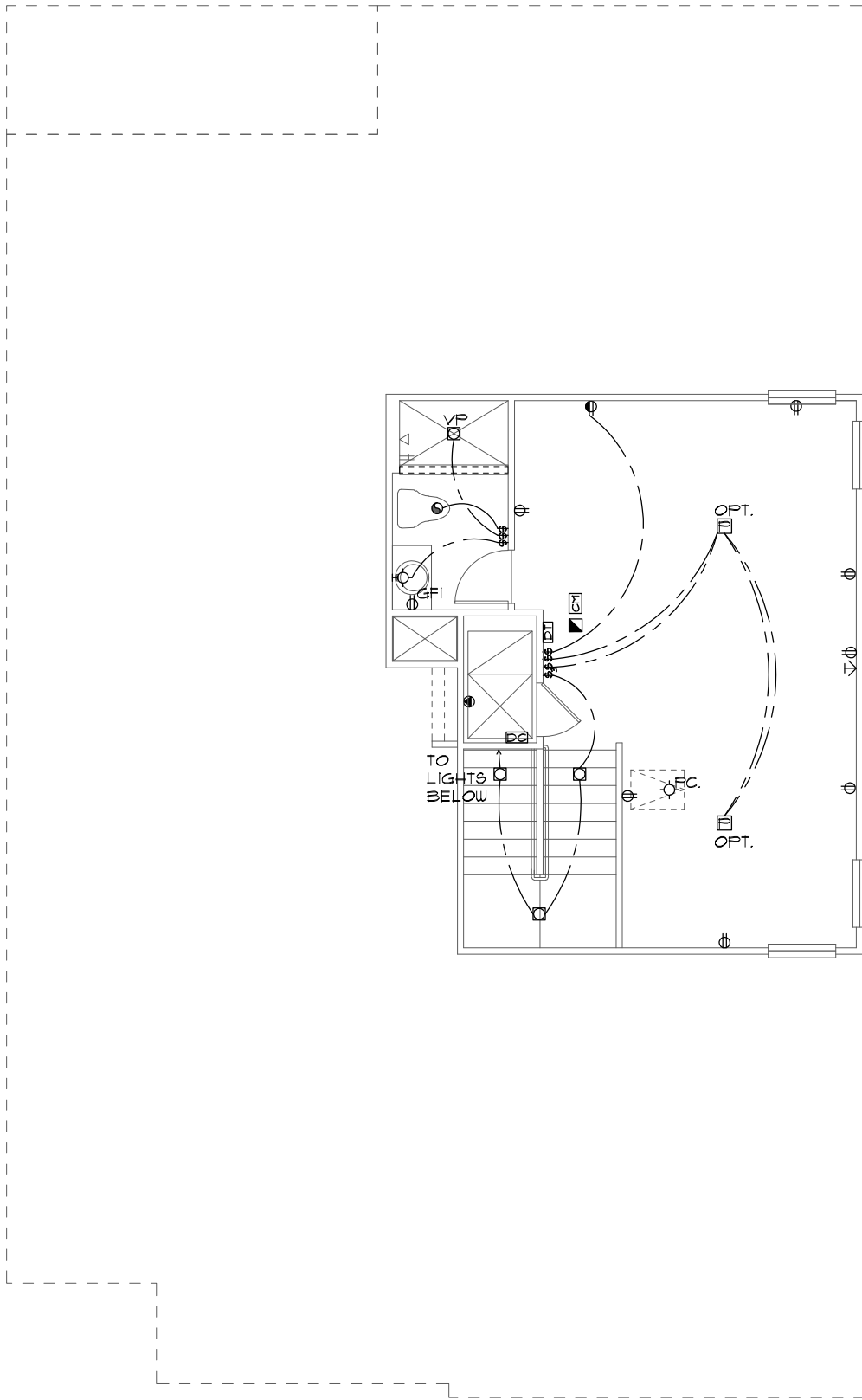
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NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
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SHEET	10.0
OF	20 SHEETS

FLORIDA SERIES

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Park Square HOMES

UPPER ELECTRICAL PLAN
BONUS ROOM OPT.

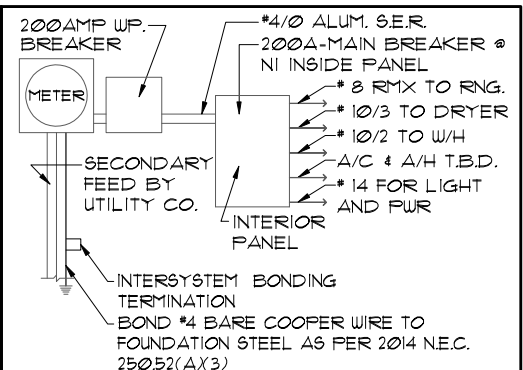
1966
MARGATE II - BONUS

REVISIONS

REVISIONS	BY
04-22-19	DAL

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ELECTRICAL RISER DIAGRAM
N.T.S.

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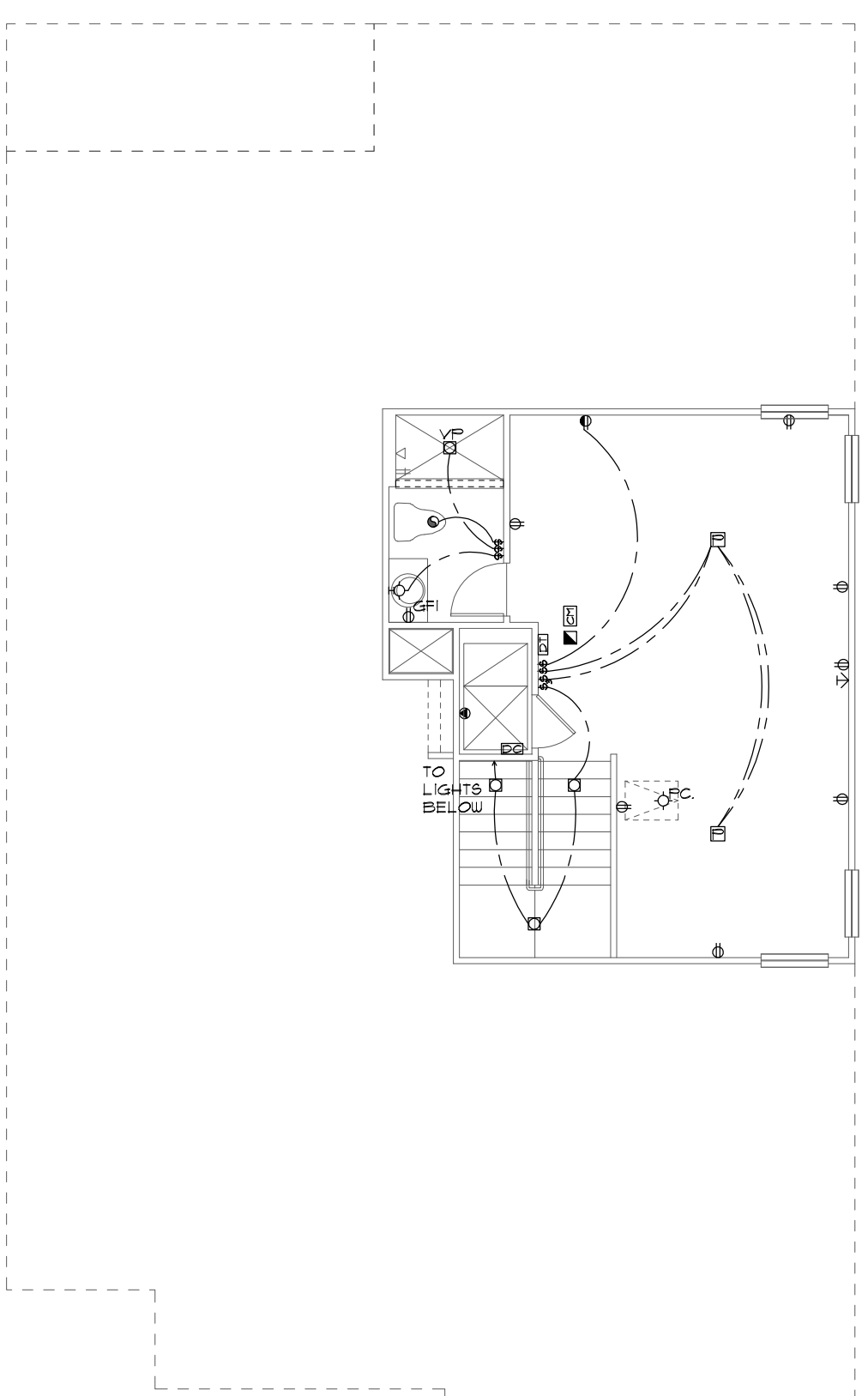
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BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
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FLORIDA SERIES

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UPPER ELECTRICAL PLAN
BONUS ROOM OPT.

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MARGATE II - BONUS

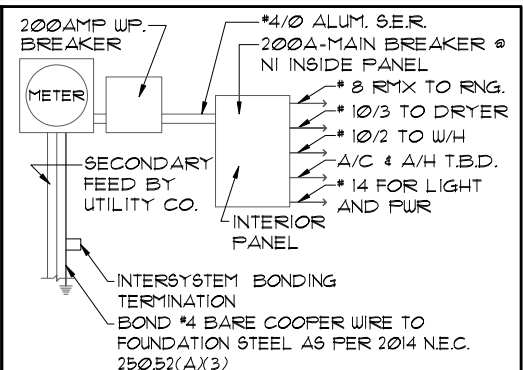
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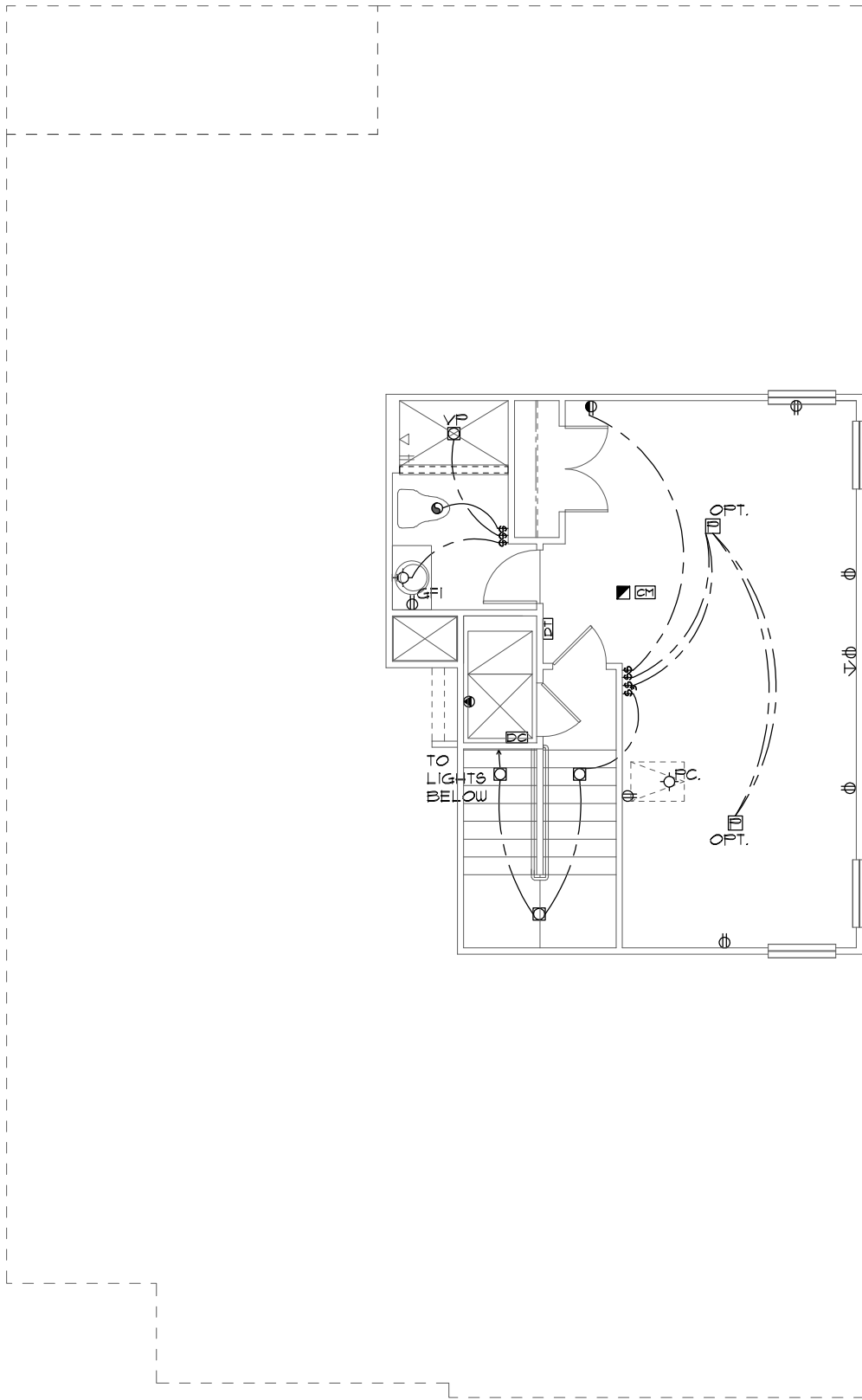
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BEDROOM/ BATH OPTION

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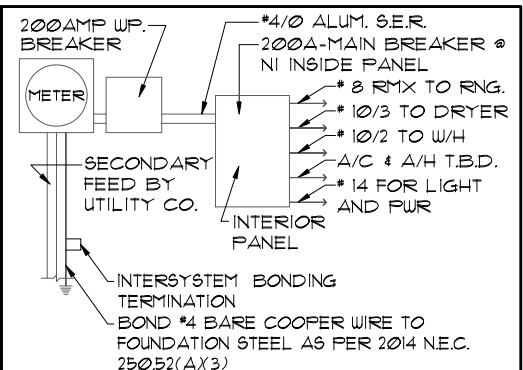
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Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

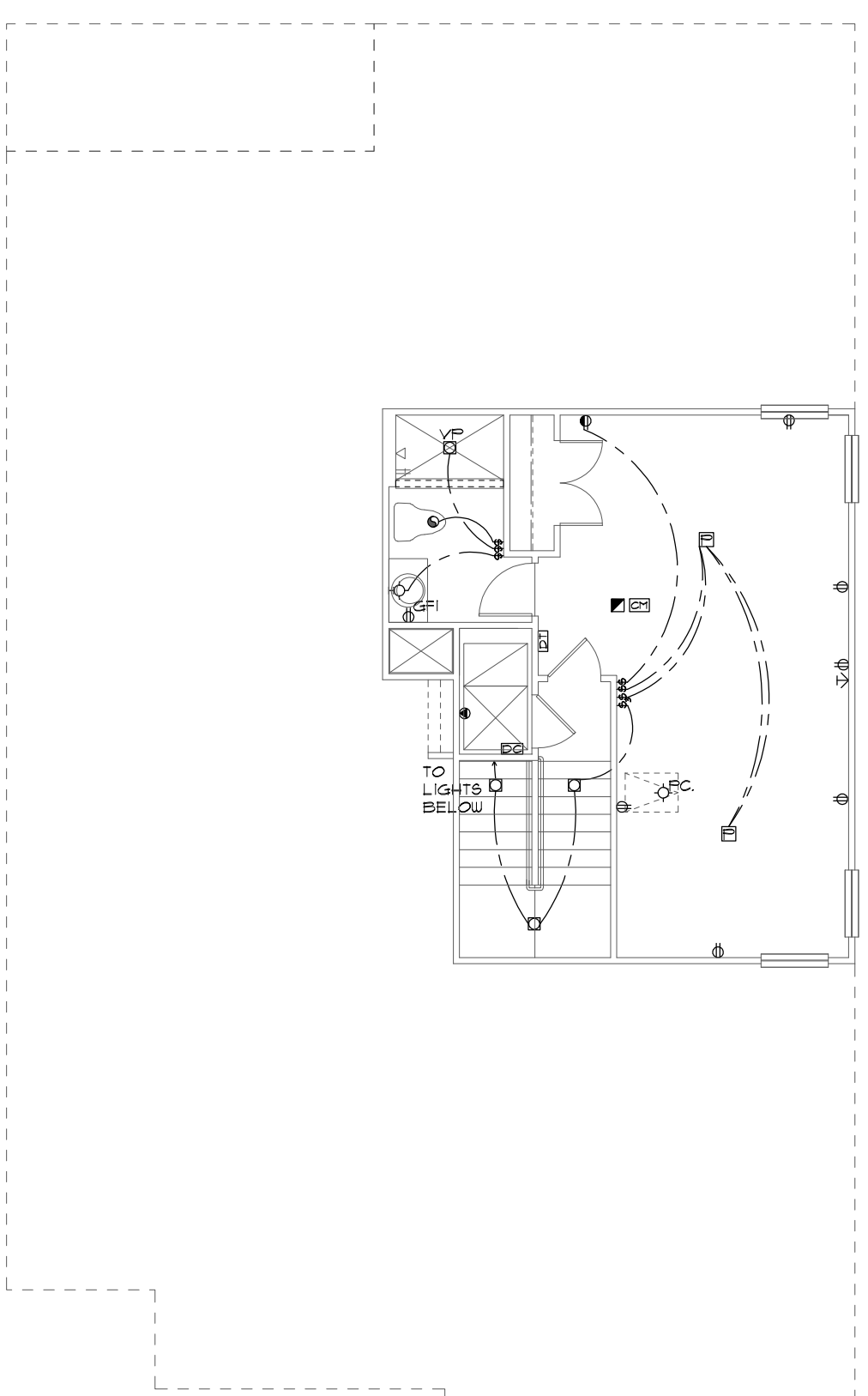
There are two types of concrete-encased electrodes: (1) steel reinforcing bars or rods which are not less than 1/4 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

ELECTRICAL LEGEND			
⊕	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊕	THREE WAY SWITCH	◀	OUTLET, PHONE
⊕	OUTLET 110-115	◻	INTERCOM
⊕	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊕	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR
⊕	OUT. 110-115, CLG. MOUNT.	⊞	CARBON MONOXIDE
⊕	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊕	SFCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊕	LIGHT FIXT., CLG. MTD.	⊞	EX. FAN/LIGHT COMBO
⊕	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊕	LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊕	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊕	LIGHT FIXT., PULL CHAIN	⊞	CEILING FAN, INSTALL
⊕	LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊕	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊕	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊕	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

ELECTRICAL PLAN
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)



NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

BEDROOM/ BATH OPTION

LOT: SPECIFIC INFORMATION

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1966
 MARGATE II - BONUS
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 10.1 OF 20 SHEETS

FLORIDA SERIES

Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
 PE 47509
 PHONE 407-721-2292

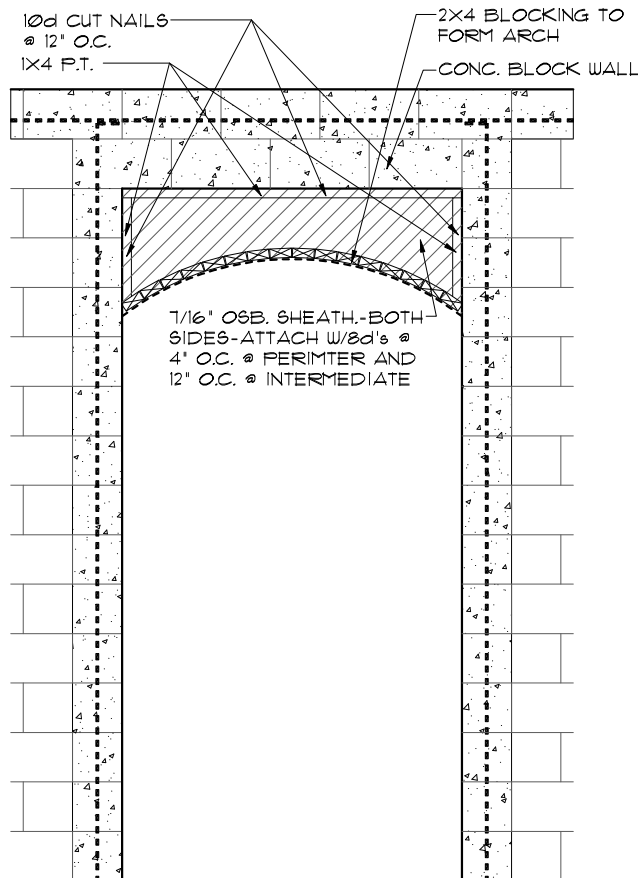
REVISIONS	BY
04-22-19	DAL

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 ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida 32811
 Phone: (407) 529 - 3000

Park Square HOMES

UPPER ELECTRICAL PLAN
 BONUS ROOM OPT.

1966
 MARGATE II - BONUS



4
IIA
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 1TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

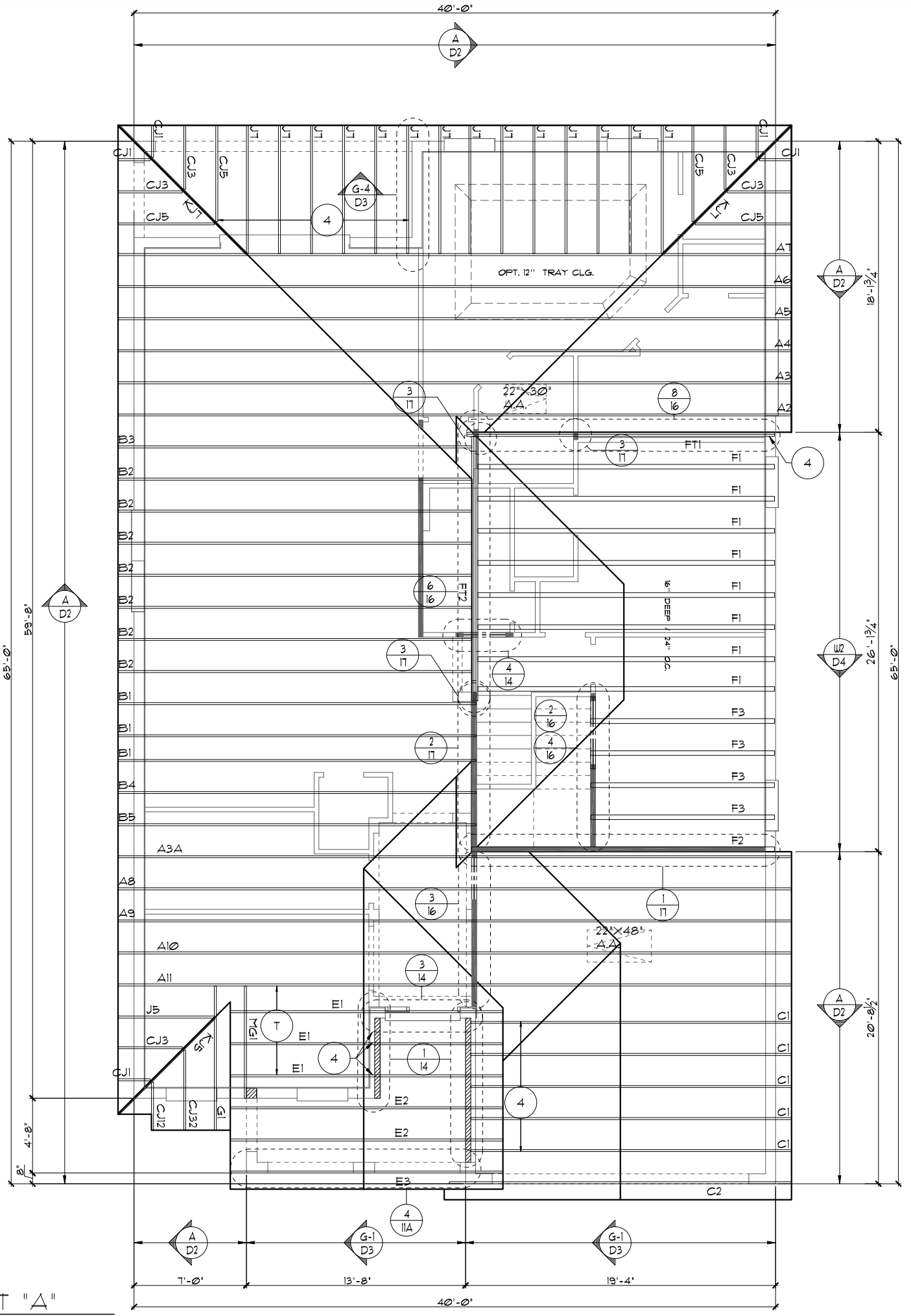
TOTAL VENTED SPACE: $\frac{3,055 \text{ SF.}}{300} = \underline{10.18 \text{ SF.}}$ NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL:----- **4.79 SF.**
 PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 SF.** /VENT.
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- **19.48 SF.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (**224 LF.** @ **0.087 SF.** VENTING PER LF.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**

- NOTES**
1. TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
 2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 1TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
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 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 1TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 at Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
 8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
 - LOMANCO : (2) 3 1/4" DIA. CIRCLES
 - MILLENNIUM METAL : 2 1/2" X 46" HOLE
 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



TRUSS LAYOUT "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

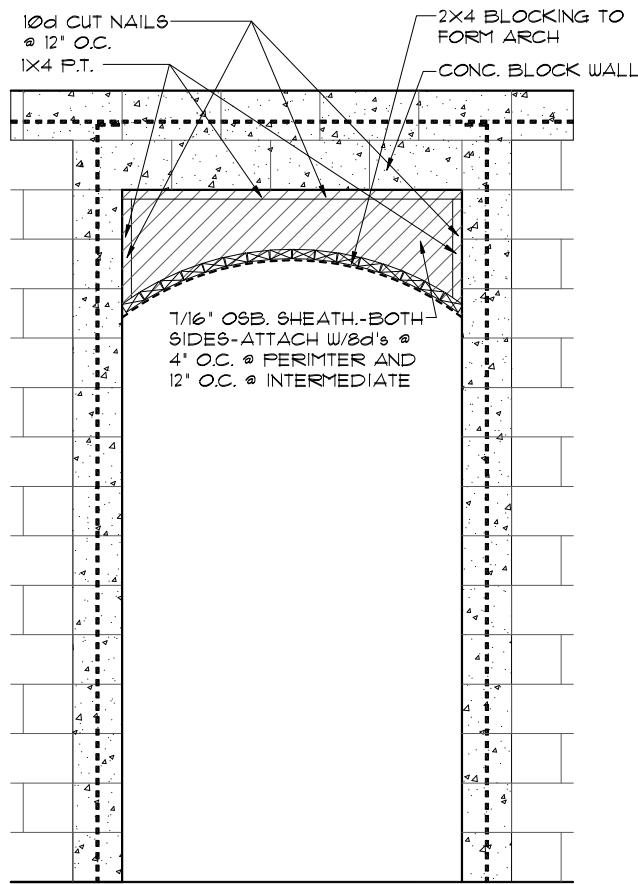
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--

Park Square HOMES

TRUSS LAYOUT

1966
MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
11A
OF 00 SHEETS



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4 DETAIL

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ATTIC VENTILATION CALCULATIONS

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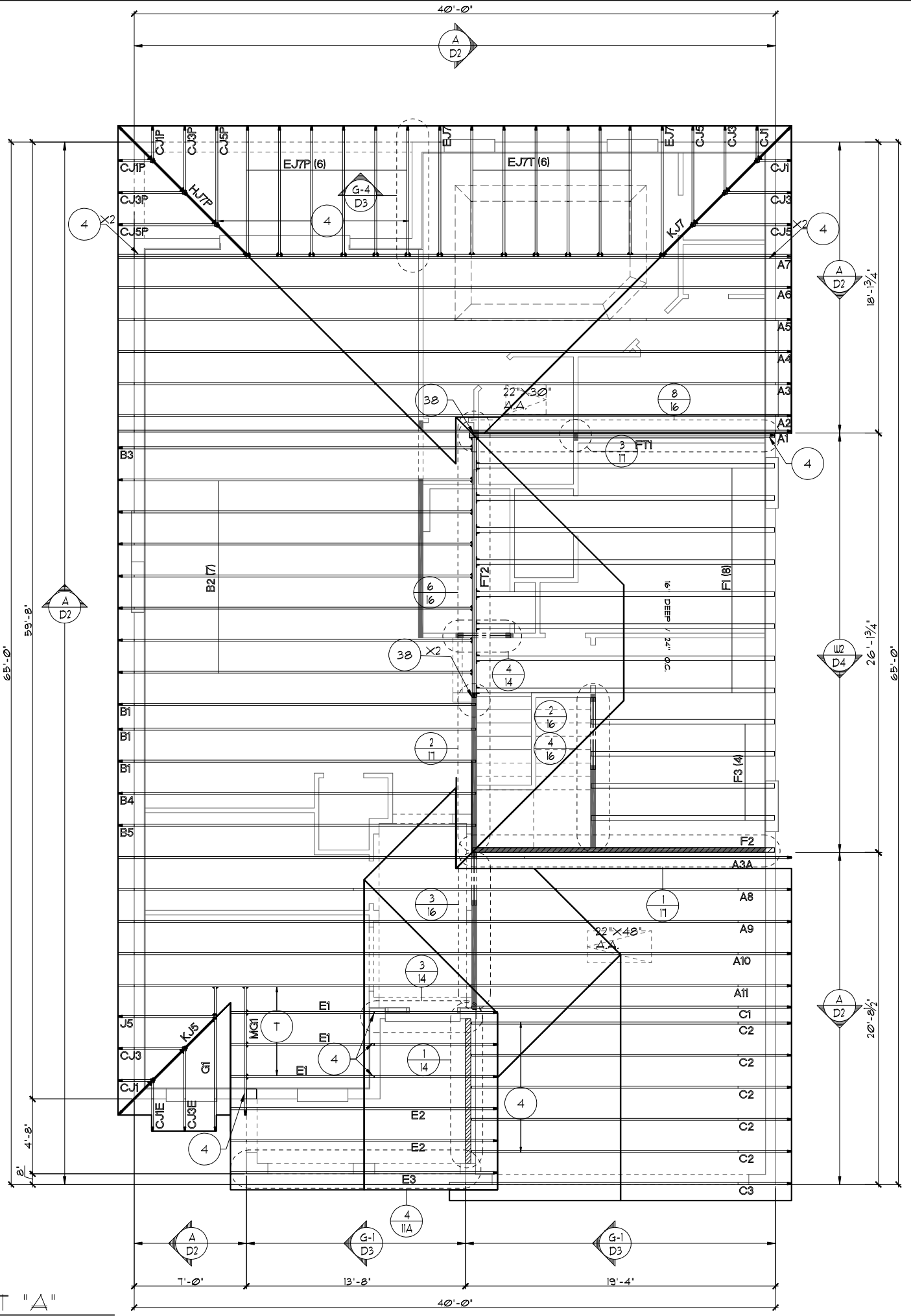
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: **3,055 S.F.** = **10.18 S.F.** NET FREE VENT. REQUIRED

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 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: **19.48 S.F.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (**224 L.F.** @ **0.087 S.F.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**



TRUSS LAYOUT "A"
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 SHEET 11A OF 20 SHEETS

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04-22-19	DAL

Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
 PE 47509
 PHONE 407-721-2292

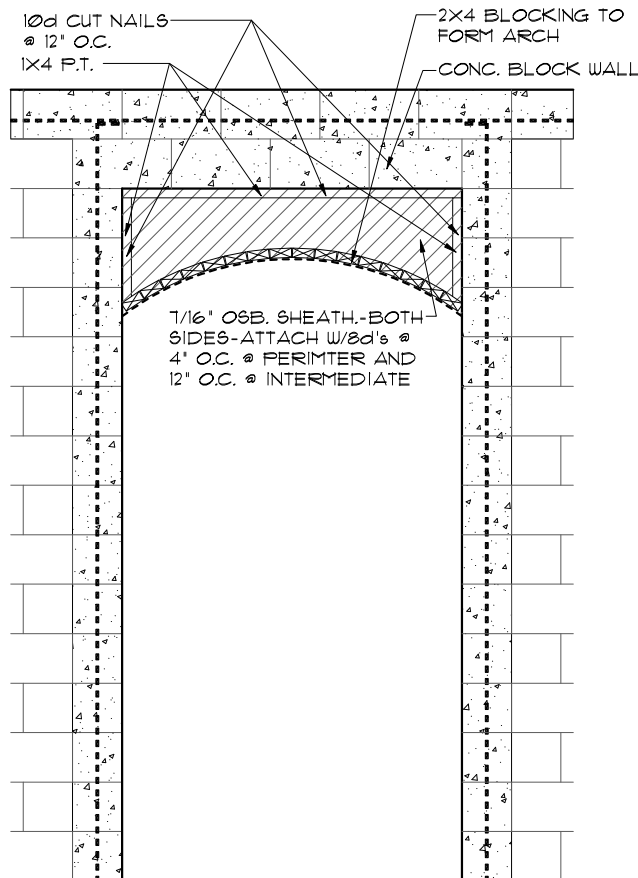
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 Phone: (407) 528 - 3000

Park Square HOMES

TRUSS LAYOUT

1966

MARGATE II - BONUS



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4 DETAIL

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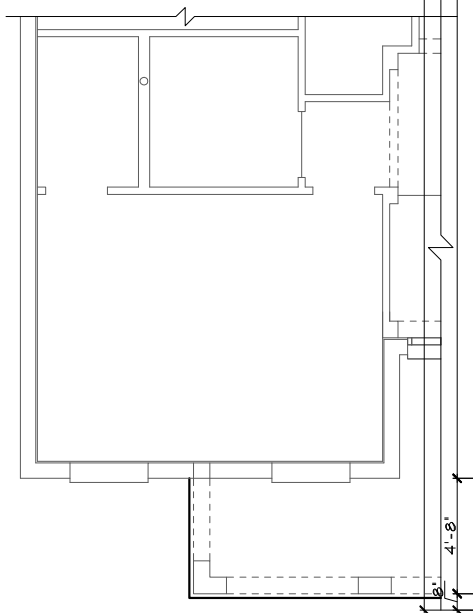
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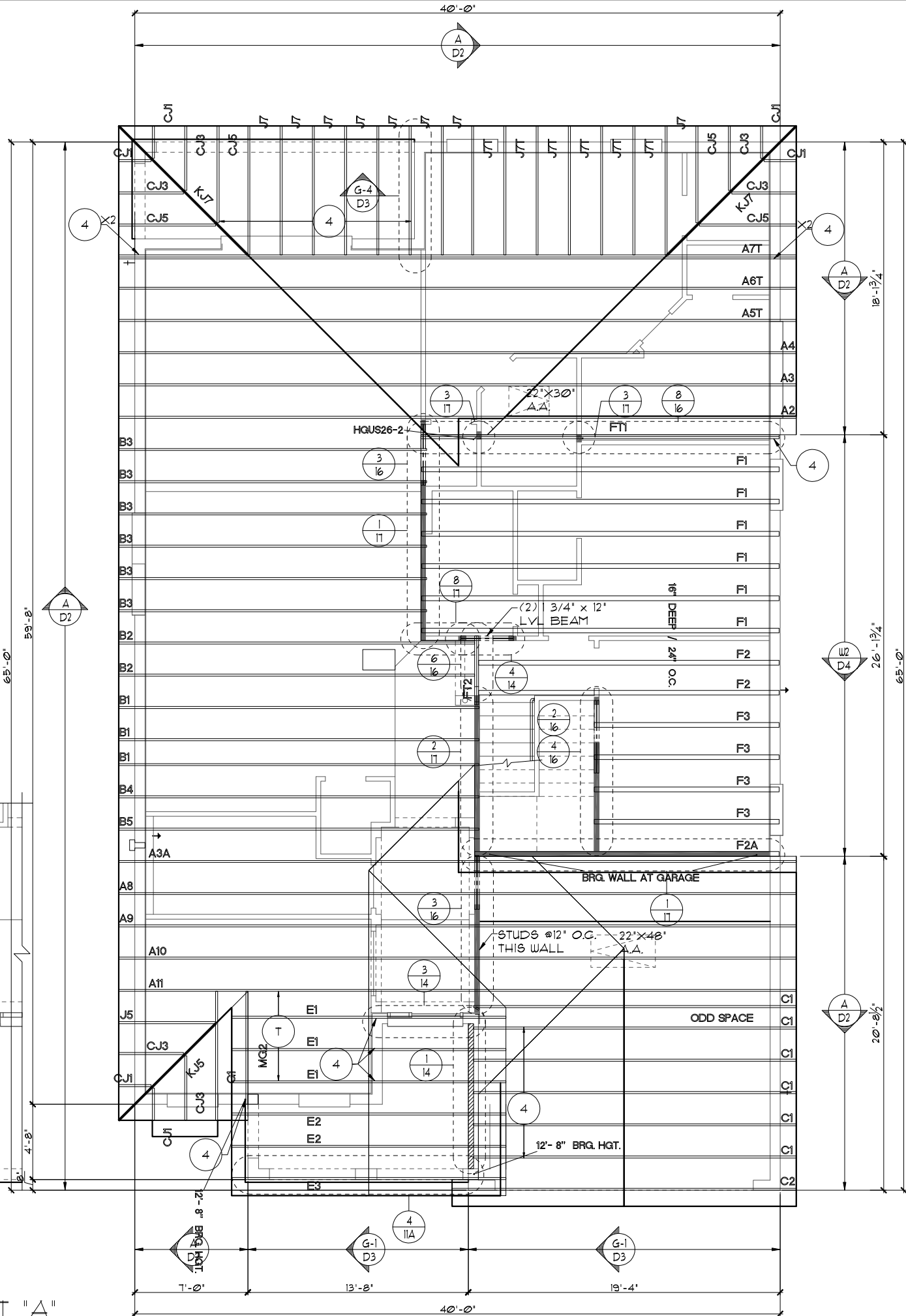
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 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

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 (**224 LF.** @ **0.087 SF.** VENTING PER LF.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**

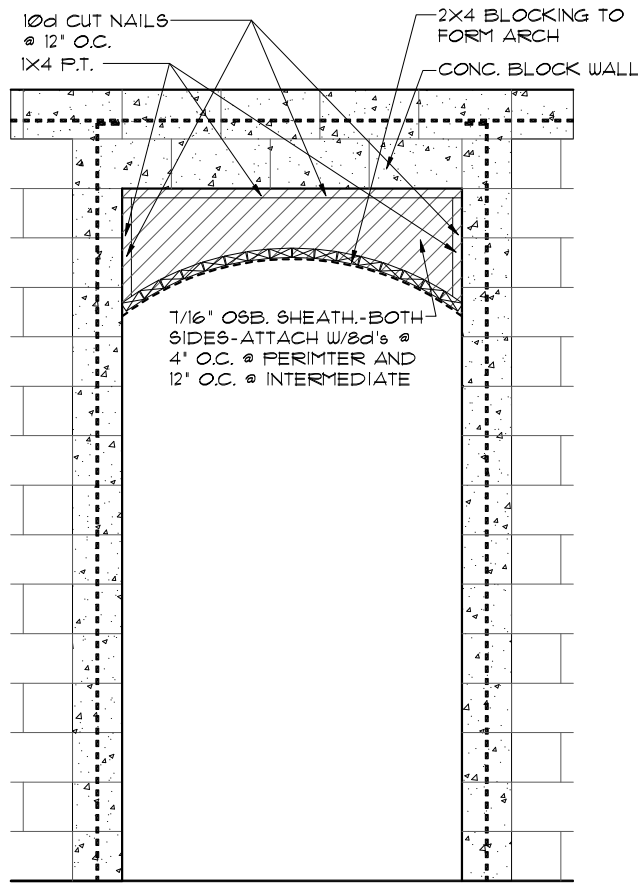


TRUSS LAYOUT "A"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



LOT: SPECIFIC INFORMATION
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 A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vnealand Road, Suite 200
 Orlando, Florida, 32811
 Phone: (407) 529 - 3000
 Engineering By: MICHAEL A. THOMPSON
 TEG, INC. PE 47509
 PHONE 407-721-2292
 1966
 MARGATE II - BONUS
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 11A OF 20 SHEETS

REVISIONS	BY
04-22-19	DAL



4 DETAIL
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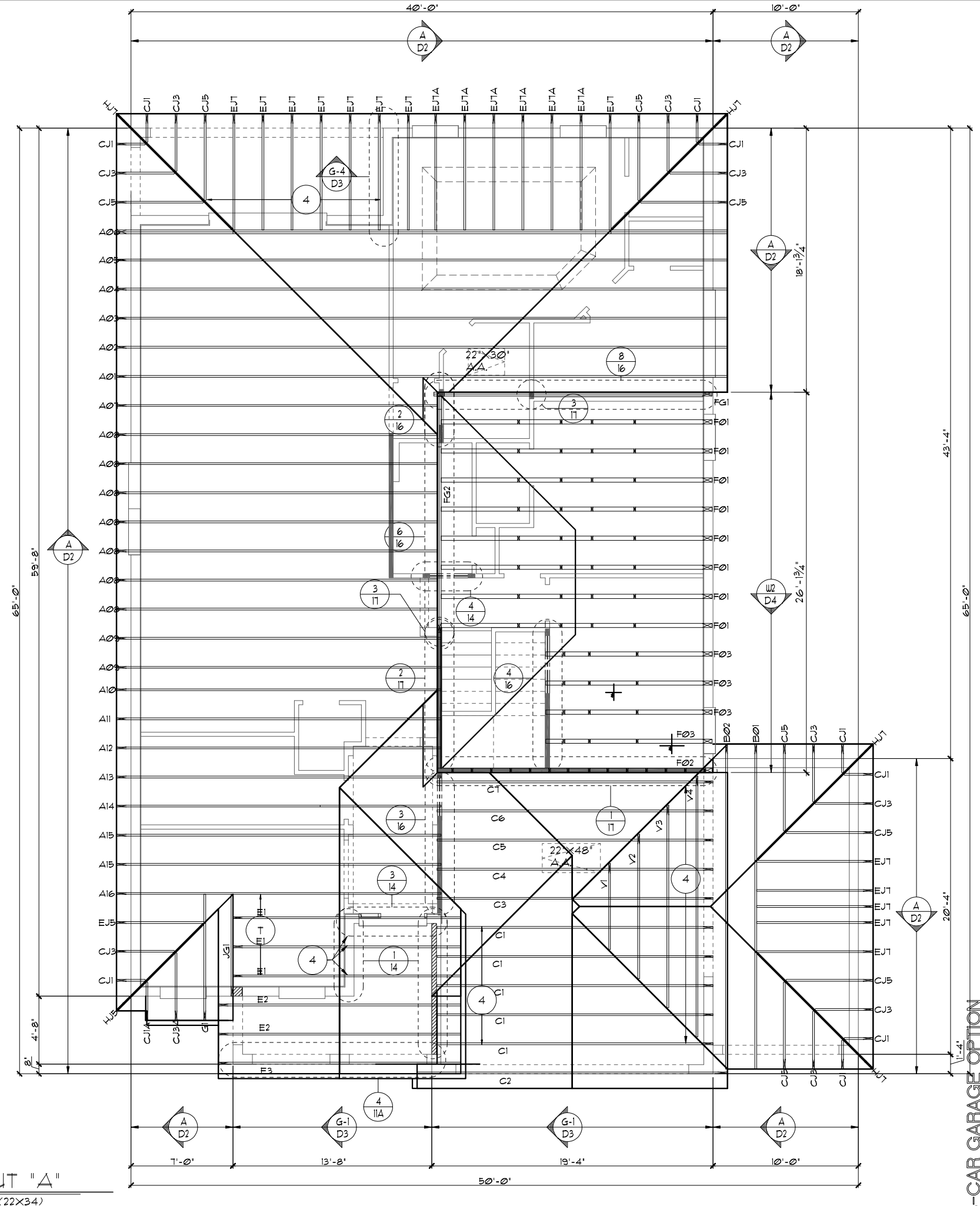
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TRUSS LAYOUT "A"
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3-CAR GARAGE OPTION
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

1966
MARGATE II - BONUS

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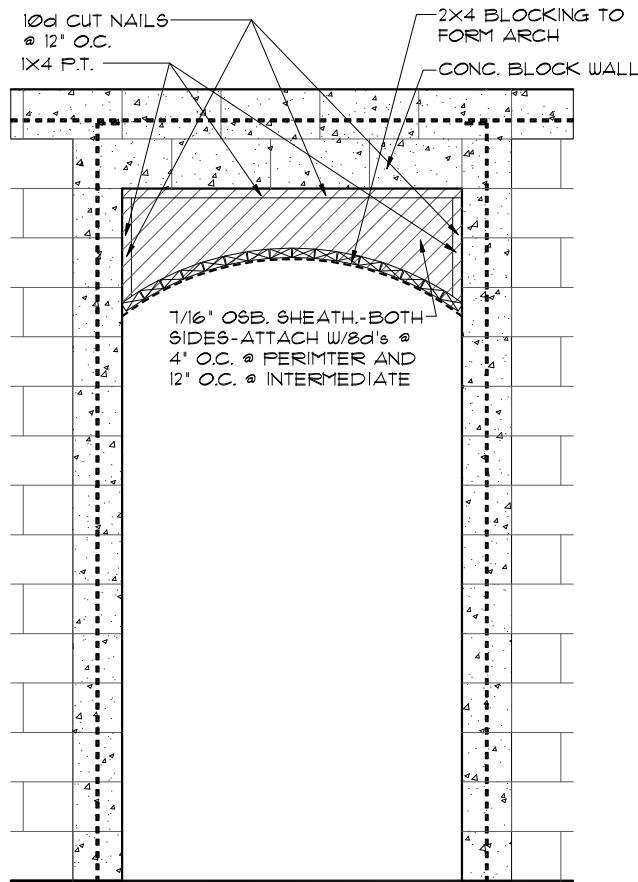
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TRUSS LAYOUT

REVISIONS	BY
04-22-19	DAL

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
11A.3
OF 20 SHEETS



4
IIA
1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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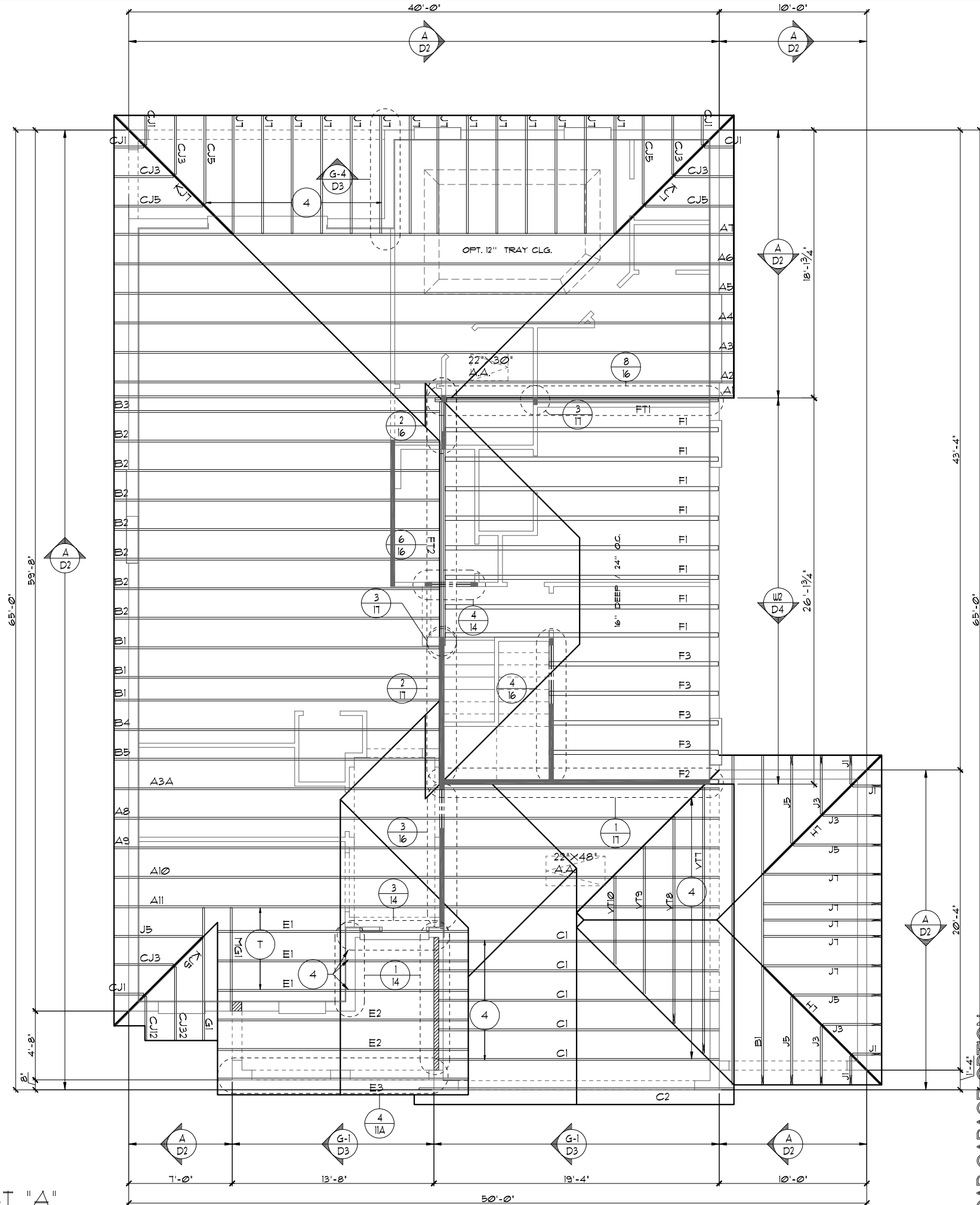
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3-CAR GARAGE OPTION

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LOT: SPECIFIC INFORMATION

1966

MARGATE II - BONUS

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RDC
JOB	N/A
SHEET	11A.3
OF	20 SHEETS

FLORIDA SERIES

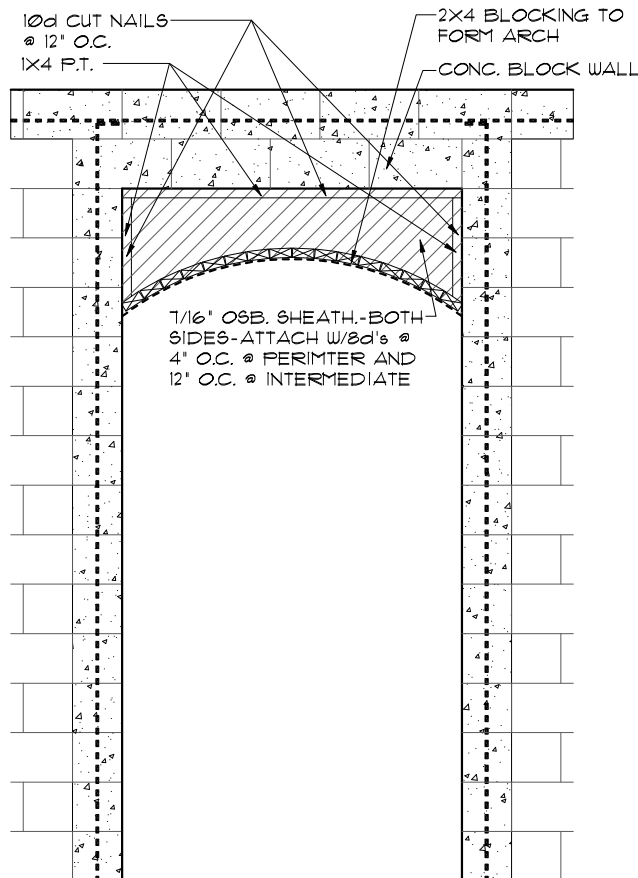
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Park Square HOMES

TRUSS LAYOUT

REVISIONS	BY
04-22-19	DAL



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 - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTC A BC81.1.
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 - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 at Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
 - OFF RIDGE VENTS MAXIMUM OPENING SIZES:
 - LOMANCO : (2) 9 1/4" DIA. CIRCLES
 - MILLENNIUM METAL : 2 1/2" X 46" HOLE
 - ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1

4 11B DETAIL

1/2"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

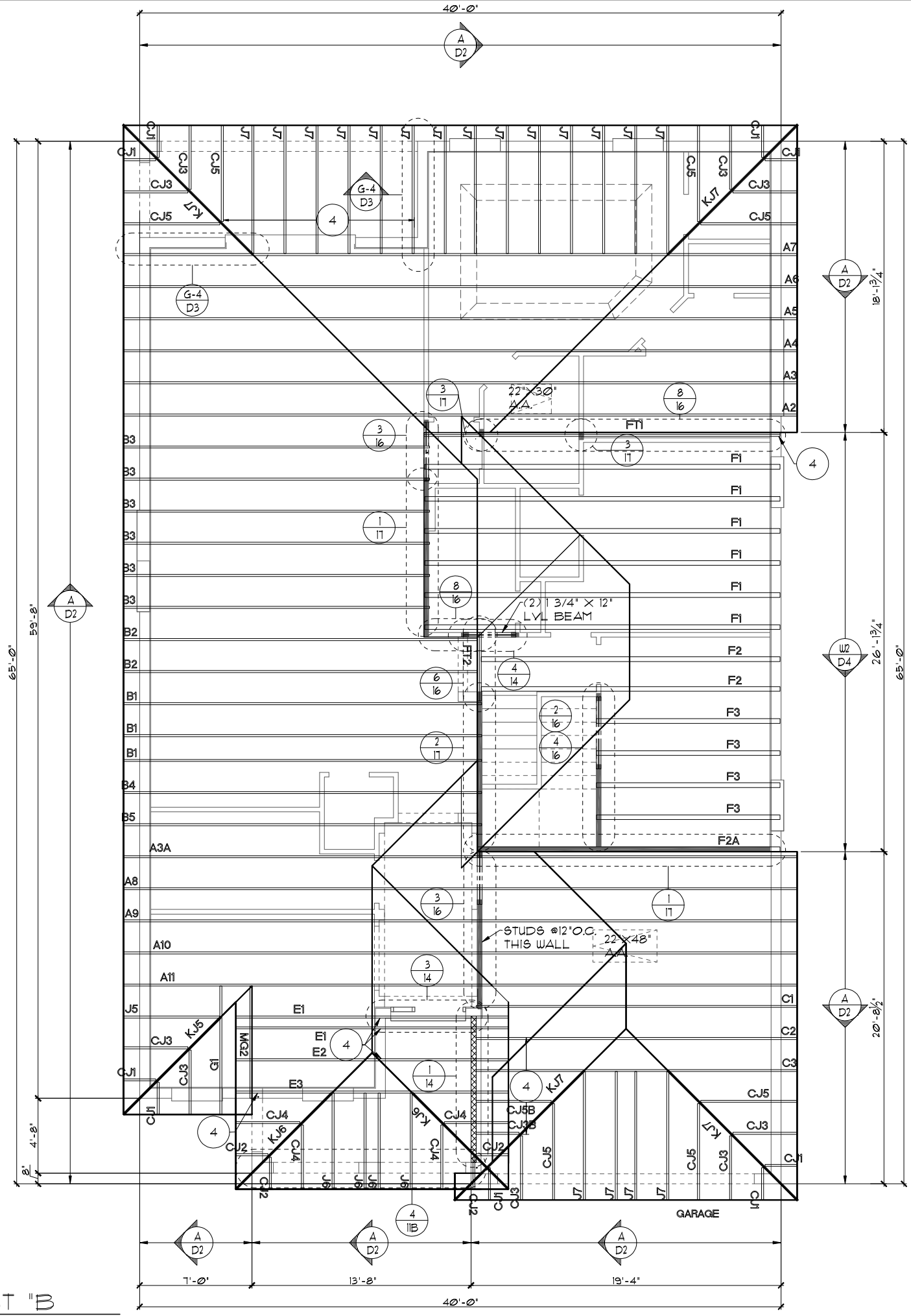
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,055 \text{ S.F.}}{300} = 10.18 \text{ S.F.}$ NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL:----- 4.79 S.F.
PROVIDED W/OFF RIDGE VENTS: 6 VENTS @.798 S.F./VENT.
(VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- 19.48 S.F.
PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
(224 L.F. @ 0.087 S.F. VENTING PER L.F.)

UPPER PORTION PERCENTAGE: 47%
LOWER PORTION PERCENTAGE: 53%



TRUSS LAYOUT "B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

1966

MARGATE II - BONUS

FLORIDA SERIES

Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292

A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vneiland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529 - 3000

Park Square HOMES

TRUSS LAYOUT

REVISIONS	BY
04-22-19	DAL

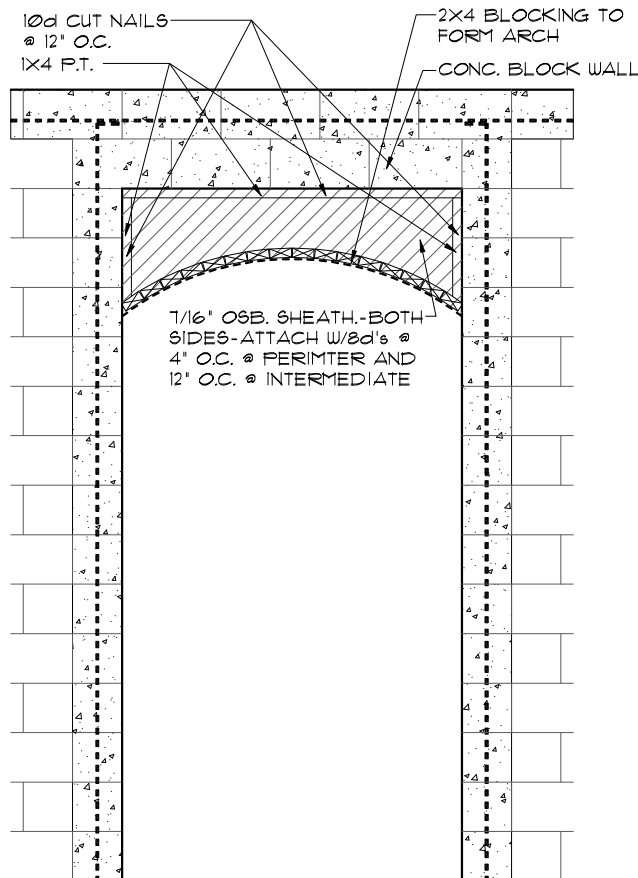
DATE 04-05-2017

SCALE AS NOTED

DRAWN RDC

JOB N/A

SHEET 11B OF 20 SHEETS



- ### NOTES
- TYPICAL ROOF GABLE OVERHANG TO BE 12' UNLESS OTHERWISE NOTED.
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4 DETAIL

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ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

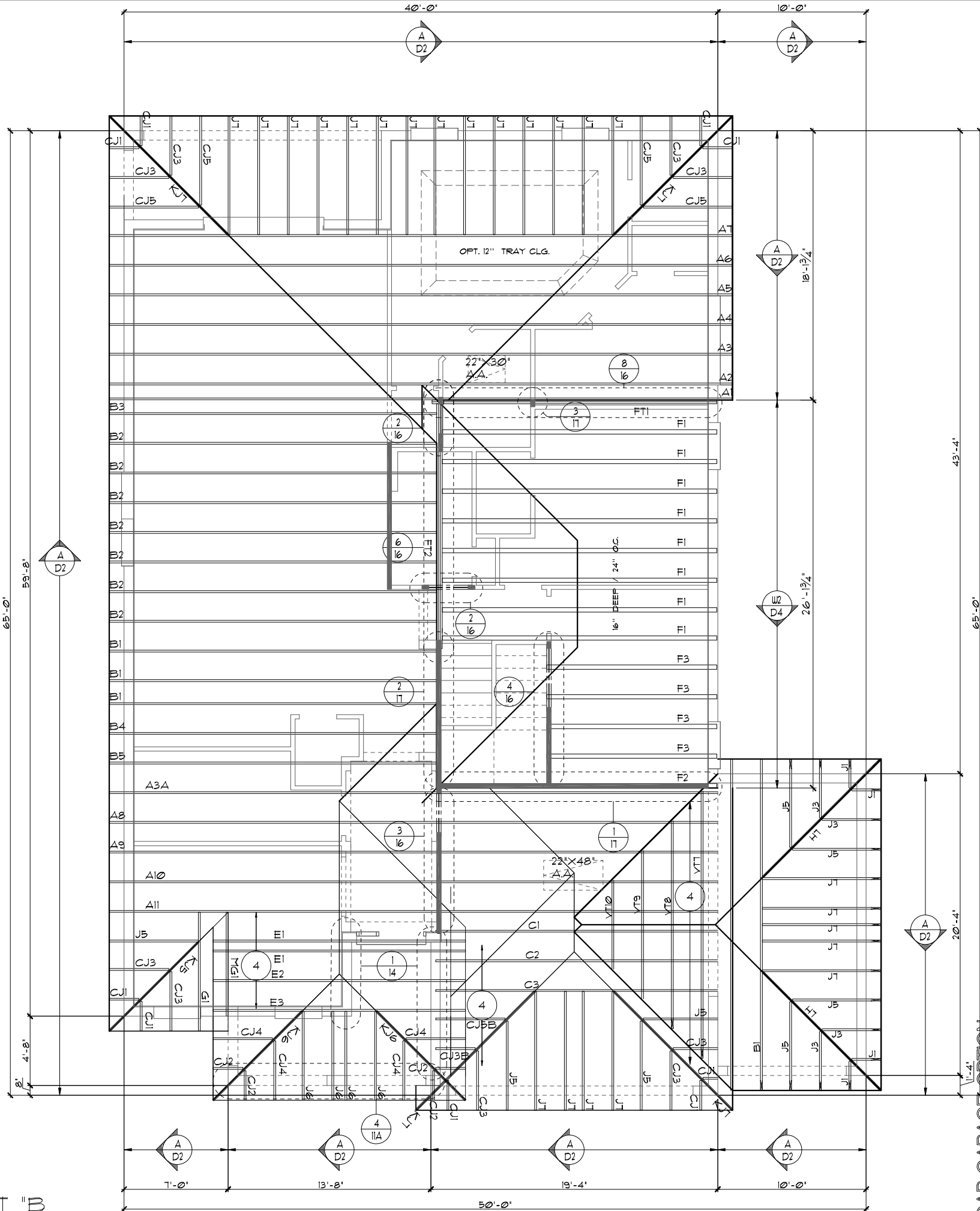
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,055 \text{ S.F.}}{300} = 10.18 \text{ S.F.}$ NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL: ----- 4.79 S.F.
 PROVIDED W/OFF RIDGE VENTS: 6 VENTS @ 798 S.F. / VENT.
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- 19.48 S.F.
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (224 L.F. @ 0.087 S.F. VENTING PER L.F.)

UPPER PORTION PERCENTAGE: 47%
 LOWER PORTION PERCENTAGE: 53%



TRUSS LAYOUT "B"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

3-CAR GARAGE OPTION
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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04-22-19	DAL

Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
 PE 47509
 PHONE 407-721-2292

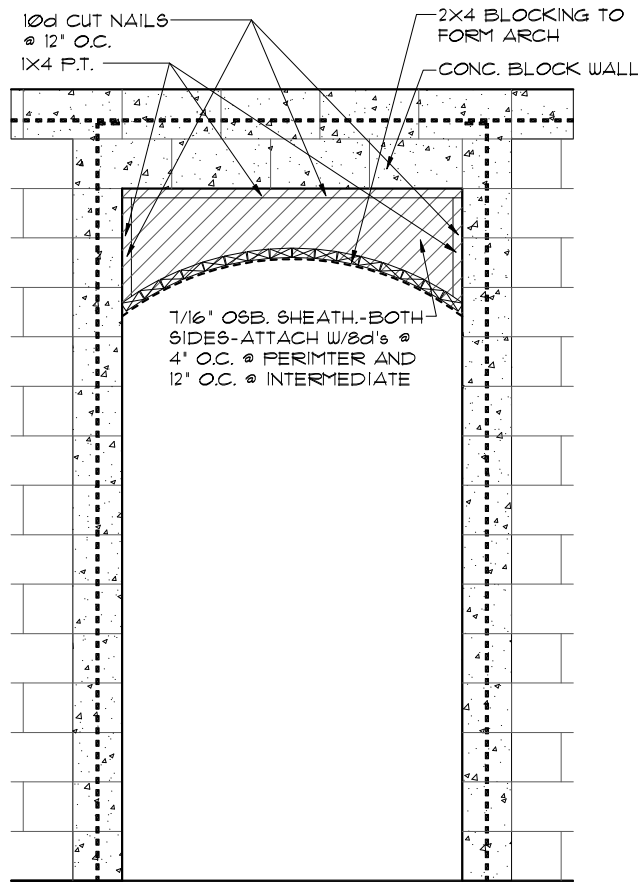
A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vnealand Road, Suite 200
 Orlando, Florida, 32811
 Phone: (407) 529 - 3000

TRUSS LAYOUT

1966

MARGATE II - BONUS

DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 11B.3
 OF 20 SHEETS



4 DETAIL
 1/2"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 1TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

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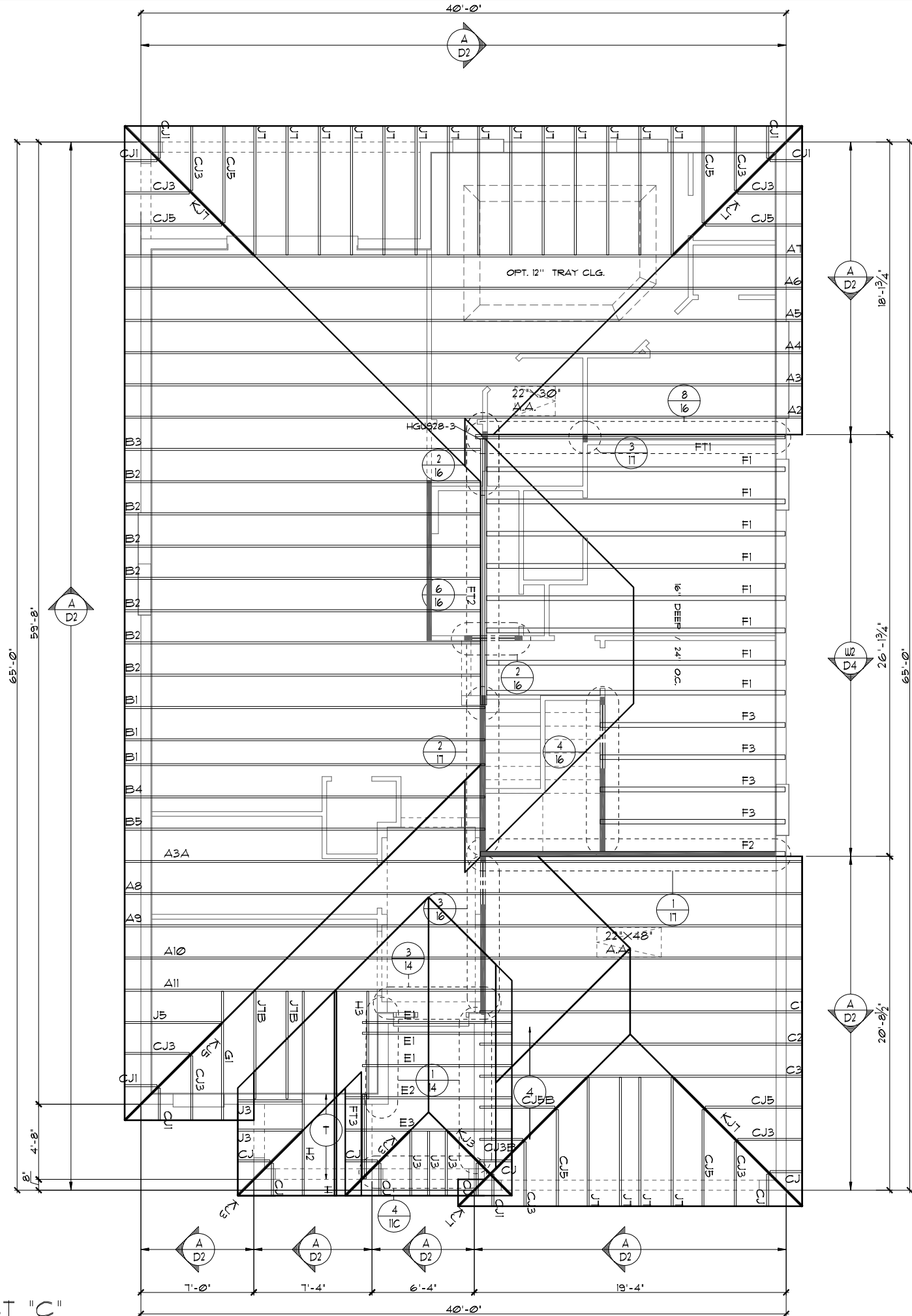
UPPER PORTION VENTILATION TOTAL:----- **4.79 S.F.**
 PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 S.F.** /VENT.
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- **19.48 S.F.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (**224 L.F.** @ **0.087 S.F.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**

NOTES

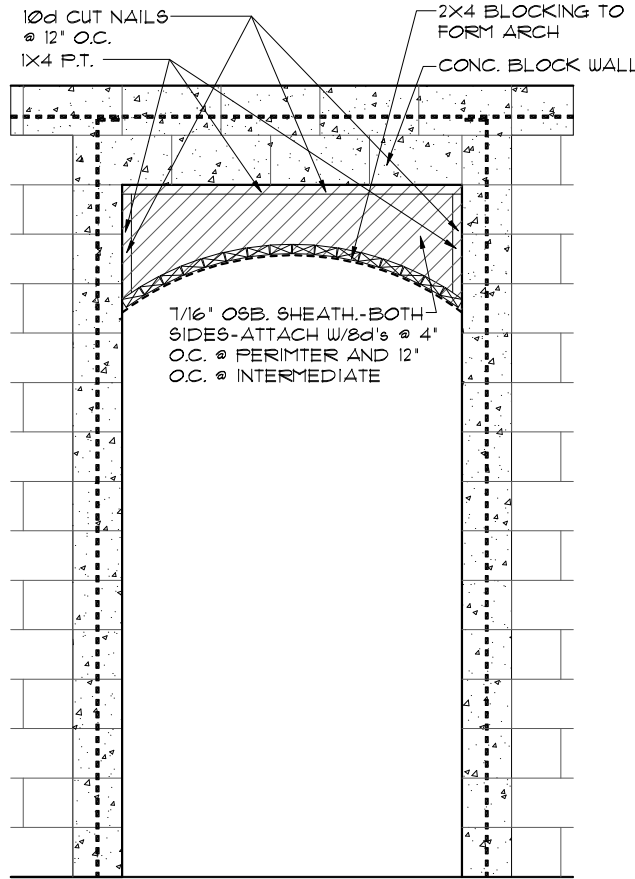
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 - MILLENNIUM METAL : 2 1/2" X 46" HOLE
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TRUSS LAYOUT "C"
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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 11C OF 20 SHEETS

FLORIDA SERIES	
Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292	REVISIONS BY 04-22-19 DAL
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529 - 3000	
Park Square HOMES	
TRUSS LAYOUT	
1966	
MARGATE II - BONUS	
DATE 04-05-2017	
SCALE AS NOTED	
DRAWN RDC	
JOB N/A	
SHEET	



4
11C
1/2'-1'-0" (11X17) 1'-1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 1TH EDITION R305. MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: **3,055 S.F.** = **10.18 S.F.** NET FREE VENT. REQUIRED

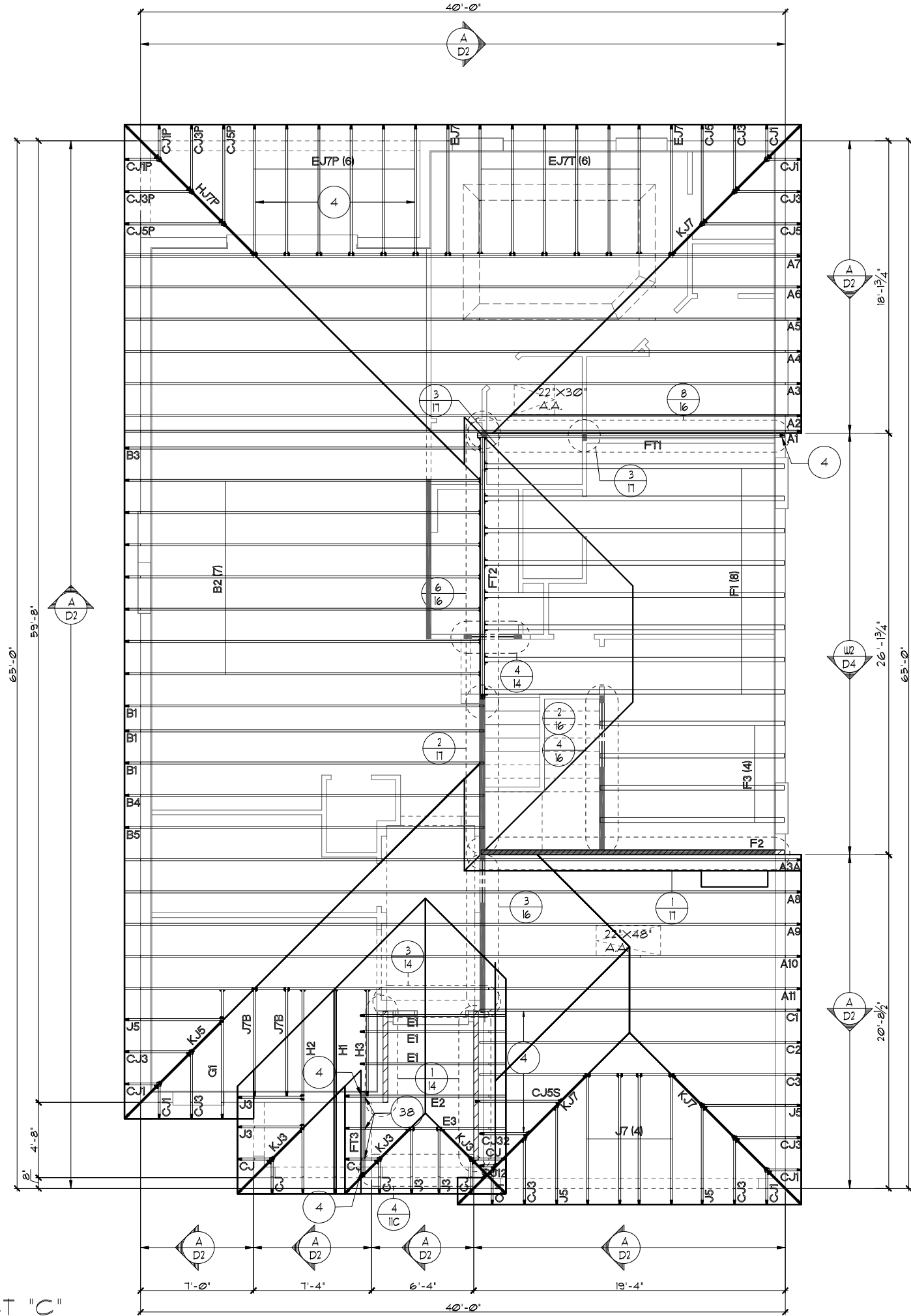
UPPER PORTION VENTILATION TOTAL:----- **4.79 S.F.**
PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 S.F.** /VENT.
(VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- **19.48 S.F.**
PROVIDED W/ VENTILATED SOFFITS @ EAVE:---
(**224 L.F.** @ **0.087 S.F.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **47%**
LOWER PORTION PERCENTAGE: **53%**

NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 1TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
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9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



TRUSS LAYOUT "C"
1/8'-1'-0" (11X17) 1/4'-1'-0" (22X34)

FLORIDA SERIES

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

Engineering By:
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Park Square HOMES

TRUSS LAYOUT

1966

MARGATE II - BONUS

DATE 04-05-2017

SCALE AS NOTED

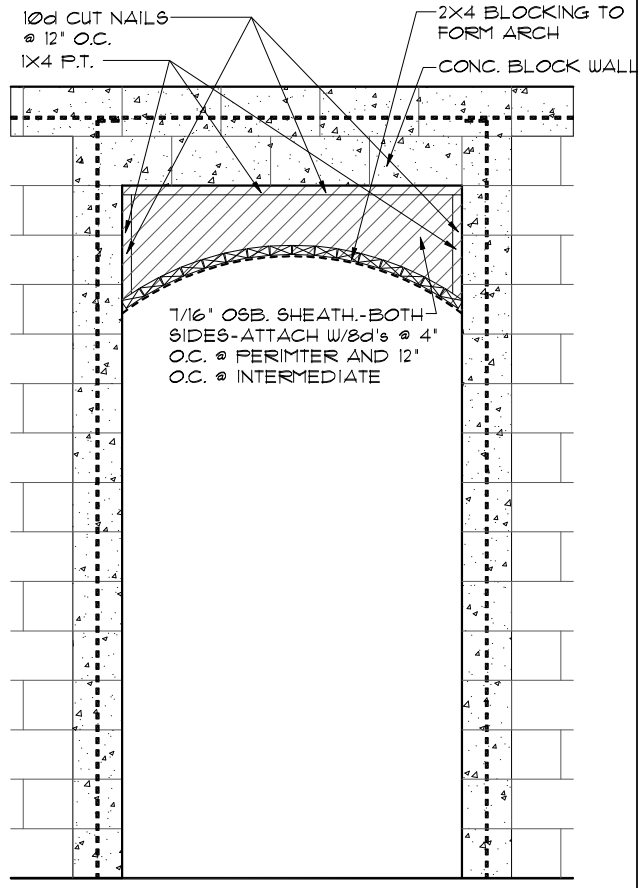
DRAWN RDC

JOB N/A

SHEET

11C
OF 20 SHEETS

REVISIONS	BY
04-22-19	DAL



4 DETAIL
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

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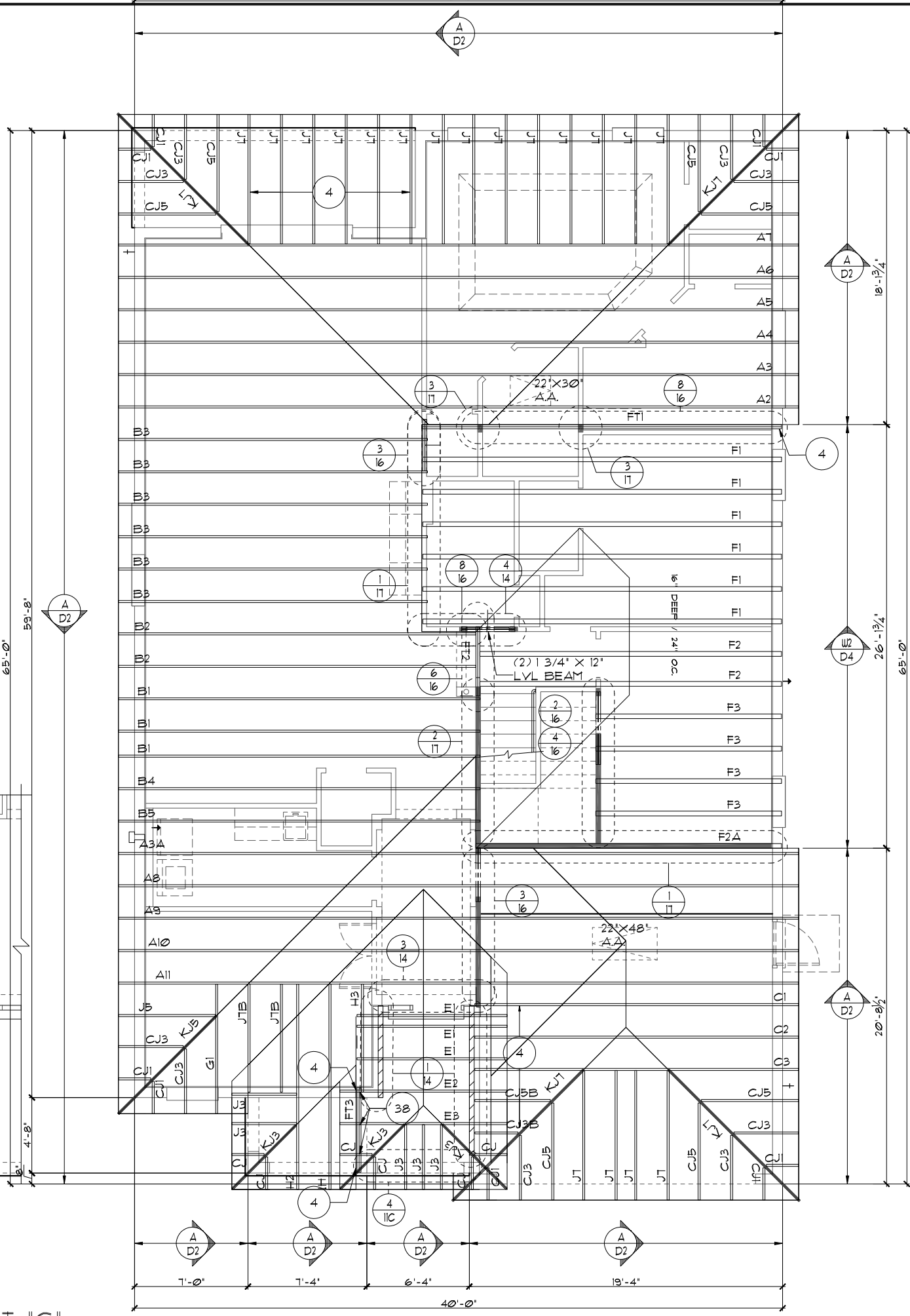
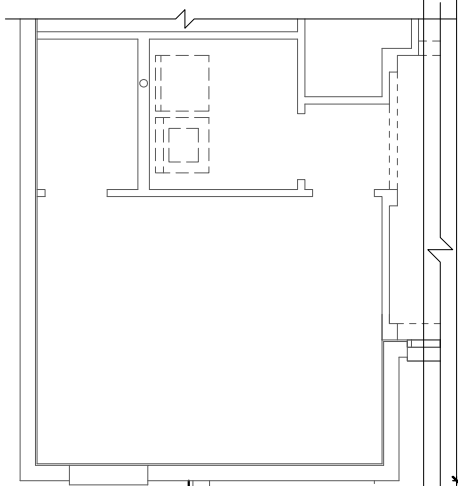
TOTAL VENTED SPACE: $\frac{3,055 \text{ SF.}}{300} = 10.18 \text{ SF.}$ NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL:----- **4.79 SF.**
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 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- **19.48 SF.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (**224 LF.** @ **0.087 SF./VENTING PER LF.**)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**

- NOTES**
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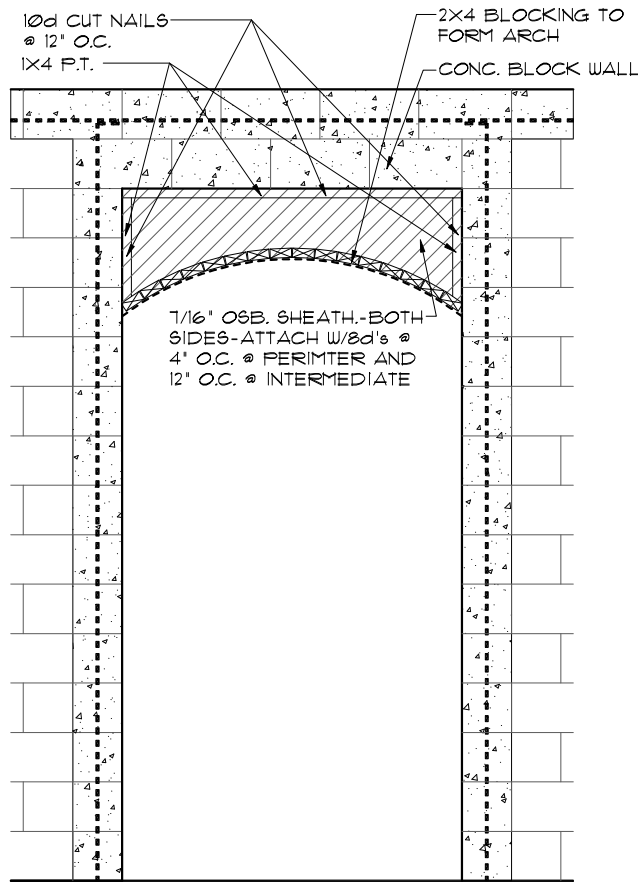
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LOT: SPECIFIC INFORMATION
 1966
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 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 11C OF 00 SHEETS

FLORIDA SERIES
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.
 5200 Vineland Road, Suite 200
 Orlando, Florida 32811
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REVISIONS	BY
04-22-19	DAL

Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
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Park Square HOMES
 TRUSS LAYOUT



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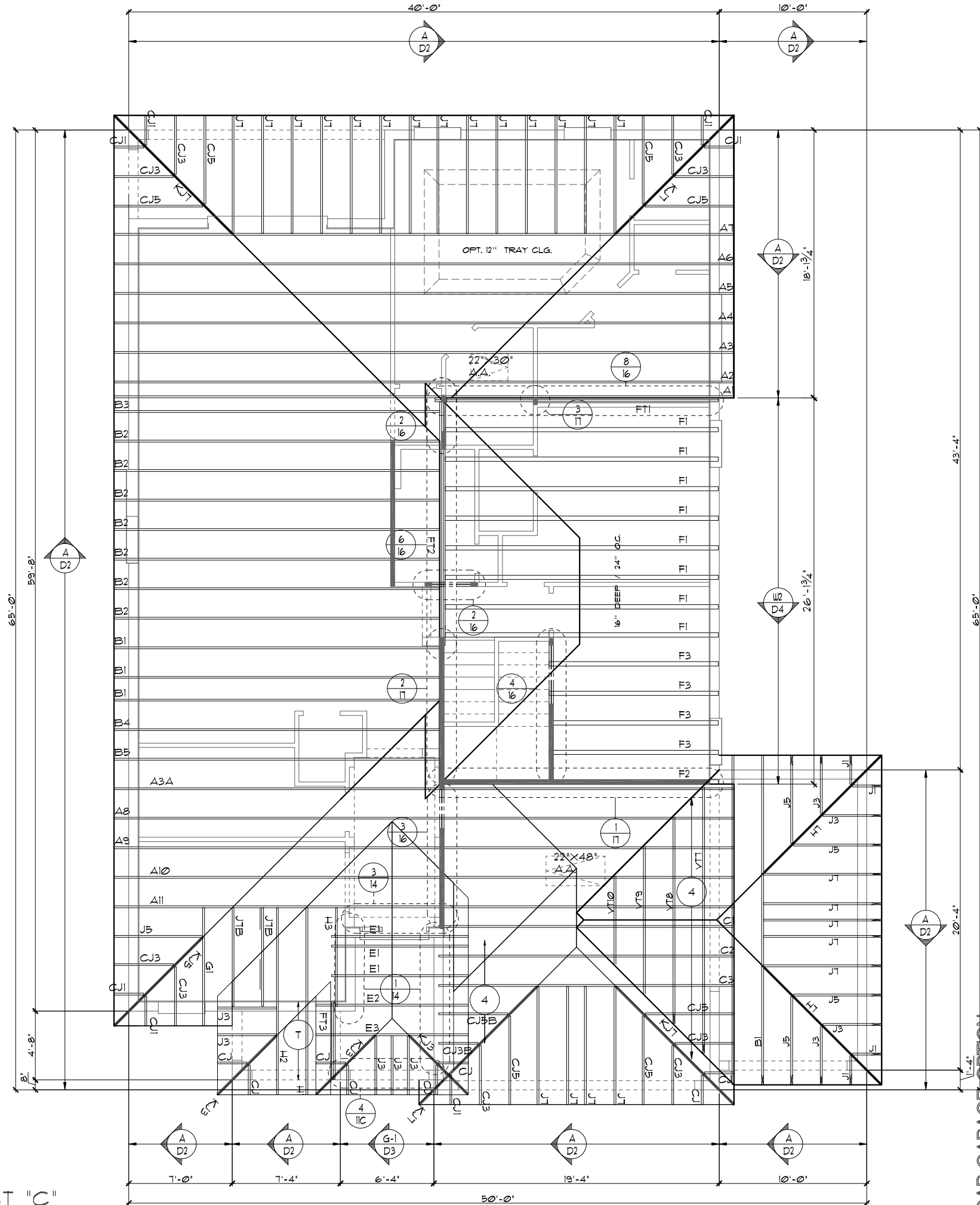
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UPPER PORTION VENTILATION TOTAL: $\frac{4.79 \text{ S.F.}}{6 \text{ VENTS @ } 798 \text{ S.F. / VENT.}}$ PROVIDED W/OFF RIDGE VENTS: (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: $\frac{19.48 \text{ S.F.}}{224 \text{ L.F. @ } 0.087 \text{ S.F. VENTING PER L.F.}}$ PROVIDED W/ VENTILATED SOFFITS @ EAVE---

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LOWER PORTION PERCENTAGE: 53%



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1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

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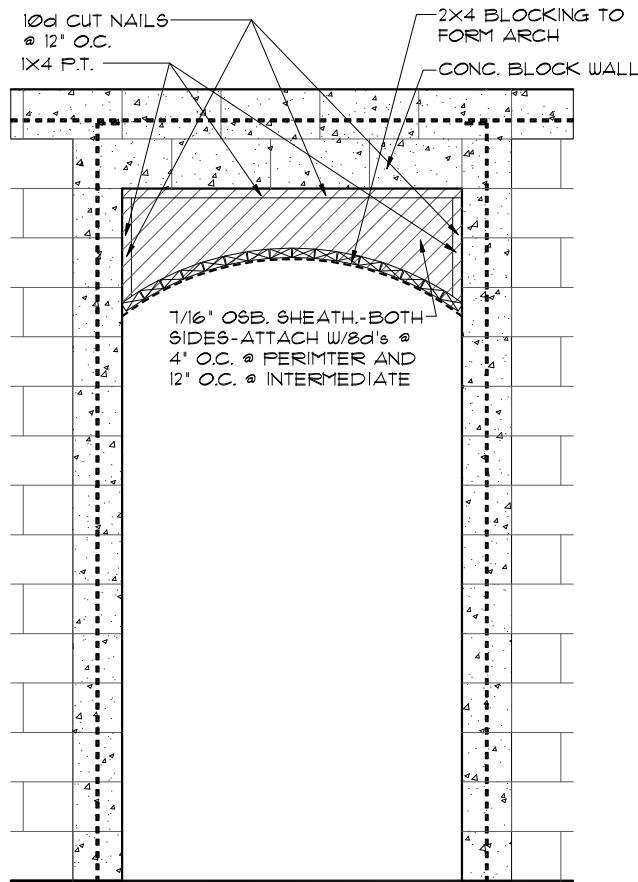
Park Square HOMES

TRUSS LAYOUT

1966

MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET 11C.3 OF 00 SHEETS



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 - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BC61.1.
 - REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
 - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 at Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
 - OFF RIDGE VENTS MAXIMUM OPENING SIZES:
 - LOMANCO : (2) 9 1/4" DIA. CIRCLES
 - MILLENNIUM METAL : 2 1/2" X 46" HOLE
 - ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1

4 DETAIL

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

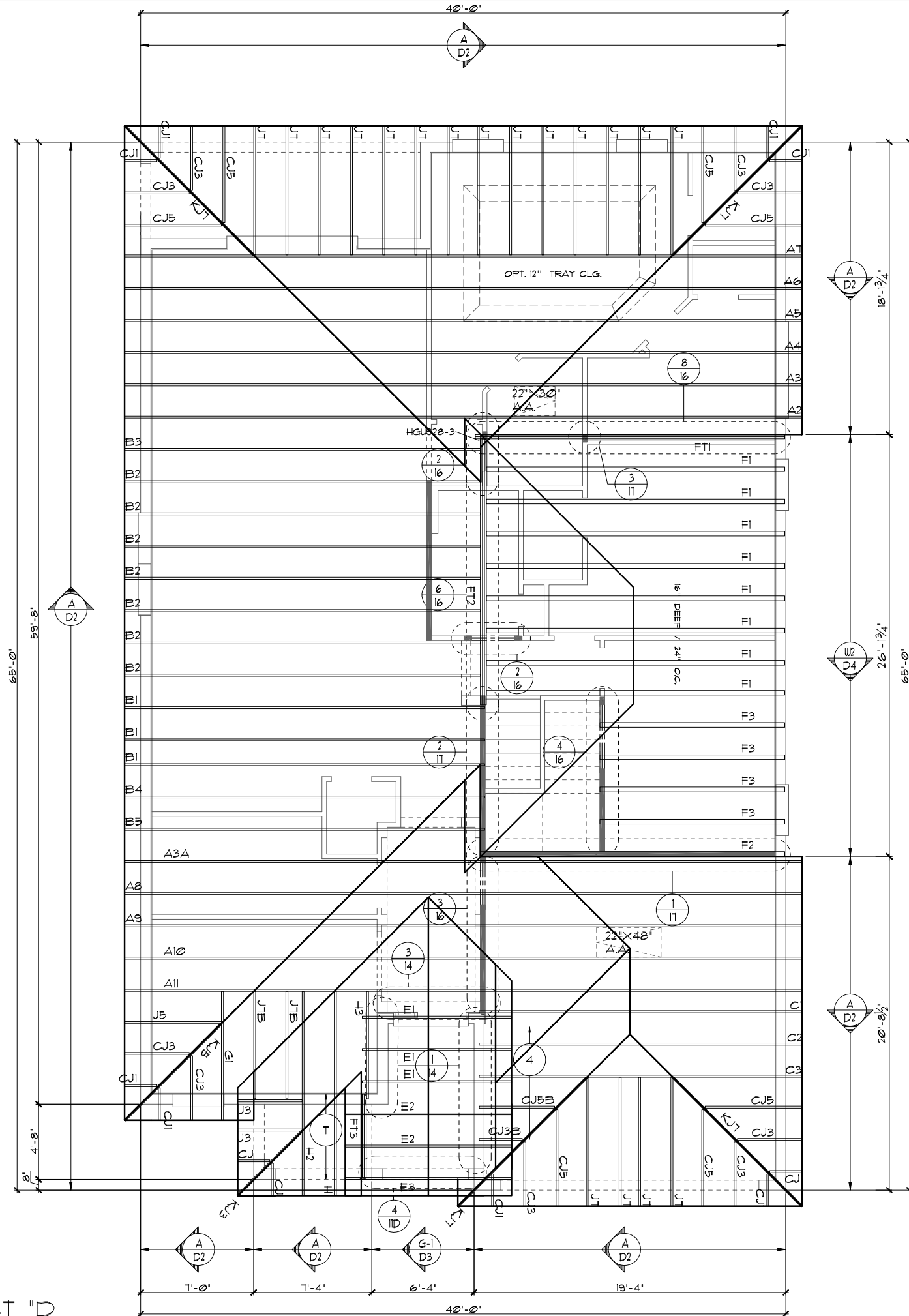
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,055 \text{ S.F.}}{300} = 10.18 \text{ S.F.}$ NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL: ----- **4.79 S.F.**
 PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 S.F.** / VENT.
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- **19.48 S.F.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
 (**224 L.F.** @ **0.087 S.F.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**



TRUSS LAYOUT "D"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

TRUSS LAYOUT

MARGATE II - BONUS

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RDC
JOB	N/A
SHEET	11D
OF	20 SHEETS

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Phone: (407) 529 - 3000

Park Square
HOMES

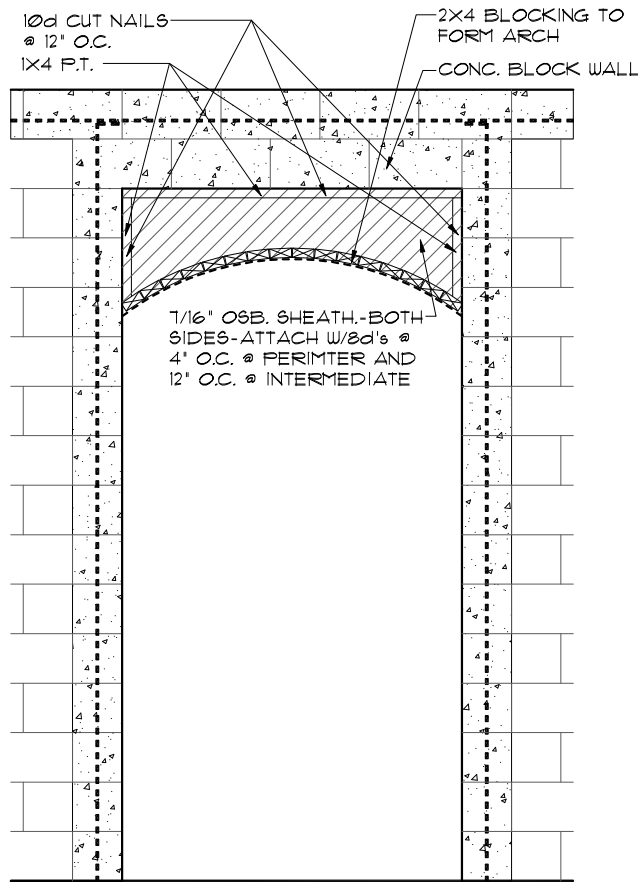
1966

1966
MARGATE II - BONUS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

REVISIONS BY

04-22-19	DAL
----------	-----



4 **DETAIL**
1/2"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ATTIC VENTILATION CALCULATIONS

PER FBC2020 1TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,055 \text{ SF.}}{300} = 10.18 \text{ SF.}$ NET FREE VENT. REQUIRED

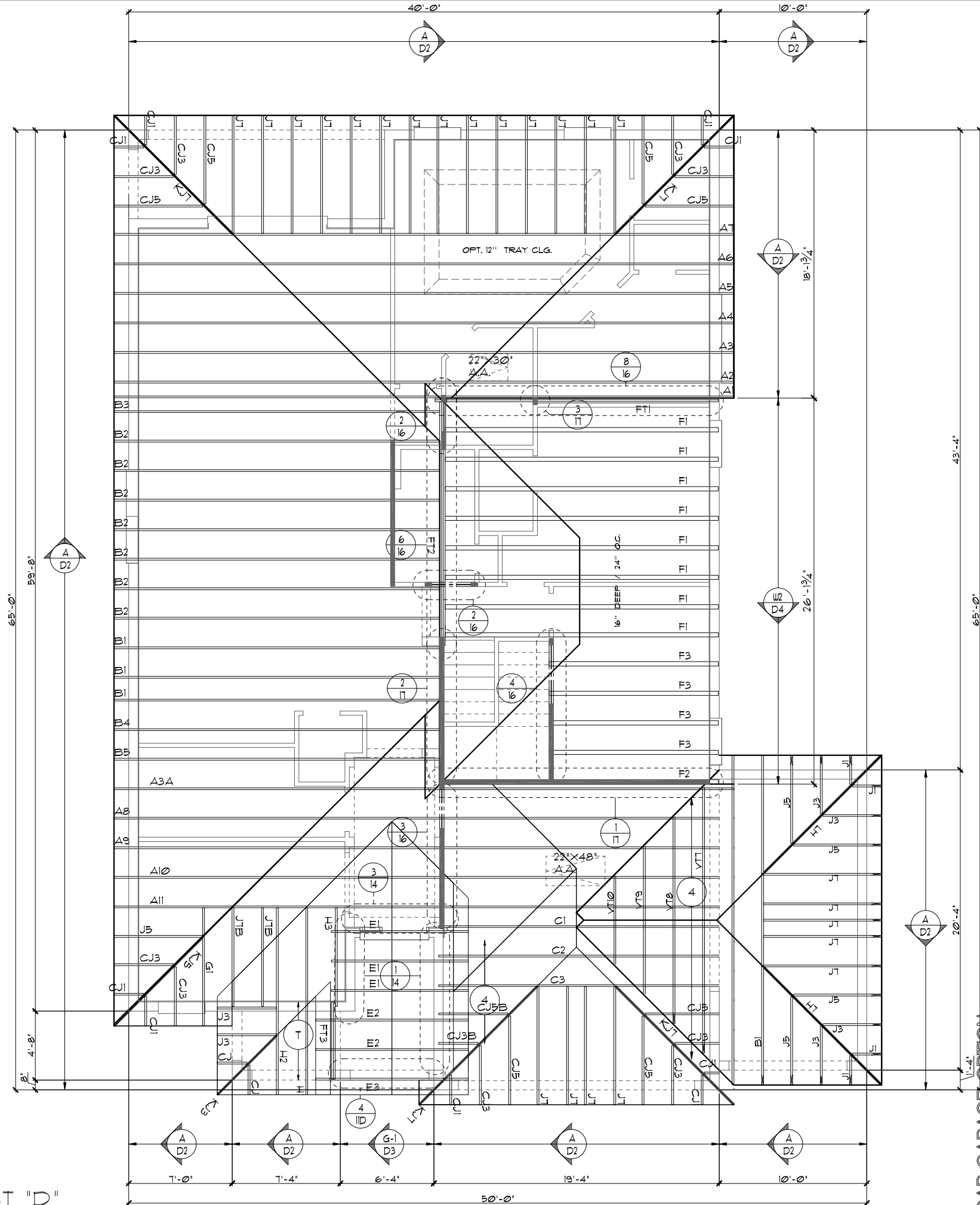
UPPER PORTION VENTILATION TOTAL: **4.79 SF.**
PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 SF.** / VENT.
(VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: **19.48 SF.**
PROVIDED W/ VENTILATED SOFFITS @ EAVE:--
(**224 LF.** @ **0.087 SF.** VENTING PER LF.)

UPPER PORTION PERCENTAGE: **47%**
LOWER PORTION PERCENTAGE: **53%**

NOTES

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2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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TRUSS LAYOUT "D"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

3-CAR GARAGE OPTION

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LOT: SPECIFIC INFORMATION

1966

MARGATE II - BONUS

FLORIDA SERIES

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04-22-19	DAL

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Orlando, Florida, 32811
Phone: (407) 529 - 3000

Park Square HOMES

TRUSS LAYOUT

DATE 04-05-2017

SCALE AS NOTED

DRAWN RDC

JOB N/A

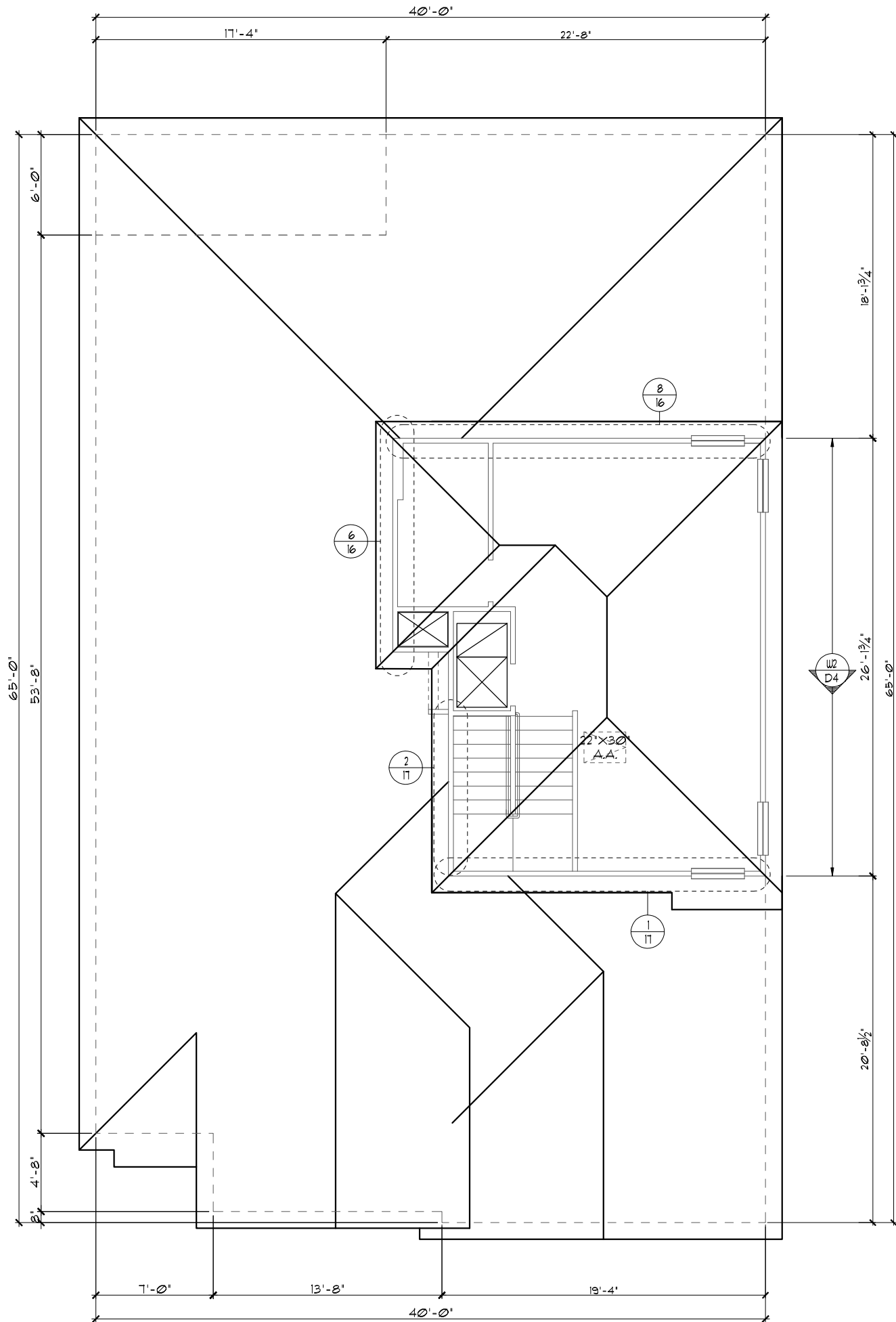
SHEET

11D.3

OF 20 SHEETS

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UPPER TRUSS LAYOUT "A"

1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RDG
JOB	N/A
SHEET	12A.0
OF	08 SHEETS

1966

MARGATE II - BONUS

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

Park Square HOMES

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REVISIONS	BY
04-22-19	DAL

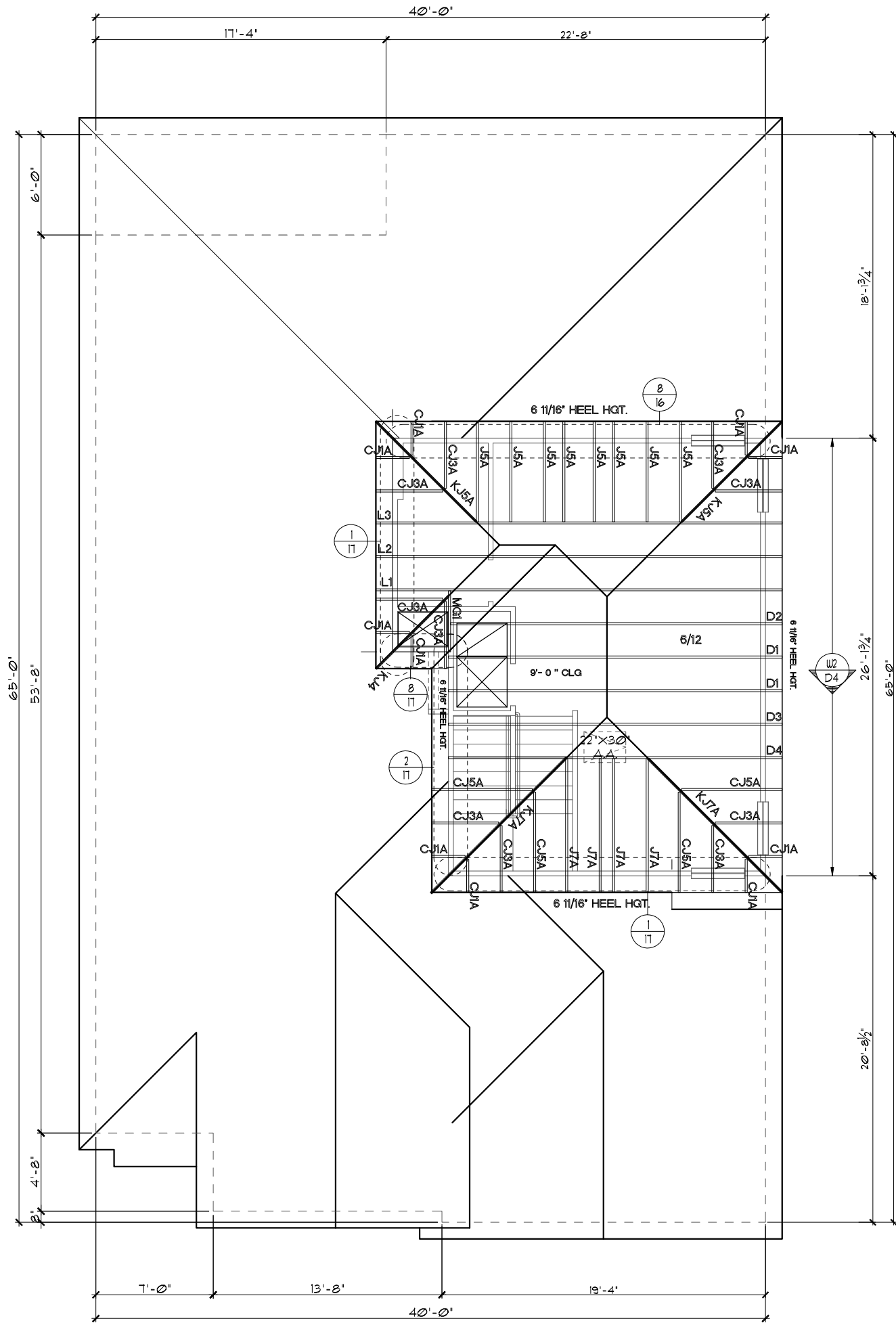
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UPPER TRUSS LAYOUT "A"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD C
JOB	N/A
SHEET	12A.0
OF	08 SHEETS

1966

MARGATE II - BONUS

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

Park Square HOMES

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PHONE 407-721-2292

REVISIONS	BY
04-22-19	DAL

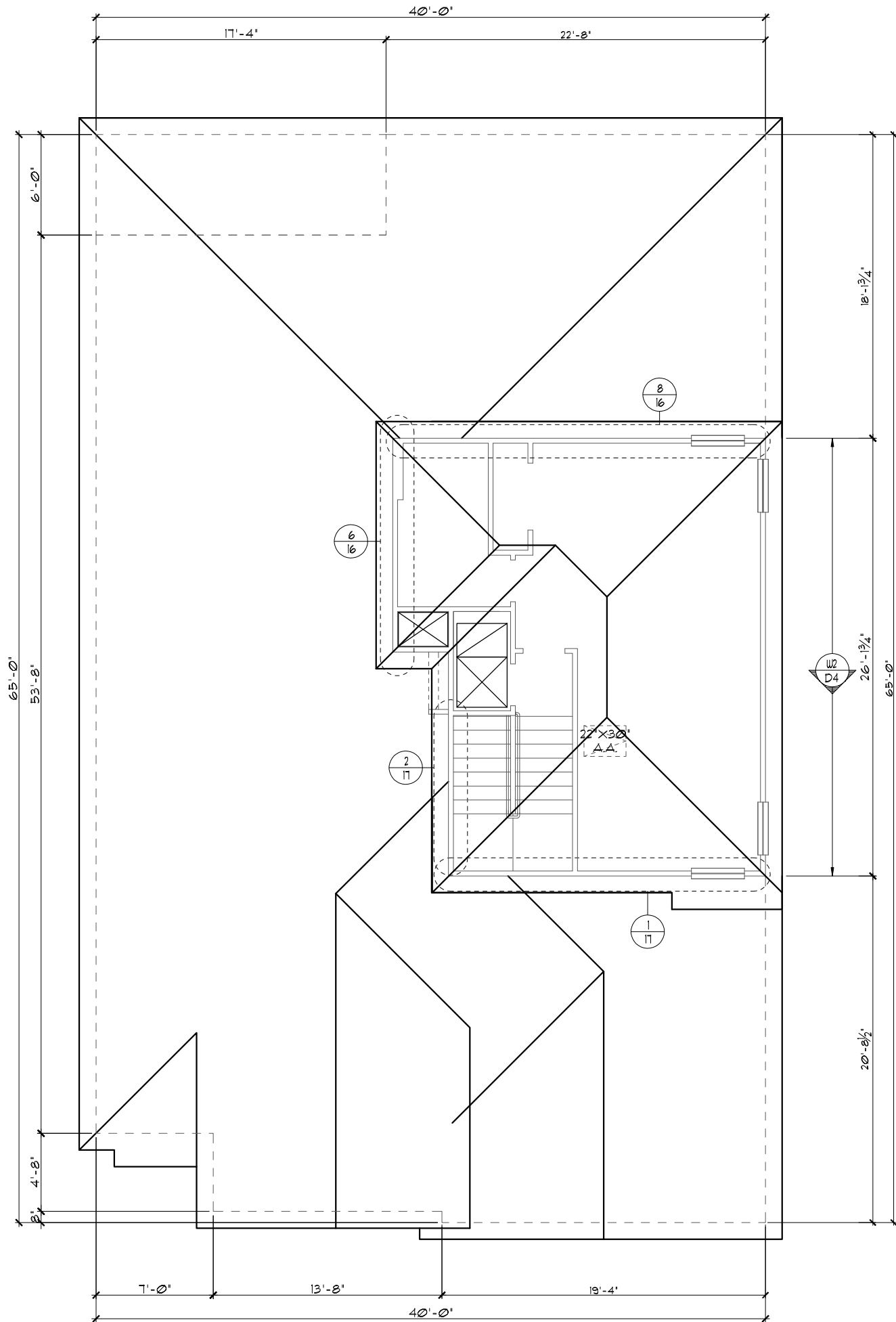
FLORIDA SERIES

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UPPER TRUSS LAYOUT "A"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BEDROOM/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD
JOB	N/A
SHEET	12A.1
OF	00 SHEETS

1966

MARGATE II - BONUS

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

Park Square HOMES

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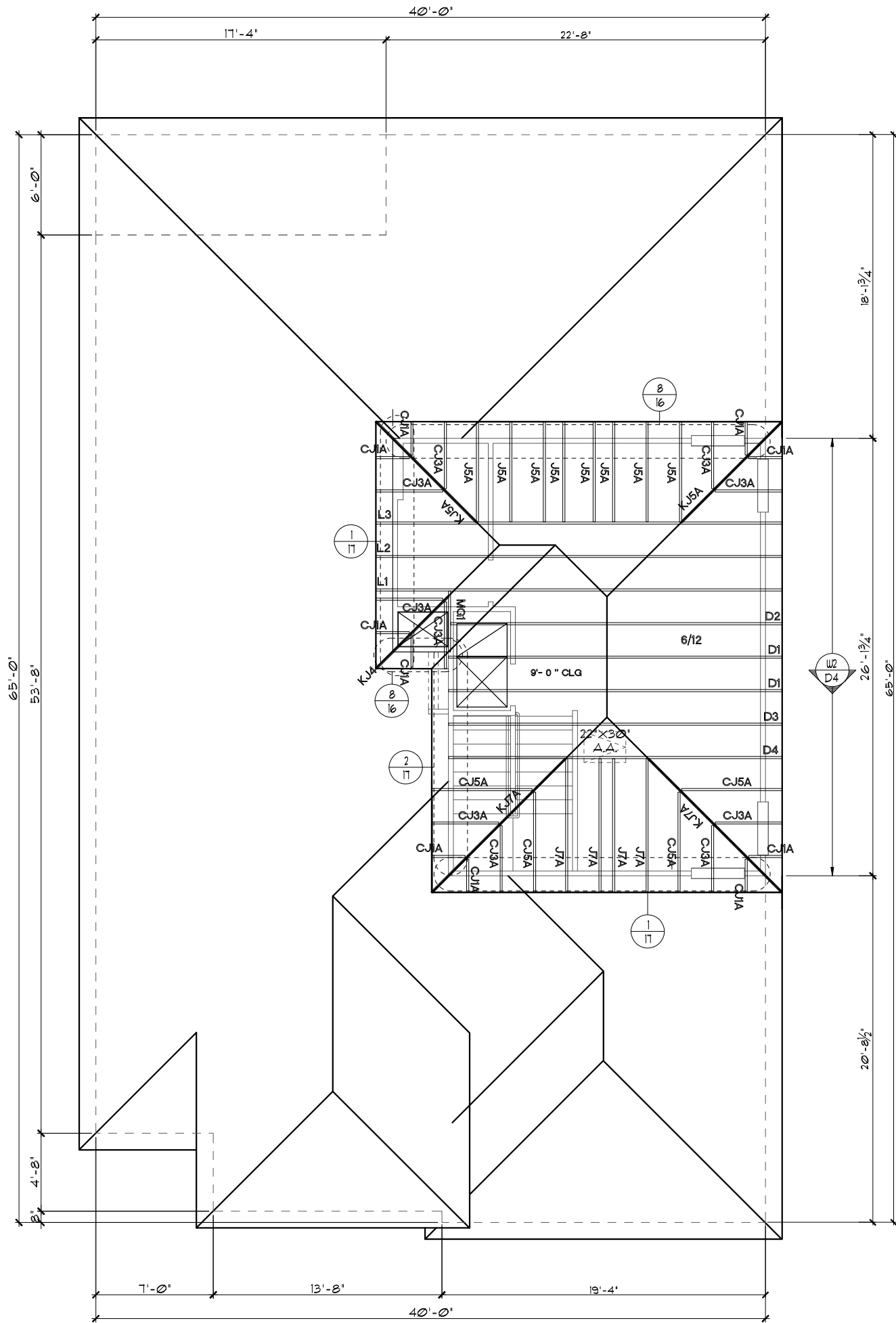
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REVISIONS	BY
04-22-19	DAL

FLORIDA SERIES
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UPPER TRUSS LAYOUT "B"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BONUS/ BATH OPTION

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LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RC
JOB	N/A
SHEET	12B.0
OF	20 SHEETS

1966

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

MARGATE II - BONUS

FLORIDA SERIES

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REVISIONS	BY
04-22-19	DAL

Engineering By:
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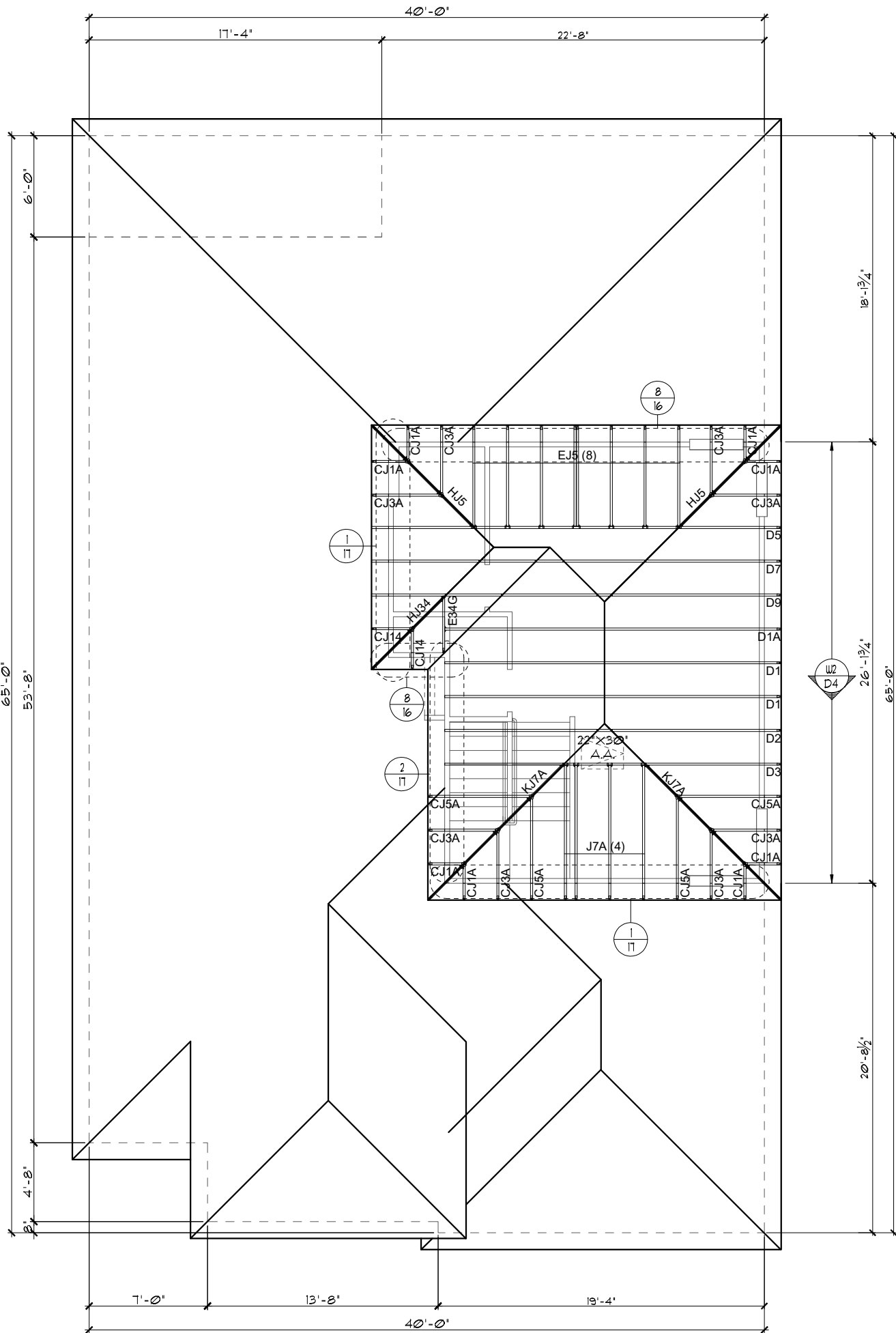
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Park Square
HOMES

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Truss Connector Total List		
Manuf	Product	Qty
	HUS26	1
	LUS24	1



UPPER TRUSS LAYOUT "B"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

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LOT: SPECIFIC INFORMATION

FLORIDA SERIES

UPPER TRUSS LAYOUT

BONUS ROOM OPT.

1966

MARGATE II - BONUS

DATE 04-05-2017

SCALE AS NOTED

DRAWN RDC

JOB N/A

SHEET

12B.0

OF 00 SHEETS

Engineering By:
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PHONE 407-721-2292

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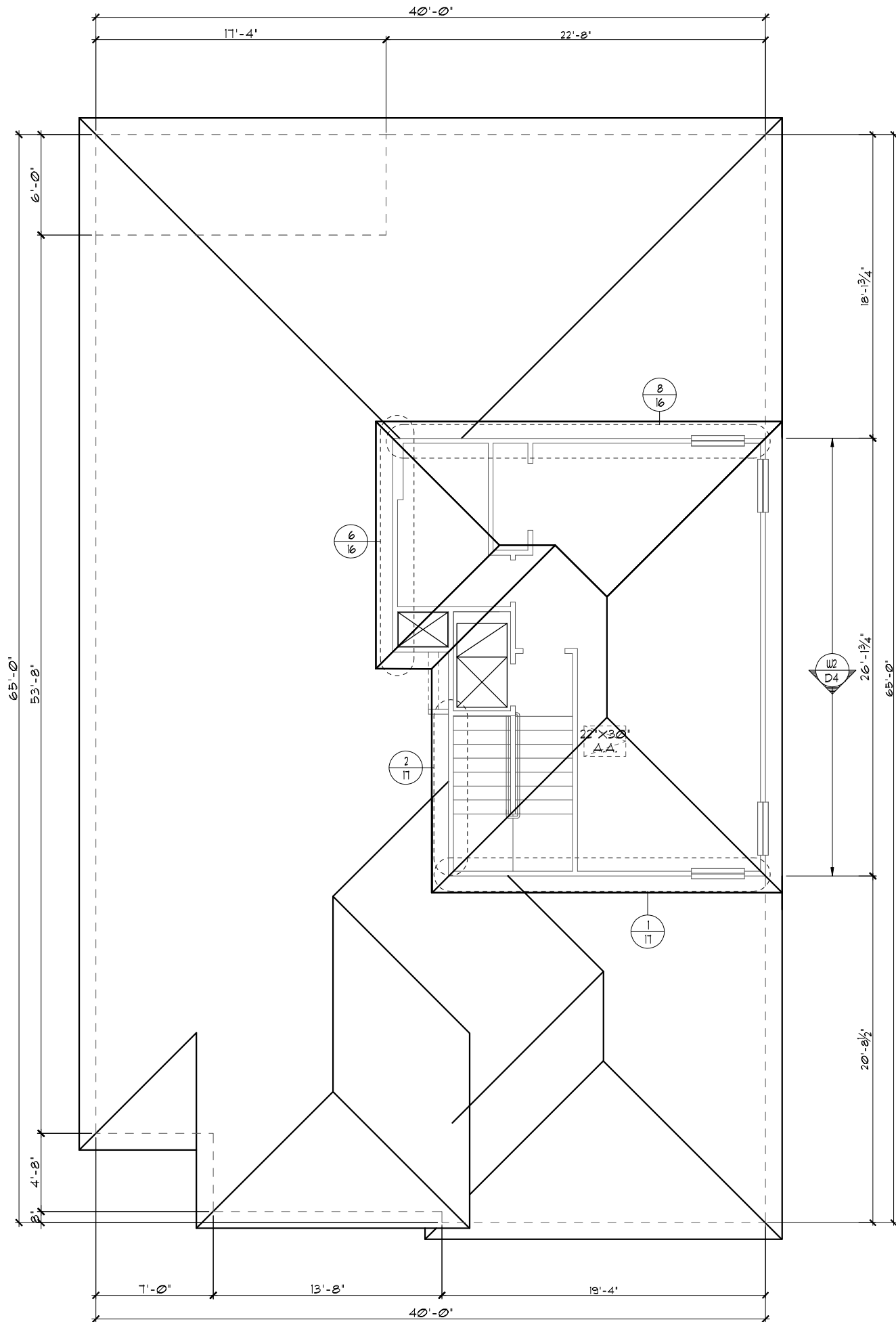
REVISIONS

BY

04-22-19	DAL
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UPPER TRUSS LAYOUT "B"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BEDROOM/ BATH OPTION

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11TH EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD C
JOB	N/A
SHEET	12B.3
OF	00 SHEETS
1966	
MARGATE II - BONUS	

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida, 32811
Phone: (407) 529 - 3000

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

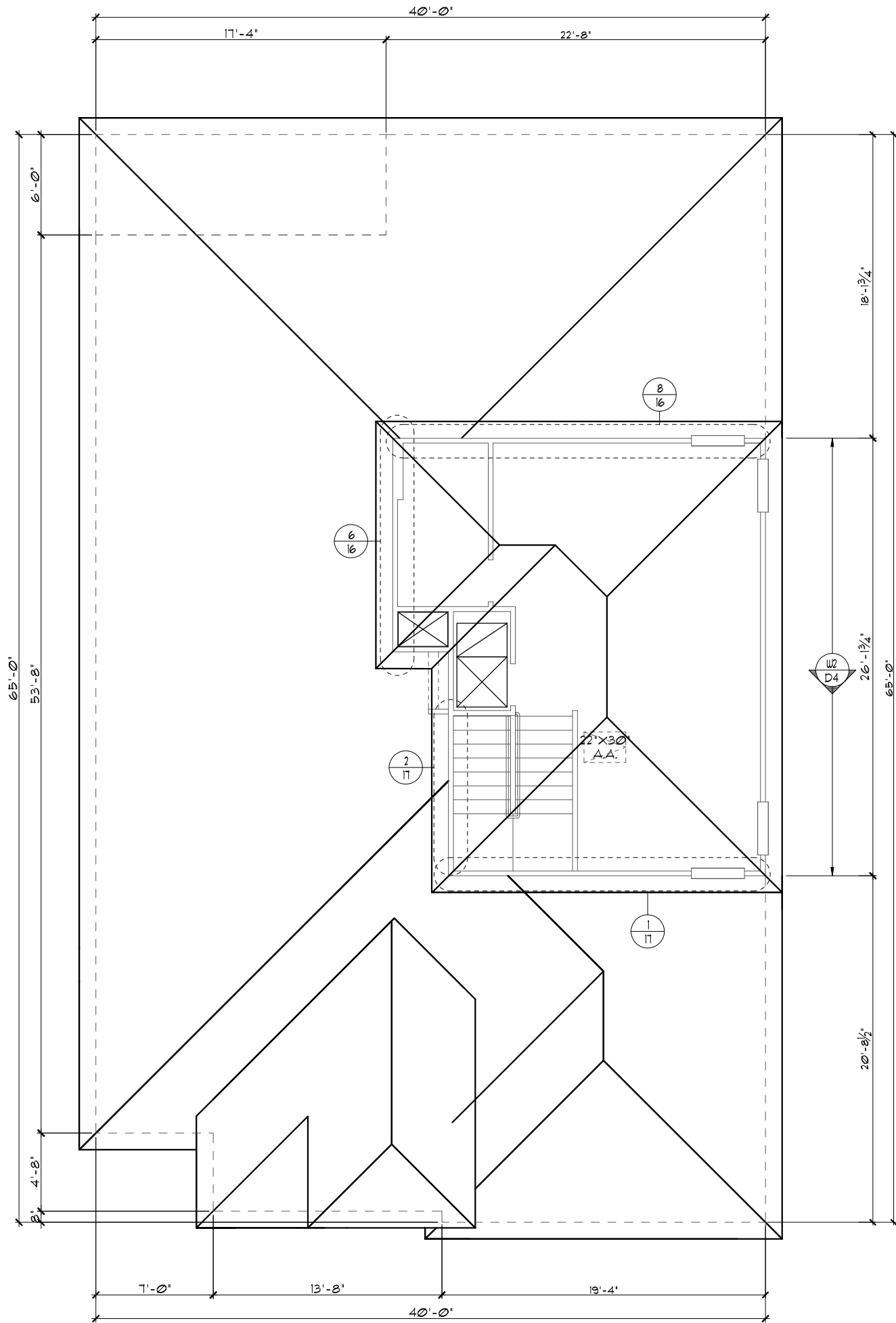
REVISIONS	BY
04-22-19	DAL

FLORIDA SERIES

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NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 11TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCS1.1.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
 - LOMANCO : (2) 9 1/4" DIA. CIRCLES
 - MILLENNIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



UPPER TRUSS LAYOUT "C"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BONUS/ BATH OPTION

LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RD C
JOB	N/A
SHEET	12C.0
OF	08 SHEETS

1966

MARGATE II - BONUS

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida, 32811
Phone: (407) 529 - 3000

Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

REVISIONS	BY
04-22-19	DAL

FLORIDA SERIES
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ATTIC VENTILATION CALCULATIONS

PER FBC2020 7TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE: $\frac{3,055 \text{ S.F.}}{300} = 10.18 \text{ S.F.}$ NET FREE VENT. REQUIRED

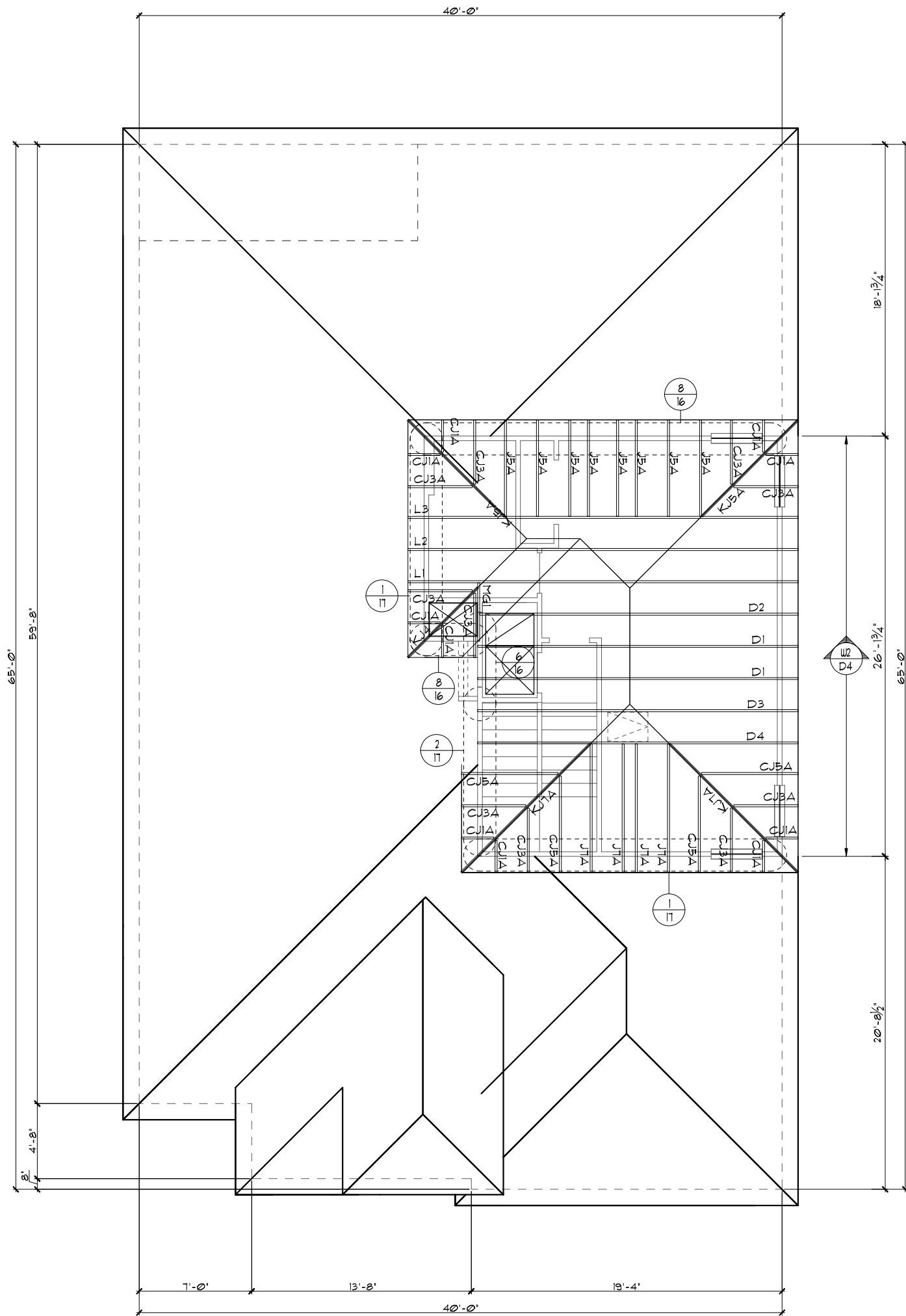
UPPER PORTION VENTILATION TOTAL:----- **4.79 S.F.**
 PROVIDED W/OFF RIDGE VENTS: **6** VENTS @ **798 S.F./VENT.**
 (VENT TYPE: LOMANCO MODEL TT0-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- **19.48 S.F.**
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:---
 (**224 L.F.** @ **0.087 S.F.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **47%**
 LOWER PORTION PERCENTAGE: **53%**

NOTES

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2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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UPPER TRUSS LAYOUT "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.

5200 Vineland Road, Suite 200 Orlando, Florida, 32811

Phone: (407) 529 - 3000

UPPER TRUSS LAYOUT

1966

MARGATE II - BONUS

DATE 04-05-2011
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET
 12C
 OF 20 SHEETS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 11th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

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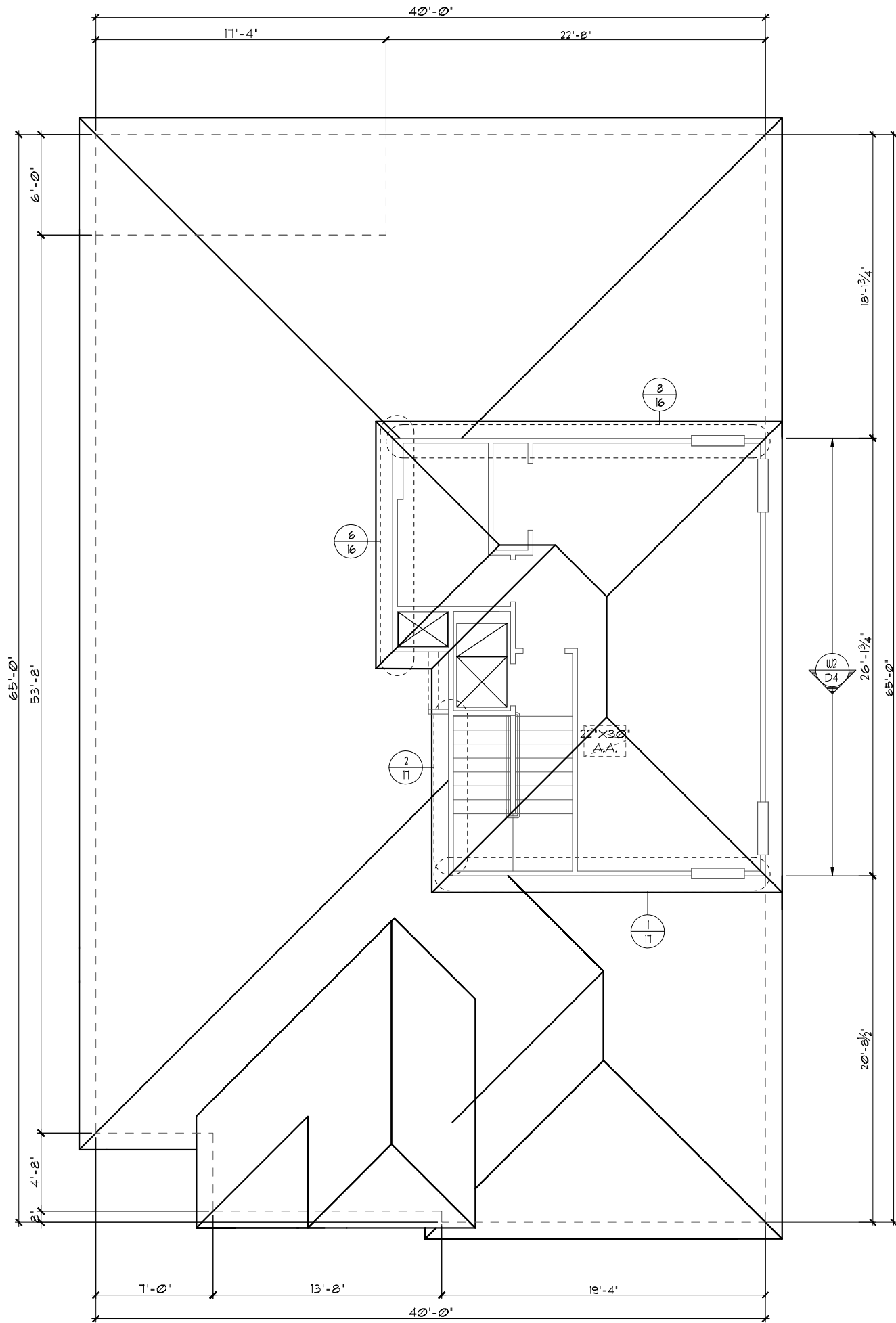
REVISIONS	BY
04-22-19	DAL

Engineering By:
 TEG, INC.
 MICHAEL A. THOMPSON
 PE 47509
 PHONE 407-721-2292

Park Square HOMES

NOTES

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UPPER TRUSS LAYOUT "C"

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

BEDROOM/ BATH OPTION

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LOT: SPECIFIC INFORMATION

DATE	04-05-2017
SCALE	AS NOTED
DRAWN	RDG
JOB	N/A
SHEET	12C.1
OF	08 SHEETS

1966

MARGATE II - BONUS

UPPER TRUSS LAYOUT
BONUS ROOM OPT.

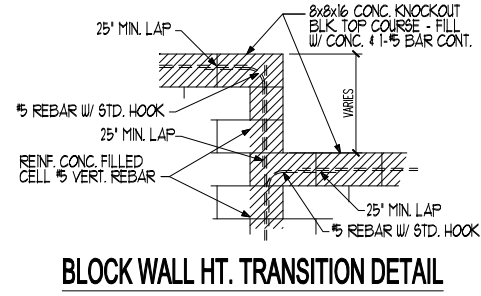
Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.
5200 Vineland Road, Suite 200
Orlando, Florida 32811
Phone: (407) 529 - 3000

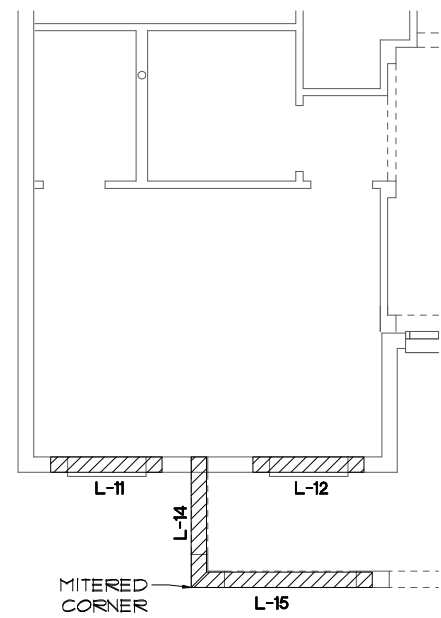
Engineering By:
TEG, INC.
MICHAEL A. THOMPSON
PE 47509
PHONE 407-721-2292

REVISIONS	BY
04-22-19	DAL

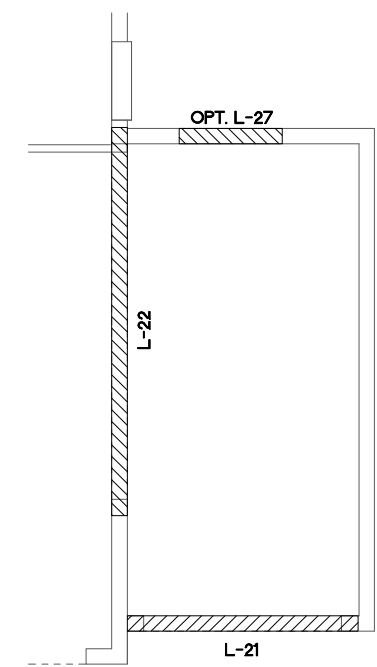
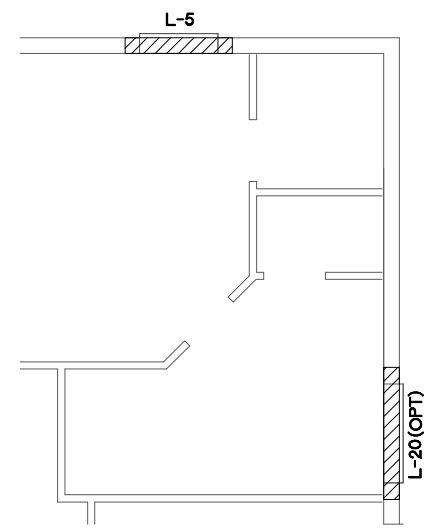
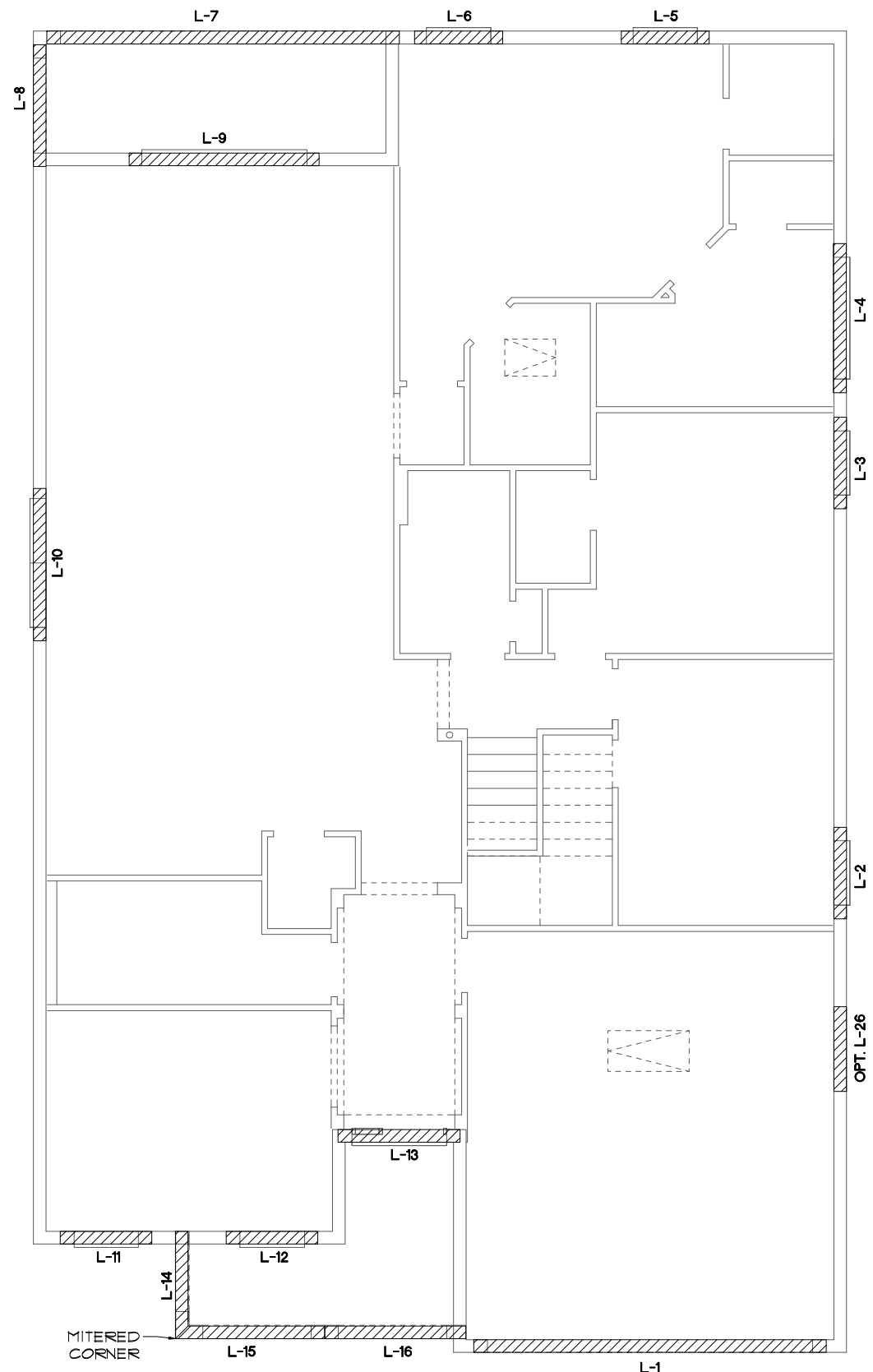
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CAST CRETE LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	11'-4"	8F32-1B/IT	GARAGE DOOR
L 2	4'-6"	8F16-0B/IT	S425
L 3	4'-6"	8F16-0B/IT	S425
L 4	7'-6"	8F12-0B/IT	6/0X1/0 F.G.
L 5	4'-6"	8F16-0B/IT	S425
L 6	4'-6"	8F16-0B/IT	S425
L 7	11'-4"	8F16-0B/IT	REAR LANAI
L 8	5'-10"	8F16-0B/IT	REAR LANAI
L 9	9'-4"	8F16-0B/IT	8/0X8/0 S.G.D.
L 10	7'-6"	8F16-0B/IT	FR S425
L 11	4'-6"	8F16-0B/IT	S425
L 12	4'-6"	8F16-0B/IT	S425
L 13	5'-10"	8F12-0B/IT	FRONT DOOR
L 14	5'-4"	8F60-0B/IT	FRONT ENTRY
L 15	6'-6"	8F24-0B/IT	FRONT ENTRY
L 16	6'-6"	8F24-0B/IT	FRONT ENTRY
L 17			
L 18			
L 19			
L 20	5'-4"	8F16-0B/IT	4040 OPT MASTER BATH
L 21	9'-4"	8F32-1B/IT	GARAGE DOOR
L 22	16'-0"	8F16-1B/IT	GARAGE
L 23			
L 24			
L 25			
L 26	4'-6"	8RF16-0B/IT	OPT. GAR. SERVICE DOOR
L 27	4'-6"	8RF16-0B/IT	OPT. GAR. SERVICE DOOR
L 28			
L 29			
L 30			
L 31			
L 32			
L 33			
L 34			
L 35			
L 36			
L 37			
L 38			
L 39			



PRE CAST LINTEL LAYOUT "A"/"B"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



LOT: SPECIFIC INFORMATION
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 1st EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL AND IS CERTIFIED AS SUCH

FLORIDA SERIES
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 5200 Vineland Road, Suite 200
 Orlando, Florida, 32811
 Phone: (407) 529 - 3000

Engineering By TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292	REVISIONS	BY
	04-22-19	DAL

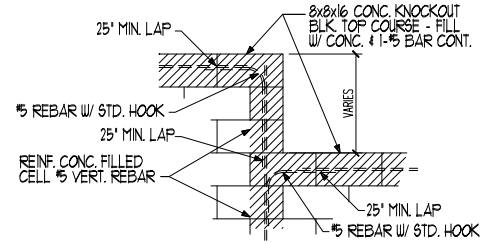
Park Square HOMES

PRE CAST LINTEL LAYOUT

1966

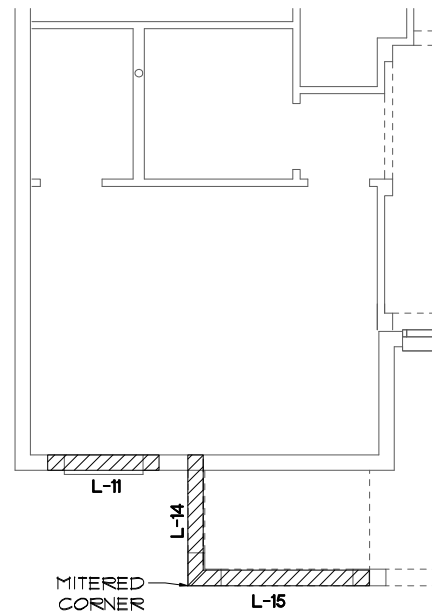
MARGATE II - BONUS

DATE 04-05-2017
SCALE AS NOTED
DRAWN RDC
JOB N/A
SHEET
13AB
OF 00 SHEETS



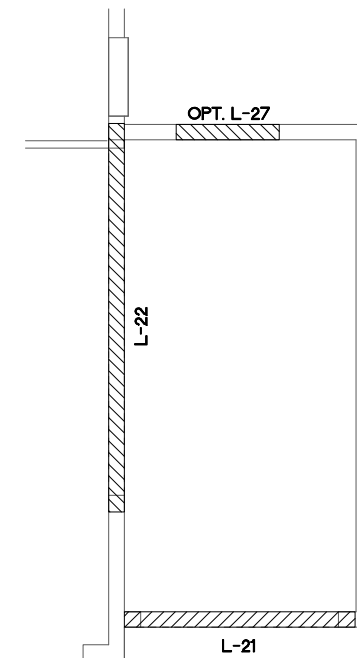
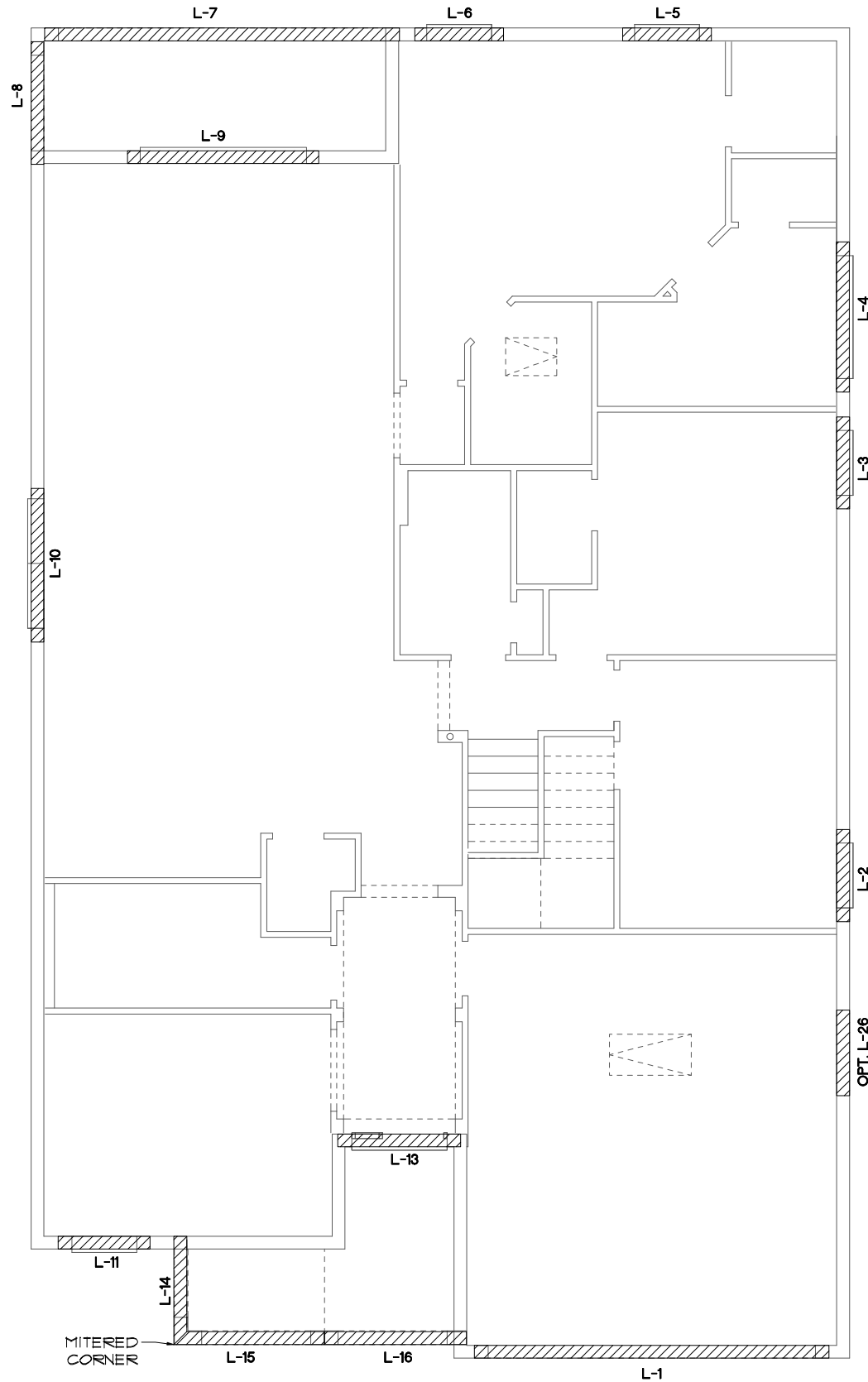
BLOCK WALL HT. TRANSITION DETAIL

CAST CRETE LINTEL SCHEDULE			
LINTEL NO.	LENGTH	TYPE	COMMENTS
L 1	17'-4"	8F32-1B/IT	GARAGE DOOR
L 2	4'-6"	8F16-0B/IT	SH25
L 3	4'-6"	8F16-0B/IT	SH25
L 4	7'-6"	8F12-0B/IT	6/0X1/0 F.G.
L 5	4'-6"	8F16-0B/IT	SH25
L 6	4'-6"	8F16-0B/IT	SH25
L 7	17'-4"	8F16-0B/IT	REAR LANAI
L 8	5'-10"	8F16-0B/IT	REAR LANAI
L 9	9'-4"	8F16-0B/IT	8/0X8/0 S.G.D.
L 10	7'-6"	8F16-0B/IT	FR SH25
L 11	4'-6"	8F16-0B/IT	SH25
L 12			
L 13	5'-10"	8F12-0B/IT	FRONT DOOR
L 14	5'-4"	8F16-0B/IT	FRONT ENTRY
L 15	6'-6"	8F16-0B/IT	FRONT ENTRY
L 16	6'-6"	8F24-0B/IT	FRONT ENTRY
L 17			
L 18			
L 19			
L 20	5'-4"	8F16-0B/IT	4040 OPT MASTER BATH
L 21	9'-4"	8F32-1B/IT	GARAGE DOOR
L 22	16'-0"	8F16-1B/IT	GARAGE
L 23			
L 24			
L 25			
L 26	4'-6"	8RF16-0B/IT	OPT. GAR. SERVICE DOOR
L 27	4'-6"	8RF16-0B/IT	OPT. GAR. SERVICE DOOR
L 28			
L 29			
L 30			
L 31			
L 32			
L 33			
L 34			
L 35			
L 36			
L 37			
L 38			
L 39			



BEDROOM 4 OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

PRE CAST LINTEL LAYOUT "C"
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



M. B.A. OPTION
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

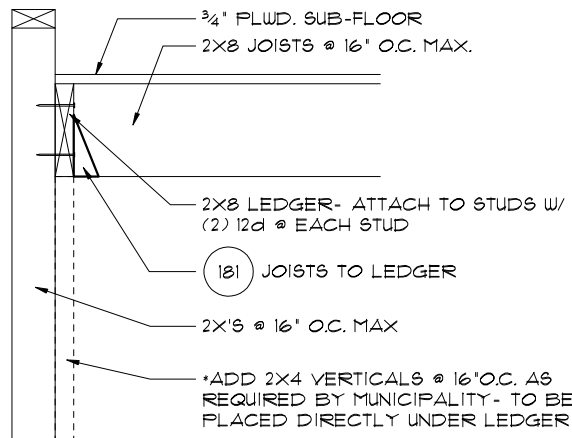
3-CAR GAR. OPT.
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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LOT: SPECIFIC INFORMATION

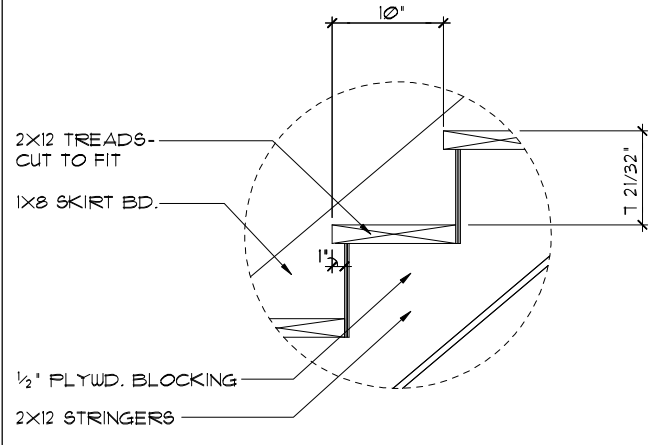
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FLORIDA SERIES Engineering By: TEG, INC. MICHAEL A. THOMPSON PE 47509 PHONE 407-721-2292		REVISIONS	BY
		04-22-19	DAL
Park Square HOMES A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529 - 3000		DATE 04-05-2017 SCALE AS NOTED DRAWN RDC JOB N/A SHEET 13C OF 20 SHEETS	
		PRE CAST LINTEL LAYOUT 1966 MARGATE II - BONUS	



4 TYP. STAIR CONNECT. PLATFORM FRAMING

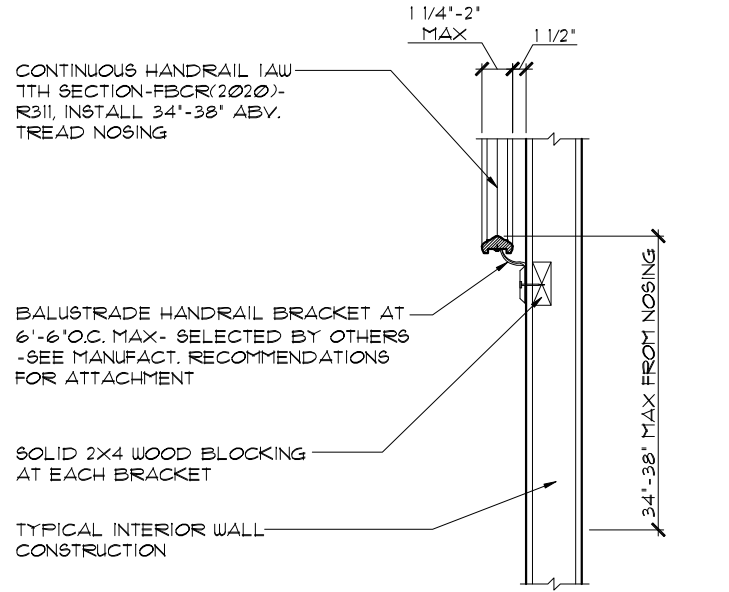
3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34")



DATA: TOTAL RISE: 10'-8 3/4" (11 RISERS @ 1 9/16" EA.)
TOTAL RUN: 13'-4" (16 TREADS @ 10" EA.)

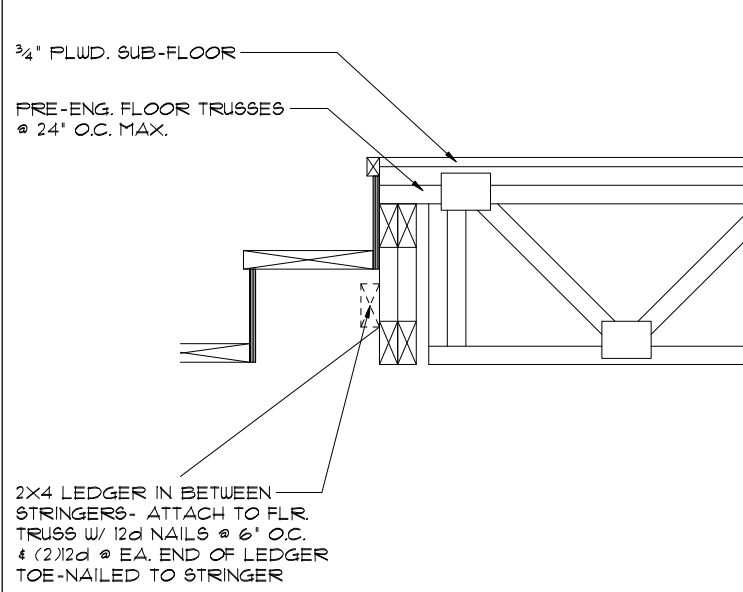
1 STAIR DETAIL

3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34") STAIR DATA



5 TYP. HANDRAIL DET.

3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34")



2 TYP. STAIR CONNECT. STRINGER TO FLOOR TRUSS

3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34")

NOTES:
STAIRWAY CONSTRUCTION TO CONFORM TO
FBCR 2020, 7TH EDITION SECTION R311.1

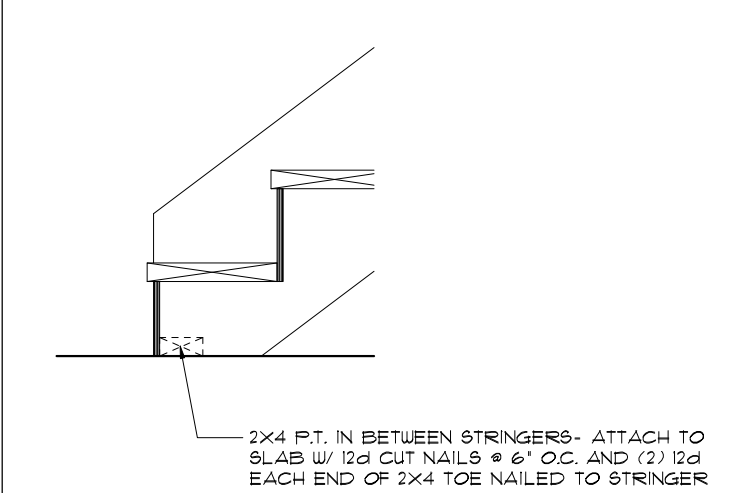
MAX. HGT. OF RISER TO BE 7 3/4"
MIN. WIDTH OF TREAD TO BE
9" (EXCLUSIVE OF NOSING)
ALL TREADS LESS THAN 10" IN WIDTH
SHALL HAVE APPROX. 1" OF NOSING
3/16" MAX. VARIATION IN RISERS/TREADS
ADJACENT TO EACH OTHER
3/8" MAX. VARIATION IN ANY RISER/TREAD

HAND RAIL CIRCULAR CROSS SECTION DIA.
TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT
GRASPABILITY.

WINDERS: MIN. 6" WIDE @ NARROW END

34" MIN. - 38" MAX., HANDRAIL HGT.

HEADROOM CLEARANCE MIN. 6'-8"



3 TYP. STAIR CONNECT. STRINGER TO FLOOR

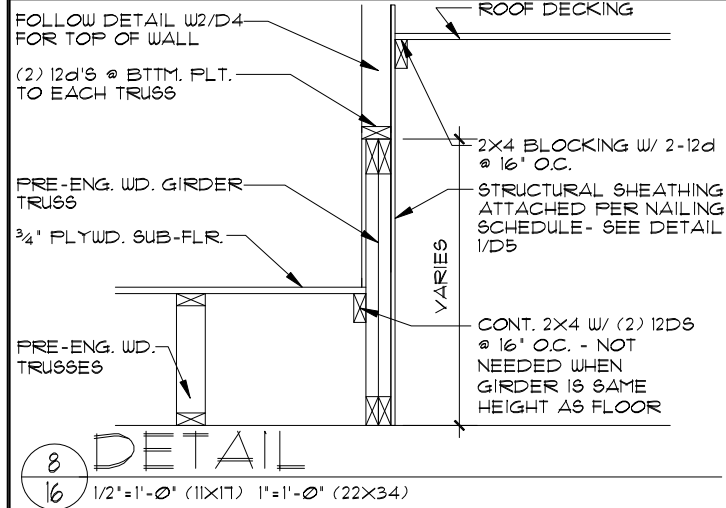
3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34")

CONNECTOR SCHEDULE

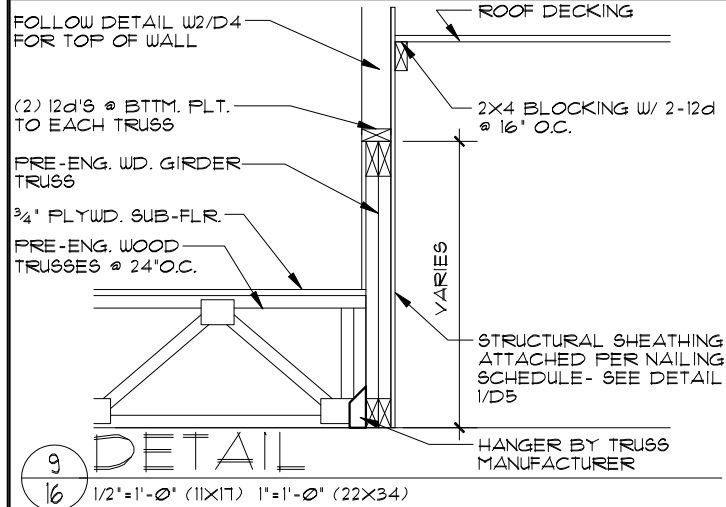
CONNECT. TYPE	SIMPSON		USP		MAX. UPLIFT	LAT. LDS. FI / F2
	DESCRIPTION	FASTENERS PER CONNECTOR	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA20	14-10d x 1 1/2" RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	ETA20	14-10d RFT: 8-8d x 1 1/2" PLT: 8-8d	1810	65 / 960
22	H10S	HDR: 4-10d/JST: 4-10d RFT / TRS: 4-8d	RT16	HDR: 4-10d/JST: 4-10d RFT / TRS: 9-10d	990	585/525
23	LUS26	HDR: 4-10d/JST: 4-10d RFT / TRS: 4-8d	JUS26	HDR: 4-10d/JST: 4-10d RFT / TRS: 9-10d	935	N/A
24	H1	PLT / STD: 10-8d RFT: 5-8d / PLT: 5-8d	RT20	PLT / STD: 13-10d RFT: 5-8d / PLT: 5-8d	985	400 / N/A
26	H25	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	RT1	H: 6-8dx1 1/2" / P: 6-8dx1 1/2"	415	150 / 150
35	A35F	14-10d	MPAIF	14-10d	440	440 / N/A
37	MTS12	14-10d	MTW12	14-10d	1,000	N/A
38	MTS16	14-10d	MTW16	14-10d	1,000	N/A
39	MTSM16	BLK: (4) 1/4" X 2 1/4" T.C. TRUSS: (7) 10d	MTW16	BLK: (4) 1/4" X 2 1/4" T.C. TRUSS: (7) 10d	860	N/A
43	LSTA12	10-10d RFT / 4-5DS 1/4" X 1 1/2" PLT / 4-5DS 1/4" X 3"	LSTA12	10-10d N/A N/A	905	N/A
44	HGA10	14-16d	N/A	N/A	500	840/675
45	ST18	18-10d	ST18	14-16d	1,200	N/A
47	LSTA24	26-10d	LSTA24	18-10d	1,295	N/A
71	MSTA36	64-16d SINKERS	MSTA36	26-10d	2,135	N/A
72	MSTC66	STD: 6-10d / PLT: 4-10d SPT: 6-10d / PLT: 6-10d	N/A	N/A	5,495	N/A
79	SF1	12-10d x 1 1/2"	SPT22	STD: 4-10d / PLT: 4-10d	535	560 / 260
80	SF2	1/4" X 2 1/2" STRONG DRIVE SDS H.D. CON. SCREWS	SPT224	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH468	12-10d x 1 1/2"	TP46,48	12-10d x 1 1/2"	885	N/A
86	ECCLL/RQ-SDS2.5	12 SDS 1/4 X 2"	N/A	N/A	M: 2835 S: 1840	N/A
88	CBSQ88	(2) 3/8" BOLTS	PA8X8	4-10d	3,975	N/A
89	CB66	12-16d	PAU66	12-16d	2,300	985
90	ABU66	14 SDS 1/4 X 2"	PAU66	12-16d	2,240	N/A
91	CBSQ66	12-16d	PAU44	12-16d	3,190	N/A
92	ABU44	28-16d	PAU44	12-16d	2,200	N/A
93	AC6 (MAX)	20-10d	PBS66	24-16d	1,815	1,070
94	AC4 (MAX)	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	PBS44	24-16d	1,815	1,070
95	HTS20	20-10d	HTW20	20-10d	1,450	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	MPAI	H: 6-8dx1 1/2" / P: 6-8dx1 1/2"	440	440 / N/A
101	HTT4	5/8" BOLT / 18-16d X 2 1/2"	N/A	N/A	3,640	N/A
102	HTT5	5/8" BOLT / 26-10d	N/A	N/A	4,275	N/A
103	YGTR/L	32-9DS 1/4" X 3" / (2) 3/8" BLT	N/A	N/A	3,990	N/A
104	HDS8-9DS2.5	1/8" BLT / 20-9DS 1/4" X 2 1/2"	N/A	N/A	5,020	N/A
105	HD7B	7/8" - 3 - 3/4"	N/A	N/A	6,645	N/A
181	HUS26	20-16d	THD26	H: 20-16d / J: 10-10d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	N/A	N/A	1,085	N/A
212	HUC410	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	N/A	N/A	1,810	N/A
213	HSUR/L410	BLOCK: 20-16d JOIST: 6-16d	N/A	BLOCK: N/A JOIST: N/A	1,300	N/A
214	HUC412	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	HUS412	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	1,895	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	EHU210-2	HDR: 40-16d / JST: 16-10d	2,720	N/A
216	HUCS412	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	HUS412	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	HUS212-2	BLOCK: 10-1/4" X 1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR 3/4 X 8 TOP #FACE JOIST: 18-10d	NFM35X12U	H: 1-1/2" J-BOLT J: 5-1/2" BOLTS	3,145	N/A
231	MBHA3.56/16	HDR: (2) 3/4" x 8" JOIST: 18-10d	NFM3.5X16U	HDR: MIN. 1/2" x J-BOLTS JOIST: (5) 1/2" x BOLTS	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" x 8" JOIST: 18-10d	NFM5.5X16U	HDR: MIN. 1/2" x J-BOLTS JOIST: (5) 1/2" x BOLTS	3,450	N/A
241	LGT2	30-16d-sinker	LUGT2	32-10d	2,000	1015 / 440
242	LGT3	G: (12) SDS 1/4" X 2 1/2"	N/A	W: (4) 3/8" X 5" TITEN	2,365	N/A
243	LGT4-9DS3	G: (16) SDS 1/4" X 3"	N/A	W: (4) 3/8" X 5" TITEN HD	2,365	N/A
301	MGT	(1) 3/4" BLTS / GIR: 22-10d	N/A	N/A	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS / GIR: 8-10d	USC63	LTL: 3/4" BLTS / GIR: 8-16d	6,485	N/A
303	HGT-4	LTL: 3/4" BLTS / GIR: 16-10d	N/A	N/A	9,250	N/A
305	FGTR (2-PLY)	TRUSS: 36 SDS 1/2" X 3" WALL: (4) 1/2" X 5" TITEN HD	N/A	N/A	9,400	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	N/A	N/A	1,700	N/A
501A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501B	LSU28	10-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
501C	LSU210	10-10d - 7-10dx1 1/2"	N/A	N/A	875	N/A
502A	LSU26	6-10d - 5-10dx1 1/2"	N/A	N/A	535	N/A
502B	LSU28	9-10d - 5-10dx1 1/2"	N/A	N/A	450	N/A
502C	LSU210	9-10d - 7-10dx1 1/2"	N/A	N/A	785	N/A
503	HRC22	6-10dx1 1/2 - 2-10dx1 1/2"	N/A	N/A	290	N/A
504	VPA2	8-10d - 2-10dx1 1/2"	N/A	N/A	295	375/250
505	HCP2	6-10dx1 1/2 - 6-10dx1 1/2"	N/A	N/A	645	N/A
T	CONNECTORS TO BE SPECIFIED AND PROVIDED BY TRUSS MANUFACTURERS					

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 Phone: (407) 528 - 3000
 Engineering By: MICHAEL A. THOMPSON
 REG. IN FLORIDA
 PE 47509
 PHONE 407-721-2292

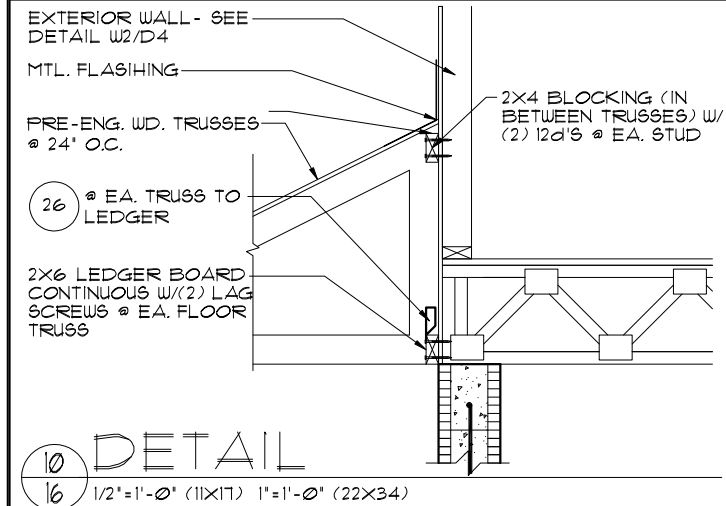
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 1966
 MARGATE II - BONUS
 REVISIONS BY
 04-22-19 DAL
 DATE 04-05-2017
 SCALE AS NOTED
 DRAWN RDC
 JOB N/A
 SHEET 15 OF 20 SHEETS



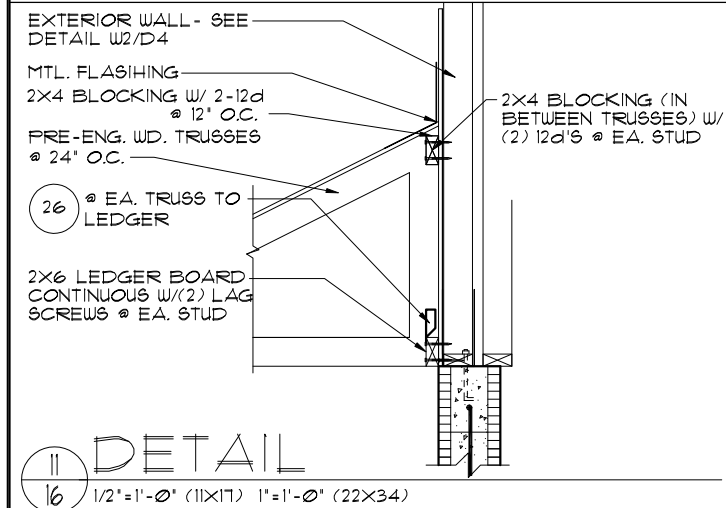
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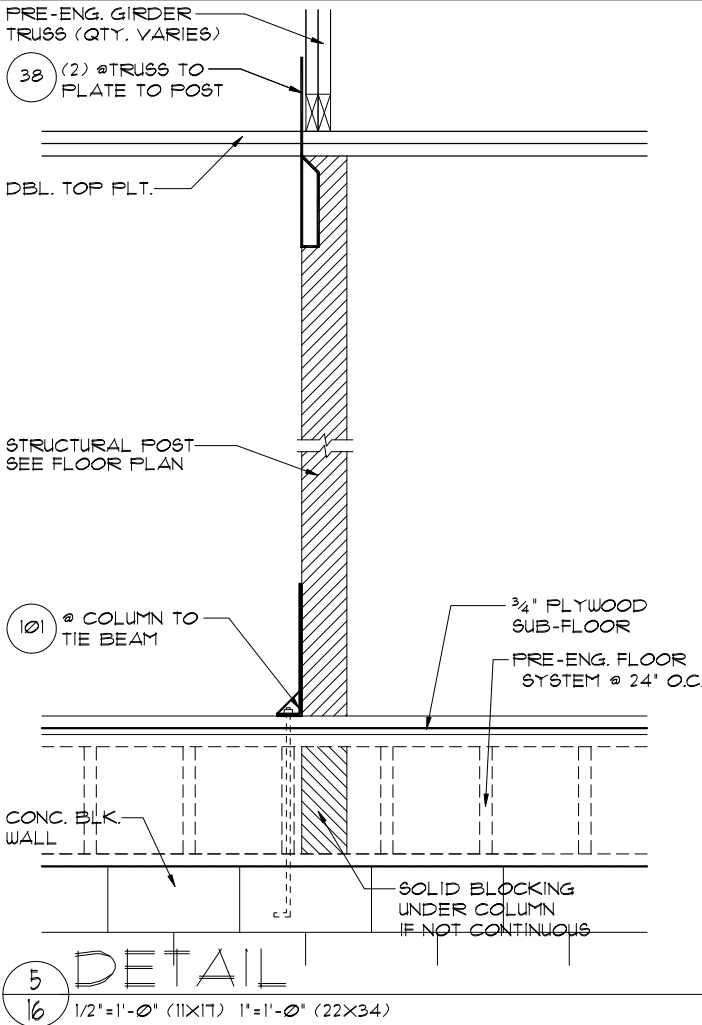
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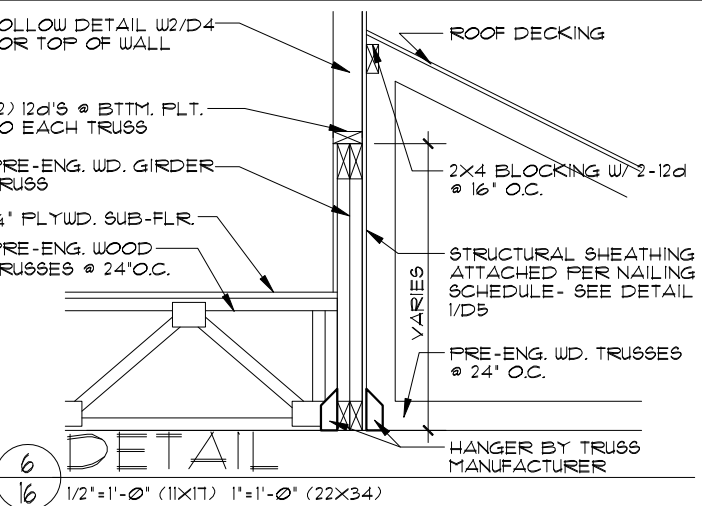
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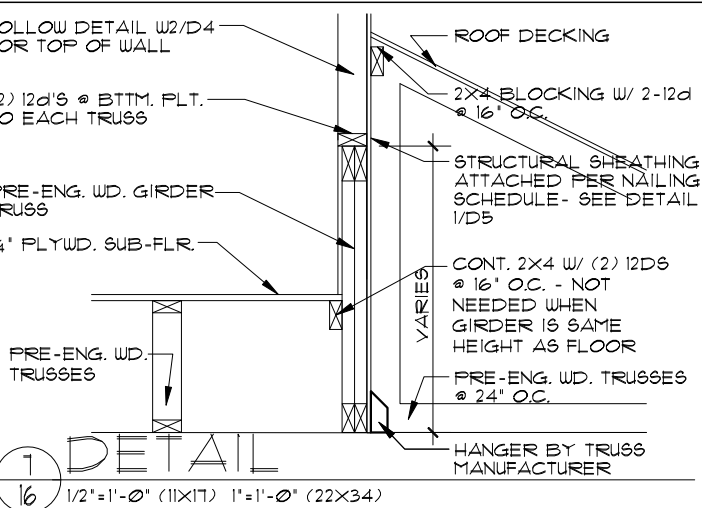
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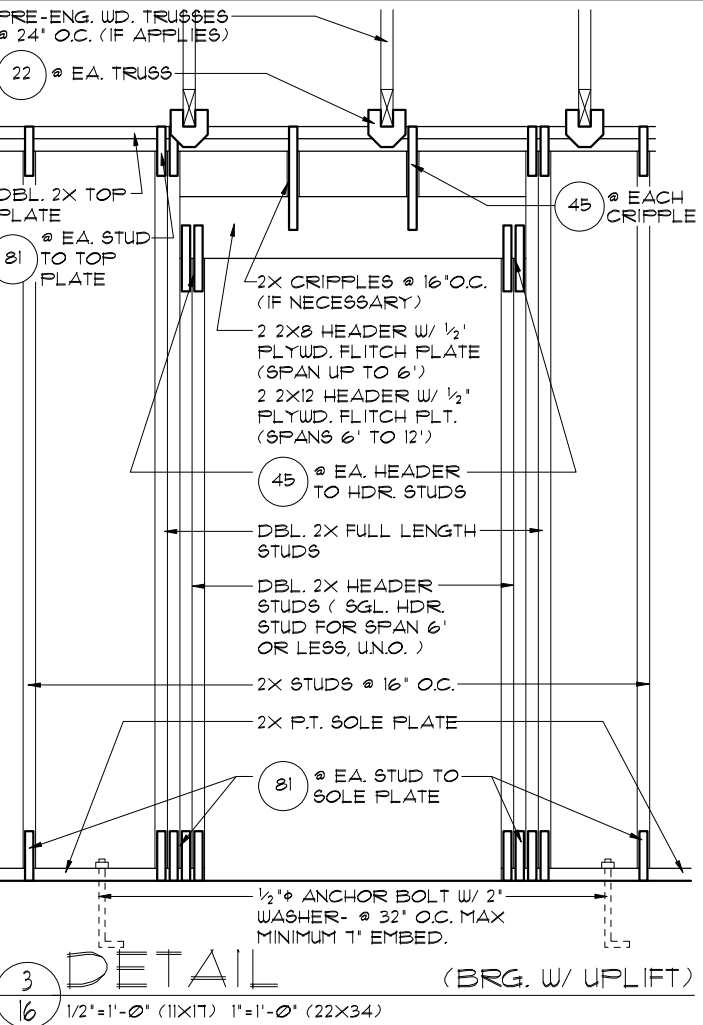
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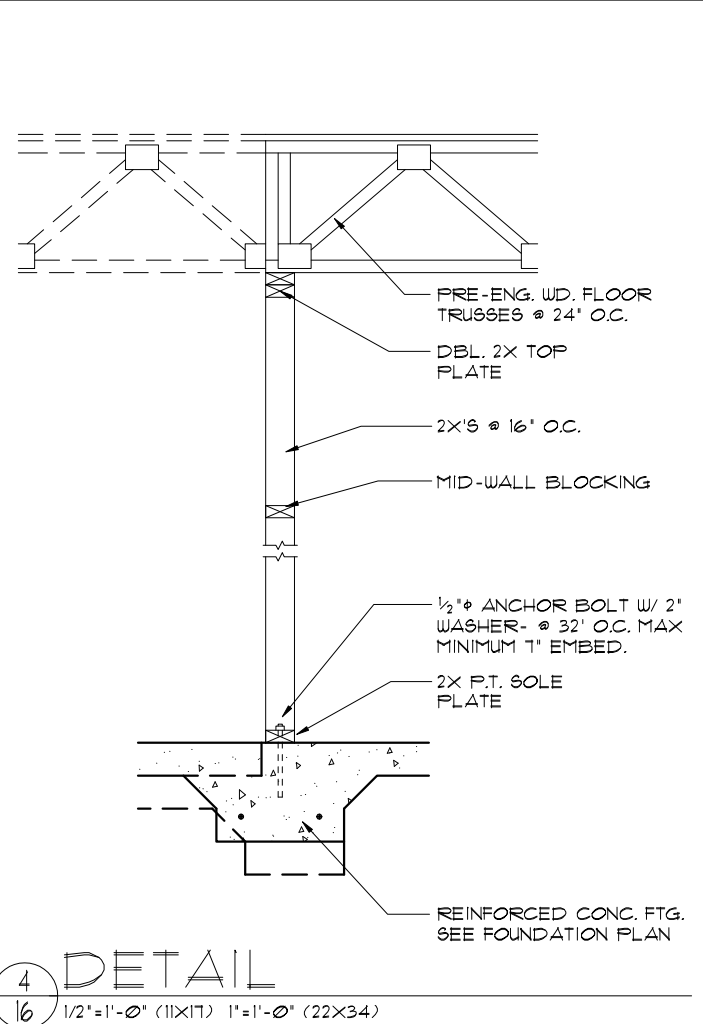
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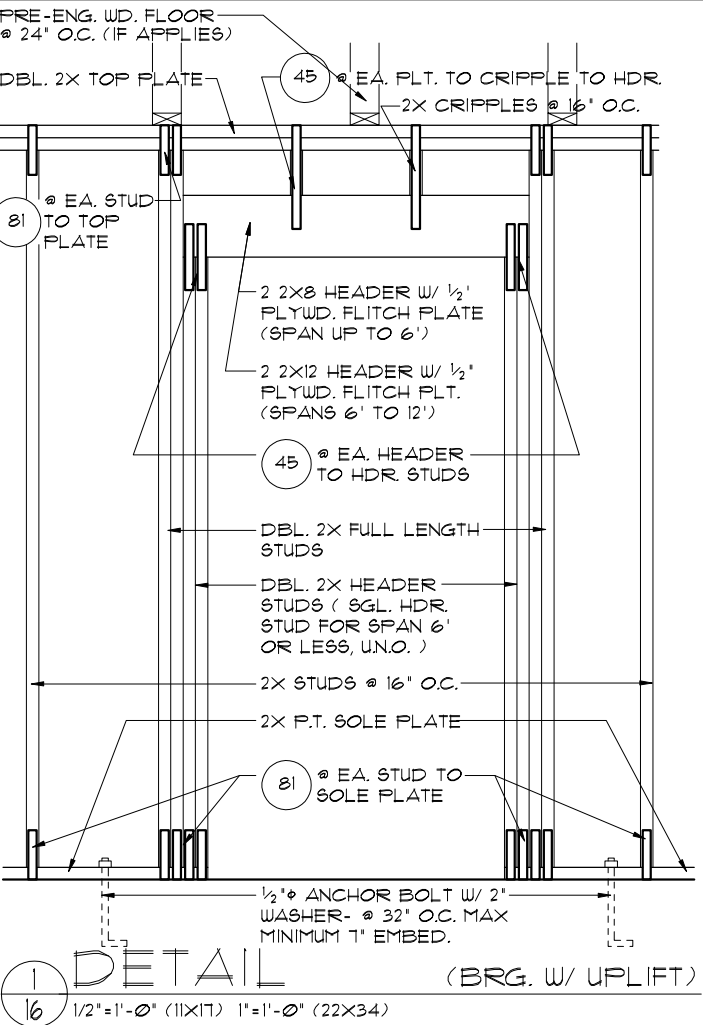
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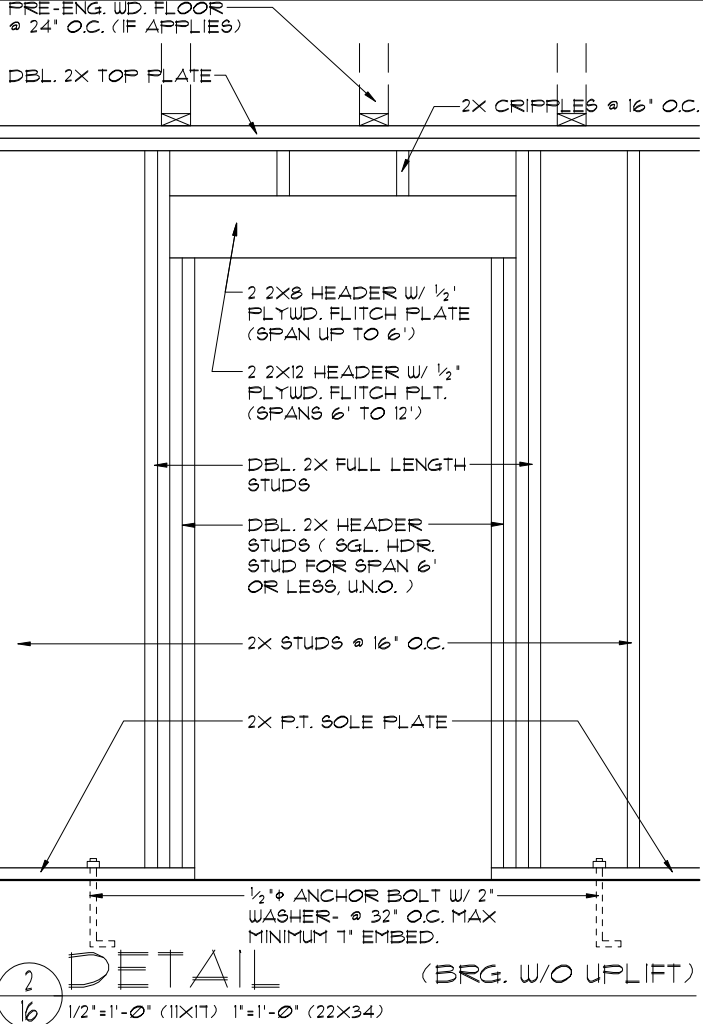
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4 DETAIL
16 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



1 DETAIL (BRG. W/ UPLIFT)
16 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



2 DETAIL (BRG. W/O UPLIFT)
16 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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 PE 47509
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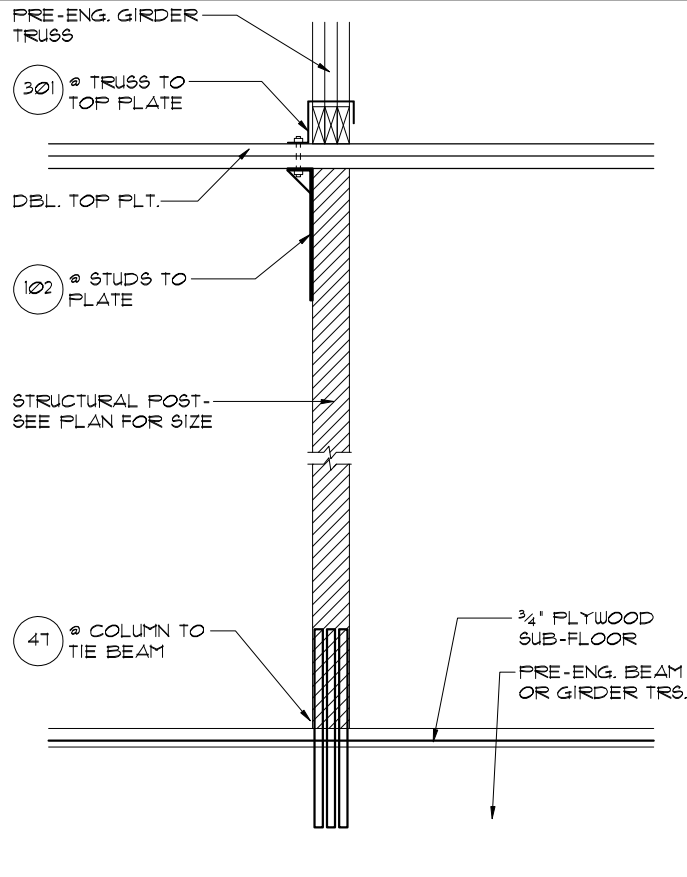
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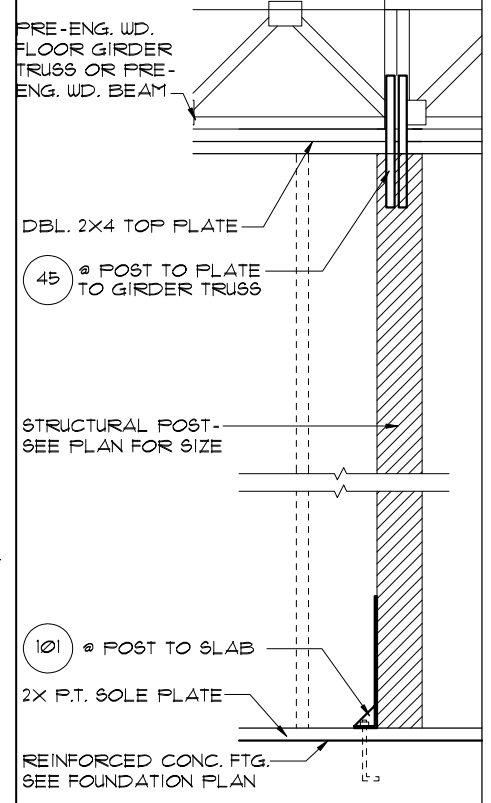
1966
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 SHEET
16
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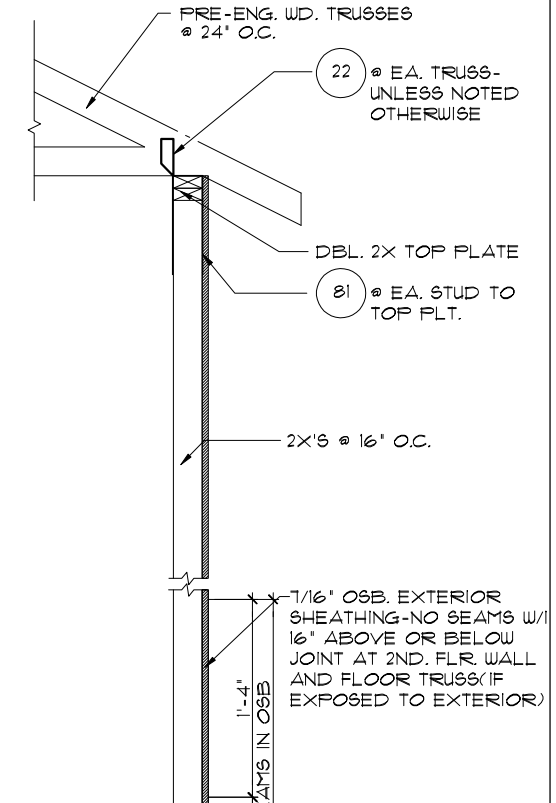
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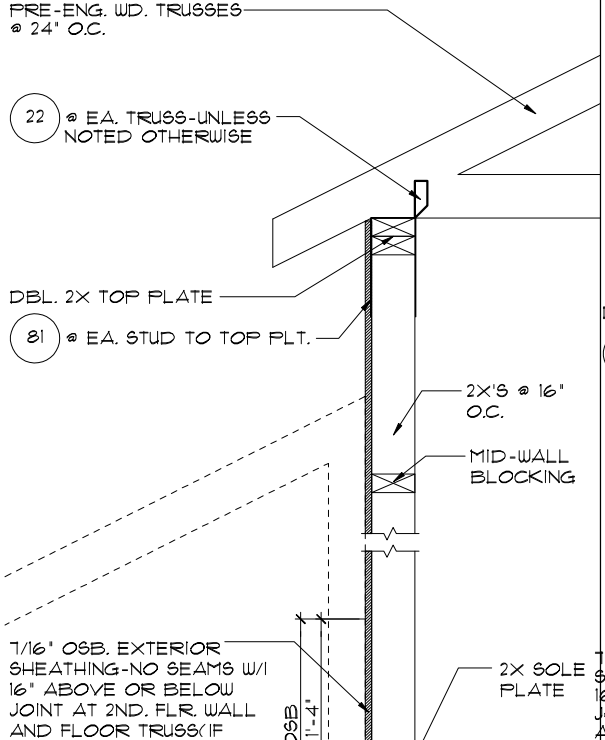
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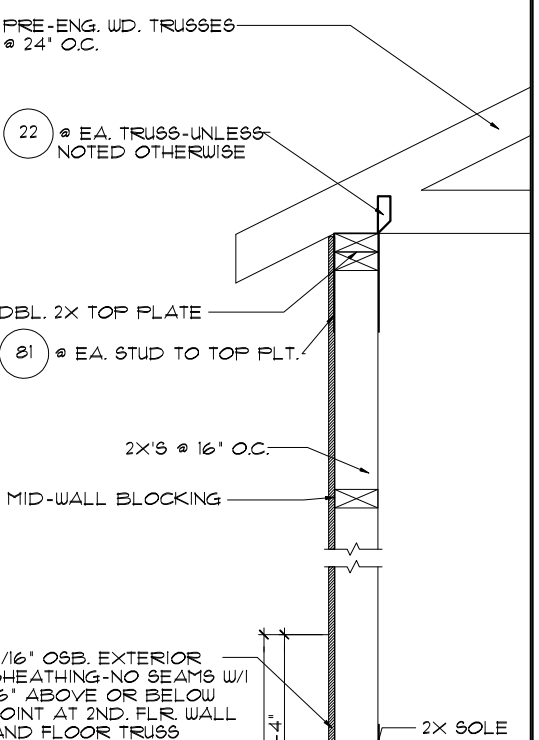
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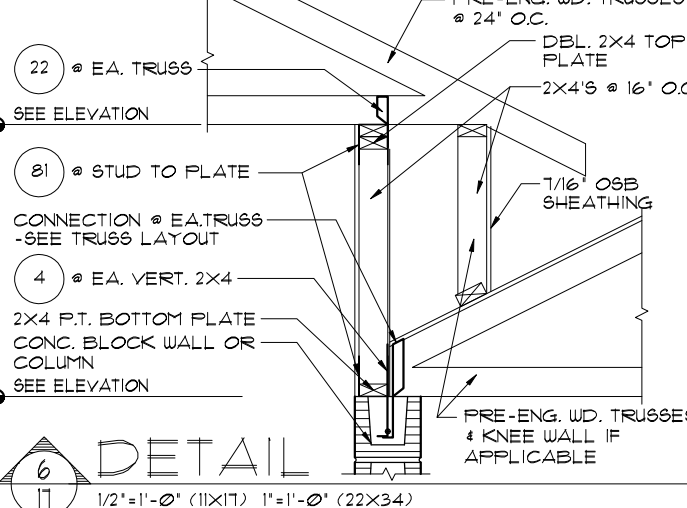
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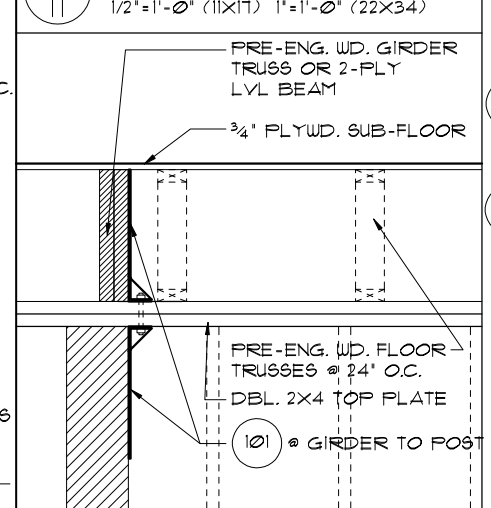
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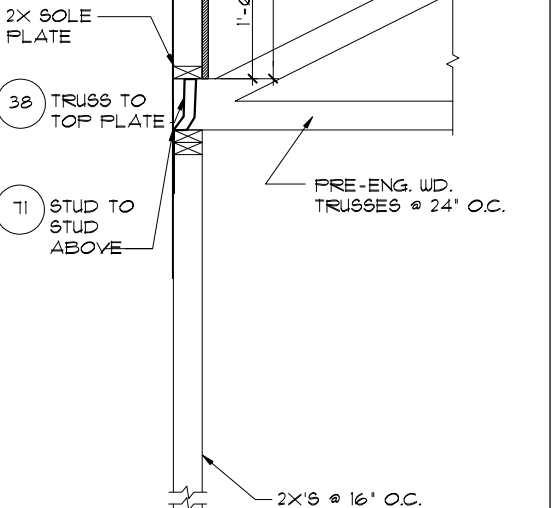
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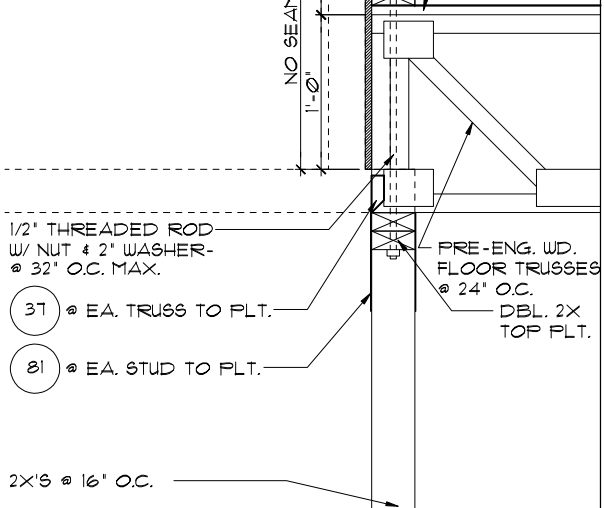
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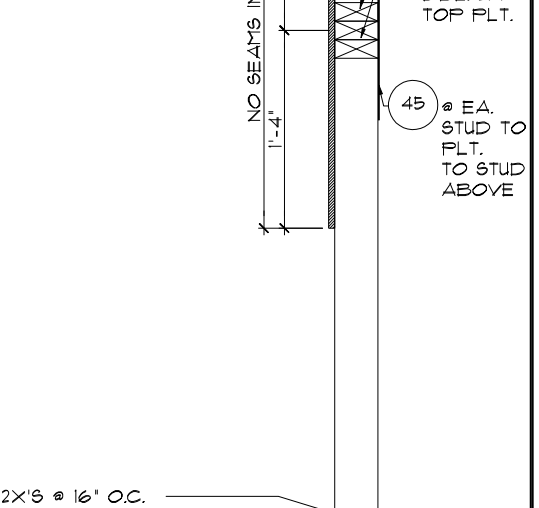
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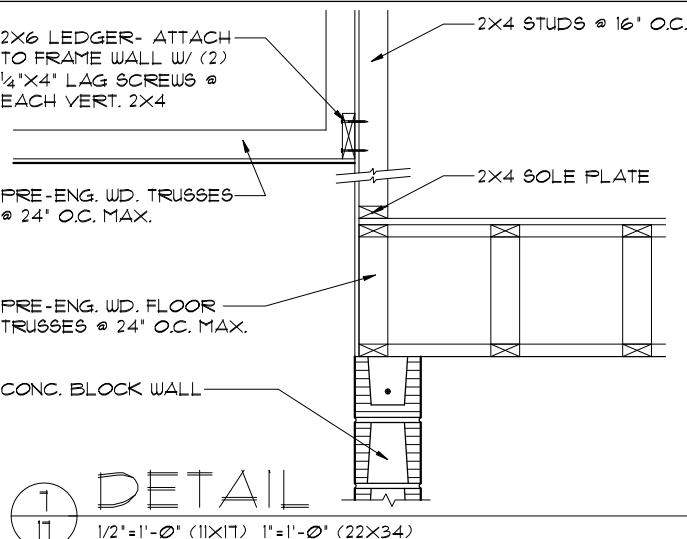
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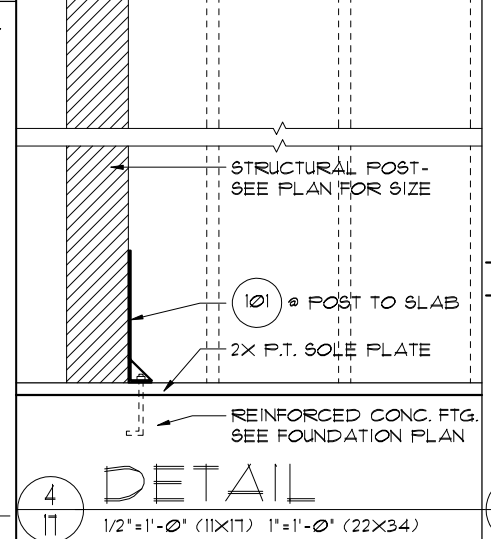
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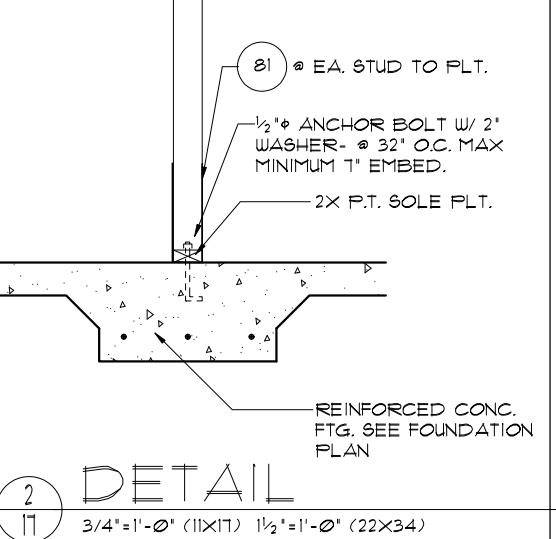
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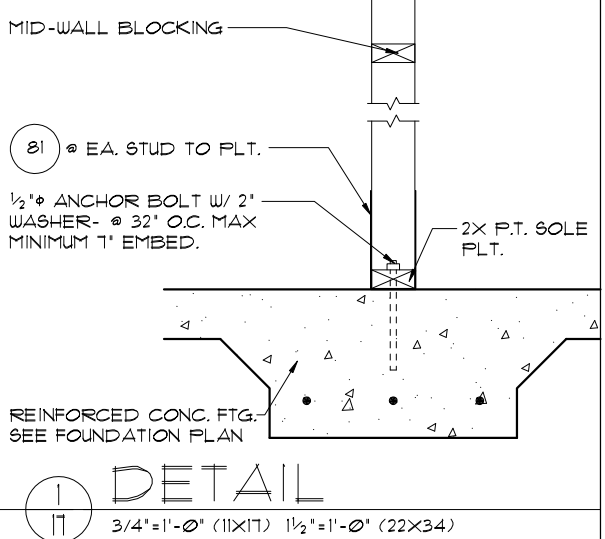
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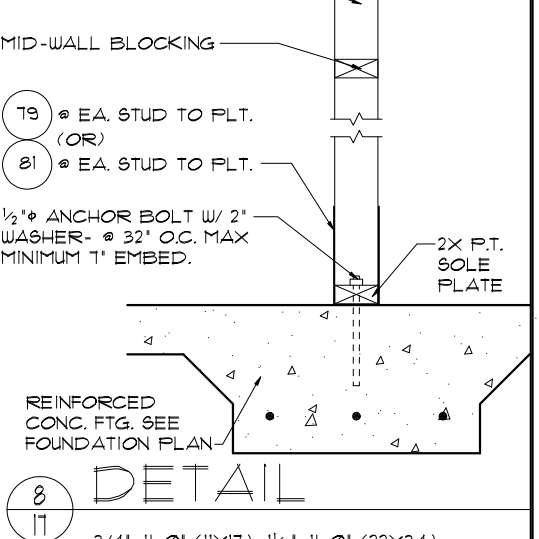
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81 DETAIL

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