## 2380

# THE PEMBROKE (SIDING) FLORIDA SERIES

PAD SIZE: 40' X 54'-8"

SHEET INDEX:

#### SHEET INDEX: **COVER SHEET** 01A FOUNDATION PLAN "A" 02A FLOOR PLAN W/ DIMENSIONS "A" 03A FLOOR PLAN W/ NOTES "A" 04A UPPER FLOOR PLAN W/ DIMEN. "A" 05A UPPER FLOOR PLAN W/ NOTES "A" 06A EXTER. ELEVATION "A" - FRONT & REAR 07A EXTER. ELEVATION "A"- LEFT & RIGHT 08 CROSS SECTION / INTERIOR ELEVATIONS 09 ELECTRICAL PLAN 10 UPPER FLOOR ELECTRICAL PLAN 11A TRUSS LAYOUT "A" 12A UPPER FLOOR TRUSS LAYOUT "A" 13A PRE-CAST LINTEL LAYOUT "A" 14 TYPICAL DETAILS 15 TYPICAL DETAILS 16 TYPICAL DETAILS D1TYPICAL STRUCTURAL DETAILS D2 TYPICAL STRUCTURAL DETAILS D3 TYPICAL STRUCTURAL DETAILS D4 TYPICAL STRUCTURAL DETAILS D5 TYPICAL STRUCTURAL DETAILS

\* ADD .3 FOR 3-CAR GARAGE OPTION

12B 13B 14 15 16 D1 D2 D3	CROSS SECTION / INTERIOR ELEVATIONS ELECTRICAL PLAN UPPER FLOOR ELECTRICAL PLAN TRUSS LAYOUT 'B' UPPER FLOOR TRUSS LAYOUT 'B' PRE-CAST LINTEL LAYOUT 'B' TYPICAL DETAILS TYPICAL DETAILS TYPICAL STRUCTURAL DETAILS	
	* ADD .3 FOR 3-CAR GARAGE OPTION	
	01B 02B 03B 04B 05B 06B 07B 08 09 10 11B 12B 13B 14 15 16 D1 D2 D3 D4	

#### SHEET INDEX: **COVER SHEET** 01C FOUNDATION PLAN "C" 02C FLOOR PLAN W/ DIMENSIONS "C" 03C FLOOR PLAN W/ NOTES "C" 04C UPPER FLOOR PLAN W/ DIMEN. "C" 05C UPPER FLOOR PLAN W/ NOTES "C" 06C EXTER. ELEVATION "C"- FRONT & REAR 07C EXTER. ELEVATION 'C'- LEFT & RIGHT 08 CROSS SECTION / INTERIOR ELEVATIONS 09 ELECTRICAL PLAN UPPER FLOOR ELECTRICAL PLAN 10 TRUSS LAYOUT "C" 11C 12C UPPER FLOOR TRUSS LAYOUT "C" 13C PRE-CAST LINTEL LAYOUT "C" 14 TYPICAL DETAILS 15 TYPICAL DETAILS 16 TYPICAL DETAILS D1 TYPICAL STRUCTURAL DETAILS D2 TYPICAL STRUCTURAL DETAILS D3TYPICAL STRUCTURAL DETAILS D4 TYPICAL STRUCTURAL DETAILS TYPICAL STRUCTURAL DETAILS \* ADD .3 FOR 3-CAR GARAGE OPTION

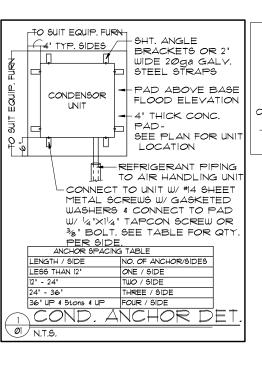
		REVISION SCHEDULE	
NO.	DATE	DESCRIPTION	BY
$\wedge$		- RELOCATED A/C CHASE	
	12.Ø3.13	- MADE PANTRY WALL 5 1/2" W	RG
		-EXTENDED BAR TOP AT KITCHEN TO BE 14"	
		-ADDED WINDOW IN BATH #3	
		-EXTENDED BAR TOP AT KITCHEN TO BE 14"	
		-ADDED WINDOW IN BATH #3	
		-MOVED MASTER BED WINDOW TO THE REAR	
		-CHANGE REAR ROOF PITCH TO 4/12	
		-UPDATED ELECTRICAL LAYOUT	
$\wedge$		ADD 3-CAR GARAGE OPTION	
/2\	<i>0</i> 6.25.14		RDC
$\wedge$		-REDESIGN BEDROOM 2/BATH 2	
/3\	12-01-14	-REDESIGN DROPZONE AREA	RDC
		-ADD NEW ELEVATION "C"	
		-ADD NEW ELEVATION "D"	
_		-APPLIED MID-FLORIDA TRUSSES TO ELEV "B&C"	
4\	08-06-15		MW
		-CHANGED WALL IN BDRM#2 TO 2X6 \$	
		ADD 5 1/4" X 5 1/4" P.S.L. UNDER GIRDER "GI	
$\overline{\Lambda}$		-REPLACE OPEN RAILING @ IST FLOOR STAIRS	
<u></u>	15-12-15	WITH 42"H. WALL STD	MW
$\wedge$		-ADD WALL MOUNT LIGHT IN LANAI STD	
6	04-04-16	ADD WALL FIGHT IN EARA OID	MW
$\overline{}$	11-16-16	-REPLACE SCUTTLE W/2/0×3/0 SINGLE PRE-HUNG	
<u>/-</u> ]		A.A.	MW
^		UPDATE TO 2017 CODE - ELEV A, B & C	
8	Ø4-23-18	DATE TO ZOTT CODE - LLLV A, B & C	MW
$\overline{\wedge}$		REDESIGN LAUNDRY CHUTE	
<u>/9/</u>	Ø7-13-18	TADDOG TAGET	MW
Λ		REDESIGN MASTER BEDROOM TRAY CLG	
10	11-29-18		MW
Λ		-ADDED NEW A,B,C SIDING ELEVATIONS	
<u>/11\</u>	Ø5-16-19		J⊨
$\wedge$	11-05-19	-REPLACE 2×4 WALL AT STAIRS W/ 2×6 TO	
/12\		ACCOMODATE 3-PLY GIRDER	MW
$\overline{}$		UPDATE TO 2020 CODE - ELEV A, B & C	
13	Ø5-Ø1-21	GI PATE TO 1919 CODE LEEV A, B 4 C	RN
Λ		-REMOVE MEDICINE CABINET FROM BATHROOMS	
/14\	10-06-21		RN
$\triangle$	at 10 00	REDESIGN LAUNDRY CHUTE PER SUMMERBROOKE	
15	Ø5-19-22		MW
$\wedge$	10/05/03	- DELETE INTERIOR DOORS HT	<b>-</b>
	10/05/23		MW
16			
^		I- REPLACE BIFOLD DR @ 2ND FLR LINEN CLOSET	
16\ A	Ø1/25/24	- REPLACE BIFOLD DR @ 2ND FLR LINEN CLOSET W/PRE-HUNG DR	MW
^	Ø1/25/24 Ø1/3Ø/24	- REPLACE BIFOLD DR @ 2ND FLR LINEN CLOSET W/PRE-HUNG DR. - UPDATE 8TH EDITION- 2023 CODE	MW

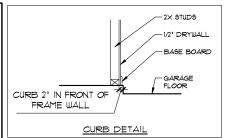
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DATE 04-6-12 SCALE AS NOTED

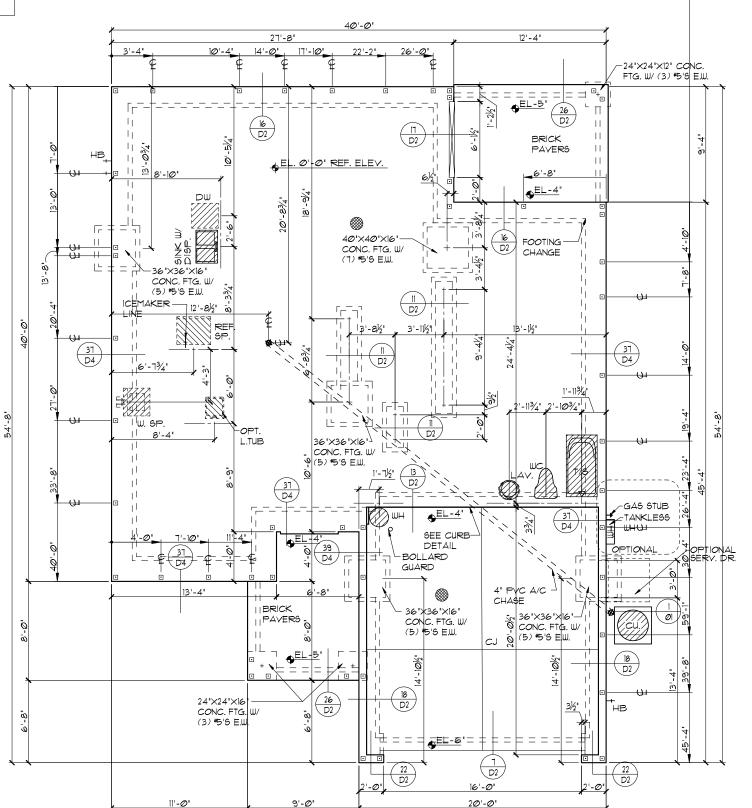
SCALE AS NOTE DRAWN RI JOB 23

JOB SHEET





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40'-0"

#### FOUNDATION NOTES

- I. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- DENOTES FILL CELL REINF, W/ CONC.
   W/ (1) #5¢ REBAR, GRADE 6∅
- DENOTES FILL CELL REINF. W/ CONC.
   W/ (2) #5¢ REBAR. GRADE 60
- 4. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPER-VISOR FOR CLARIFICATION.
- 5. WATER HEATER T & PRELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR, WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
- 6. DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. WITH MIN. 1" COVER. TERMITE TREATED SOIL WITH 006mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WUF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS.

  \*FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE MESH.
- PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.



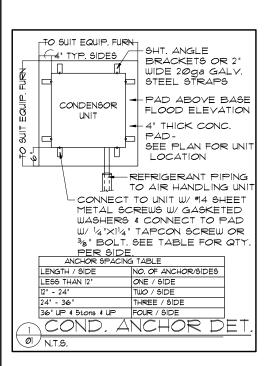
- 9. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
- 10. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- II. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 FLORDA BUILDING CODE.

PEMBROKE

SCALE AS NOTED

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JOB



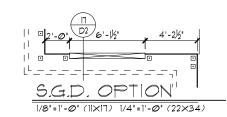
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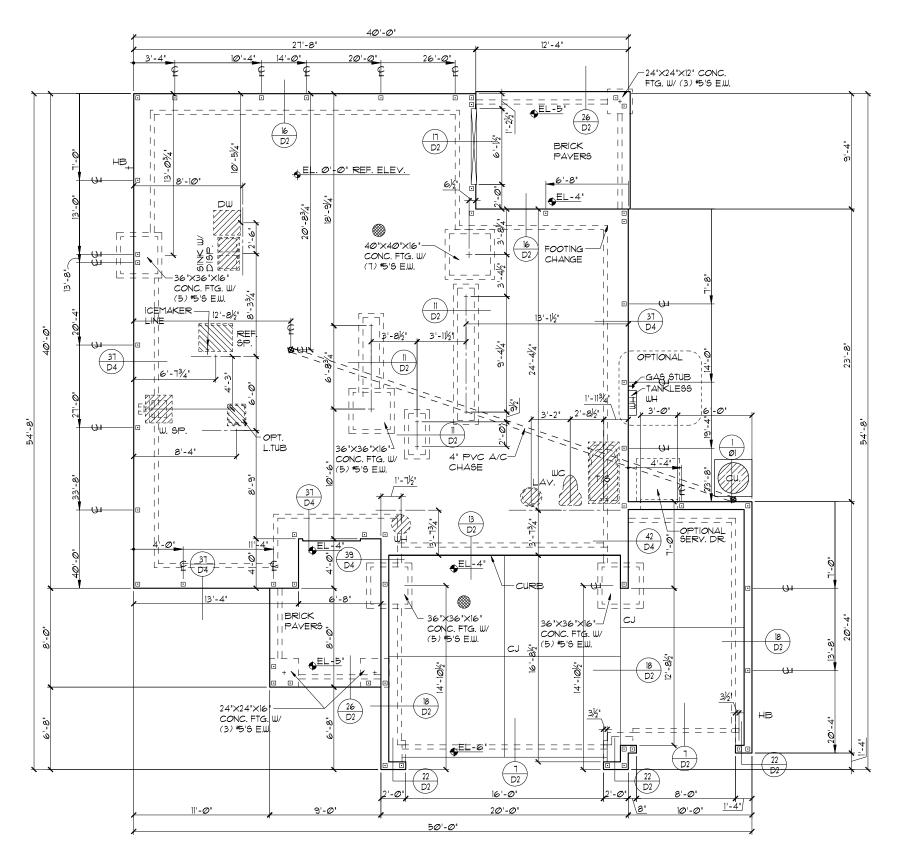
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FOUNDATION PLAN "A"

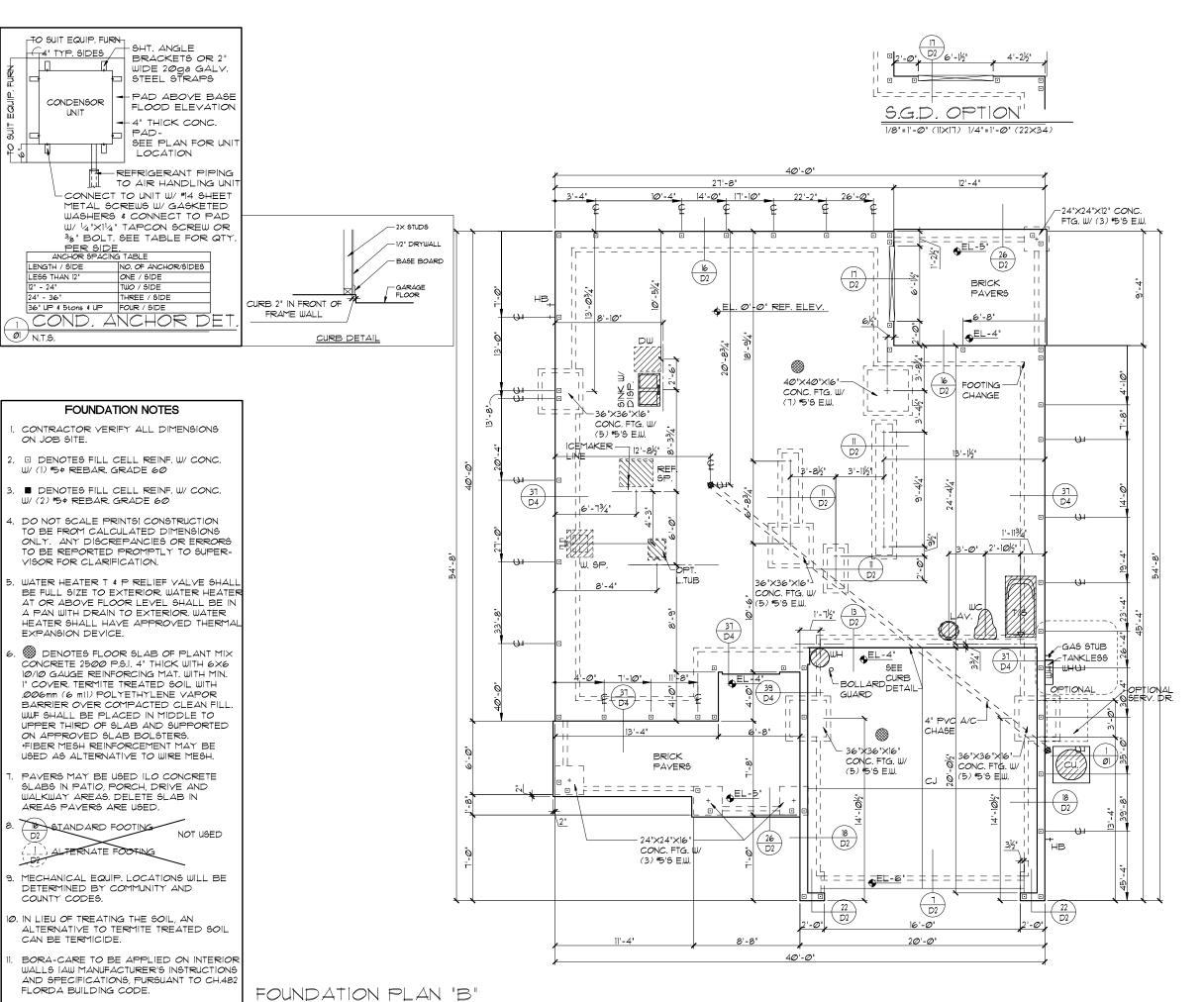
1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

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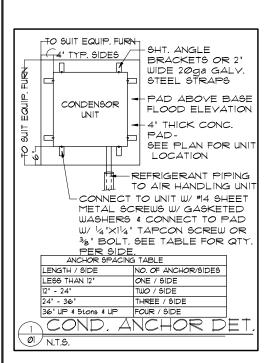
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SHEET SHEET

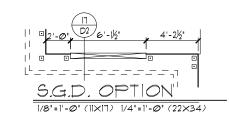


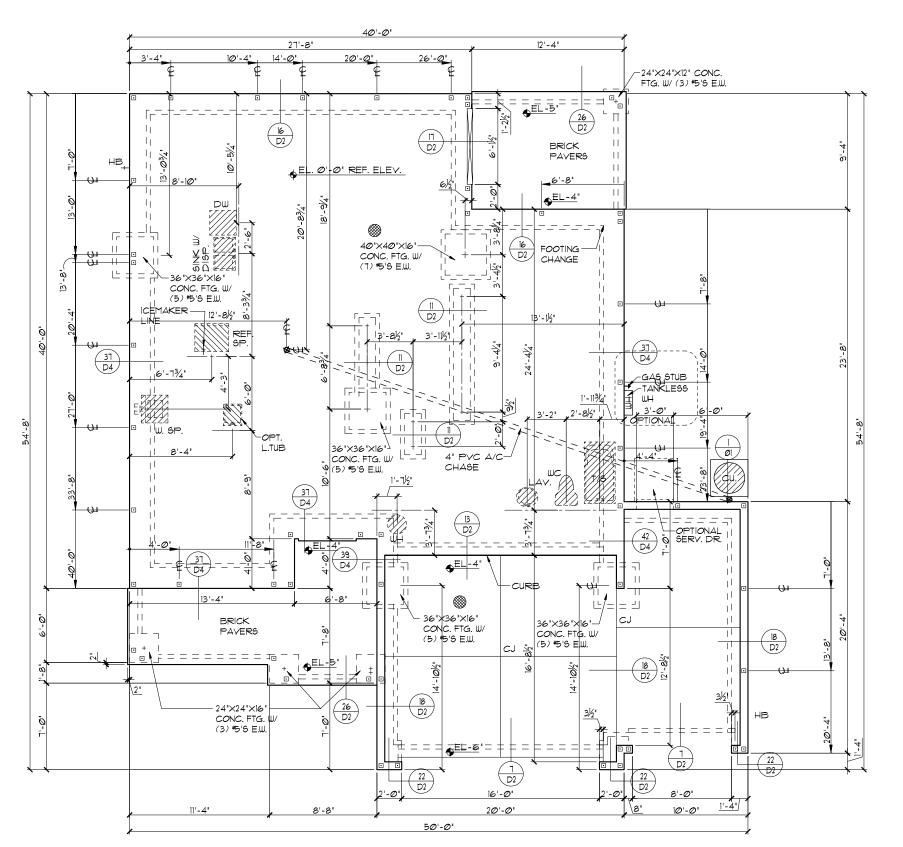
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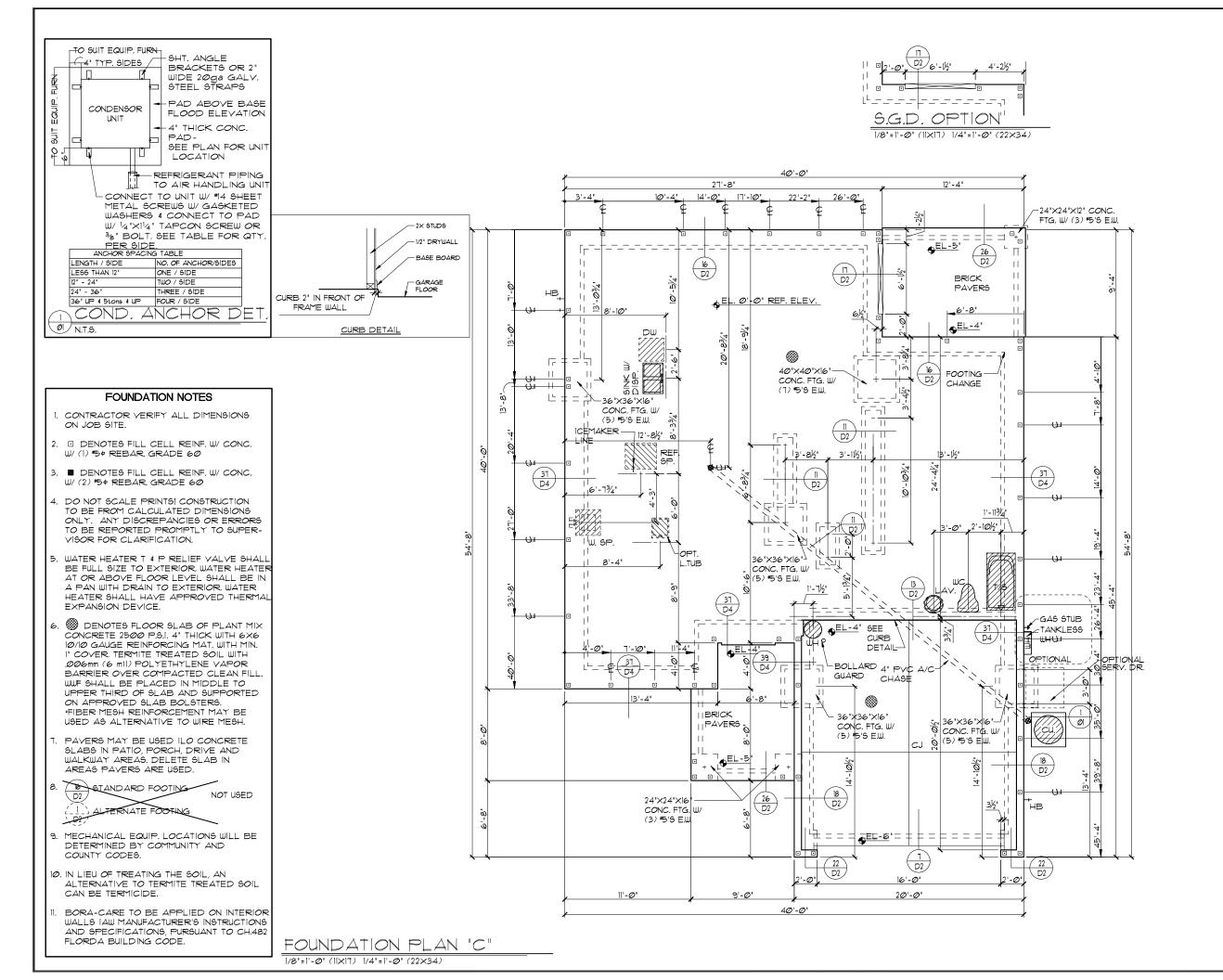


PEMBROKE

SCALE AS NOTED

SHEET

FOUNDATION PLAN "B"

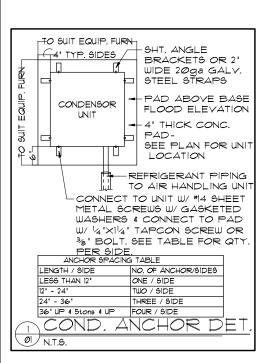


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JOB 2

SCALE AS NOTED

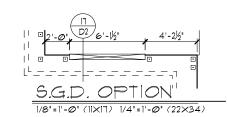


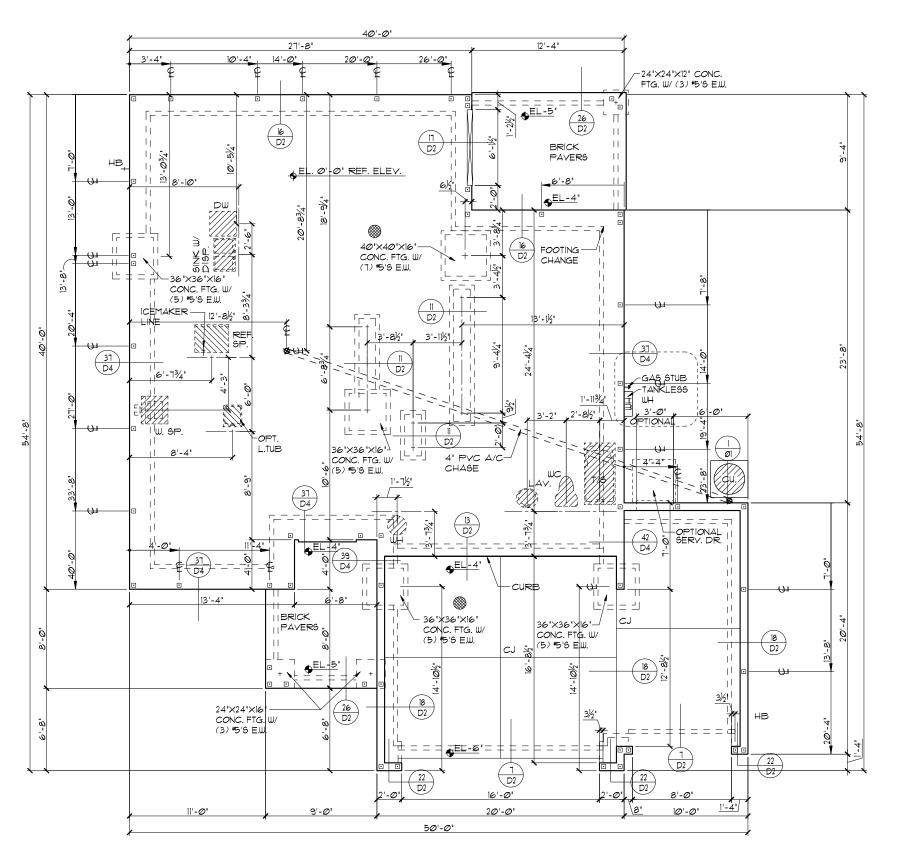
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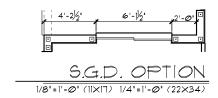


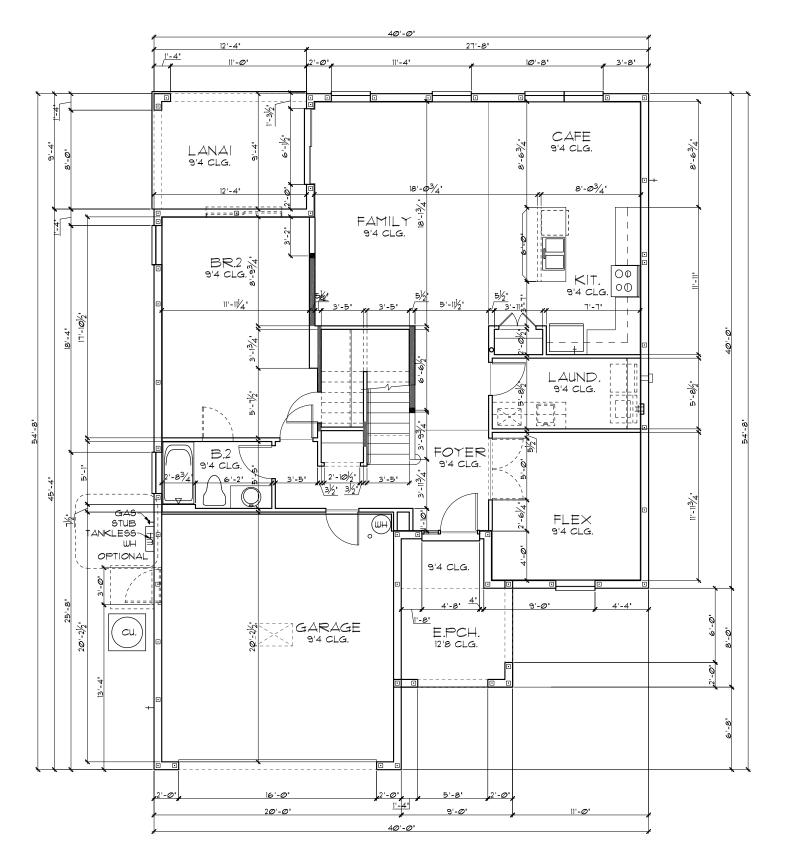
PEMBROKE

SCALE AS NOTED

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FOUNDATION PLAN "C"



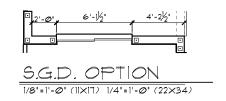


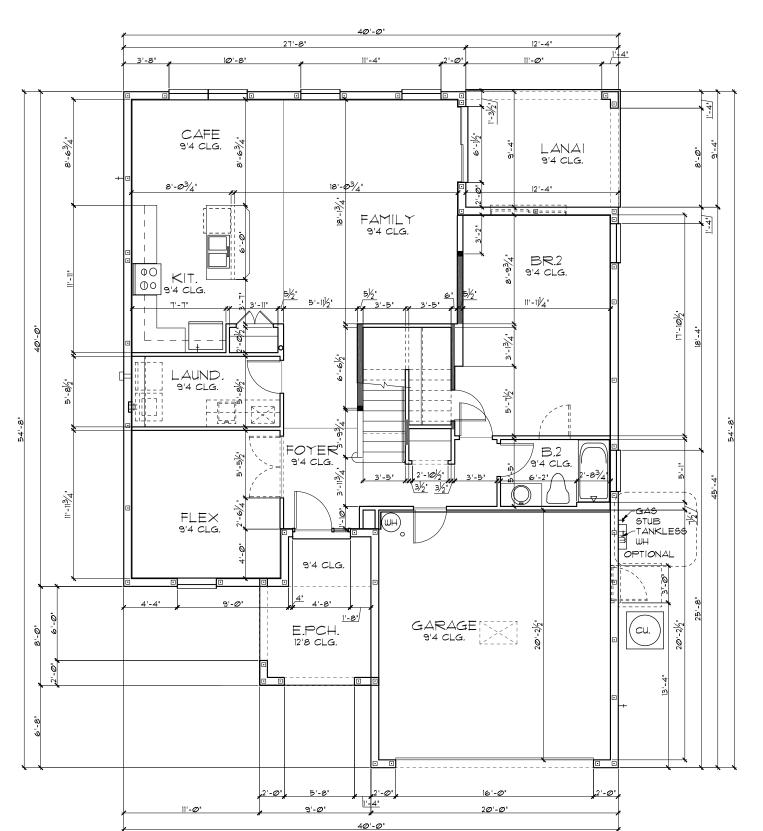
TABULATION UPPER LIVING ------ 1,046 SF. LOWER LIVING ----- 1,334 SF. TOTAL LIVING------ 2,380 SF. GARAGE----- 418 SF. ENTRY PORCH -----99 SF. 115 SF. FRONT BALCONY-----N/A SF. N/A SF. REAR BALCONY-----TOTAL UNDER ROOF 3,Ø12 SF.

#### GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS
  ONLY. ANY DISCREPANCIES OR ERRORS
  TO BE REPORTED PROMPTLY TO
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- ALL INTERIOR FRAME WALL DIMENSIONS TO BE 31/2" UNLESS NOTED OTHERWISE.
- ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE  $1\frac{1}{2}$ " UNLESS NOTED OTHERWISE.
- . PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

FLOOR PLAN W/ DIMENSIONS -GARAGE LEFT THE PEMBROKE SCALE AS NOTED





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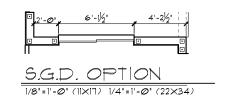
#### GENERAL NOTES

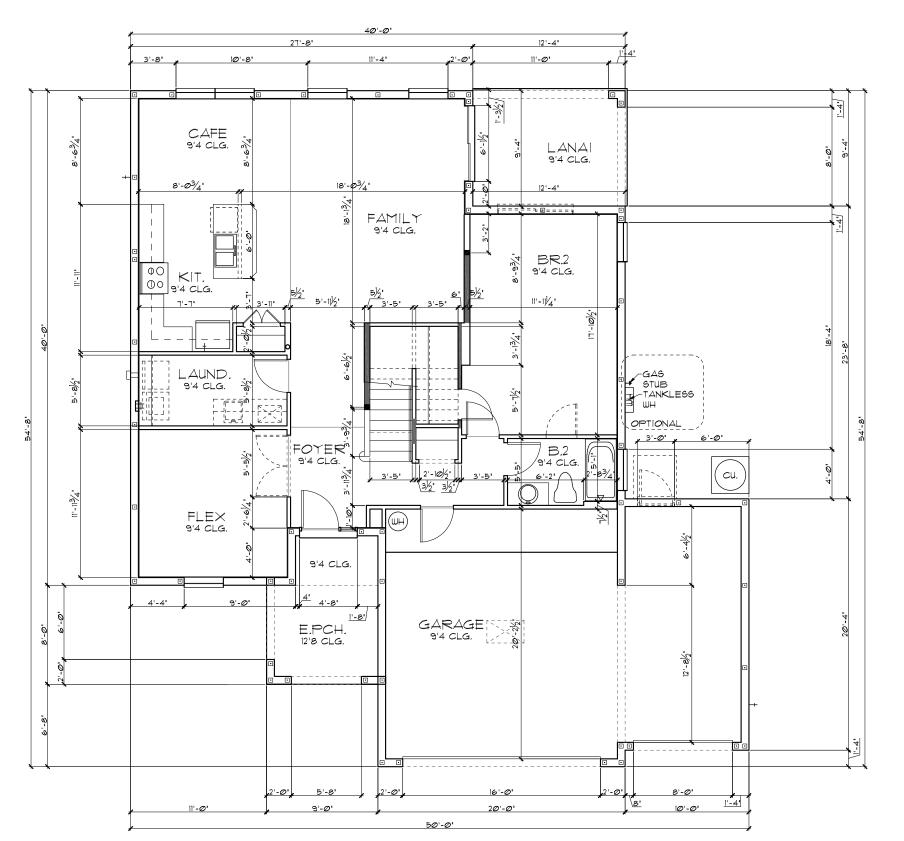
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- PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

DIMENSIONS /M NV: THE PEMBROKE

SCALE AS NOTED





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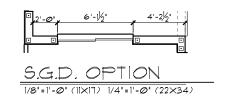
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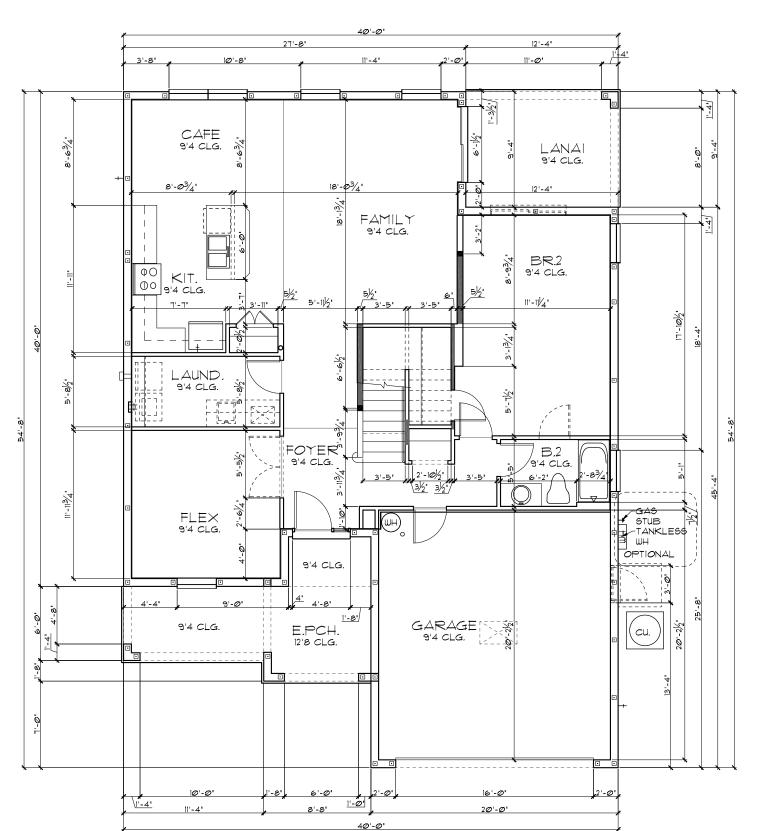
THE PEMBROKE DATE Ø4-6-12

DIMENSIONS

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SCALE AS NOTED





TABULATION UPPER LIVING ----- 1,046 SF. LOWER LIVING ----- 1,334 SF. TOTAL LIVING------ 2,380 SF. GARAGE----- 418 SF. ENTRY PORCH-----161 SF. LANAI -----115 SF. FRONT BALCONY-----N/A SF. REAR BALCONY-----N/A SF. TOTAL UNDER ROOF 3,074 SF.

#### GENERAL NOTES

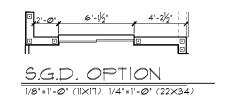
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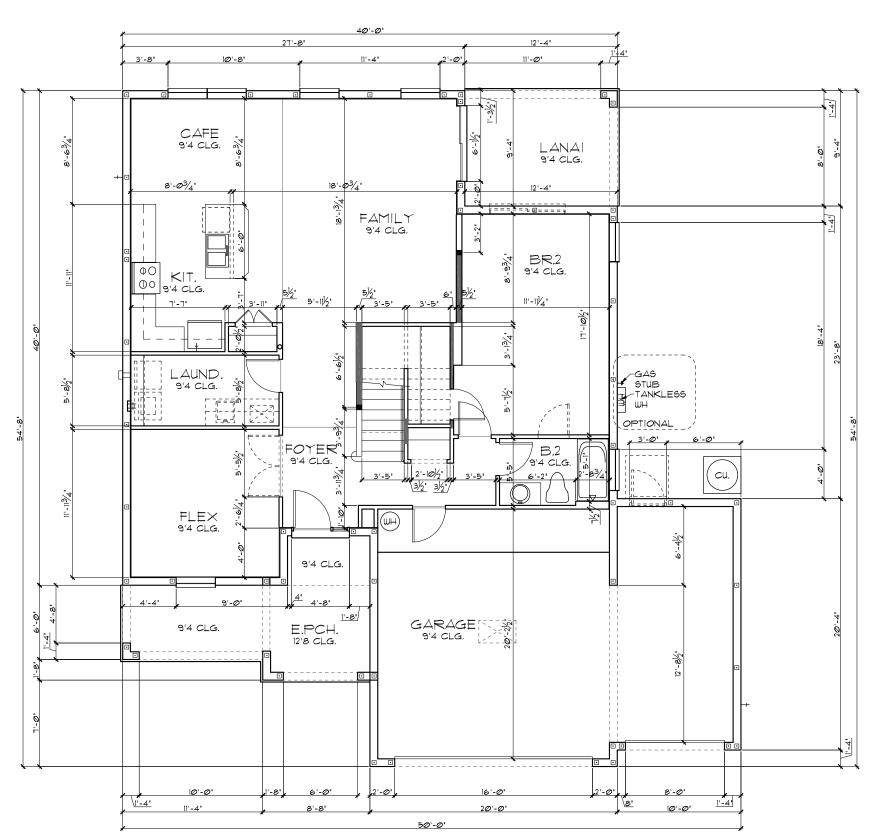
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DIMENSIONS 

THE PEMBROKE

SCALE AS NOTED





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#### GENERAL NOTES

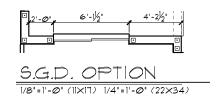
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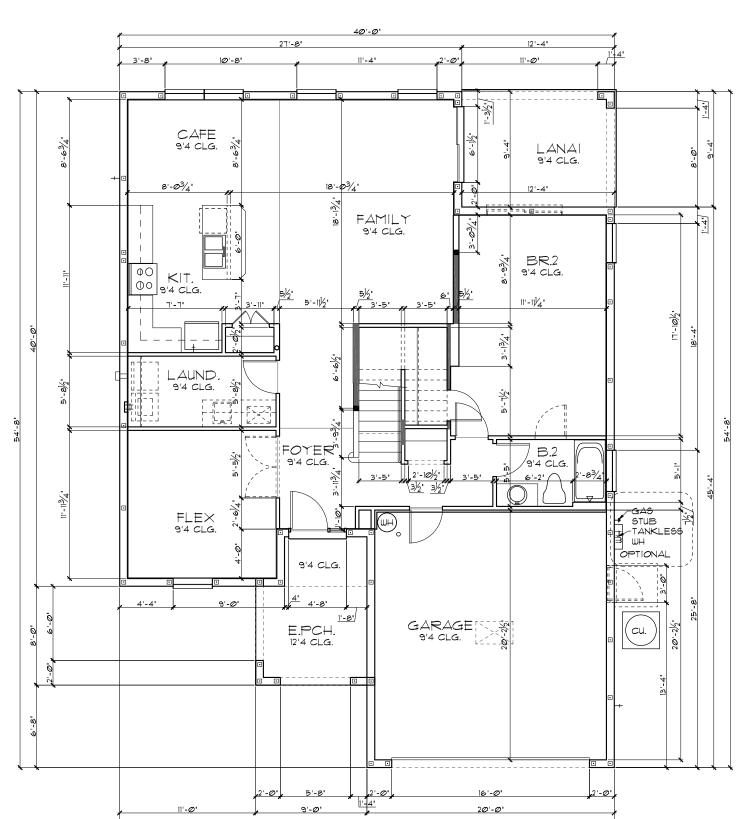
DIMENSIONS  $\mathbb{N}$ 

THE PEMBROKE

DATE **Ø4-6-**12

SCALE AS NOTED





40'-0"

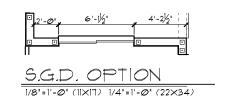
TABULATION UPPER LIVING ----- 1,046 SF. LOWER LIVING ----- 1,334 SF. TOTAL LIVING----- 2,380 SF. GARAGE----- 418 SF. ENTRY PORCH -----99 SF. LANAI-----115 SF. FRONT BALCONY----- N/A SF. REAR BALCONY-----N/A SF. TOTAL UNDER ROOF 3,Ø12 SF.

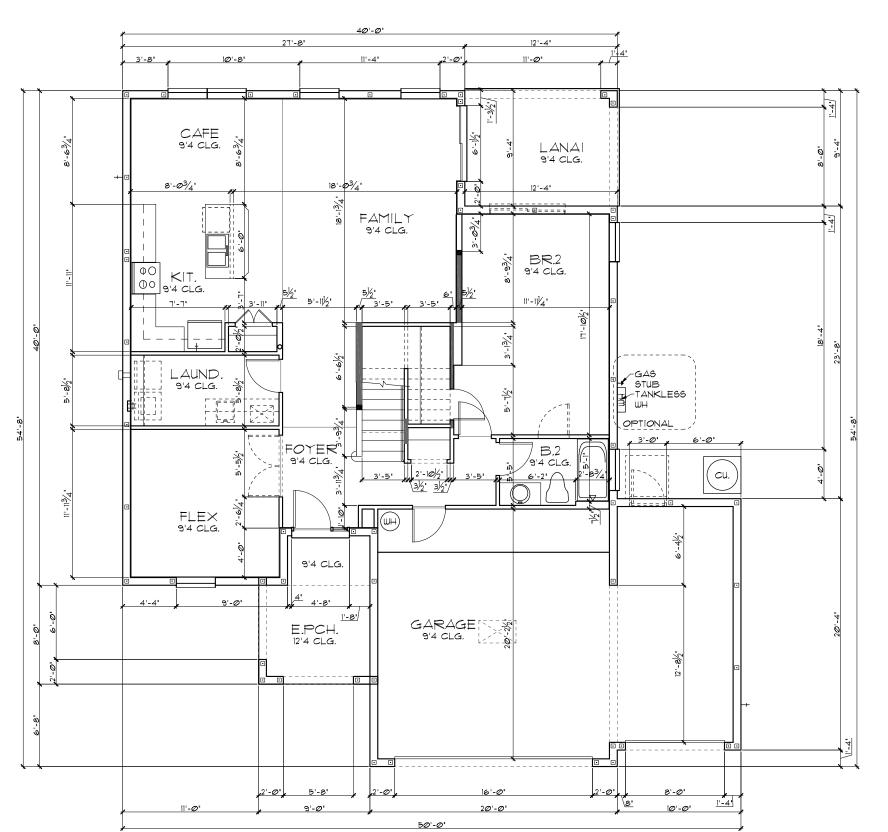
#### GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- ALL INTERIOR FRAME WALL DIMENSIONS TO BE 31/2" UNLESS NOTED OTHERWISE.
- . ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 71/2" UNLESS NOTED OTHERWISE.
- . PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

DIMENSIONS  $\mathbb{N}$ THE PEMBROKE

SCALE AS NOTED





TABULATION UPPER LIVING ----- 1,046 SF. LOWER LIVING ----- 1,334 SF. TOTAL LIVING----- 2,380 SF. GARAGE----- 623 SF. ENTRY PORCH-----99 SF. LANAI-----115 SF. FRONT BALCONY----- N/A SF. REAR BALCONY-----N/A SF. TOTAL UNDER ROOF 3,217 SF.

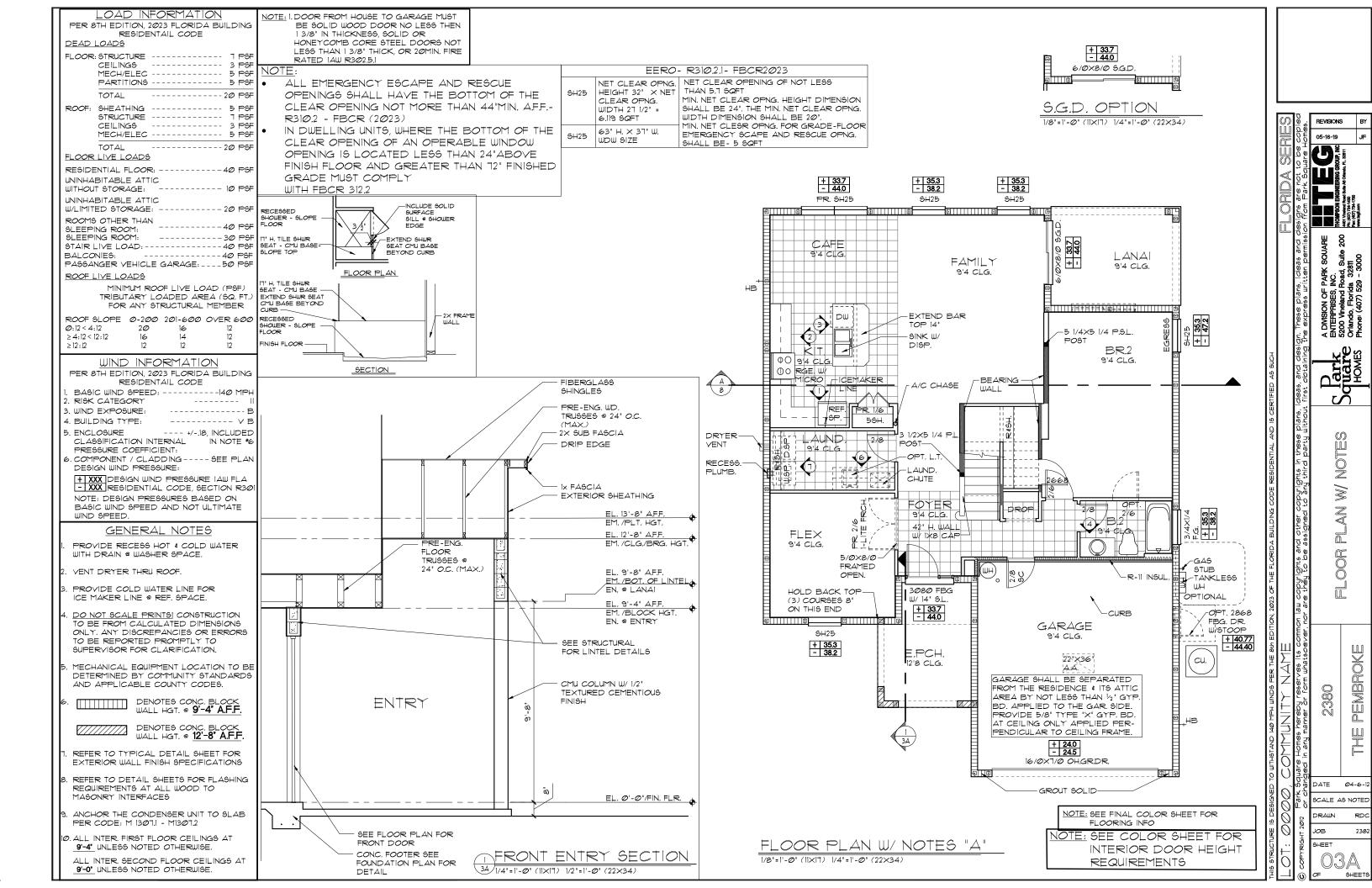
#### GENERAL NOTES

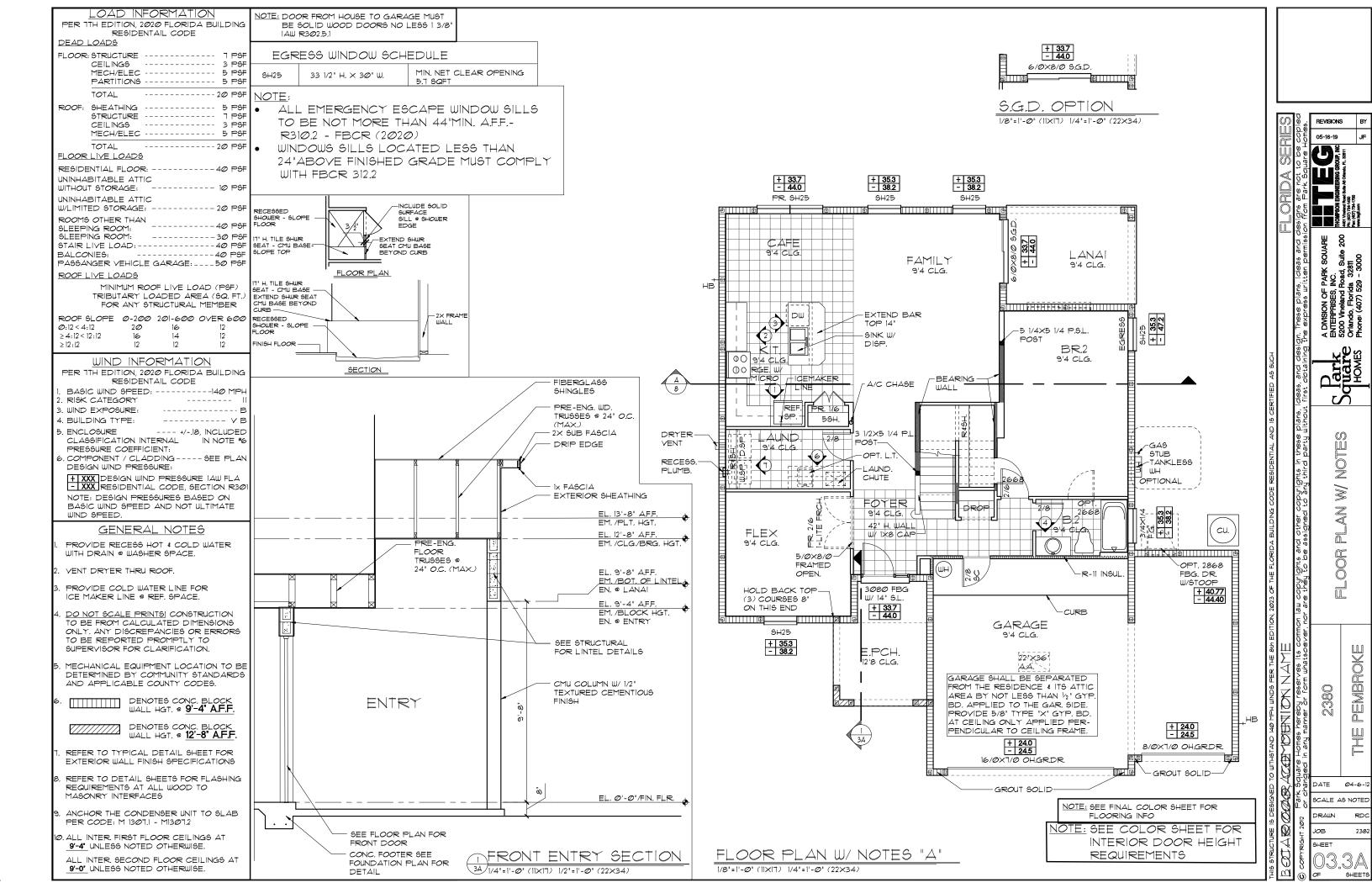
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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- PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

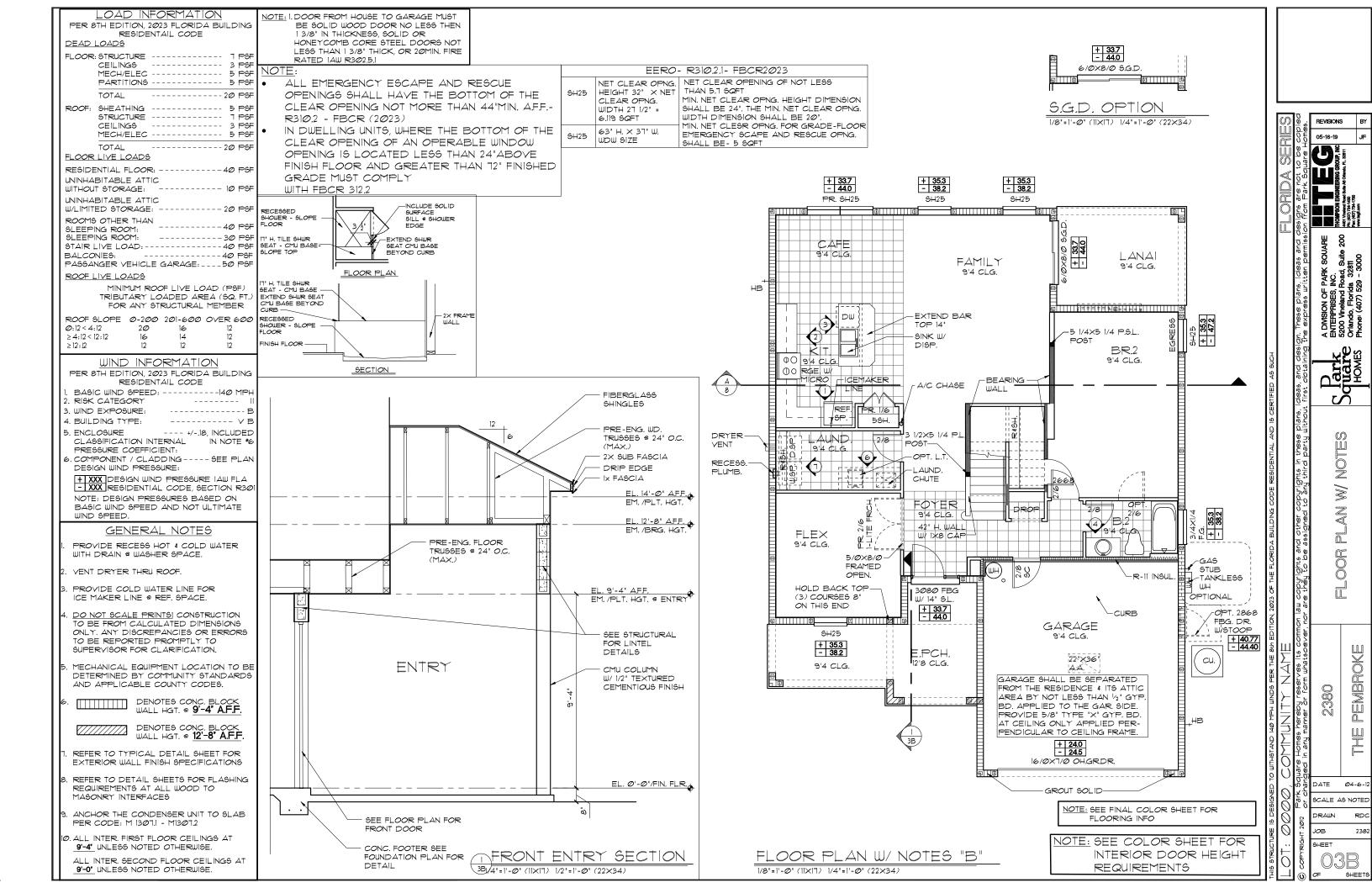
DIMENSIONS  $\mathbb{N}$ THE PEMBROKE

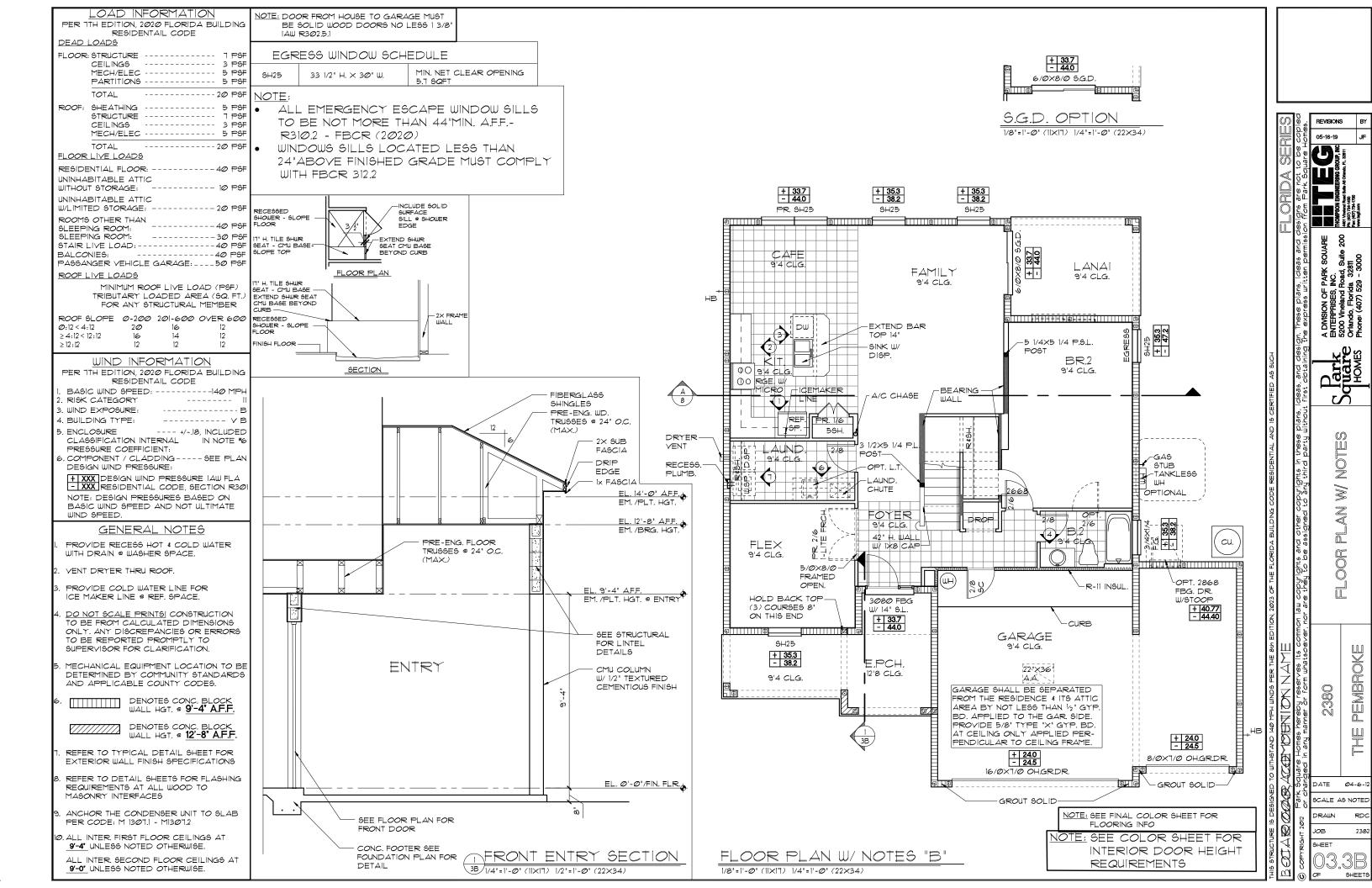
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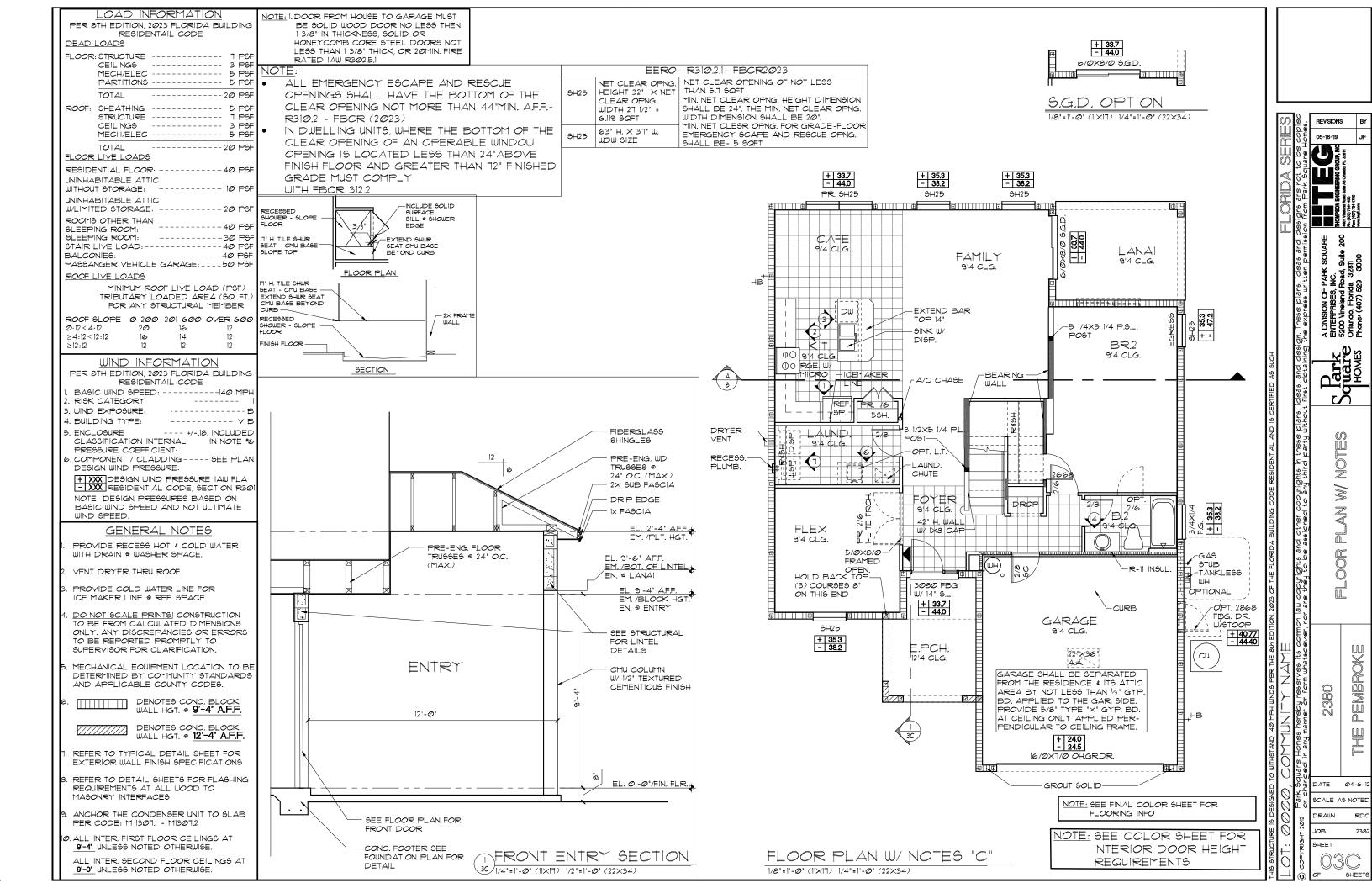
SCALE AS NOTED

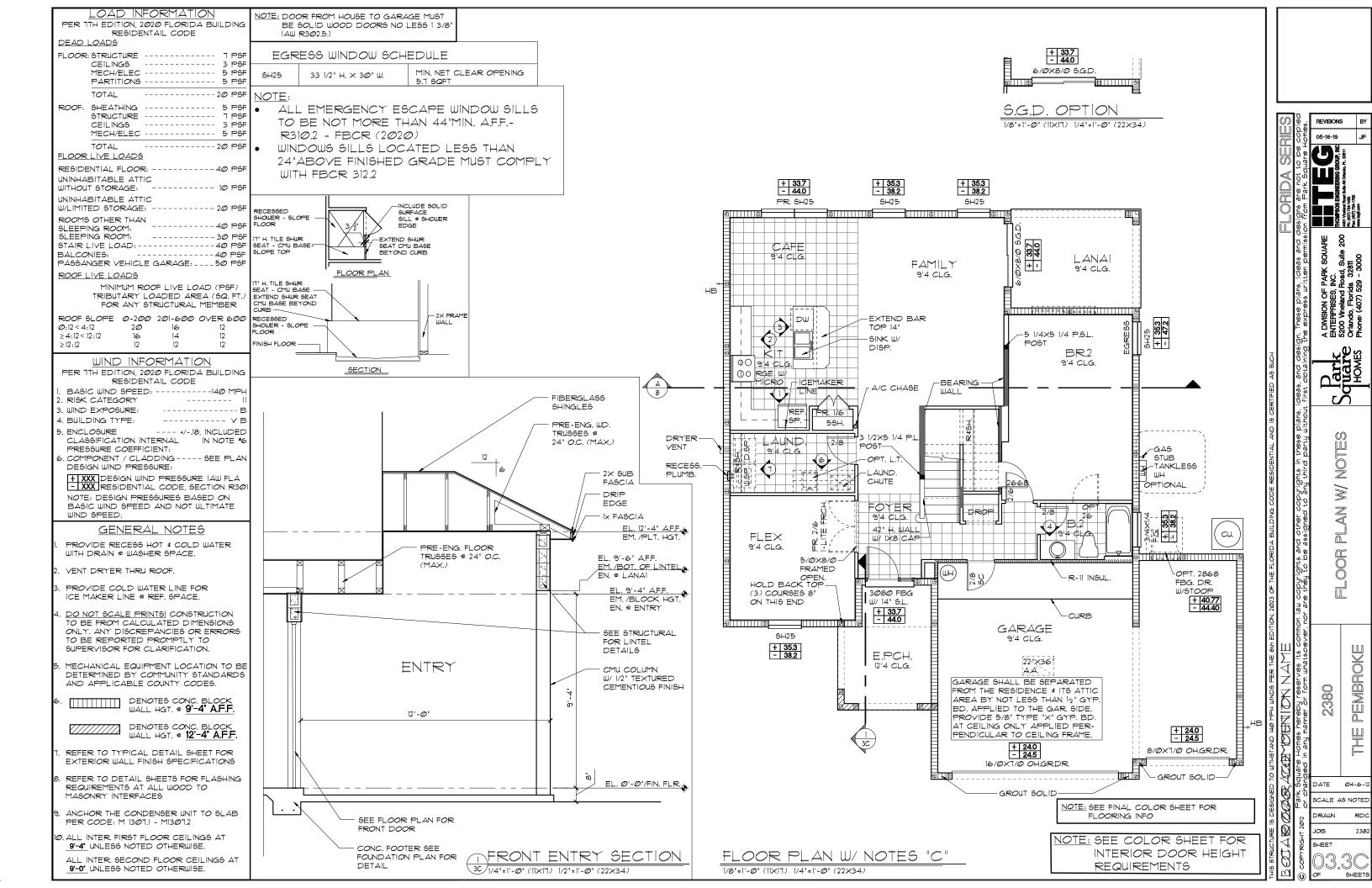


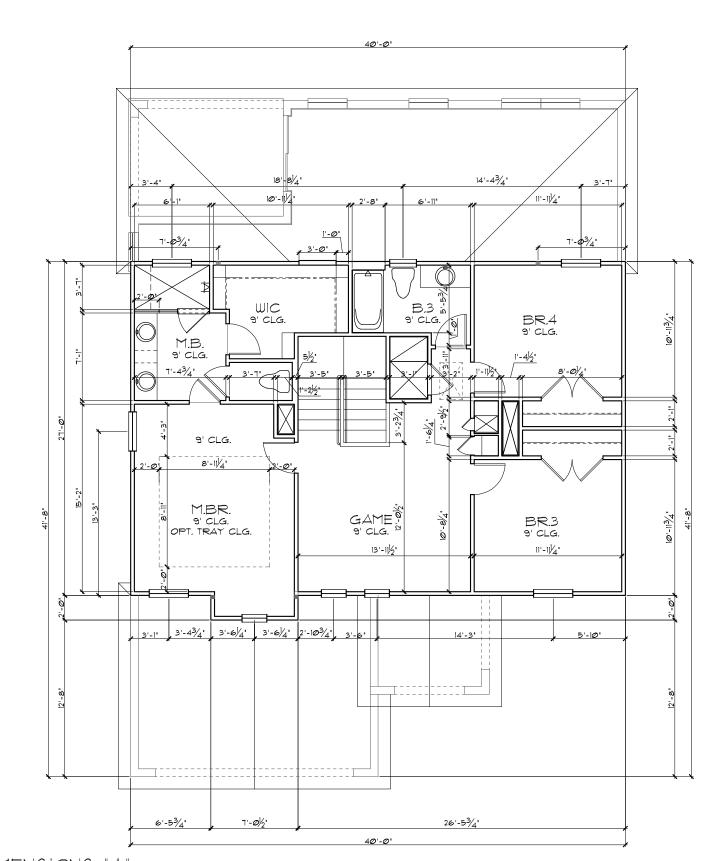












#### GENERAL NOTES

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- ALL INTERIOR FRAME WALL DIMENSIONS TO BE 31/2" UNLESS NOTED OTHERWISE.
- . ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE  $1\frac{1}{2}$  " UNLESS NOTED OTHERWISE.
- 5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

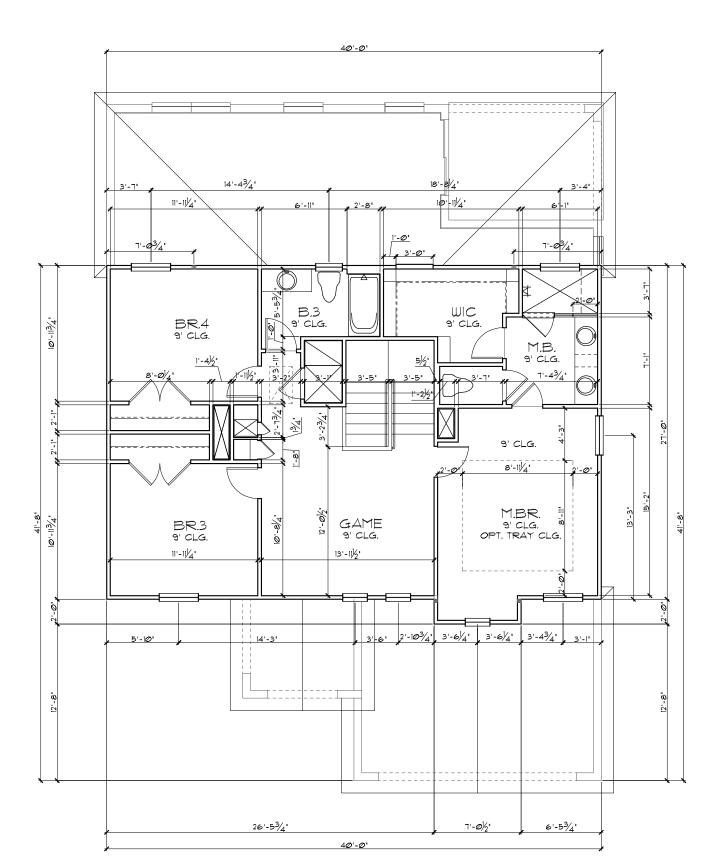
UPPER FLOOR PLAN W/ DIMENSIONS "A" 1/8"=|'-Ø" (||X|7) 1/4"=|'-Ø" (22X34)

UPPER FLC

THE PEMBROKE

OOR PLAN V

SCALE AS NOTED



UPPER FLOOR PLAN DIMENSIONS

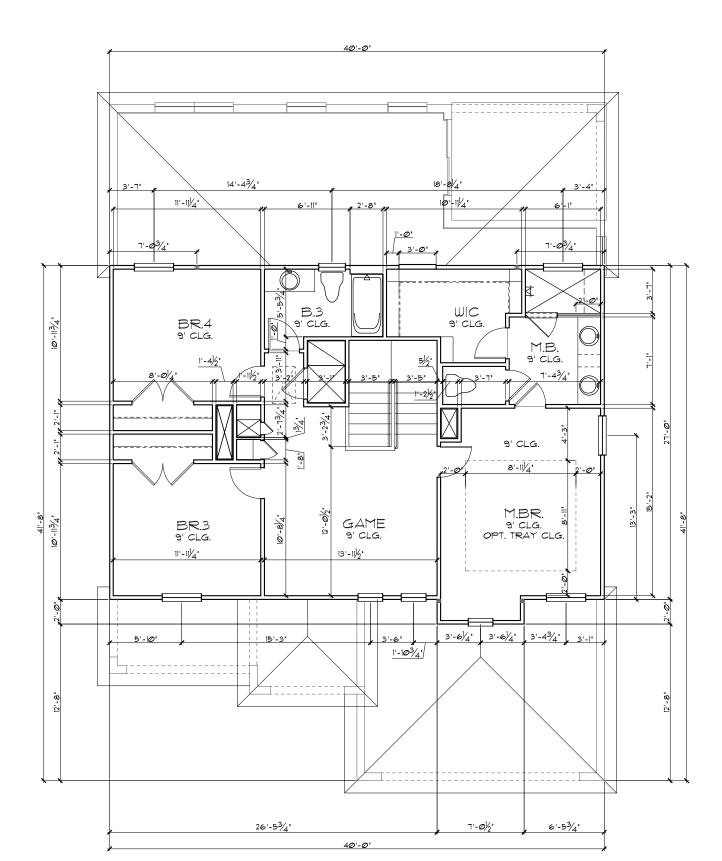
THE PEMBROKE

SCALE AS NOTED

SHEET

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#### GENERAL NOTES

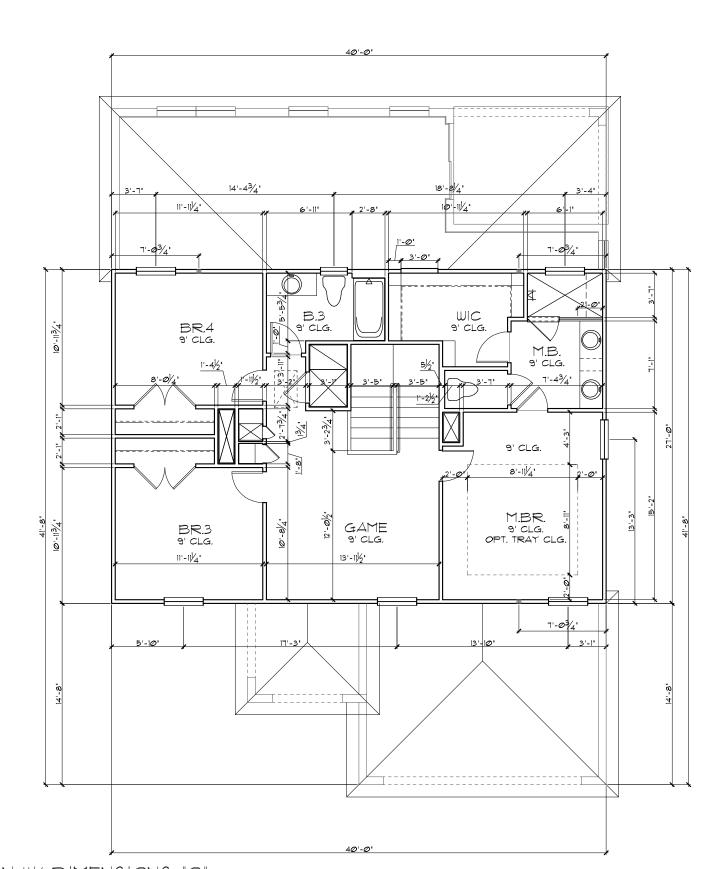
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- ALL INTERIOR FRAME WALL DIMENSIONS TO BE  $3\frac{1}{2}$ " UNLESS NOTED OTHERWISE.
- . ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE  $1^{1}\!\!_{2}$  UNLESS NOTED OTHERWISE.
- PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

UPPER FLOOR PLAN W/ DIMENSIONS "B" 1/8"=|'-Ø" (||X|7) ||/4"=|'-Ø" (22X34)

UPPER FLOOR PLAN DIMENSIONS

THE PEMBROKE

SCALE AS NOTED



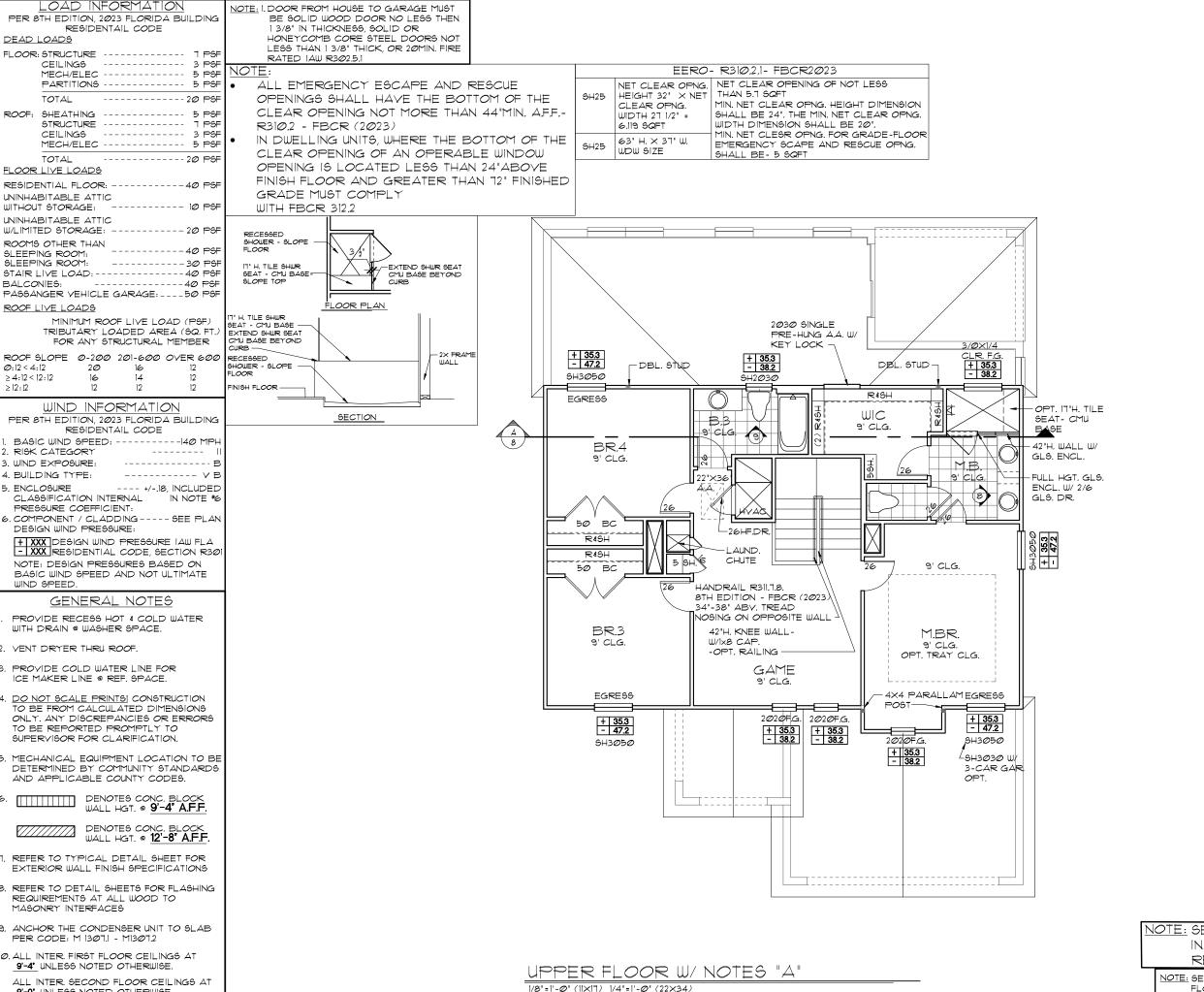
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- . ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE  $1^{1}\!_{2}$ " unless noted otherwise.
- 5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.

THE PEMBROKE

UPPER FLOOR PLAN DIMENSIONS

SCALE AS NOTED



9'-0' UNLESS NOTED OTHERWISE.

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

PEMBROKE

SCALE AS NOTED

RDC

2382

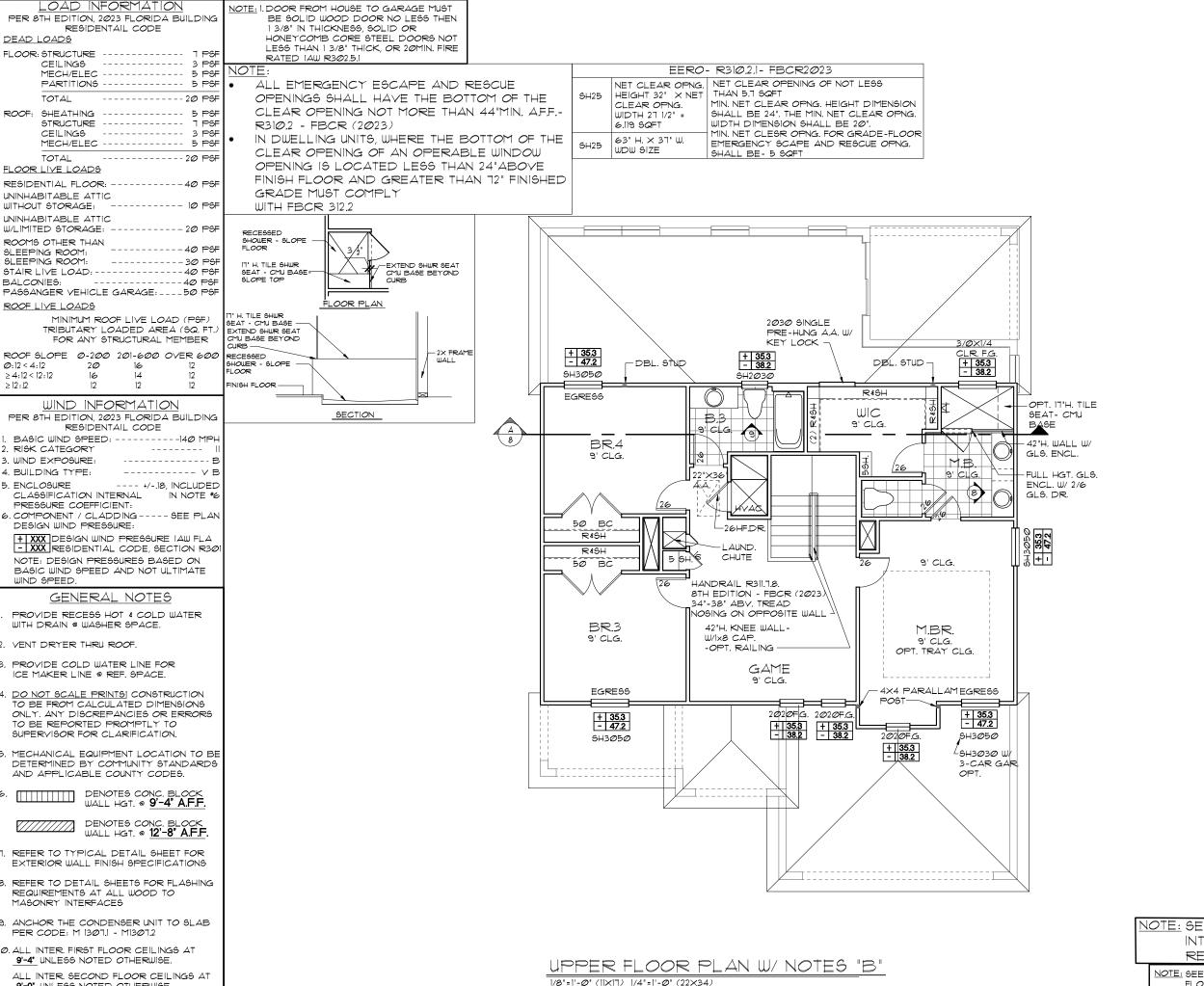
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DRAWN

JOB

SHEET

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO



9'-0" UNLESS NOTED OTHERWISE.

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

PEMBROKE

SCALE AS NOTED

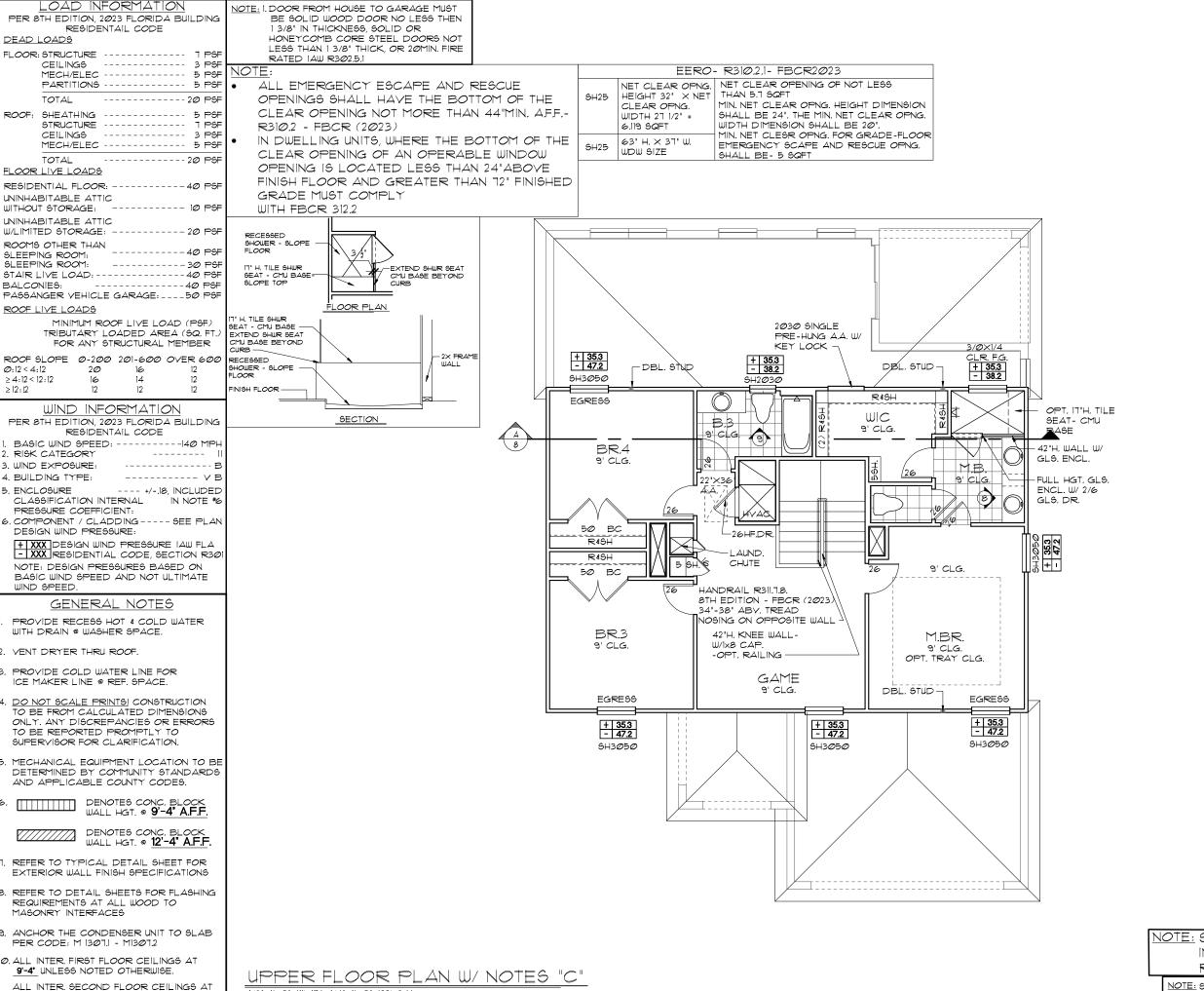
RAWN

JOB

SHEET

NOTE: SEE FINAL COLOR SHEET FOR

FLOORING INFO



1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

9'-0" UNLESS NOTED OTHERWISE.

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

SHEET

RAWN JOB

SHEETS

SCALE AS NOTED

RDC

2382

PEMBROKE



#### EXTERIOR FINISH NOTES

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- 2. PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R703.7.2 OF THE 8TH EDITION, FBCR. 2023
- 3. WEEP SCREED TO BE INSTALLED IAW RT03.7.2.1 OF THE 8TH EDITION, FBCR. 2023- MINIMUM NO 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. THE WEATHER RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- 4. WATER RESISTANT BARRIER TO BE INSTALLED IAW R703.7.3 OF THE 8TH EDITION, FBCR. 2023- INSTALED OVER WOOD BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER EQUIVALENT TO 2 LAYERS OF GRADE D PAPER
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- 6. STUCCO APPLICATION MUST BE IAW R703.7.4 OF THE 8TH EDITION, FBCR. 2023 OR EXCEPTION : APPLICATION INSTALLED IN ACCORDANCE WITH
- , UNDERLAYMENT REQUIREMENTS MUST BE IAW R905.1.1 OF THE 8TH EDITION, FBCR 2023 -

#### R905.1.1Underlayment.

Underlayment for roof slopes 2:12 and greater shall conform to the applicable standards listed in this chapter. Underlayment materials required to comply with ASTM D226 D1970, D4869 and D6757, OR ASTM D8257 shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated. Underlayment for roof slopes 2:12 and greater shall be applied and attached in accordance with Section R905.1.1.1, R905.1.1.2 as applicable.

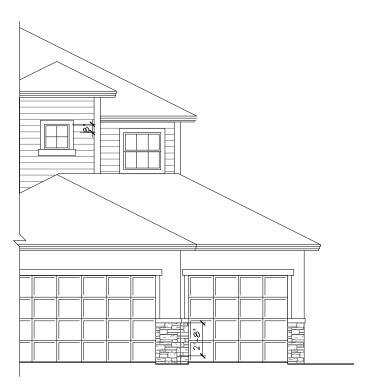


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XTERIOR FRONT A

AND

PEMBROKE



#### 3-CAR GAR, OPTION

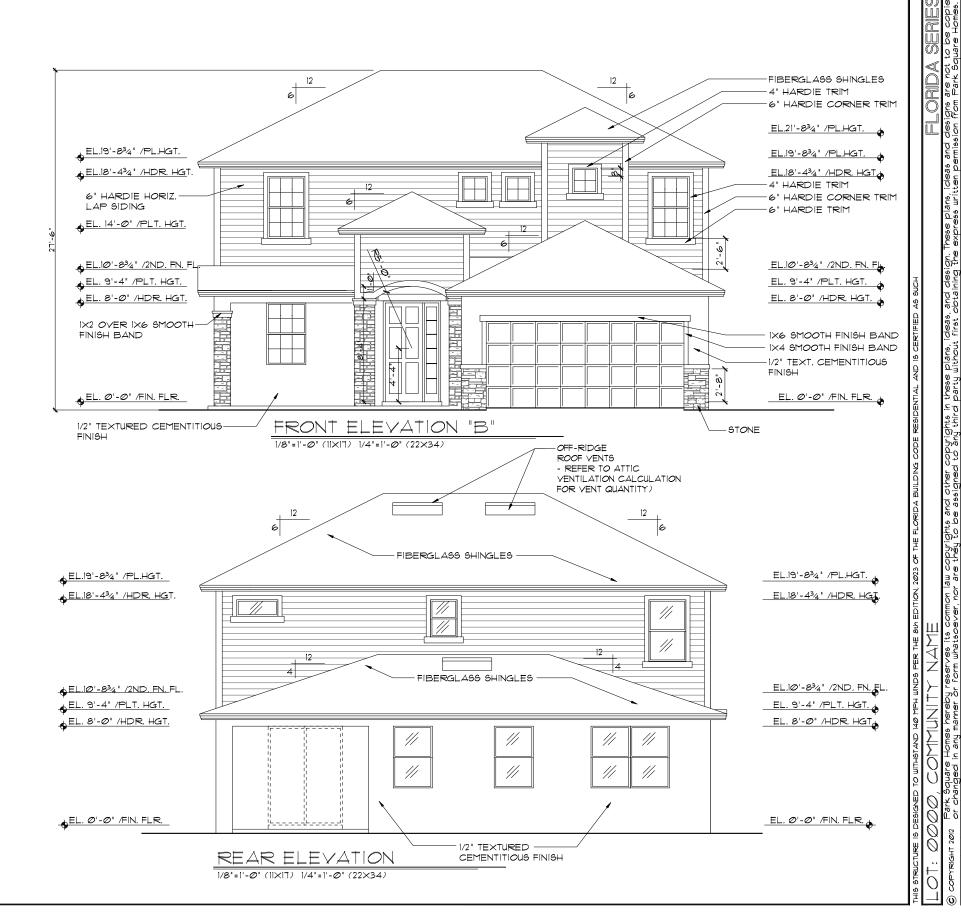
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- 4. WATER RESISTANT BARRIER TO BE INSTALLED IAW RTØ3.7.3 OF THE 8TH EDITION, FBCR. 2023- INSTALED OVER WOOD BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER EQUIVALENT TO 2 LAYERS OF GRADE D PAPER
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A DIVISION OF PARK SOUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529 - 3000

EVATION PREAR

AND

EXTERIOR FRONT A

PEMBROKE

SCALE AS NOTED

SHEET



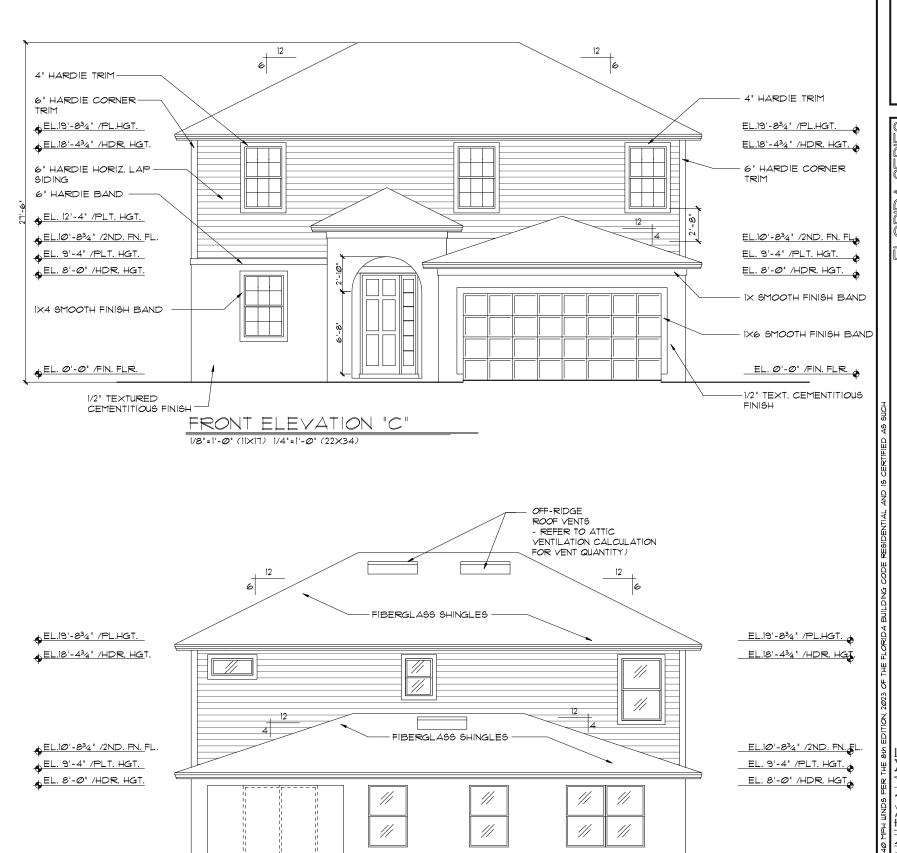
#### 3-CAR GAR, OPTION

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

#### EXTERIOR FINISH NOTES

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1/2" TEXTURED CEMENTITIOUS FINISH

REAR ELEVATION 1/8"=1'-0" (11×17) 1/4"=1'-0" (22×34)

EL. 0'-0" /FIN. FLR.

EL. Ø'-Ø" /FIN. FLR.

SCALE AS NOTED JOB

EVATION DREAR

EXTERIOR [FRONT A

PEMBROKE

AND

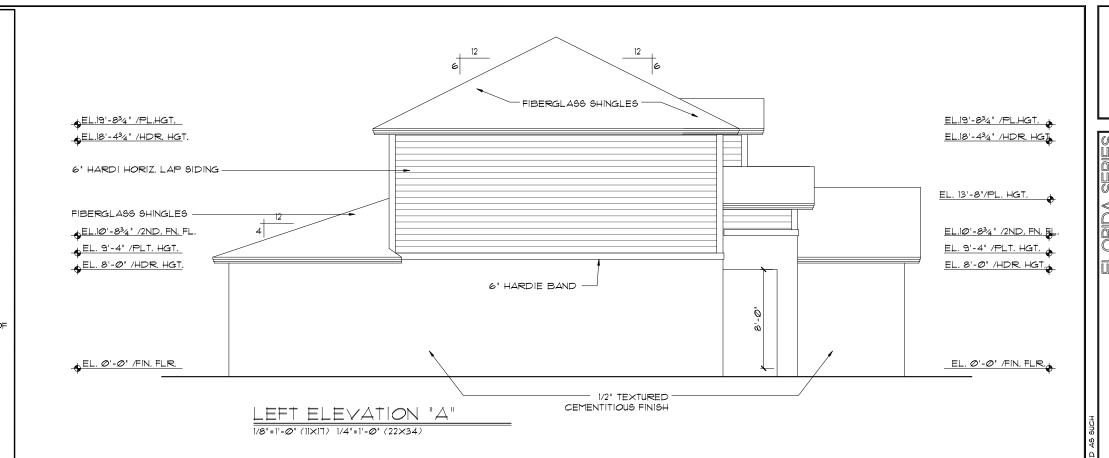
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05-16-19

EVATION RIGHT

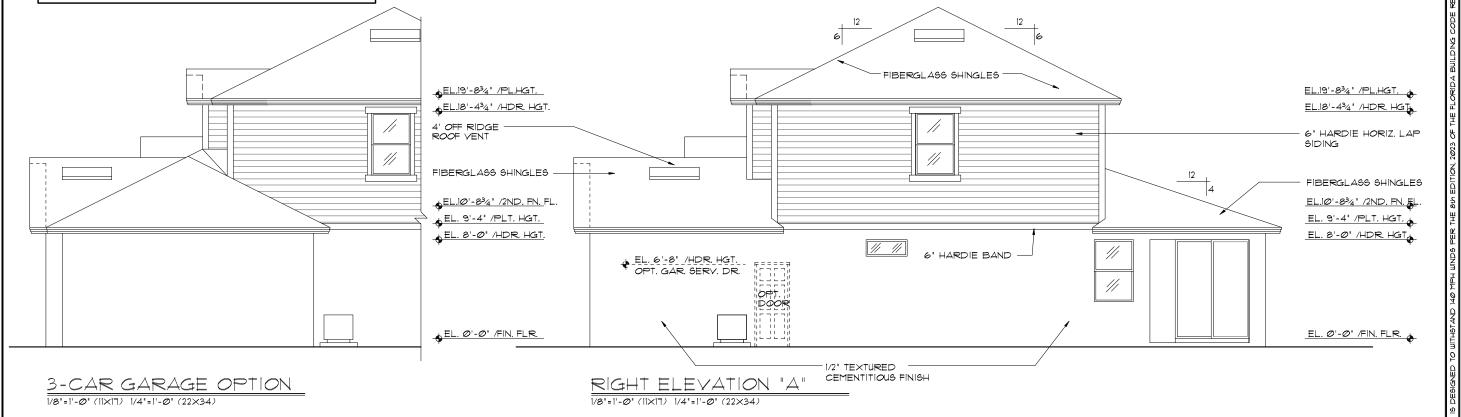
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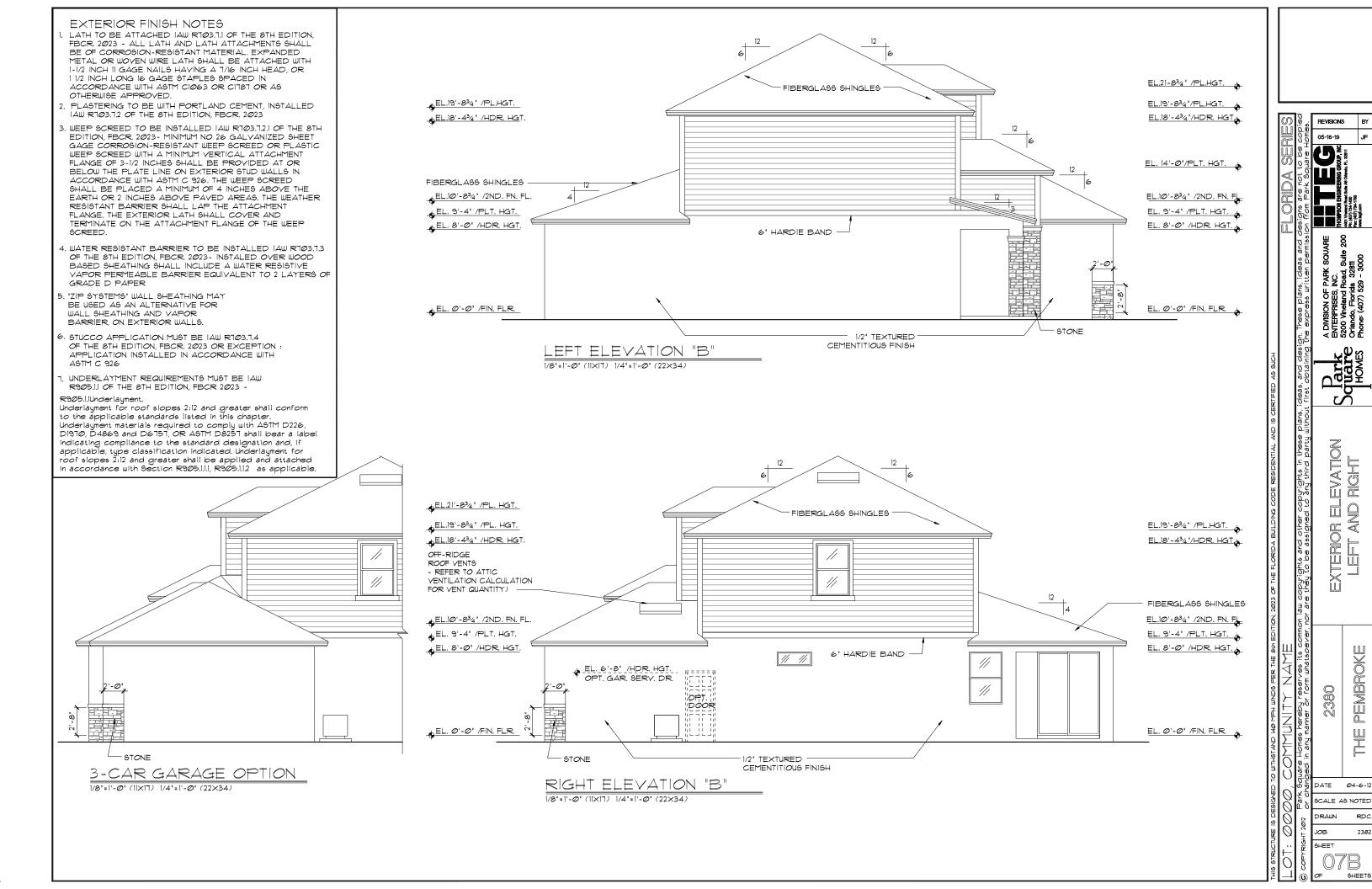
PEMBROKE

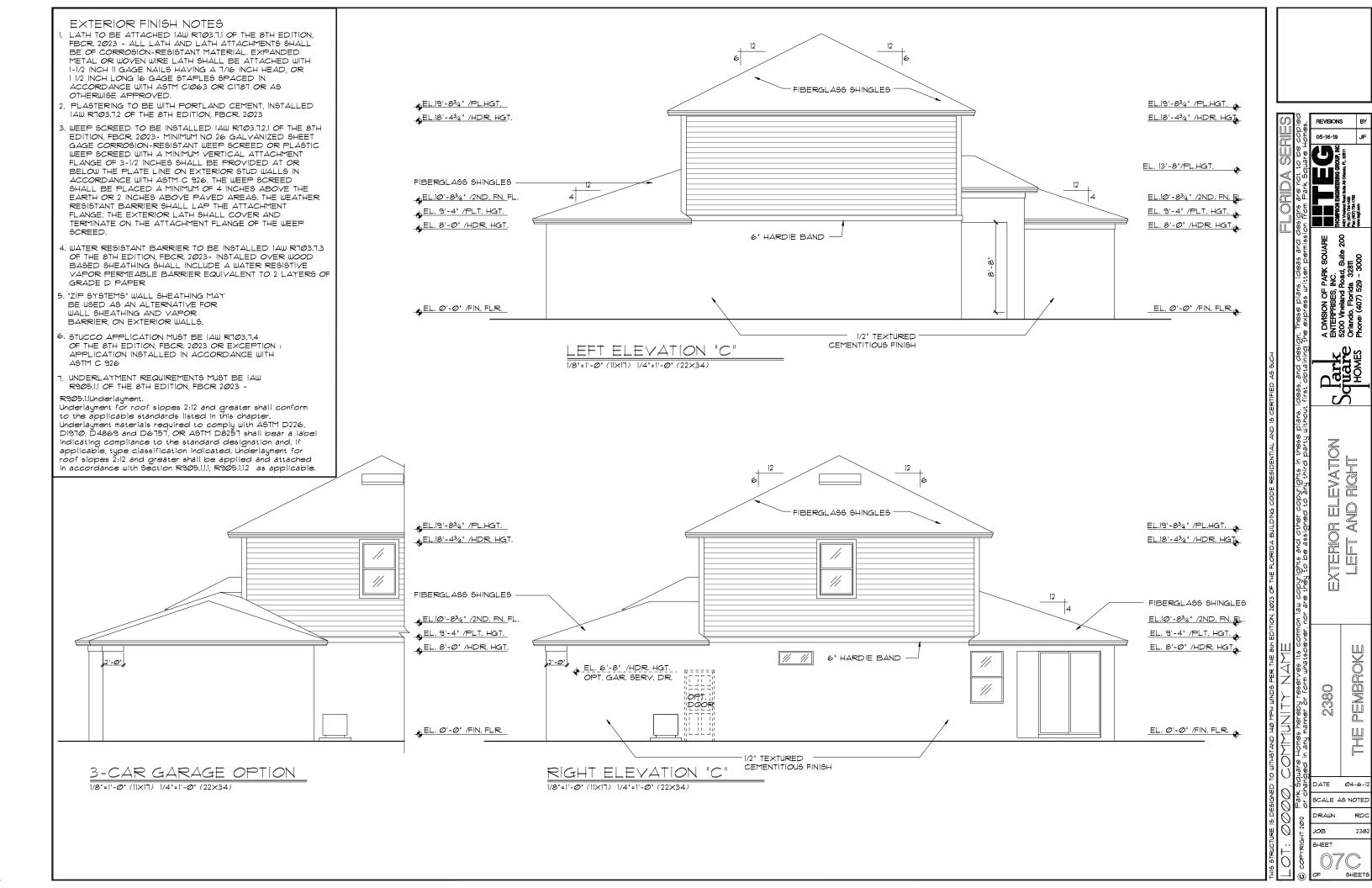
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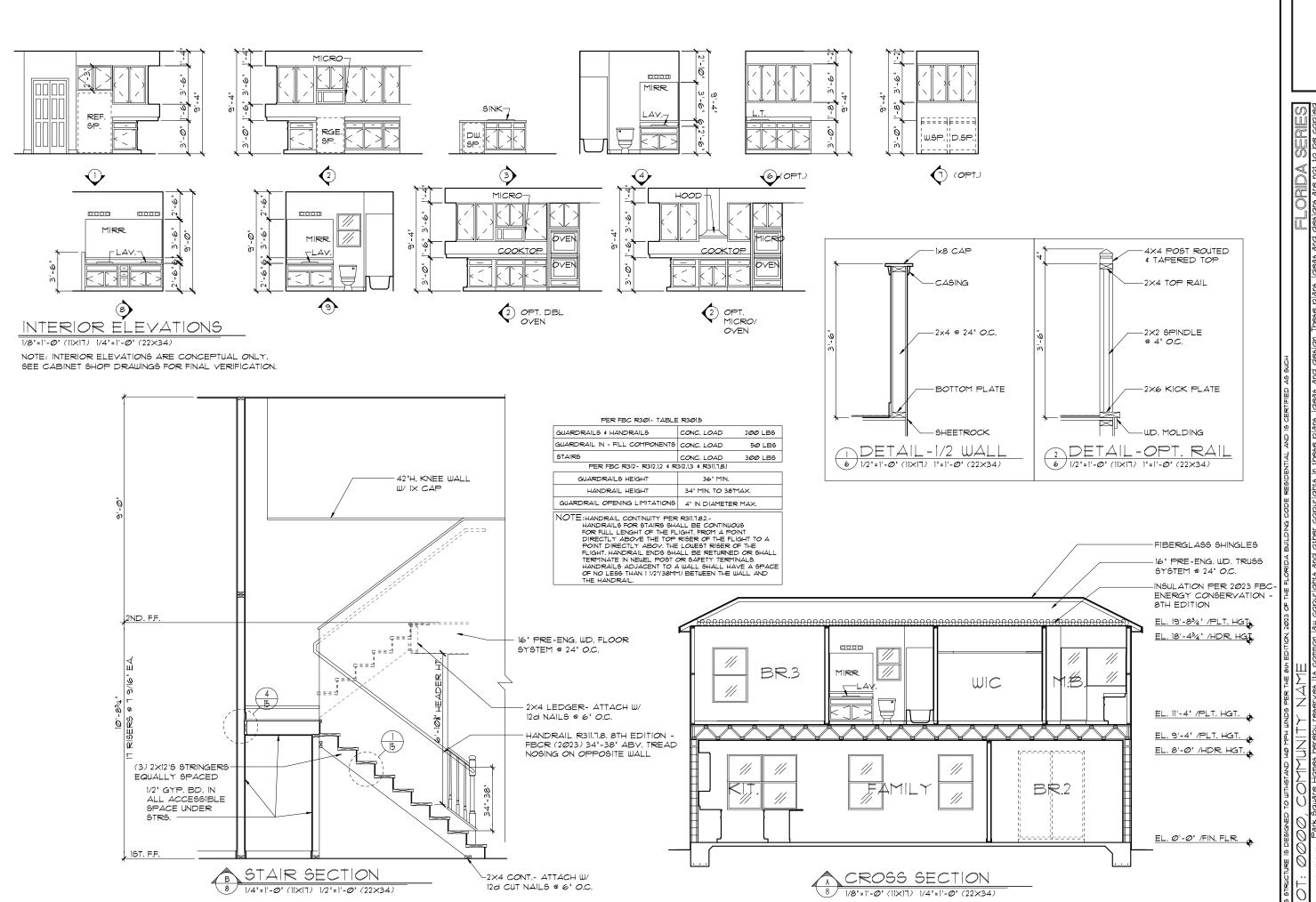
SCALE AS NOTED

JOB SHEET RDC









ELEVATIONS/ SECTION INTERIOR ELE CROSS SE

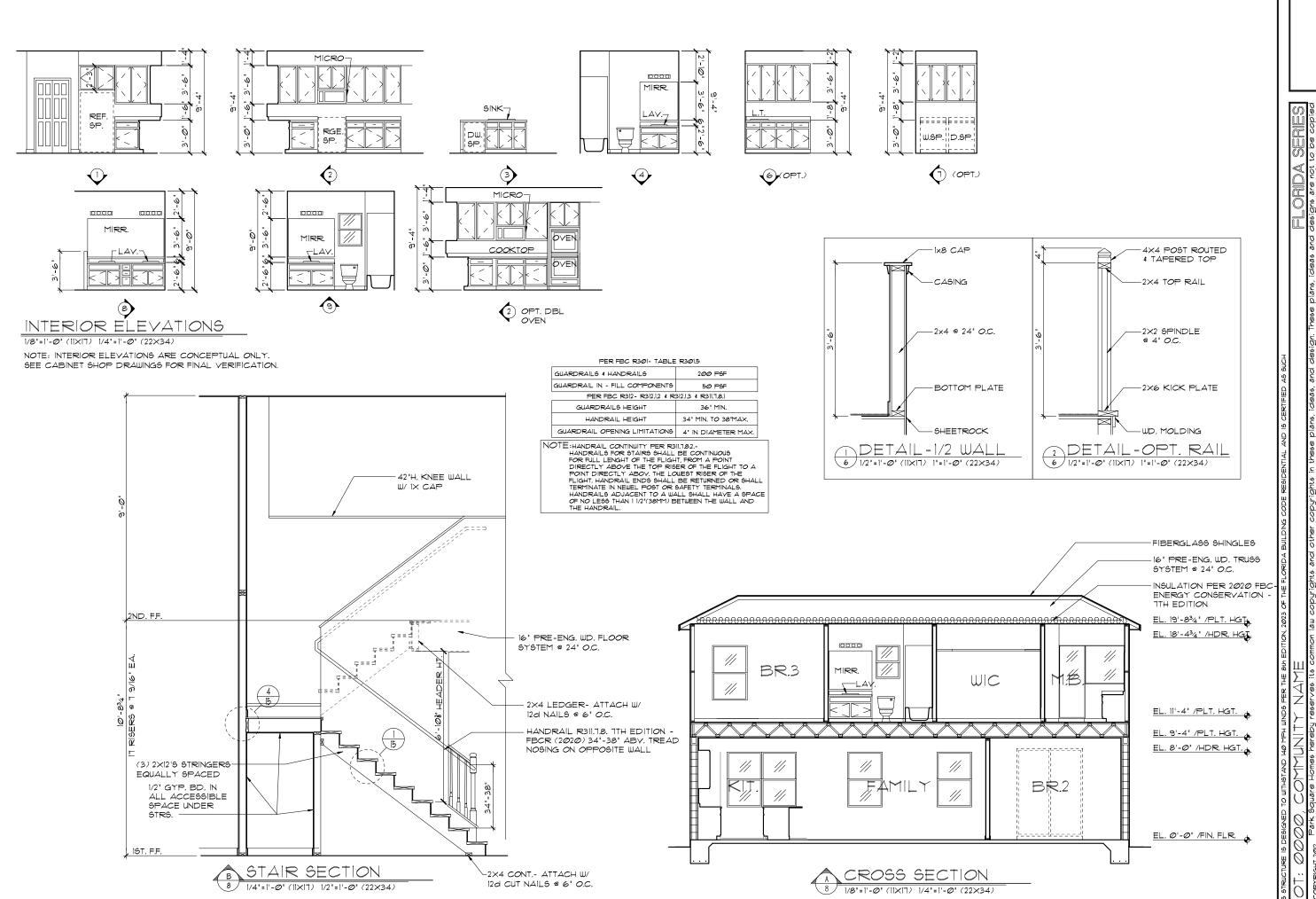
PEMBROKE

DATE Ø4-6-12

SCALE AS NOTED

RAWN

JOB SHEET

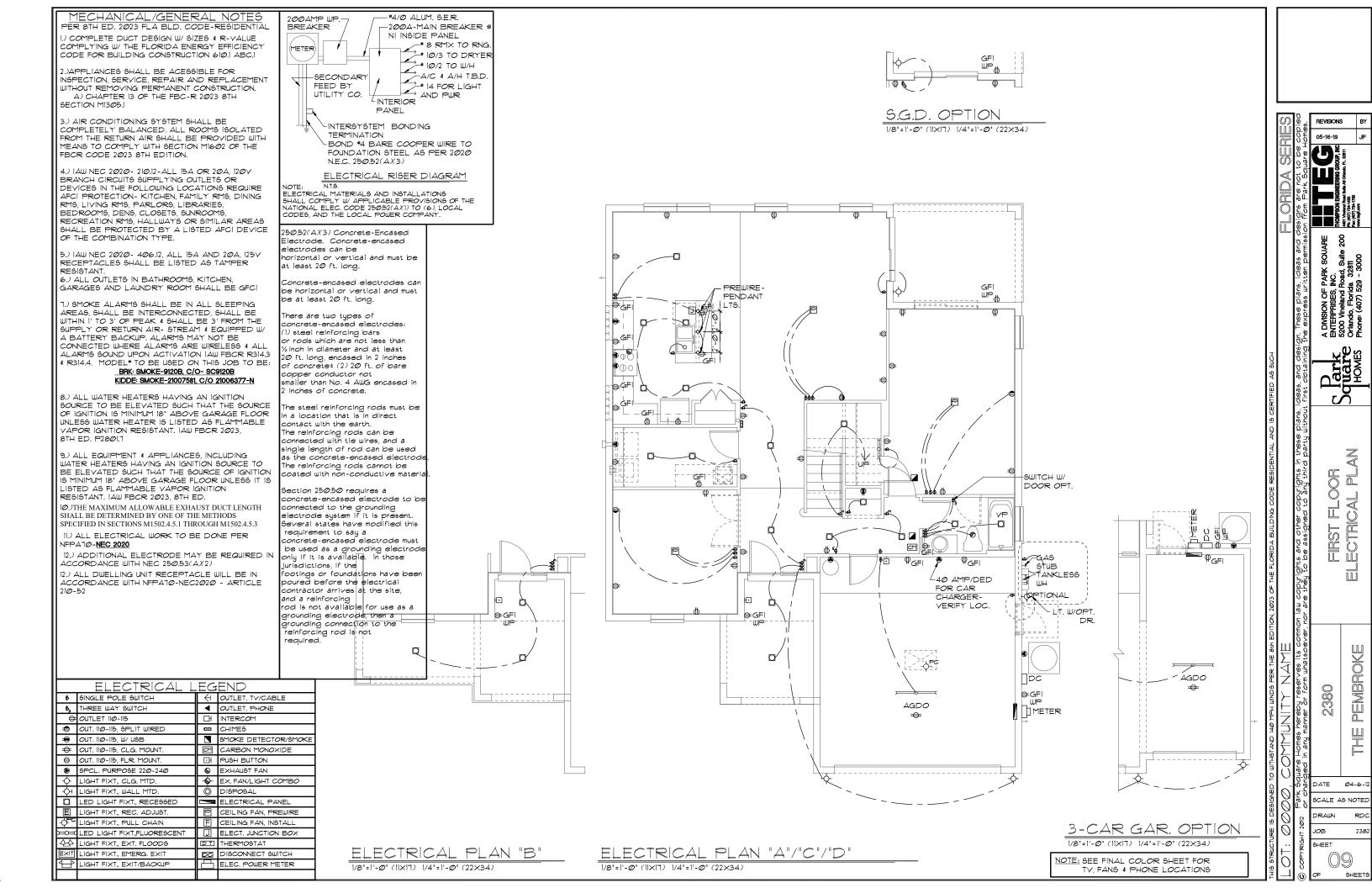


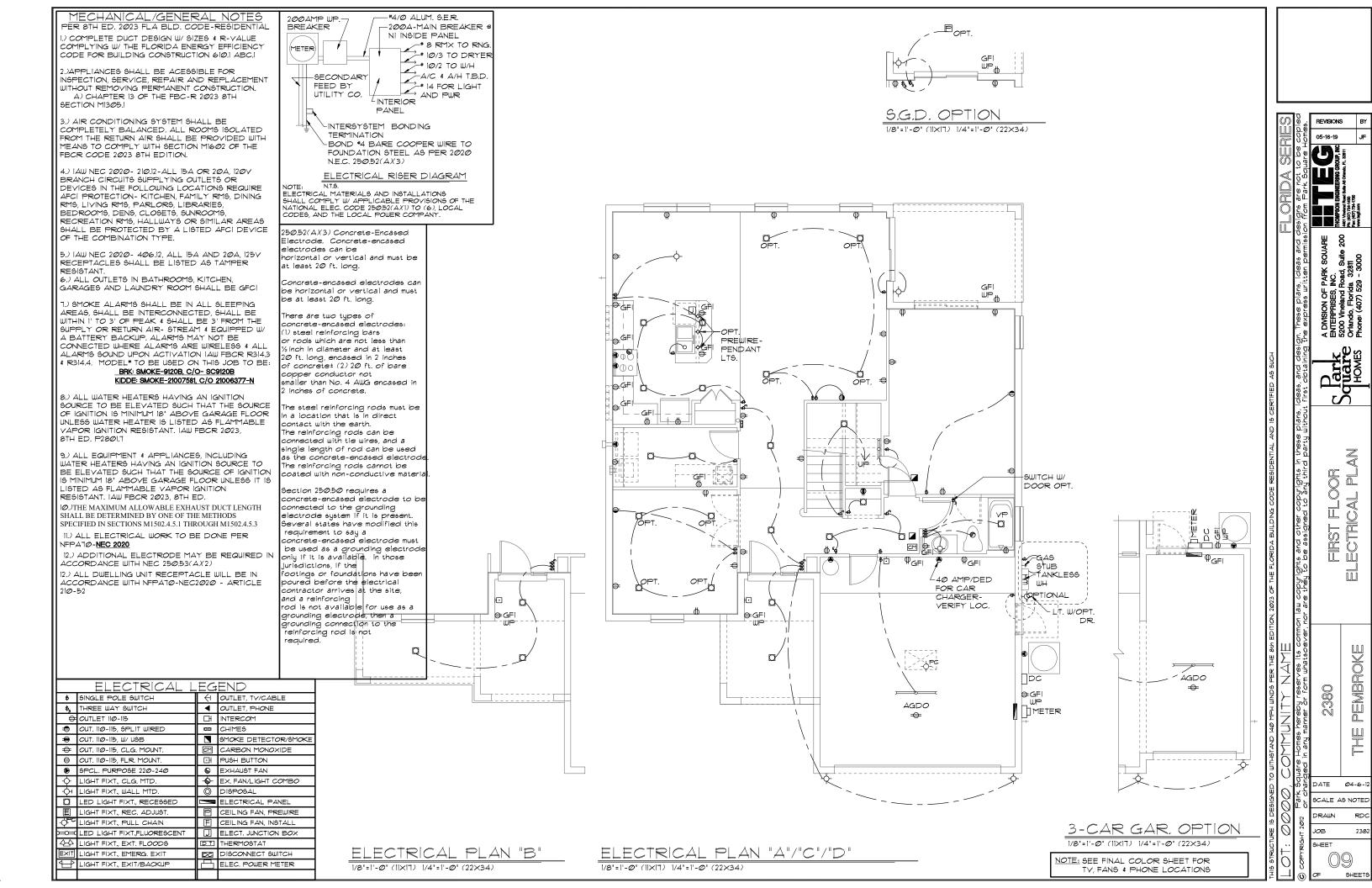
ELEVATIONS/ SECTION INTERIOR ELE CROSS SE

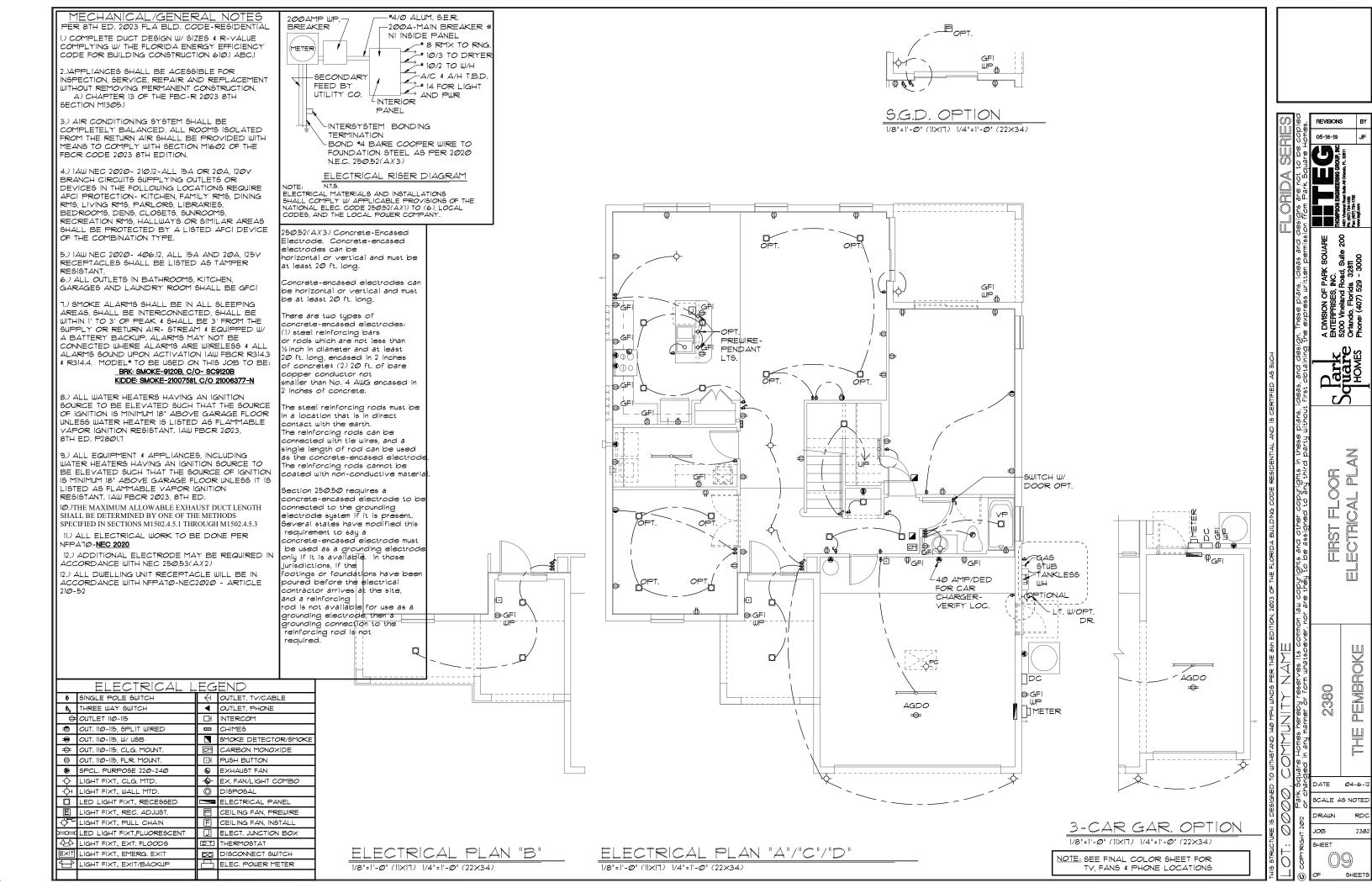
PEMBROKE

SCALE AS NOTED

RAWN JOB







.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.)APPLIANCES SHALL BE ACESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION. A) CHAPTER 13 OF THE FBC-R 2023 8TH SECTION MI3@5.I

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION MIGO2 OF THE FBCR CODE 2023 8TH EDITION.

4.) IAW NEC 2020 - 210.12 - ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS RECREATION RMS. HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES AND LAUNDRY ROOM SHALL BE GFCI

1.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK 4 SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 R314.4. MODEL\* TO BE USED ON THIS JOB TO BE: BRK: SMOKE-9120B, C/O- SC9120B

#### KIDDE: SMOKE-21007581, C/O 21006377-N

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT, IAW FBCR 2023, 8TH ED. P28Ø1.7

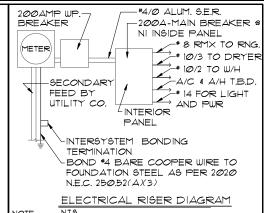
9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT, IAW FBCR 2023, 8TH ED.

OTHE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NFPATØ-**NEC 2020** 

12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)(2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPATØ-NEC2Ø2Ø - ARTICLE 210-52



N.T.S.

ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(AXI) TO (6), LOCAL CODES AND THE LOCAL POWER COMPANY

250.52(A)(3) Concrete-Encased Electrode. Concrete-encased electrodes can be norizontal or vertical and must be at least 20 ft. long.

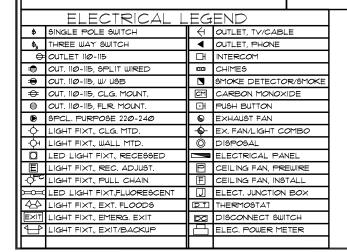
Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

nere are two types of concrete-encased electrodes: 1) steel reinforcing bars or rods which are not less than inch in diameter and at least 20 ft. long, encased in 2 inches of concrete± (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in inches of concrete.

he steel reinforcing rods must be n a location that is in direct contact with the earth. he reinforcing rods can be connected with tie wires, and a ngle length of rod can be used as the concrete-encased electrode he reinforcing rods cannot be coated with non-conductive materi

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. everal states have modified this equirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the ootings or foundations have bee poured before the electrical contractor arrives at the site. and a reinforcina rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.

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	Φ	<b>⊕</b>	•



NOTE: SEE FINAL COLOR SHEET FOR TY, FANS & PHONE LOCATIONS

UPPER FLOOR ELECTRICAL PLAN 1/8"=1'-0" (11×17) 1/4"=1'-0" (22×34)

PLAN UPPER FLO ECTRICAL

PEMBROKE

SCALE AS NOTED

RAWN RDC JOB 2382

SHEET SHEETS I.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610/1 ABC.I

2.)APPLIANCES SHALL BE ACESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.
A) CHAPTER 13 OF THE FBC-R 2023 8TH SECTION M13051

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION MIG02 OF THE FBCR CODE 2023 8TH EDITION.

4.) IAW NEC 2020 - 210.12 - ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION - KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020 - 406,12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES AND LAUNDRY ROOM SHALL BE GFCI

#### KIDDE: SMOKE-21007581, C/O 21006377-N

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM IS' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED. P2801.7

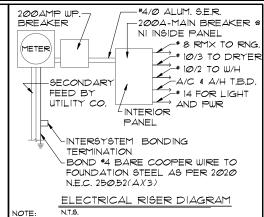
9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION 15 MINIMUM 18" ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAU FBCR 2023, 8TH ED.

|∅,/THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NFPATØ- $\underline{\text{NEC 2020}}$ 

12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)(2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPATØ-NEC2020 - ARTICLE 210-52



ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY UV APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 25052(AVI) TO (6), LOCAL CODES AND THE LOCAL POWER COMPANY

250.52(AX3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

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ELECTRICAL \$ SINGLE POLE SWITCH OUTLET, TV/CABLE \$ THREE WAY SWITCH ■ OUTLET, PHONE ⊕ OUTLET IIØ-115 ☐ INTERCOM OUT. 110-115, SPLIT WIRED CHIMES → OUT. 11Ø-115, W/ USB ■ SMOKE DETECTOR/SMOKE → OUT. 11Ø-115, CLG. MOUNT CM CARBON MONOXIDE OUT. 110-115, FLR. MOUNT ☐ PUSH BUTTON ₱ SPCL. PURPOSE 22Ø-24Ø EXHAUST FAN - EX. FAN/LIGHT COMBO OH LIGHT FIXT., WALL MTD. O DISPOSAL LED LIGHT FIXT., RECESSED ELECTRICAL PANEL E LIGHT FIXT,, REC. ADJUST. P CEILING FAN, PREWIRE F CEILING FAN, INSTALL J ELECT, JUNCTION BOX =O=CLED LIGHT FIXT.FLUORESCENT DT THERMOSTAT LIGHT FIXT, EXT, FLOODS DO DISCONNECT SWITCH LIGHT FIXT., EMERG, EXIT IGHT FIXT., EXIT/BACKUP ELEC. POWER METER

UPPER FLOOR ELECTRICAL PLAN

1/8'='-0' (1|X|7) 1/4'='-0' (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TY, FANS & PHONE LOCATIONS SOUARE Suite 200 Automater Research Company Source Homes
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SCALE AS NOTED

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SHEET

1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.)APPLIANCES SHALL BE ACESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.

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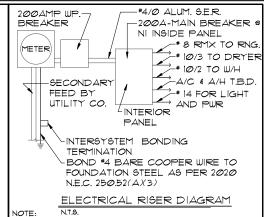
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12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A $\chi$ 2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPATØ-NEC2020 - ARTICLE 210-52



ELECTRICAL MATERIALS AND INSTALLATIONS
SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE
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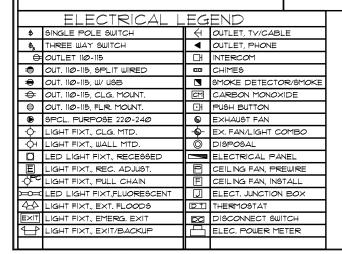
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NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

<u>UPPER FLOOR ELECTRICAL PLAN</u>

1/8'='-0" (1|X|T) 1/4"='-0" (22X34)

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N OF PARK SOUARE
ISES, INC.
THOMSON ENGINEERING GROUP, INC.
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UPPER FLOOR

COTRICAL PLAN

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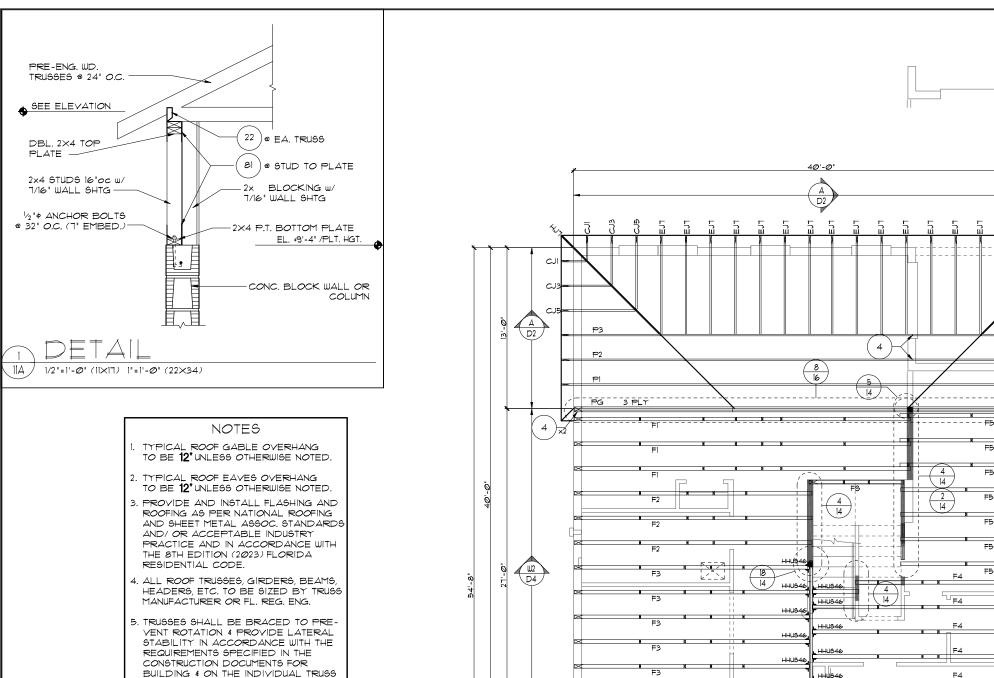
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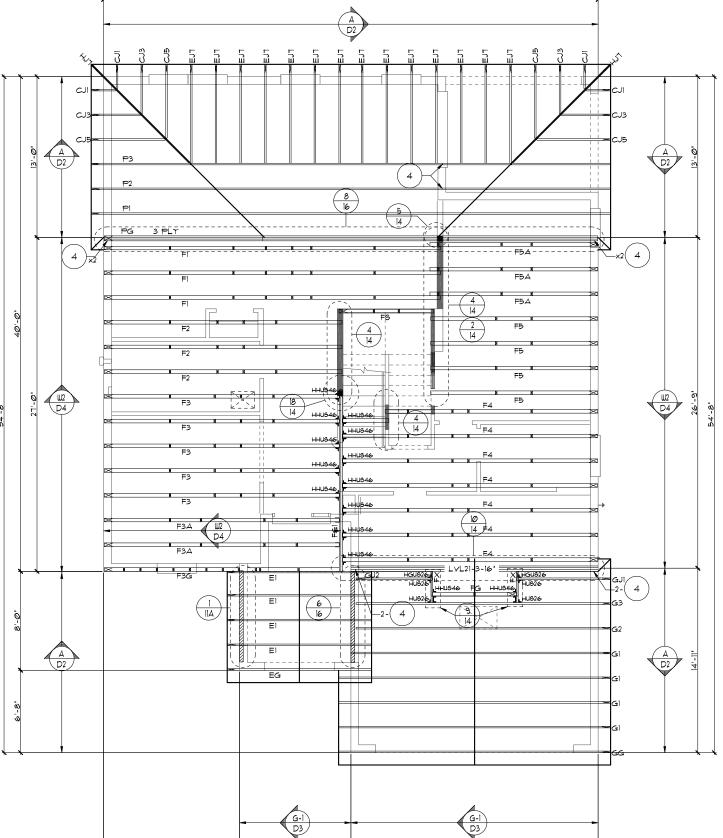
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DRAWN RDC

JOB 2382

SHEET





40'-0"

PEMBROKE

SCALE AS NOTED

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FIRST FLOOR TRUSS LAYOUT "A"

DESIGN DRAWINGS. IN THE ABSENCE OF

SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1 6. REFER TO TRUSS MANUFACTURER'S

DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.

7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH

compliance to the standard designation

and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1. 8. OFF RIDGE VENTS MAXIMUN OPENING

 LOMANCO: (2) 9 1/" DIA. CIRCLES • MILLENIUM METAL : 2 1/2" × 46" HOLE 9. ROOF UNDERLAYMENT TO BE USED IS

2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER

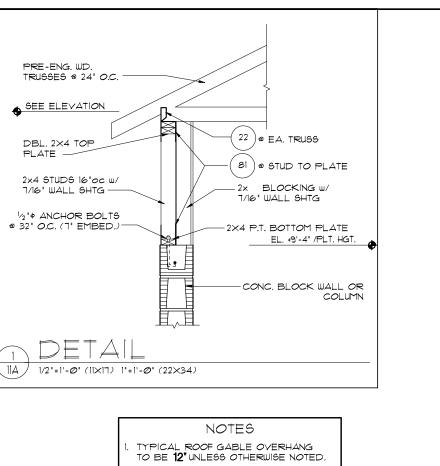
Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating

EDITION R905.1.1 -

SIZES :

FBC R905.1.1.1

1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

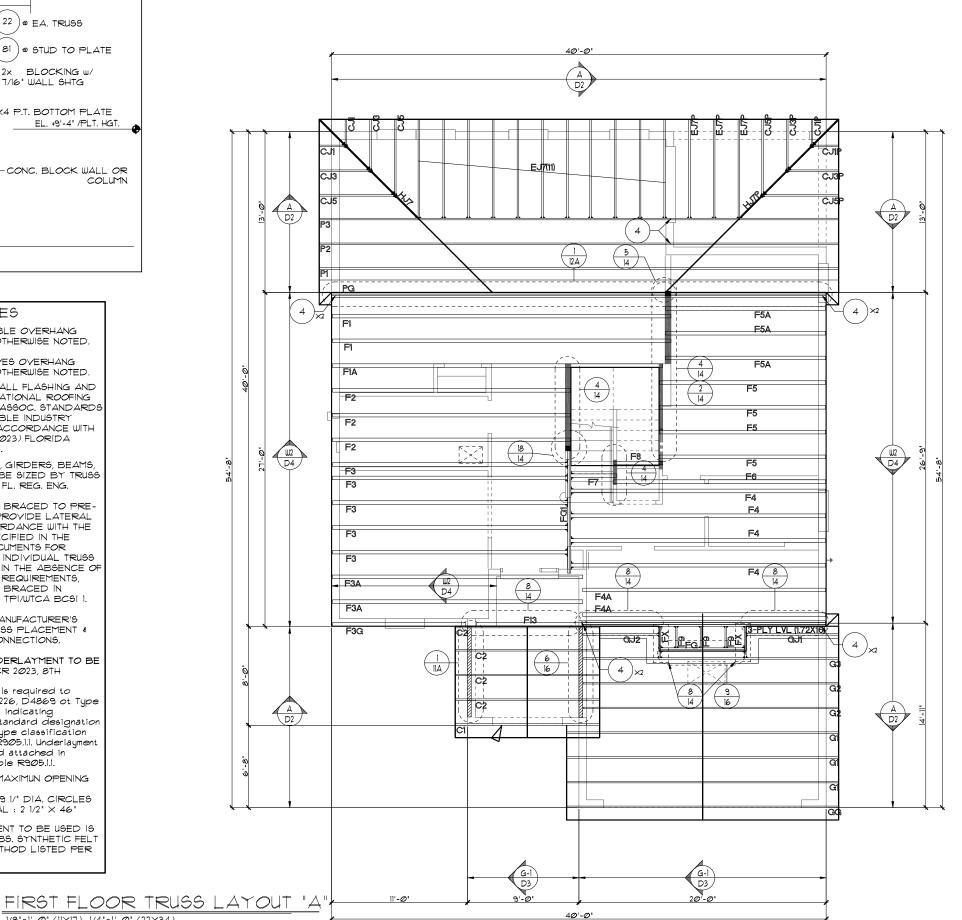


- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUSSES SHALL BE BRACED TO PRE-VENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT \$ TRUSS TO TRUSS CONNECTIONS.
- 7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 -

Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.

- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES : • LOMANCO : (2) 9 1/ DIA. CIRCLES
- MILLENIUM METAL : 2 1/2" × 46"
- HOLE 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.1.1.1

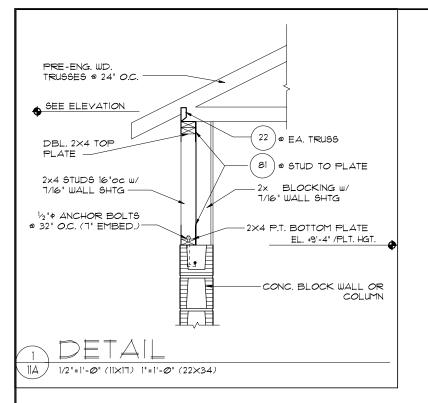
1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)



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DATE Ø4-6-12

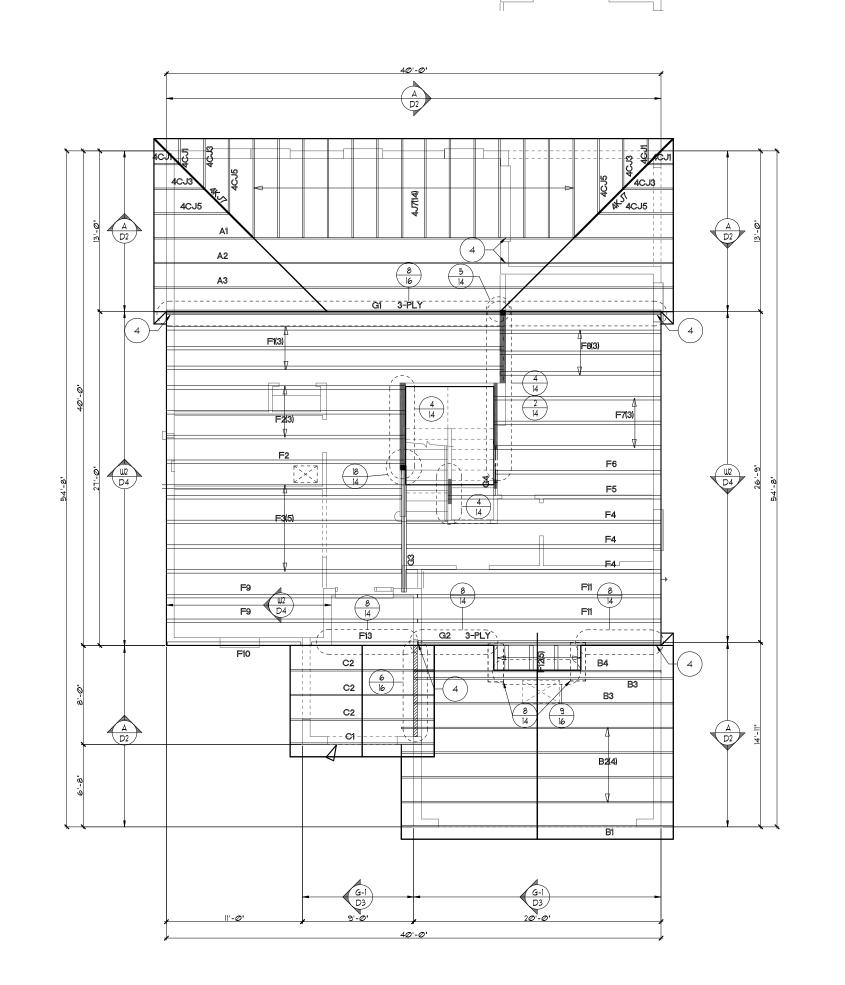
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- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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- 7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 of Type

IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.

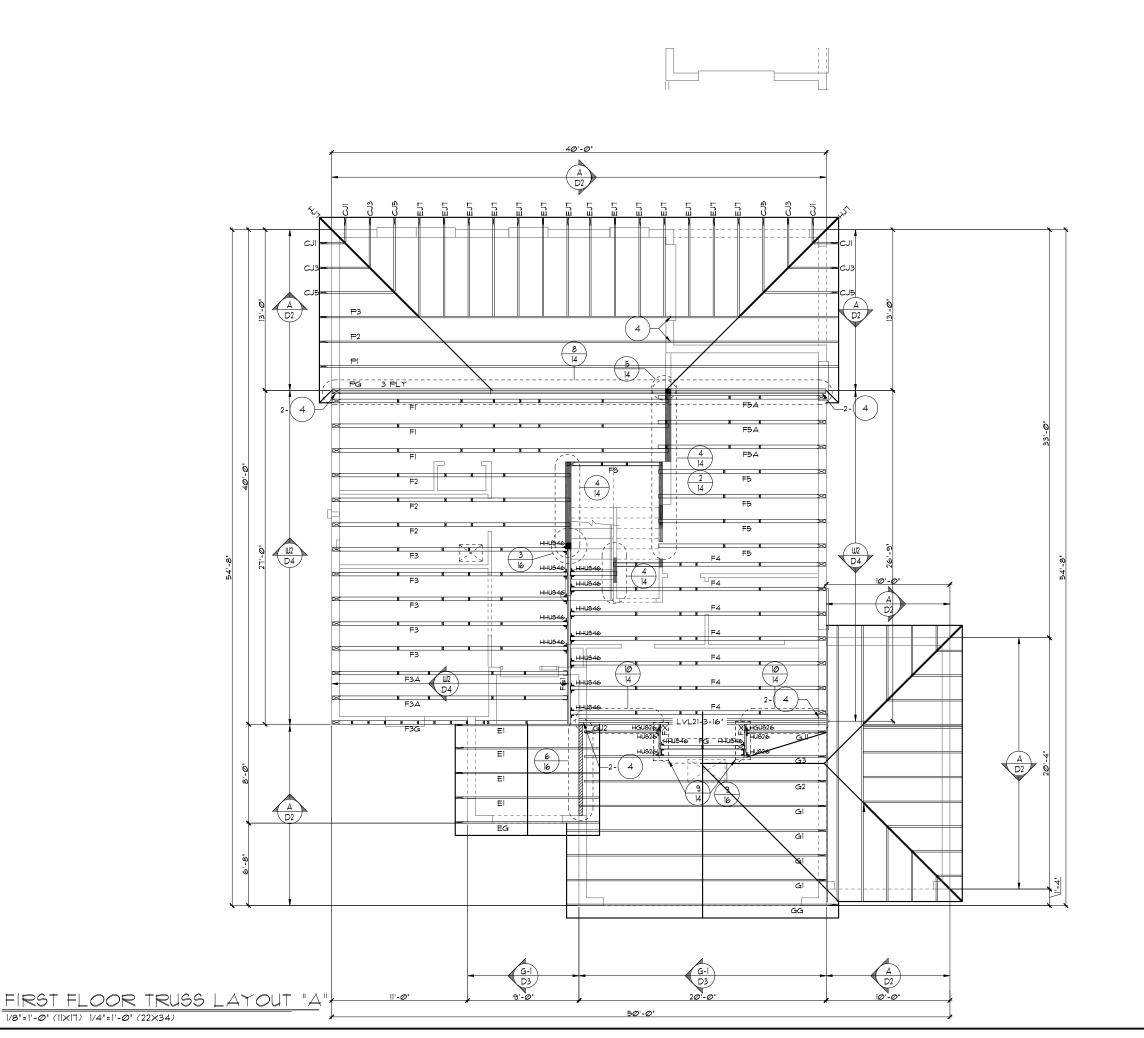
- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
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SCALE AS NOTED

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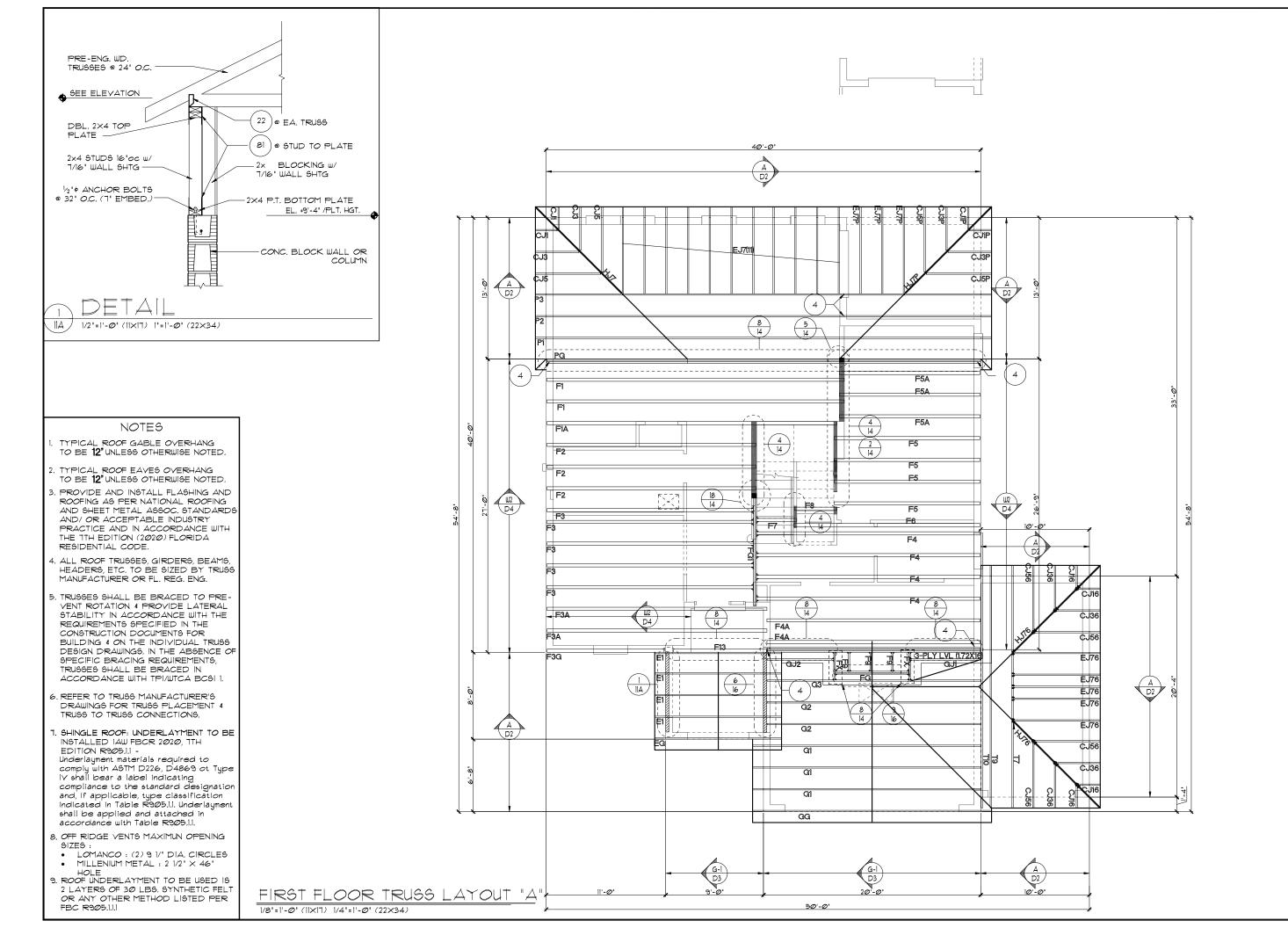
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## NOTES

- . TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, TTH EDITION R905.!! Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.!!. Underlayment shall be applied and attached in accordance with Table R905.!!.
- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
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  OR ANY OTHER METHOD LISTED PER
  FBC R905.!!!



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A DIVISION OF PARK SC ENTERPRISES, INC. ENTERPRISES, INC. 2000 Vineland Road, Sui ALC. Orlando, Florida, 32811

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SCALE AS NOTED

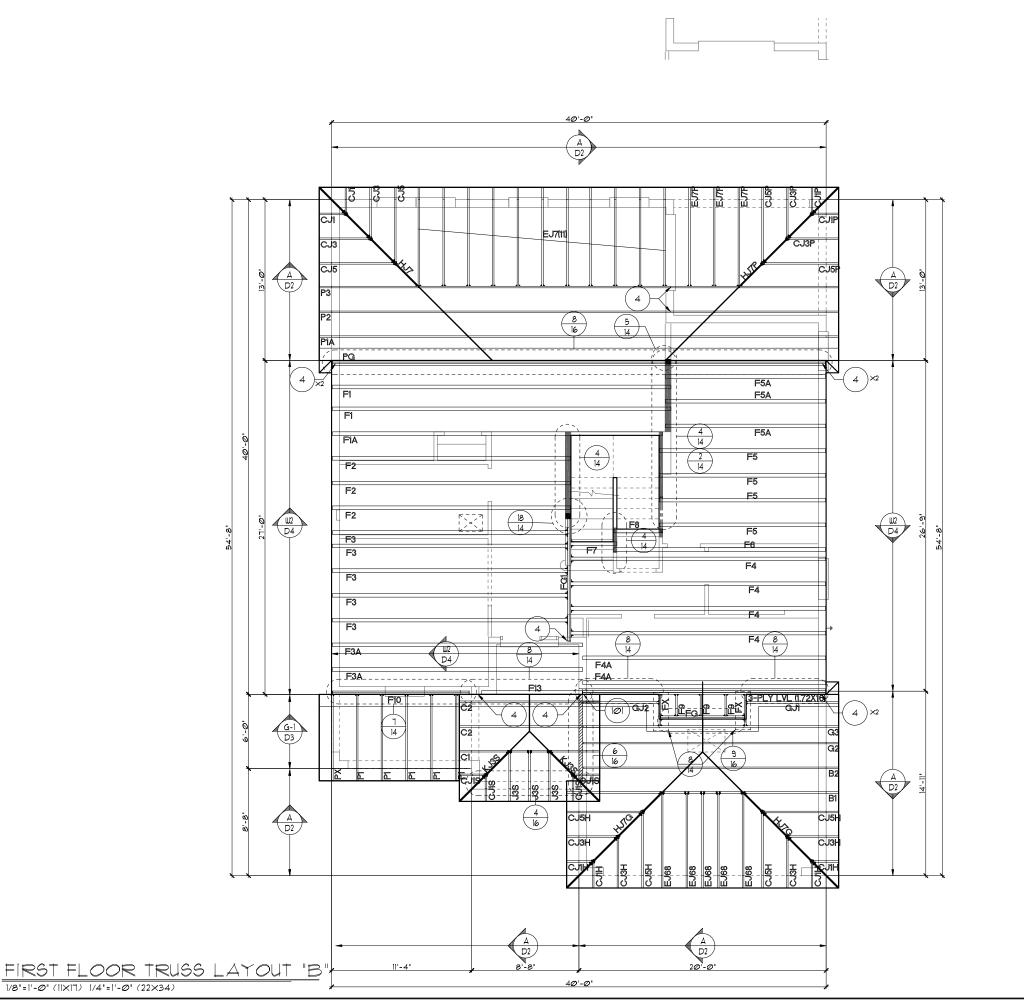
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1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.

2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.

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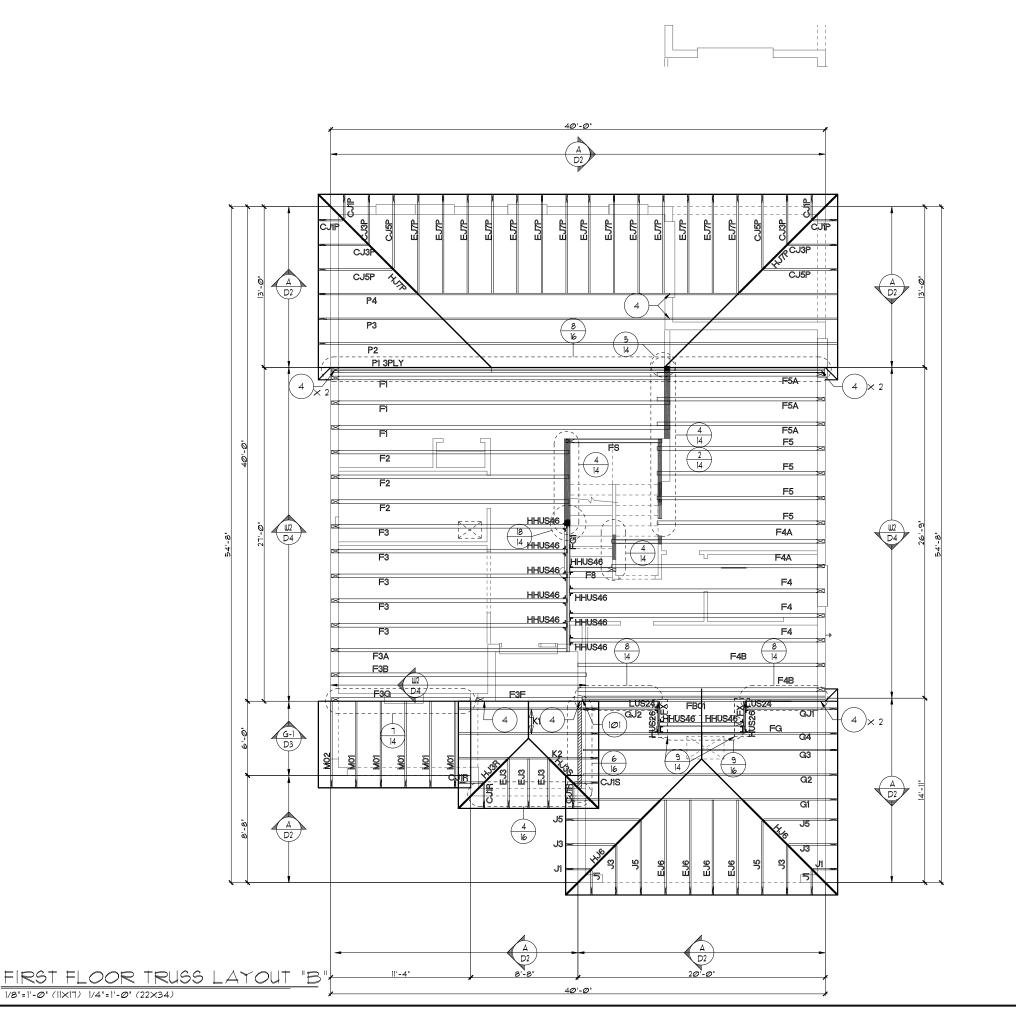
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DATE 04-6-12 SCALE AS NOTED

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SHEET SHEETS



- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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PEMBROKE 

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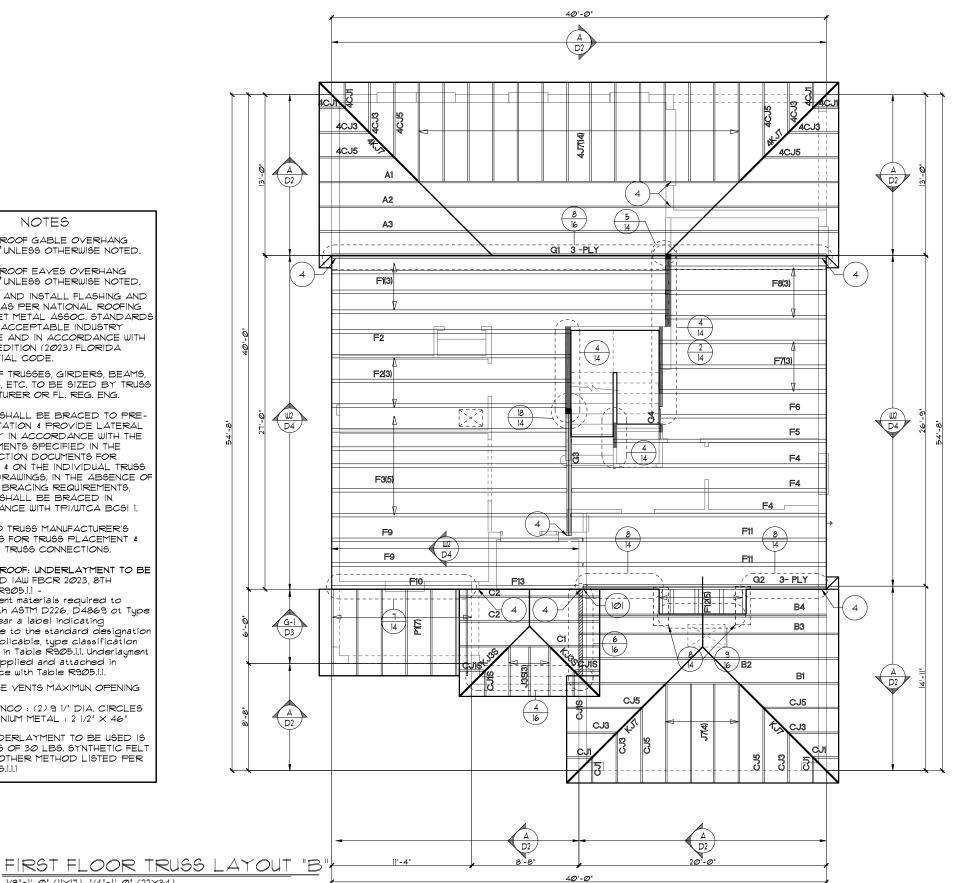
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- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
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- 5. TRUSSES SHALL BE BRACED TO PRE-VENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 -

Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.

- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
- LOMANCO : (2) 9 1/ DIA. CIRCLES
- MILLENIUM METAL : 2 1/2" × 46" HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R9Ø5.1.1.1

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

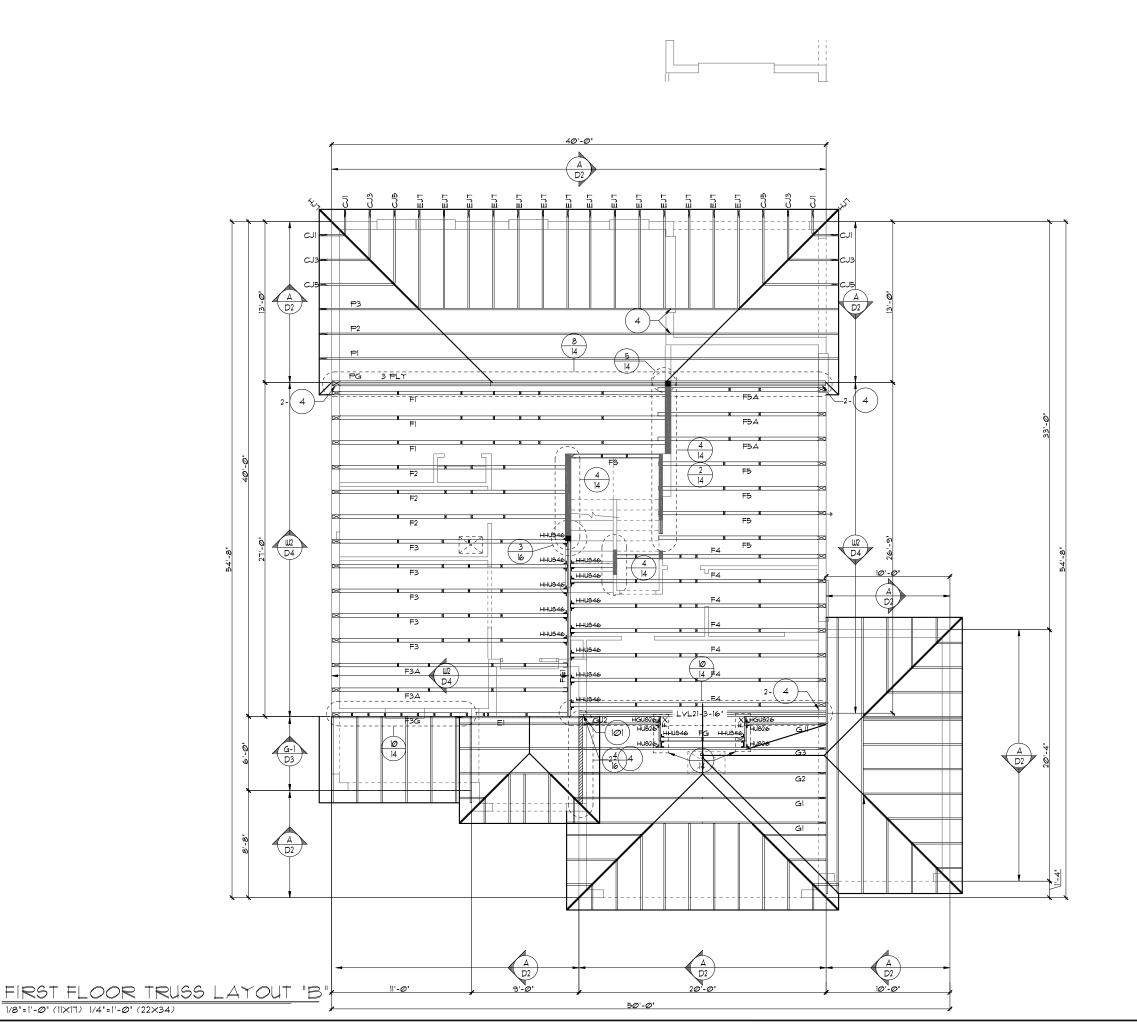


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DATE **04-6-**12 SCALE AS NOTED

JOB

SHEET



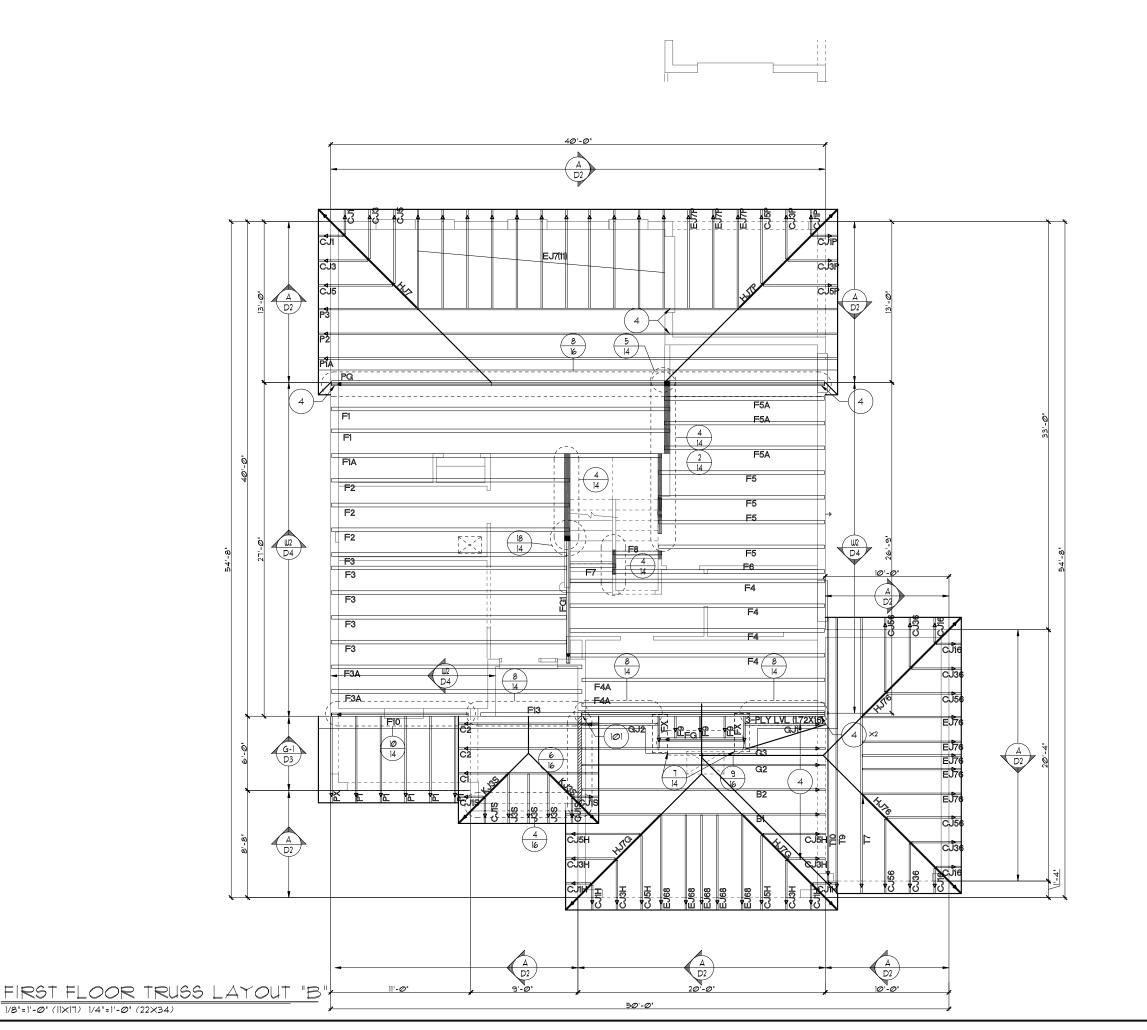
PEMBROKE

SCALE AS NOTED

SHEET

## NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC, STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 1TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
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- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
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- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
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- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.!!.!



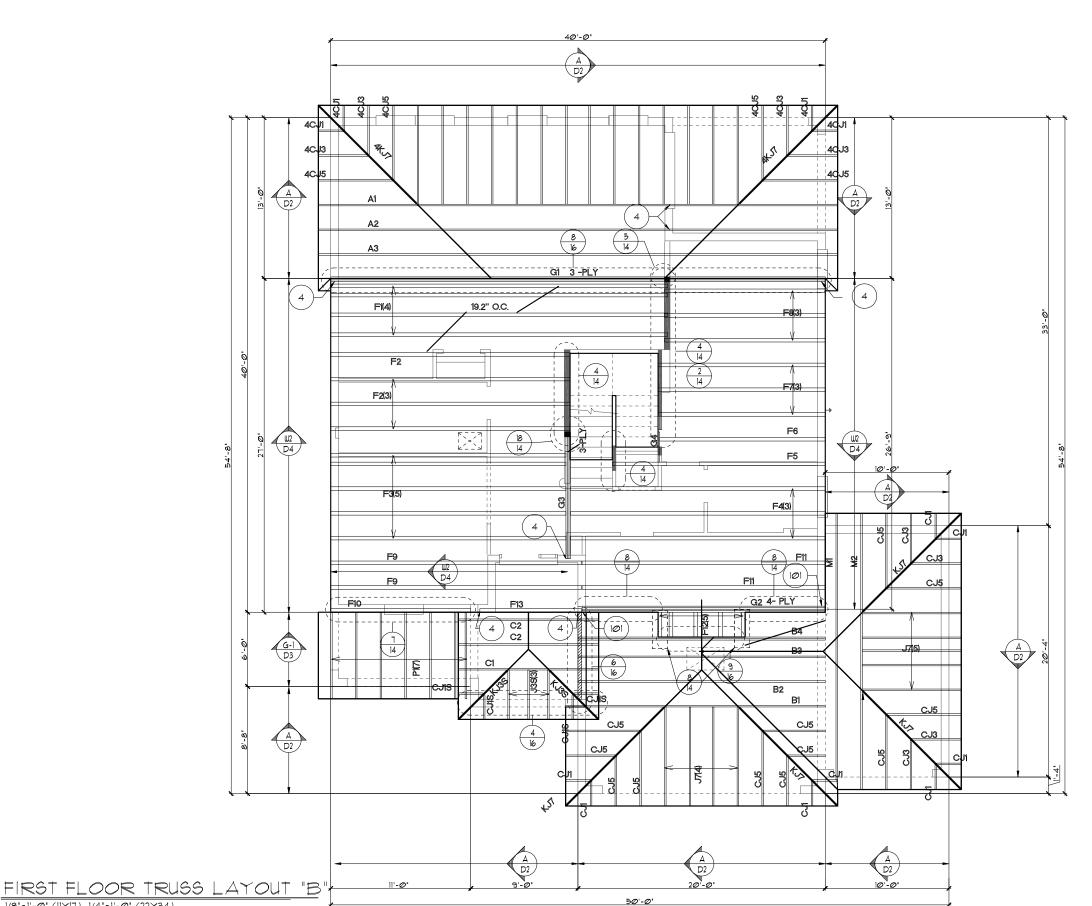
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- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 1TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.
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- LOMANCO: (2) 9 1/" DIA, CIRCLES MILLENIUM METAL : 2 1/2" × 46" HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.1.1.1

PEMBROKE 

SCALE AS NOTED

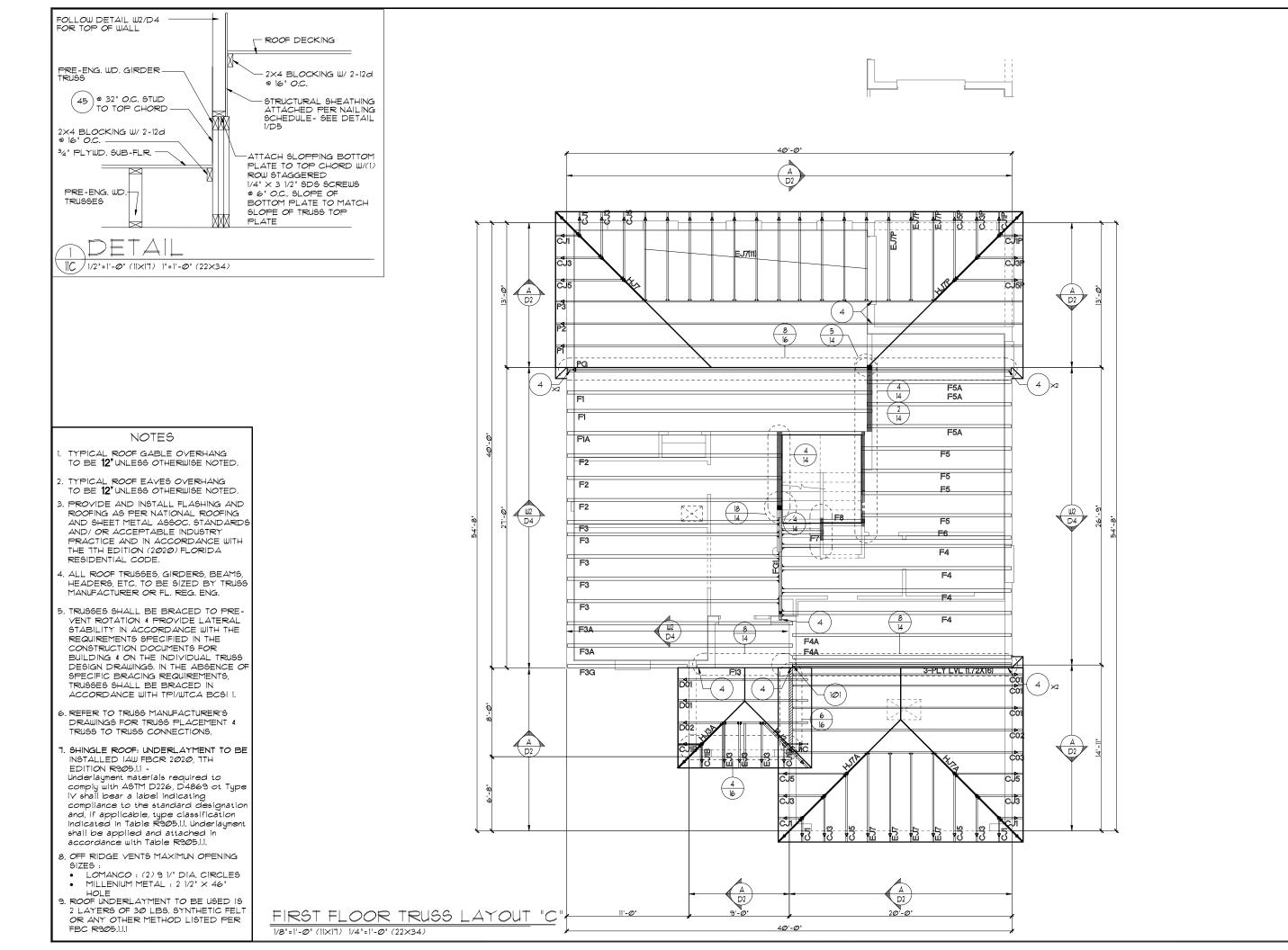
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- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 1TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.
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- LOMANCO: (2) 9 1/" DIA, CIRCLES MILLENIUM METAL : 2 1/2" × 46" HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.1.1.1

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)



PEMBROKE

SCALE AS NOTED

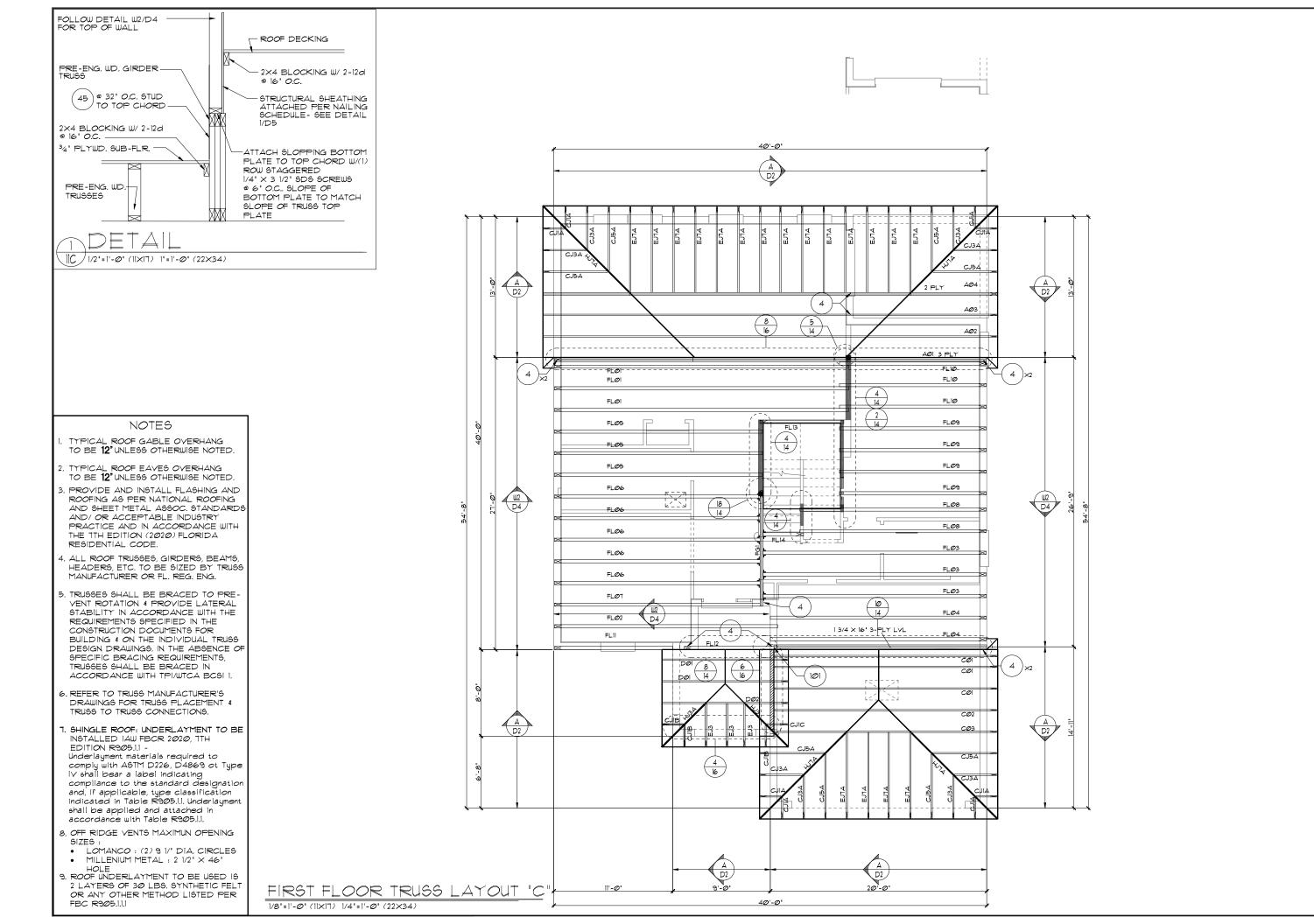


PEMBROKE

DATE Ø4-6-12 SCALE AS NOTED

SHEETS

JOB SHEET

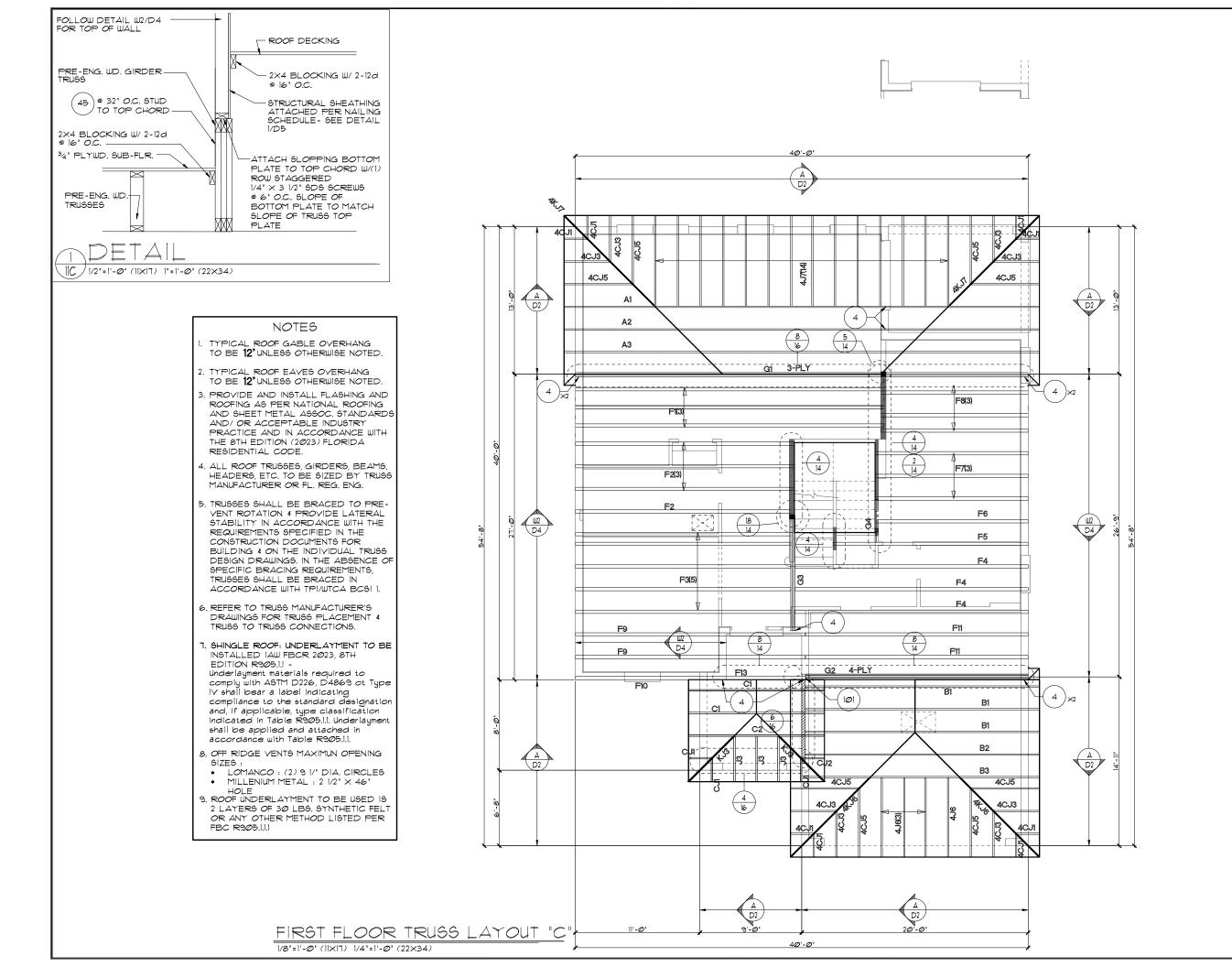


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SCALE AS NOTED

SHEETS

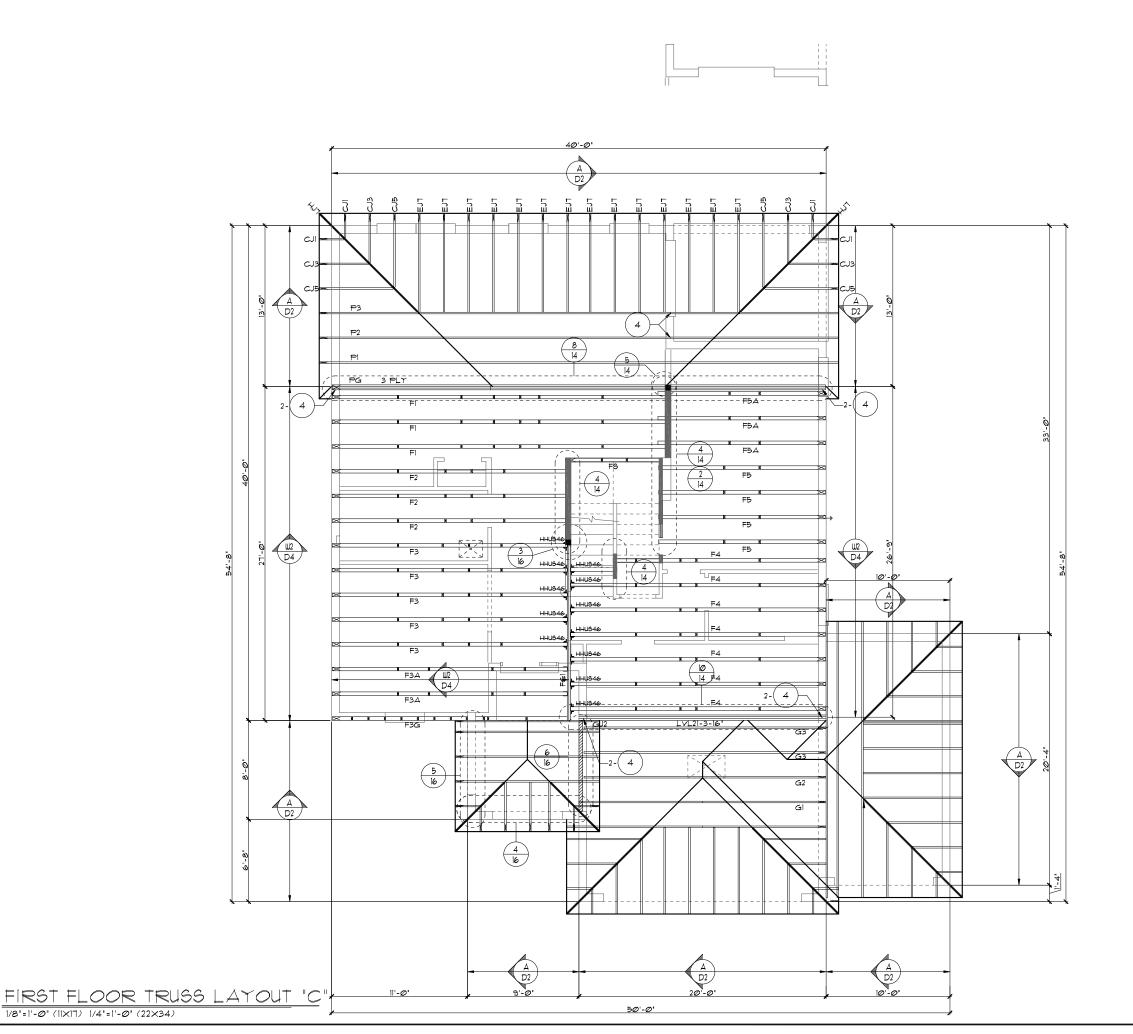
JOB



DATE **04-6-**12 SCALE AS NOTED

PEMBROKE

SHEET



- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- B. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 1TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
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- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 7TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.
- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
- LOMANCO: (2) 9 1/" DIA, CIRCLES MILLENIUM METAL : 2 1/2" × 46" HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.1.1.1

PEMBROKE

SCALE AS NOTED

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/3000 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1,962 \text{ S.F.}}{300} = \frac{6.54 \text{ S.F.}}{\text{REQUIRED}}$  NET FREE VENT.

UPPER PORTION VENTILATION TOTAL:---- 3.375.F. PROVIDED WOFF RIDGE VENTS: 4 VENTS @ 975.F. /VENT. (VENT TYPE: LOMANCO MODEL 170-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE:--(86.67LF.@ 0.087S.F. VENTING PER L.F.)

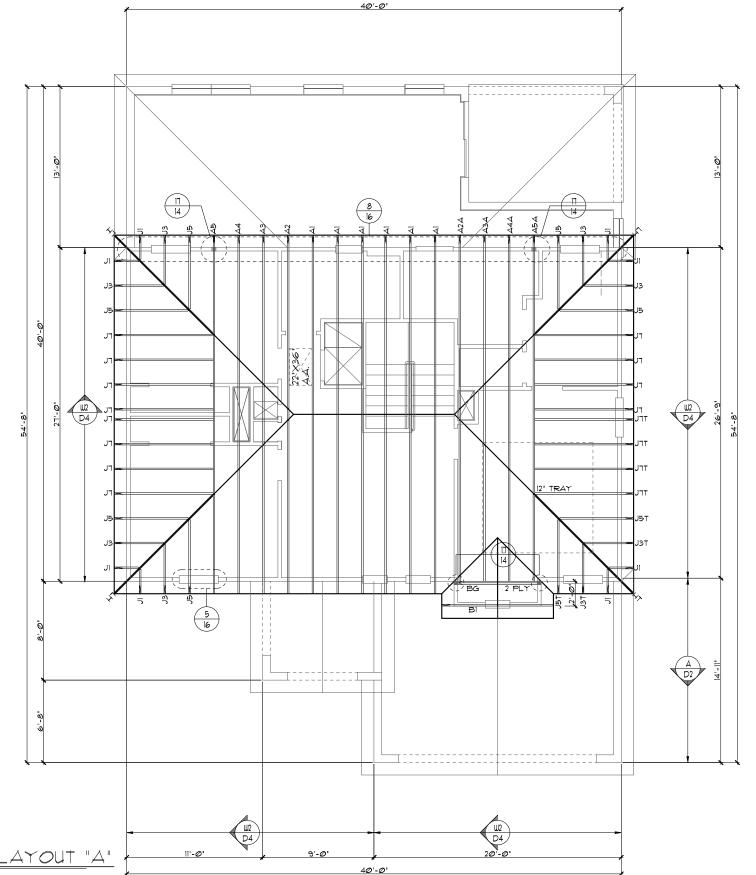
UPPER PORTION PERCENTAGE: 44%
LOWER PORTION PERCENTAGE: 57%

#### NOTES

- . TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC, STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- 4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUGGES SHALL BE BRACED TO PRE-VENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUGS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUGGES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCSI I.
- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT 4 TRUSS TO TRUSS CONNECTIONS.
- 1. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.!! Underlayment materials required to comply with ASTM D226, D4869 ot Type

comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.II. Underlayment shall be applied and attached in accordance with Table R905.II.

- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES:
- LOMANCO: (2) 9 1/" DIA. CIRCLES
   MILLENIUM METAL: 2 1/2" × 46"
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.!.!



PEMBROKE

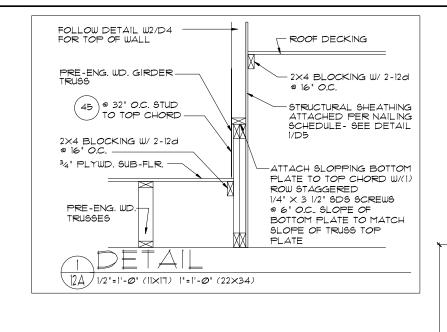
2ND, FLOOR TRUSS LAYOUT "A" 1/8'=1'-0' (1|X|7) 1/4'=1'-0' (22x34)

JOB 23
SHEET

SHEET

SHEET

SCALE AS NOTED



- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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- S. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.
- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
- · LOMANCO: (2) 9 1/" DIA. CIRCLES MILLENIUM METAL : 2 1/2" × 46" HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R9@5111

## ATTIC VENTILATION CALCULATIONS

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

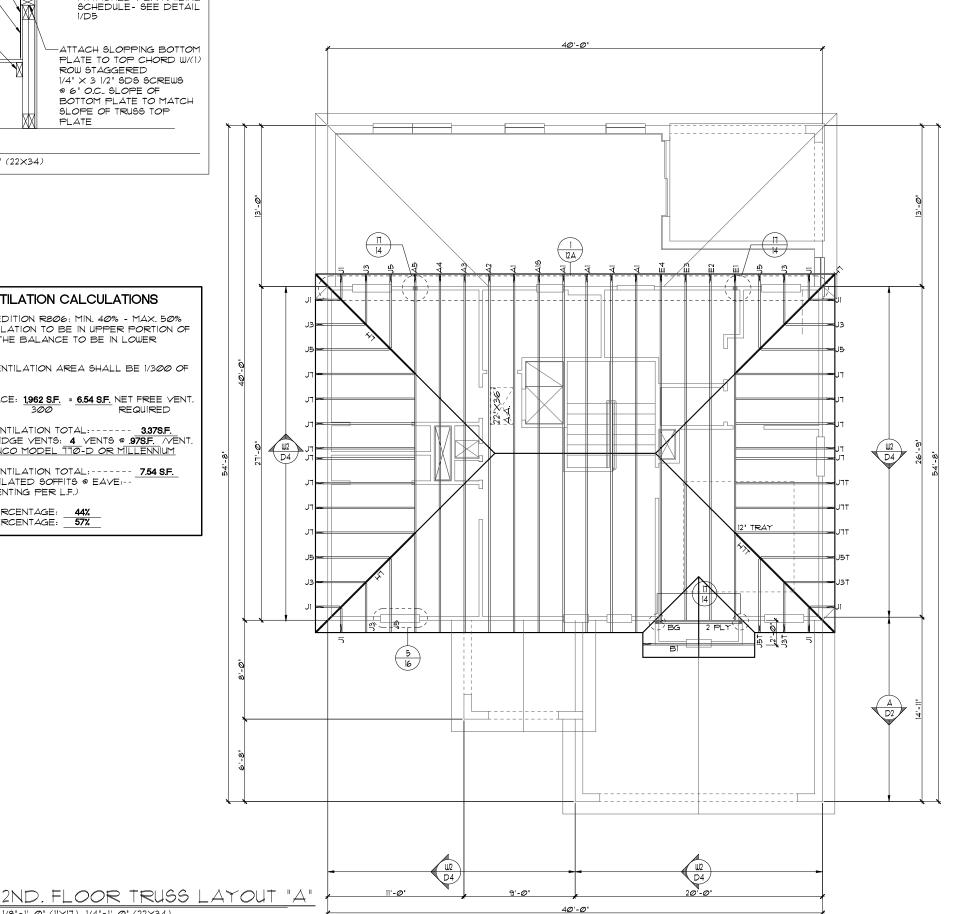
TOTAL VENTED SPACE: 1,962 S.F. = 6.54 S.F. NET FREE VENT.

UPPER PORTION VENTILATION TOTAL:---- 3.378.F. PROVIDED WOFF RIDGE VENTS: 4 VENTS @ 978.F. /VENT.

LOWER PORTION VENTILATION TOTAL:----- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE:--(86.67L.F.@ 0.087S.F. VENTING PER L.F.)

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

UPPER PORTION PERCENTAGE: LOWER PORTION PERCENTAGE: 57%



PEMBROKE

DATE Ø4-6-12 SCALE AS NOTED

JOB

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1,962 \text{ S.F.}}{300} = \frac{6.54 \text{ S.F.}}{\text{REQUIRED}}$  NET FREE VENT.

UPPER PORTION VENTILATION TOTAL:---- 3.37S.F.
PROVIDED WOFF RIDGE VENTS: 4 VENTS @ 97S.F. /VENT.
(VENT TYPE: LOMANCO MODEL 170-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL:----- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE:--(86.67LF.@ 0.087S.F. VENTING PER L.F.)

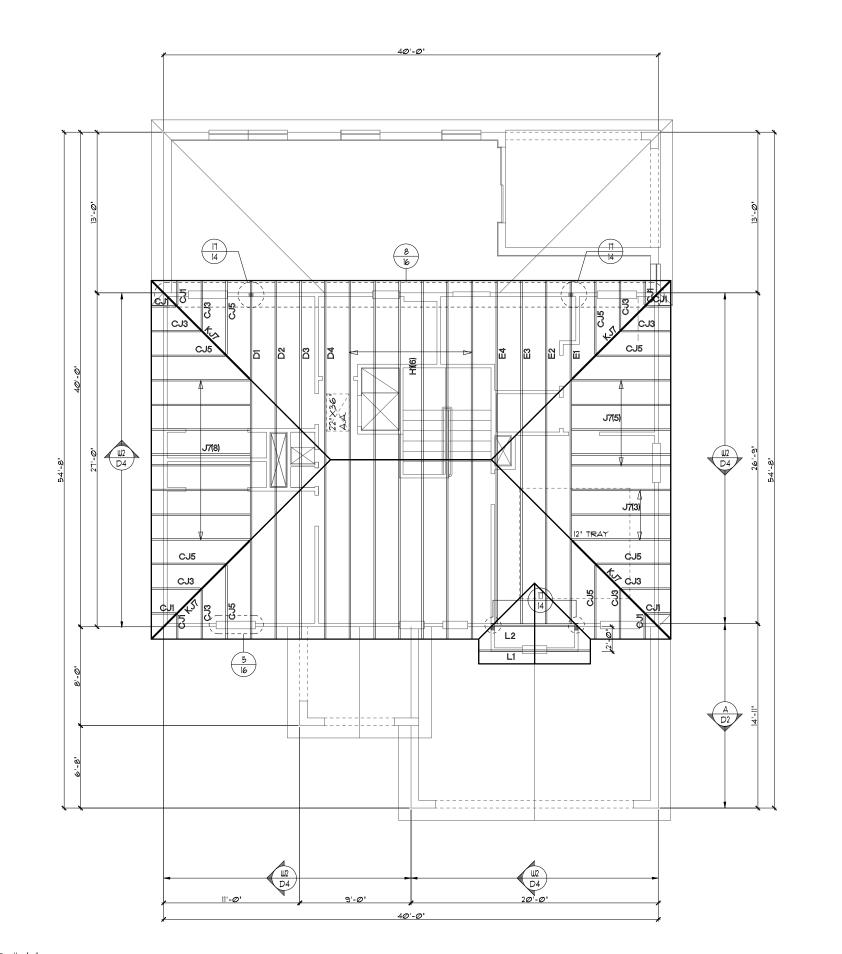
UPPER PORTION PERCENTAGE: 44%
LOWER PORTION PERCENTAGE: 57%

#### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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- 7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.I.I -

Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.

- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES:
- LOMANCO: (2) 9 1/" DIA. CIRCLES
   MILLENIUM METAL: 2 1/2" × 46"
- 9, ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS, SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.I.I.



PEMBROKE

SCALE AS NOTED

PER FBC2020 1TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/150 OF VENTED SPACE:

TOTAL VENTED SPACE: 1,962 S.F. = 6.54 S.F. NET FREE VENT. REQUIRED

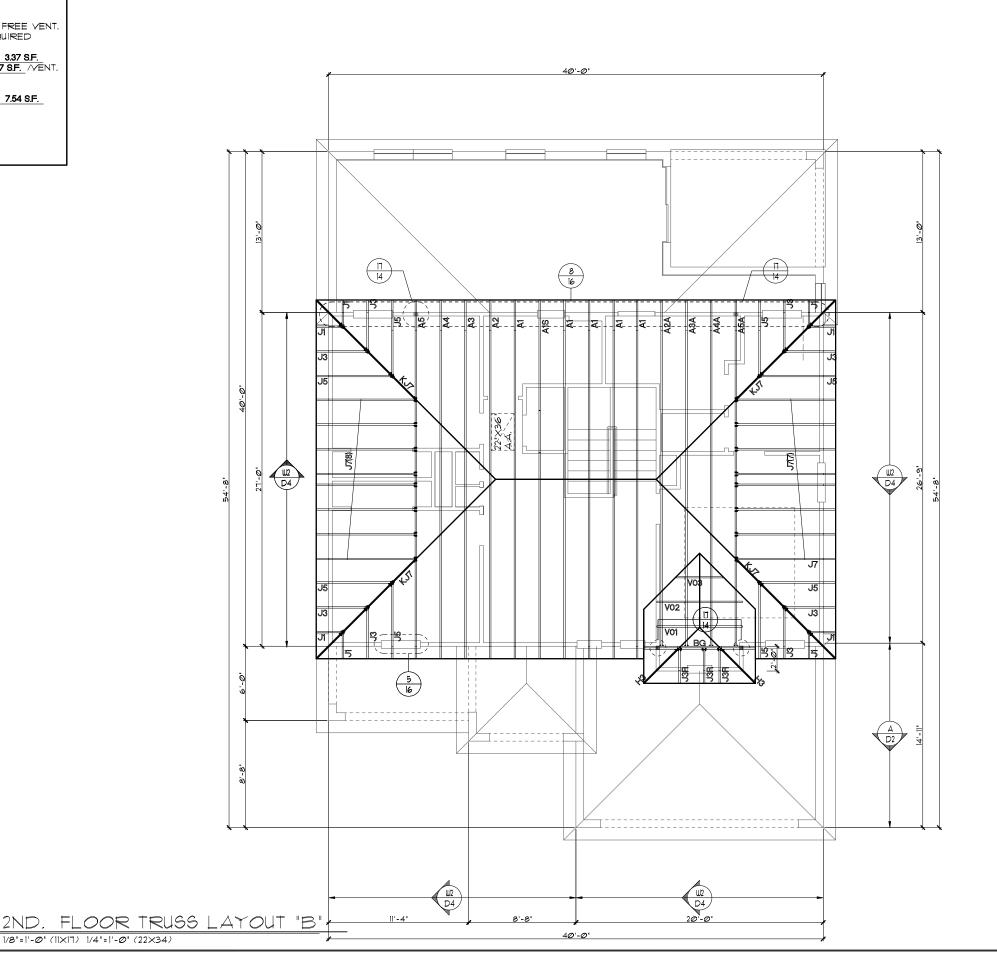
UPPER PORTION VENTILATION TOTAL:----- 3.37 S.F. PROVIDED WOFF RIDGE VENTS: 3 VENTS @ 97 SF. /VENT. (VENT TYPE: O'HAGIN MODEL 'S')

LOWER PORTION VENTILATION TOTAL:---- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE: (86.67 LF.@ 0.087 S.F. VENTING PER LF.)

UPPER PORTION PERCENTAGE: 44% LOWER PORTION PERCENTAGE: 57%

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PEMBROKE

SCALE AS NOTED

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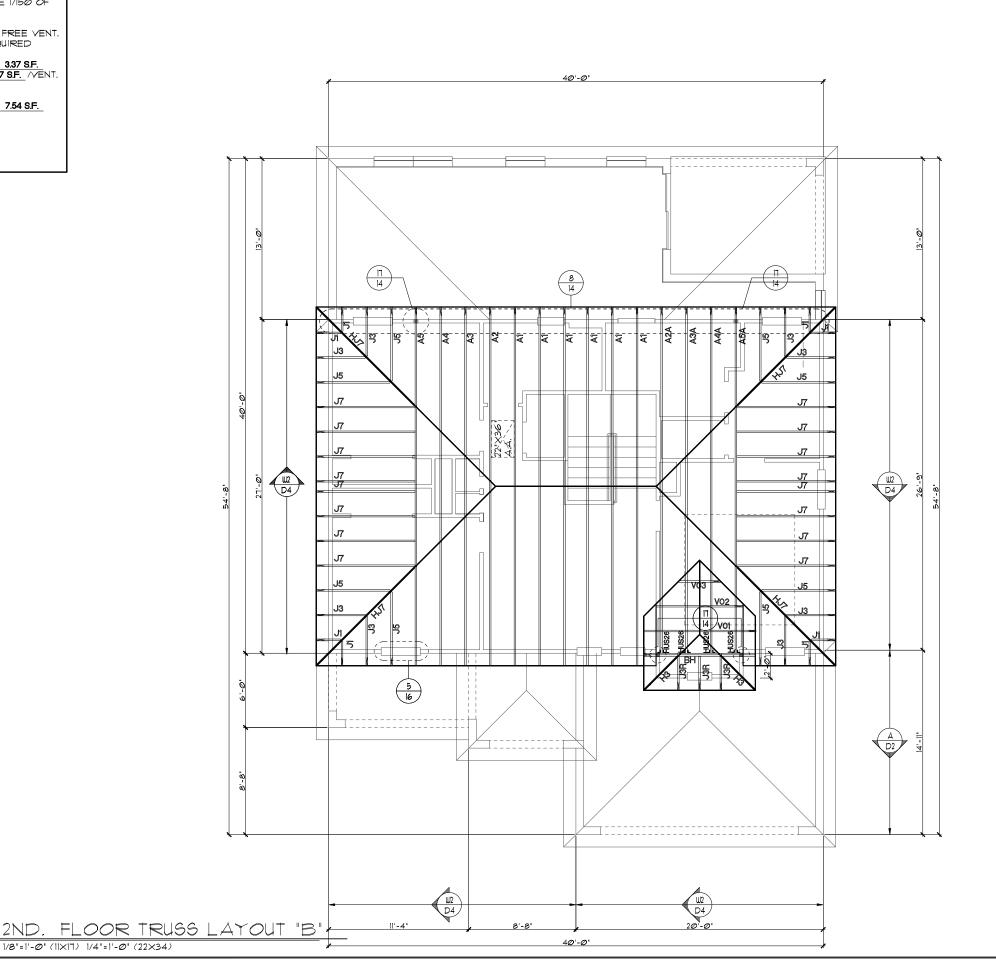
UPPER PORTION VENTILATION TOTAL:---- 3.37 SF.
PROVIDED WOFF RIDGE VENTS: 3 VENTS @ 97 SF. /VENT.
(VENT TYPE: O'HAGIN MODEL '9\*)

LOWER PORTION VENTILATION TOTAL:----- 7.54 SF.
PROVIDED W/ VENTILATED SOFFITS @ EAVE:
(86.67 LF. @ 0.087 S.F. VENTING PER L.F.)

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- LOMANCO: (2) 9 1/" DIA. CIRCLE
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ARK SOUARE

C. Hourson Enginement of Square Homes.

Interpretation of Square Homeson Rolling Square Act. Stutie 200 Square Homeson Rolling Square Square

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SHEET 12B

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES)

THE MINIMUM NET VENTILATION AREA SHALL BE 1/3*00* OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1,962 \text{ S.F.}}{300} = \frac{6.54 \text{ S.F.}}{\text{REQUIRED}}$  NET FREE VENT.

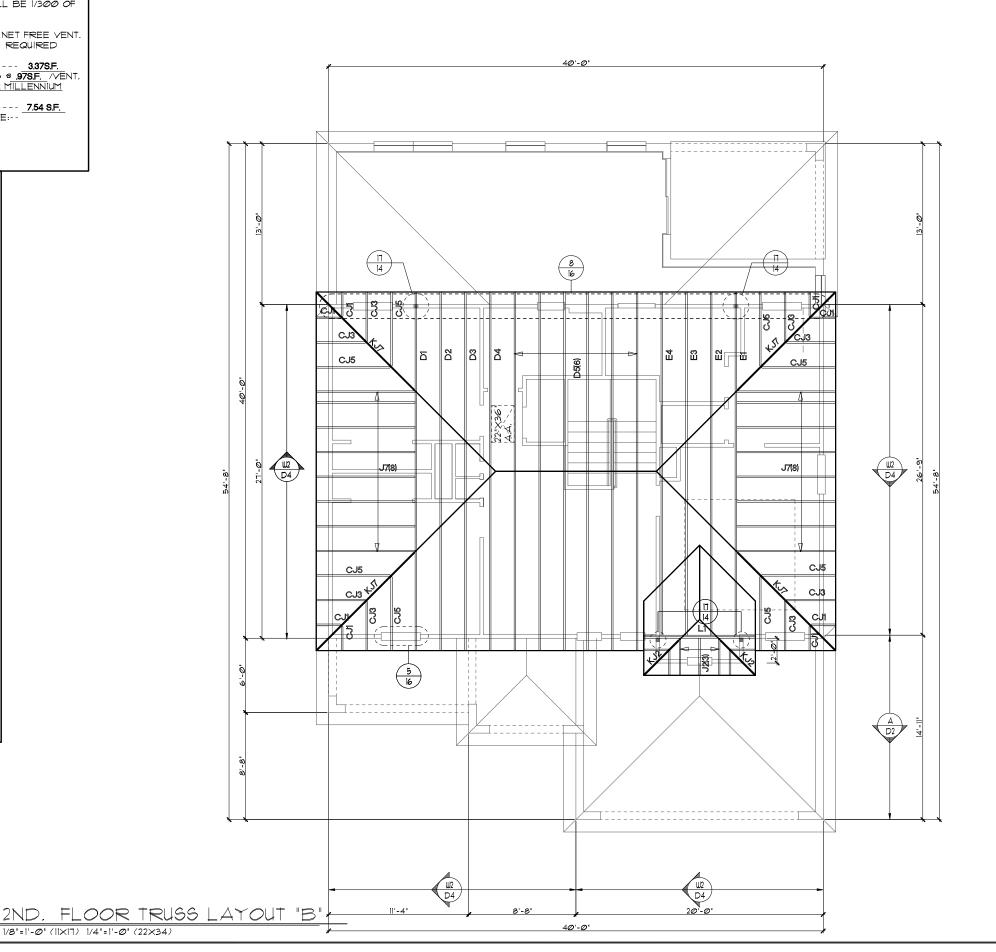
UPPER PORTION VENTILATION TOTAL:----- 3.378.F. PROVIDED WOFF RIDGE VENTS: 4 VENTS @ 978.F. VENT. (VENT TYPE: LOMANCO MODEL TTO-D OR MILLENNIUM

LOWER PORTION VENTILATION TOTAL:---- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE:--(<u>86.67L.F.</u> @ <u>0.087S.F.</u> ∨ENTING PER L.F.)

UPPER PORTION PERCENTAGE: 44% LOWER PORTION PERCENTAGE: 57%

### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- 2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- B. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- . ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
- 5. TRUSSES SHALL BE BRACED TO PRE-VENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS, IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPINUTCA BCSI 1.
- 6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- T. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 -Underlayment materials required to comply with ASTM D226, D4869 ot Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.I.I. Underlayment shall be applied and attached in accordance with Table R905.1.1.
- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
- LOMANCO: (2) 9 1/" DIA, CIRCLES MILLENIUM METAL : 2 1/2" × 46"
- HOLE
- 9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R9Ø5.1.1.1



PEMBROKE

DATE **04-6-**12 SCALE AS NOTED

SHEET

PER FBC2020 1TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/150 OF VENTED SPACE:

TOTAL VENTED SPACE: 1,962 S.F. = 6.54 S.F. NET FREE VENT. REQUIRED

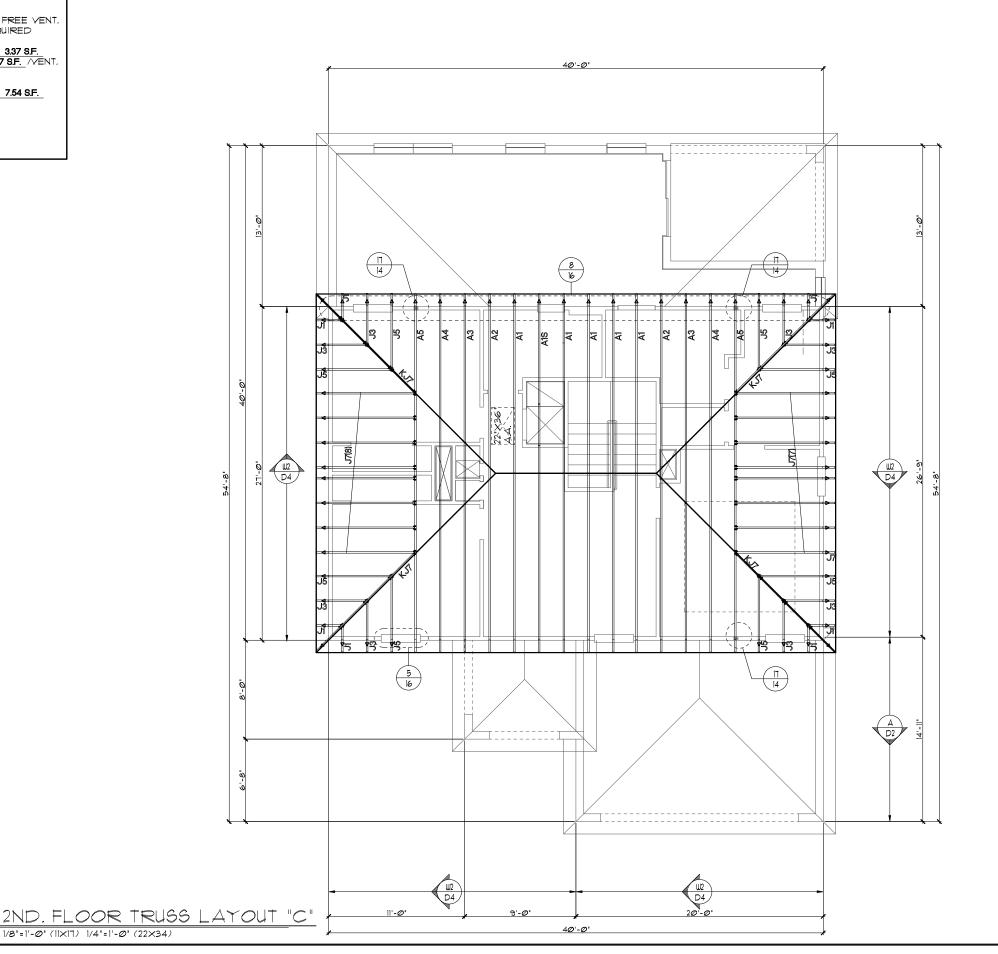
UPPER PORTION VENTILATION TOTAL:---- 3.37 S.F. PROVIDED WOFF RIDGE VENTS: 3 VENTS @ 97 SF. /VENT. (VENT TYPE: O'HAGIN MODEL 'S')

LOWER PORTION VENTILATION TOTAL:----- 7.54 S.F. PROVIDED W/ VENTILATED SOFFITS @ EAVE: (86.67 L.F.@ 0.087 S.F. VENTING PER L.F.)

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- 8. OFF RIDGE VENTS MAXIMUN OPENING SIZES :
- LOMANCO: (2) 9 1/" DIA, CIRCLES MILLENIUM METAL : 2 1/2" × 46"
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PEMBROKE

SCALE AS NOTED

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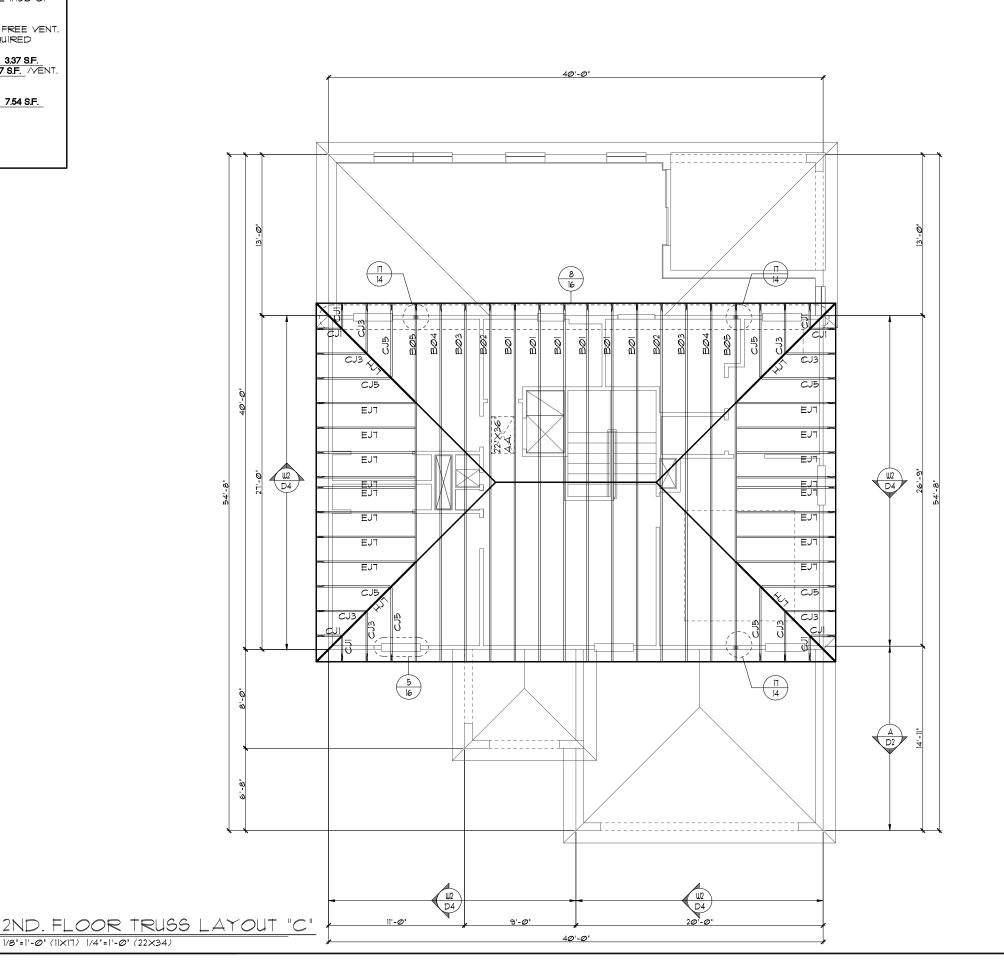
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PEMBROKE

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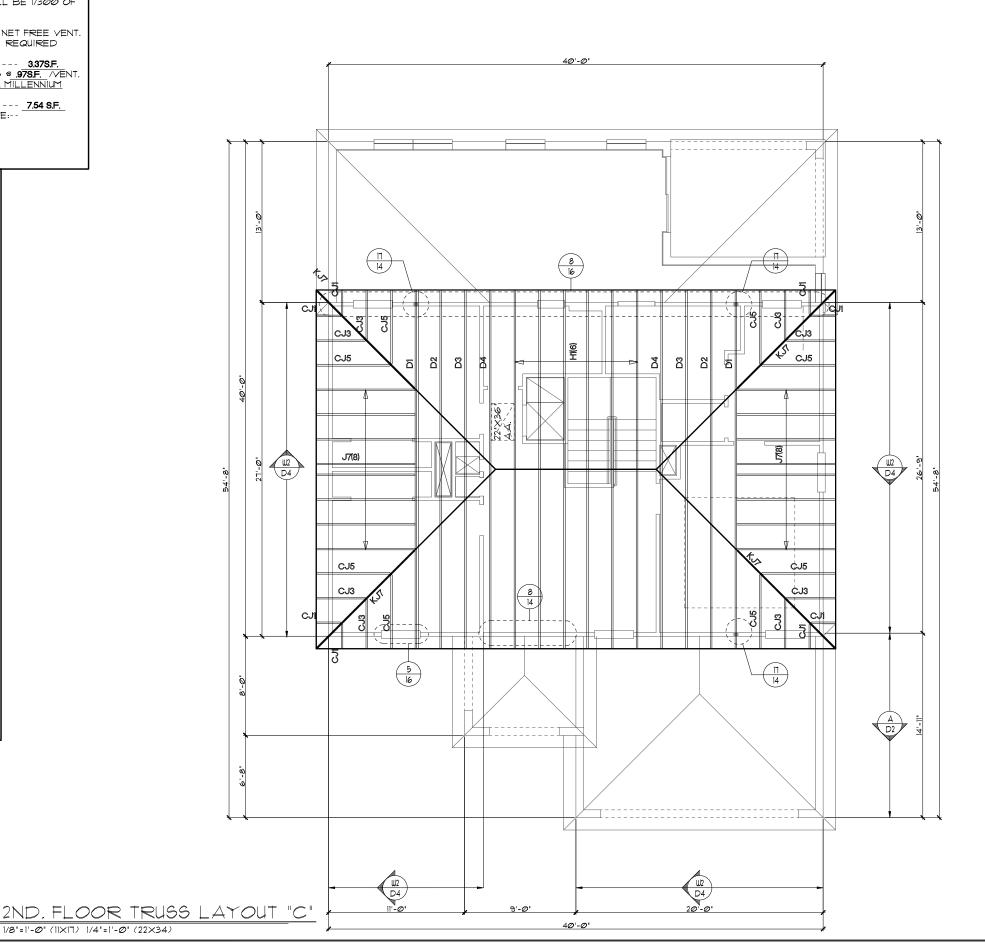
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1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

FBC R905.1.1.1



PEMBROKE

DATE Ø4-6-12 SCALE AS NOTED

SHEET

# SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS 8" PRECAST & PRESTRESSED U-LINTELS

	GRAVITY							
TYPE	sus	8F8-0B	8F12-ØB	8F16-0B	8F2Ø-ØE	8F24-0F3	8F28-ØB	8F32-ØB
LENGTH	202	8F8-1B	8F12-1B	8F16-1B	8F2Ø-1B	8F24-1B	8F28-1B	8F32-1B
2'-IØ'(34') PRECAST	23@2	3166	4473	6039	7526	9004	109472	11936
		3166 3138	4473 3377	6Ø39 4689	1526	9004	8630	11936
3'-6" (42") PRECAST	23Ø2	3166	4473	6039	7526	9004	100472	11936
# # # ( ## ) PPP # ##		2325	2496	3467	4438	5410	6384	7358
4'-0" (48") PRECAST	2029	2646	4473	6039	7526	9004	1094712	11936
4'-6" (54") PRECAST	1651	רפרו	1913	2657	34Ø3	4149	48%	5644
	1001	2170	4027	6039	1526	9004	100472	9668
5'-4" (64") PRECAST	1184	1223	13Ø1	18@9	2317	2826	3336	3846
		1665	1059	5Ø51 1474	6096	2304	6424 2721	745Ø 3I37
5'-10"(10") PRECAST	972	1459	2464	4144	5458	4437	5280	6122
		1255	2101	3263	2746	3358	3971	4585
6'-6"(18") PRECAST	937	1255	21Ø1	3396	5260	7134	8995	6890
1'-6' (90') PRECAST	7/7	1029	1675	2385	1994	2439	2886	3333
1-6 (90 ) PRECASI	767	1029	1675	2610	3839	55%	6613	5Ø41
9'-4" (II2") PRECAST	573	632	1049	1469	12100	1482	1754	2Ø27
	212	768	1212	1818	2544	3469	4030	3127
10'-6"(126") PRECAST	456	482	802	1125	915	1122	1328	1535
		658 598	935	1514	2081 1854	2355	313@	2404
11'-4" (136") PRECAST	445	598	935	1365	1854	2441	3155	4044
		545	864	1254	1689	2074	1570	1818
12'-Ø'(144') PRECAST	414	555	864	1254	1693	2211	2832	3590
13'-4'(160') PRECAST	363	427	726	1028	1331	1635	1224	1418
13 -4 (166) / FRECAST	362	485	748	1076	1438	1855	2343	2920
14'-Ø'(168') PRECAST	338	381	648	919	1190	1462	1087	1260
		455	100	1003	1335	1714	2153	2666
14"-8" (176") PRESTRESSED	N.R.	NR 465	NR 765	NR 13TØ	NR 2045	NR 2610	NR 3185	NR 3765
		NR	NR	NR	NR	NR	NR	NR
15'-4' (184') PRESTRESSED	N.R.	420	695	1250	1855	2370	2890	3410
171 41 (2001) PRESTREAM		NR	NR	NR	NR	NR	NR	NR
11'-4' (206')PRESTRESSED	Ŕ	310	530	950	1400	1800	2200	2600
19'-4' (232') PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
	14.14	240	400	750	1090	1400	1720	2030
21'-4" (256")PRESTRESSED	N.R.	NR IOS	NR	NR	NR	NR 10.45	NR	NR
		183 NR	33Ø	610 NR	94Ø	134Ø NR	NR	21169 NR
22'-Ø'(264')PRESTRESSED	N.R.	160	300	510	870	1250	1660	1910
		NR	NR	NR	NR	NR	NR	NR
24'-Ø(288')PRESTRESSED	N.R.	130	240	470	720	1030	135@	1610
,	8"	PRECAS	ST & F	RESTRE	ESSED	U-LINT	ELS	

8"	PRECAST	&	PRESTRESSED	U-LINTELS

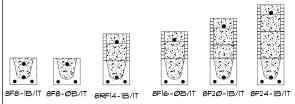
	8"	PRECAS	ST & F	RESTRE	ESSED	U-LINT	ELS		
			UF	PLIF	T			LA1	TERAL
TYPE	8F8-IT	8F12-IT		8F2Ø-IT		8F28-IT		808	8F8
LENGTH 111-E	8F8-2T	8F12-2T	8F16-2T	8F2Ø-2T	8F24-2T	8F28-2T	8F32-2T	000	010
2'-l@'(34') PRECAST	2727	2878	4101	5332	6569	1811	9055	2021	2021
- IS (ST)   NESEST	2727	2784	3981	5190	6407	7630	8857	2021	2021
3'-6" (42") PRECAST	2165	2289	3260	4237	5219	6204	7192	1257	1257
	2165	2215	3165	4125	5091	6061	7Ø36		
4'-0" (48") PRECAST	878	1989	2832	3680	4532	5387	6245	938	938
	1878	1925	275Ø	3583 3257	4422	5264 4767	61Ø 5525		
4'-6' (54') PRECAST	1660	1705	2435	3171	3913	4658	5406	T2T	727
	1393+	1484	2110	2741	3375	400	4648		
5'-4" (64") PRECAST	1393	1437	2050	2670	3293	3920	505	505	5Ø5
	1272*	1357	1930	2505	3Ø84	3665	4247		
5'-10'(70') PRECAST	1272	1315	1875	2441	300	3583	4157	418	418
	1141•	1200	1733	225@	2769	3290	3812		
6'-6"(18") PRECAST	1141	1182	1684	2192	27@3	3216	3732	דשר	887
	959*	912	1475	1914	2354	2797	3240		
1'-6' (90') PRECAST	990	1029	1466	19Ø7	2351	2797	3245	591	65
	801.	612	980	1269	1560	1852	2144		
9'-4" (112") PRECAST	801	155	1192	1550	ISIØ	2271	2634	454	630
IN CHICAL PROPERTY	716.	498	193	1027	1261	1496	1731		
10'-6'(126') PRECAST	716	611	1039	1389	1111	2Ø34	2358	396	493
11'-4' (136') PRECAST	666	439	696	899	11004	13Ø9	1515		
II-4" (136") PRECAST	666	535	905	1295	1595	1896	2198	363	556
DI MICIALI PERCAGE	6071	400	631	816	1001	1186	1372	240	
12'-0'(144') PRECAST	631	486	818	1209	1514	1799	2086	340	494
13'-4' (160') PRECAST	500.	340	532	686	841	997	1153	3@2	398
13 -4 (166) / FRECAST	573	409	682	1004	1367	1637	Tesi	502	220
14'-@'(168') PRECAST	458*	316	493	635	378	922	1065	286	360
H-B (1887) NESASI	548	378	629	922	1254	1567	1816	200	200
14'-8' (176') PRESTRESSED	243	295	459	591	724	857	99Ø	N.R.	357
	243	352	582	852	1156	1491	1742	14,4	
15'-4" (184") PRESTRESSED	228	278	430	553	677	801	925	N.R.	327
	228	329	542	791	1072	1381	1676		
11'-4' (208')PRESTRESSEI	188	236	361	464	561	670	114	N.R.	255
	188	276	449 313	649	649 814 1121 1389 1414 401 490 518 661				
19'-4' (232') PRESTRESSE	165	239	383	550	136	940	1160	N.R. 20	
	145	186	278	356	433	512	590	N.R. 172	
21'-4' (256')PRESTRESSE	142	212	336	477	635	807	993		172
	1400	180	268	343	48 493 568				
22'-0'(264')PRESTRESSEI	137	205	322	457	607	771	947	N.R.	161
24'-Ø'(288') PRESTRESSE	127	165	244	312	38Ø	447	515	N.R.	135

## \*REDUCE VALUE BY 25% FOR GRADE 40 FIELD REBAR 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

6 TRECAST W/ 2 RECESS BOOK 0-ENTEES									
		GRAVITY							
TYPE	8RU6	8RF6-ØB	8RF10-0E	8RF14-ØB	8RF18-ØB	8RF22-ØE	8RF26-ØE	8₹3 <i>0-0</i>	
LENGTH	BRUB	SRF6-IB	SRFIØ-1B	8RF14-1B	SRFIS-IB	8RF22-1B	8RF26-1B	8RF3Ø-1	
4'-4" (52") PRECAST	1489	1591	3Ø53	2982	3954	4929	5904	6880	
4-4 (92) FRECAST	1485	1827	3412	4982	6472	7947	9416	10878	
4'-6' (54') PRECAST	1357	1449	2782	2714	3600	4487	5375	6264	
4-6 (54) FRECASI	1991	17Ø2	3412	4982	6472	7947	9416	10878	
5'-8" (68") PRECAST	185	832	16Ø2	1550	2058	2566	3Ø75	3585	
9-8 (88) PRECASI	185	1153	2162	4074	6472	6516	5814	6839	
5'-10' (10') PRECAST	735	779	1500	1449	1924	2400	2876	3352	
5-10 (10) PRECASI	139	11Ø3	2051	3811	6472	6516	545Ø	6411	
6'-8' (80') PRECAST	822	9Ø7	1677	2933	2576	3223	3872	4522	
8 -8 (80 )I-RECASI	822	9Ø7	1677	2933	4100	6730	8177	6707	
1'-6' (90') PRECAST	665	761	1377	2252	1958	2451	2944	3439	
1-6 (90) PRECASI	665	764	1377	2329	3609	5492	6624	5132	
9'-8' (116') PRECAST	371	420	834	1253	ודשו	1342	1614	1886	
3-8" (II6") PRECASI	ווכ	535	928	1497	2179	2618	3595	2875	

## 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

		UPLIFT							LATER	
TYPE	SRF6-IT	SPETIØ-IT	8 <b>9</b> F14-IT	SRFIS-IT	SRF22-IT	8RF26-IT	8FF3Ø-IT			
LENGTH	8F6-2T	8 <del>131</del> 1Ø-2T	8 <del>121</del> 14-21	8RF18-2T	8F6F22-2T	8FF26-21	8FF3Ø-2T	8RU6	8FRF	
4'-4' (52') PRECAST	1244	1573	2413	3260	4112	4967	5825			
1-4" (52") PRECASI	1244	1519	2339	3170	4008	4850	5696	932	93	
4'-6" (54") PRECAST	1192	15Ø7	2311	3121	3937	4756	5511			
4-6 (54 / FRECASI	1192	1455	2240	3Ø36	3837	4643	5453	853	85.	
EL AL (CAL) EDECAGE	924*	1172	1195	2423	3Ø55	3689	4325	- 61		
5'-8" (68") PRECAST	924	1132	1741	2357	2978	36Ø3	423@	5Ø1	56	
5'-10" (70") PRECAST	8964	1138	IT42	2352	2965	3581	4198	469	46	
5-10 (10) PRECASI	896	1099	1690	2288	2891	3497	4106	465	46	
6'-8" (80") PRECAST	778	882	1513	2Ø42	2573	31007	3642	00.0		
6-8 (86) I-RECASI	778	956	1468	1981	25Ø9	3Ø35	3563	830	110	
TI 4 I (0.01) PPEG 144	688	697	1325	1810	2280	2753	3227	7169	94	
1'-6' (90') PRECAST	688	849	13@2	1762	2225	2690	3157	110	94	
9'-8' (II6') PRECAST	5331	433	8Ø8	1123	1413	17@4	1995	516	61-	
3-6 (III) I-RECASI	533	527	1009	1369	1728	2088	245@	216	91	
	-PE	DUCE VA	LUE BY	15% FOR	GRADE .	40 FIELD	REBAR			



CAST CRETE LINTEL SCHEDULE									
_INTEL NO.	LENGTH	TYPE	COMMENTS						
L 1	17'-4"	8F32-1B/IT	GARAGE DOOR						
L 2	4'-6"	8F16-ØB/IT	3/4×1/4 F.G.						
L 3									
L 4	4'-6"	8F16-ØB/IT	SH25						

NO.	LENGIH	ITPE	COMMENTS
L 1	17'-4"	8F32-1B/IT	GARAGE DOOR
L 2	4'-6'	8F16-0B/IT	3/4×1/4 F.G.
L 3			
L 4	4'-6'	8F16-ØB/IT	5H25
L 5	7'-6'	8F16-ØB/IT	6/0×8/0 5GD.
L 6	9'-4"	8F16-ØB/IT	REAR LANAI
LΊ	12'-4"	8F16-ØB/IT	REAR LANAI
L8	4'-6'	8F16-ØB/IT	5H25
L 9	4'-6'	8F16-ØB/IT	SH25
L 10	7'-6"	8F16-ØB/IT	PR. 9H25
L 11	4'-6"	8F16-0B/IT	SH25
L 12	5'-10"	8RF12-0B/IT	FRONT DOOR
L 13	7'-6"	8F56-1B/IT	FRONT ENTRY
L 14	7'-6"	8F36-ØB/IT	FRONT ENTRY
L 15			
L 16			
L 17			
L 18			
L 19			
L 20	7'-6"	8F16-ØB/IT	OPT. 6/0×8/0 5.G.D
L 21			
L 22			
L 23			
L 24			
L 25	9'-4"	8F32-1B/IT	GARAGE DOOR
L 26	14'-0"	8F16-1B/IT	GARAGE
L 27	4'-4"	8R34-1B/IT	GARAGE SERV. DR.
L 28			
L 29			
L 3Ø			
L 31			
L 32			
L 33			
L 34			
L 35			
L 36			
L 3T			
L 38			
L 39			

## MATERIALS

- I. F.C preast lintels = 3500 psi.
  2. F.C preast lintels = 6000 psi.
  3. F.C grout = 3000 psi um aximum 3/8 aggregate.
  4. Concrete macorry units (CMU) per ASTM C90 w/minimum net dread compressive strength = 1900 psi.
  5. Rebar provided in precast lintel per ASTM A615 GR60. Flest reserved in precast lintel per ASTM A615 GR60. Prestressing atract per ASTM A416 grade
  5. Prestressing atract per ASTM A416 grade
  7. 100 psi per ASTM A510.
  8. Mortar per ASTM C210 type M or 5.

### GENERAL NOTES

- L. Provide full mortar head and bed Joints.

  2. Shore filled lintels as required.

  3. Installation of lintel must comply with the architectural and/or structural drawings.

  3. Installation of lintel must comply with the architectural and/or structural drawings.

  4. Lintels are manufactured with 5-12" long notohes at the ends to accommodate vertical cell reinforcing and grouting.

  5. All lintels mest or exceed L/360 vertical deflection, except lintels IT-4" and effective control of the lintel size of the structural cell of the lintel size of the lintel cavity.

  6. Exclusing Tield Added reform to be located at the bottom of the lintel cavity.

  7. 17/32" diameter wire stirrups are welded to the bottom steel for mechanical anchorage.

  8. Cast-in-place concrete may be provided in composite lintel in lieu of concrete masom.

  9. Safe load ratings based on rational design analysis per ACI 318 and ACI 530.

## SAFE LOAD TABLE NOTES

- SATE LOVE TABLE NOTED

  All values based on initimum 4' bearing. Exception: 9afe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2'. Safe loads for all recessed lintels besed on 8' monial bearing.

  2. NR: Not Rated.

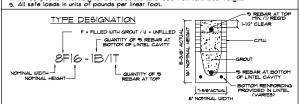
  3. Safe loads are total superimposed allowable load on the section specified.

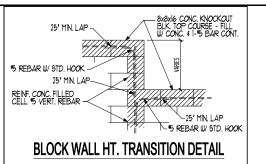
  4. Safe loads based on grade 40 or grade 60' field rebar.

  5. Additional listeral load capacity can be obtained by the designer by providing additional reinforced majority above the precess lintel, since the safe providing additional reinforced majority above the process lintels only.

  The designer by so soft titude of the safe loads for the safe load stoles by calculating the max realisting moment and shear at d-away from the face of support.

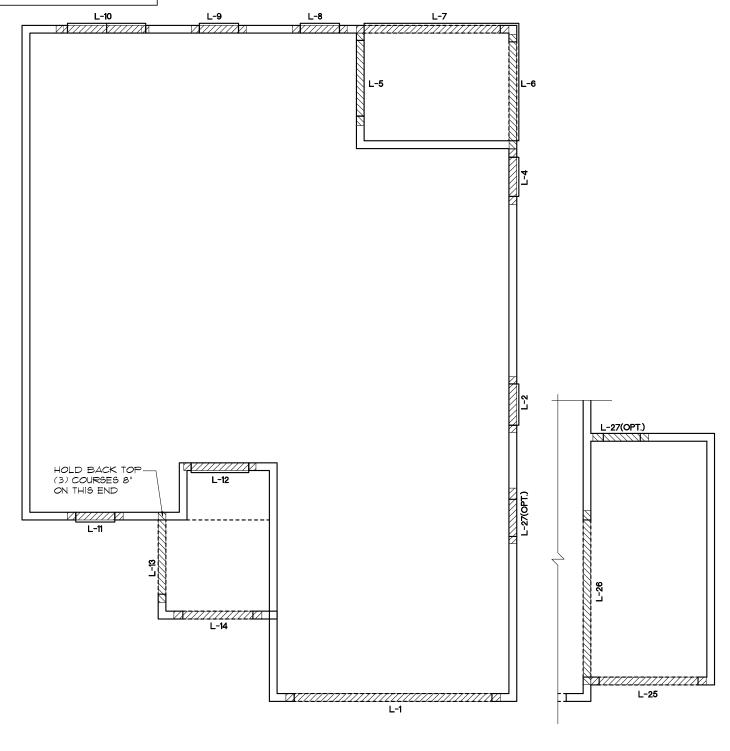
  5. For composite lintel heights not show, use safe load from next lower height.





PRE CAST LINTEL LAYOUT "A"

1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)



THE PEMBROKE

SCALE AS NOTED RDC

2382 JOB

SHEET

3-CAR GAR, OPTION 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

# SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS 8" PRECAST & PRESTRESSED U-LINTELS

3'-6" (42") PRECAST : 4'-0" (48") PRECAST :	23Ø2 23Ø2 23Ø2 2Ø29	8F8-ØB 8F8-IB 3I66 3I66 3I38 3I66 2325	8F12-ØB 8F12-1B 44T3 44T3 33TT 44T3	8FI6-IB 6Ø39 6Ø39	8F2Ø-ØB 8F2Ø-IB 1526	_	8F28-1B	
12'-10' (34') PRECAST 13'-6' (42') PRECAST 14'-0' (48') PRECAST 14'-0' (	23Ø2 23Ø2 2Ø29	3166 3166 3138 3166	4473 4473 3377	6Ø39 6Ø39	7526			8F32-1B
3'-6" (42") PRECAST : 4'-0" (48") PRECAST :	23 <i>0</i> 2 2 <i>0</i> 29	3166 3138 3166	44T3 33TT	6039		9004		
3'-6" (42") PRECAST : 4'-0" (48") PRECAST :	23 <i>0</i> 2 2 <i>0</i> 29	3138 3166	3377				100472	11936
4'-0" (48") PRECAST	2029	3166			7526	9004	109472	11936
4'-0" (48") PRECAST	2029		4473	4689	6001	T315	8630	9947
		2325		6039	7526	9004	109472	11936
			2496	3467	4438	5410	6384	7358
4'-6' (54') PRECAST		2646	4473	6039	7526	9004	109472	11936
		ITST	1913	2657	34Ø3	4149	4896	5644
- C (S-7)   REOHO!	1651	217@	4027	6039	7526	9004	1Ø472	9668
		1223	13@1	18@9	2317	2826	3336	3846
5'-4" (64") PRECAST	1184	1665	2889	5Ø51	6096	5400	6424	7450
		1000	1059	1474	1889	23@4	2721	3137
5'-10'(10') PRECAST	972	1459	2464	4144	5458	4437	5280	6122
			2101					
6'-6"(18") PRECAST	937	1255		3263	2746	3358	3911	4585
		1255	21Ø1	3396	5260	7134	8995	6890
1'-6' (9Ø') PRECAST	767	1029	1675	2385	1994	2439	2886	3333
1 0 (00 )   1420/401		1029	1675	2610	3839	55%	6613	5041
9'-4" (II2") PRECAST	573	632	1049	1469	1210	1482	1754	2@27
3-4 (112)   1420/401	כוכ	768	1212	1818	2544	3469	4030	3127
10'-6'(126') PRECAST	15.0	482	802	1125	915	1122	1328	1535
D-ECIZE / I-RECAST	456	658	1025	1514	2081	2774	313@	2404
W 41 (1041) PPEG 46T		598	935	1365	1854	2355	1793	2Ø75
11'-4' (136') PRECAST	445	598	935	1365	1854	2441	3155	4044
		545	864	1254	1689	2074	1570	1818
12'-Ø'(144') PRECAST	414	555	864	1254	1693	2211	2832	3590
		427	726	1028	1331	1635	1224	1418
13'-4'(160') PRECAST	362	485	748	1076	1438	1855	2343	2920
		381	648	919	1190	1462	1087	1260
14'-Ø'(168') PRECAST	338	455	700	1003	1335	1714	2153	2666
		NR	NR	NR	NR	NR	NR	NR
4'-8' (176') PRESTRESSED	N.R.	465	765	137@	2045	2610	3185	3765
		NR	NR	NR	NR	NR	NR	NR
5'-4' (184') PRESTRESSED	N.R.	420		1250			2890	
			695		1855	2370		3410
1'-4' (208')PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
		310	530	950	1400	1800	2200	2600
9'-4' (232') PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
		240	400	750	1090	1400	1720	2030
11'-4" (256")PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
		183	33Ø	610	940	1340	1780	2110
12'-Ø'(264')PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
	IN.FC	160	300	570	87Ø	1250	1660	1970
4'-Ø(288')PRESTRESSED	NID.	NR	NR	NR	NR	NR	NR	NR
4 -10(200 /FRESTRESSED	N.R.	130	240	470	720	1030	135@	1610

8"	PRECAST	&	PRESTRESSED	U-LINTELS

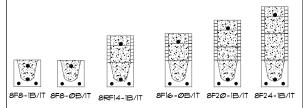
	8"	PRECAS	ST & F	PRESTRE	SSED	U-LINT	ELS		
			UF	PLIF	T			LA <sup>-</sup>	TERAL
LENGTH TYPE	8F8-IT	8F12-IT		8F2Ø-IT		8F28-IT	<b>8</b> ₹32-1T	8U8	8F8
ELIKSIH	8F8-2T	8F12-2T	8F16-2T	ØF2Ø-2↑		8F28-2T			0.0
2'-IØ'(34') PRECAST	2727	2878	4101	5332	6569	1811	9055	2@21	2021
- 12 12 11 11 12 11 11	2727	2784	3981	5190	6407	7630	8857		
3'-6" (42") PRECAST	2165	2289	3260	4237	5219	6204	7192	1257	1257
	2165	2215	3165	4125	5091	6061	7Ø36		
4'-@" (48") PRECAST	878	1989	2832	3680	4532	5387	6245	938	938
	878	1925	275Ø	3583	4422	5264 4767	6110		
4'-6" (54") PRECAST	1660			3257			5525	727	727
	1660	1705	2435	3111	3913	4658	5406		
5'-4" (64") PRECAST	1393+	1484	2110	2741	3375	4010	4648	505	505
	1393	1437	2050	2670	3293	3920	4549		
5'-10'(10') PRECAST	1272*	1357	1930	25@5	3Ø84	3665	4247	418	418
	1272	1315	1875	2441	3010	3583	4157		
6'-6"(18") PRECAST	1141•	1200	1733	225Ø	2769	329Ø	3812	דשר	887
	1141	1182	1684	2192	27Ø3	3216	3732		
1'-6' (90') PRECAST	959,	912	1475	1914	2354	2797	3240	591	65
	990	1029	1466	1907	2351	2797	3245		
9'-4" (112") PRECAST	8ØI•	612	980	1269	1560	1852	2144	454	630
	801	155	1192	1550	1910	2271	2634		
0'-6'(126') PRECAST	716.	498	193	1027	1261	1496	1731	396	493
	716	611	1039	1389	17111	2Ø34	2358		733
11'-4" (136") PRECAST	666	439	696	899	11@4	13Ø9	1515	363	556
	666	535	905	1295	1595	1896	2198	رمر	336
12'-@'(144') PRECAST	6071	400	631	816	1001	1186	1372	340	494
Z-Z (IHT)   NECESI	631	486	818	1209	1514	1799	2086	540	737
13'-4'(160') PRECAST	500.	340	532	686	841	997	1153	3@2	398
is 4 (ibb )   Nebalo	513	409	682	1004	1367	1637	T <del>P</del> Si	202	230
14'-@'(168') PRECAST	458*	316	493	635	778	922	1065	286	360
IA -B (IBB)   IAEBASI	548	378	629	922	1254	1567	1816	200	200
14'-8' (176') PRESTRESSED	243	295	459	591	724	857	990	N.R.	357
IT -D (THE )   RESTRESSED	243	352	582	852	1156	1491	1742	1012	
15'-4" (184") PRESTRESSED	228	278	430	553	611	8Ø1	925	N.R.	327
IS 4 (IS4)   NEO INCESSEE	228	329	542	791	10/12	1381	1676	14.1	22 1
17'-4" (208')PRESTRESSED	188	236	361	464	561	670	114	N.R.	255
11-4 (200) FRESTRESSEL	188	276	449	649	814	1121	1389	N.C	255
19'-4' (232') PRESTRESSED	165	201	313	401	490	578	667	N.R.	204
13-4 (131 )   142011420021	165	239	383	550	736	940	1160	IV.PC	201
21'-4' (256')PRESTRESSEI	145	186	278	356	433	512	590	N.R.	172
	142	212	336	477	635	8Ø1	993	2	112
22'-@'(264')PRESTRESSEI	140	180	268	343	418	493	568	N.R.	161
	137	205	322	457	607	771	947	IN.PC	اطا
24'-@'(288') PRESTRESSEI	127	165	244	312	38Ø	447	515	N.R.	135
	124	186	290	408	538	680	833	IN.FC.	ودرا

## \*REDUCE VALUE BY 25% FOR GRADE 40 FIELD REBAR 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

		GRAVITY						
TYPE		8RF6-ØB	SRFIØ-ØB	8RF14-ØB	8RF18-ØB	8FF22-ØE	8RF26-ØE	SFF30-05
LENGTH	8RU6	SRF6-IB	8RF10-1B	8RF14-1B	SRFIS-IB	8RF22-1B	8RF26-1B	8RF3Ø-1B
4'-4" (52") PRECAST	1489	1591	3Ø53	2982	3954	4929	5904	6880
4-4 (92) FRECAST	1465	1827	3412	4982	6472	1941	9416	10878
4'-6' (54') PRECAST	1357	1449	2782	2714	3600	4487	5375	6264
4 -6 (94 ) FRECAST	199 1	17@2	3412	4982	6472	7947	9416	1Ø878
5'-8' (68') PRECAST	785	832	16Ø2	1550	2058	2566	3Ø75	3585
5-8 (88 / FRECASI	100	1153	2162	4074	6472	6516	5814	6839
5'-10' (10') PRECAST	735	779	1500	1449	1924	2400	2876	3352
5-10 (10) PRECASI	139	11@3	2051	3811	6472	6516	545Ø	6411
6'-8' (80') PRECAST	822	9Ø7	1677	2933	2576	3223	3872	4522
6-8 (80) FRECASI	822	9Ø7	1677	2933	4100	6730	8177	6707
71 41 (001) PDF6 467		761	1377	2252	1958	2451	2944	3439
1'-6' (90') PRECAST	665	764	1377	2329	3609	5492	6624	5132
9'-8' (II6') PRECAST	271	420	834	1253	ורשו	1342	1614	1886
3-5 (IIE / FRECASI	371	535	928	1497	2179	2618	3595	2875

## 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

			U	PLIF	T			LA.	TER.
TYPE	SRF6-IT	SPETIØ-IT	8 <b>9</b> F14-IT	SRFIS-IT	SRF22-IT	8RF26-IT	8FF3Ø-IT		
LENGTH	8F6-2T	8 <del>131</del> 1Ø-2T	8 <del>121</del> 14-21	8RF18-2T	8F3F22-2T	8FF26-21	8FF3Ø-2T	8RU6	8FRF
4'-4' (52') PRECAST	1244	1573	2413	3260	4112	4967	5825		
4'-4' (52') PRECASI	1244	1519	2339	3170	4008	4850	5696	932	93
4'-6" (54") PRECAST	1192	15Ø7	2311	3121	3937	4756	5511		
4-6 (94) FRECASI	1192	1455	2240	3Ø36	3837	4643	5453	853	85
EL AL (CAL) EDECAGE	924*	1172	1195	2423	3Ø55	3689	4325	- 61	
5'-8" (68") PRECAST	924	1132	1741	2357	2978	36Ø3	423@	501	50
5'-10" (70") PRECAST	8964	1138	□42	2352	2965	3581	4198	469	46
5-10 (10) PRECASI	896	1099	1690	2288	2891	3497	4106	465	46
6'-8" (80") PRECAST	778	882	1513	2Ø42	2573	31007	3642	00.0	
B-S (BD)FRECASI	778	956	1468	1981	25Ø9	3Ø35	3563	830	110
71 41 (001) PPEG 161	688	697	1325	1810	2280	2753	3227	7169	94
1'-6' (90') PRECAST	688	849	13@2	1762	2225	2690	3157	iie)	94
9'-8' (II6') PRECAST	5331	433	8Ø8	1123	1413	17Ø4	1995	516	61-
3-6 (III) I-RECASI	533	527	1009	1369	1728	2088	245@	216	91
	-PE	DUCE VA	LUE BY	15% FOR	GRADE .	40 FIELD	REBAR		



		CAST CR			
LINTEL NO.	LENGTH	TH TYPE COMMEN			
L1	17'-4"	8F32-1B/IT	GARAGE DOOR		
L 2	4'-6'	8F16-0B/IT	3/4×1/4 F.G.		
L 3					
L 4	4'-6'	8F16-ØB/IT	SH25		
L 5	7'-6'	8F16-ØB/IT	6/0×8/0 SGD.		
L 6	9'-4"	8F16-ØB/IT	REAR LANAI		
LΊ	12'-4"	8F16-ØB/IT	REAR LANAI		
L8	4'-6"	8F16-ØB/IT	SH25		
L 9	4'-6'	8F16-ØB/IT	SH25		
L 10	7'-6'	8F16-ØB/IT	PR. 9H25		
L 11	4'-6"	8F16-ØB/IT	SH25		
L 12	5'-10"	8RF12-ØB/IT	FRONT DOOR		
L 13	6'-6'	8F16-ØB/IT	FRONT ENTRY		
L 14	11'-4"	8F16-ØB/IT	FRONT ENTRY		
L 15	6'-6'	8F44-IB/IT	FRONT ENTRY		
L 16	7'-6'	8F36-ØB/IT	FRONT ENTRY		
LΠ					
L 18					
L 19					
L 2Ø	7'-6"	8F16-ØB/IT	OPT. 6/0×8/0 S.G.D.		
L 21					
L 22					

L 25 9'-4" 8F32-IB/IT GARAGE DOOR L 26 14'-0' 8FI6-IB/IT GARAGE

4'-4' 8R34-1B/IT GARAGE SERV. DR.

## MATERIALS

L 38 L 39

L 23 L 24

L 27 L 28 L 29 L 3Ø L 31 L 32 L 33 L 34 L 35 L 36

- 1. Fic preads lintels = 3500 psl.
  2. Fic preads lintels = 6000 psl.
  3. Fic grout = 3000 psl will makinum 3/8 aggregate.
  4. Concrete masorry units (CMU) per ASTM C90 w/minimum nat area compressive strength = 1900 psl.
  5. Rebar provided in precast lintel per ASTM A615 GR60. Field rebar per ASTM A615 GR60. Field rebar per ASTM A615 GR60.
  6. Prestressing strand per ASTM A616 grade
  7. The stressing strand per ASTM A616 grade
  7. The stressing strand per ASTM A616 grade
  7. The stressing strand per ASTM A616 Grade
  8. Mortar per ASTM C210 type M or 6.

## GENERAL NOTES

- L. Provide full mortar head and bed joints.

  2. Shore filled lintels as required.

  3. Installation of lintel must comply with the architectural and/or structural drawings.

  3. Installation of lintel must comply with the architectural and/or structural drawings.

  4. Lintels are manufactured with 5-12" long notohes at the ends to accommodate vertical cell reinforcing and grouting.

  5. All lintels mest or exceed L/360 vertical deflection, except lintels IT-4" and provided to the control of the lintel size of the control of the lintel size of the lintel added refer to be forested at the ottom of the lintel cavity.

  1. 1/32" diameter wire stirmps are welded to the bottom steel for mechanical anchorage.

  8. Cast-in-place concrete may be provided in composite lintel in lite of concrete mason.

  9. Safe load ratings based on rational design analysis per ACI 318 and ACI 530.

## SAFE LOAD TABLE NOTES

- SATE LOVE TABLE NOTED

  All values based on initimum 4' bearing. Exception: 9afe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2'. Safe loads for all recessed lintels besed on 8' monial bearing.

  2. NR: Not Rated.

  3. Safe loads are total superimposed allowable load on the section specified.

  4. Safe loads based on grade 40 or grade 60' field rebar.

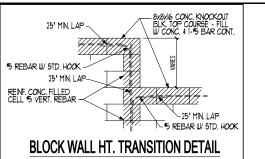
  5. Additional listeral load capacity can be obtained by the designer by providing additional reinforced majority above the precess lintel, since the safe providing additional reinforced majority above the process lintels only.

  The designer by so soft titude of the safe loads for the safe load stoles by calculating the max realisting moment and shear at d-away from the face of support.

  5. For composite lintel heights not show, use safe load from next lower height.

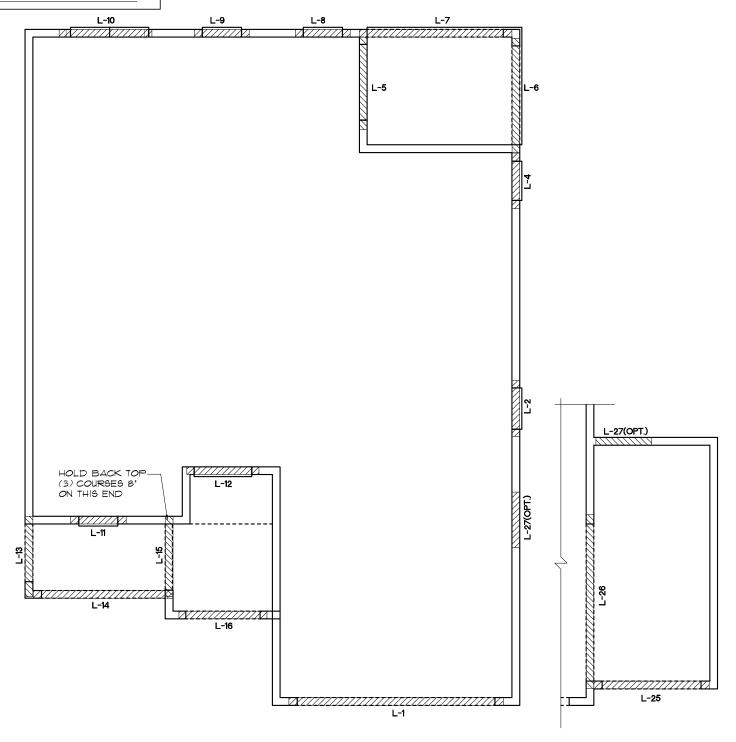
- TYPE DESIGNATION 8F16-1B/IT

8' NOMINAL WIDTH



PRE CAST LINTEL LAYOUT "B"

1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)



3-CAR GAR, OPTION 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)

THE PEMBROKE

SCALE AS NOTED RDC

JOB 2382

SHEET SHEETS

# SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS 8" PRECAST & PRESTRESSED U-LINTELS

TYPE			GI	RAV	ΙΙΥ			
		8F8-0B	8F12-09B	8F16-0B	8F2Ø-ØB	8F24-ØB	8F28-ØB	8F32-ØB
LENGTH	sus	8#8-1B	8F12-1B	8F16-1B	8F2Ø-1B	8F24-1B	8F28-1B	8F32-1B
		3166	4473	6039	7526	9004	100472	11936
2'-IØ'(34') PRECAST	23Ø2	3166	4473	6039	7526	9004	109472	11936
		3138	3377	4689	6001	7315	8630	9947
3'-6" (42") PRECAST	23Ø2	3166	4473	6039	7526	9004	100472	11936
		2325	2496	3467	4438	5410	6384	T358
4'-0" (48") PRECAST	2029	2646	4473	6039	7526	9004	109472	11936
AL CLUE ALL DEPECAGE		TSTI	1913	2657	34Ø3	4149	4896	5644
4'-6" (54") PRECAST	1651	2170	4@27	6039	7526	9004	1Ø472	9668
		1223	13Ø1	18@9	2317	2826	3336	3846
5'-4' (64') PRECAST	1184	1665	2889	5051	6096	5400	6424	1450
		1000	1059	1474	1889	23@4	2721	3137
5'-10'(10') PRECAST	972	1459	2464	4144	5458	4437	5280	6122
		1255	21Ø1	3263	2746	3358	3971	4585
6'-6"(18") PRECAST	937	1255	21@1	3396	5260	7134	8995	6890
		1029	1675	2385	1994	2439	2886	3333
1'-6' (90") PRECAST	767	1029	1675	2610	3839	55%	6613	5Ø41
		632	1049	1469	1210	1482	1754	2@27
9'-4" (112") PRECAST	573	768	1212	ISIS	2544	3469	4030	3127
	156	482	8Ø2	1125	915	1122	1328	1535
10'-6"(126") PRECAST	456	658	1Ø25	1514	2081	2774	313@	2404
		598	935	1365	1854	2355	1793	2015
11'-4" (136") PRECAST	445	598	935	1365	1854	2441	3155	4044
	445	545	864	1254	1689	2074	1570	1818
12'-Ø'(144') PRECAST	414	555	864	1254	1693	2211	2832	3590
		427	726	1028	1331	1635	1224	1418
13'-4' (160') PRECAST	362	485	748	1076	1438	1855	2343	2920
		381	648	919	1190	1462	1087	1260
14'-Ø'(168') PRECAST	338	455	700	1003	1335	1714	2153	2666
		NR	NR	NR	NR	NR	NR	NR
14'-8' (116') PRESTRESSED	N.R.	465	765	1370	2045	2610	3185	3765
		NR	NR	NR	NR	NR	NR	NR
15'-4' (184') PRESTRESSED	N.R.	420	695	1250	1855	2370	2890	3410
-		NR	NR	NR	NR	NR	NR	NR NR
11'-4" (208")PRESTRESSED	N.R.	310	53Ø	95Ø	1400	18ØØ	_	2600
			5360 NR		NR	NR NR	22000 NR	NR NR
19'-4" (232") PRESTRESSED	N.R.	NR 240		NR				
		240	400	750	1090	1400	1720	2030
21'-4" (256")PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
		183	330	610	940	1340	1780	2110
22'-0'(264')PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
	4	160	300	570	870	125@	1660	1970
24'-@(288')PRESTRESSED	N.R.	NR	NR	NR	NR	NR	NR	NR
	0"	1300	240	470	T2Ø	1030	135@	1610

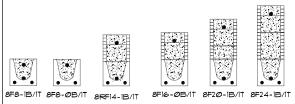
	8"	PRECAS	SI &C F	KEZIKE	. 22FD	U-LINT	FLS		
			UF	PLIF	T			LA1	TERAL
LENGTH TYPE	8F8-1T 8F8-2T	8F12-1T	8F16-1T 8F16-2T	8F2Ø-1T 8F2Ø-2T	8F24-IT		8F32-IT	808	8F8
	2727	2878	40	5332	6569	7811			
2'-IØ'(34') PRECAST	2727	2784	3981	5190	6407	7630	9Ø55 8851	2@21	2@21
	2165	2289	3260	4237	5219	6204	7192		
3'-6' (42') PRECAST	2165	2215	3165	4125	5091	606	7036	1257	1257
	1878	1989	2832	3680	4532	5387	6245		
4'-0" (48") PRECAST	1878	1925	275@	3583	4422	5264	6110	938	938
	1660	1762	25Ø7	3257	4010	4767	5525		
4'-6" (54") PRECAST	1660	1705	2435	3171	3913	4658	5406	727	T2T
	1393+	1484	2110	2741	3375	4010	4648		
5'-4" (64") PRECAST	1393	1437	2050	2670	3293	3920	4549	505	505
	1272*	1357	1930	2505	3Ø84	3665	4247		
5'-10'(10') PRECAST	1272	1315	1875	2441	3010	3583	4157	418	418
6'-6"(18") PRECAST	1141*	1200	1733	225Ø	2769	3290	3812		007
e-e (18) FRECASI	1141	1182	1684	2192	27Ø3	3216	3732	דשד	788
1'-6' (90') PRECAST	9591	912	1475	1914	2354	2797	3240		657
1-6 (36) PRECASI	990	1029	1466	19Ø1	2351	2797	3245	591	651
9'-4" (112") PRECAST	8ØI•	612	980	1269	1560	1852	2144	454	630
5 · (112 /   142 6 / 16	801	155	1192	1550	1910	2271	2634	+5+	930
0'-6'(126') PRECAST	716.	498	T93	1Ø27	1261	1496	1731	396	493
D 01120 / 1 1420 A 01	716	611	1039	1389	1711	2Ø34	2358	230	732
II'-4" (136") PRECAST	666.	439	696	899	11004	1309	1515	363	556
	666	535	9/05	1295	1595	1896	2198	303	
12'-@'(144') PRECAST	607·	400	631	816	1001	1186	1372	340	494
	631	486	818	1209	1514	1799	2086		
13'-4' (160') PRECAST	500.	340	532	686	841	7997	1153	3Ø2	398
	513	409	682	1004	1367	1637	1891		
14'-Ø'(168') PRECAST	458*	316	493	635	178	922	1065	286	360
	548 243	378 295	629 459	922 591	1254	1567 857	1816		
14'-8' (176') PRESTRESSED	243	352	582	852	1156	1491	1742	N.R.	357
	228	278	430	553	677	801	925		
15'-4' (184') PRESTRESSED	228	329	542	791	160712	1381	1676	N.R.	327
	188	236	361	464	561	670	774		
11'-4" (208")PRESTRESSET	188	276	449	649	874	1121	1389	N.R.	255
	165	207	313	401	490	578	667		
19'-4" (232") PRESTRESSE	165	239	383	550	736	940	1160	N.R.	204
	145	186	278	356	433	512	590		
21'-4' (256')PRESTRESSEI	142	212	336	477	635	8ØT	993	N.R.	172
22'-@'(264')PRESTRESSEI	140	180	268	343	418	493	568		
22 -W (264-)PRES RESSEI	137	205	322	457	607	771	947	N.R.	161
24'-Ø'(288') PRESTRESSEI	127	165	244	312	38Ø	447	515		105
14 -5 .200 / I-RESIRESSEI	124	186	290	408	538	680	833	N.R.	135

## \*REDUCE VALUE BY 25% FOR GRADE 40 FIELD REBAR 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

O FREC	ASI T	/ 2 '	(ECE33	DOOK	0-LIN	IELS			
		GRAVITY							
TYPE		8FF6-0B	8FF10-0B	8RF14-ØB	8FF18-ØB	8FF22-ØE	8RF26-ØE	8RF3Ø-ØE	
LENGTH	8RU6	SRF6-IB	8RF10-1B	8RF14-1B	SRFIS-IB	8RF22-1B	8FF26-1B	8RF3Ø-18	
4'-4' (52") PRECAST	1489	1591	3Ø53	2982	3954	4929	5904	6880	
4-4 (92) FRECAST	1485	1827	3412	4982	6472	7947	9416	10878	
4'-6' (54') PRECAST		1449	2782	2714	3600	4481	5375	6264	
4-6 (94)  - RECAST	1351	17@2	3412	4982	6472	7947	9416	10878	
5'-8' (68') PRECAST	785	832	1602	1550	2058	2566	3Ø75	3585	
5-8 (88) PRECASI	188	1153	2162	4074	6472	6516	5814	6839	
5'-10' (10') PRECAST		PTT	1500	1449	1924	2400	2876	3352	
5-10 (10) PRECASI	135	11@3	2Ø51	3811	6472	6516	545Ø	6411	
6'-8' (80') PRECAST	822	9Ø7	1677	2933	2576	3223	3872	4522	
8 -8 (80 )I-RECASI	822	907	1677	2933	4100	6730	8177	6707	
71 (1 (0.01) PDFC (67		761	1377	2252	1958	2451	2944	3439	
1'-6' (90') PRECAST	665	764	1377	2329	3609	5492	6624	5132	
9'-8' (116') PRECAST	371	420	834	1253	1071	1342	1614	1886	
5-6 (IIE / FRECASI	311	535	928	1497	2179	2618	3595	2875	

#### 8" PRECAST W/ 2" RECESS DOOR U-LINTELS

			U	PLIF	T			LA.	TER
TYPE	8RF6-IT	SEFIØ-IT	8FF14-IT	SRFIS-IT	SRF22-IT	8FF26-IT	8FF3Ø-IT		
LENGTH TITE	8RF6-2T	8F€F1Ø-2T	8FF14-2T	8RF18-2T	ØF€F22-21	8RF26-2T	8FF3Ø-21	8RU6	8RI
4'-4' (52') PRECAST	1244	1573	2413	3260	4112	4967	5825		
4-4- (52-) PRECASI	1244	1519	2339	3170	4008	485@	5696	932	93
4'-6" (54") PRECAST	1192	15Ø7	2311	3121	3937	4756	5517		
+-6 (94) FRECAS	1192	1455	2240	3Ø36	3837	4643	5453	853	85
	924*	11712	1195	2423	3Ø55	3689	4325		
5'-8" (68") PRECAST	924	1132	1741	2357	2978	36Ø3	423@	501	56
5'-10" (10") PRECAST	896.	1138	1742	2352	2965	3581	4198		
5-10 (10) PRECASI	896	1099	1690	2288	2891	3491	4106	469	46
6'-8" (80") PRECAST	375	882	1513	2Ø42	2573	3107	3642		
5-6 (80) PRECASI	778	956	1468	1981	25@9	3Ø35	3563	830	110
TI (   (0.01) PDF-6   6.5	688	697	1325	1810	2280	2753	3227		
1'-6" (90") PRECAST	688	849	13@2	1762	2225	2690	3157	שוד	94
9'-8" (116") PRECAST	533.	433	808	1123	1413	17Ø4	1995	-14	_,
3-0 (IIIO / FRECASI	533	527	1009	1369	1728	2Ø88	245@	516	61
	·RE	DUCE VA	LUE BY	15% FOR	GRADE -	40 FIELD	REBAR		



CAST CRETE

		EL SCHED	
LINTEL NO.	LENGTH	TYPE	COMMENTS
L I	17'-4'	8F32-1B/IT	GARAGE DOOR
L 2	4'-6'	8F16-0B/IT	3/4×1/4 F.G.
L 3			
L 4	4'-6'	8F16-ØB/IT	SH25
L 5	7'-6"	8F16-ØB/IT	6/0×8/0 SGD.
L 6	9'-4"	8F16-ØB/IT	REAR LANAI
LΤ	12'-4"	8F16-ØB/IT	REAR LANAI
L8	4'-6'	8F16-ØB/IT	SH25
L 9	4'-6'	8F16-ØB/IT	SH25
L 10	7'-6"	8F16-ØB/IT	PR. 9H25
L II	4'-6'	8F16-ØB/IT	6H25
L 12	5'-10'	8RF12-0B/1T	FRONT DOOR
L 13	7'-6"	8F44-1B/IT	FRONT ENTRY
L 14	7'-6"	8F24-ØB/IT	FRONT ENTRY
L 15			
L 16			
LΠ			
L 18			
L 19			
L 2Ø	7'-6"	8F16-ØB/IT	OPT. 6/0×8/0 5.G.D.
L 21			
L 22			
L 23			
L 24			
L 25	9'-4"	8F32-1B/IT	GARAGE DOOR
L 26	14'-0"	8F16-1B/IT	GARAGE
L 27	4'-4"	8R34-1B/IT	GARAGE SERV. DR.
L 28			
L 29			
L 3Ø			
L 31			
L 32			
L 33			
L 34			
L 35			
L 36			

## MATERIALS

L 37 L 38 L 39

- 1. Fic preast lintels = 3500 psl.
  2. Fic preast lintels = 6000 psl.
  3. Fic grout = 3000 psl ii maximum 3/8 aggregate.
  4. Concrete macorry units (CMU) per ASTM C90 w/minimum net dread compressive strength = 1900 psl.
  5. Rebar provided in precast lintel per ASTM A615 GR60. Field rebar per ASTM A615 GR60 or GR60.
  6. Preastressing atraid per ASTM A616 Grade
  7. The control of the ASTM A616 Grade
  7. The control of the ASTM A616 Grade
  8. Mortar per ASTM A610.

## GENERAL NOTES

- I. Provide I'll mortar head and bed Joints.

  2. Shore filled lintels as required.

  3. Installation of lintel must comply with the architectural and/or structural drawings.

  4. Lintels are manufactured with 5-12° long notches at the ends to accommodate vertical cell reinforcing and grouting.

  5. All lintels meet or exceed L/360 Vertical deflection except lintels I'l-4' and control of the lintels I'l-4' and control of the lintel and lintels of the linte

## SAFE LOAD TABLE NOTES

- SAFE LOVE TABLE NOTE:

  All values based on initimum 4' bearing. Exception: 9afe loads for unfilled lintels must be reduced by 20% if bearing length is less than 6-1/2'. Safe loads for all recessed lintels based on 8' nominal bearing.

  2. NR: Not Rated.

  3. Safe loads are total superimposed allowable load on the section specified.

  4. Safe loads based on grade 40 or grade 60 field rebar.

  5. Additional listeral load capacity can be obtained by the designer by providing additional reinforced majoring shove the precisal lintel.

  The designer by se solution of the control of lintels only.

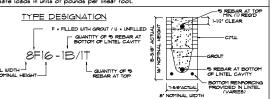
  The designer by se solution of the control of lintels only.

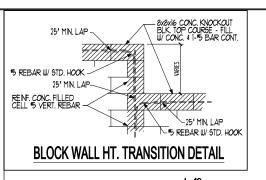
  Calculating the max resisting mement and shear at d-away from the face of support.

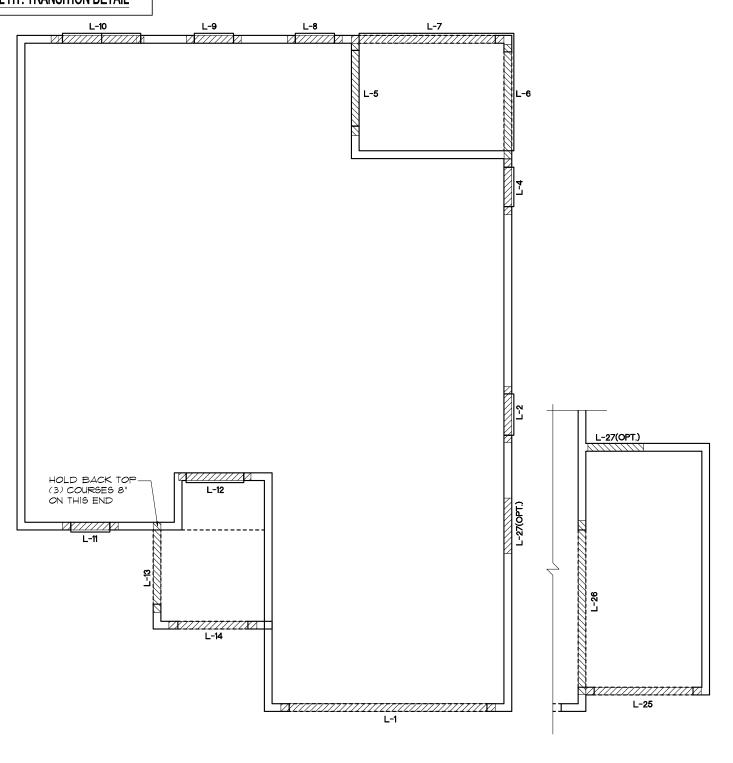
  8. For composite lintel reinforces can be seen to be seen load toles by a calculating the max resisting mement and shear at d-away from the face of support.

  8. For composite lintel reinforts not of how, use safe load from next lower helpts.

- TYPE DESIGNATION







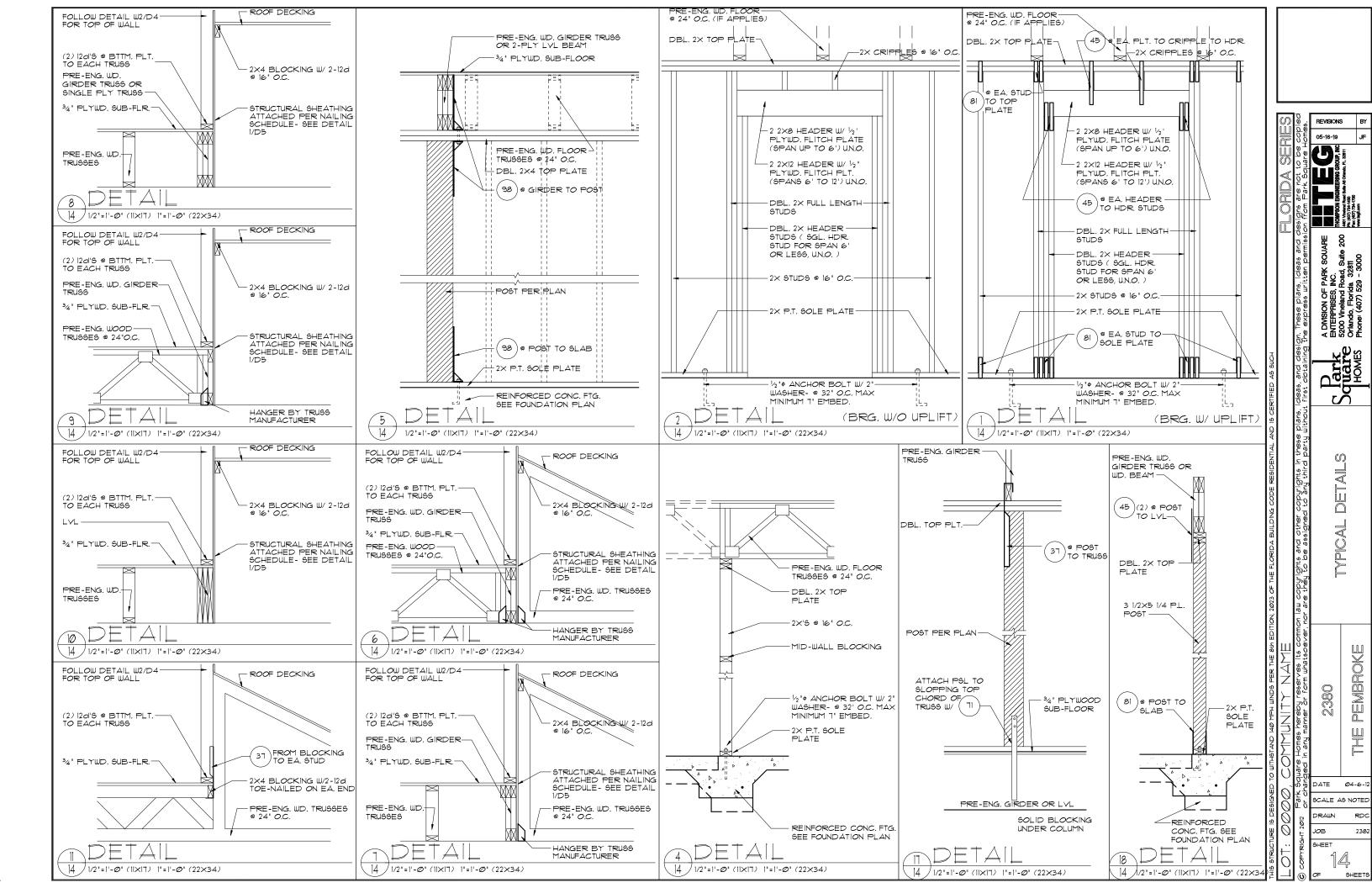
THE PEMBROKE

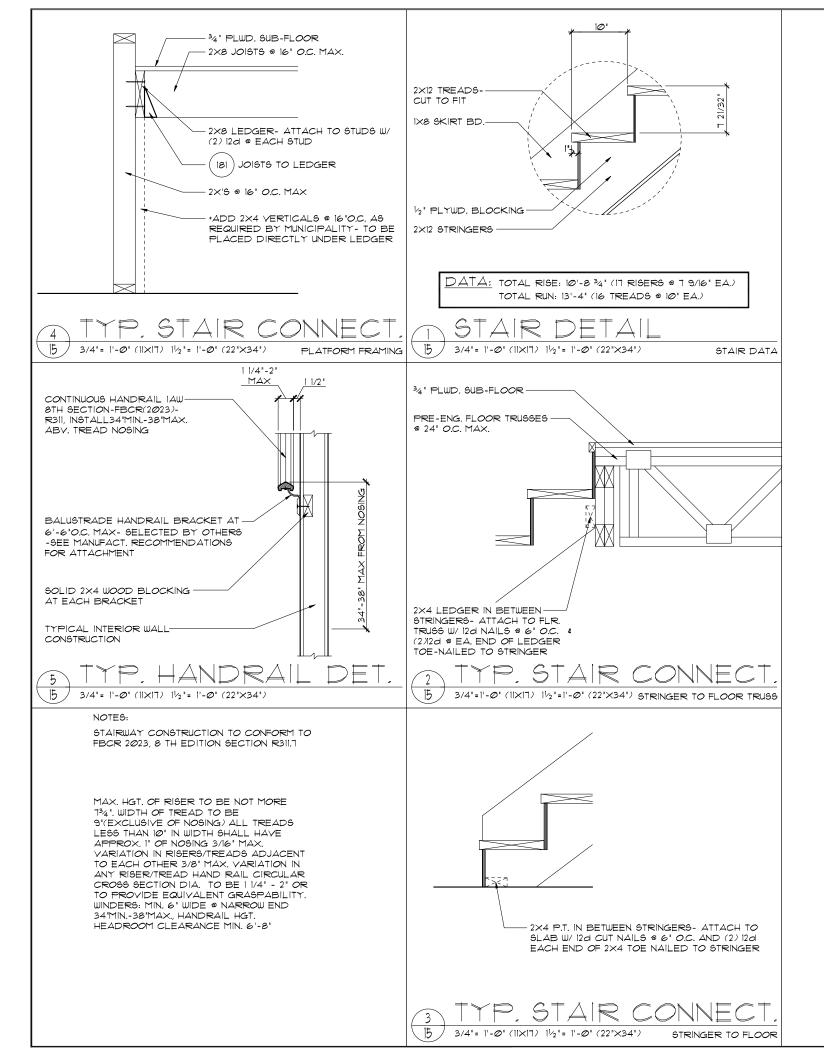
SCALE AS NOTED RDC

2382 JOB

SHEET SHEETS

PRE CAST LINTEL LAYOUT "C" 3-CAR GAR, OPTION 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34) 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)





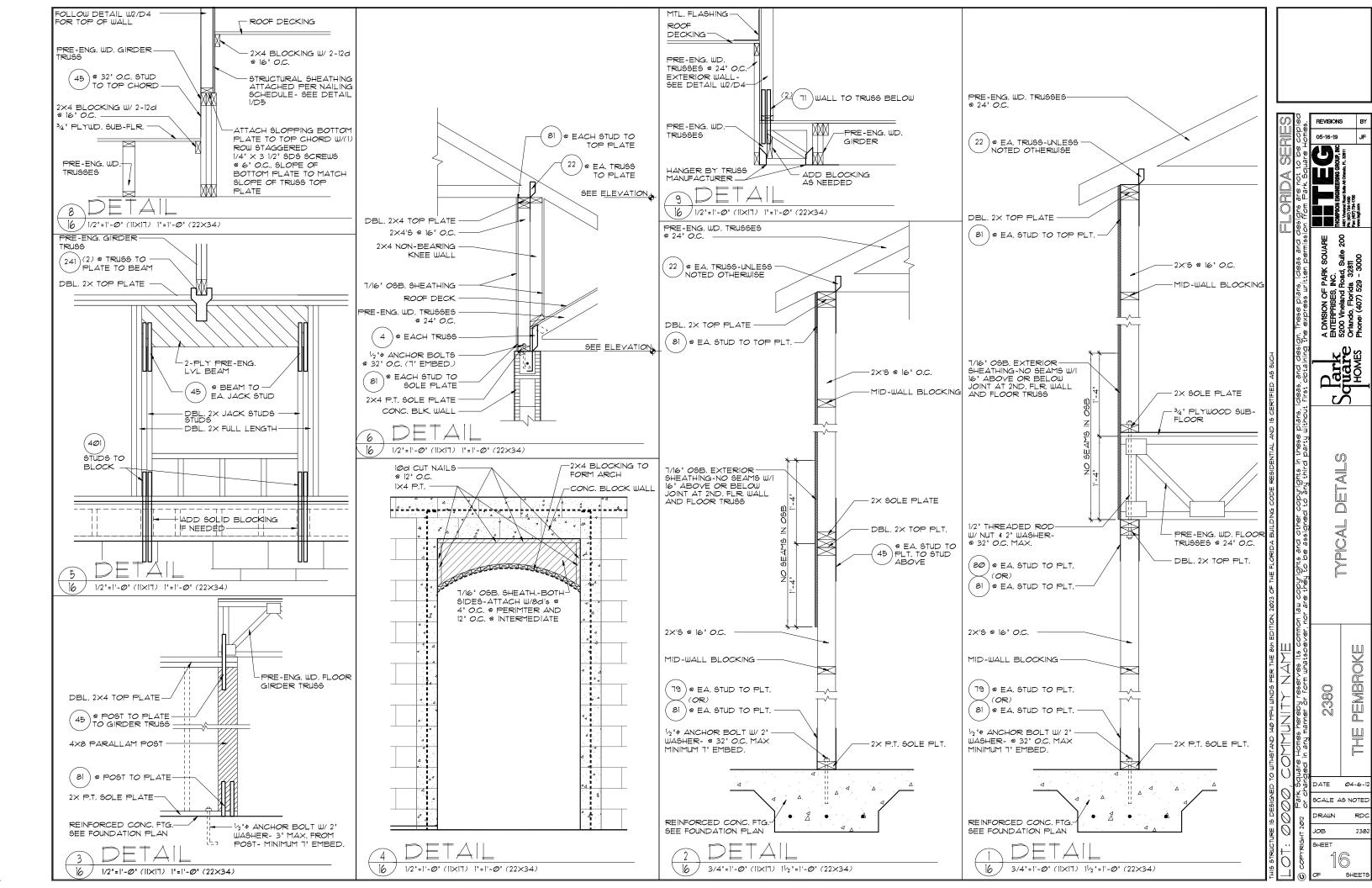
CONNECT.	SIMPSON		USP		MAX. UPLIFT	LAT. LDS.
TYPE	DESCRIPTION	FASTENERS PER CONNECTOR	DESCRIPTION FASTENERS PER CONNECTOR			F1 / F2
4	HETA2Ø	14-10d x 11/2"	ETA2Ø	14-10d	1,810	65 / 960
5	DETAL2Ø	18-10d x 11/2"	N/A	N/A	2,480	2000/1370
20	H3	RFT: 4-8d / PLT: 4-8d	RT3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT:6-8dx11/2 1/PLT:4-8d	RT15	RFT:5-8dx11/2"/PLT:5-8d	475	485 / 165
		RFT: (9)10d x 1 1/2"	1713	RFT: 8-8d x 11/2"	713	703 / 103
22	HIØA	PLT: (9)100 x 1 1/2"	RT16	PLT: 8-8d	990	585/525
	1.11004		111000		025	N1/A
23	LUS26	HDR: 4-10d/JST: 4-10d	JUS26	HDR: 4-10d/JST: 4-10d	935	N/A
		RFT / TRS: (4)8d		RFT / TRS: 9-10d		
24	H∃Z	PLT / STD: (2)8dX   1/2"	RT2Ø		985	400 / N/A
		(8)8D		PLT / STD: 13-10d		
26	H2.5A	RFT:5-8d / PLT: 5-8d	RT	RFT:5-8d / PLT: 5-8d	415	150 / 150
34	A34	H:4-8dx11/2"/P:4-8dx11/2"	MP34	H:4-8dx1½"/P:4-8dx1½"	365	280 / 303
35	A35F	H:4-8dx11/2"/P:4-8dx11/2"	MPAIF	H:6-8dx11/2"/P:6-8dx11/2"	440	440 / N/A
37	MTS12	14-10d	MTW12	14-10d	1,000	N/A
38	MTS16	14-10d	MTW16	14-10d	1,000	N/A
43	LSTA12	10-10d	LSTA12	10-10d	9.05	N/A
45	STIS	14-16d	STIS	14-16d	1,200	N/A
47	LSTA24	18-10d	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	N/A	N/A	5,495	N/A
79	5P1	STD:6-10d / PLT:4-10d	SPT22	STD:4-10d / PLT:4-10d	535	560 / 260
80	SP2	STD:6-10d / PLT:6-10d	SPT224	STD:6-10d / PLT:6-10d		560 / 260
81	SPH4,6,8	12-10d x 1½"	TP4,6,48	12-10d x 1½"	885	N/A
90	ABU66	12-16d	PAU66	12-16d	2,240	N/A
89	CB66	(2) 5/8" BOLTS	PA8X8	4-10d	2,300	985
92	ABU44	12-16d	PAU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	PBS66	24-16d	1,815	1,070
94	AC4 (MAX)	28-16d	PBS44	24-16d	1,815	1,070
95	HTS2Ø	20-10d	HTW2Ø	20-10d	1,450	N/A
		SILL: 1/2" BOLT		SILL: 1/2" BOLT		
96	HD8A	STUD:(3) 1/8"×51/2" BOLTS	HHDSA	STUD:(3) 1/2 "X51/2" BOLTS	7,910	N/A
99	A35	H:4-8dx1½"/P:4-8dx1½"	MPAI	H:6-8dx11/2"/P:6-8dx11/2"	440	440 / N/A
98-101	HTT4	½" BOLT/ 18-16d×2½"	N/A	N/A	3,640	N/A
17-100-102	P HTT5	5⁄8" BOLT/ 26-1Ød	N/A	N/A	4,275	N/A
103	VGTR/L	32-5D514"×3"/(2) 5/8" BLT	N/A	N/A	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT/20-SDS 1/4"x21/2"	N/A	N/A	5,020	N/A
110	HCP2	12-10d x 11/2"	HHCP2	20-10d x 11/2"	520	260 / N/A
167	HHUS46	H:14-16d/J:6-16d	THD46	H:8-18d/J:12-10d	1,550	N/A
168	U46	H:8-10d/J:4-10d	SUH46	H:8-16d/J:4-16d	710	N/A
181	HUS26	20-16d	THD26	H:20-16d/J:10-10d	1,550	N/A
184	HHUS28-2	G:28-16d / T:8-16d	EHUH28-2	12-16d	2,000	N/A
214	HUC212-3TF	HD:16-3/16"XI1/2" TAPCON BM: 6-16d	HDO212-3	HD:18-3/16"X1½" TAPCON BM: 6-10d	1,135	N/A
21E	LICURATA A		ELILIOTA O		2 72 6	NI/A
215	HGUS21Ø-2	HDR:46-16d/JST:10-16d	EHUH21Ø-2	HDR:40-16d/JST:16-10d	2,120	N/A
216	HUS412	BLOCK: 10-1/4"X11/2" TC JOIST : 10-16d	HUS412	BLOCK: 10-14"X112" TC JOIST : 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-14"X11/2" TC JOIST: 10-16d	HUS212-2	BLOCK: 10-14"X11/2" TC JOIST: 10-16d	2,630	N/A
219	МВНА412	H:1-ATR34X8 TOP4FACE JOIST: 18-10d	NFM35×12U	H:1-1/2" J-BOLT J:5-1/2" BOLTS	3,145	N/A
22/2	NI/A		NEM 2V12		1620	NI/A
22Ø	N/A	N/A	NFM 3×12	BLK:1/2 " + J /JST:14-10d	1,620	N/A
226	MBHA4.75/12	HDR : (2) <sup>3</sup> 4" ¢ x 8" JOIST : 18-10d	NFM45U	HDR : MIN. $\frac{1}{2}$ " $\phi$ "J" BOLT JOIST : (5) $\frac{1}{2}$ " $\phi$ BOLTS	2,160	N/A
231	MBHA3.56/16	HDR : (2) 3/4" + × 8" JOIST : 18-10d	NFM3.5×16U	HDR :MIN, 1/2 " +xJ-BOLTS JOIST : (5) 1/2 " + BOLTS	3,450	N/A
232	MBHA5.50/16	HDR : (2) <sup>3</sup> 4" ¢ x 8" JOIST : 18-10d	NFM5.5×16U	HDR :MIN. 1/2 " +xJ-BOLTS JOIST : (5) 1/2 " + BOLTS	3,450	N/A
240	HI5	R:4-10dx1½"/P:4-10dx1½"	N/A	N/A	1,300	480 / N/A
241	LGT2	30-16d-sinker	LUGT2	32-1Ød	2000	1015 / 440
3Ø1	MGT	(1) <sup>3</sup> 4 "BLTS./GIR: 22-10d	N/A	N/A	3,965	N/A
	HGT-2 or 3	LTL:34 "BLTS./GIR: 8-10d	USC63	LTL:34 BLTS/GIR: 8-16d	6485	N/A
3 <i>0</i> 2				N/.A	9,250	N/A
3Ø2 3Ø3	HGT-4	LTL:34 BLTS./GIR: 16-10d	N/A	I IV/.—	3,232	
	HGT-4 MSTAM36	LTL:34"BLTS:/GIR: 16-10d (13)10d/BLK:(8)1/4X1 3/4	N/A N/A	N/A	1,870	N/A

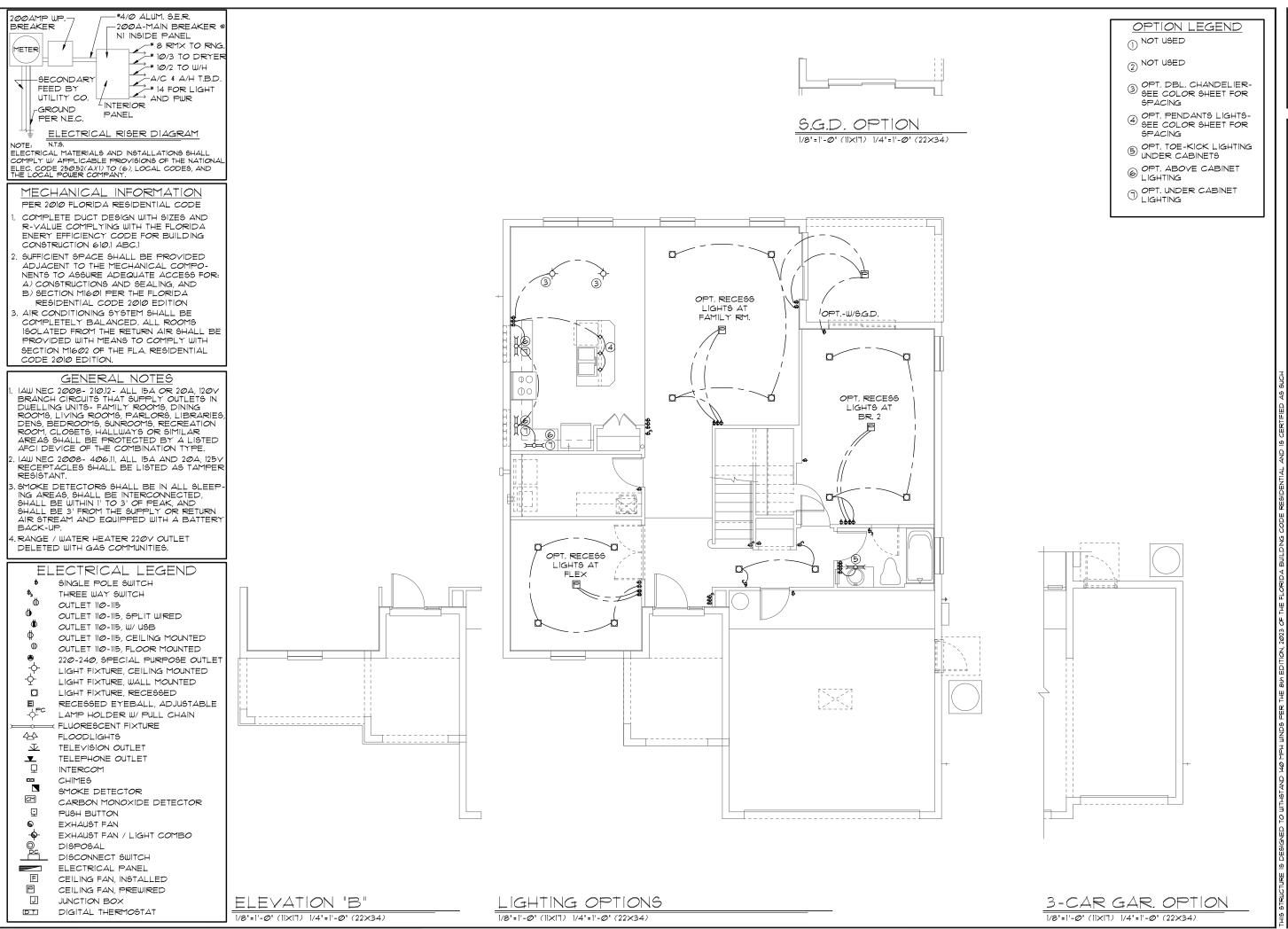
- INDICATES TRUSS CONNECTOR, GO TO CONNECTOR SCHEDULE ON PAGE 15 FOR CONNECTOR NAME AND SPECIFICATION.

CONNECTOR SCHEDULE

TYPICAL DETAILS / CONNECTOR SCHEDUL PEMBROKE DATE Ø4-6-12 SCALE AS NOTED

SHEET





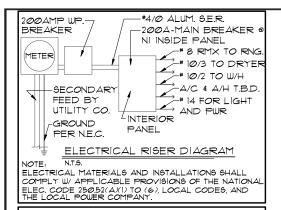
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PEMBROKE

SCALE AS NOTED

JOB SHEET

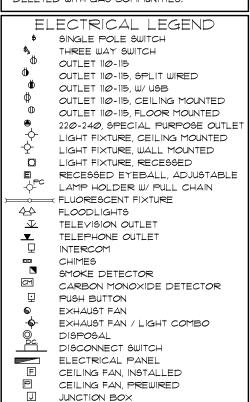


#### MECHANICAL INFORMATION PER 2010 FLORIDA RESIDENTIAL CODE

- COMPLETE DUCT DESIGN WITH SIZES AND R-VALUE COMPLYING WITH THE FLORIDA ENERY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
- SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPO-NENTS TO ASSURE ADEQUATE ACCESS FOR: A) CONSTRUCTIONS AND SEALING, AND B) SECTION MIGOI PER THE FLORIDA RESIDENTIAL CODE 2010 EDITION
- AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION MIGO2 OF THE FLA. RESIDENTIAL CODE 2010 EDITION.

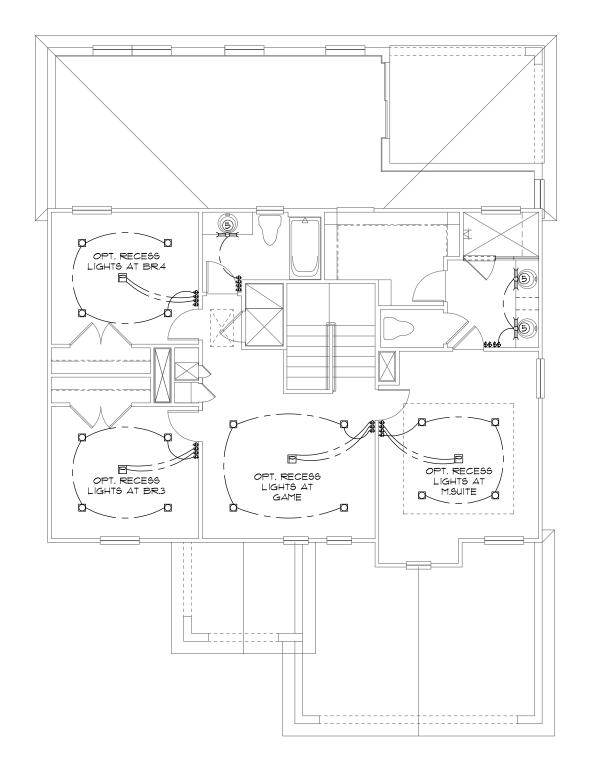
## GENERAL NOTES

- IAW NEC 2008- 210.12- ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY ROOMS DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES DENS, BEDROOMS, SUNROOMS, RECREATION ROOM, CLOSETS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
- IAW NEC 2008- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
- SMOKE DETECTORS SHALL BE IN ALL SLEEP ING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN I' TO 3' OF PEAK, AND SHALL BE 3' FROM THE SUPPLY OR RETURN AIR STREAM AND EQUIPPED WITH A BATTERY
- RANGE / WATER HEATER 220V OUTLET DELETED WITH GAS COMMUNITIES.



DIGITAL THERMOSTAT

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OPT, MAST, BATH

1/8"=1'-@" (11×17) 1/4"=1'-@" (22×34)

OPTION LEGEND ① NOT USED

- 2 NOT USED
- 3 OPT. DBL. CHANDELIER-SEE COLOR SHEET FOR SPACING
- 4 OPT. PENDANTS LIGHTS-SEE COLOR SHEET FOR SPACING
- (5) OPT. TOE-KICK LIGHTING UNDER CABINETS
- © OPT. ABOVE CABINET LIGHTING
- OPT. UNDER CABINET



DATE Ø4-6-12 SCALE AS NOTED RAWN JOB SHEET

FLOOR

UPPER FIGHTING (

PEMBROKE

RDC

2382

SHEETS

JPPER FLOOR LIGHTING OPTIONS 1/8"=1'-Ø" (11×17) 1/4"=1'-Ø" (22×34)