

# 2380

## THE PEMBROKE (SIDING)

### FLORIDA SERIES

PAD SIZE: 40' X 54'-8"

**SHEET INDEX:**

- 00 COVER SHEET
- 01A FOUNDATION PLAN 'A'
- 02A FLOOR PLAN W/ DIMENSIONS 'A'
- 03A FLOOR PLAN W/ NOTES 'A'
- 04A UPPER FLOOR PLAN W/ DIMEN. 'A'
- 05A UPPER FLOOR PLAN W/ NOTES 'A'
- 06A EXTER. ELEVATION 'A'- FRONT & REAR
- 07A EXTER. ELEVATION 'A'- LEFT & RIGHT
- 08 CROSS SECTION / INTERIOR ELEVATIONS
- 09 ELECTRICAL PLAN
- 10 UPPER FLOOR ELECTRICAL PLAN
- 11A TRUSS LAYOUT 'A'
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- D1 TYPICAL STRUCTURAL DETAILS
- D2 TYPICAL STRUCTURAL DETAILS
- D3 TYPICAL STRUCTURAL DETAILS
- D4 TYPICAL STRUCTURAL DETAILS
- D5 TYPICAL STRUCTURAL DETAILS

\* ADD .3 FOR 3-CAR GARAGE OPTION

**SHEET INDEX:**

- 00 COVER SHEET
- 01B FOUNDATION PLAN 'B'
- 02B FLOOR PLAN W/ DIMENSIONS 'B'
- 03B FLOOR PLAN W/ NOTES 'B'
- 04B UPPER FLOOR PLAN W/ DIMEN. 'B'
- 05B UPPER FLOOR PLAN W/ NOTES 'B'
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**SHEET INDEX:**

- 00 COVER SHEET
- 01C FOUNDATION PLAN 'C'
- 02C FLOOR PLAN W/ DIMENSIONS 'C'
- 03C FLOOR PLAN W/ NOTES 'C'
- 04C UPPER FLOOR PLAN W/ DIMEN. 'C'
- 05C UPPER FLOOR PLAN W/ NOTES 'C'
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- D5 TYPICAL STRUCTURAL DETAILS

\* ADD .3 FOR 3-CAR GARAGE OPTION

REVISION SCHEDULE			
NO.	DATE	DESCRIPTION	BY
1	12-03-13	- RELOCATED A/C CHASE - MADE PANTRY WALL 5 1/2' W -EXTENDED BAR TOP AT KITCHEN TO BE 14' -ADDED WINDOW IN BATH #3	RG
		-EXTENDED BAR TOP AT KITCHEN TO BE 14' -ADDED WINDOW IN BATH #3	
		-MOVED MASTER BED WINDOW TO THE REAR -CHANGE REAR ROOF PITCH TO 4/12 -UPDATED ELECTRICAL LAYOUT	
2	06-25-14	ADD 3-CAR GARAGE OPTION	RDC
3	12-01-14	-REDESIGN BEDROOM 2/BATH 2 -REDESIGN DROPZONE AREA -ADD NEW ELEVATION 'C' -ADD NEW ELEVATION 'D'	RDC
4	08-06-15	-APPLIED MID-FLORIDA TRUSSES TO ELEV 'B & C' -CHANGED WALL IN BDRM#2 TO 2X6 4 ADD 5 1/4' X 5 1/4' P.S.L. UNDER GIRDER 'G1'	MU
5	15-12-15	-REPLACE OPEN RAILING @ 1ST FLOOR STAIRS WITH 42"H. WALL STD	MU
6	04-04-16	-ADD WALL MOUNT LIGHT IN LANAI STD	MU
7	11-16-16	-REPLACE SCUTTLE W/2/0X3/0 SINGLE PRE-HUNG A.A.	MU
8	04-23-18	UPDATE TO 2017 CODE - ELEV A, B & C	MU
9	07-13-18	REDESIGN LAUNDRY CHUTE	MU
10	11-29-18	REDESIGN MASTER BEDROOM TRAY CLG	MU
11	05-16-19	-ADDED NEW A,B,C SIDING ELEVATIONS	JF
12	11-05-19	-REPLACE 2X4 WALL AT STAIRS W/ 2X6 TO ACCOMMODATE 3-PLY GIRDER	MU
13	05-01-21	UPDATE TO 2020 CODE - ELEV A, B & C	MN
14	10-06-21	-REMOVE MEDICINE CABINET FROM BATHROOMS	MN
15	05-19-22	REDESIGN LAUNDRY CHUTE PER SUMMERBROOKE	MU
16	10/05/23	- DELETE INTERIOR DOORS HT	MU
17	01/25/24	- REPLACE BIFOLD DR @ 2ND FLR LINEN CLOSET W/PRE-HUNG DR	MU
18	01/30/24	- UPDATE 8TH EDITION- 2023 CODE	MU

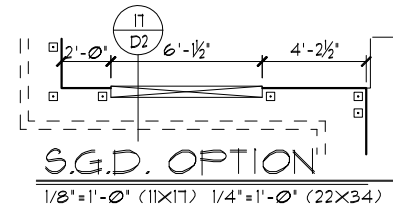
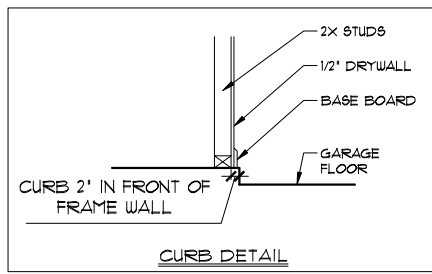
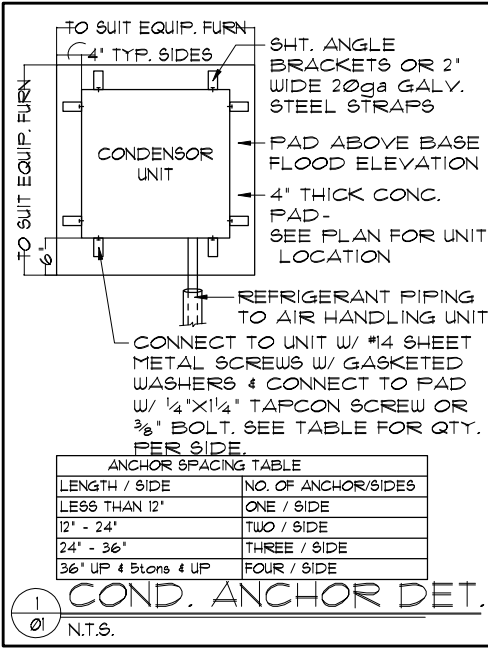
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

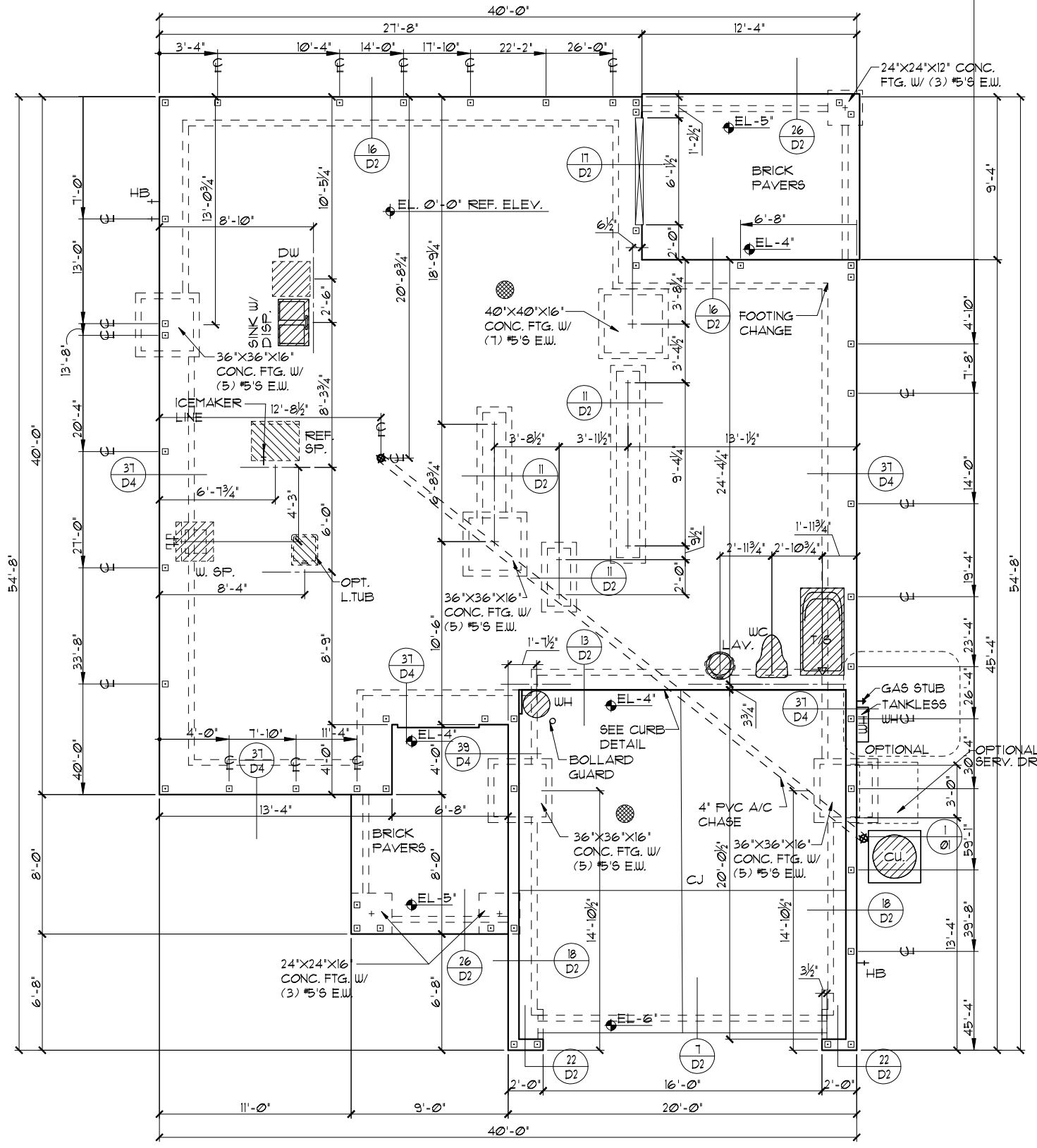
FLORIDA SERIES

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<p>2380</p> <p>THE PEMBROKE</p>	<p>COVER SHEET</p>								
<p>DATE 04-6-12</p> <p>SCALE AS NOTED</p> <p>DRAWN RDC</p> <p>JOB 2382</p> <p>SHEET 00</p> <p>OF SHEETS</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">05-16-19</td> <td></td> <td style="text-align: center;">JF</td> </tr> </tbody> </table> <p> <b>HITEC</b>  <small>HARRISON ENGINEERING GROUP, INC.</small>  <small>10000 Vineland Road, Suite 200</small>  <small>Orlando, Florida 32811</small>  <small>Phone: (407) 734-1790</small>  <small>www.hitec.com</small> </p> <p> <b>Park Square HOMES</b>  <small>A DIVISION OF PARK SQUARE ENTERPRISES, INC.</small>  <small>5200 Vineland Road, Suite 200</small>  <small>Orlando, Florida 32811</small>  <small>Phone: (407) 529 - 3000</small> </p>	NO.	DATE	DESCRIPTION	BY	1	05-16-19		JF
NO.	DATE	DESCRIPTION	BY						
1	05-16-19		JF						



- ### FOUNDATION NOTES
- CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
  - DENOTES FILL CELL REINF. W/ CONC. W/ (1) #5 REBAR GRADE 60
  - DENOTES FILL CELL REINF. W/ CONC. W/ (2) #5 REBAR GRADE 60
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
  - DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. WITH MIN. 1" COVER TERMITE TREATED SOIL WITH 206mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WVF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE MESH.
  - PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
  - ~~○ D2 STANDARD FOOTING NOT USED~~  
~~○ D1 ALTERNATE FOOTING~~
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
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  - BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 FLORIDA BUILDING CODE.



FOUNDATION PLAN "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

2380

THE PEMBROKE

FOUNDATION PLAN

DATE 04-6-12

SCALE AS NOTED

DRAWN RDC

JOB 2382

SHEET 01A

OF SHEETS

REVISIONS BY

05-16-19 JF

ITEG

ITTECH ENGINEERING GROUP, INC.

11000 W. WINDY HILL ROAD, SUITE 200

ORLANDO, FLORIDA 32811

PHONE: (407) 734-1400

FAX: (407) 734-1790

WWW.ITTEG.COM

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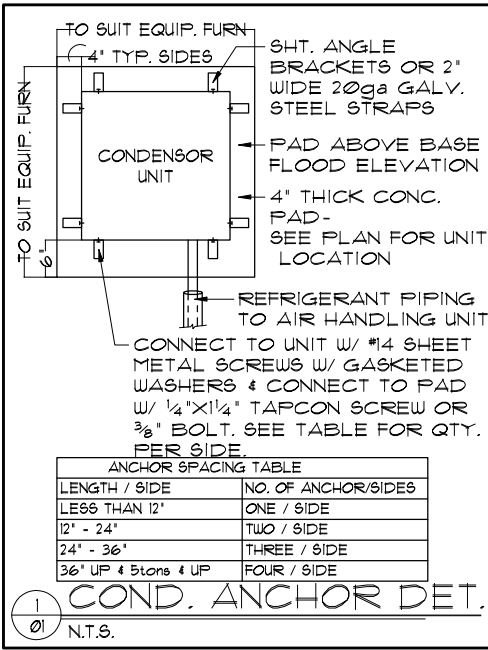
5200 VINELAND ROAD, SUITE 200

ORLANDO, FLORIDA 32811

PHONE: (407) 529-3000

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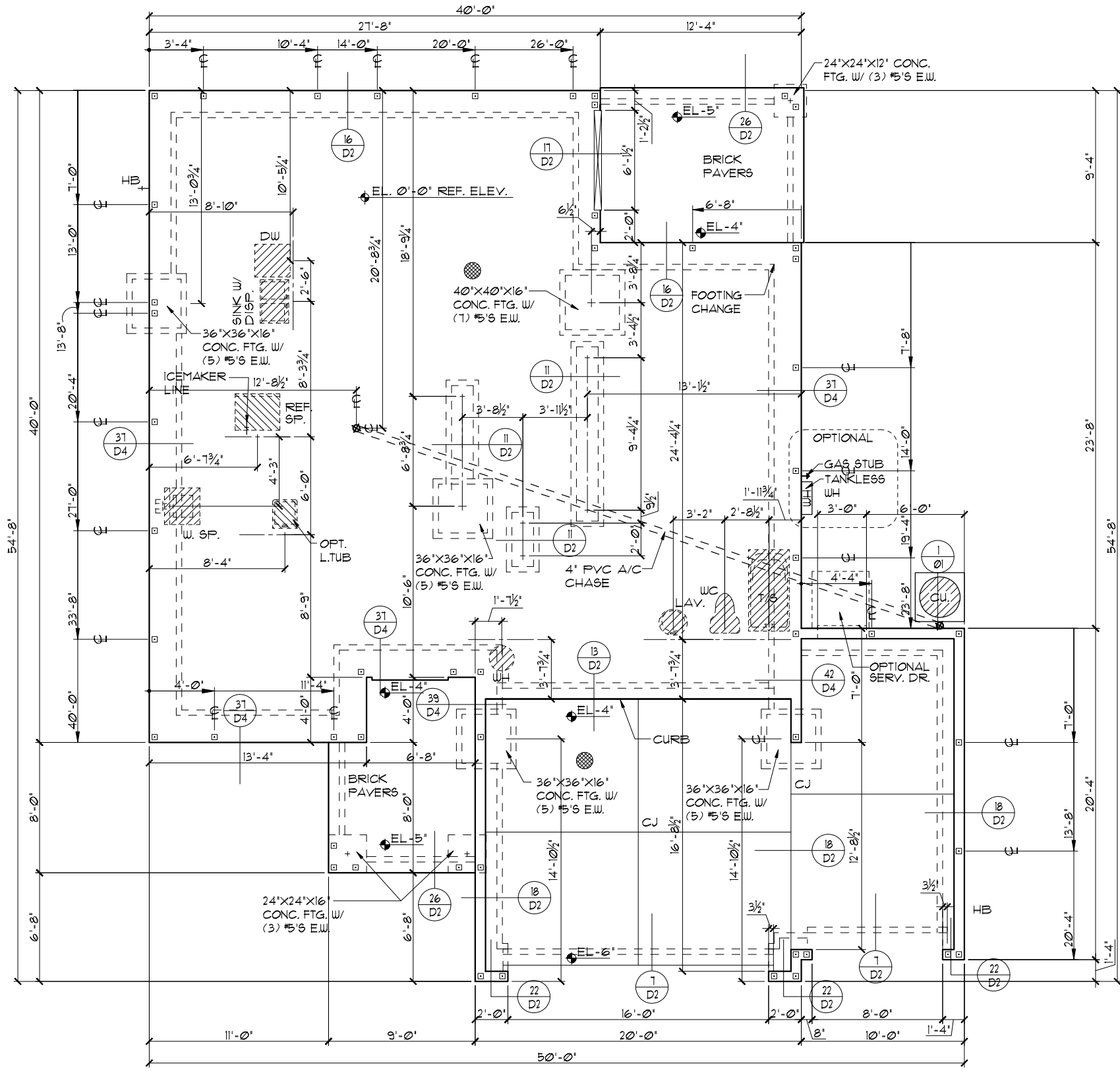
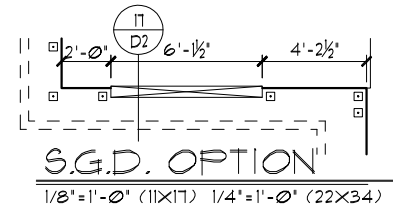
ANCHOR SPACING TABLE

LENGTH / SIDE	NO. OF ANCHOR/SIDES
LESS THAN 12'	ONE / SIDE
12' - 24'	TWO / SIDE
24' - 36'	THREE / SIDE
36' UP & 5' LONG & UP	FOUR / SIDE

COND. ANCHOR DET.  
N.T.S.

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FOUNDATION PLAN "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

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REVISIONS

NO.	DATE	BY
05-16-19		JF

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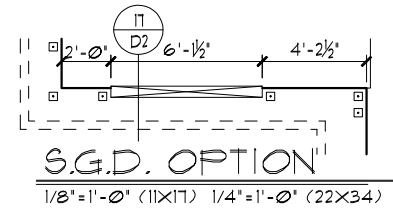
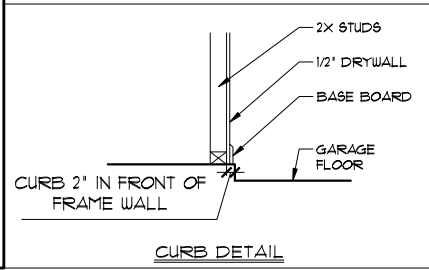
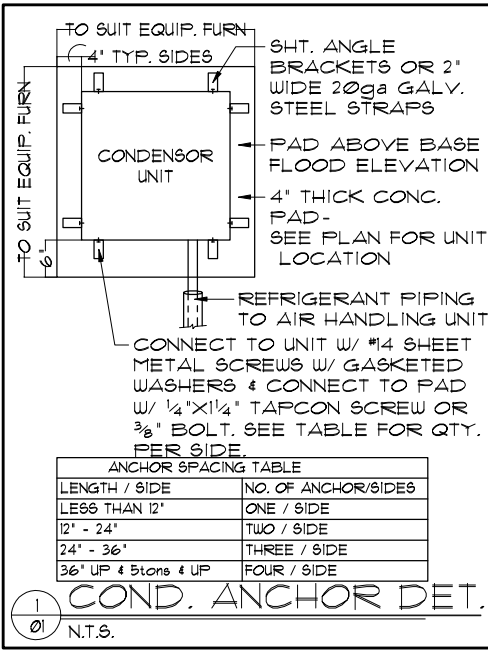
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FOUNDATION PLAN

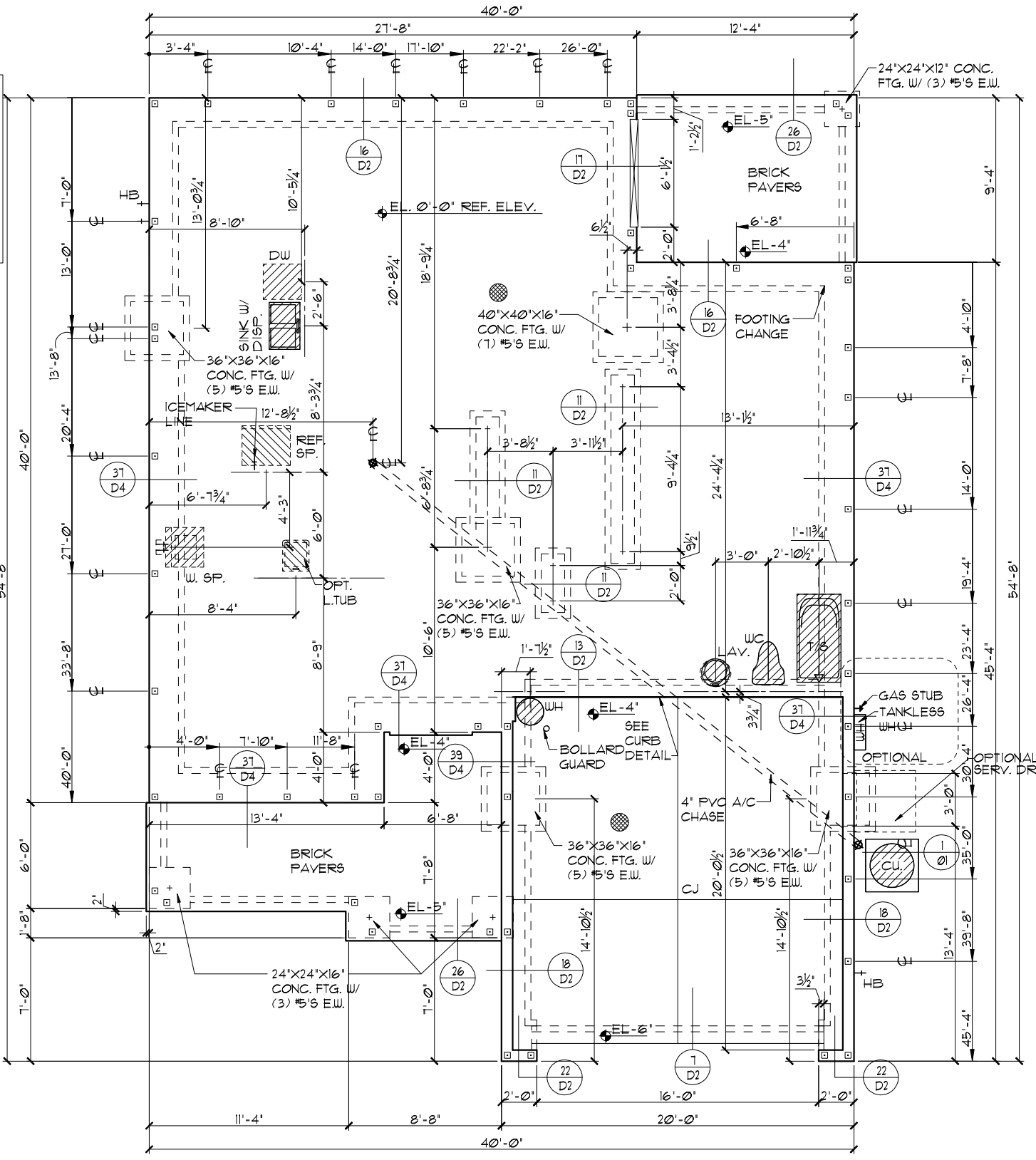
2380

THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	01.3A
OF SHEETS	3



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1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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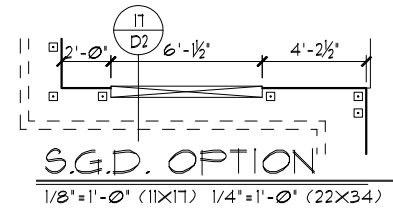
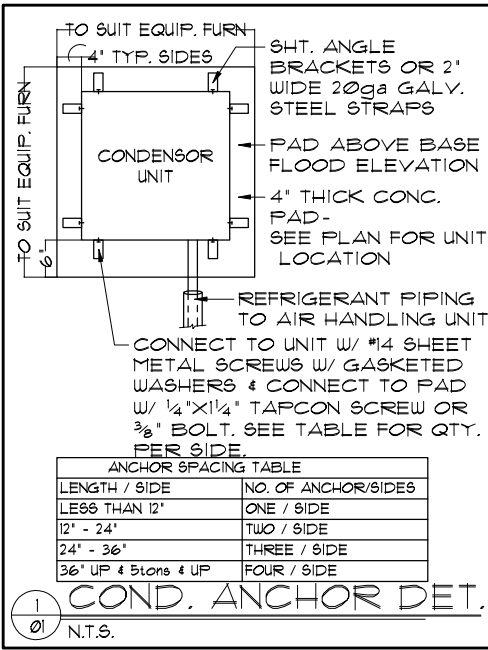
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REVISIONS	BY
05-16-19	JF

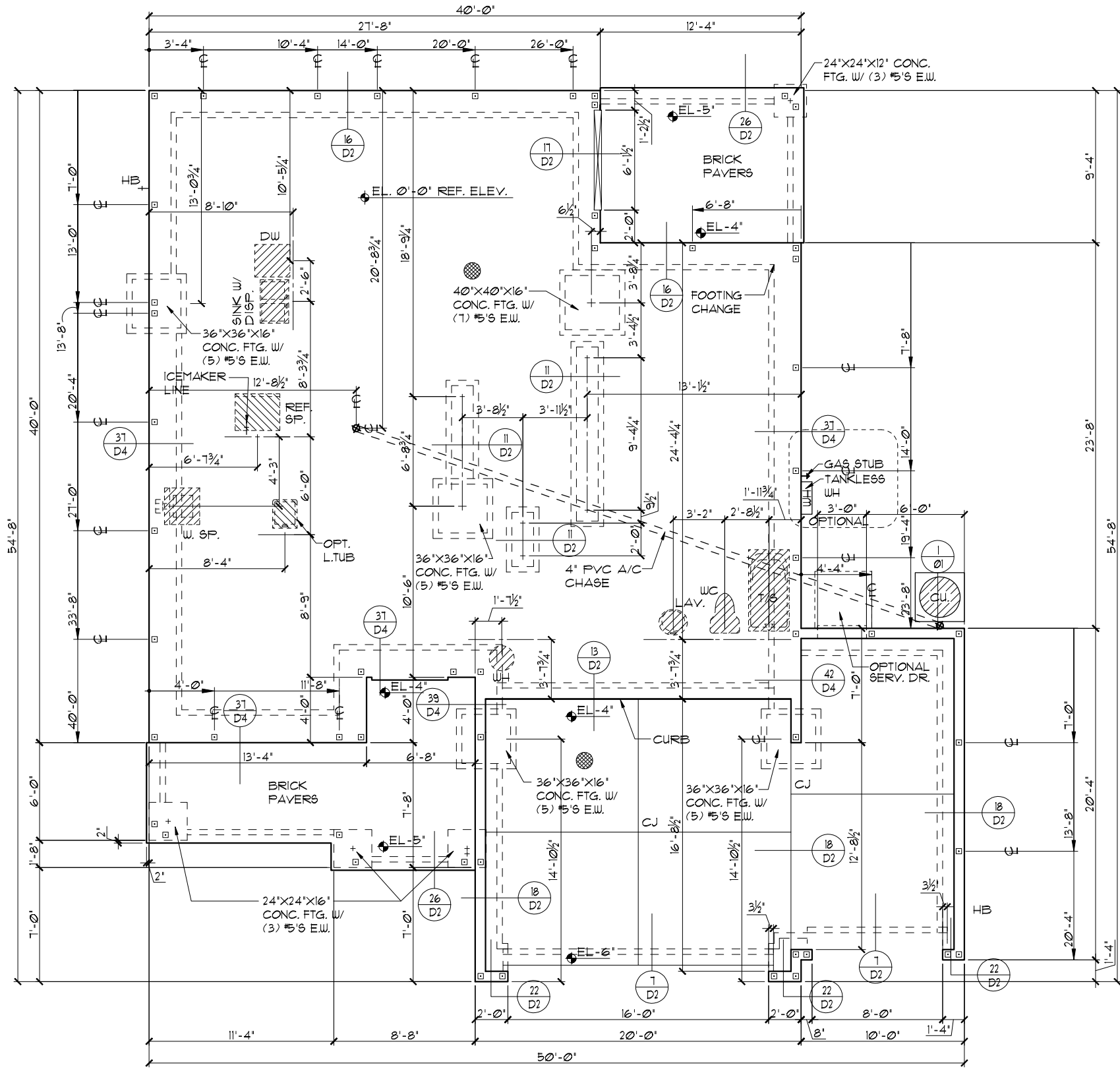
FOUNDATION PLAN  
 2380  
 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	01B
OF SHEETS	





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FOUNDATION PLAN "B"  
1/8" x 1'-0" (11x17) 1/4" x 1'-0" (22x34)

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 BEETLE ACCIDENTION NAME

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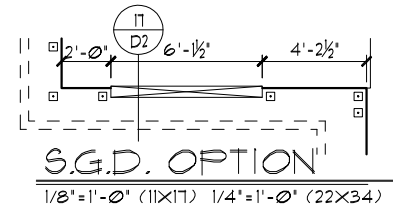
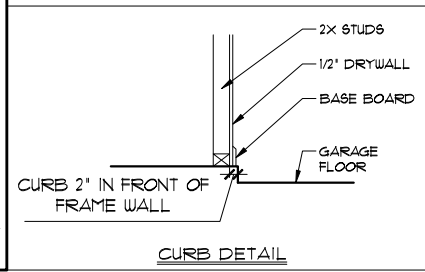
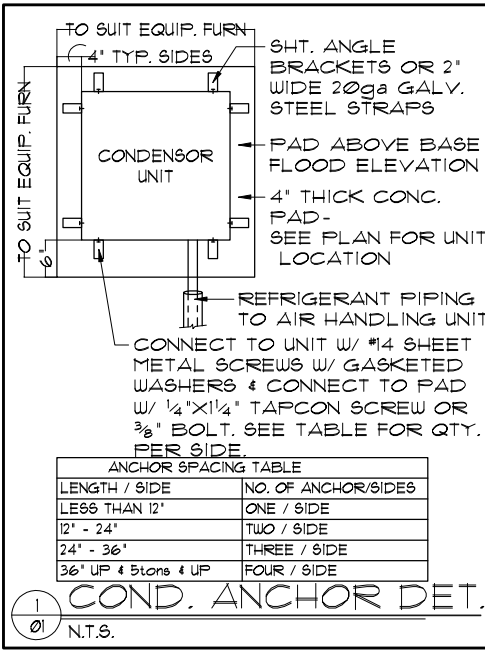
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**Park Square HOMES**

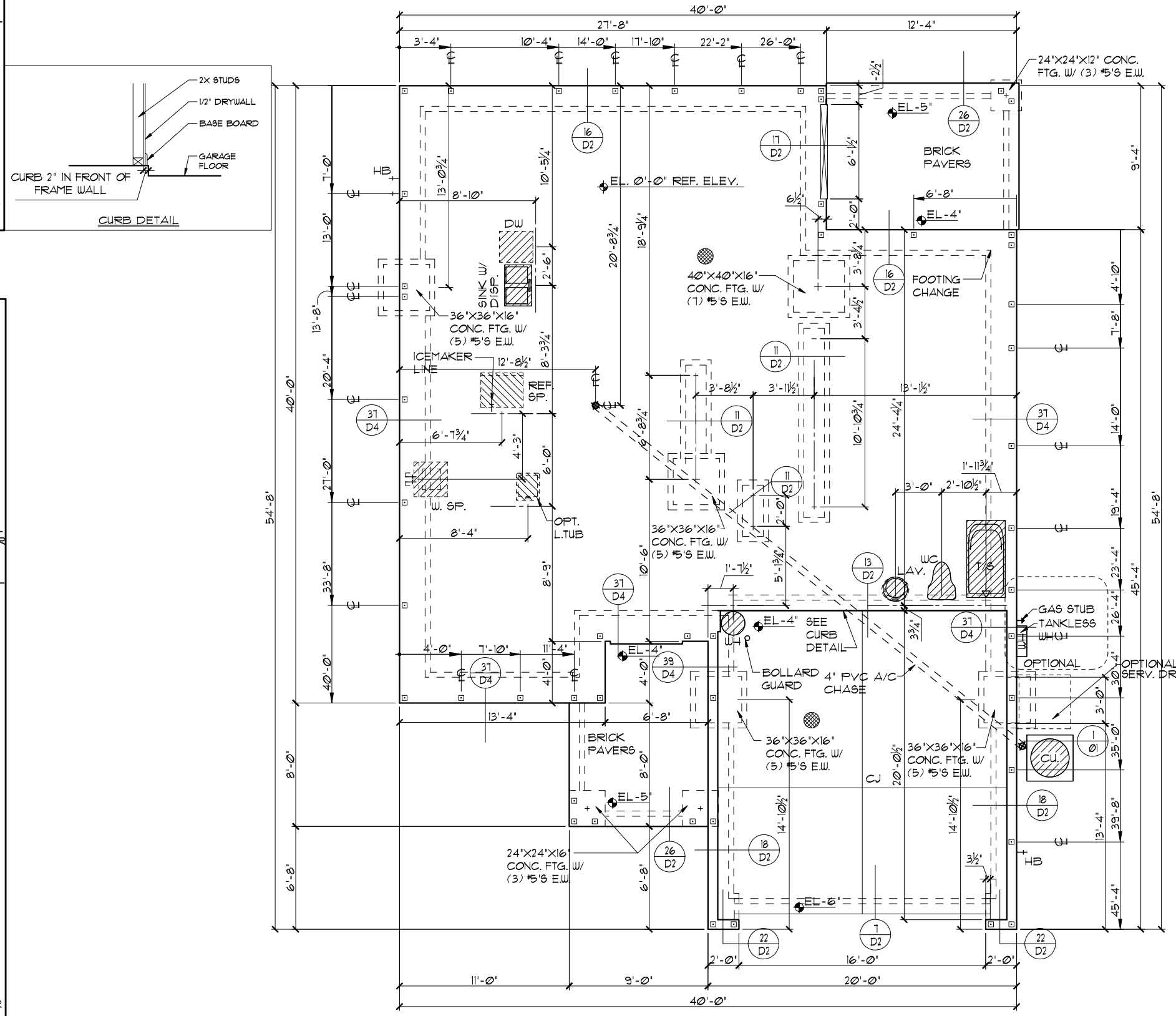
2380  
 THE PEMBROKE

REVISIONS	BY
05-16-19	JF

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 01.3B OF SHEETS



- FOUNDATION NOTES**
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~~○ ALTERNATE FOOTING~~
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
  - BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 FLORIDA BUILDING CODE.



**FOUNDATION PLAN "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**FLORIDA SERIES**

LOT: 0000, COMMUNITY NAME

2380  
THE PEMBROKE

DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET 01C OF SHEETS

REVISIONS BY  
05-16-19 JF

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10000 South Orange Ave., Suite 200  
Orlando, Florida 32811  
Tel: (407) 734-1400  
Fax: (407) 734-1700  
www.iteg.com

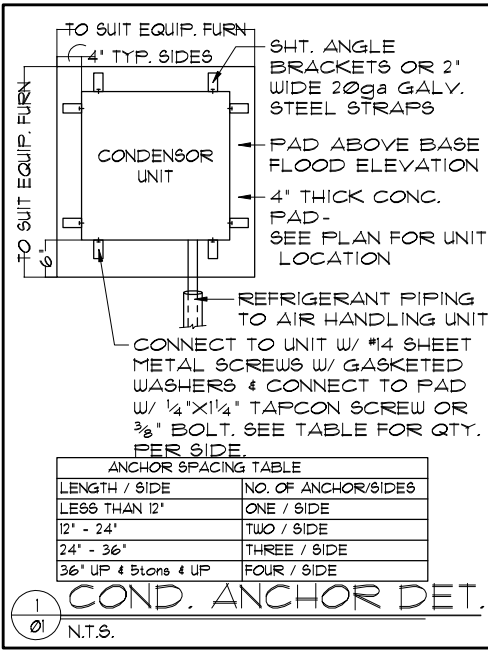
A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
5200 Vineland Road, Suite 200  
Orlando, Florida 32811  
Phone: (407) 529-3000

**Park Square HOMES**

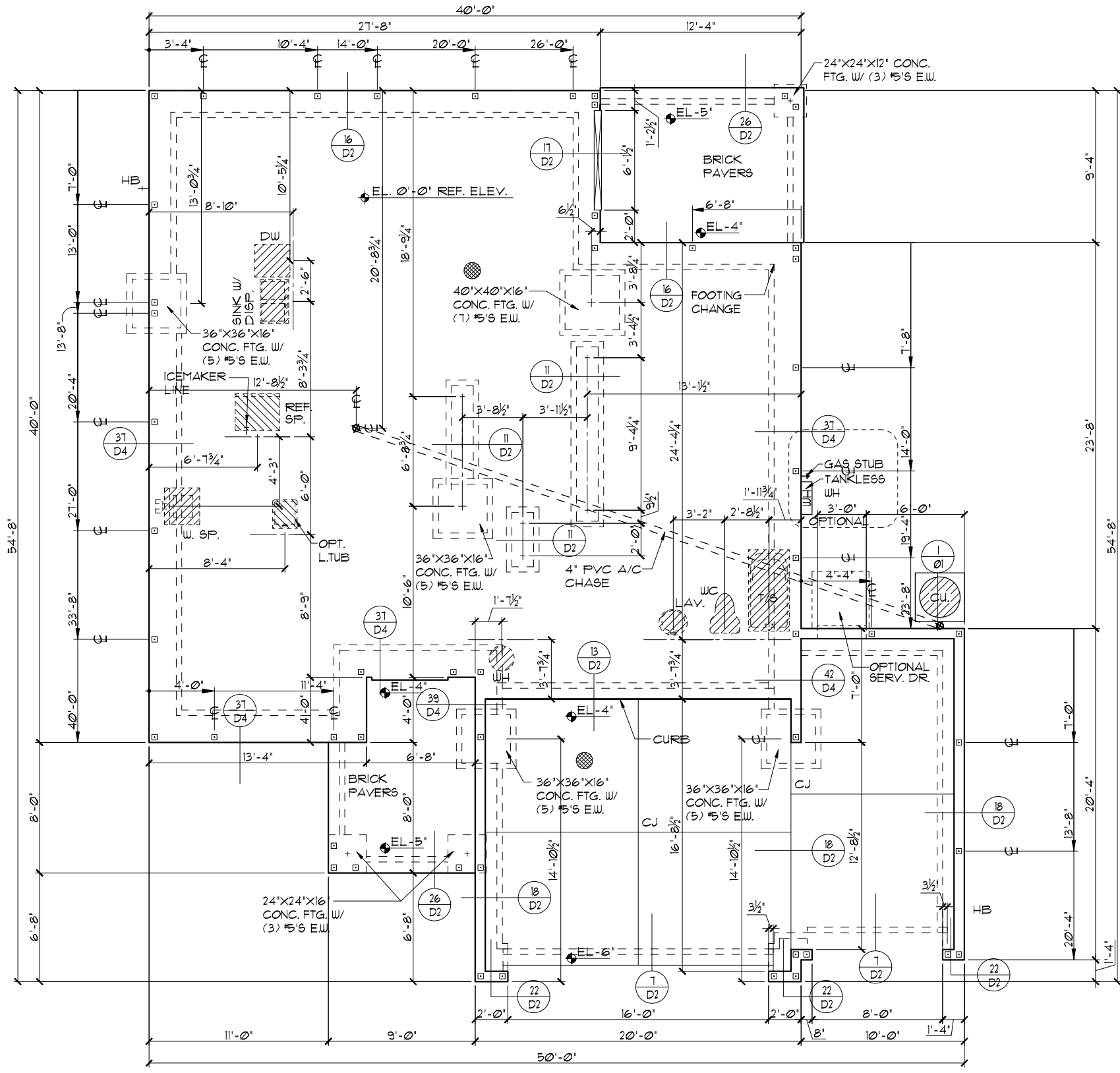
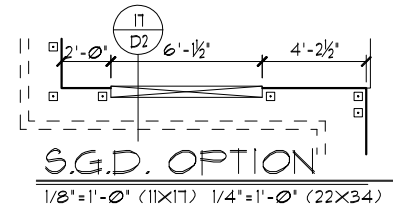
FOUNDATION PLAN

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2003 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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- ### FOUNDATION NOTES
- CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
  - DENOTES FILL CELL REINF. W/ CONC. W/ (1) #5 REBAR GRADE 60
  - DENOTES FILL CELL REINF. W/ CONC. W/ (2) #5 REBAR GRADE 60
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATER AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
  - DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4" THICK WITH 6X6 10/10 GAUGE REINFORCING MAT. WITH MIN. 1" COVER TERMITE TREATED SOIL WITH 200mm (6 mil) POLYETHYLENE VAPOR BARRIER OVER COMPACTED CLEAN FILL. WVF SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE MESH.
  - PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
  - ~~○ STANDARD FOOTING~~ NOT USED  
~~○ ALTERNATE FOOTING~~
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
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FOUNDATION PLAN "C"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

BEI A 0000 ACCIDENTION NAME

2380

THE PEMBROKE

FOUNDATION PLAN

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REVISIONS

NO.	DATE	BY
05-16-19		JF

DATE 04-6-12

SCALE AS NOTED

DRAWN RDC

JOB 2382

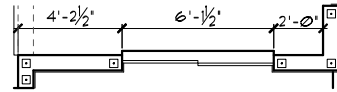
SHEET

01.3C

OF SHEETS

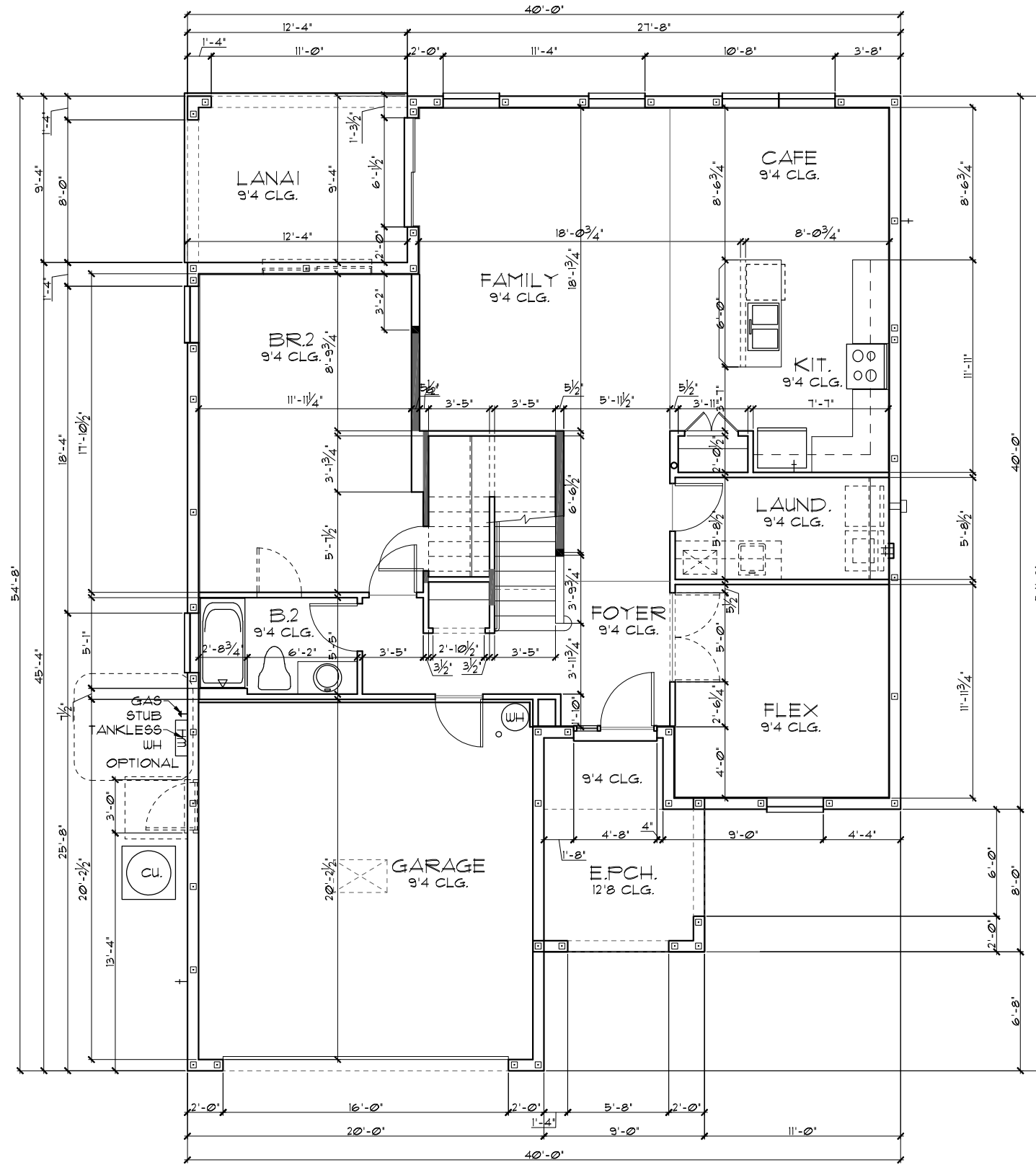
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S.G.D. OPTION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	418 SF.
ENTRY PORCH	99 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,012 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
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FLOOR PLAN W/ DIMENSIONS "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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LOT: 0000, COMMUNITY NAME

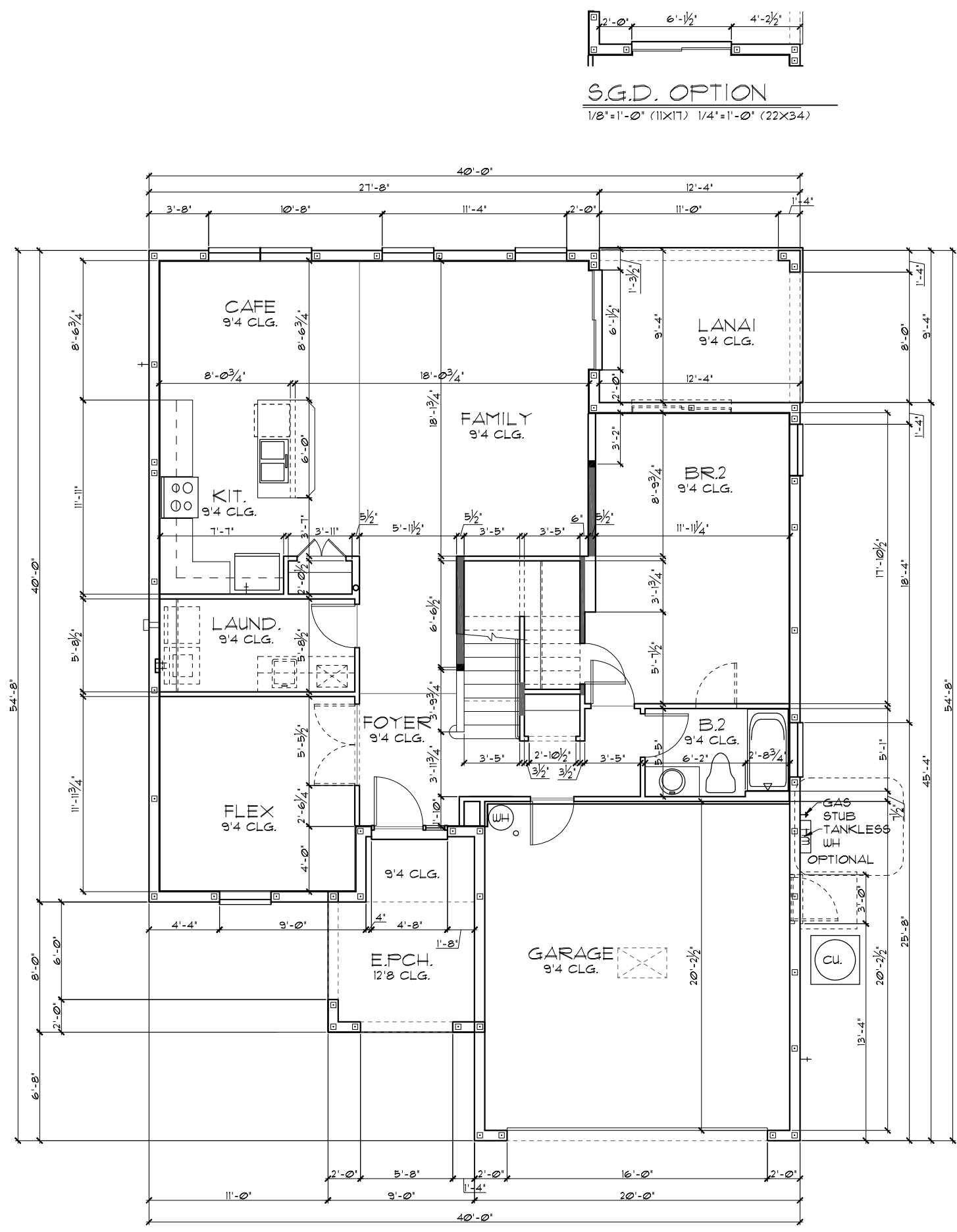
<p style="text-align: center;">2380</p> <p style="text-align: center;">THE PEMBROKE</p>		DATE	04-6-12
		SCALE	AS NOTED
<p style="text-align: center;">FLOOR PLAN W/ DIMENSIONS</p> <p style="text-align: center;">- GARAGE LEFT</p>		DRAWN	RDC
<p style="text-align: center;">Park Square Homes</p>		JOB	2382
<p style="text-align: center;">A DIVISION OF PARK SQUARE ENTERPRISES, INC.</p> <p style="text-align: center;">5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529 - 3000</p>		SHEET	02A
<p style="text-align: center;">FLORIDA SERIES</p> <p style="text-align: center;">ITEG</p> <p style="text-align: center;">THOMPSON ENGINEERING GROUP, INC.</p> <p style="text-align: center;">10000 South Orange Avenue, Suite 100 Orlando, Florida 32837 Tel: (407) 734-1400 Fax: (407) 734-1700 www.iteg.com</p>		REVISIONS	BY
		05-16-19	JF

TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	418 SF.
ENTRY PORCH	99 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,012 SF.

- GENERAL NOTES**
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**FLOOR PLAN W/ DIMENSIONS "A"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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SHEET	02A
OF	SHEETS

**THE PEMBROKE**  
 2380  
 FLOOR PLAN W/ DIMENSIONS  
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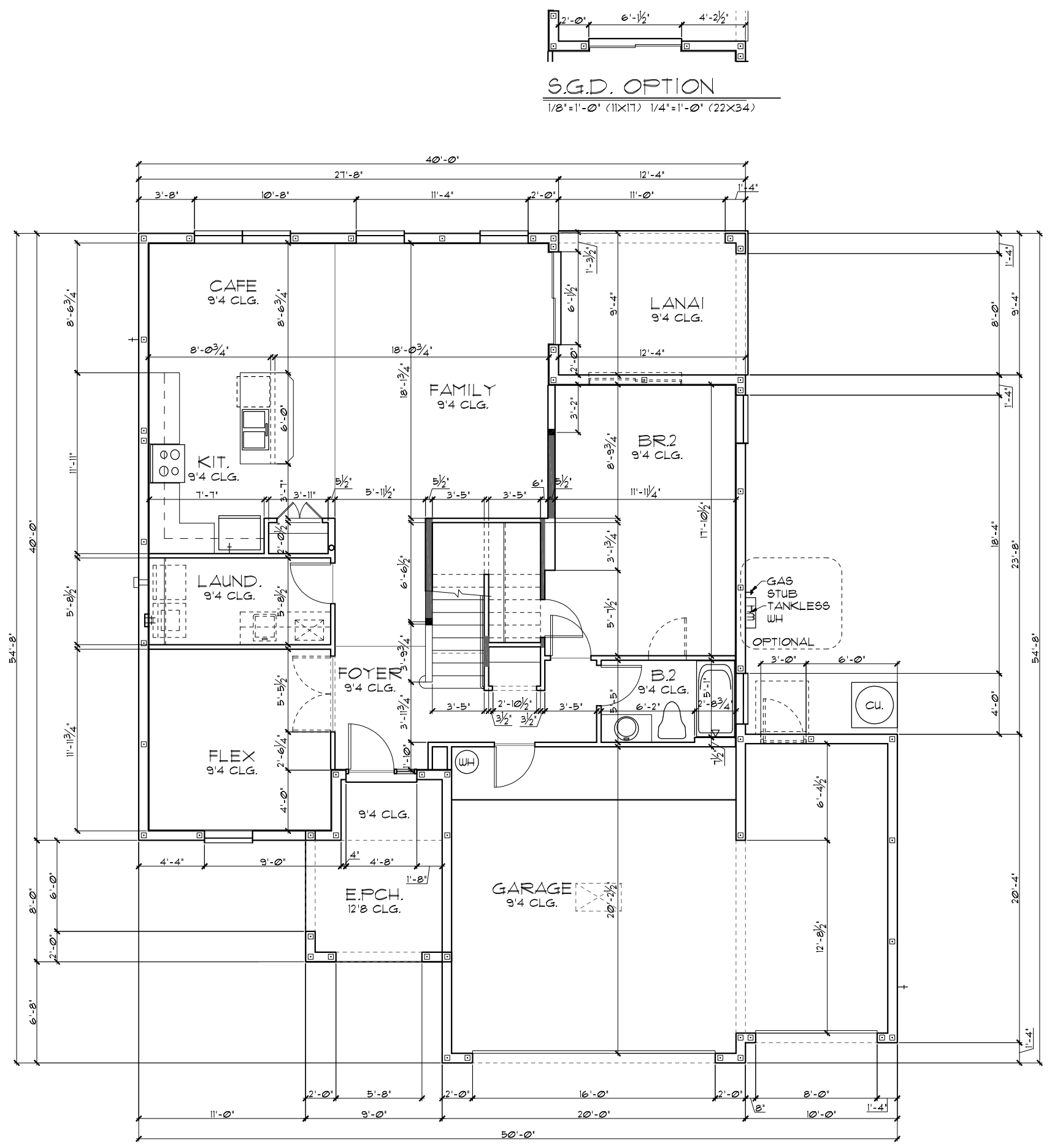
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 Tel: (407) 734-1400  
 Fax: (407) 734-1790  
 www.iteg.com

TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	623 SF.
ENTRY PORCH	99 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,211 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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  - FULL ALL DIMENSIONS FROM THE REAR OF PLAN.

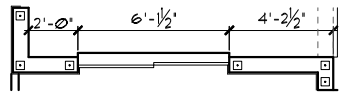
**FLOOR PLAN W/ DIMENSIONS "A"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**S.G.D. OPTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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**BETA ACCIDENTION NAME**

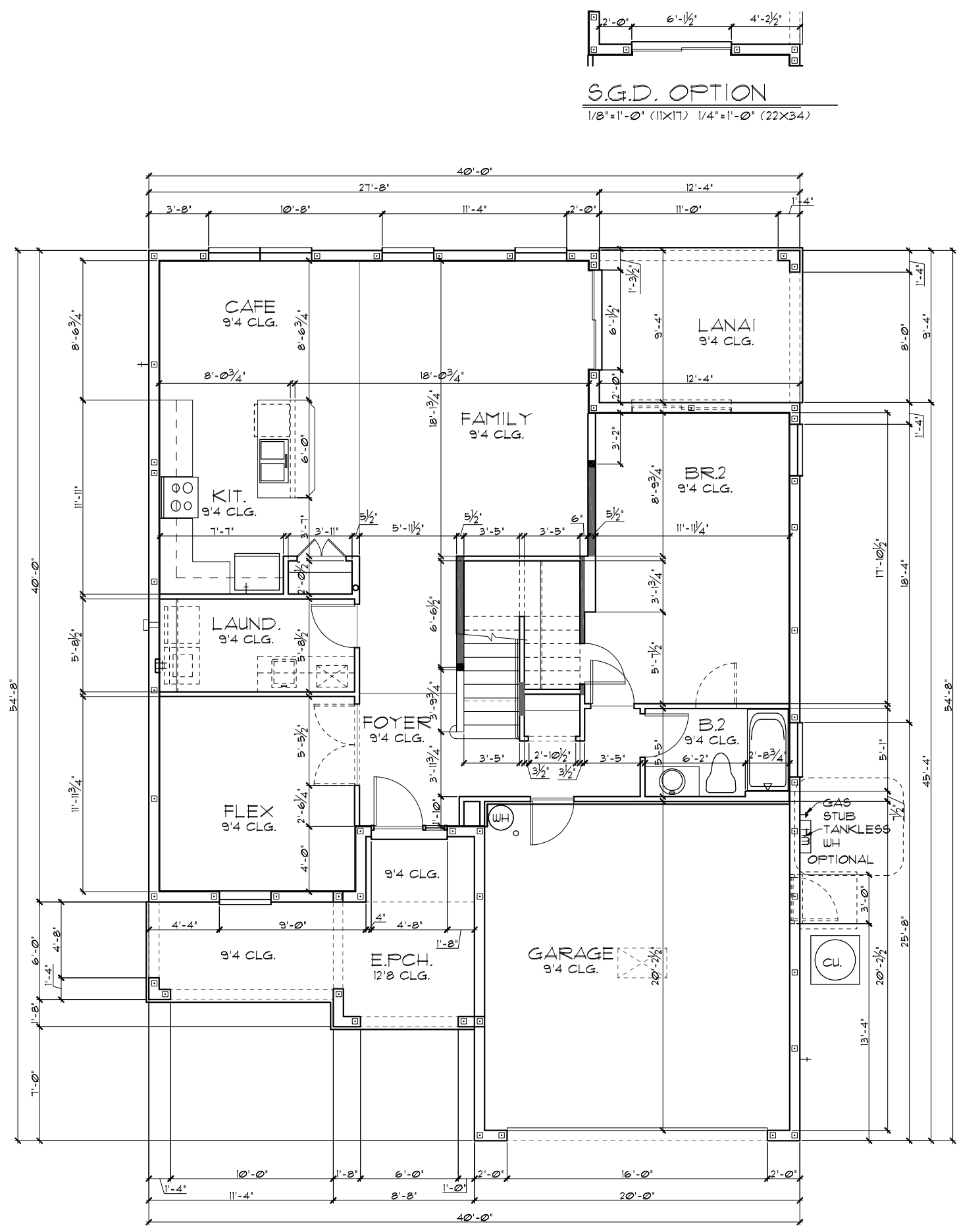
<p><b>FLORIDA SERIES</b></p> <p><b>ITEG</b>  <small>THOMPSON ENGINEERING GROUP, INC.</small>  <small>10000 W. US HWY 90, SUITE 100, ORLANDO, FL 32811</small>  <small>TEL: (407) 734-1400</small>  <small>FAX: (407) 734-1700</small>  <small>WWW.ITEG.COM</small></p>		<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>05-16-19</td> <td>JF</td> </tr> </tbody> </table>	REVISIONS	BY	05-16-19	JF
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05-16-19	JF					
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<p><b>Park Square HOMES</b></p>						
<p><b>FLOOR PLAN W/ DIMENSIONS</b></p>						
<p>2380</p>						
<p><b>THE PEMBROKE</b></p>						
DATE	04-6-12					
SCALE	AS NOTED					
DRAWN	RDC					
JOB	2382					
SHEET						
<p><b>02.3A</b></p>						
<p>OF SHEETS</p>						

TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	418 SF.
ENTRY PORCH	161 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,074 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  - FULL ALL DIMENSIONS FROM THE REAR OF PLAN.

**FLOOR PLAN W/ DIMENSIONS "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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FLOOR PLAN W/ DIMENSIONS

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JOB	2382
SHEET	02B
OF SHEETS	02

2380  
THE PEMBROKE

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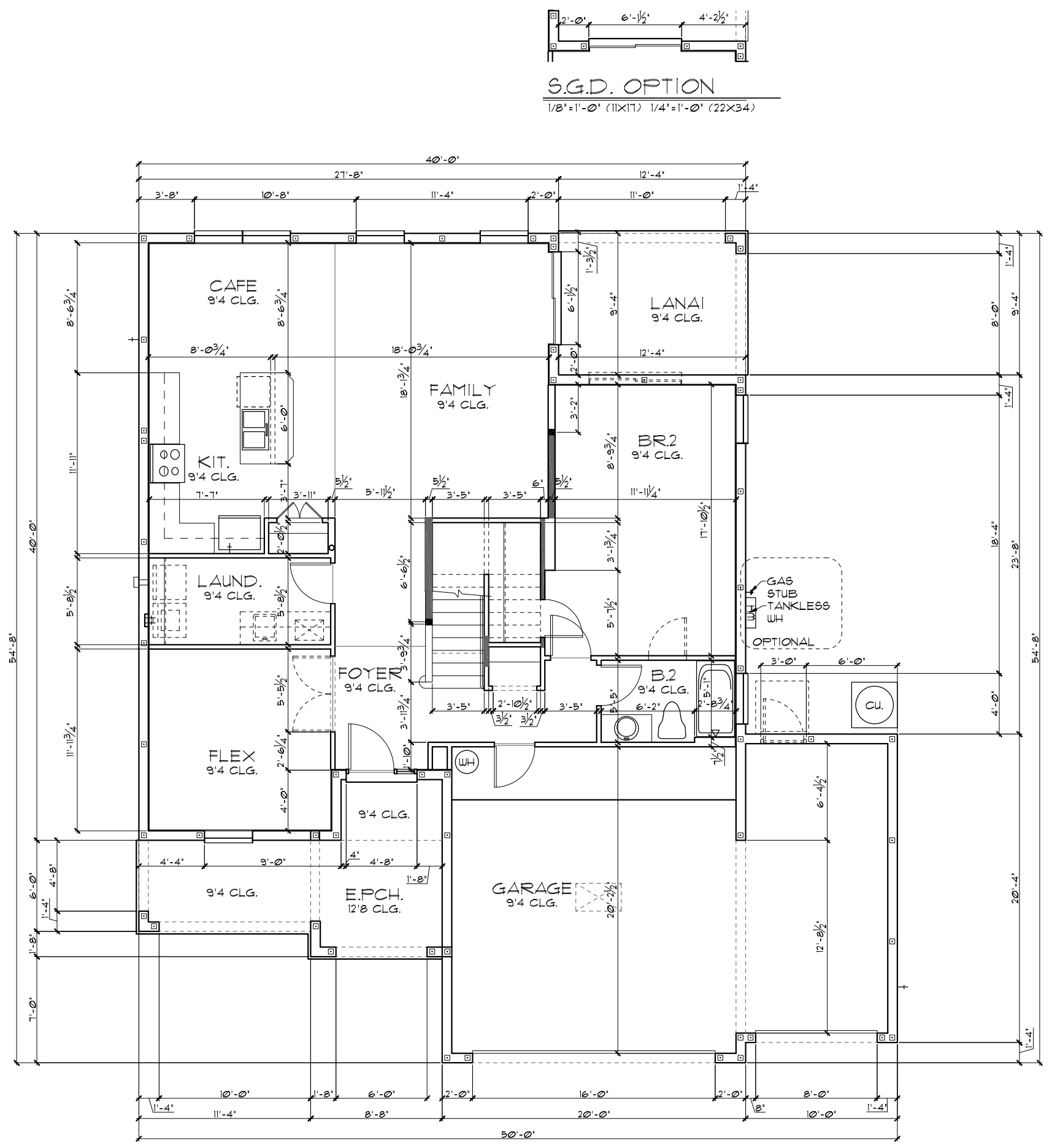
REVISIONS	BY
05-16-19	JF

TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	623 SF.
ENTRY PORCH	161 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,279 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
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**FLOOR PLAN W/ DIMENSIONS "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**S.G.D. OPTION**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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<p><b>Park Square HOMES</b></p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>05-16-19</td> <td></td> <td>JF</td> </tr> </tbody> </table>	NO.	DATE	BY	05-16-19		JF
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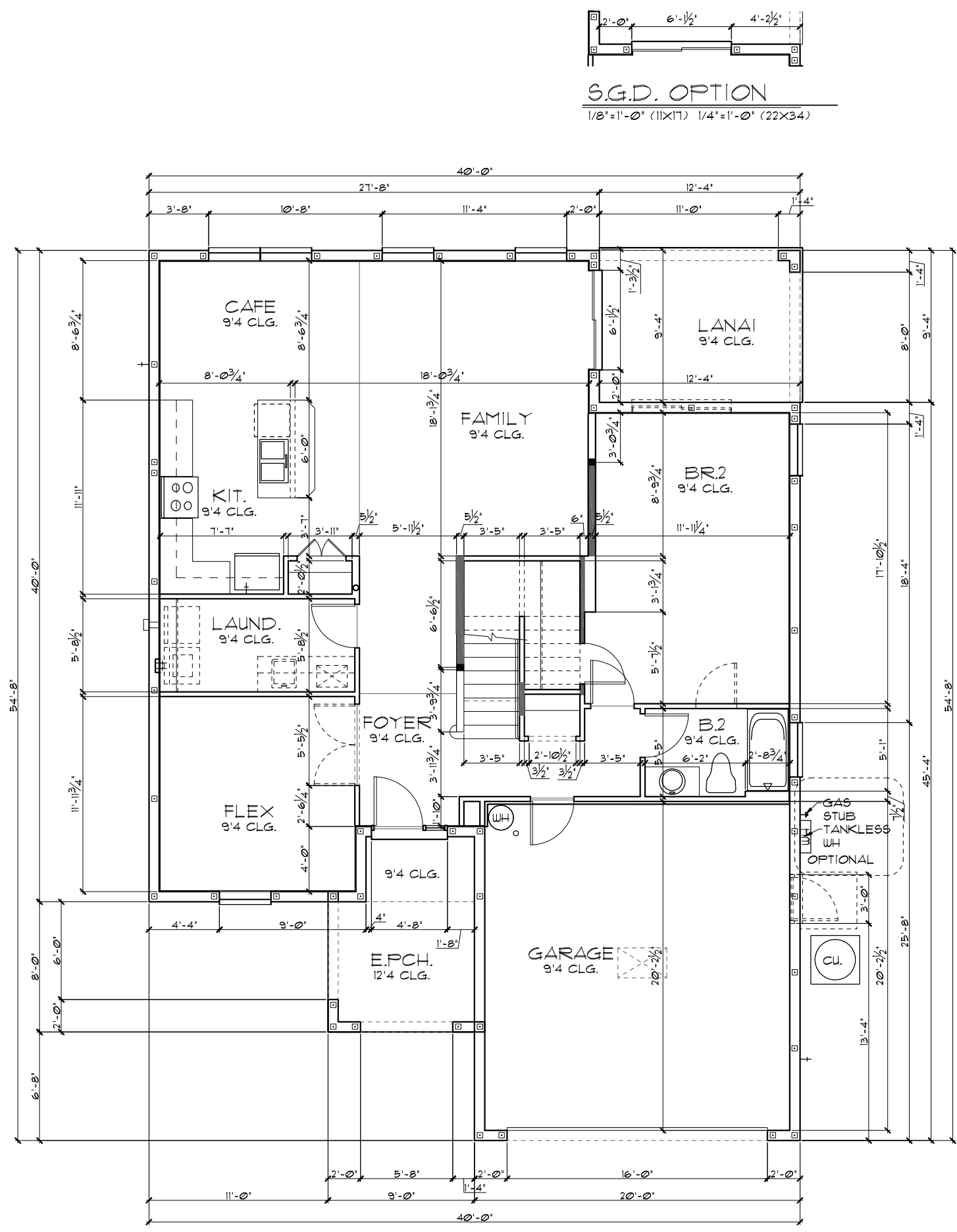


TABULATION	
UPPER LIVING	1,046 SF.
LOWER LIVING	1,334 SF.
TOTAL LIVING	2,380 SF.
GARAGE	418 SF.
ENTRY PORCH	99 SF.
LANAI	115 SF.
FRONT BALCONY	N/A SF.
REAR BALCONY	N/A SF.
TOTAL UNDER ROOF	3,012 SF.

- GENERAL NOTES**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
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FLORIDA SERIES

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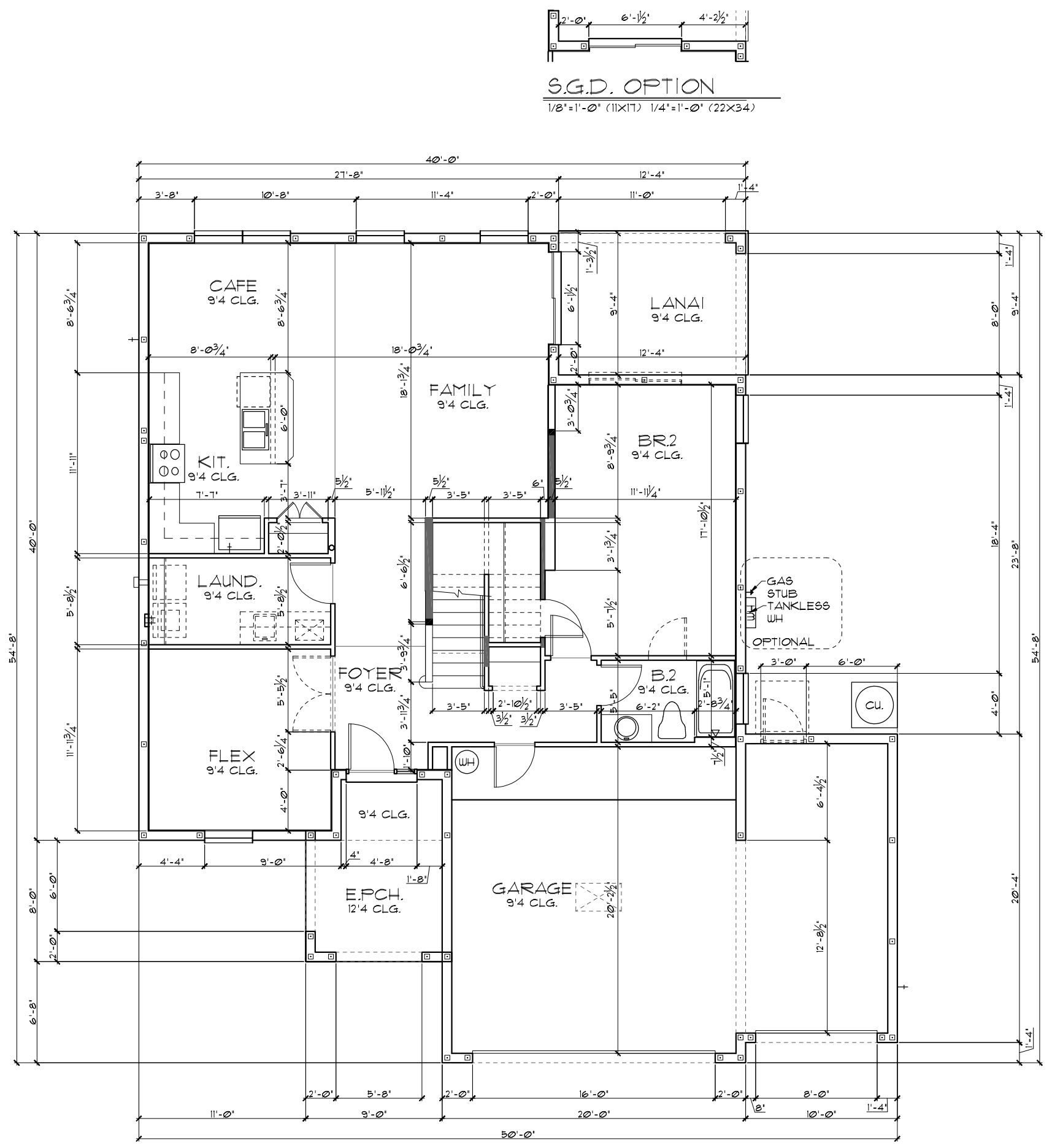
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2380	THE PEMBROKE
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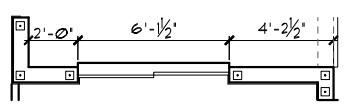
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REVISIONS	BY
05-16-19	JF

DATE	04-6-12
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JOB	2382
SHEET	02.3C
OF	3 SHEETS

2380  
THE PEMBROKE

**LOAD INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
TOTAL	20 PSF

**ROOF LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF)			
TRIBUTARY LOADED AREA (SQ. FT.)			
FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

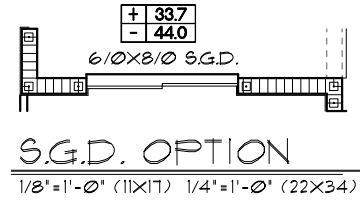
**NOTE:** 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED 1AW R302.5.1

**NOTE:**

- ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2023)
- IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

**EERO - R310.2.1 - FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.7 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24'. THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20'. MIN. NET CLEAR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE - 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	

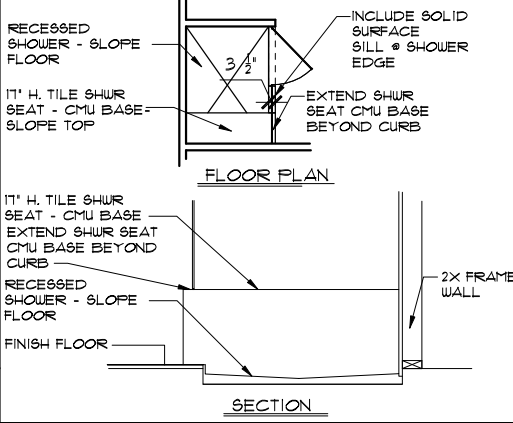


**WIND INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

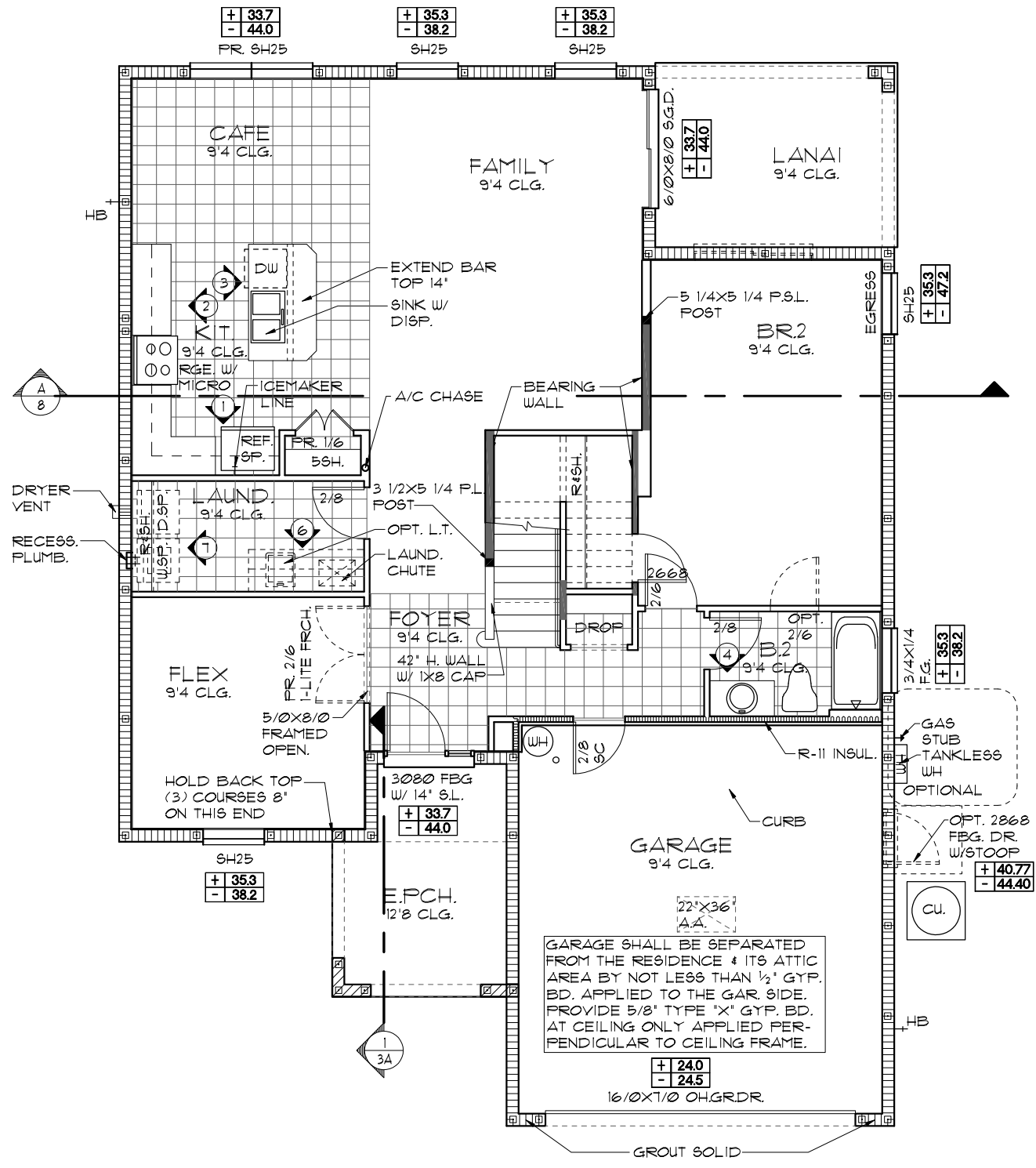
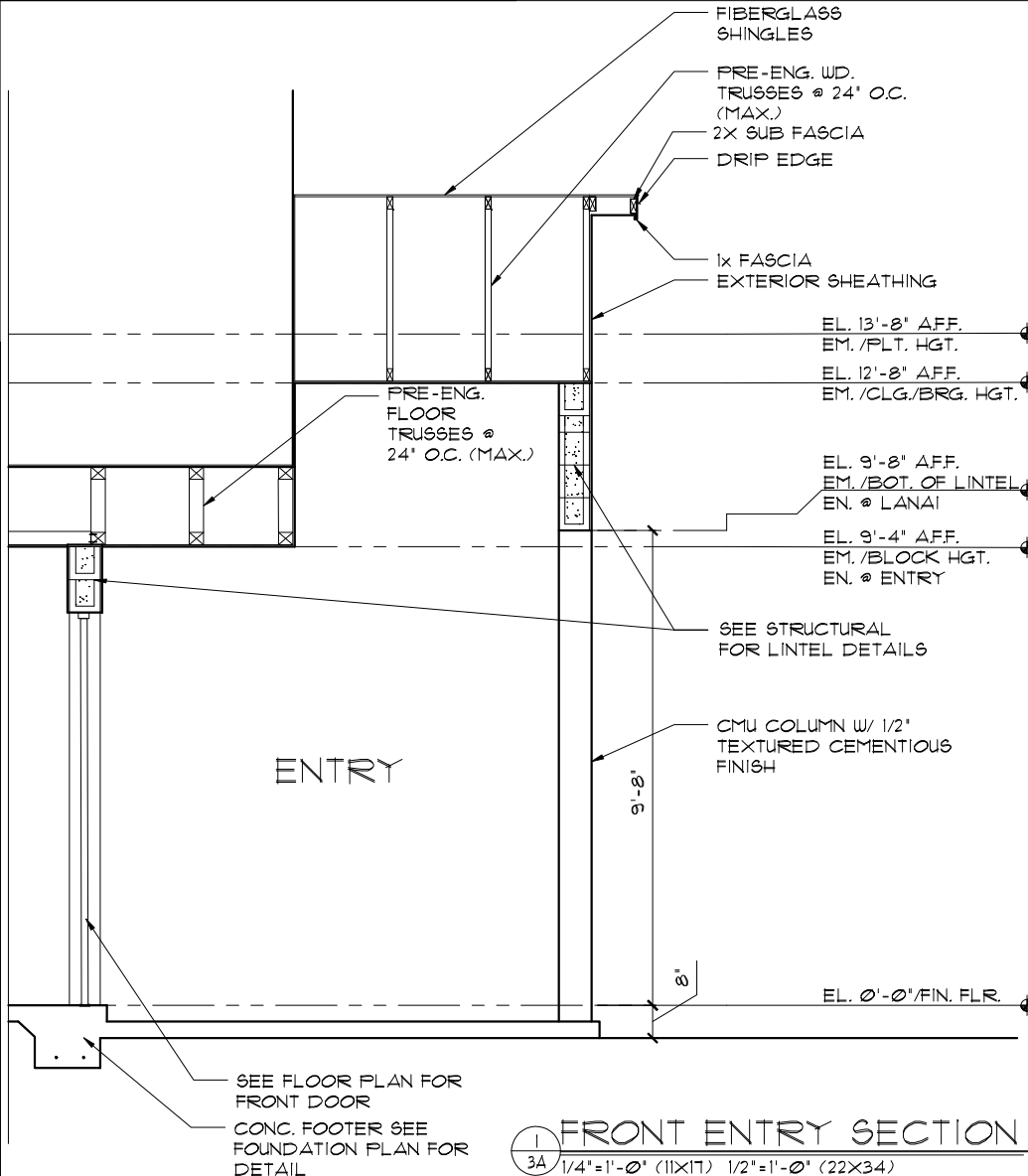
- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE: +/-, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE 1AW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

**NOTE:** DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.



- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
  - VENT DRYER THRU ROOF.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
  - |           |   |
|-----------|---|
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.  |
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" A.F.F. |
  - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
  - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
  - ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



**FLORIDA SERIES**

**ITEG**  
INTERTECH ENGINEERING GROUP, INC.  
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PHONE: (407) 734-1790  
WWW.ITEG.COM

**Park Square HOMES**  
A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
5200 Vineland Road, Suite 200  
Orlando, Florida 32811  
Phone: (407) 529-3000

**FLOOR PLAN W/ NOTES**

LOT: 0000, COMMUNITY NAME: THE PEMBROKE

2380

DATE: 04-6-12  
SCALE: AS NOTED  
DRAWN: RDC  
JOB: 2382  
SHEET: 03A OF 3 SHEETS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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**LOAD INFORMATION**  
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**ROOF: LIVE LOADS**

ROOF: SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSENGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-2:12	2:12-6:12	OVER 6:12
0-2:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

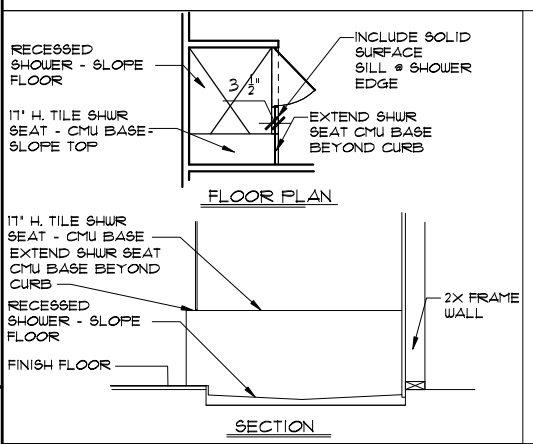
NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

**EGRESS WINDOW SCHEDULE**

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

NOTE:

- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)
- WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2



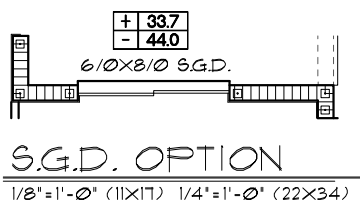
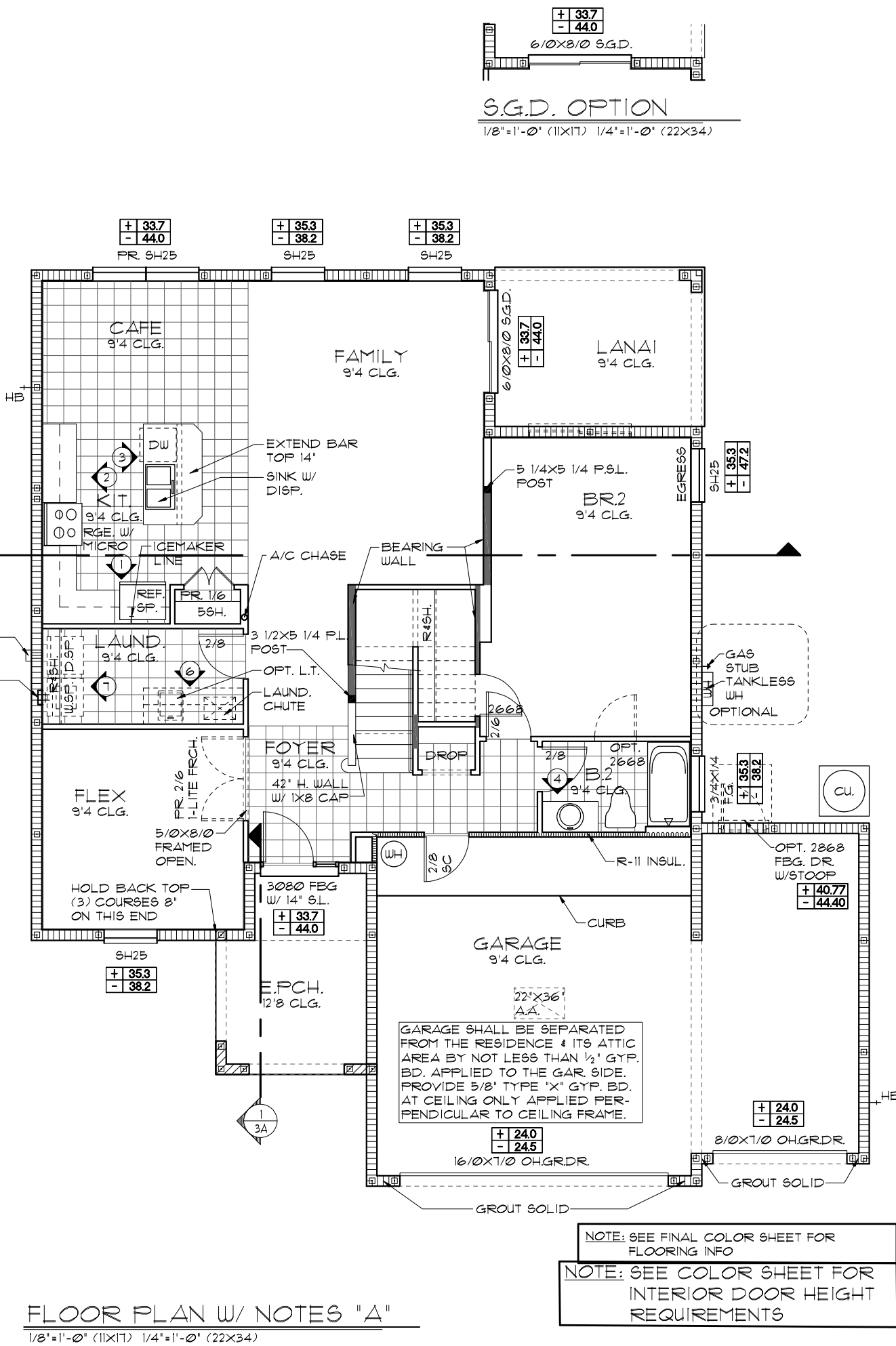
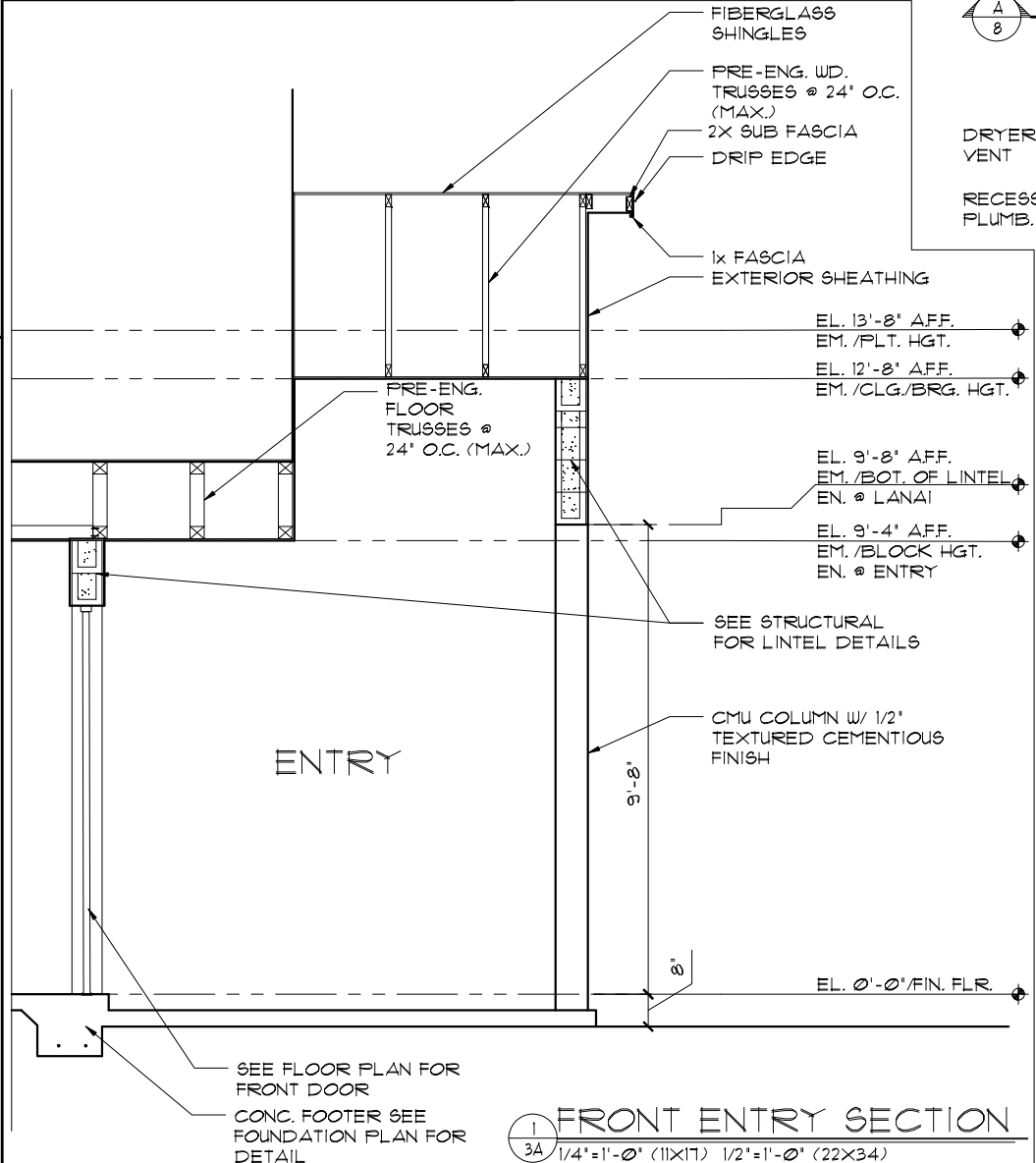
**WIND INFORMATION**  
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE: +/- 18, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE IAW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
  - VENT DRYER THRU ROOF.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
  - |           |   |
|-----------|---|
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.  |
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF. |
  - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
  - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
  - ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
  - ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 2020 FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

BETA ACCIDENTION NAME

**FLORIDA SERIES**

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5200 Vineland Road, Suite 200  
Orlando, Florida, 32811  
Phone: (407) 529-3000

**Park Square HOMES**

FLOOR PLAN W/ NOTES

2380 THE PEMBROKE

REVISIONS	BY
05-16-19	JF

DATE: 04-6-12  
SCALE: AS NOTED  
DRAWN: RDC  
JOB: 2382  
SHEET: 03.3A OF 3 SHEETS

**LOAD INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 P&F
CEILINGS	3 P&F
MECH/ELEC	5 P&F
PARTITIONS	5 P&F
TOTAL	20 P&F
ROOF: SHEATHING	5 P&F
STRUCTURE	1 P&F
CEILINGS	3 P&F
MECH/ELEC	5 P&F
TOTAL	20 P&F

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 P&F
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 P&F
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 P&F
ROOMS OTHER THAN SLEEPING ROOM:	40 P&F
SLEEPING ROOM:	30 P&F
STAIR LIVE LOAD:	40 P&F
BALCONIES:	40 P&F
PASSANGER VEHICLE GARAGE:	50 P&F

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (P&F) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
≥ 12:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**WIND INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
  - RISK CATEGORY: II
  - WIND EXPOSURE: B
  - BUILDING TYPE: V B
  - ENCLOSURE: +/-, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
  - COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:
- + XXX DESIGN WIND PRESSURE IAW FLA  
- XXX RESIDENTIAL CODE, SECTION R301
- NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

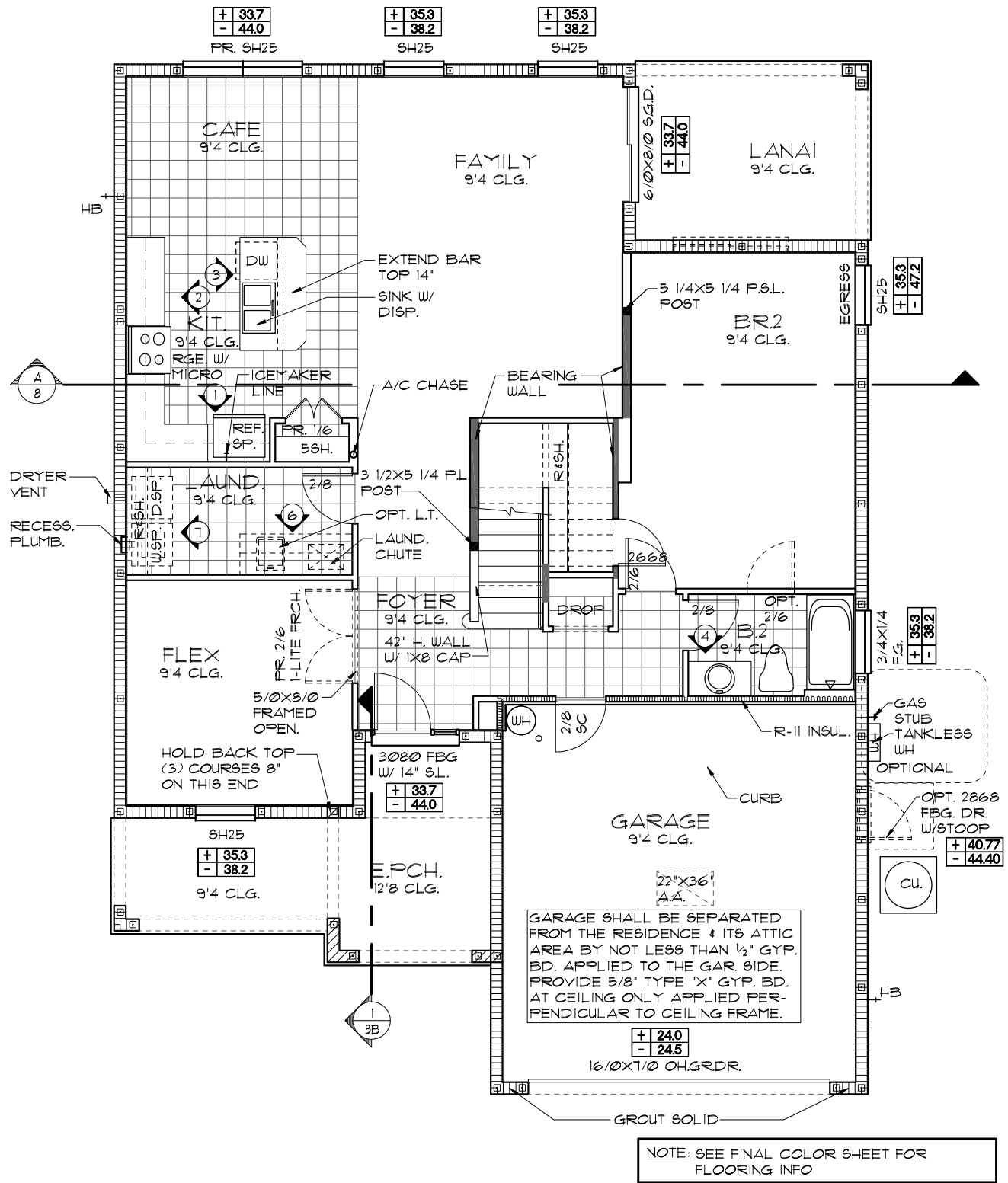
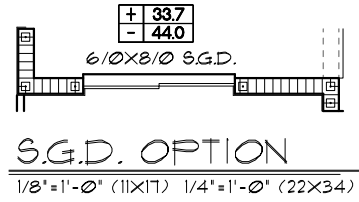
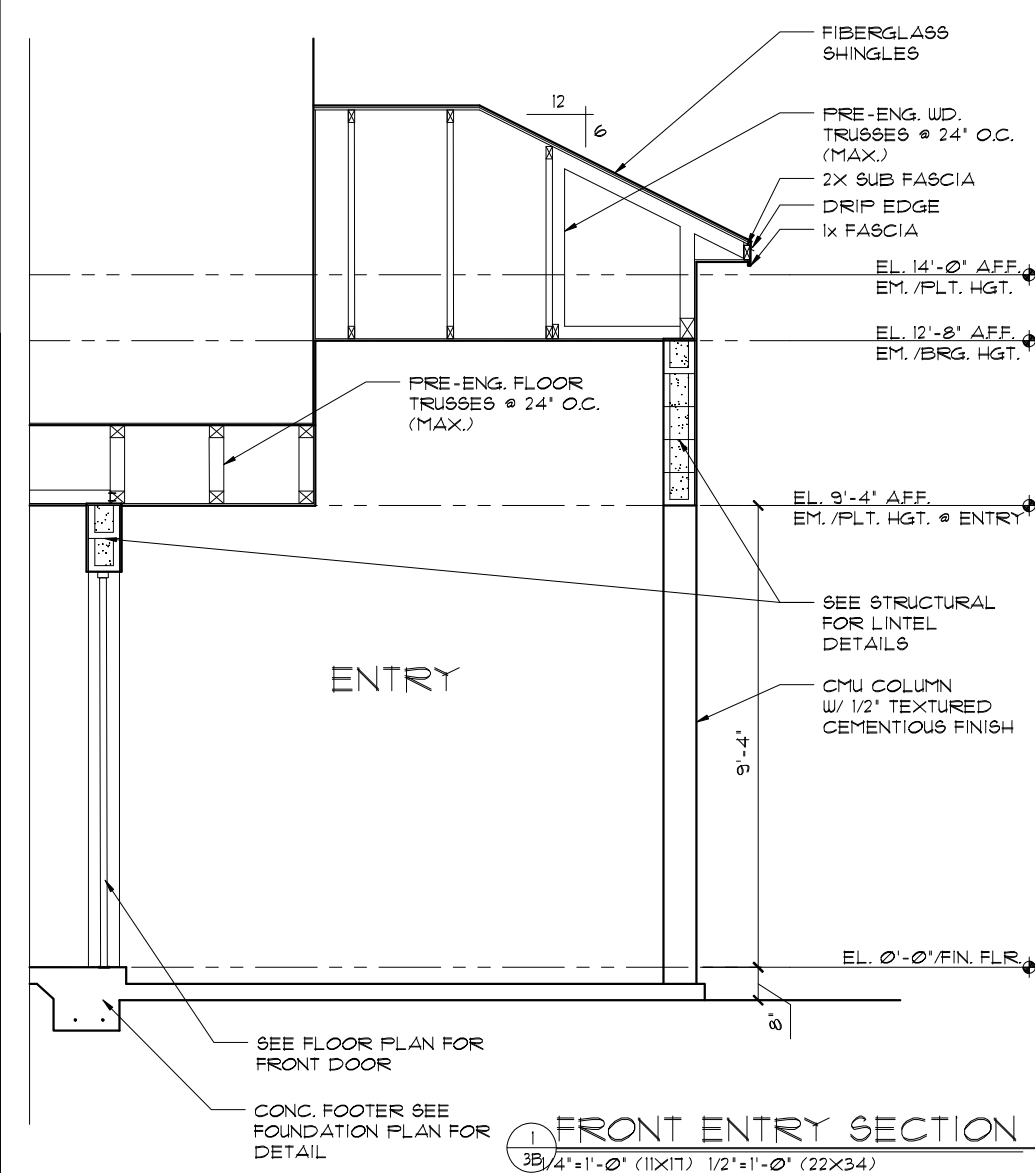
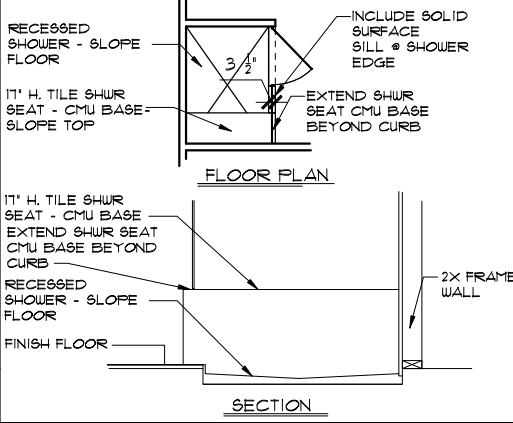
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.
- DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF.
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5.1

NOTE:  
• ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2023)  
• IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

**EERO - R310.2.1 - FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.1 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24'. THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20'. MIN. NET CLEAR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	



NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

LOT: 0000, COMMUNITY NAME: THE PEMBROKE  
 2380  
 FLOOR PLAN W/ NOTES  
 FLORIDA SERIES  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

**ITEG**  
 ITHAMERSON ENGINEERING GROUP, INC.  
 5200 Vineland Road, Suite 200  
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REVISIONS	BY
05-16-19	JF

A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida 32811  
 Phone: (407) 529-3000

DATE: 04-6-12  
 SCALE: AS NOTED  
 DRAWN: RDC  
 JOB: 2382  
 SHEET: 03B OF SHEETS

**LOAD INFORMATION**

PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**ROOF: LIVE LOADS**

SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILING	3 PSF
MECH/ELEC	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSENGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-2:12	201-6:12	OVER 6:12
0-12:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**WIND INFORMATION**

PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V-B
- ENCLOSURE: +/- 10, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

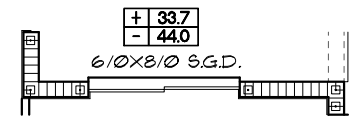
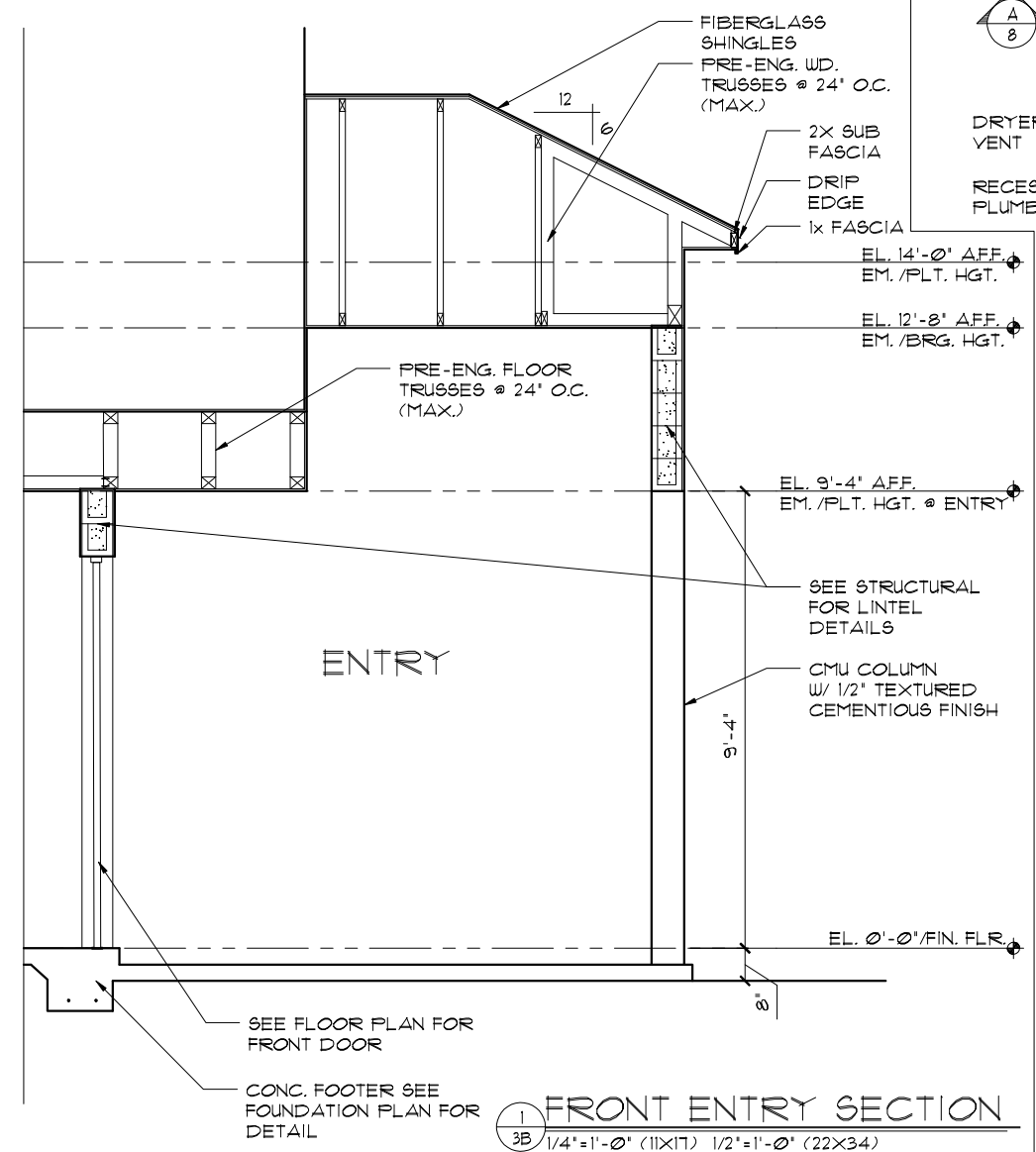
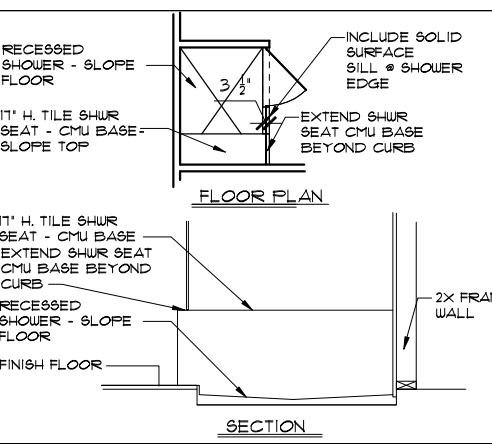
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.
- DENOTES CONC. BLOCK WALL HGT. @ 12'-8" AFF.
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

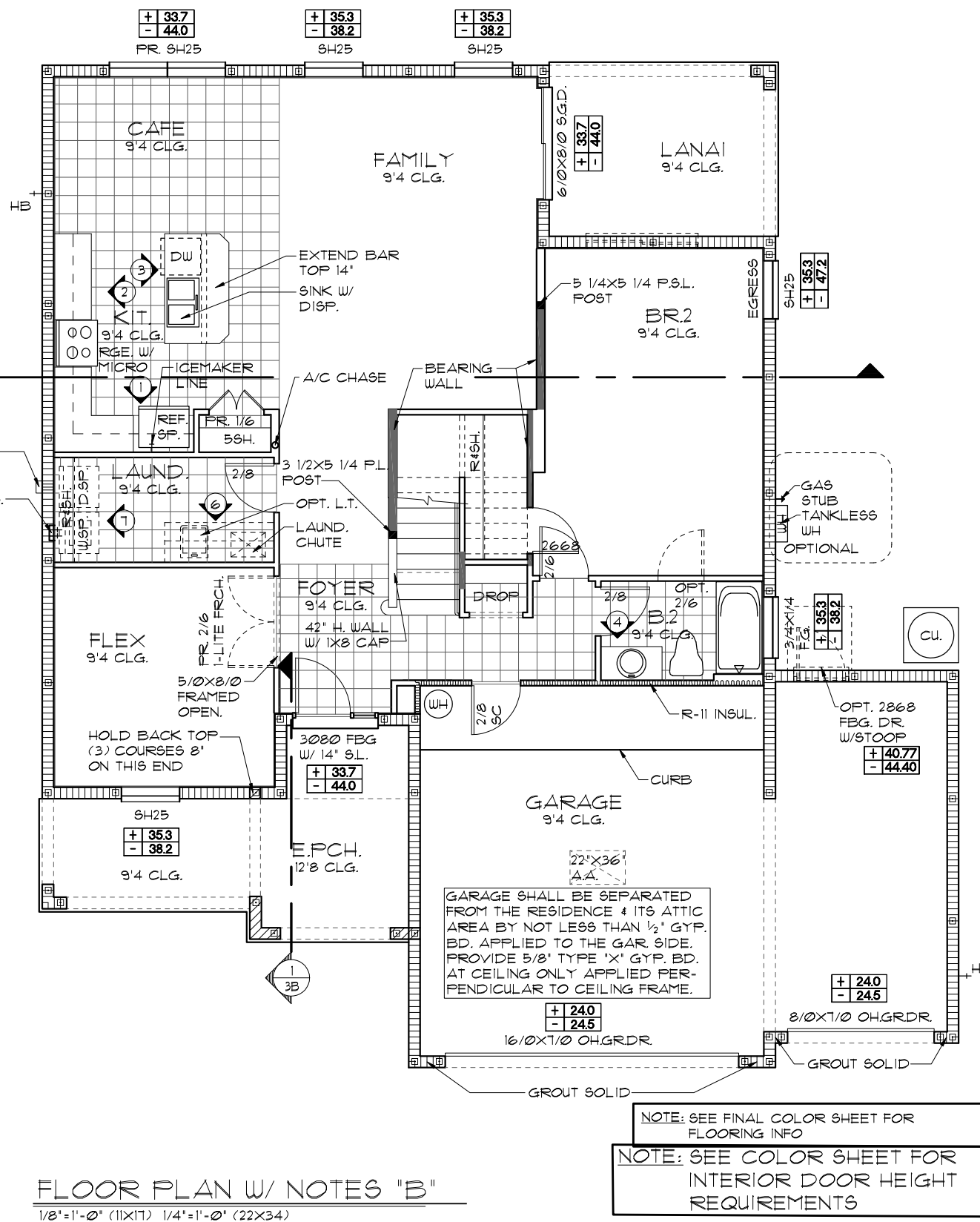
**EGRESS WINDOW SCHEDULE**

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

NOTE:  
 • ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)  
 • WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2



S.G.D. OPTION  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**FLOOR PLAN W/ NOTES "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO  
 NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

FLORIDA SERIES  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 2018 EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH  
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REVISIONS	BY
05-16-19	JF

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 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000

**FLOOR PLAN W/ NOTES**

2380  
 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	03.3B
OF SHEETS	03.3B

**LOAD INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>
ROOF: SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**WIND INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
  - RISK CATEGORY: II
  - WIND EXPOSURE: B
  - BUILDING TYPE: V-B
  - ENCLOSURE: +/-, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6 PRESSURE COEFFICIENT:
  - COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:
- |       |                                |
|-------|--------------------------------|
| + XXX | DESIGN WIND PRESSURE IAW FLA   |
| - XXX | RESIDENTIAL CODE, SECTION R301 |
- NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

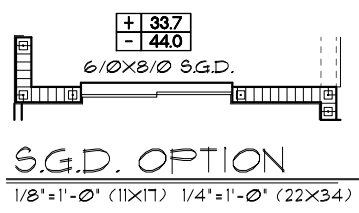
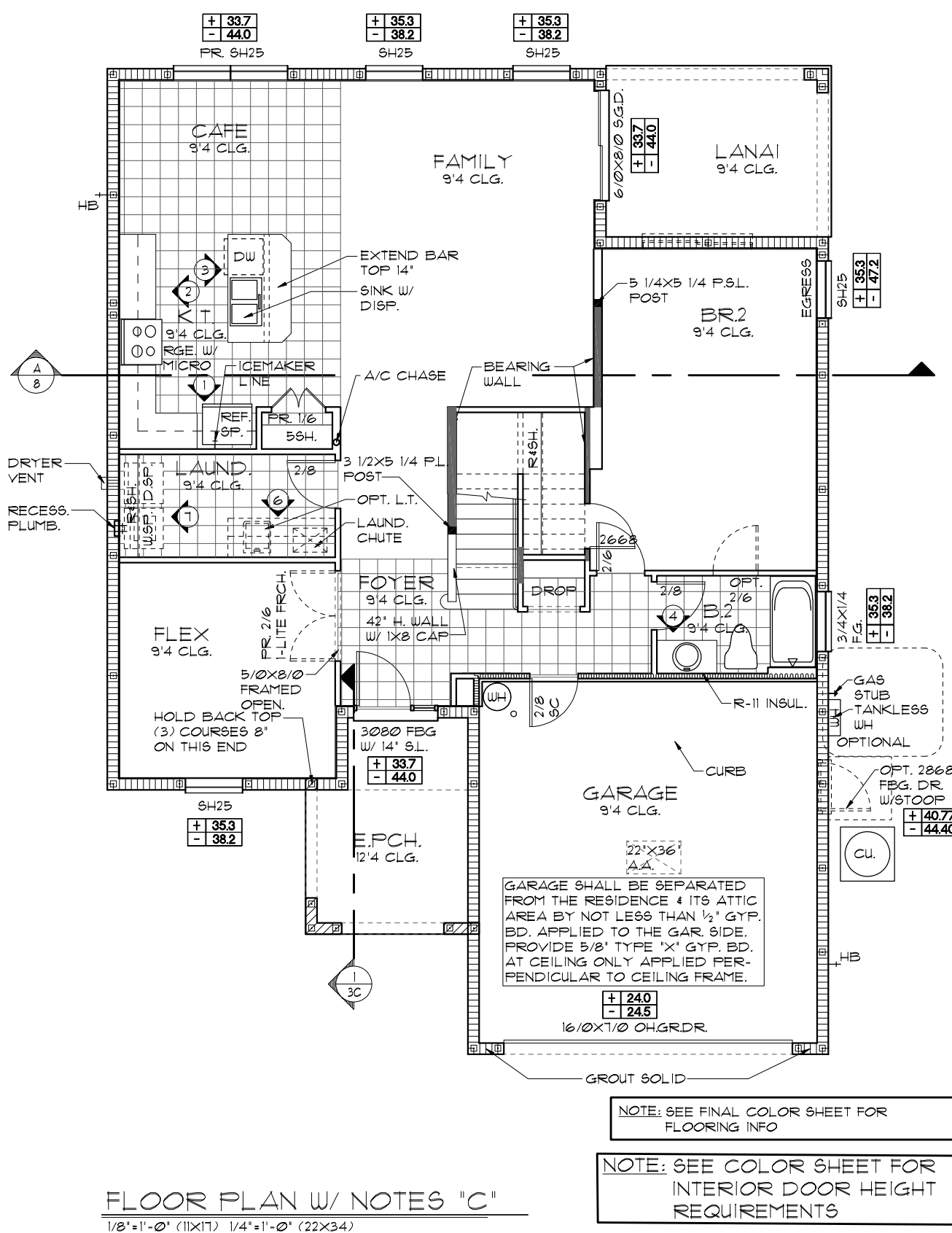
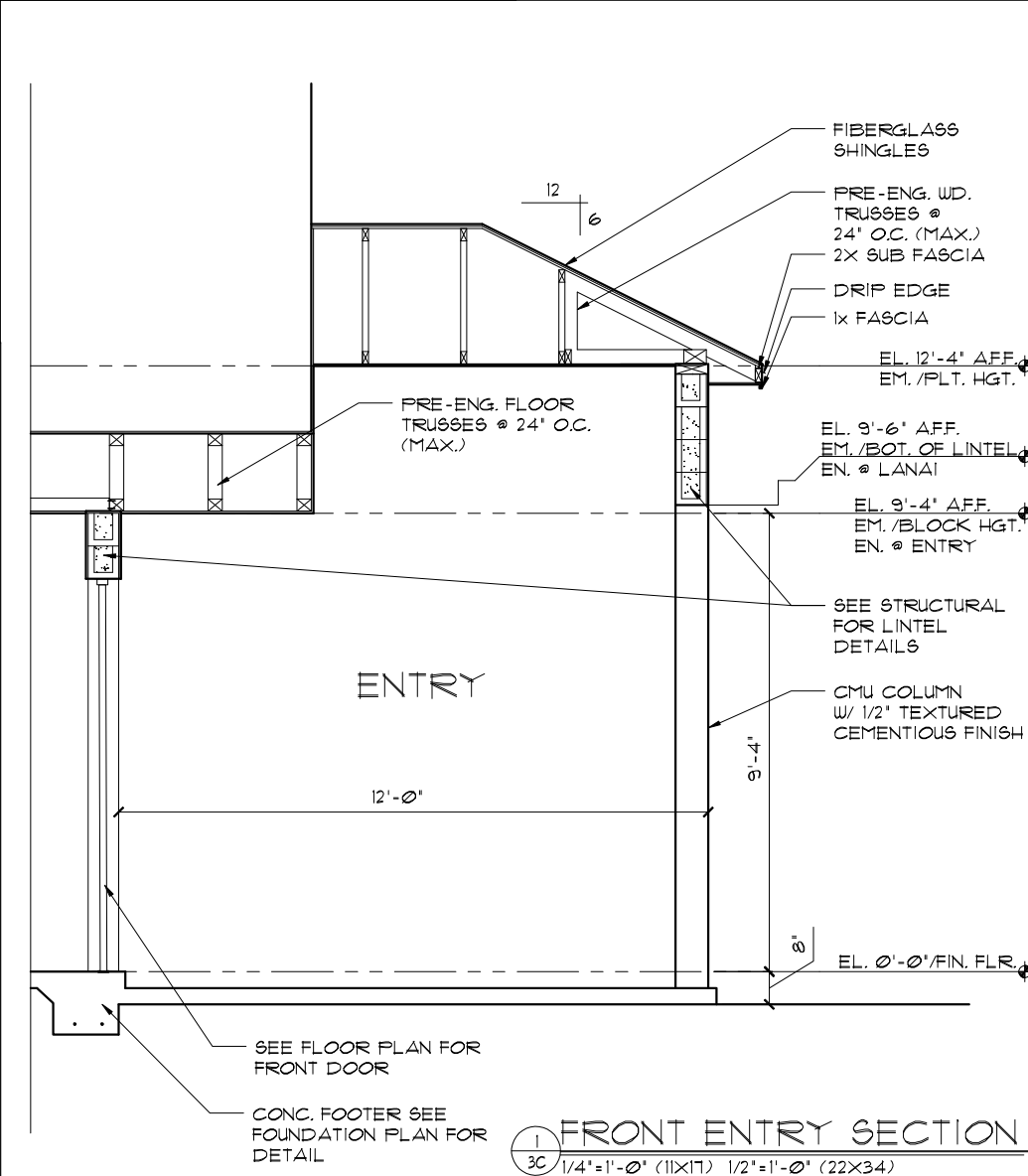
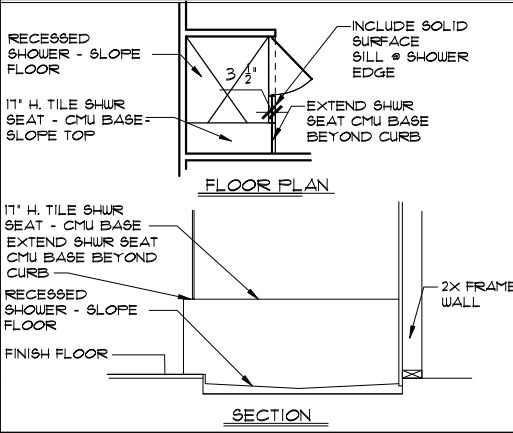
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
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- |           |   |
|-----------|---|
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.  |
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 12'-4" AFF. |
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5.1

NOTE:  
 • ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" MIN. AFF. - R310.2 - FBCR (2023)  
 • IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

**EERO- R310.2.1- FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.7 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24". THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20". MIN. NET CLEAR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE: 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	



S.G.D. OPTION  
1/8\"=1'-0\" (11X17) 1/4\"=1'-0\" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

LOT: 0000, COMMUNITY NAME: THE PEMBROKE  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

**FLORIDA SERIES**  
**ITEG**  
 ITC ENGINEERING GROUP, INC.  
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 Orlando, Florida, 32811  
 Phone: (407) 529-3000  
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REVISIONS	BY
05-16-19	JF

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**Park Square HOMES**  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000

FLOOR PLAN W/ NOTES  
 2380  
 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	03C
OF SHEETS	



**LOAD INFORMATION**  
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**ROOF: LIVE LOADS**

SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSENGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF)			
TRIBUTARY LOADED AREA (SQ. FT.)			
FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**WIND INFORMATION**  
PER 17TH EDITION, 2020 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
  - RISK CATEGORY: II
  - WIND EXPOSURE: B
  - BUILDING TYPE: V B
  - ENCLOSURE: +/-, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6
  - COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:
- DESIGN WIND PRESSURE IAW FLA RESIDENTIAL CODE, SECTION R301**
- NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

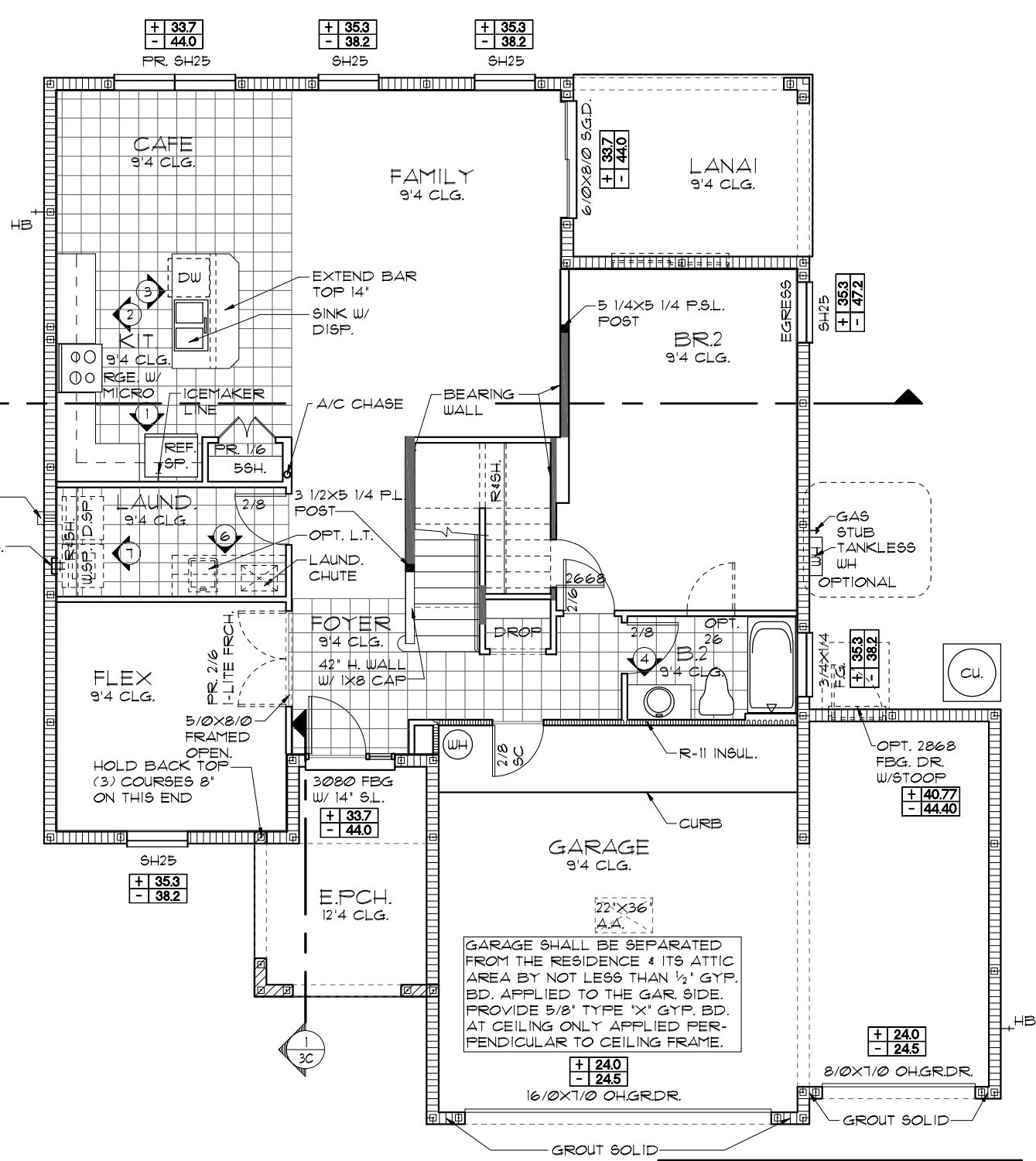
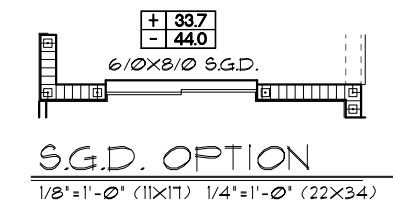
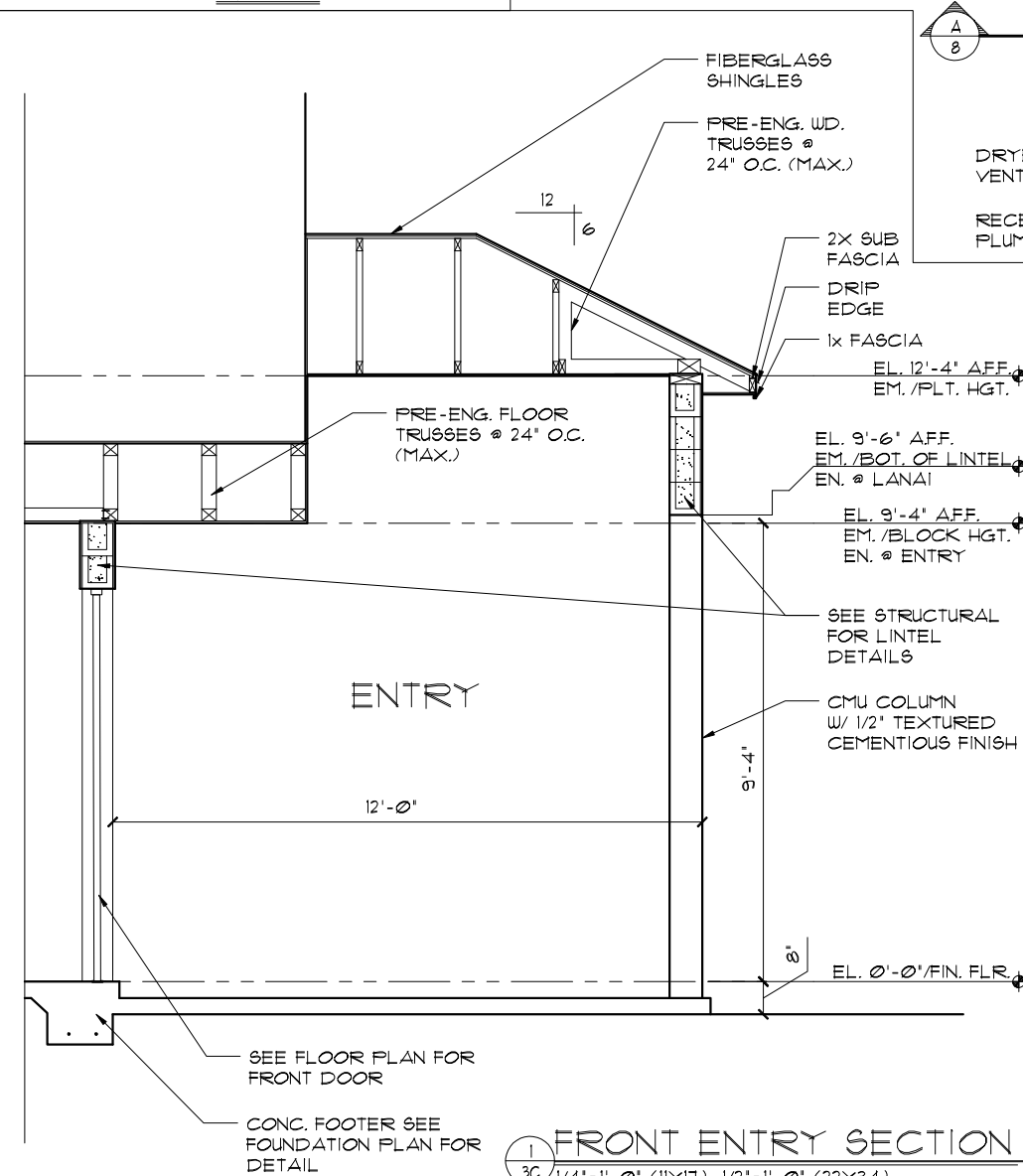
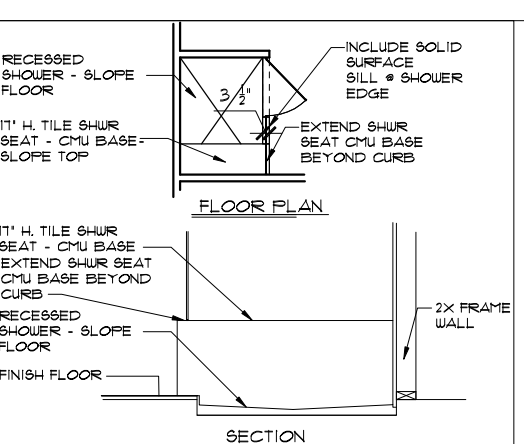
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- |  |   |
|--|---|
|  | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" AFF.  |
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- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.
- ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOORS NO LESS 1 3/8" IAW R302.5.1

**EGRESS WINDOW SCHEDULE**

SH25	33 1/2" H. X 30" W.	MIN. NET CLEAR OPENING 5.7 SQFT
------	---------------------	---------------------------------

- NOTE:
- ALL EMERGENCY ESCAPE WINDOW SILLS TO BE NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2020)
  - WINDOWS SILLS LOCATED LESS THAN 24" ABOVE FINISHED GRADE MUST COMPLY WITH FBCR 312.2



**FLOOR PLAN W/ NOTES "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

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 www.park-square.com

REVISIONS	BY
05-16-19	JF

FLOOR PLAN W/ NOTES  
 2380  
 THE PEMBROKE

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2020 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

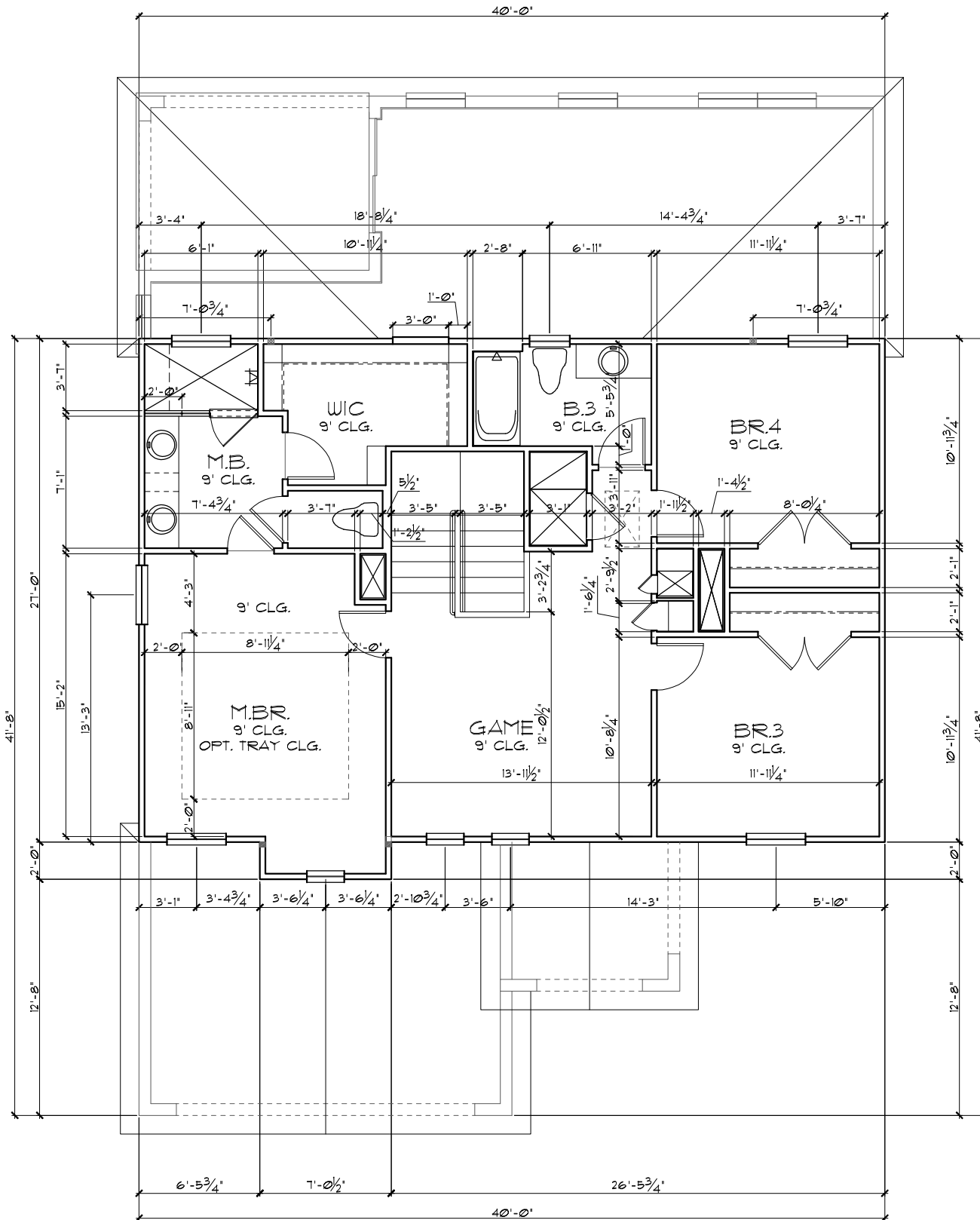
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DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	
OF	03.30 SHEETS



- GENERAL NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  3. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/2" UNLESS NOTED OTHERWISE.
  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.



**UPPER FLOOR PLAN W/ DIMENSIONS "A"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	04A
OF SHEETS	9

2380

THE PEMBROKE

UPPER FLOOR PLAN W/  
DIMENSIONS - GARAGE LEFT

Park  
Square  
HOMES

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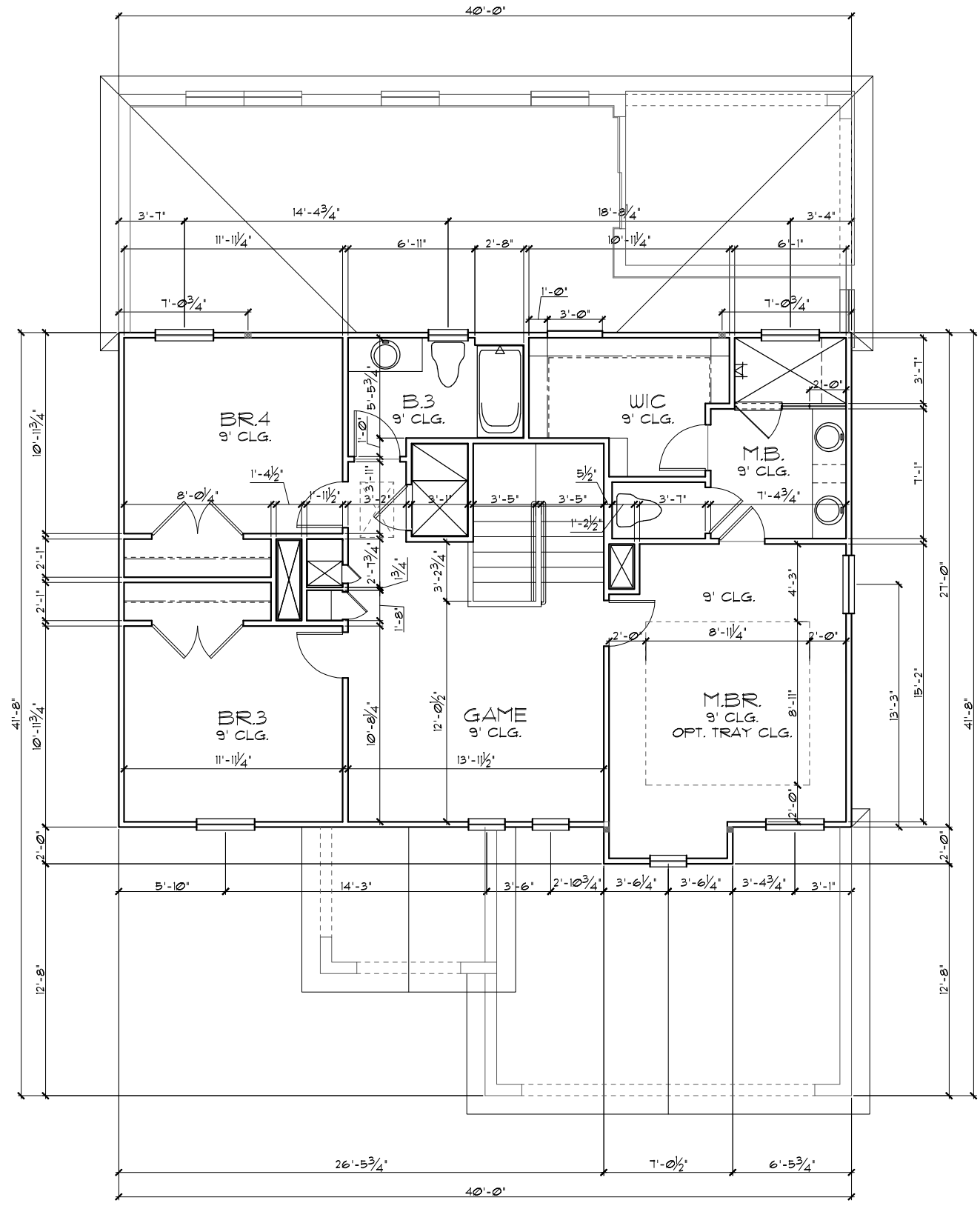
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**UPPER FLOOR PLAN W/ DIMENSIONS "A"**  
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THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	04A
OF SHEETS	04

2380 THE PEMBROKE

UPPER FLOOR PLAN W/  
DIMENSIONS

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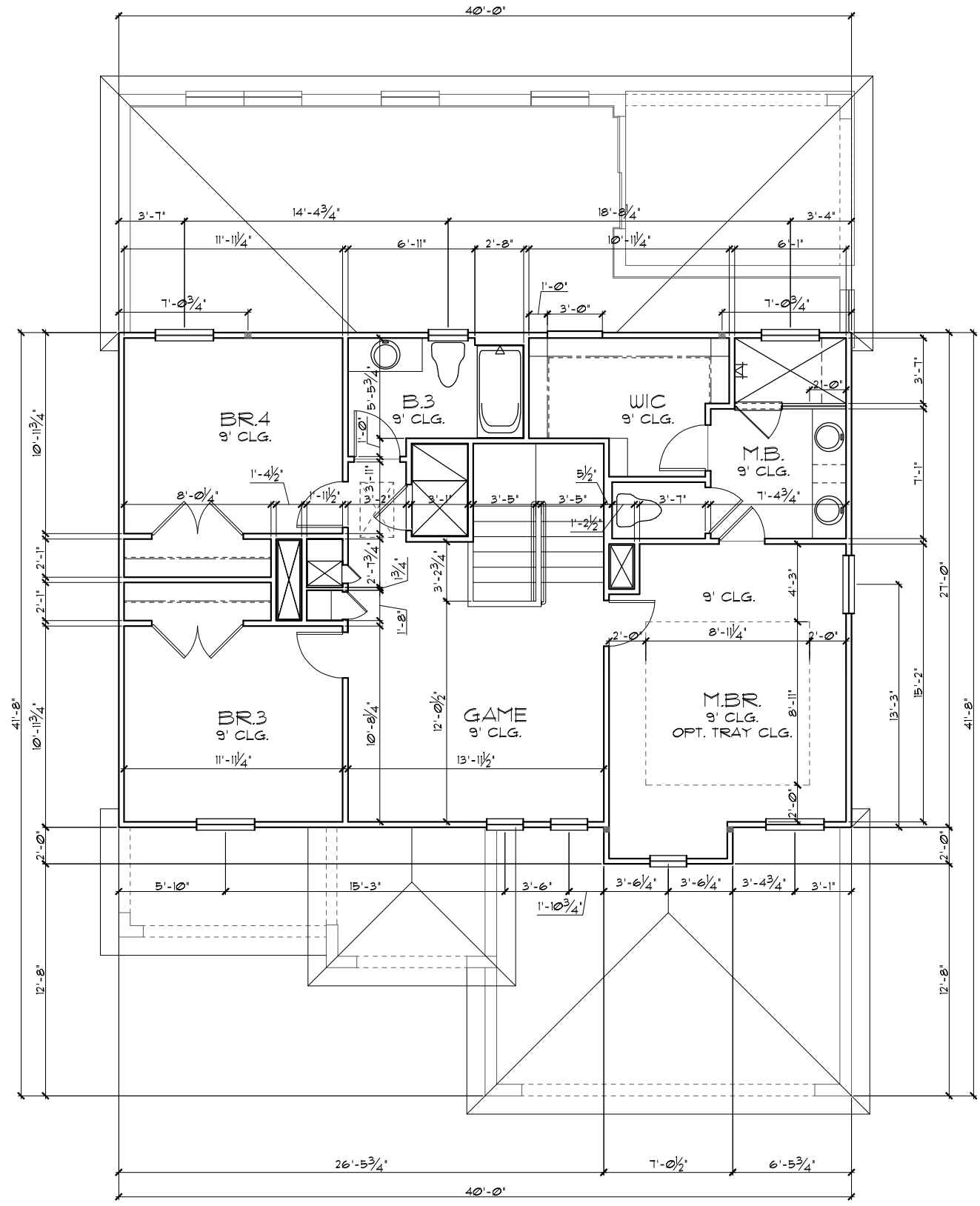
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05-16-19	JF

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  5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.



**UPPER FLOOR PLAN W/ DIMENSIONS "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	04B
OF SHEETS	04B

UPPER FLOOR PLAN W/ DIMENSIONS

2380

THE PEMBROKE

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PARK SQUARE HOMES

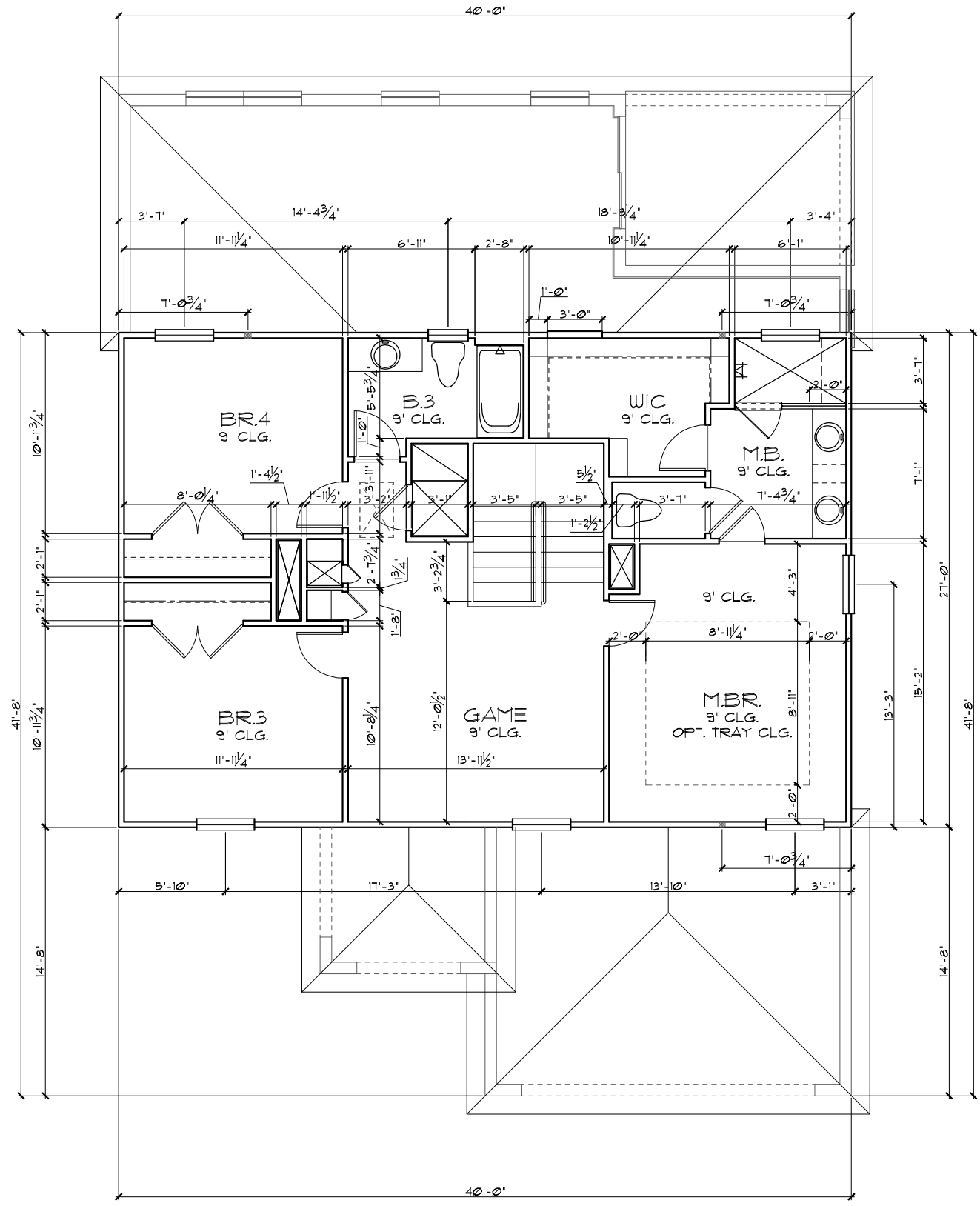
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 10000 W. US Highway 19  
 Suite 100, Orlando, FL 32811  
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05-16-19	JF

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  4. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1 1/2" UNLESS NOTED OTHERWISE.
  5. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.



**UPPER FLOOR PLAN W/ DIMENSIONS "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME: THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	04C
OF SHEETS	04

2380

UPPER FLOOR PLAN W/  
DIMENSIONS

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FLORIDA SERIES

**LOAD INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 P/SF
CEILING	3 P/SF
MECH/ELEC	5 P/SF
PARTITIONS	5 P/SF
<b>TOTAL</b>	<b>20 P/SF</b>

**ROOF: LIVE LOADS**

SHEATHING	5 P/SF
STRUCTURE	1 P/SF
CEILING	3 P/SF
MECH/ELEC	5 P/SF
<b>TOTAL</b>	<b>20 P/SF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 P/SF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 P/SF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 P/SF
ROOMS OTHER THAN SLEEPING ROOM:	40 P/SF
SLEEPING ROOM:	30 P/SF
STAIR LIVE LOAD:	40 P/SF
BALCONIES:	40 P/SF
PASSANGER VEHICLE GARAGE:	50 P/SF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (P/SF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
> 4:12 < 12:12	16	14	12
> 12:12	12	12	12

**WIND INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE: +/-, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6 PRESSURE COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX DESIGN WIND PRESSURE IAW FLA  
- XXX RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

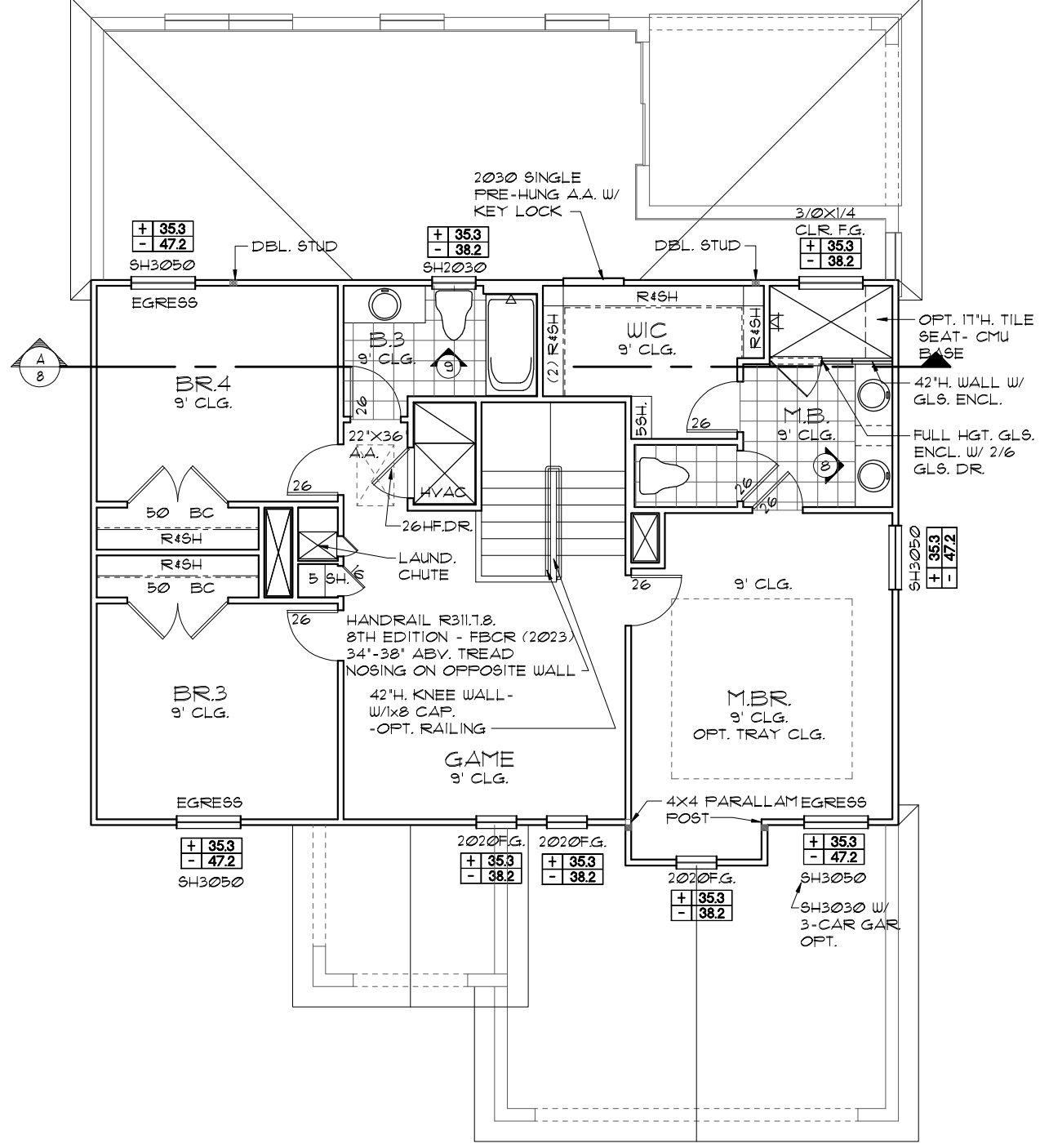
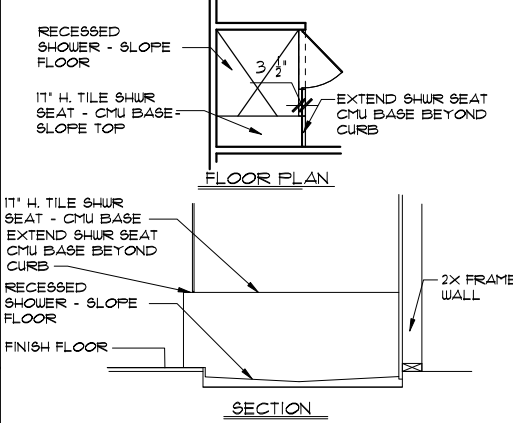
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
- VENT DRYER THRU ROOF.
- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- |  |   |
|--|---|
|  | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.  |
|  | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" A.F.F. |
- REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
- REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
- ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
- ALL INTER. FIRST FLOOR CEILING AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILING AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5.1

NOTE:  
• ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2023)  
• IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

**EERO - R310.2.1 - FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.7 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24'. THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20'. MIN. NET CLEAR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE - 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	



UPPER FLOOR W/ NOTES "A"  
1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

LOT: 0000, COMMUNITY NAME: THE PEMBROKE  
 2380 THE PEMBROKE  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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 ITC ENGINEERING GROUP, INC.  
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REVISIONS	BY
05-16-19	JF

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Orlando, Florida, 32811  
Phone: (407) 529 - 3000

**Park Square HOMES**

UPPER FLOOR PLAN W/ NOTES

DATE: 04-6-12  
SCALE: AS NOTED  
DRAWN: RDC  
JOB: 2382  
SHEET: 05A OF 5 SHEETS

**LOAD INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 P&F
CEILINGS	3 P&F
MECH/ELEC	5 P&F
PARTITIONS	5 P&F
TOTAL	20 P&F

**ROOF: SHEATHING** 5 P&F  
**STRUCTURE** 1 P&F  
**CEILINGS** 3 P&F  
**MECH/ELEC** 5 P&F  
**TOTAL** 20 P&F

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 P&F
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 P&F
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 P&F
ROOMS OTHER THAN SLEEPING ROOM:	40 P&F
SLEEPING ROOM:	30 P&F
STAIR LIVE LOAD:	40 P&F
BALCONIES:	40 P&F
PASSANGER VEHICLE GARAGE:	50 P&F

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (P&F) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER			
ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**NOTE:** 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THAN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED 1AW R302.5.1

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**EERO - R310.2.1 - FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.7 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24'. THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20'. MIN. NET CLEAR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE - 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	

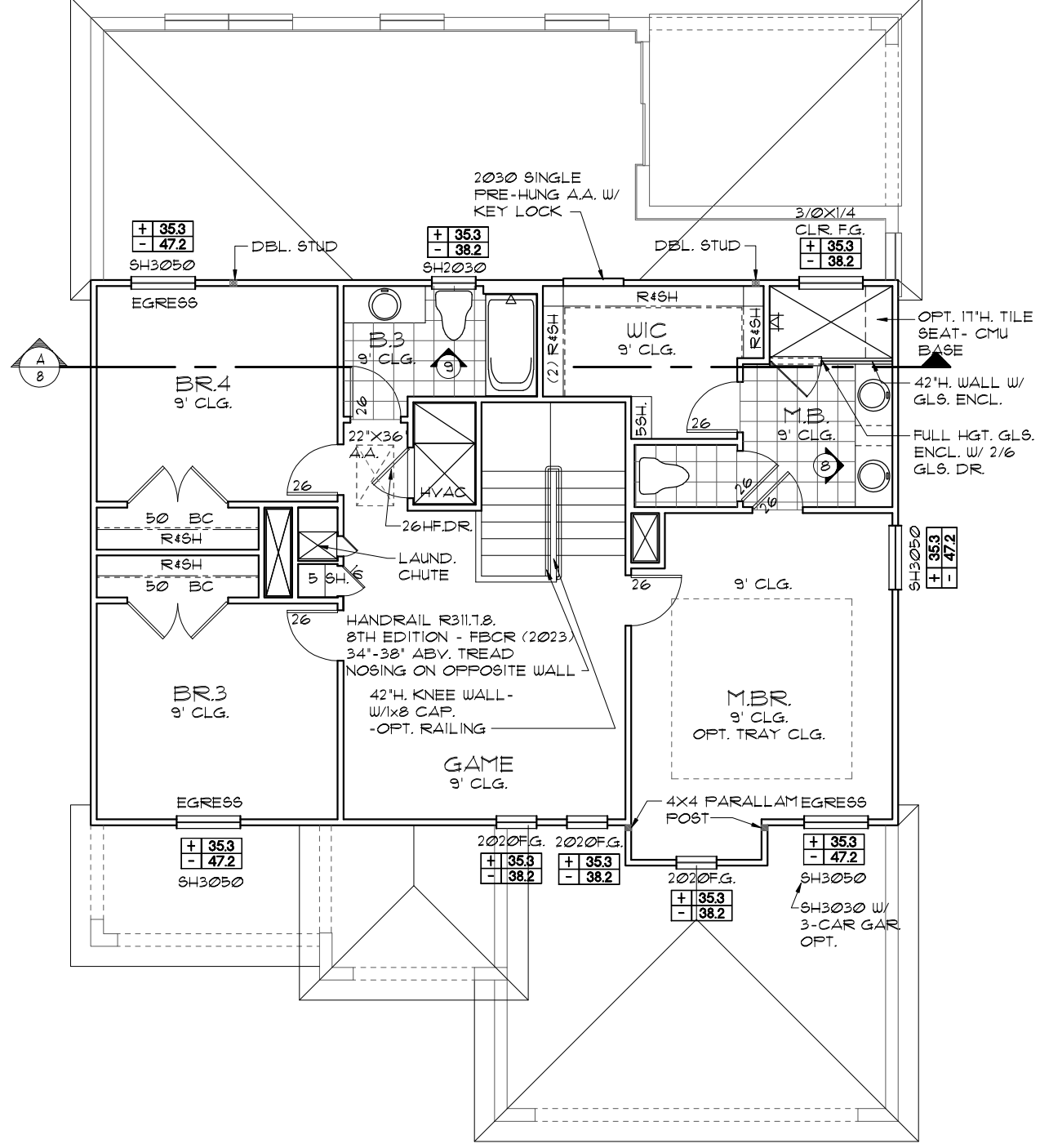
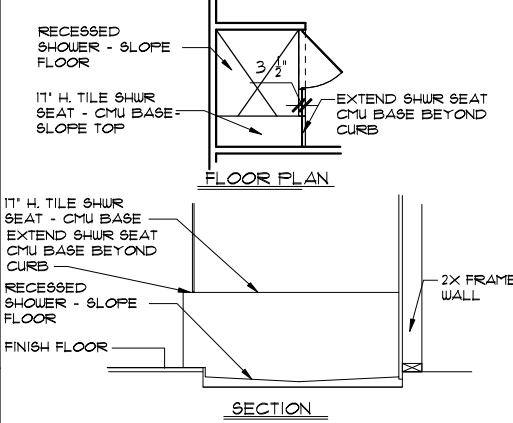
**WIND INFORMATION**  
PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE: +/- 10, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6 PRESSURE COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX	DESIGN WIND PRESSURE 1AW FLA
- XXX	RESIDENTIAL CODE, SECTION R301

**NOTE:** DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

- GENERAL NOTES**
- PROVIDE RECESS HOT & COLD WATER WITH DRAIN @ WASHER SPACE.
  - VENT DRYER THRU ROOF.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
  - |           |   |
|-----------|---|
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.  |
| [Pattern] | DENOTES CONC. BLOCK WALL HGT. @ 12'-8" A.F.F. |
  - REFER TO TYPICAL DETAIL SHEET FOR EXTERIOR WALL FINISH SPECIFICATIONS
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES
  - ANCHOR THE CONDENSER UNIT TO SLAB PER CODE: M 1307.1 - M1307.2
  - ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.



**UPPER FLOOR PLAN W/ NOTES "B"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**NOTE:** SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

**NOTE:** SEE FINAL COLOR SHEET FOR FLOORING INFO

LOT: 0000, COMMUNITY NAME: THE PEMBROKE  
 2380 THE PEMBROKE  
 DATE: 04-6-12  
 SCALE: AS NOTED  
 DRAWN: RDC  
 JOB: 2382  
 SHEET: 05B OF SHEETS

**FLORIDA SERIES**  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000  
**Park Square HOMES**

REVISIONS	BY
05-16-19	JF

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

**LOAD INFORMATION**

PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

**DEAD LOADS**

FLOOR: STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
PARTITIONS	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>
ROOF: SHEATHING	5 PSF
STRUCTURE	1 PSF
CEILINGS	3 PSF
MECH/ELEC	5 PSF
<b>TOTAL</b>	<b>20 PSF</b>

**FLOOR LIVE LOADS**

RESIDENTIAL FLOOR:	40 PSF
UNINHABITABLE ATTIC WITHOUT STORAGE:	10 PSF
UNINHABITABLE ATTIC W/LIMITED STORAGE:	20 PSF
ROOMS OTHER THAN SLEEPING ROOM:	40 PSF
SLEEPING ROOM:	30 PSF
STAIR LIVE LOAD:	40 PSF
BALCONIES:	40 PSF
PASSANGER VEHICLE GARAGE:	50 PSF

**ROOF LIVE LOADS**

MINIMUM ROOF LIVE LOAD (PSF) TRIBUTARY LOADED AREA (SQ. FT.) FOR ANY STRUCTURAL MEMBER

ROOF SLOPE	0-200	201-600	OVER 600
0:12 < 4:12	20	16	12
≥ 4:12 < 12:12	16	14	12
≥ 12:12	12	12	12

**WIND INFORMATION**

PER 8TH EDITION, 2023 FLORIDA BUILDING RESIDENTIAL CODE

- BASIC WIND SPEED: 140 MPH
- RISK CATEGORY: II
- WIND EXPOSURE: B
- BUILDING TYPE: V B
- ENCLOSURE: +/-10, INCLUDED CLASSIFICATION INTERNAL IN NOTE #6 PRESSURE COEFFICIENT:
- COMPONENT / CLADDING: SEE PLAN DESIGN WIND PRESSURE:

+ XXX DESIGN WIND PRESSURE IAW FLA  
- XXX RESIDENTIAL CODE, SECTION R301

NOTE: DESIGN PRESSURES BASED ON BASIC WIND SPEED AND NOT ULTIMATE WIND SPEED.

**GENERAL NOTES**

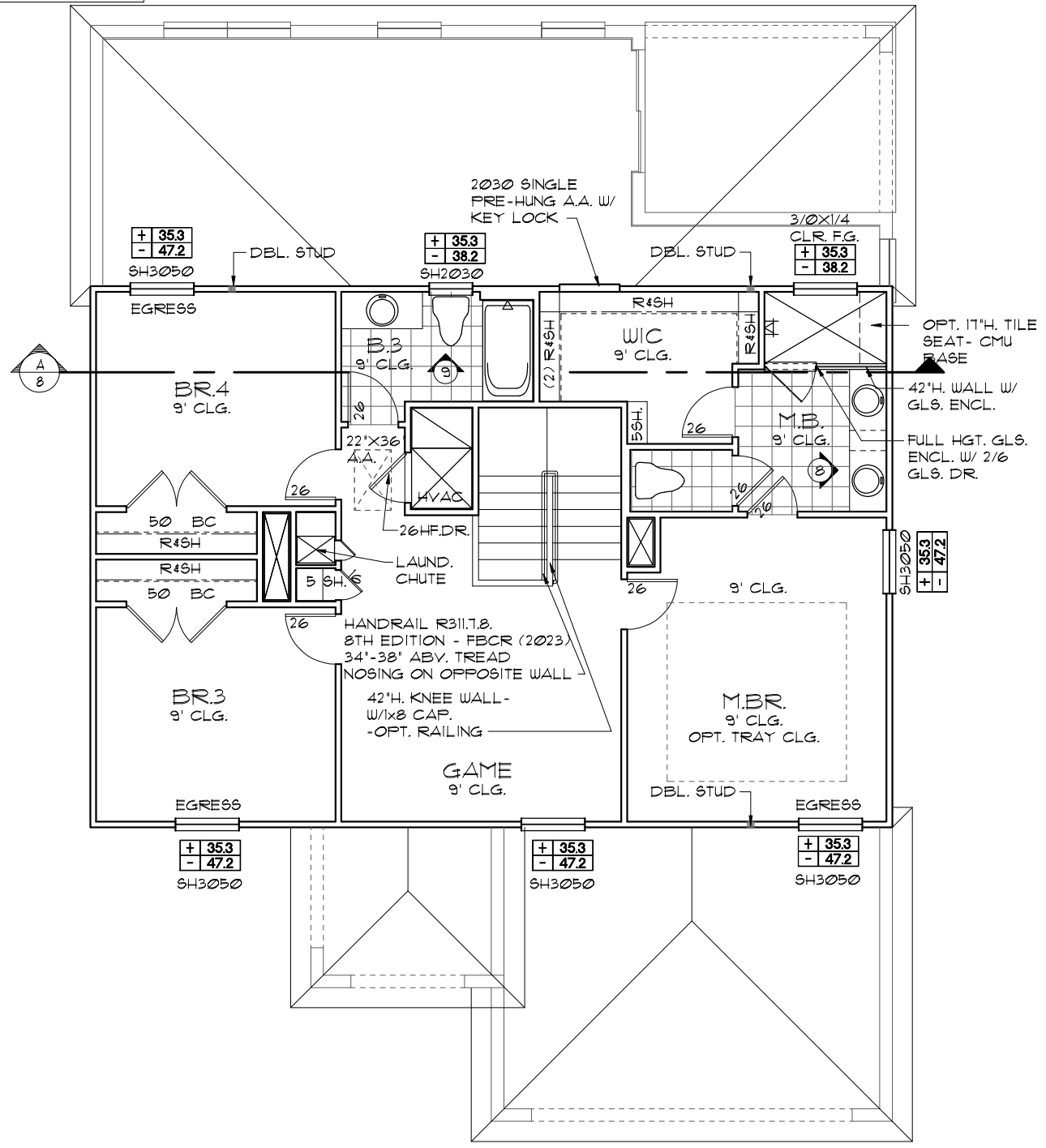
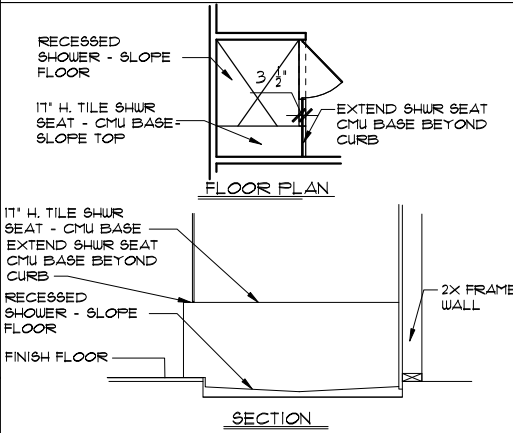
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- PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
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- MECHANICAL EQUIPMENT LOCATION TO BE DETERMINED BY COMMUNITY STANDARDS AND APPLICABLE COUNTY CODES.
- |  |   |
|--|---|
|  | DENOTES CONC. BLOCK WALL HGT. @ 9'-4" A.F.F.  |
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- ALL INTER. FIRST FLOOR CEILINGS AT 9'-4" UNLESS NOTED OTHERWISE.  
ALL INTER. SECOND FLOOR CEILINGS AT 9'-0" UNLESS NOTED OTHERWISE.

NOTE: 1. DOOR FROM HOUSE TO GARAGE MUST BE SOLID WOOD DOOR NO LESS THEN 1 3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20MIN. FIRE RATED IAW R302.5.1

NOTE:  
• ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" MIN. A.F.F. - R310.2 - FBCR (2023)  
• IN DWELLING UNITS, WHERE THE BOTTOM OF THE CLEAR OPENING OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24" ABOVE FINISH FLOOR AND GREATER THAN 12" FINISHED GRADE MUST COMPLY WITH FBCR 312.2

**EERO- R310.2.1- FBCR2023**

SH25	NET CLEAR OPNG. HEIGHT 32' X NET CLEAR OPNG. WIDTH 21 1/2' = 6.119 SQFT	NET CLEAR OPENING OF NOT LESS THAN 5.7 SQFT MIN. NET CLEAR OPNG. HEIGHT DIMENSION SHALL BE 24'. THE MIN. NET CLEAR OPNG. WIDTH DIMENSION SHALL BE 20'. MIN. NET CLEBR OPNG. FOR GRADE-FLOOR EMERGENCY ESCAPE AND RESCUE OPNG. SHALL BE- 5 SQFT
SH25	63" H. X 31" W. WDW SIZE	



**UPPER FLOOR PLAN W/ NOTES "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS

NOTE: SEE FINAL COLOR SHEET FOR FLOORING INFO

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME THE PEMBROKE

2380 THE PEMBROKE

DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET 05C OF SHEETS

REVISIONS BY  
05-16-19 JF

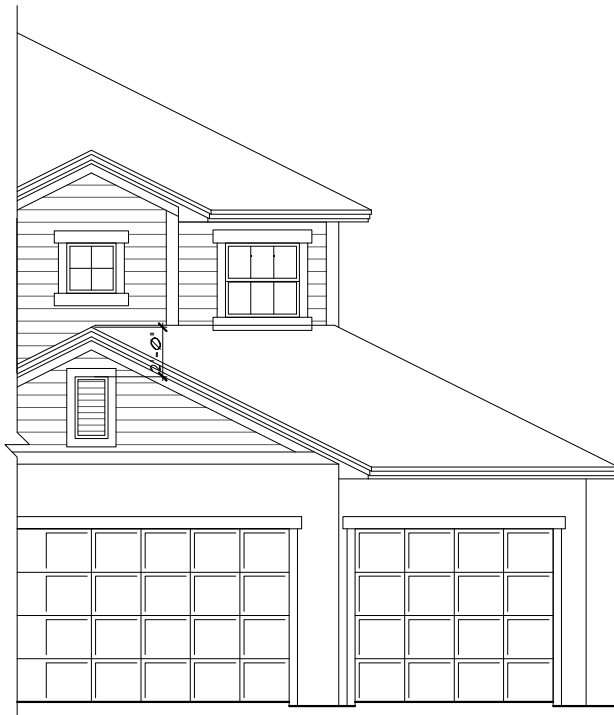
A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
5200 Vineland Road, Suite 200  
Orlando, Florida, 32811  
Phone: (407) 529-3000

UPPER FLOOR PLAN W/ NOTES

FLORIDA SERIES  
ITEG  
PARK SQUARE HOMES

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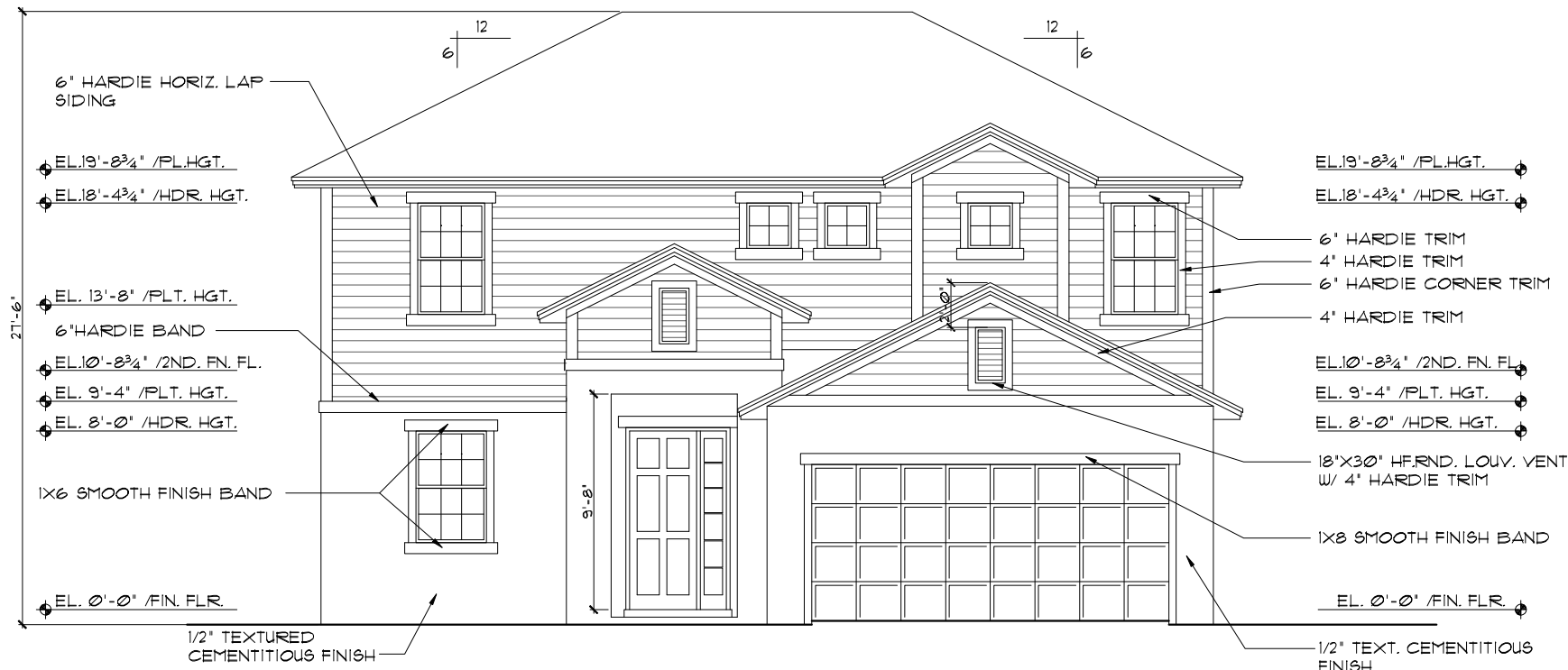
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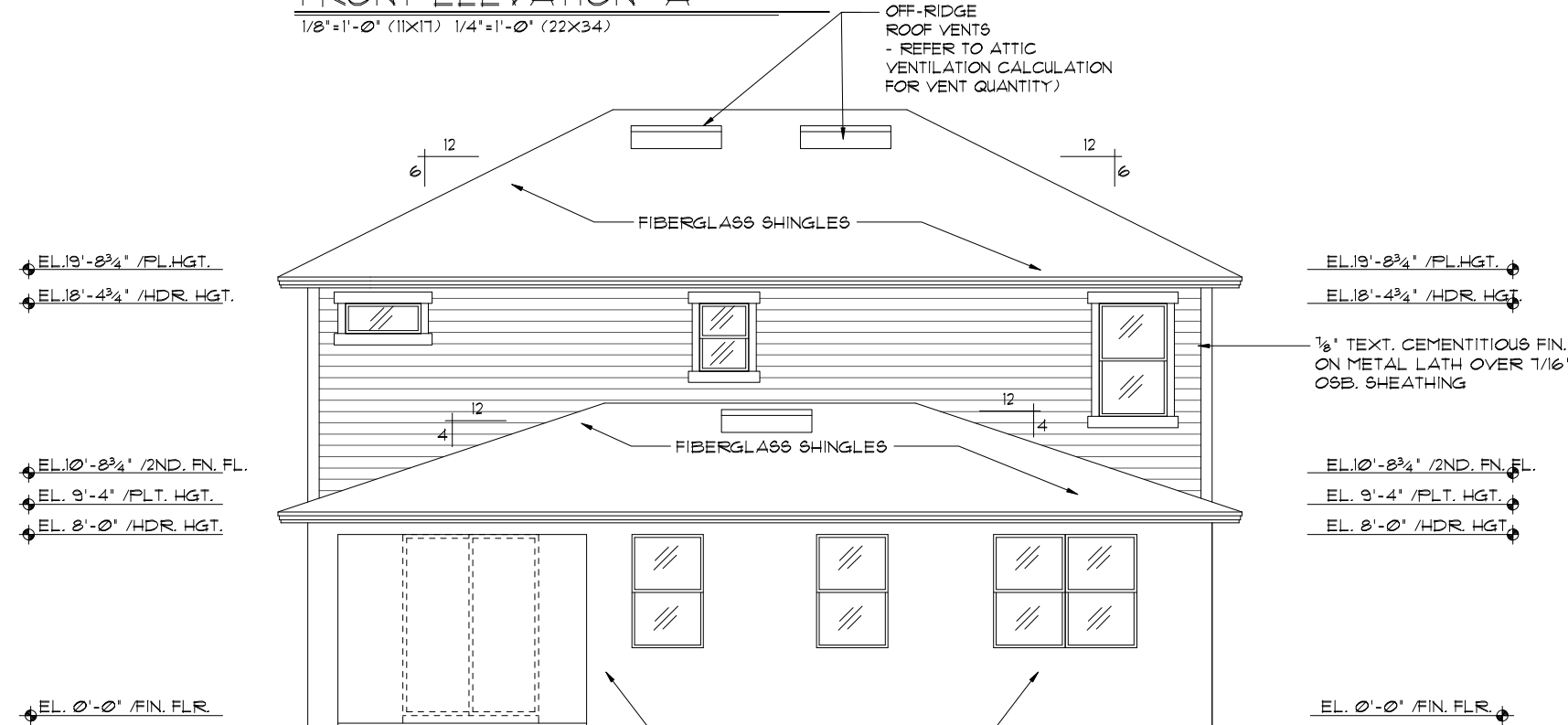
**3-CAR GAR. OPTION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**EXTERIOR FINISH NOTES**

- LATH TO BE ATTACHED IAW R703.1.1 OF THE 8TH EDITION, FBCR 2023 - ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIAL. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1-1/2 INCH 11 GAGE NAILS HAVING A 7/16 INCH HEAD, OR 1 1/2 INCH LONG 16 GAGE STAPLES SPACED IN ACCORDANCE WITH ASTM C1063 OR C1181 OR AS OTHERWISE APPROVED.
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R703.1.2 OF THE 8TH EDITION, FBCR 2023
- WEEP SCREED TO BE INSTALLED IAW R703.1.2.1 OF THE 8TH EDITION, FBCR 2023- MINIMUM NO 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. THE WEATHER RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R703.1.3 OF THE 8TH EDITION, FBCR 2023- INSTALLED OVER WOOD BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER EQUIVALENT TO 2 LAYERS OF GRADE D PAPER
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- UNDERLAYMENT REQUIREMENTS MUST BE IAW R905.1.1 OF THE 8TH EDITION, FBCR 2023 -  
 R905.1.1 Underlayment.  
 Underlayment for roof slopes 2:12 and greater shall conform to the applicable standards listed in this chapter.  
 Underlayment materials required to comply with ASTM D226, D1910, D4269 and D6751, OR ASTM D8251 shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated. Underlayment for roof slopes 2:12 and greater shall be applied and attached in accordance with Section R905.1.1.1, R905.1.1.2 as applicable.



**FRONT ELEVATION "A"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

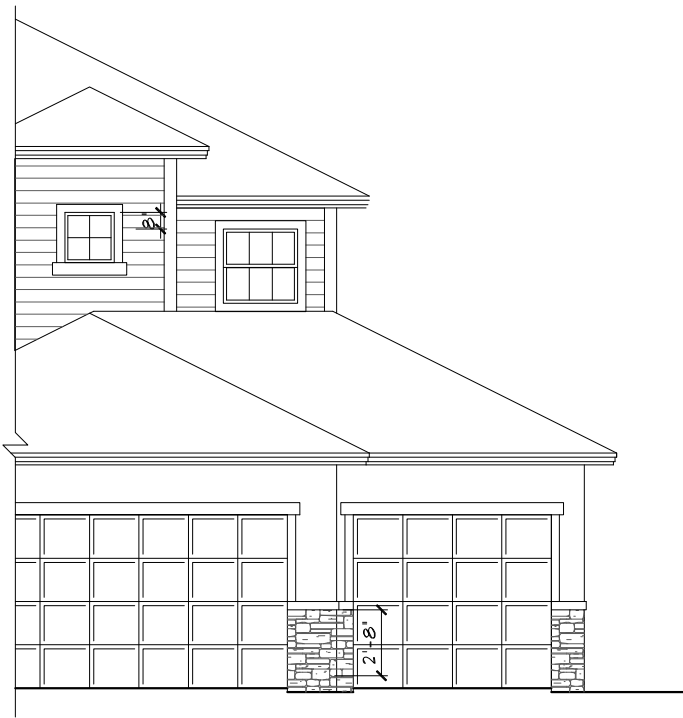


**REAR ELEVATION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

LOT: 0000, COMMUNITY NAME: THE PEMBROKE  
 2380  
 EXTERIOR ELEVATION FRONT AND REAR  
 FLORIDA SERIES  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529-3000	REVISIONS 05-16-19 JF
DATE: 04-6-12 SCALE: AS NOTED DRAWN: RDC JOB: 2382 SHEET: 06A OF SHEETS	

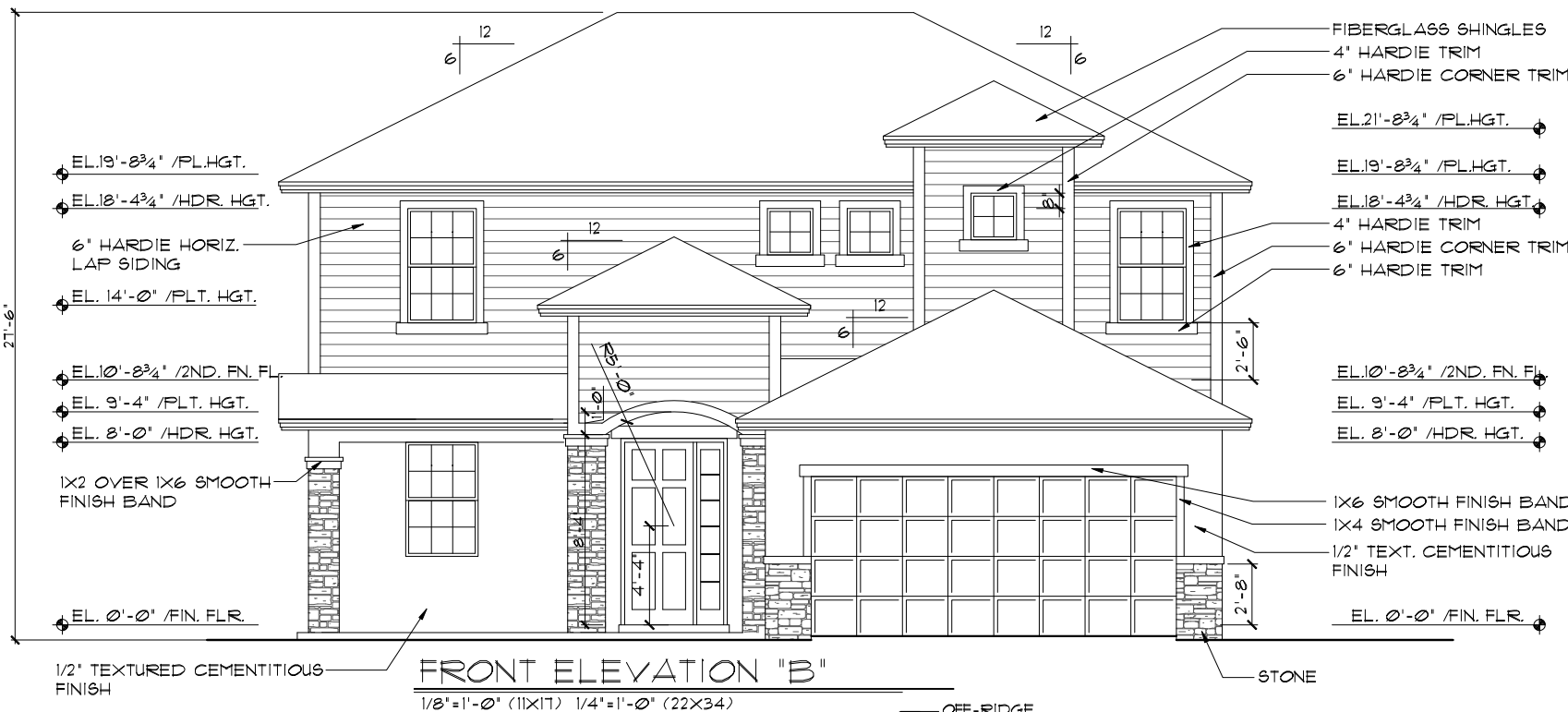




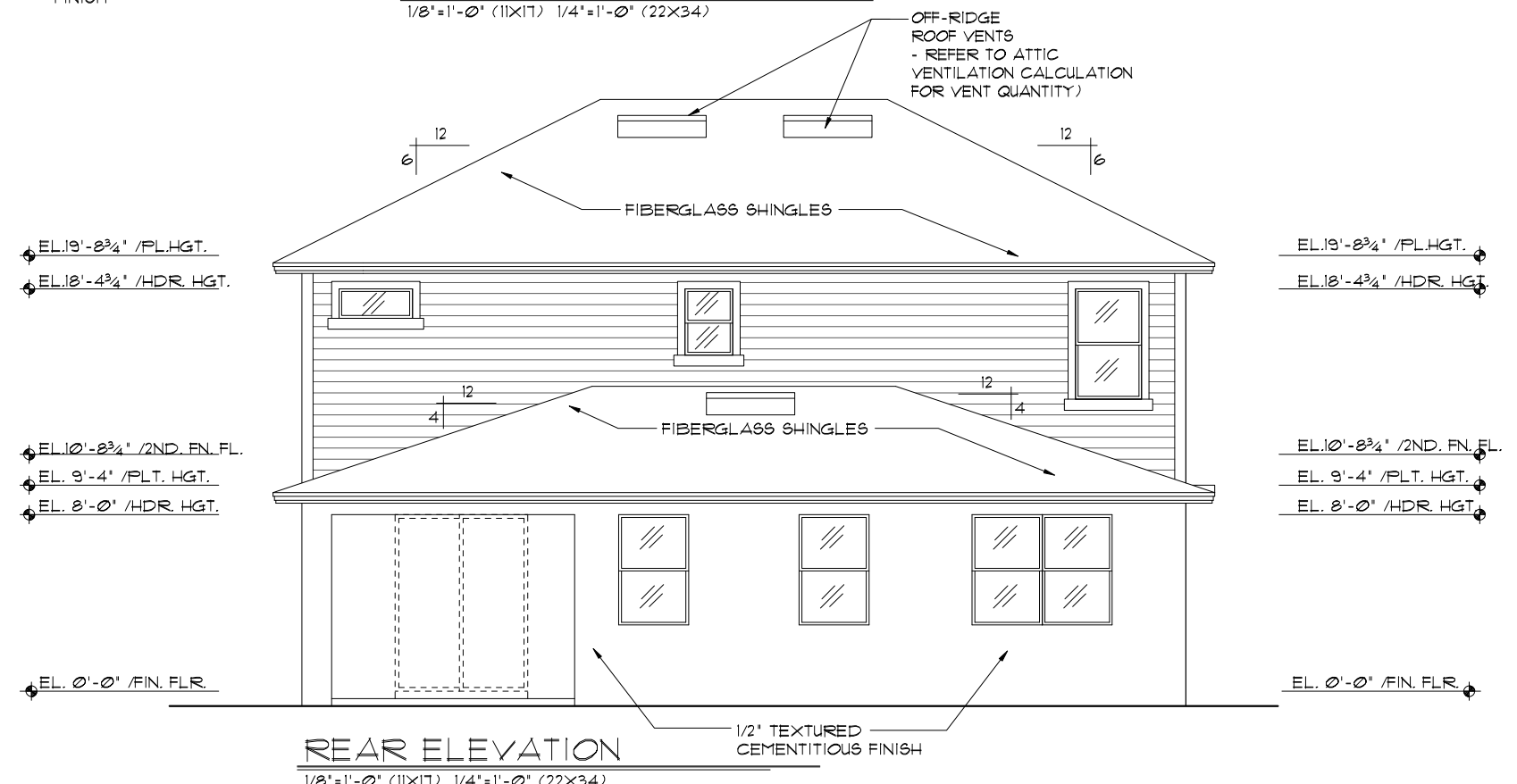
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**EXTERIOR FINISH NOTES**

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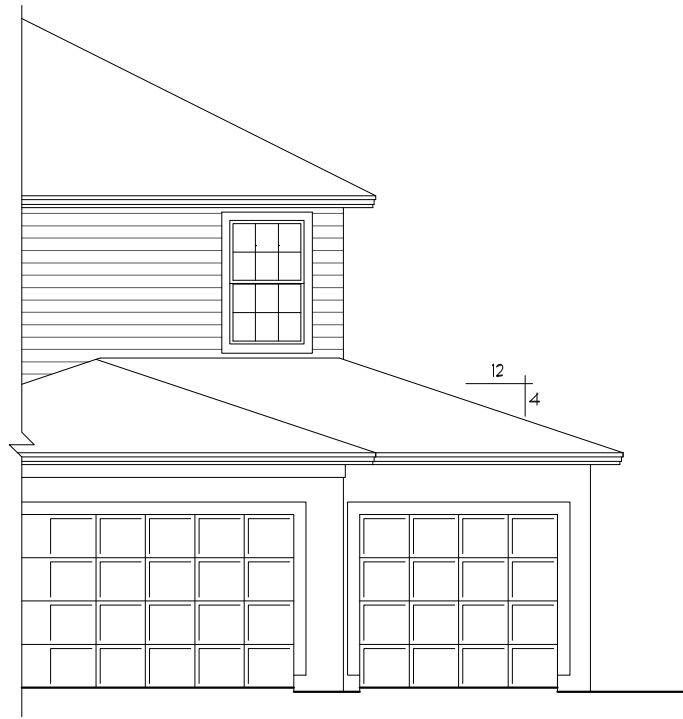
**FRONT ELEVATION "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**REAR ELEVATION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH  
**LOT: 0000, COMMUNITY NAME**  
**FLORIDA SERIES**

<p> <b>ITEG</b>  <small>INTERNATIONAL ENGINEERING GROUP, INC.</small>  <small>5200 Vlneland Road, Suite 200</small>  <small>Orlando, Florida 32811</small>  <small>Phone: (407) 734-1790</small>  <small>www.iteg.com</small> </p>		<p> <b>REVISIONS</b>          05-16-19          JF       </p>
<p> <b>Park Square HOMES</b>  <small>A DIVISION OF PARK SQUARE ENTERPRISES, INC.</small>  <small>5200 Vlneland Road, Suite 200</small>  <small>Orlando, Florida 32811</small>  <small>Phone: (407) 529-3000</small> </p>		
<p> <b>EXTERIOR ELEVATION</b>  <b>FRONT AND REAR</b> </p>		
<p> <b>2380</b>  <b>THE PEMBROKE</b> </p>		
DATE	04-6-12	
SCALE	AS NOTED	
DRAWN	RDC	
JOB	2382	
SHEET	OF 06 DB SHEETS	



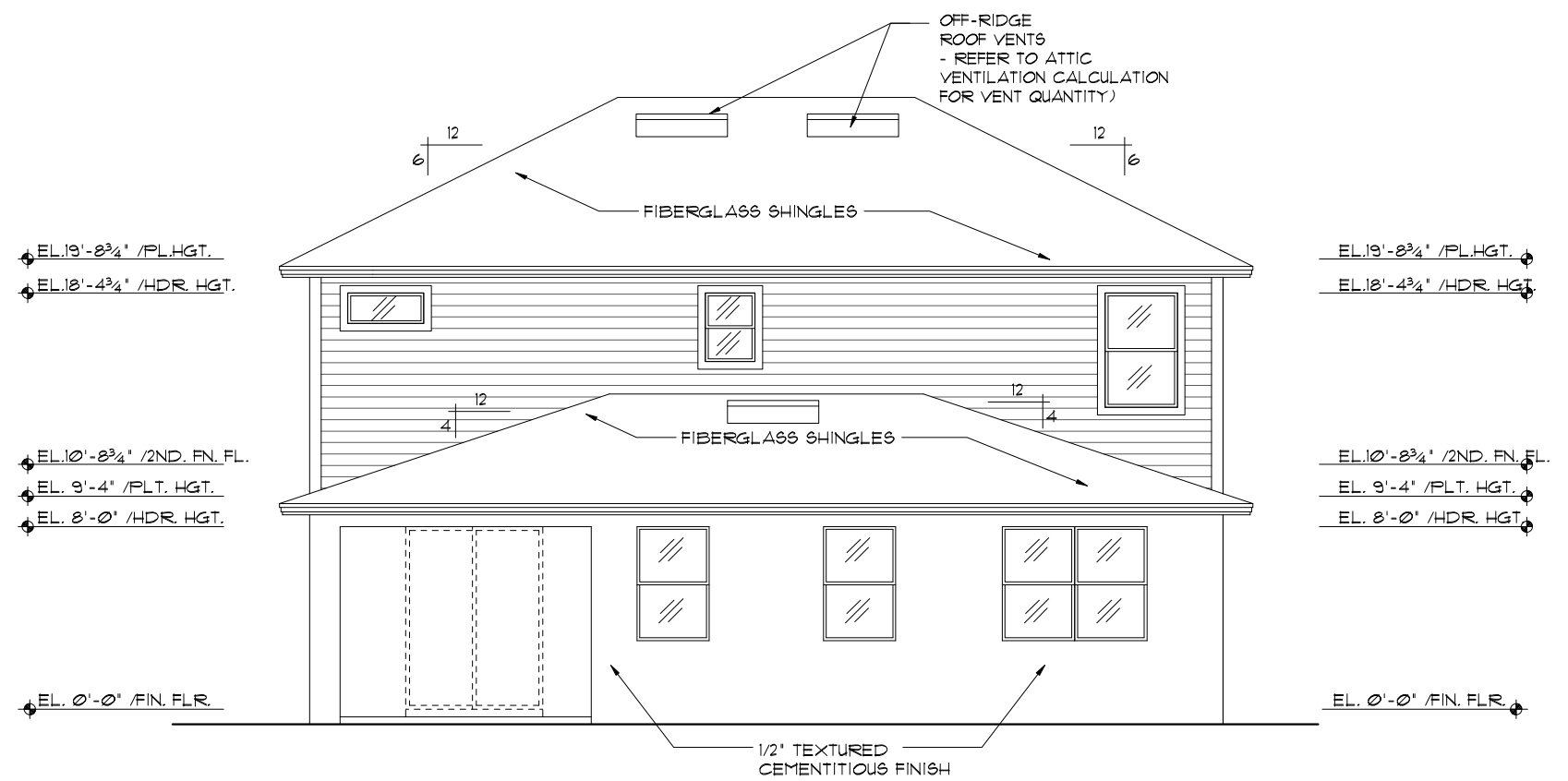
**3-CAR GAR. OPTION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**FRONT ELEVATION "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**EXTERIOR FINISH NOTES**

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**REAR ELEVATION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME THE PEMBROKE

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

REVISIONS

REVISIONS	BY
05-16-19	JF

**ITEG**  
 ITHAMSON ENGINEERING GROUP, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Tel: (407) 734-1490  
 Fax: (407) 734-1790  
 www.iteg.com

A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

**Park Square HOMES**

EXTERIOR ELEVATION FRONT AND REAR

2380

DATE 04-6-12

SCALE AS NOTED

DRAWN RDC

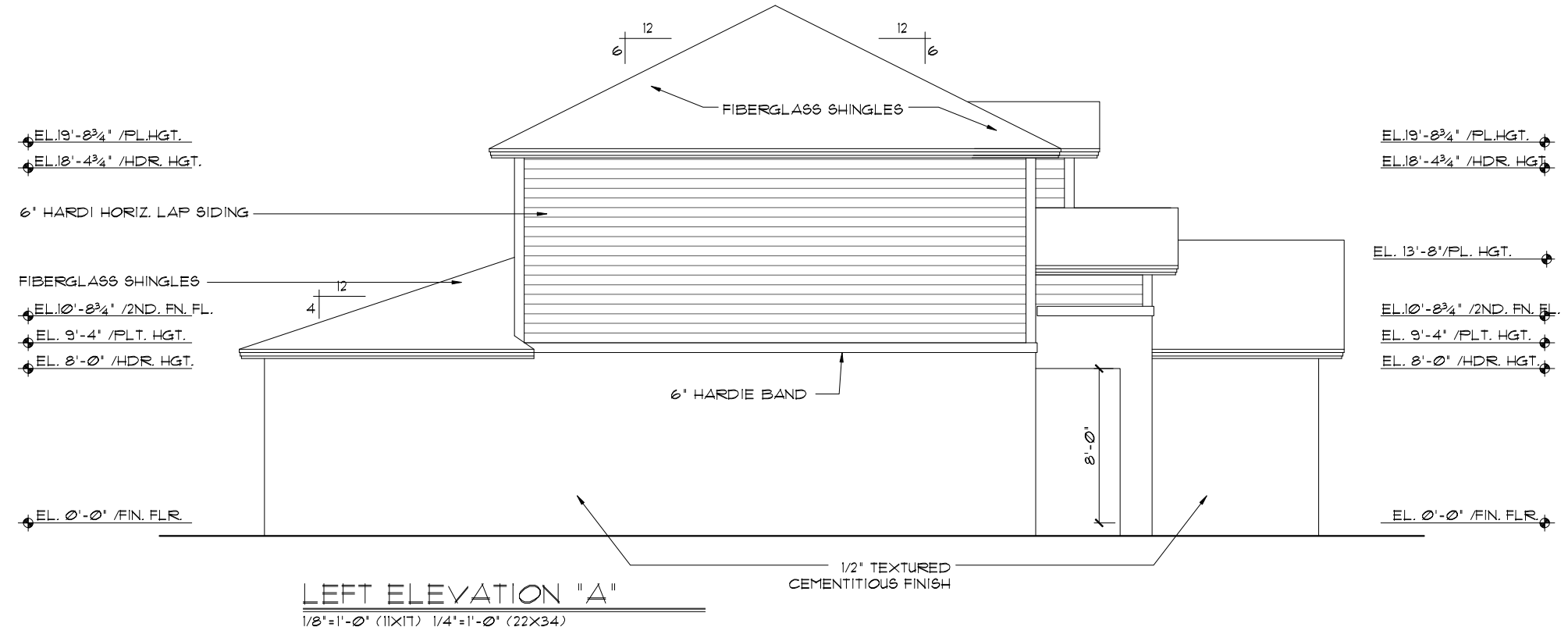
JOB 2382

SHEET 06C OF SHEETS

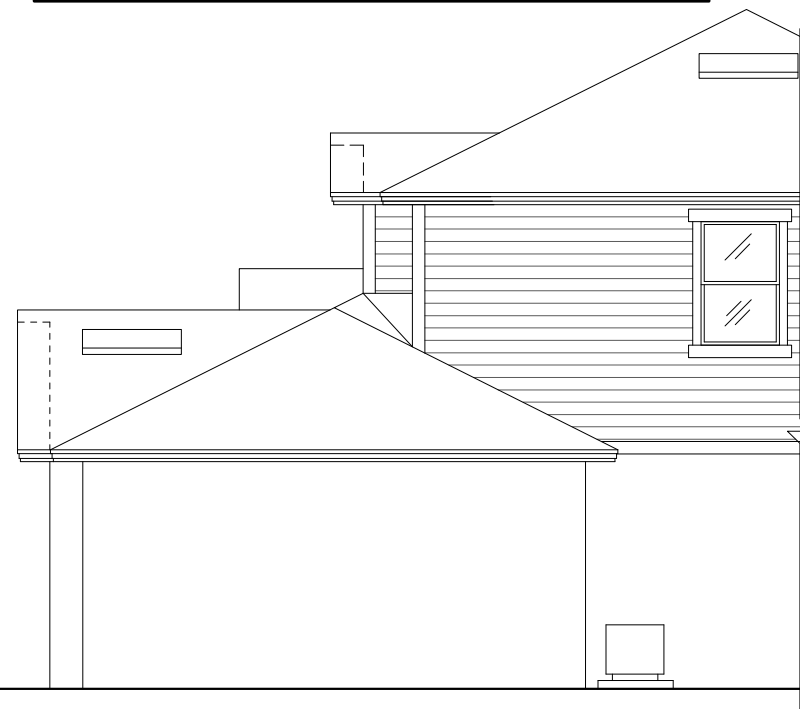
**EXTERIOR FINISH NOTES**

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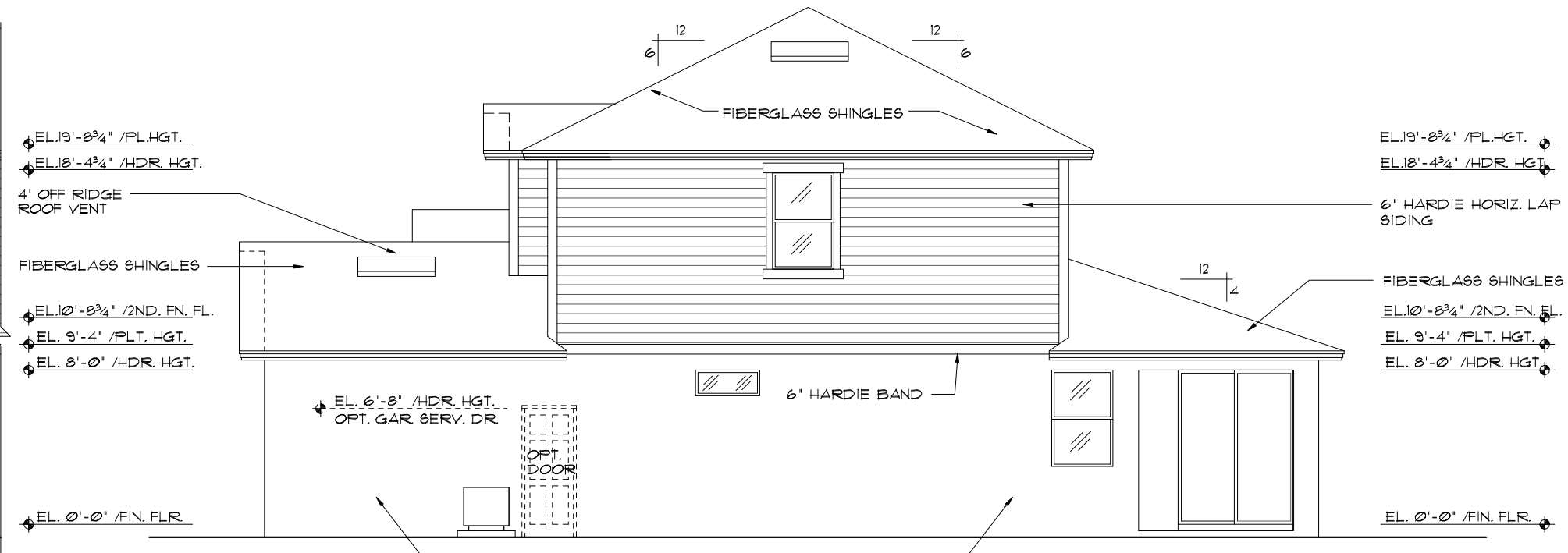
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**LEFT ELEVATION "A"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**3-CAR GARAGE OPTION**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



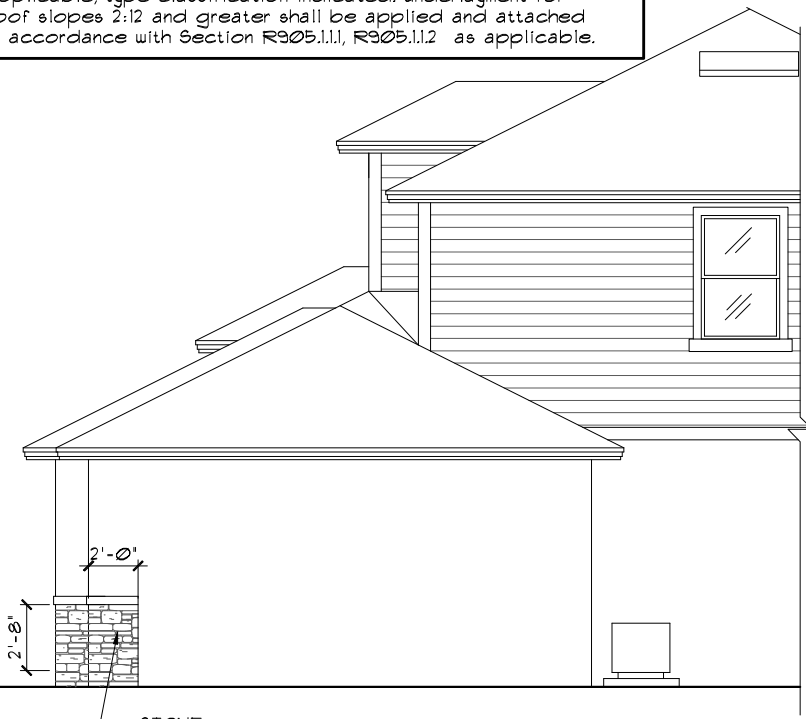
**RIGHT ELEVATION "A"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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**LOT: 0000, COMMUNITY NAME**  
**FLORIDA SERIES**

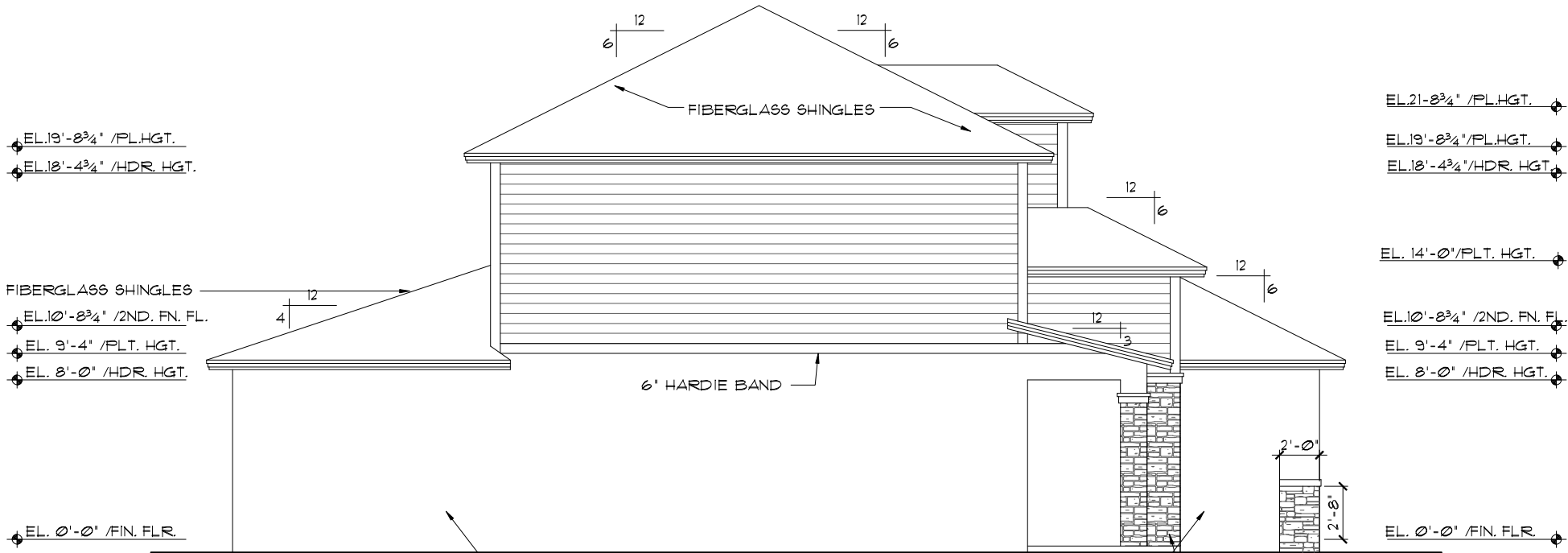
<b>ITEG</b> ITCORPORATION ENGINEERING GROUP, INC. 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 734-1700 www.iteg.com	
REVISIONS 05-16-19 JF	BY
A DIVISION OF PARK SQUARE ENTERPRISES, INC. <b>Park Square HOMES</b> 5200 Vineland Road, Suite 200 Orlando, Florida 32811 Phone: (407) 529-3000	
<b>EXTERIOR ELEVATION LEFT AND RIGHT</b>	
2380 <b>THE PEMBROKE</b>	
DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	07A
OF	SHEETS

**EXTERIOR FINISH NOTES**

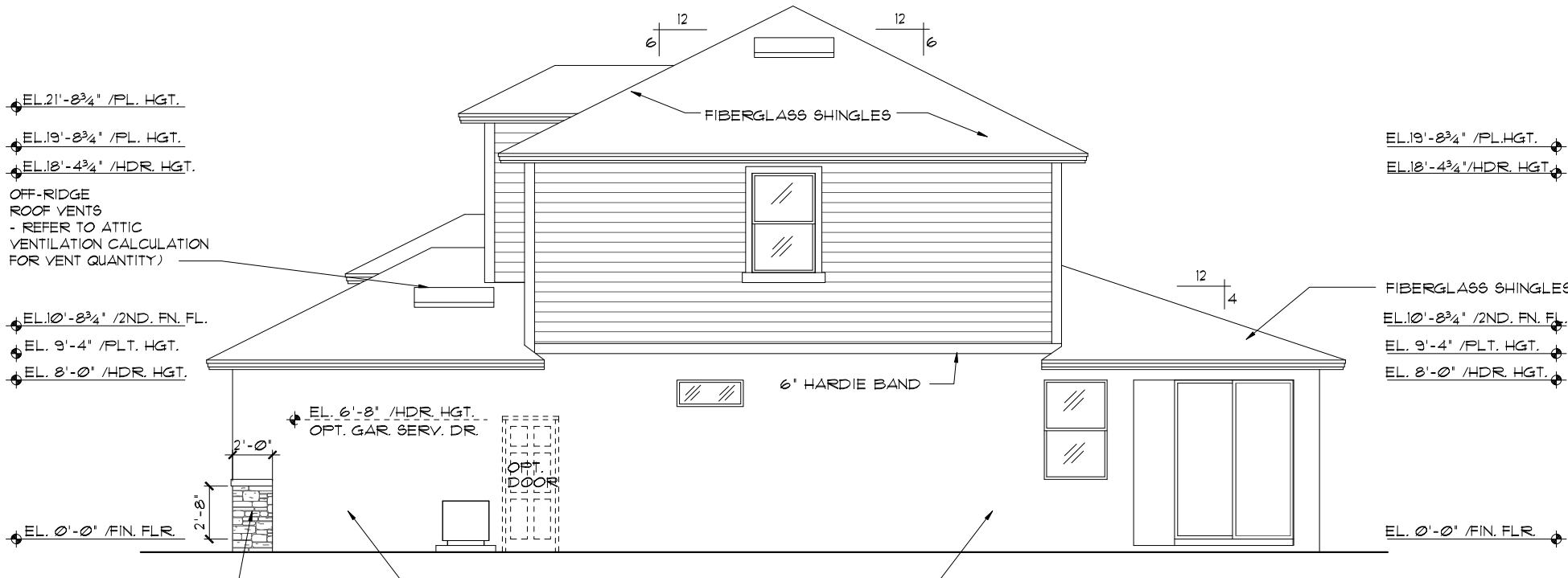
- LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBCR 2023 - ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIAL. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1-1/2 INCH 11 GAGE NAILS HAVING A 7/16 INCH HEAD, OR 1 1/2 INCH LONG 16 GAGE STAPLES SPACED IN ACCORDANCE WITH ASTM C1063 OR C1181 OR AS OTHERWISE APPROVED.
- PLASTERING TO BE WITH PORTLAND CEMENT, INSTALLED IAW R103.1.2 OF THE 8TH EDITION, FBCR 2023
- WEEP SCREED TO BE INSTALLED IAW R103.1.2.1 OF THE 8TH EDITION, FBCR 2023- MINIMUM NO 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES SHALL BE PROVIDED AT OR BELOW THE PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE THE EARTH OR 2 INCHES ABOVE PAVED AREAS. THE WEATHER RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
- WATER RESISTANT BARRIER TO BE INSTALLED IAW R103.1.3 OF THE 8TH EDITION, FBCR 2023- INSTALLED OVER WOOD BASED SHEATHING SHALL INCLUDE A WATER RESISTIVE VAPOR PERMEABLE BARRIER EQUIVALENT TO 2 LAYERS OF GRADE D PAPER
- "ZIP SYSTEMS" WALL SHEATHING MAY BE USED AS AN ALTERNATIVE FOR WALL SHEATHING AND VAPOR BARRIER, ON EXTERIOR WALLS.
- STUCCO APPLICATION MUST BE IAW R103.1.4 OF THE 8TH EDITION, FBCR 2023 OR EXCEPTION : APPLICATION INSTALLED IN ACCORDANCE WITH ASTM C 926
- UNDERLAYMENT REQUIREMENTS MUST BE IAW R905.1.1 OF THE 8TH EDITION, FBCR 2023 -  
 R905.1.1 Underlayment.  
 Underlayment for roof slopes 2:12 and greater shall conform to the applicable standards listed in this chapter.  
 Underlayment materials required to comply with ASTM D226, D1970, D4869 and D6757, OR ASTM D8257 shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated. Underlayment for roof slopes 2:12 and greater shall be applied and attached in accordance with Section R905.1.1.1, R905.1.1.2 as applicable.



**3-CAR GARAGE OPTION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**LEFT ELEVATION "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**RIGHT ELEVATION "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

- EL.21'-8 3/4" /PL.HGT.
- EL.19'-8 3/4" /PL.HGT.
- EL.18'-4 3/4" /HDR. HGT.
- EL.14'-0" /PLT. HGT.
- EL.10'-8 3/4" /2ND. FN. FL.
- EL.9'-4" /PLT. HGT.
- EL.8'-0" /HDR. HGT.
- EL.0'-0" /FIN. FLR.

- EL.21'-8 3/4" /PL. HGT.
- EL.19'-8 3/4" /PL. HGT.
- EL.18'-4 3/4" /HDR. HGT.
- EL.10'-8 3/4" /2ND. FN. FL.
- EL.9'-4" /PLT. HGT.
- EL.8'-0" /HDR. HGT.
- EL.0'-0" /FIN. FLR.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME: FLORIDA SERIES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vneiland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000

EXTERIOR ELEVATION LEFT AND RIGHT

2380 THE PEMBROKE

REVISIONS	BY
05-16-19	JF

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 07B OF SHEETS

**EXTERIOR FINISH NOTES**

- LATH TO BE ATTACHED IAW R103.1.1 OF THE 8TH EDITION, FBCR 2023 - ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIAL. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1-1/2 INCH 11 GAGE NAILS HAVING A 7/16 INCH HEAD, OR 1 1/2 INCH LONG 16 GAGE STAPLES SPACED IN ACCORDANCE WITH ASTM C1063 OR C1181 OR AS OTHERWISE APPROVED.
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EL.19'-8 3/4" /PL.HGT.  
 EL.18'-4 3/4" /HDR. HGT.

FIBERGLASS SHINGLES  
 EL.10'-8 3/4" /2ND. FN. FL.  
 EL. 9'-4" /PLT. HGT.  
 EL. 8'-0" /HDR. HGT.

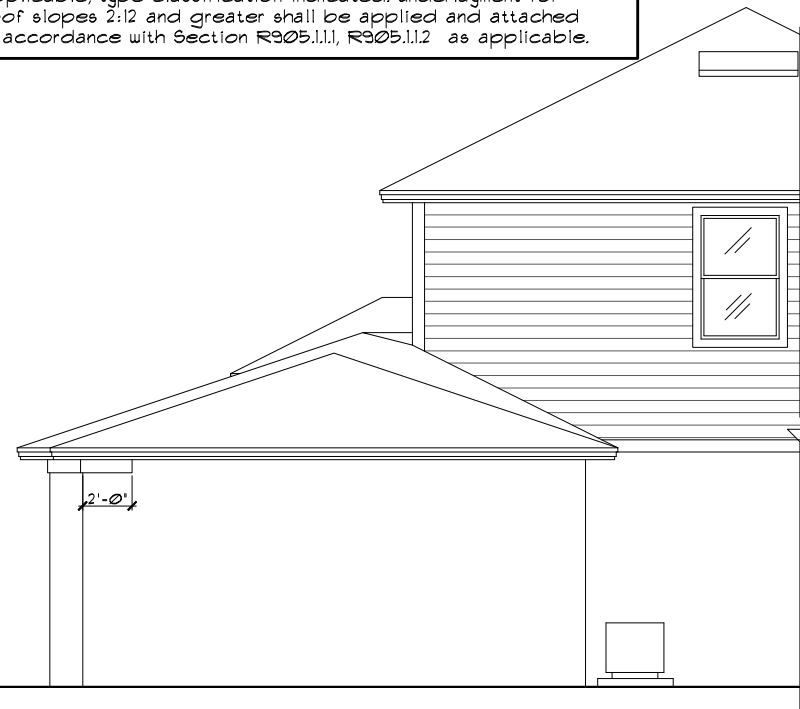
EL. 0'-0" /FIN. FLR.

**LEFT ELEVATION "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EL.19'-8 3/4" /PL.HGT.  
 EL.18'-4 3/4" /HDR. HGT.

EL. 13'-8" /PL.HGT.  
 EL.10'-8 3/4" /2ND. FN. FL.  
 EL. 9'-4" /PLT. HGT.  
 EL. 8'-0" /HDR. HGT.

EL. 0'-0" /FIN. FLR.

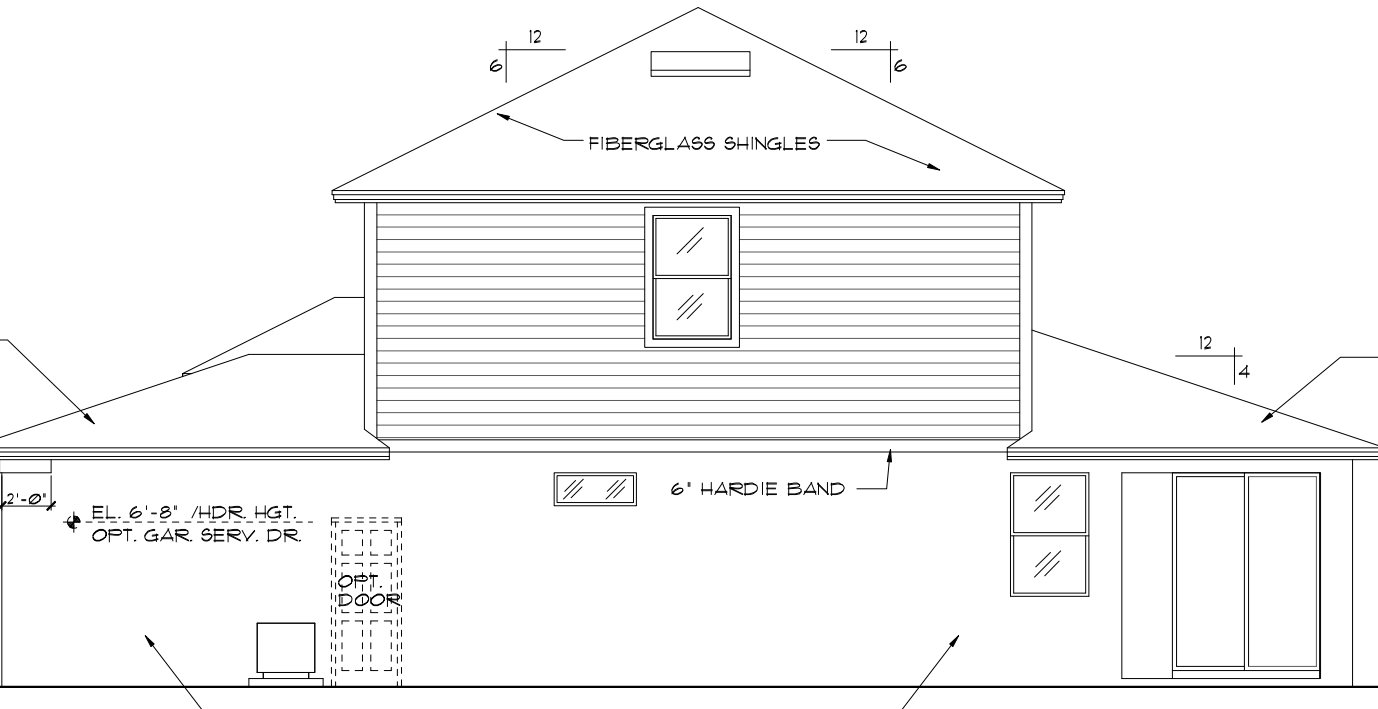


**3-CAR GARAGE OPTION**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EL.19'-8 3/4" /PL.HGT.  
 EL.18'-4 3/4" /HDR. HGT.

FIBERGLASS SHINGLES  
 EL.10'-8 3/4" /2ND. FN. FL.  
 EL. 9'-4" /PLT. HGT.  
 EL. 8'-0" /HDR. HGT.

EL. 0'-0" /FIN. FLR.



**RIGHT ELEVATION "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

EL.19'-8 3/4" /PL.HGT.  
 EL.18'-4 3/4" /HDR. HGT.

FIBERGLASS SHINGLES  
 EL.10'-8 3/4" /2ND. FN. FL.  
 EL. 9'-4" /PLT. HGT.  
 EL. 8'-0" /HDR. HGT.

EL. 0'-0" /FIN. FLR.

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LOT: 0000, COMMUNITY NAME: FLORIDA SERIES

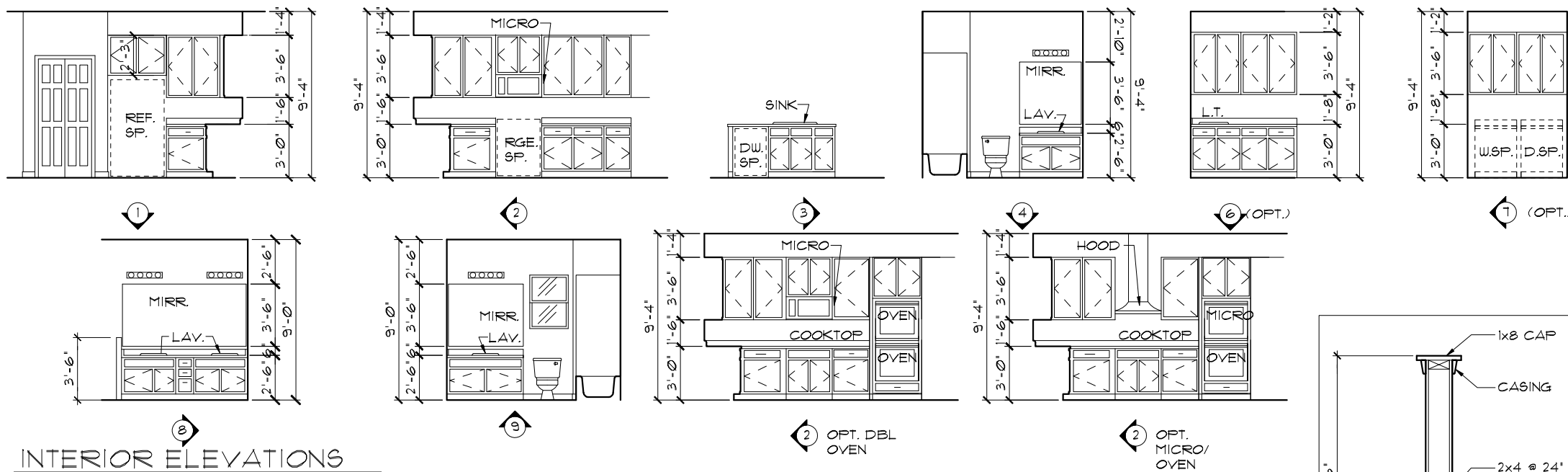
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 5200 Vlneland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000  
 www.parksquarehomes.com

REVISIONS	BY
05-16-19	JF

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 10000 W. Colonial Ave., Suite 100  
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 Tel: (407) 734-1400  
 Fax: (407) 734-1790  
 www.iteg.com

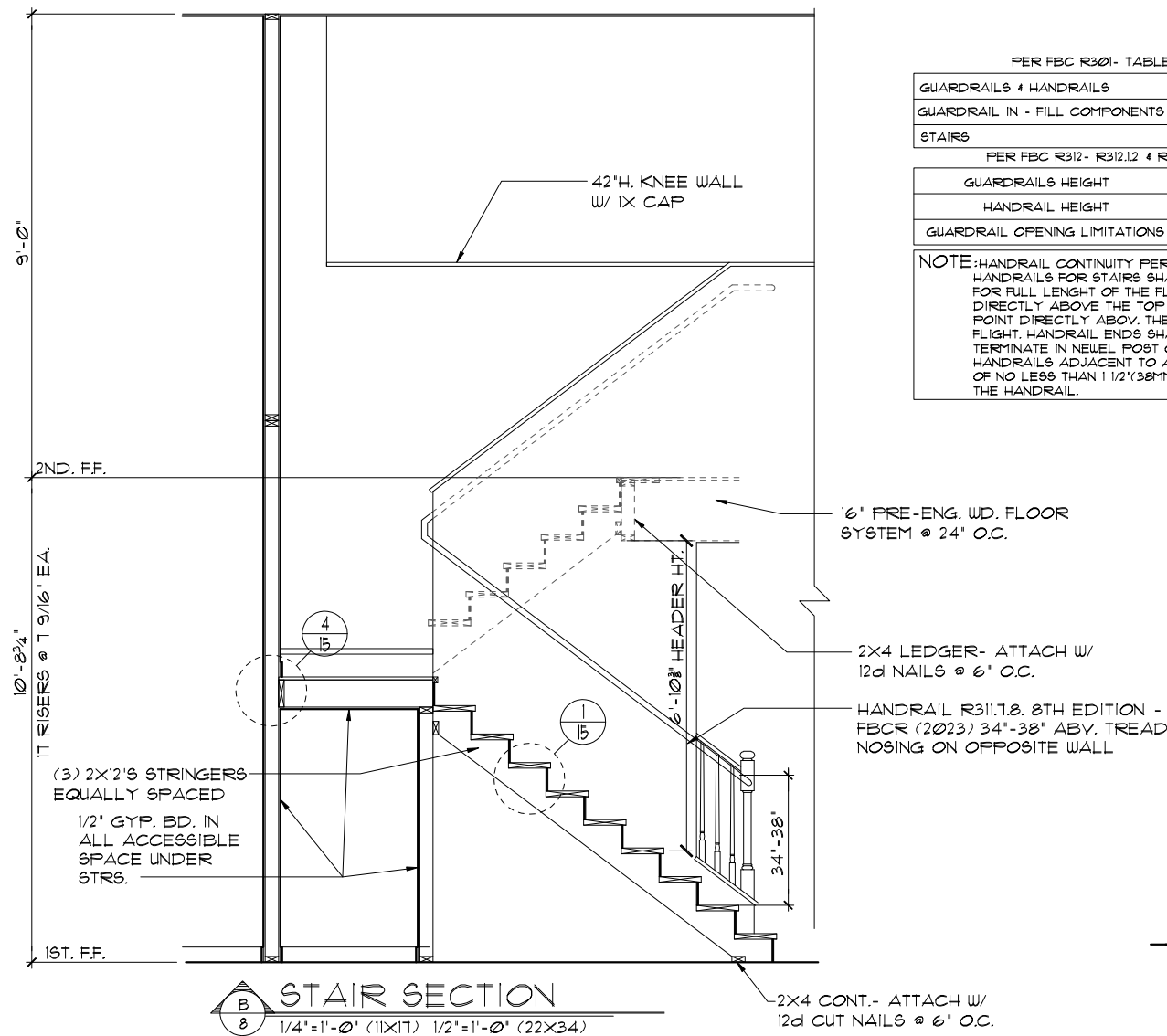
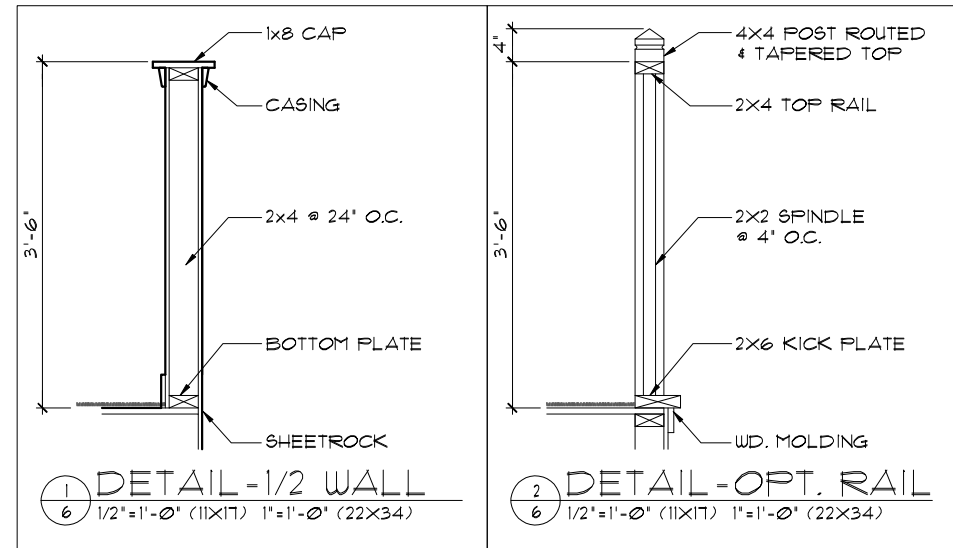
**Park Square HOMES**  
 2380 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	07C
OF	SHEETS



**INTERIOR ELEVATIONS**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)  
 NOTE: INTERIOR ELEVATIONS ARE CONCEPTUAL ONLY.  
 SEE CABINET SHOP DRAWINGS FOR FINAL VERIFICATION.



**STAIR SECTION**

1/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)

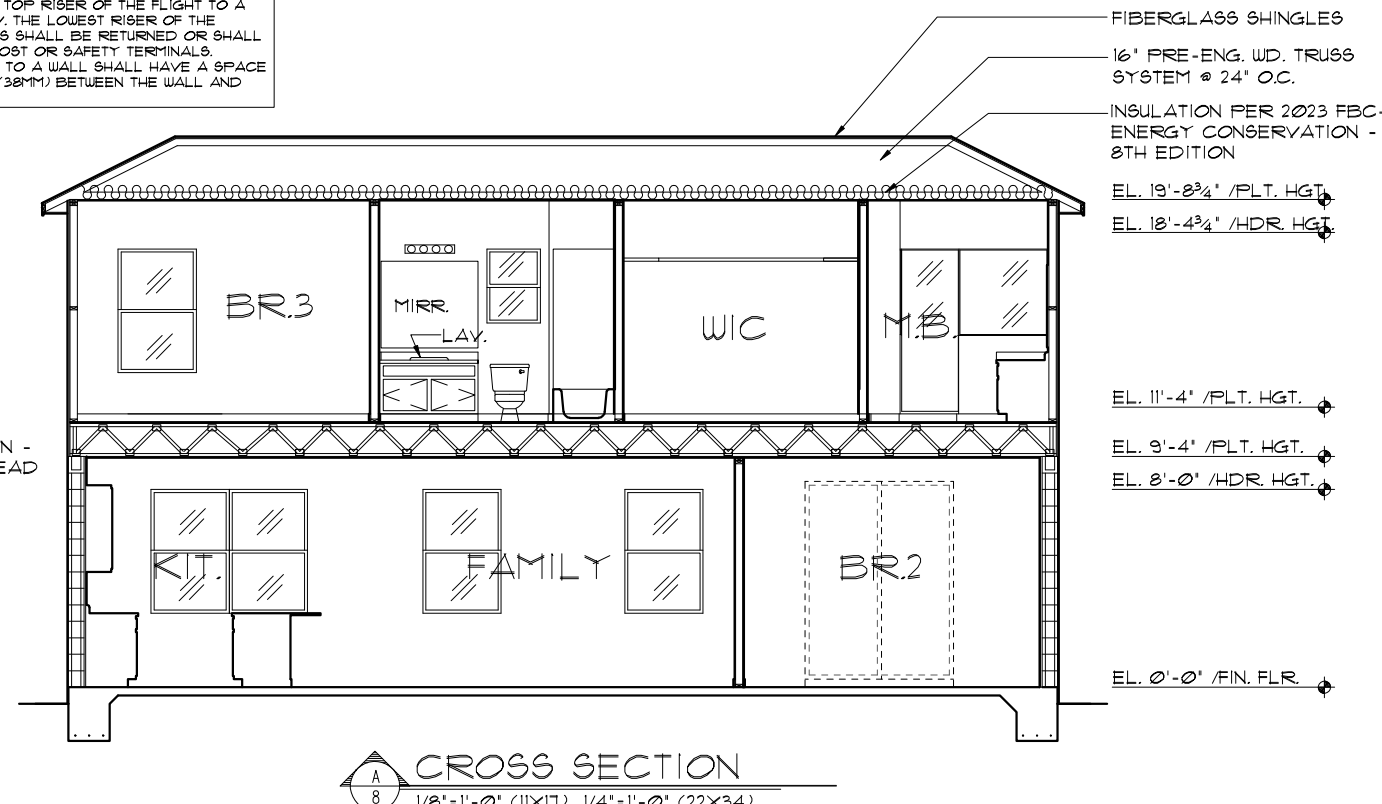
PER FBC R301- TABLE R301.5

GUARDRAILS & HANDRAILS	CONC. LOAD	200 LBS
GUARDRAIL IN - FILL COMPONENTS	CONC. LOAD	50 LBS
STAIRS	CONC. LOAD	300 LBS

PER FBC R312- R312.1.2 & R312.1.3 & R311.1.8.1

GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4" IN DIAMETER MAX.

NOTE: HANDRAIL CONTINUITY PER R311.1.8.2 - HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1/2" (38MM) BETWEEN THE WALL AND THE HANDRAIL.



**CROSS SECTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME: THE PEMBROKE

DATE: 04-6-12

SCALE: AS NOTED

DRAWN: RDC

JOB: 2382

SHEET: 08

OF SHEETS

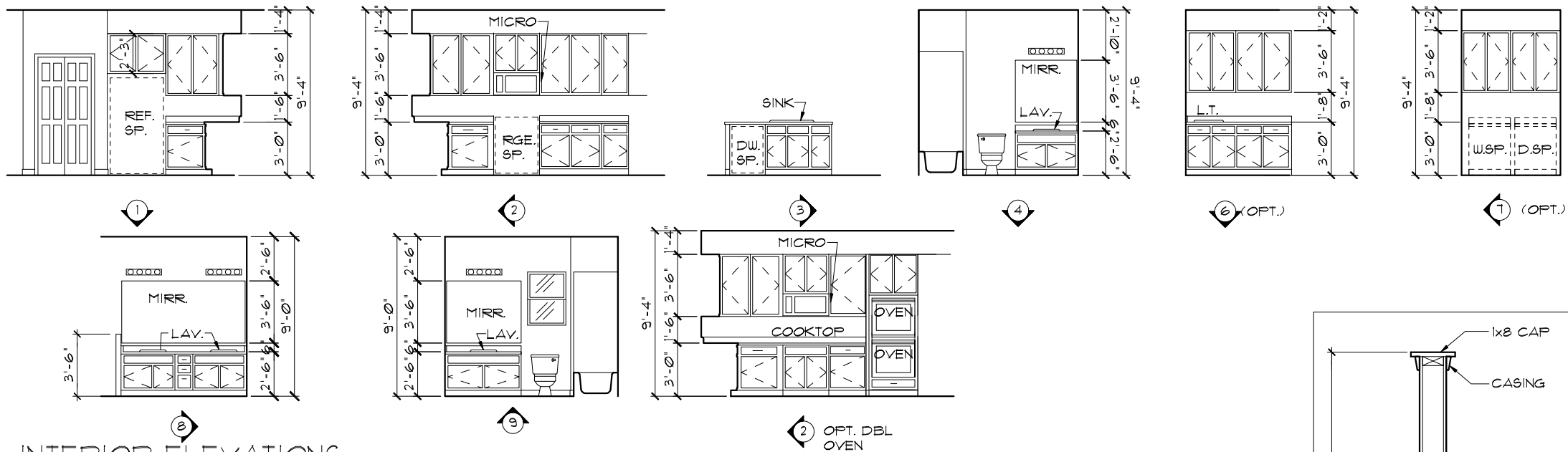
2380

THE PEMBROKE

INTERIOR ELEVATIONS/  
CROSS SECTION

FLORIDA SERIES

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**Park Square HOMES**



**INTERIOR ELEVATIONS**

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

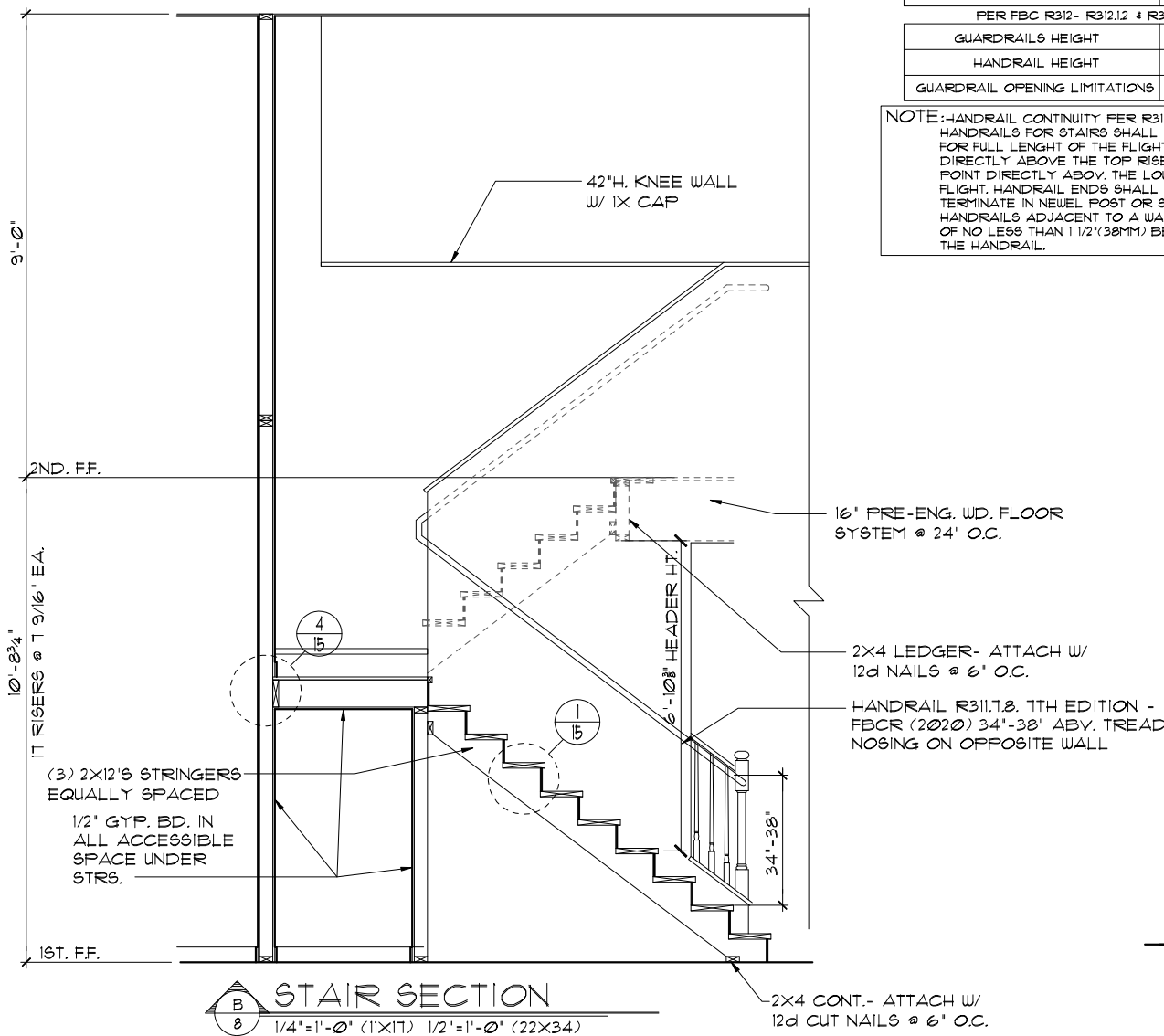
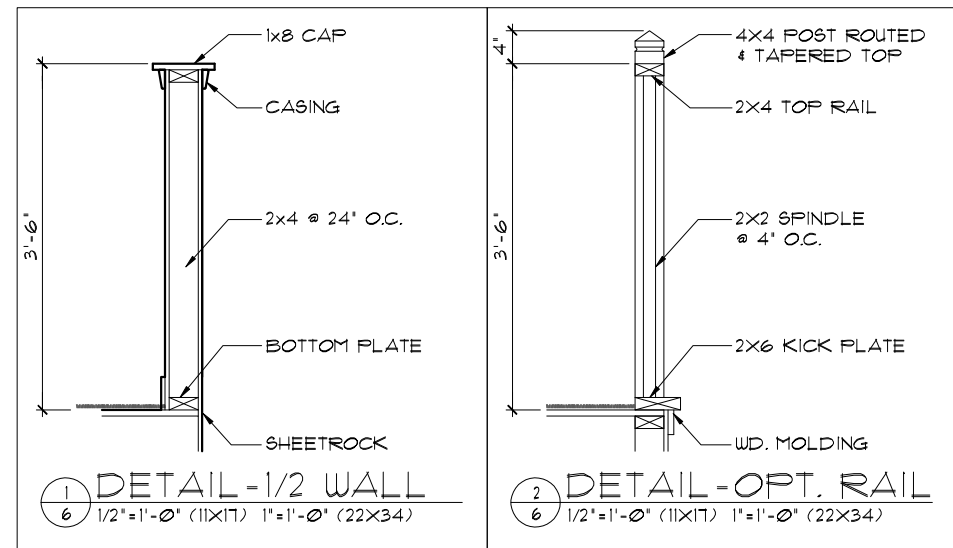
NOTE: INTERIOR ELEVATIONS ARE CONCEPTUAL ONLY. SEE CABINET SHOP DRAWINGS FOR FINAL VERIFICATION.

2 OPT. DBL OVEN

PER FBC R301- TABLE R301.5

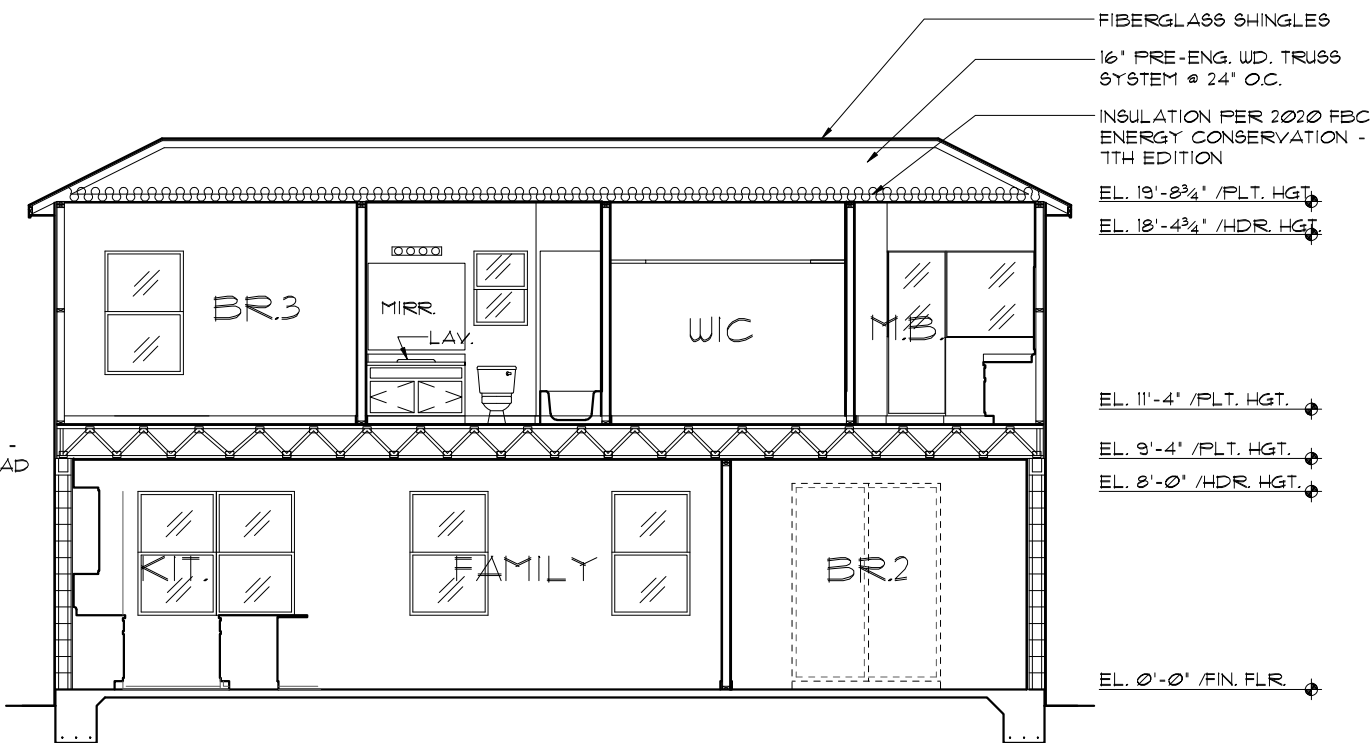
GUARDRAILS & HANDRAILS	200 F8F
GUARDRAIL IN-FILL COMPONENTS	50 F8F
PER FBC R312- R312.12 & R312.13 & R311.1.8.1	
GUARDRAILS HEIGHT	36" MIN.
HANDRAIL HEIGHT	34" MIN. TO 38" MAX.
GUARDRAIL OPENING LIMITATIONS	4" IN DIAMETER MAX.

NOTE: HANDRAIL CONTINUITY PER R311.1.8.2- HANDRAILS FOR STAIRS SHALL BE CONTINUOUS FOR FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEUEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NO LESS THAN 1 1/2" (38MM) BETWEEN THE WALL AND THE HANDRAIL.



**STAIR SECTION**

1/4" = 1'-0" (11X17) 1/2" = 1'-0" (22X34)



**CROSS SECTION**

1/8" = 1'-0" (11X17) 1/4" = 1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

INTERIOR ELEVATIONS/ CROSS SECTION

2380 THE PEMBROKE

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 08 OF SHEETS

REVISIONS BY  
 05-16-19 JF

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 HOOPER ENGINEERING GROUP, INC.  
 5200 Vneland Road, Suite 200  
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Park Square HOMES

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**MECHANICAL/GENERAL NOTES**

PER 8TH ED. 2023 FLA BLD. CODE-RESIDENTIAL  
 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.  
 A) CHAPTER 13 OF THE FBC-R 2023 8TH SECTION M1305.1

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2023 8TH EDITION.

4.) IAW NEC 2020- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DEN'S, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES AND LAUNDRY ROOM SHALL BE GFCI

7.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED. F2001.1

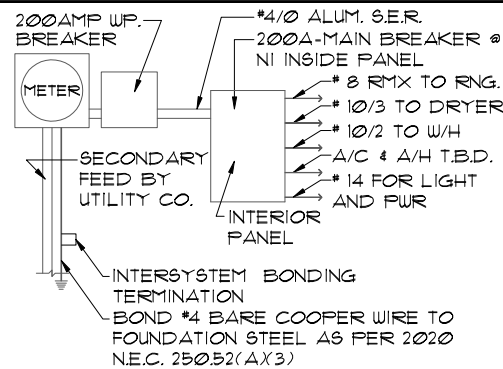
9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED.

10.) THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NFPA70-NEC 2020

12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPA70-NEC2020 - ARTICLE 210-52



**ELECTRICAL RISER DIAGRAM**

NOTE:  
 N.T.S.  
 ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

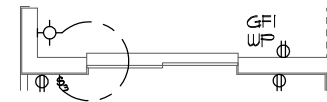
250.52(A)3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

There are two types of concrete-encased electrodes:  
 (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

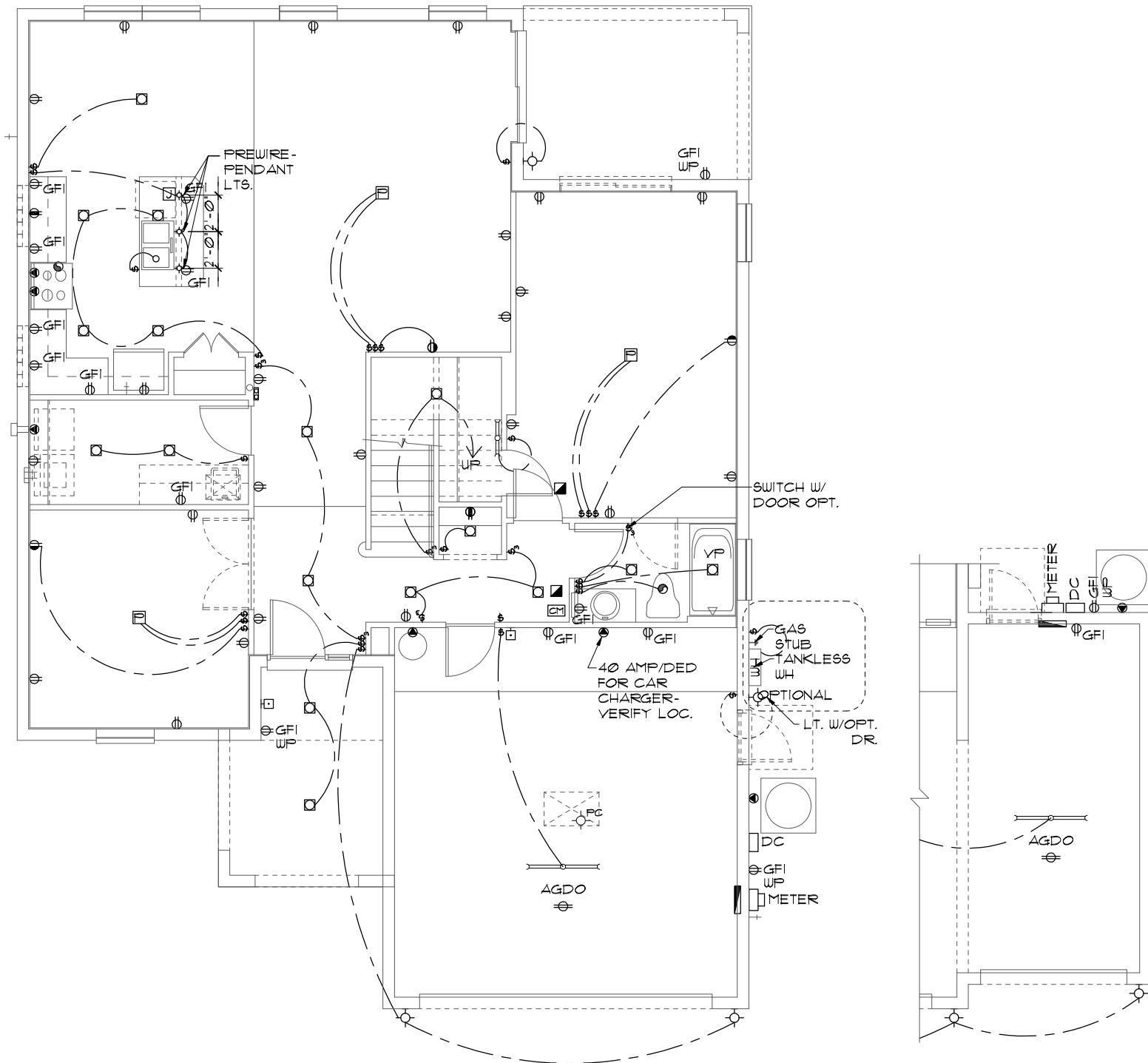
The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.



**S.G.D. OPTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**ELECTRICAL LEGEND**

⊞	SINGLE POLE SWITCH	⊞	OUTLET, TV/CABLE
⊞	THREE WAY SWITCH	⊞	OUTLET, PHONE
⊞	OUTLET 110-115	⊞	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊞	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR/SMOKE
⊞	OUT. 110-115, CLG. MOUNT.	⊞	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊞	SPCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊞	LIGHT FIXT., CLG. MTD.	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊞	LED LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., FULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LED LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

**ELECTRICAL PLAN "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**ELECTRICAL PLAN "A"/'C'/'D"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**3-CAR GAR. OPTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

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FIRST FLOOR ELECTRICAL PLAN	
2380 THE PEMBROKE	
DATE	04-6-12
SCALE	AS NOTED
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JOB	2382
SHEET	09
OF	SHEETS



**MECHANICAL/GENERAL NOTES**

PER 8TH ED. 2023 FLA BLD. CODE-RESIDENTIAL  
 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1

2.) APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.  
 A) CHAPTER 13 OF THE FBC-R 2023 8TH SECTION M1305.1

3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2023 8TH EDITION.

4.) IAW NEC 2020- 210.12-ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DEN'S, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.

5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.

6.) ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES AND LAUNDRY ROOM SHALL BE GFCI

7.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:  
**BRK: SMOKE-9120B, C/O- SC9120B**  
**KIDDE: SMOKE-21007581, C/O 21006377-N**

8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED. F2201.1

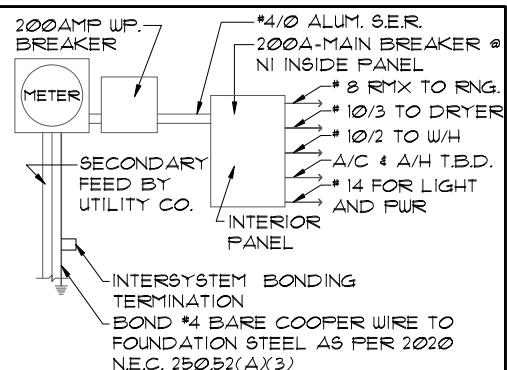
9.) ALL EQUIPMENT & APPLIANCES, INCLUDING WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED.

10.) THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3

11.) ALL ELECTRICAL WORK TO BE DONE PER NFPA70-NEC 2020

12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A)2)

12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPA70-NEC2020 - ARTICLE 210-52



**ELECTRICAL RISER DIAGRAM**

NOTE:  
 N.T.S.  
 ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

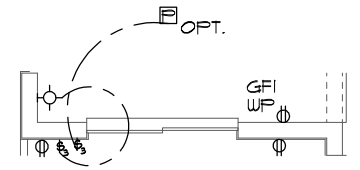
250.52(A)3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

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There are two types of concrete-encased electrodes:  
 (1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

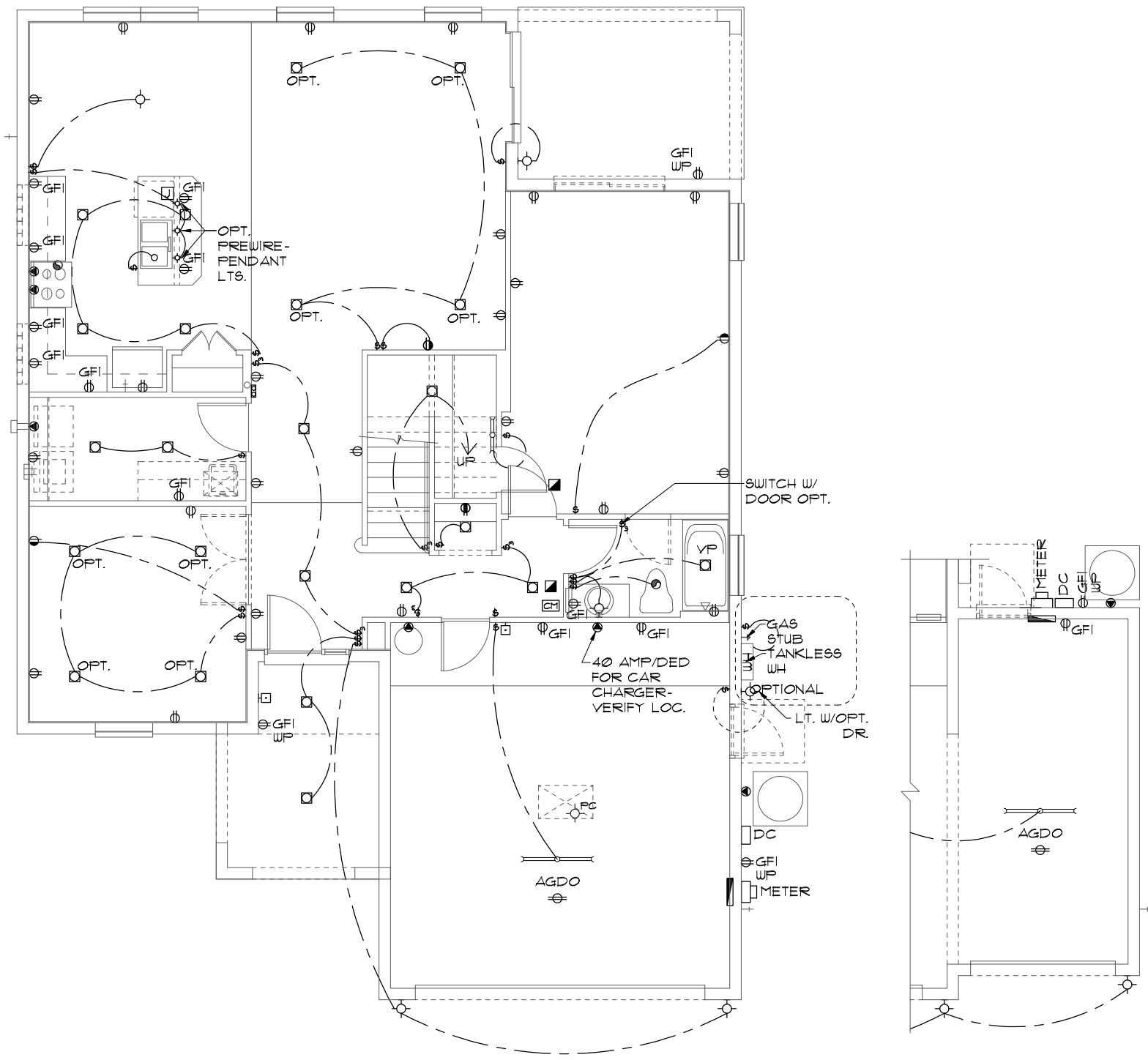
The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.



**S.G.D. OPTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



**3-CAR GAR. OPTION**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

ELECTRICAL LEGEND			
⊞	SINGLE POLE SWITCH	◀	OUTLET, TV/CABLE
⊞	THREE WAY SWITCH	◀	OUTLET, PHONE
⊞	OUTLET 110-115	◻	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊞	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR/SMOKE
⊞	OUT. 110-115, CLG. MOUNT.	⊞	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊞	SPCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊞	LIGHT FIXT., CLG. MTD.	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊞	LED LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., PULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LED LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

**ELECTRICAL PLAN "B"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**ELECTRICAL PLAN "A"/'C'/'D"**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

LOT: 0000, COMMUNITY NAME  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

**FLORIDA SERIES**  
**ITEG**  
 ITCORPORATION ENGINEERING GROUP, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida 32811  
 Phone: (407) 734-1700  
 www.iteg.com

**Park Square HOMES**  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida 32811  
 Phone: (407) 529 - 3000

**FIRST FLOOR ELECTRICAL PLAN**

2380  
**THE PEMBROKE**

REVISIONS	BY
05-16-19	JF

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 09 OF SHEETS

**MECHANICAL/GENERAL NOTES**

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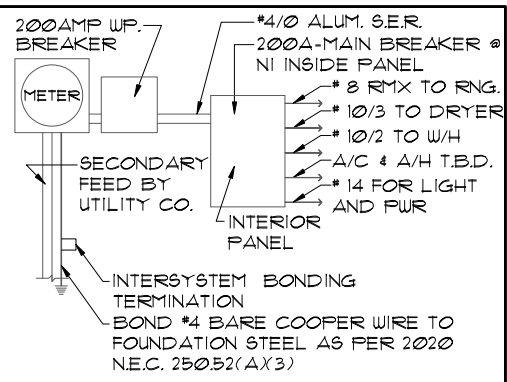
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12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFPA70-NEC2020 - ARTICLE 210-52



**ELECTRICAL RISER DIAGRAM**

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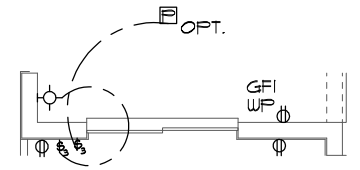
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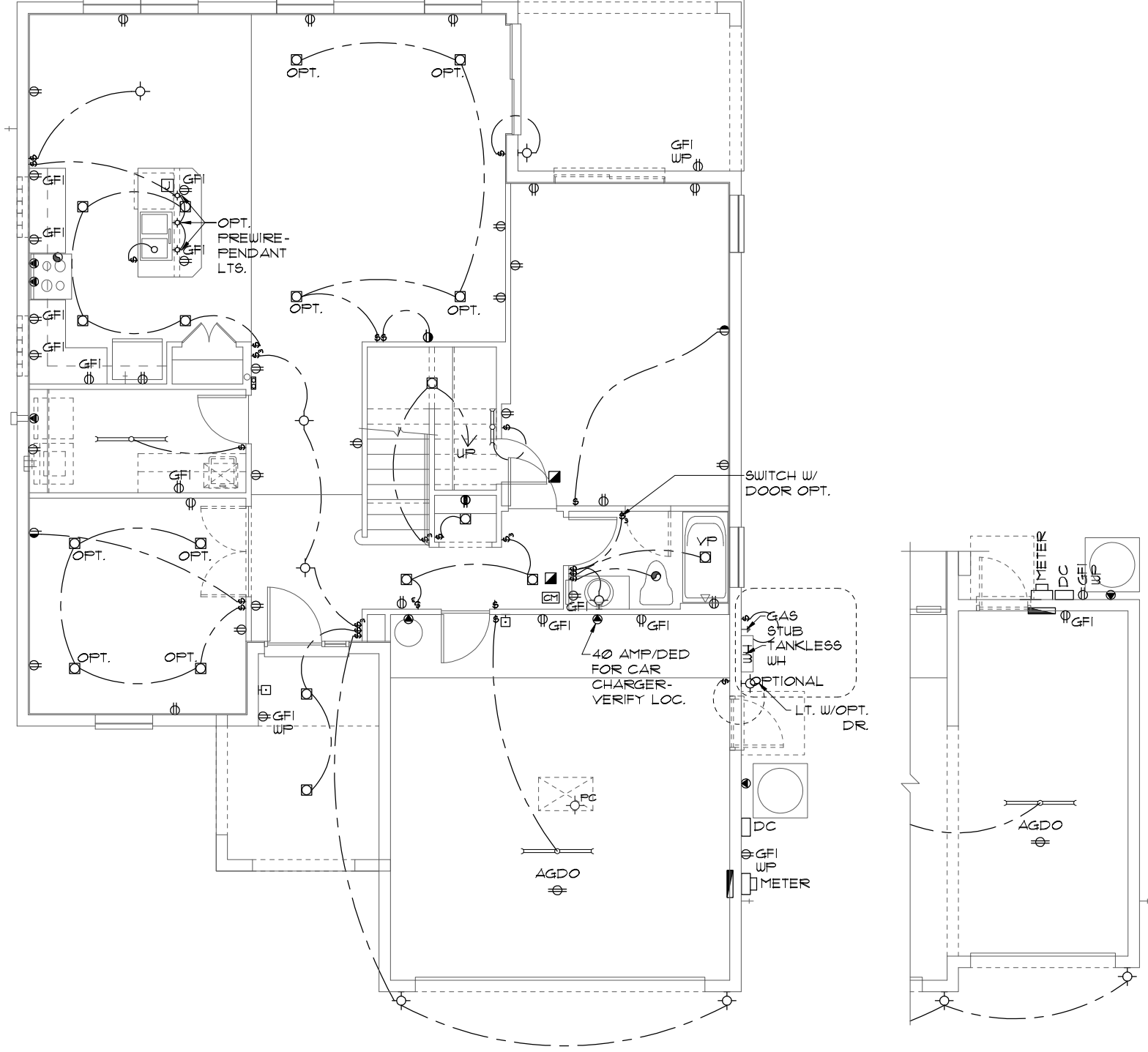
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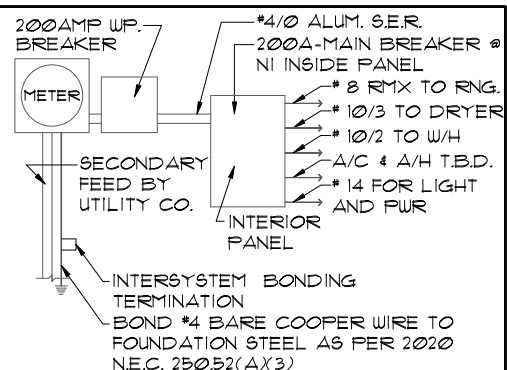
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FLORIDA SERIES  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
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 Phone: (407) 529-3000

REVISIONS	BY
05-16-19	JF
<b>ITEG</b> ITCORPORATION ENGINEERING GROUP, INC. 10000 South Orange Avenue, Suite 100 Orange, FL 32837 Tel: (407) 734-1400 Fax: (407) 734-1700 www.iteg.com	
<b>Park Square HOMES</b>	
FIRST FLOOR ELECTRICAL PLAN	
DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	09
OF	SHEETS

**MECHANICAL/GENERAL NOTES**

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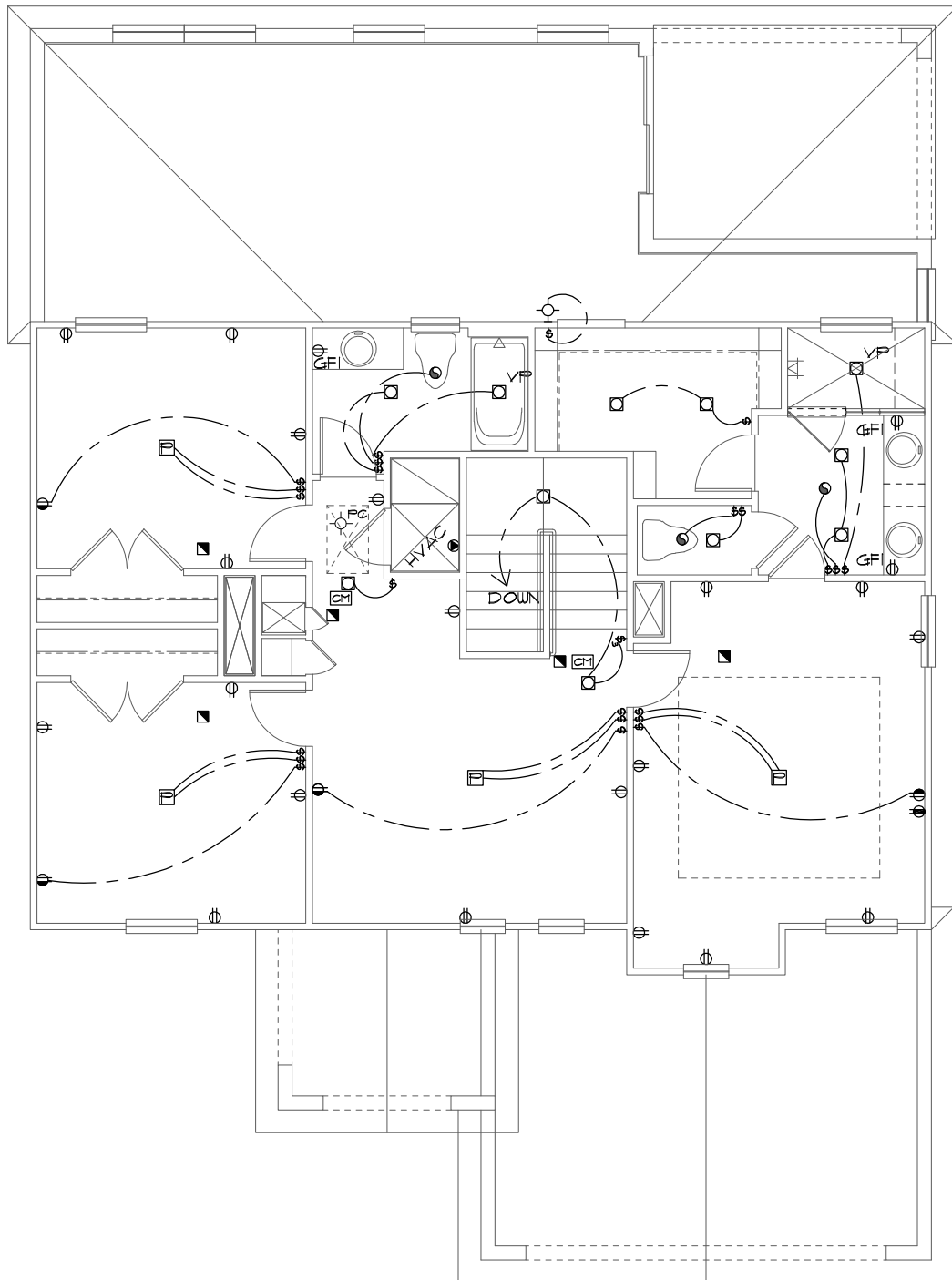
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⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
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**UPPER FLOOR ELECTRICAL PLAN**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

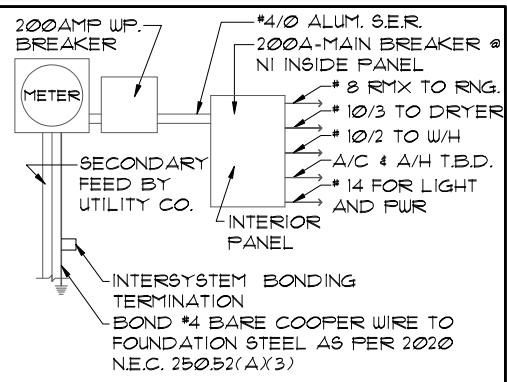
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<b>ITEG</b> ITCORPSON ENGINEERING GROUP, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Tel: (407) 734-1400 Fax: (407) 734-1790 www.iteg.com	
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529-3000	REVISIONS 05-16-19 JF
UPPER FLOOR ELECTRICAL PLAN	DATE: 04-6-12 SCALE: AS NOTED DRAWN: RDC JOB: 2382 SHEET: 10 OF 10 SHEETS

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  - 8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18' ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED. F2201.1
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  - 10.) THE MAXIMUM ALLOWABLE EXHAUST DUCT LENGTH SHALL BE DETERMINED BY ONE OF THE METHODS SPECIFIED IN SECTIONS M1502.4.5.1 THROUGH M1502.4.5.3
  - 11.) ALL ELECTRICAL WORK TO BE DONE PER NFP70-NEC 2020
  - 12.) ADDITIONAL ELECTRODE MAY BE REQUIRED IN ACCORDANCE WITH NEC 250.53(A2)
  - 12.) ALL DWELLING UNIT RECEPTACLE WILL BE IN ACCORDANCE WITH NFP70-NEC2020 - ARTICLE 210-52



**ELECTRICAL RISER DIAGRAM**

NOTE:  
N.T.S.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A3) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

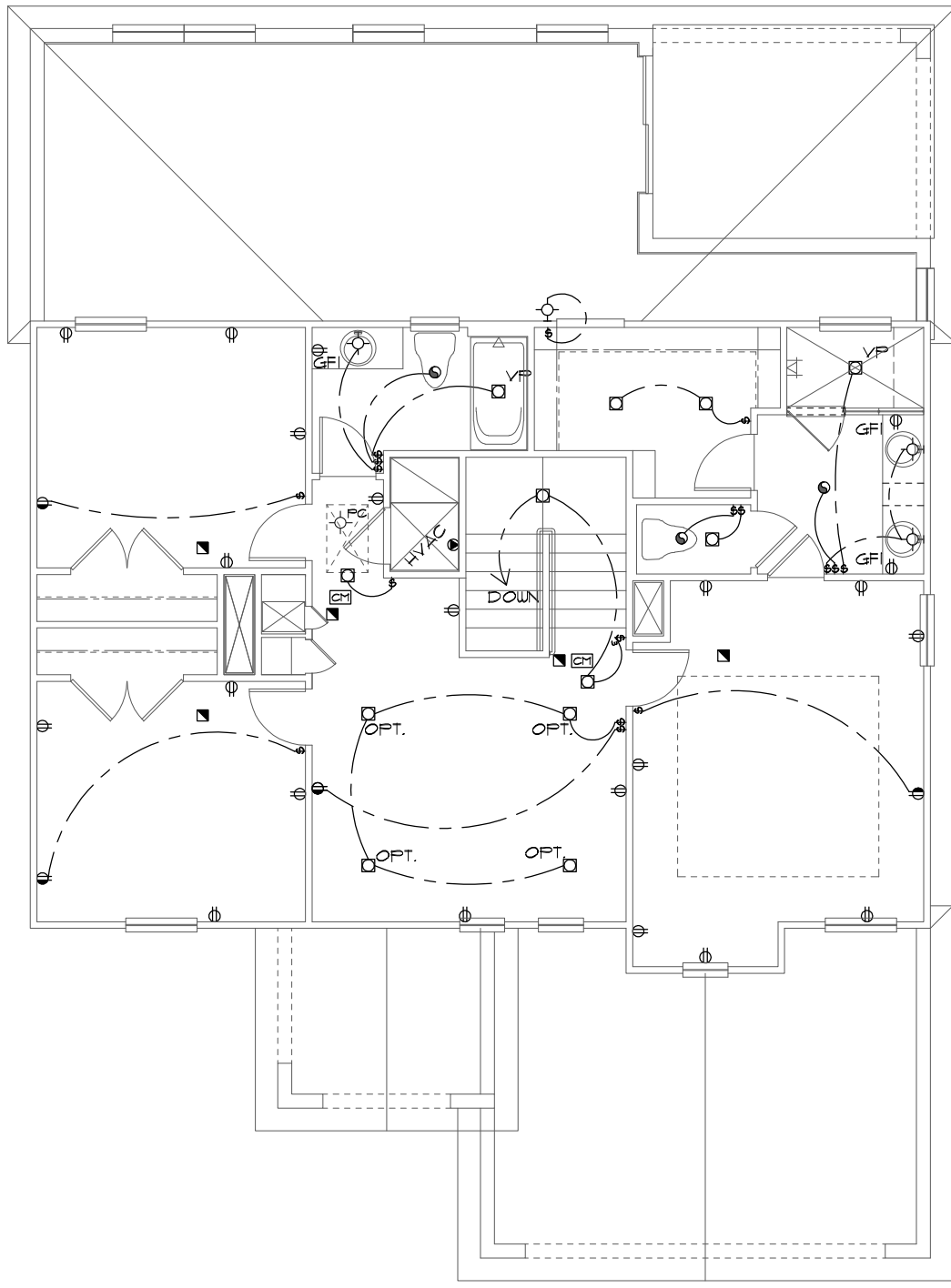
250.52(A3) Concrete-Encased Electrode. Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

Concrete-encased electrodes can be horizontal or vertical and must be at least 20 ft. long.

There are two types of concrete-encased electrodes:  
(1) steel reinforcing bars or rods which are not less than 1/2 inch in diameter and at least 20 ft. long, encased in 2 inches of concrete; (2) 20 ft. of bare copper conductor not smaller than No. 4 AWG encased in 2 inches of concrete.

The steel reinforcing rods must be in a location that is in direct contact with the earth. The reinforcing rods can be connected with tie wires, and a single length of rod can be used as the concrete-encased electrode. The reinforcing rods cannot be coated with non-conductive material.

Section 250.50 requires a concrete-encased electrode to be connected to the grounding electrode system if it is present. Several states have modified this requirement to say a concrete-encased electrode must be used as a grounding electrode only if it is available. In those jurisdictions, if the footings or foundations have been poured before the electrical contractor arrives at the site, and a reinforcing rod is not available for use as a grounding electrode, then a grounding connection to the reinforcing rod is not required.



**UPPER FLOOR ELECTRICAL PLAN**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

ELECTRICAL LEGEND			
⊞	SINGLE POLE SWITCH	⊞	OUTLET, TV/CABLE
⊞	THREE WAY SWITCH	⊞	OUTLET, PHONE
⊞	OUTLET 110-115	⊞	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊞	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR/SMOKE
⊞	OUT. 110-115, CL.G. MOUNT.	⊞	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊞	SFCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊞	LIGHT FIXT., CL.G. MTD.	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊞	LED LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., PULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LED LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

LOT: 0000, COMMUNITY NAME  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

FLORIDA SERIES  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000

REVISIONS	BY
05-16-19	JF

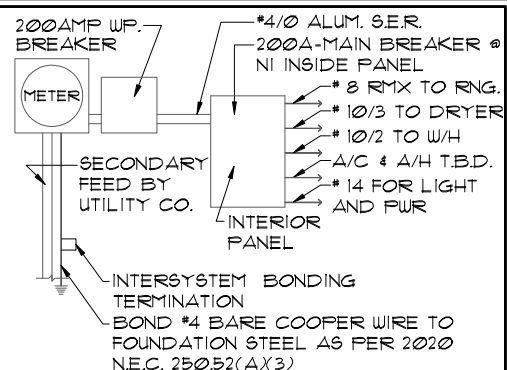
2380  
**THE PEMBROKE**

UPPER FLOOR  
 ELECTRICAL PLAN

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 10 OF 10 SHEETS

**MECHANICAL/GENERAL NOTES**

- PER 8TH ED. 2023 FLA BLD. CODE-RESIDENTIAL
- 1.) COMPLETE DUCT DESIGN W/ SIZES & R-VALUE COMPLYING W/ THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
  - 2.) APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION.
    - A) CHAPTER 13 OF THE FBC-R 2023 8TH SECTION M1305.1
  - 3.) AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FBCR CODE 2023 8TH EDITION.
  - 4.) IAW NEC 2020- 210.12- ALL 15A OR 20A, 120V BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES IN THE FOLLOWING LOCATIONS REQUIRE AFCI PROTECTION- KITCHEN, FAMILY RMS, DINING RMS, LIVING RMS, PARLORS, LIBRARIES, BEDROOMS, DENS, CLOSETS, SUNROOMS, RECREATION RMS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
  - 5.) IAW NEC 2020- 406.12, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
  - 6.) ALL OUTLETS IN BATHROOMS, KITCHEN, GARAGES AND LAUNDRY ROOM SHALL BE GFCI
  - 7.) SMOKE ALARMS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK & SHALL BE 3' FROM THE SUPPLY OR RETURN AIR- STREAM & EQUIPPED W/ A BATTERY BACKUP. ALARMS MAY NOT BE CONNECTED WHERE ALARMS ARE WIRELESS & ALL ALARMS SOUND UPON ACTIVATION IAW FBCR R314.3 & R314.4. MODEL\* TO BE USED ON THIS JOB TO BE:
    - BRK: SMOKE-9120B, C/O- SC9120B
    - KIDDE: SMOKE-21007581, C/O 21006377-N
  - 8.) ALL WATER HEATERS HAVING AN IGNITION SOURCE TO BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS MINIMUM 18" ABOVE GARAGE FLOOR UNLESS WATER HEATER IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. IAW FBCR 2023, 8TH ED. F2201.1
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**ELECTRICAL RISER DIAGRAM**

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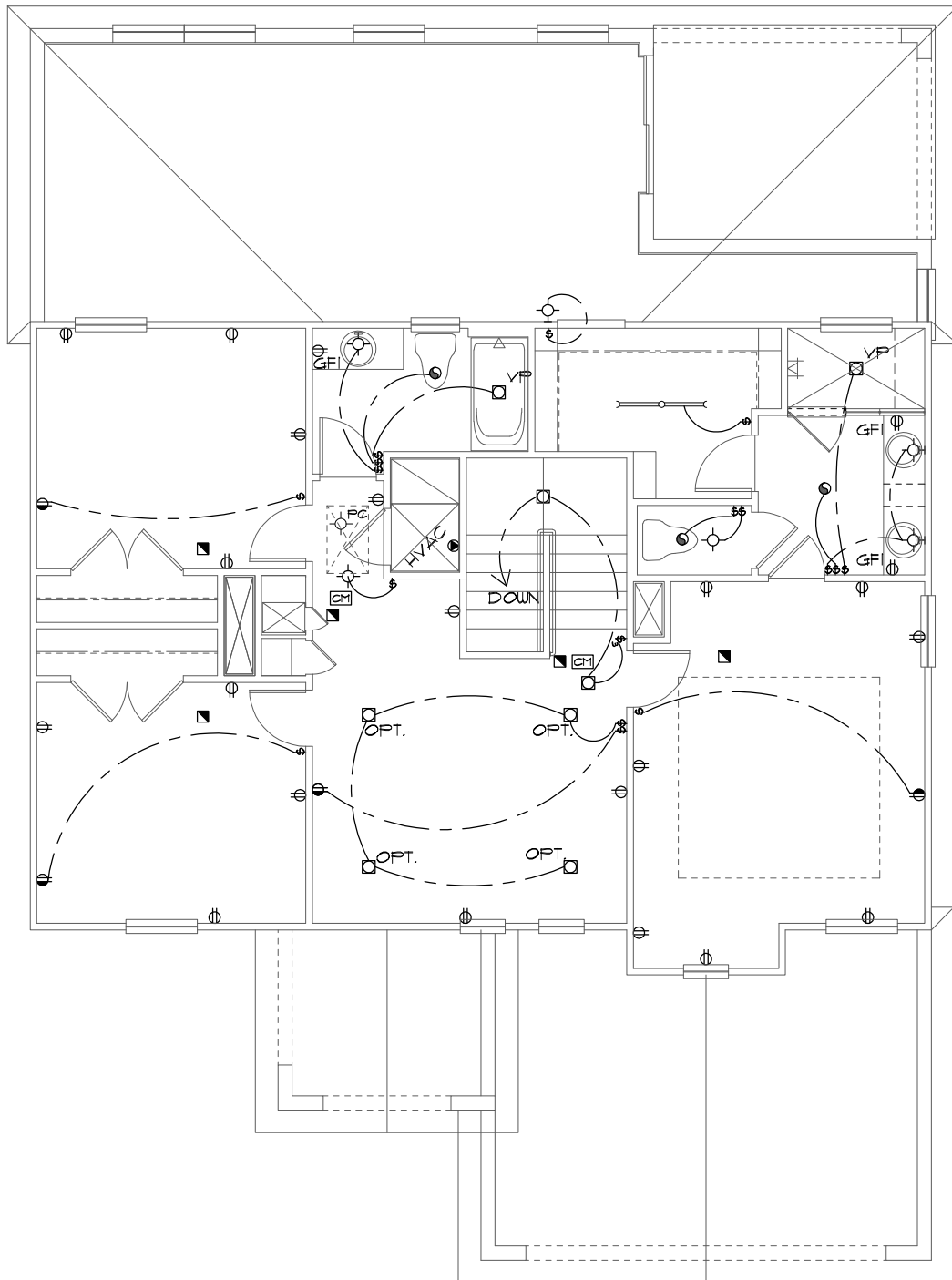
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⊞	THREE WAY SWITCH	◀	OUTLET, PHONE
⊞	OUTLET 110-115	◻	INTERCOM
⊞	OUT. 110-115, SPLIT WIRED	⊞	CHIMES
⊞	OUT. 110-115, W/ USB	⊞	SMOKE DETECTOR/SMOKE
⊞	OUT. 110-115, CLG. MOUNT.	⊞	CARBON MONOXIDE
⊞	OUT. 110-115, FLR. MOUNT.	⊞	PUSH BUTTON
⊞	SFCL. PURPOSE 220-240	⊞	EXHAUST FAN
⊞	LIGHT FIXT., CLG. MTD.	⊞	EX. FAN/LIGHT COMBO
⊞	LIGHT FIXT., WALL MTD.	⊞	DISPOSAL
⊞	LED LIGHT FIXT., RECESSED	⊞	ELECTRICAL PANEL
⊞	LIGHT FIXT., REC. ADJUST.	⊞	CEILING FAN, PREWIRE
⊞	LIGHT FIXT., PULL CHAIN	⊞	CEILING FAN, INSTALL
⊞	LED LIGHT FIXT., FLUORESCENT	⊞	ELECT. JUNCTION BOX
⊞	LIGHT FIXT., EXT. FLOODS	⊞	THERMOSTAT
⊞	LIGHT FIXT., EMERG. EXIT	⊞	DISCONNECT SWITCH
⊞	LIGHT FIXT., EXIT/BACKUP	⊞	ELEC. POWER METER

**UPPER FLOOR ELECTRICAL PLAN**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

NOTE: SEE FINAL COLOR SHEET FOR TV, FANS & PHONE LOCATIONS

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FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

2380

THE PEMBROKE

REVISIONS	BY
05-16-19	JF

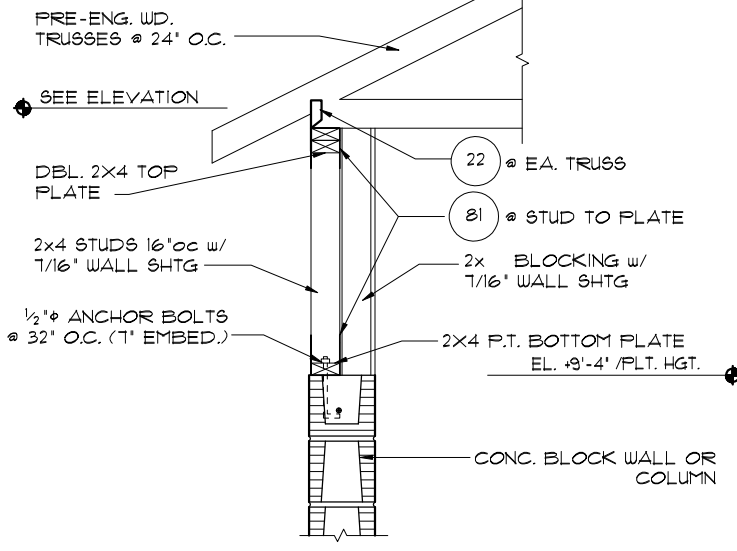
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HOBBS ENGINEERING GROUP, INC.  
10000 W. BOULEVARD, SUITE 100  
ORLANDO, FLORIDA 32817  
TEL: (407) 734-1400  
FAX: (407) 734-1790  
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5200 Vineland Road, Suite 200  
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**Park Square HOMES**

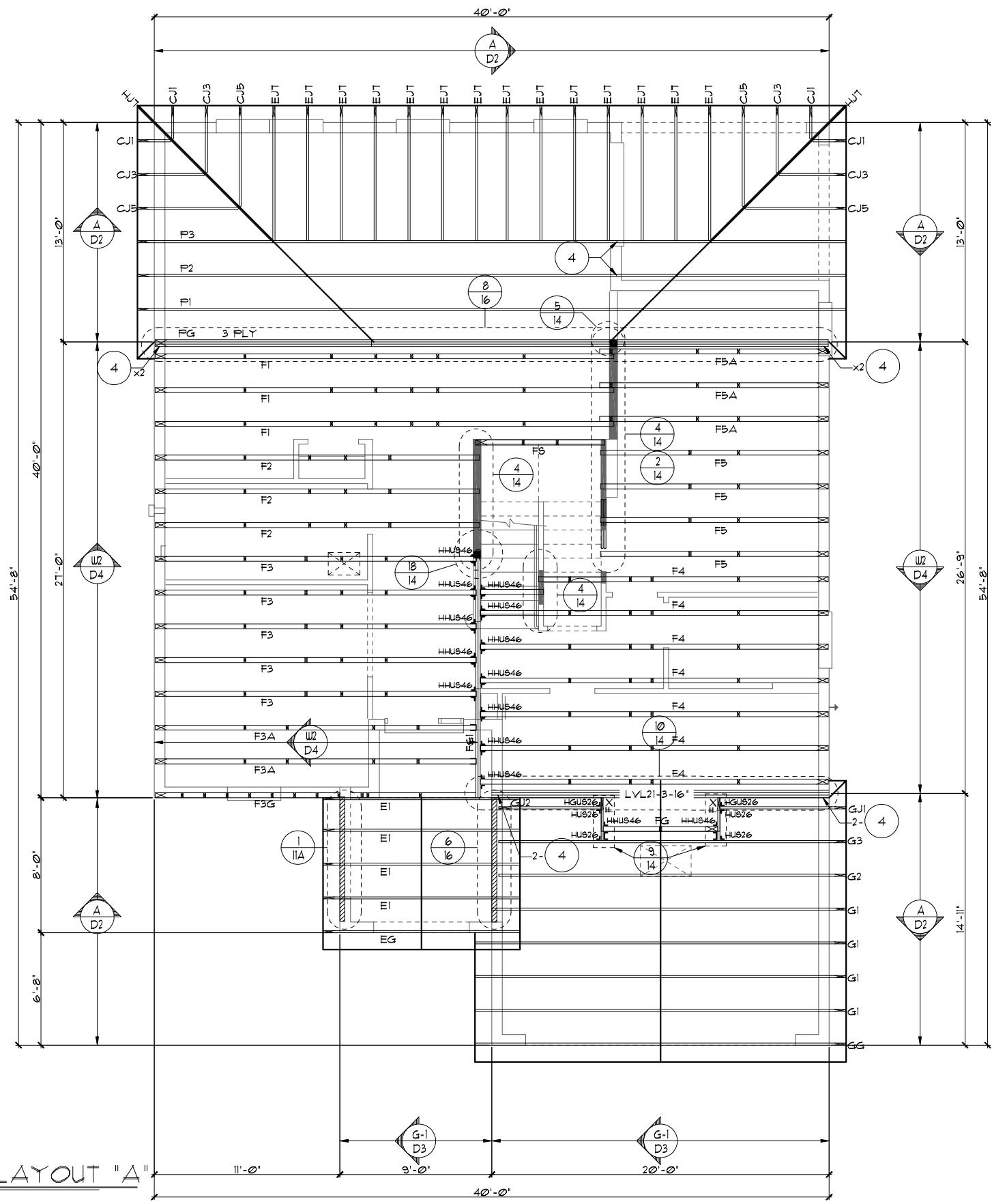
UPPER FLOOR ELECTRICAL PLAN

DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET 10 OF 10 SHEETS



**1 IIA**  
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

- NOTES**
- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
  - TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
  - PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
  - ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
  - TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCS1 I.
  - REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
  - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 or Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
  - OFF RIDGE VENTS MAXIMUM OPENING SIZES:
    - LOMANCO : (2) 9 1/4" DIA. CIRCLES
    - MILLENNIUM METAL : 2 1/2" X 46" HOLE
  - ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



**FIRST FLOOR TRUSS LAYOUT "A"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH  
 LOT: 0000, COMMUNITY NAME  
 FLORIDA SERIES  
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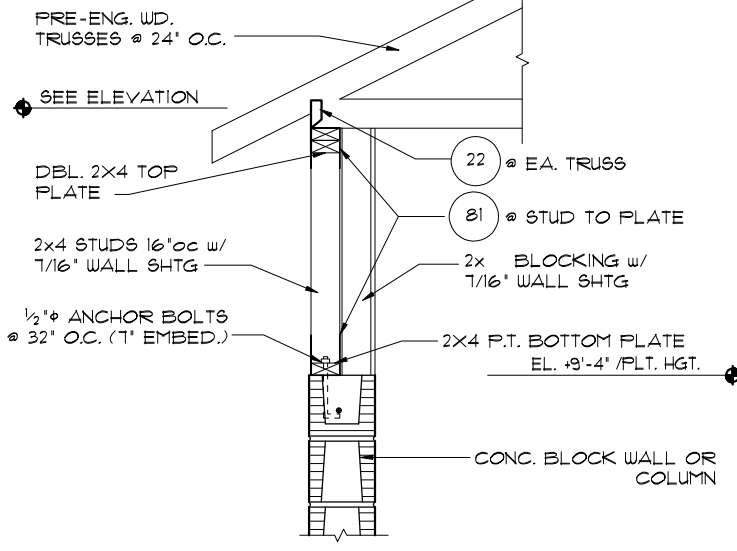
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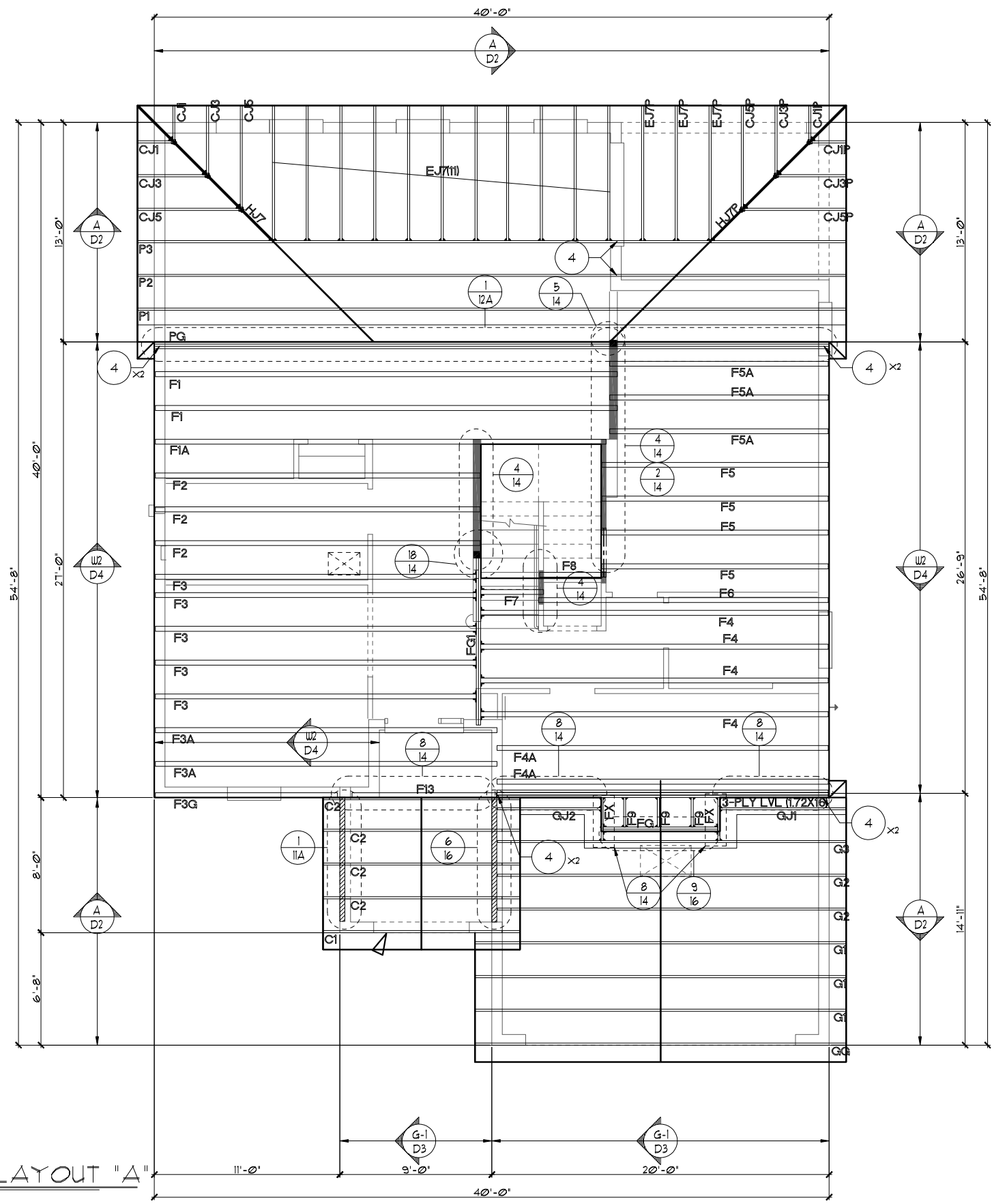
**Park Square**  
 HOMES  
 FIRST FLOOR TRUSS LAYOUT

2380	DATE	04-6-12
THE PEMBROKE	SCALE	AS NOTED
	DRAWN	RDC
	JOB	2382
	SHEET	
	OF	11A SHEETS



**1 IIA**  
 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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**FIRST FLOOR TRUSS LAYOUT "A"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

LOT: 0000, COMMUNITY NAME: THE PEMBROKE, 2380 THE PEMBROKE, DATE: 04-6-12, SCALE: AS NOTED, DRAWN: RDC, JOB: 2382, SHEET: 11A OF SHEETS

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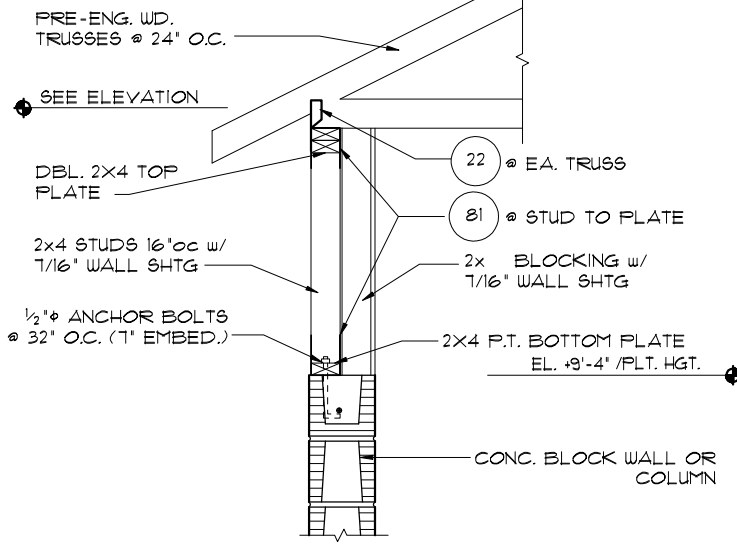
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 5200 VINELAND ROAD, SUITE 200  
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**Park Square HOMES**  
 FIRST FLOOR TRUSS LAYOUT

REVISIONS	BY
05-16-19	JF

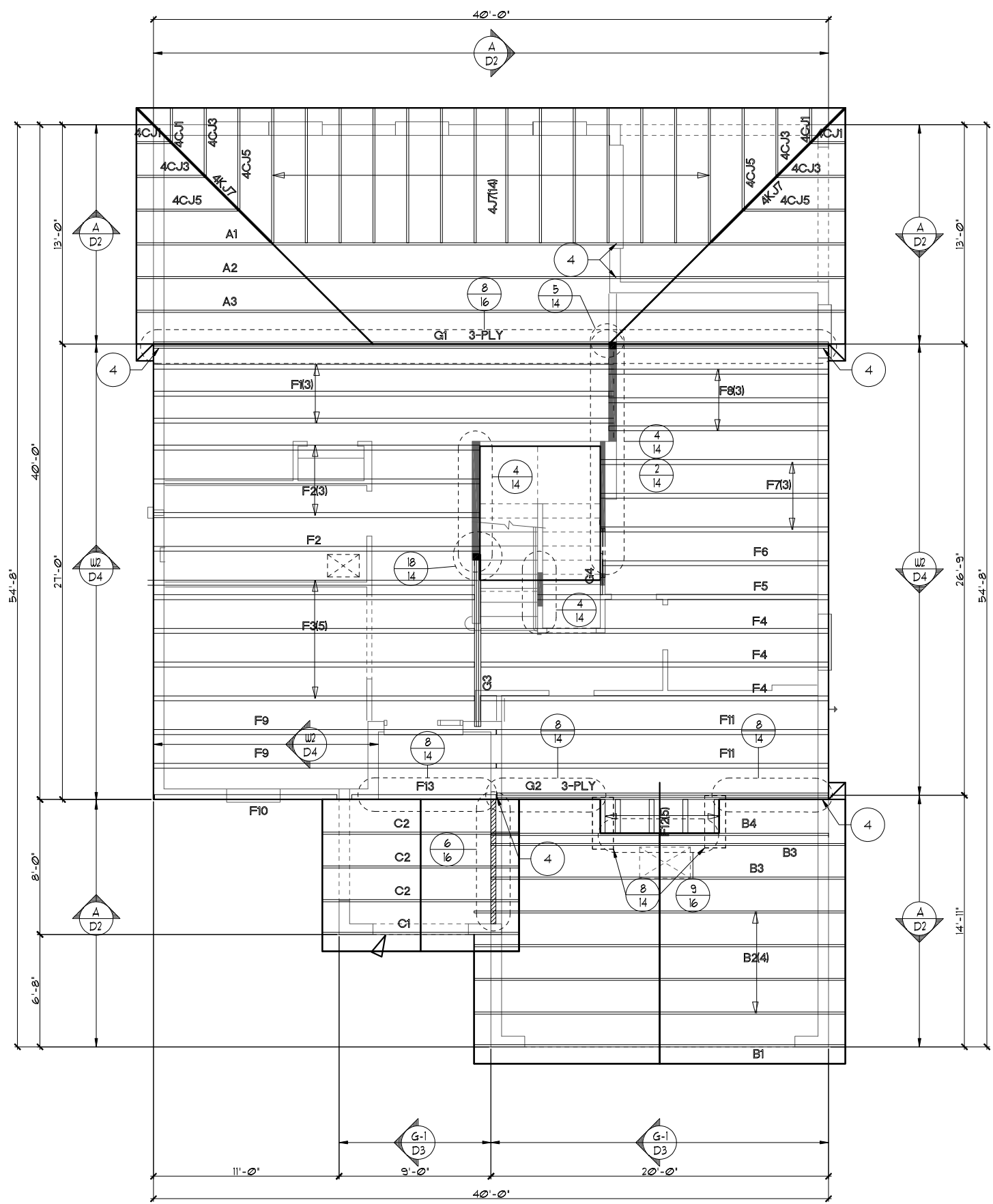




**1**  
11A  
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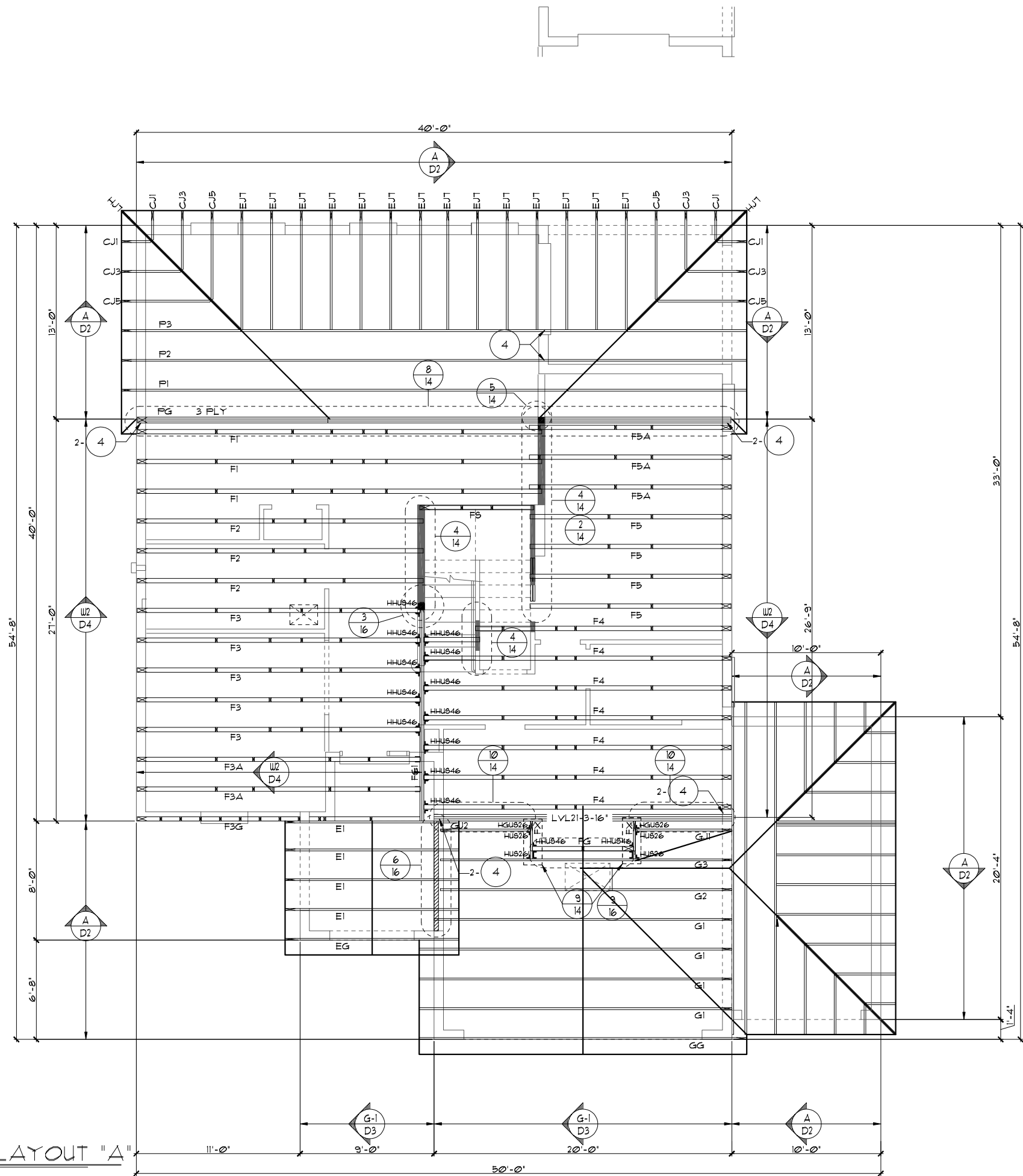
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<b>FLORIDA SERIES</b> <b>ITEG</b> <small>TRIMSON ENGINEERING GROUP, INC.</small> <small>1407 74th AVE</small> <small>ORLANDO, FL 32811</small> <small>TEL: (407) 734-1790</small> <small>WWW.ITEG.COM</small>		REVISIONS 05-16-19 JF
<b>Park Square HOMES</b> A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529 - 3000		BY JF
<b>FIRST FLOOR TRUSS LAYOUT</b>		
2380 <b>THE PEMBROKE</b>		DATE 04-6-12 SCALE AS NOTED DRAWN RDC JOB 2382 SHEET 11A OF SHEETS



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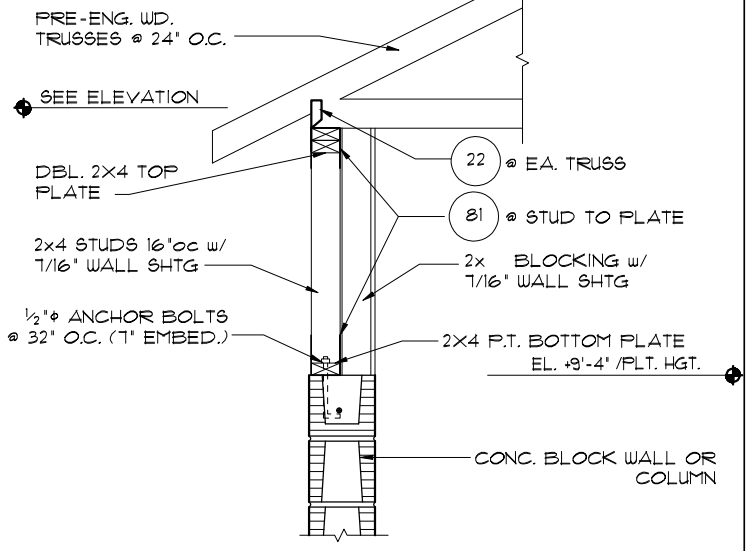
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 ITEG  
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REVISIONS BY  
 05-16-19 JF

FIRST FLOOR TRUSS LAYOUT  
 2380  
 THE PEMBROKE

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 11.3A OF 11 SHEETS

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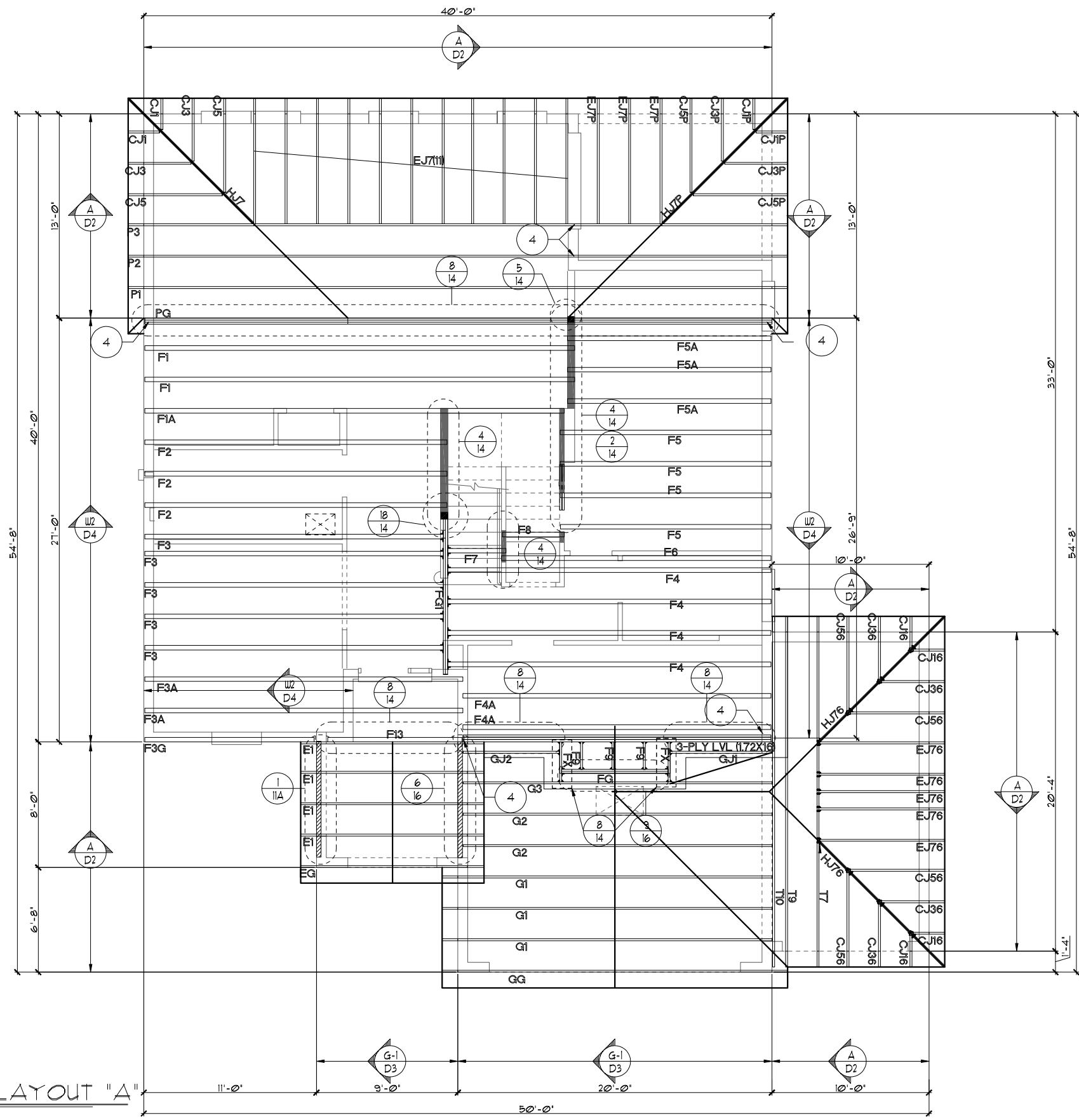


**1 IIA** 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

**NOTES**

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 11TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
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8. OFF RIDGE VENTS MAXIMUM OPENING SIZES:
  - LOMANCO : (2) 9 1/4" DIA. CIRCLES
  - MILLENNIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.

**FIRST FLOOR TRUSS LAYOUT "A"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH  
 BEI A ~~REGISTERED~~ ACCREDITED COMPANY NAME

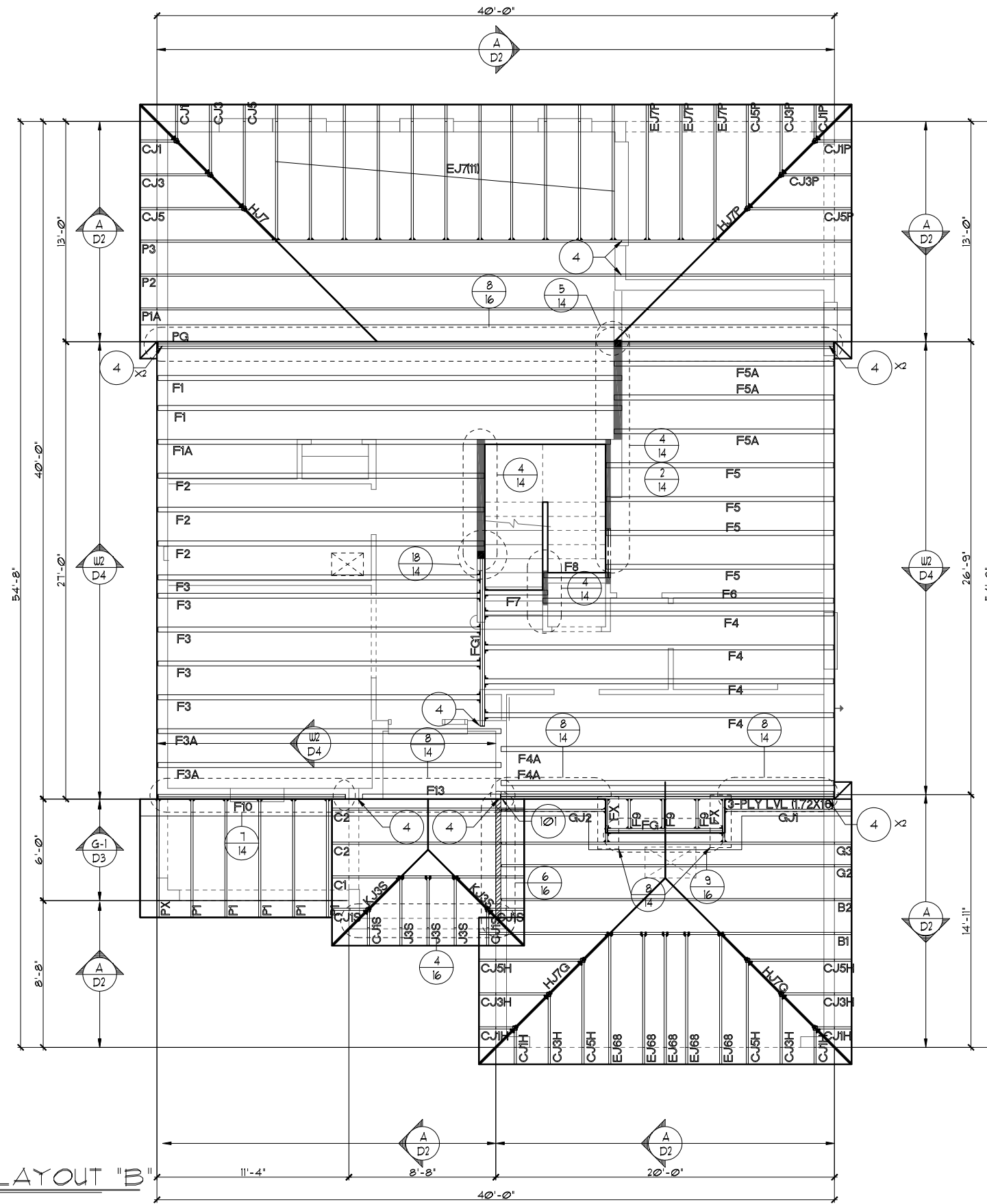
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<b>A DIVISION OF PARK SQUARE ENTERPRISES, INC.</b> <b>Park Square HOMES</b>	<small>5200 Vineland Road, Suite 200</small> <small>Orlando, Florida, 32811</small> <small>Phone: (407) 529 - 3000</small>
<b>FIRST FLOOR TRUSS LAYOUT</b>	
<b>2380 THE PEMBROKE</b>	
DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	11.3A
OF	SHEETS

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**FIRST FLOOR TRUSS LAYOUT "B"**

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LOT: 0000, COMMUNITY NAME: FLORIDA SERIES

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 Phone: (407) 734-1790  
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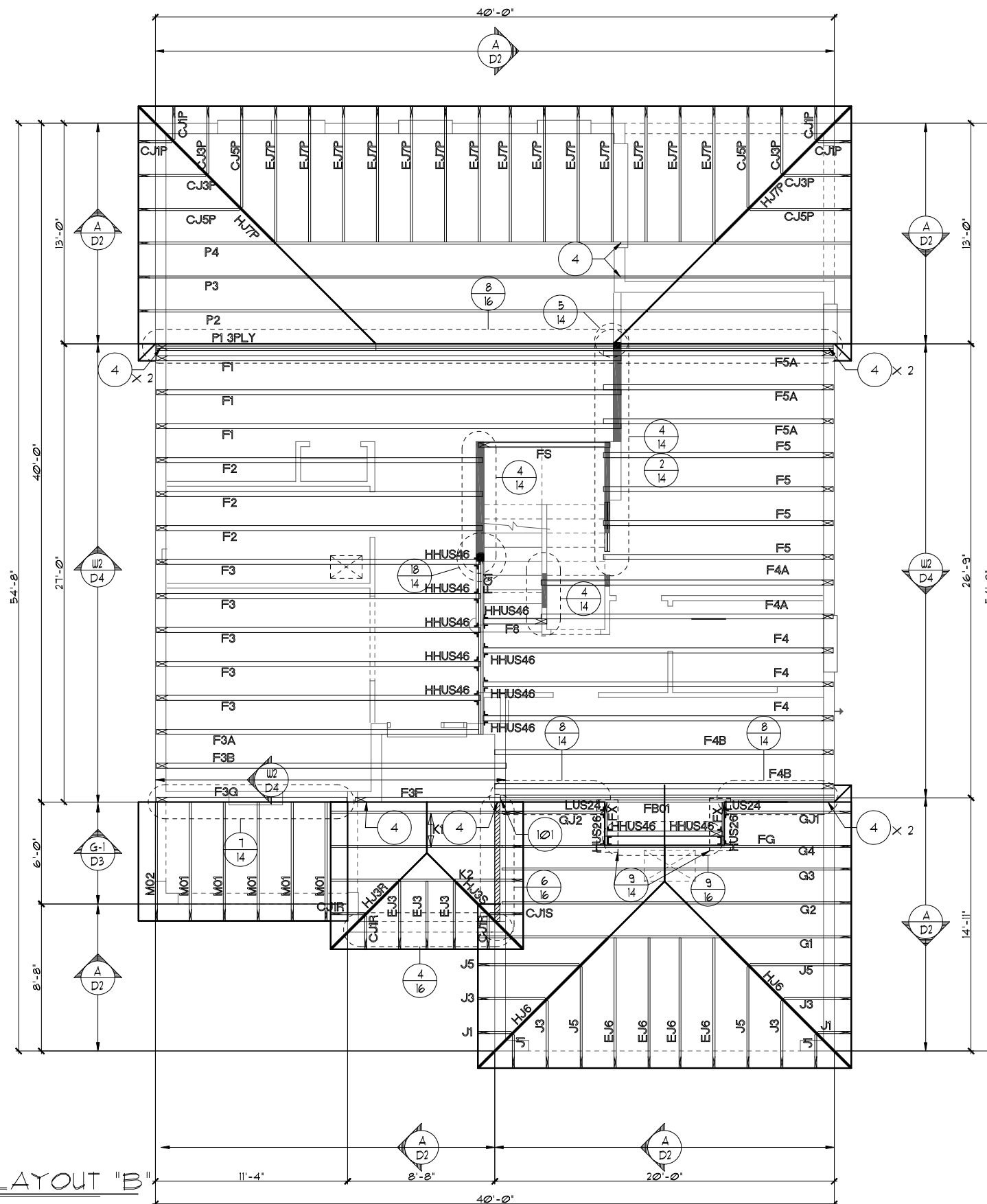
REVISIONS	BY
05-16-19	JF

2380  
**THE PEMBROKE**

DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 11B OF SHEETS

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**FIRST FLOOR TRUSS LAYOUT "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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LOT: 0000, COMMUNITY NAME: FLORIDA SERIES

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	11B
OF	SHEETS

**THE PEMBROKE**  
 2380  
**Park Square Homes**  
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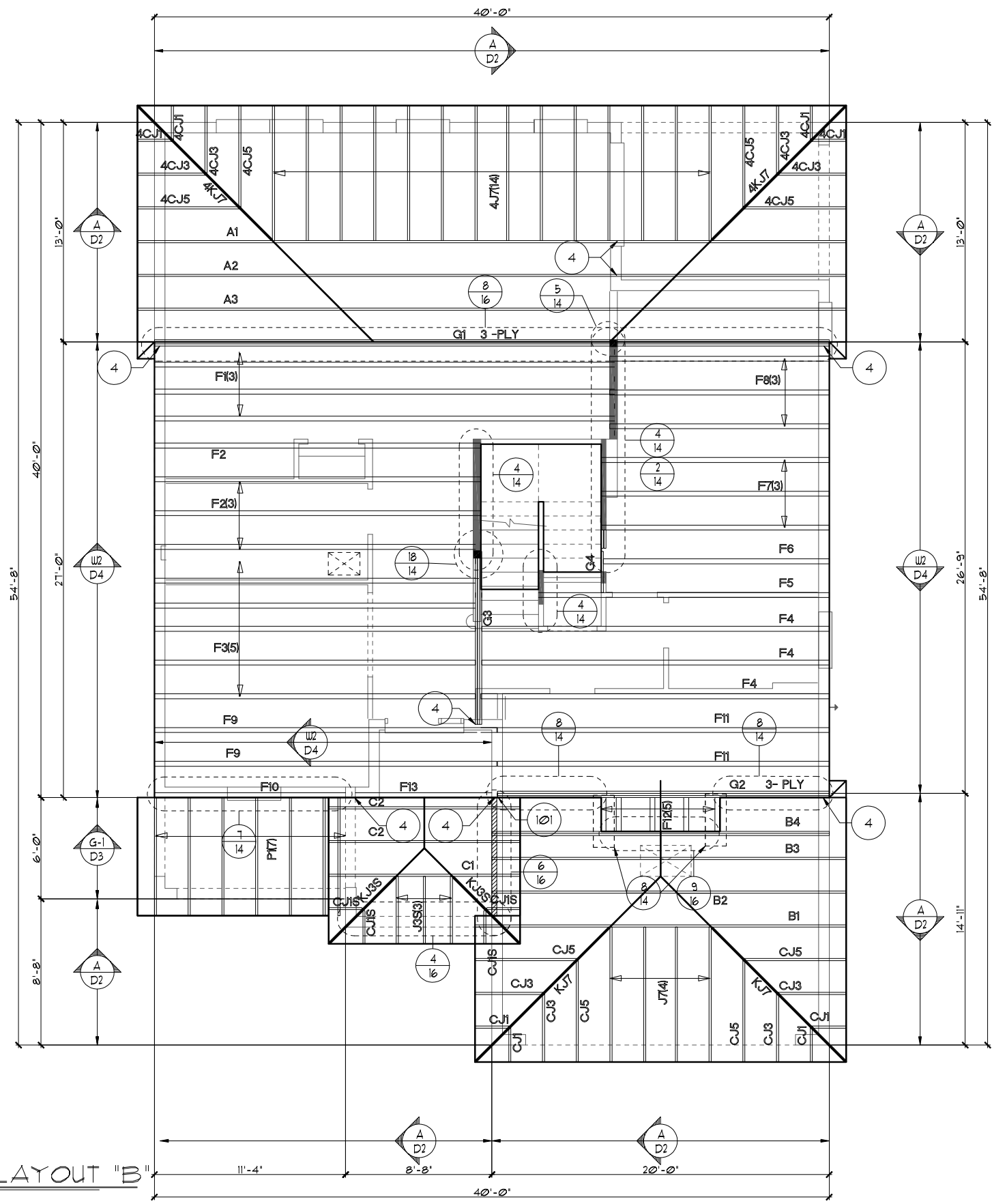
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 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

FIRST FLOOR TRUSS LAYOUT

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  - REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
  - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R305.11 - Underlayment materials required to comply with ASTM D226, D4869 at Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.11. Underlayment shall be applied and attached in accordance with Table R305.11.
  - OFF RIDGE VENTS MAXIMUM OPENING SIZES :
    - LOMANCO : (2) 9 1/4" DIA. CIRCLES
    - MILLENIUM METAL : 2 1/2' X 46" HOLE
  - ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.11.1

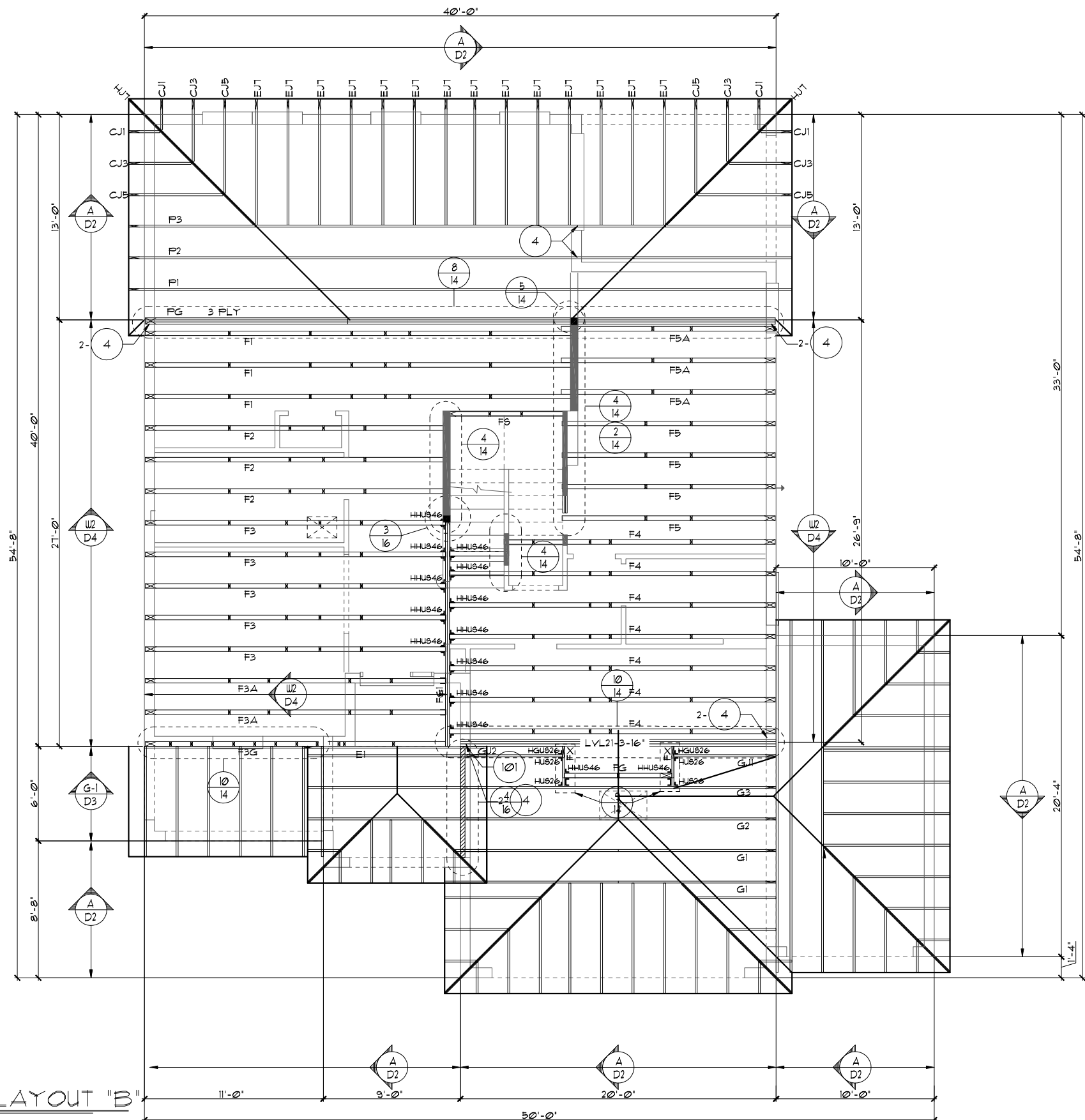


**FIRST FLOOR TRUSS LAYOUT "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

LOT: 0000, COMMUNITY NAME  
 THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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REVISIONS	BY				
05-16-19	JF				
<p>2380</p> <p style="font-size: 2em; font-weight: bold;">THE PEMBROKE</p>	<p>DATE 04-6-12</p> <p>SCALE AS NOTED</p> <p>DRAWN RDC</p> <p>JOB 2382</p> <p>SHEET 11B</p> <p>OF SHEETS</p>				

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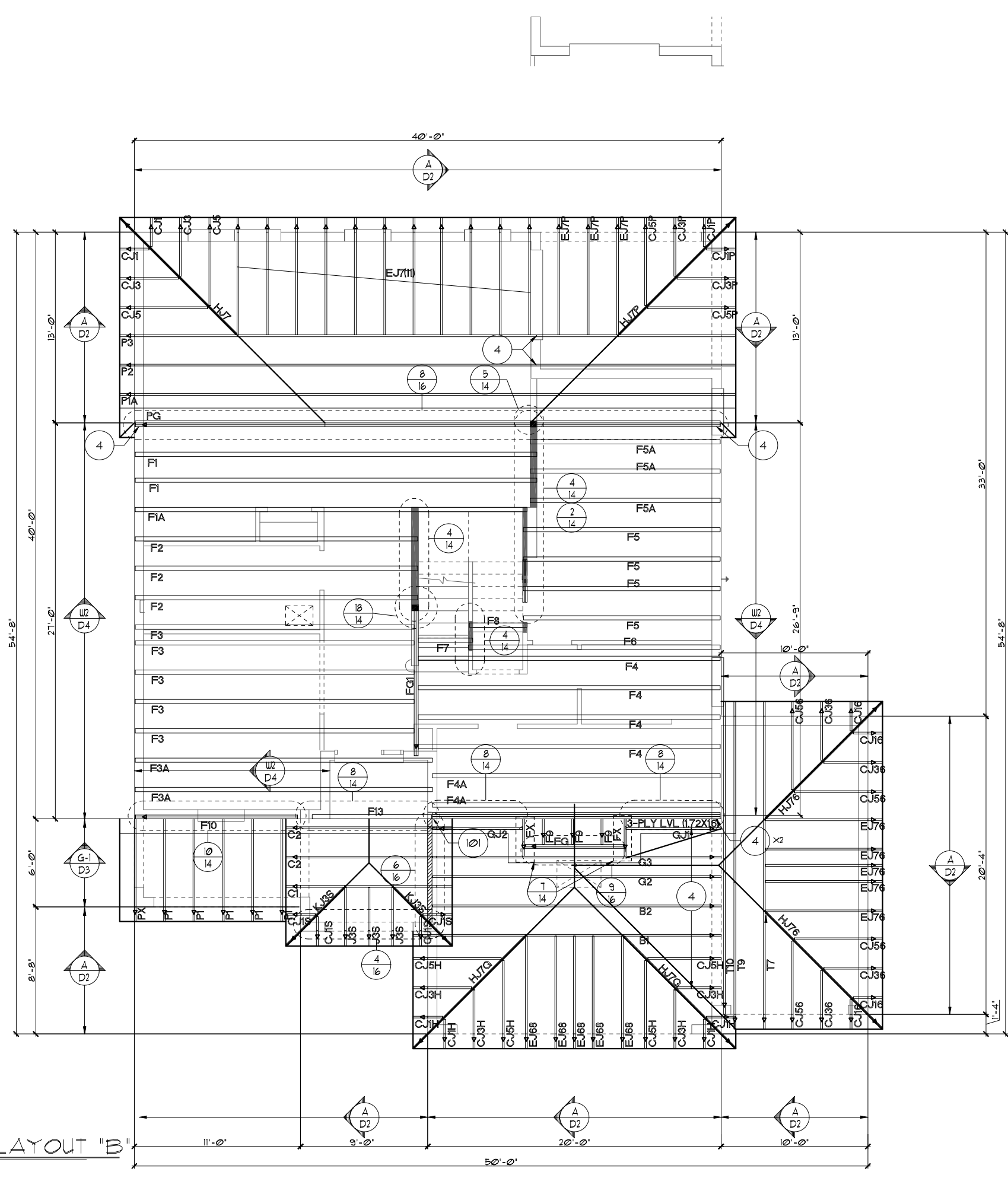
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<p style="font-size: 1.5em; font-weight: bold;">FIRST FLOOR TRUSS LAYOUT</p>					
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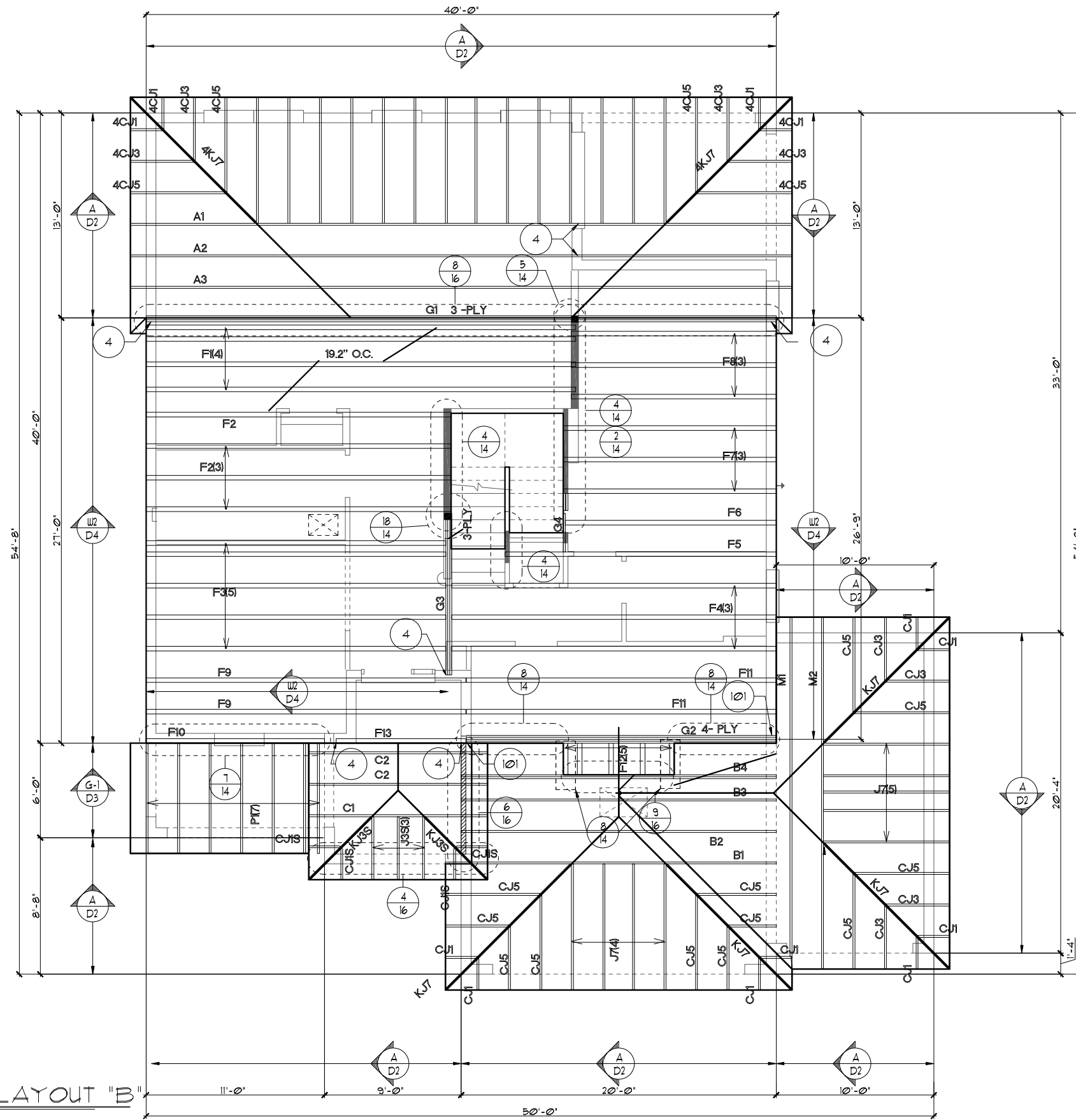
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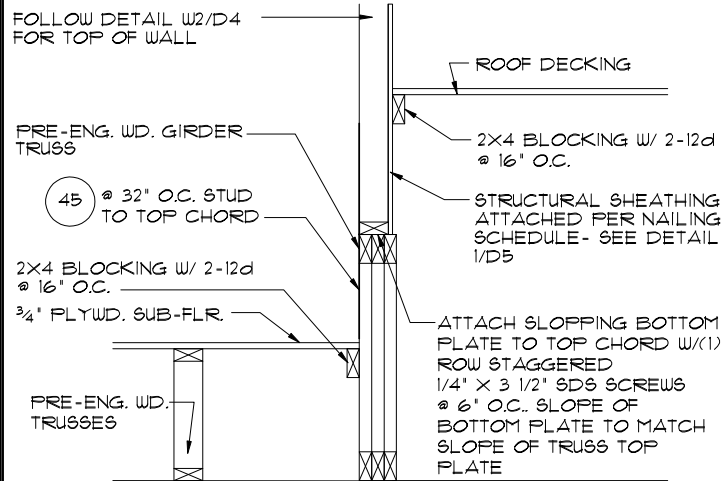
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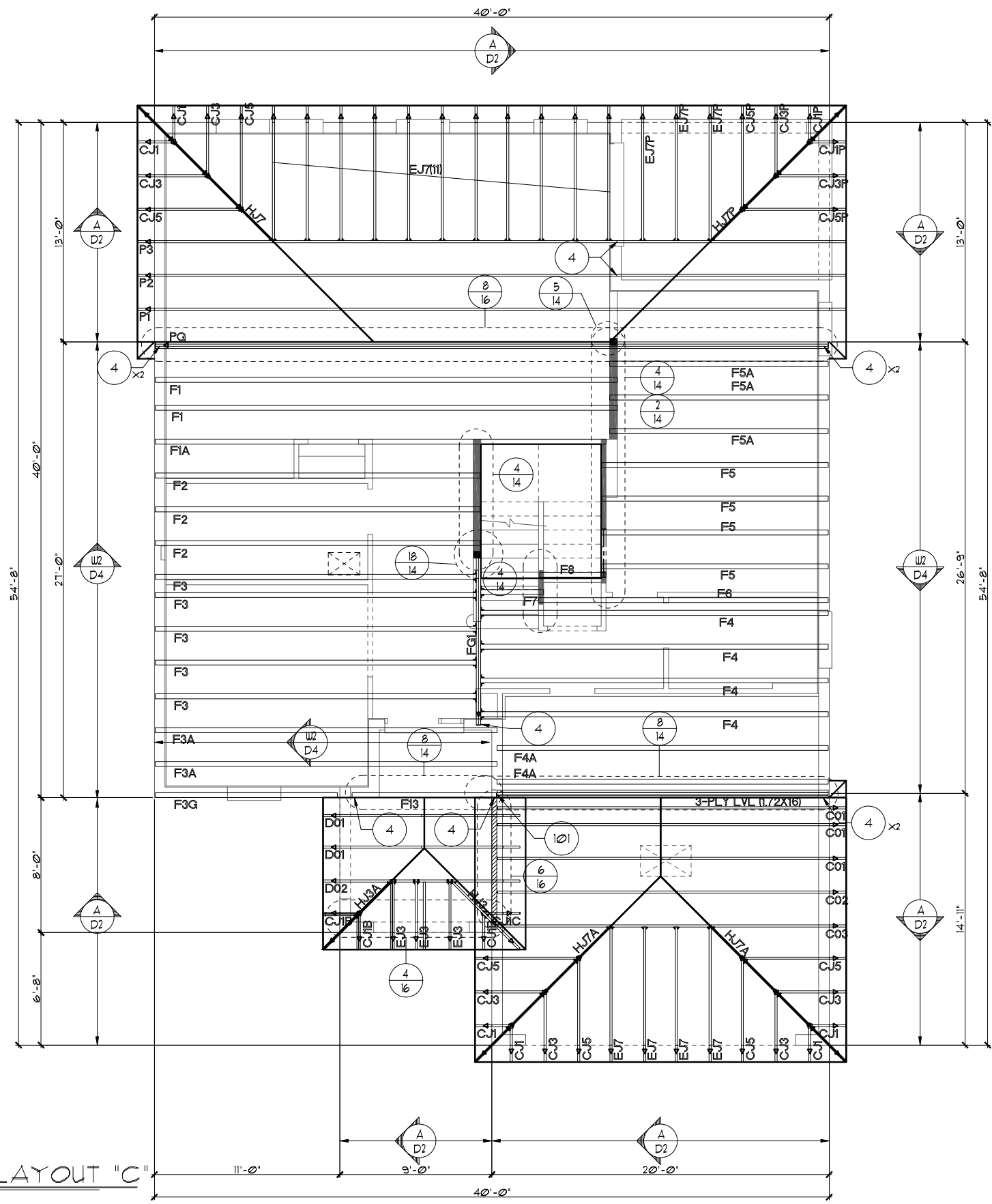




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  6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
  7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2020, 11TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
  8. OFF RIDGE VENTS MAXIMUM OPENING SIZES:
    - LOMANCO : (2) 9 1/4" DIA. CIRCLES
    - MILLENNIUM METAL : 2 1/2" X 46" HOLE
  9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.

**FIRST FLOOR TRUSS LAYOUT "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME: **FLORIDA SERIES**

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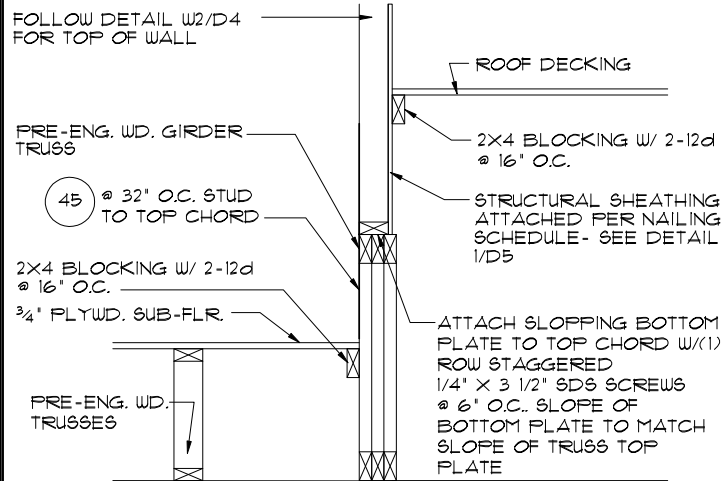
**ITEG**  
 ITRIPROTECH ENGINEERING GROUP, INC.  
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 Orlando, Florida, 32811  
 Phone: (407) 734-1790  
 www.iteg.com

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05-16-19	JF

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 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

**FIRST FLOOR TRUSS LAYOUT**  
 2380  
**THE PEMBROKE**

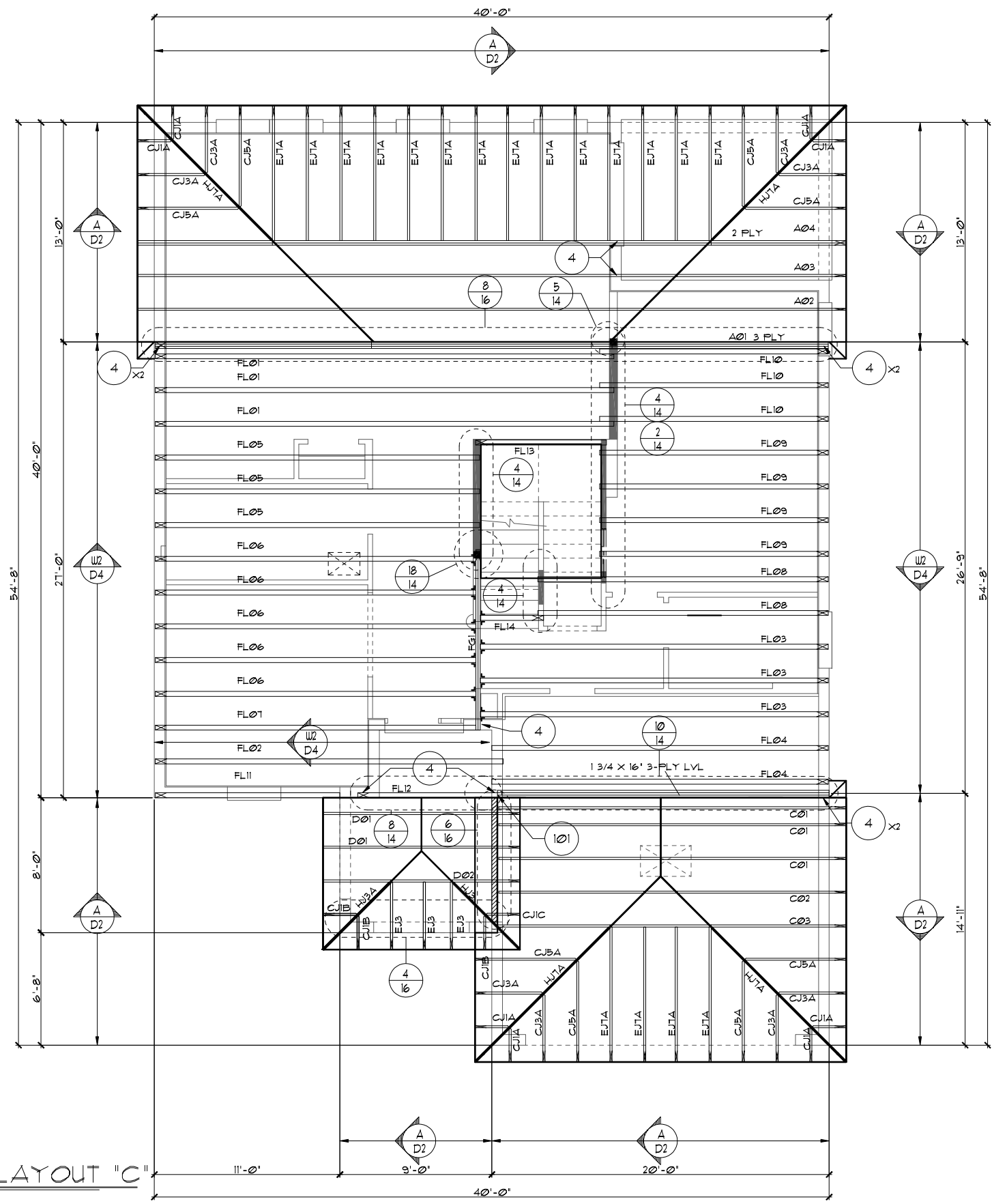
DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	11C
OF SHEETS	11C



**11C** 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

**NOTES**

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 11TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
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8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
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9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1



**FIRST FLOOR TRUSS LAYOUT "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

**LOT: 0000, COMMUNITY NAME**

**FLORIDA SERIES**

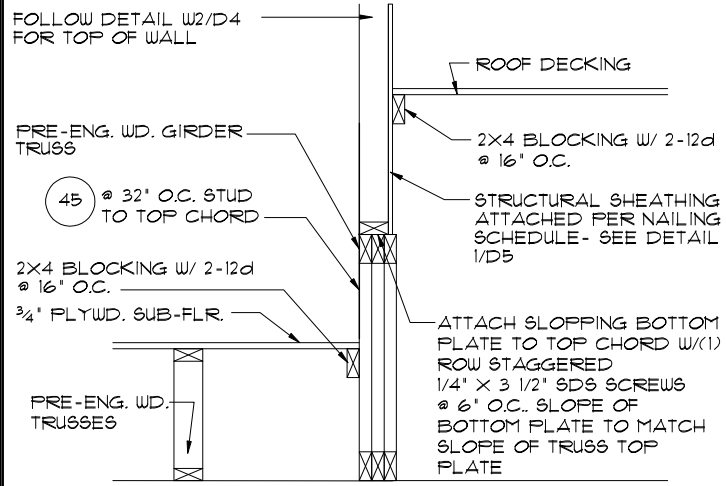
**ITEG**  
HOBBS ENGINEERING GROUP, INC.  
11100 W. US HWY 90, SUITE 100  
FORT WORTH, TX 76134  
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Phone: (407) 529 - 3000

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**FIRST FLOOR TRUSS LAYOUT**

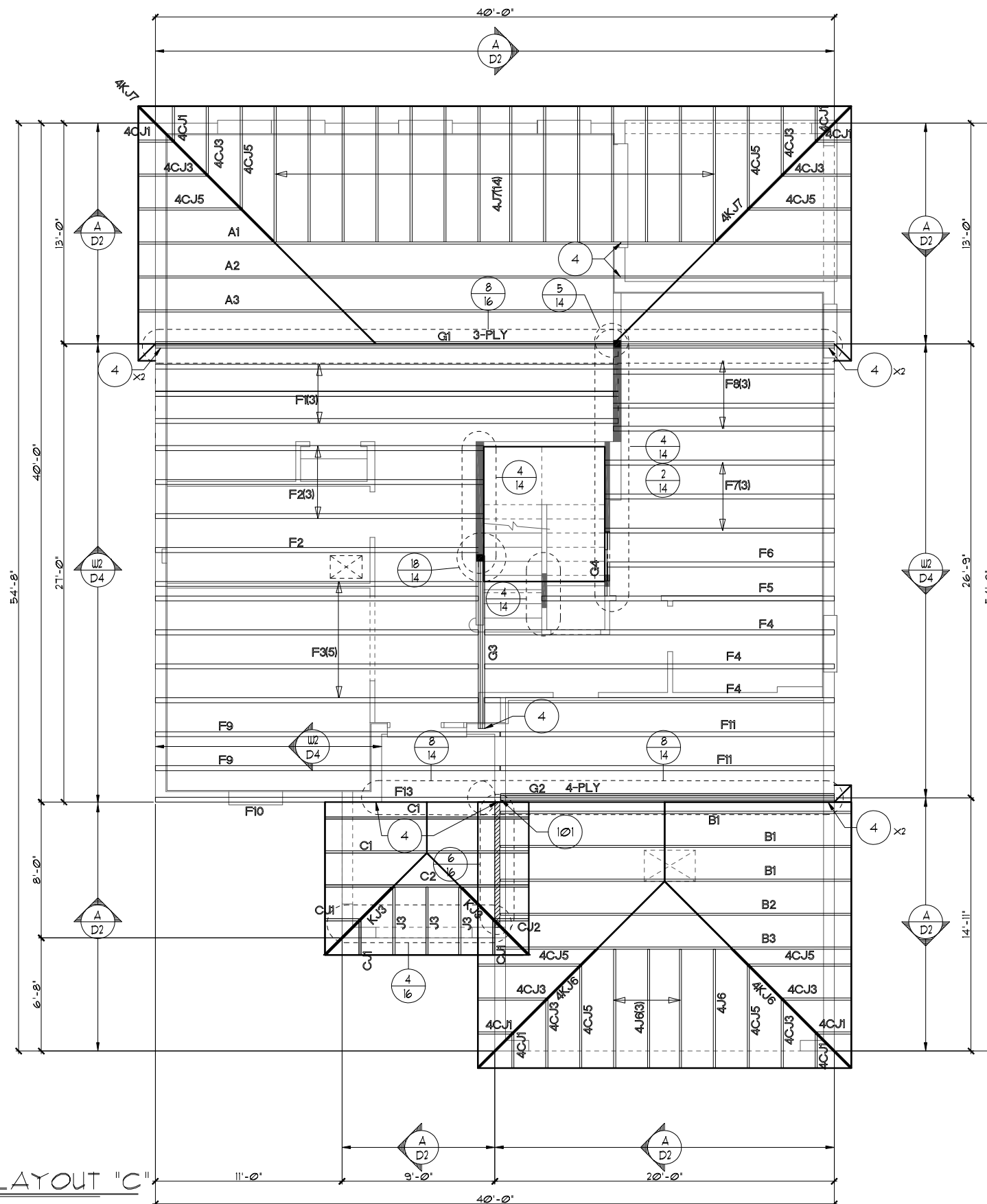
DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET 11C OF 11C SHEETS



**11C** 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

**NOTES**

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2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 at Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
  - LOMANCO : (2) 3 1/4" DIA. CIRCLES
  - MILLENIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



**FIRST FLOOR TRUSS LAYOUT "C"**  
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

LOT: 0000, COMMUNITY NAME  
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REVISIONS	BY
05-16-19	JF

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	11C
OF	SHEETS

2380  
THE PEMBROKE

FIRST FLOOR TRUSS LAYOUT

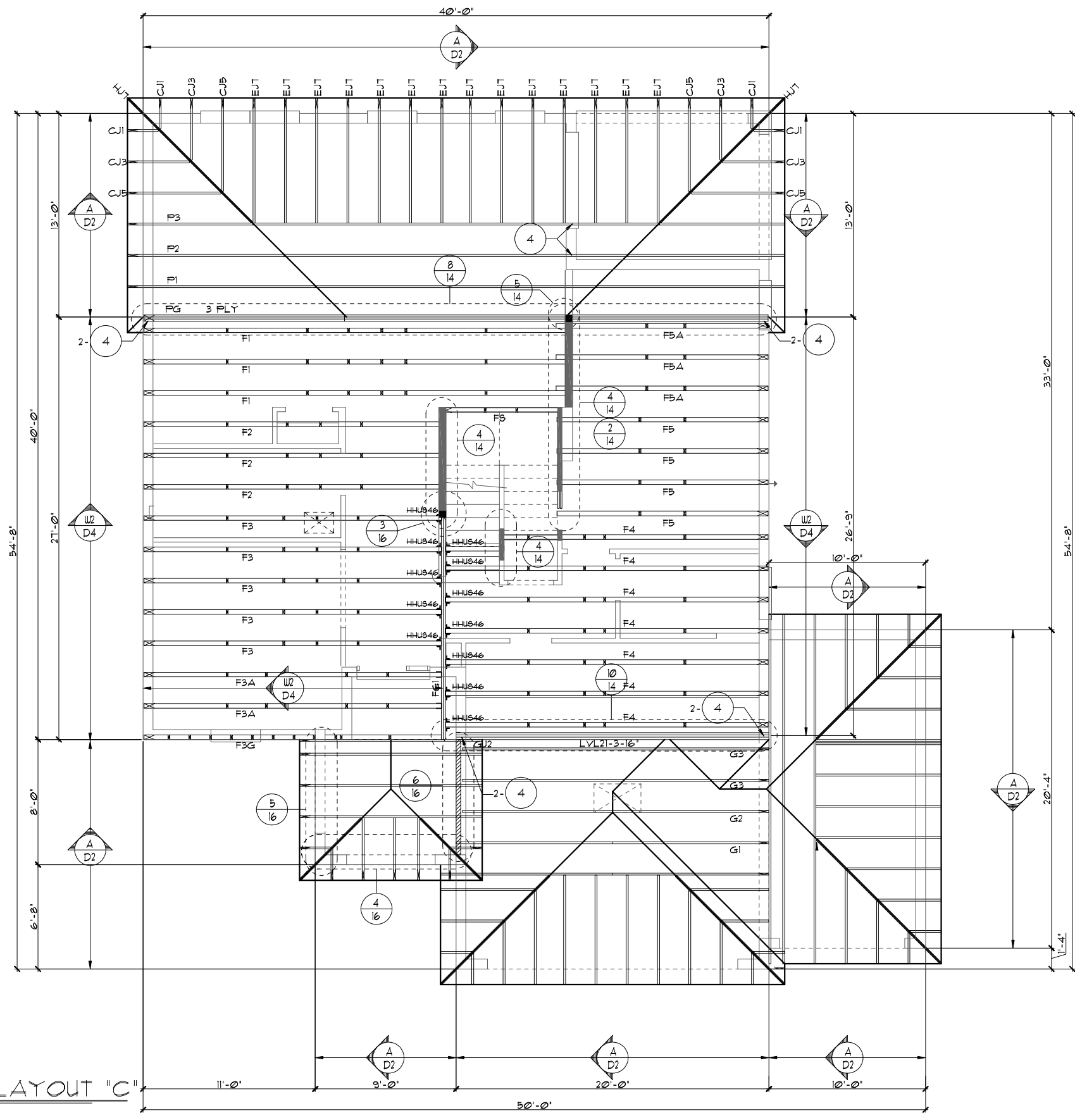
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- NOTES**
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  2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
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    - LOMANCO : (2) 9 1/4" DIA. CIRCLES
    - MILLENNIUM METAL : 2 1/2" X 46" HOLE
  9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBCE R305.1.1

**FIRST FLOOR TRUSS LAYOUT "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



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REVISIONS	BY
05-16-19	JF

PARK SQUARE HOMES  
 2380 THE PEMBROKE  
 DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 11.30 OF 11 SHEETS

### ATTIC VENTILATION CALCULATIONS

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ S.F.}}{300} = 6.54 \text{ S.F.}$  NET FREE VENT. REQUIRED

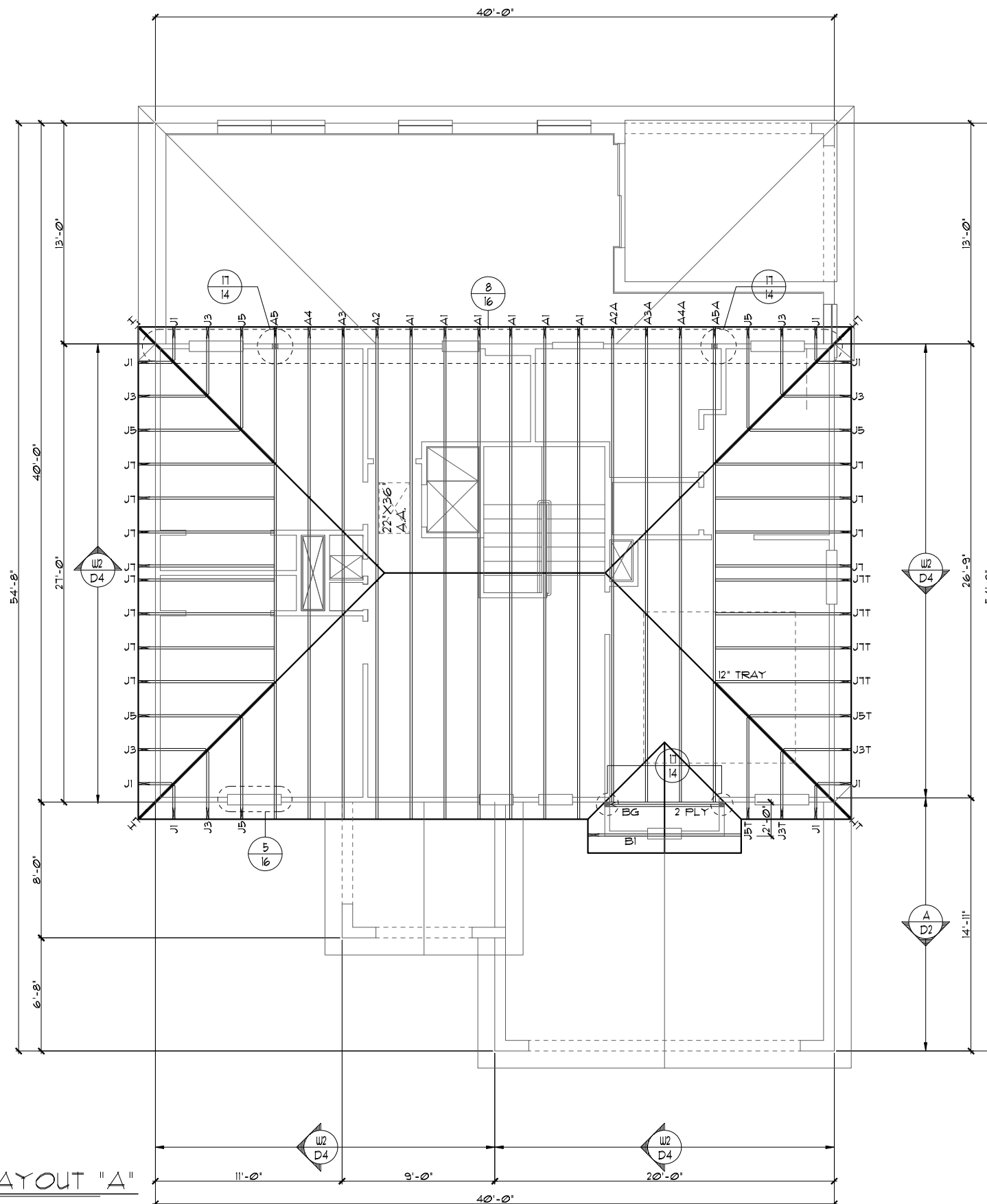
UPPER PORTION VENTILATION TOTAL: ----- **3.375 S.F.**  
 PROVIDED W/OFF RIDGE VENTS: **4 VENTS @ .975 S.F. / VENT.**  
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- **7.54 S.F.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--  
 (**86.67 L.F. @ 0.0875 S.F. VENTING PER L.F.**)

UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**

### NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 - Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R905.1.1. Underlayment shall be applied and attached in accordance with Table R905.1.1.
8. OFF RIDGE VENTS MAXIMUM OPENING SIZES:
  - LOMANCO : (2) 3 1/4" DIA. CIRCLES
  - MILLENNIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R905.1.1.1



2ND. FLOOR TRUSS LAYOUT "A"  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

UPPER FLOOR TRUSS LAYOUT

2380 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	12A
OF SHEETS	

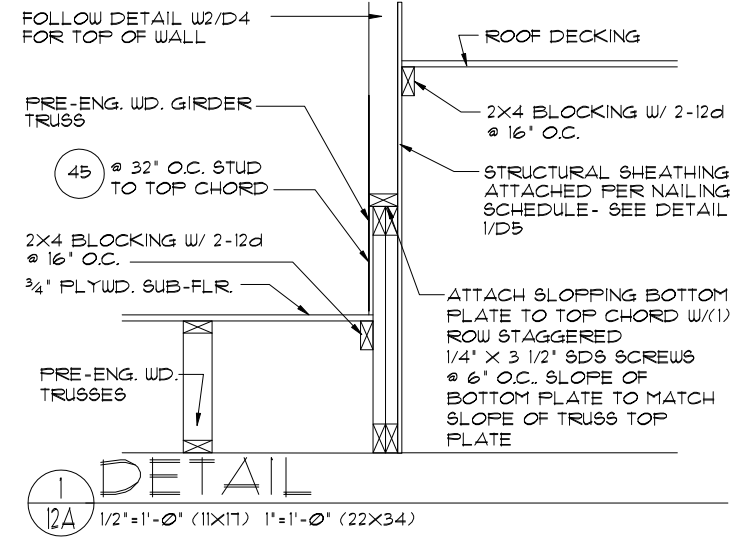
THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

REVISIONS	BY
05-16-19	JF



- NOTES**
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  - TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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  - REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
  - SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R305.11 - Underlayment materials required to comply with ASTM D226, D4869 or Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.11. Underlayment shall be applied and attached in accordance with Table R305.11.
  - OFF RIDGE VENTS MAXIMUM OPENING SIZES:
    - LOMANCO: (2) 9 1/4" DIA. CIRCLES
    - MILLENNIUM METAL: 2 1/2" X 46" HOLE
  - ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.11

**ATTIC VENTILATION CALCULATIONS**

PER FBC2023 8TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

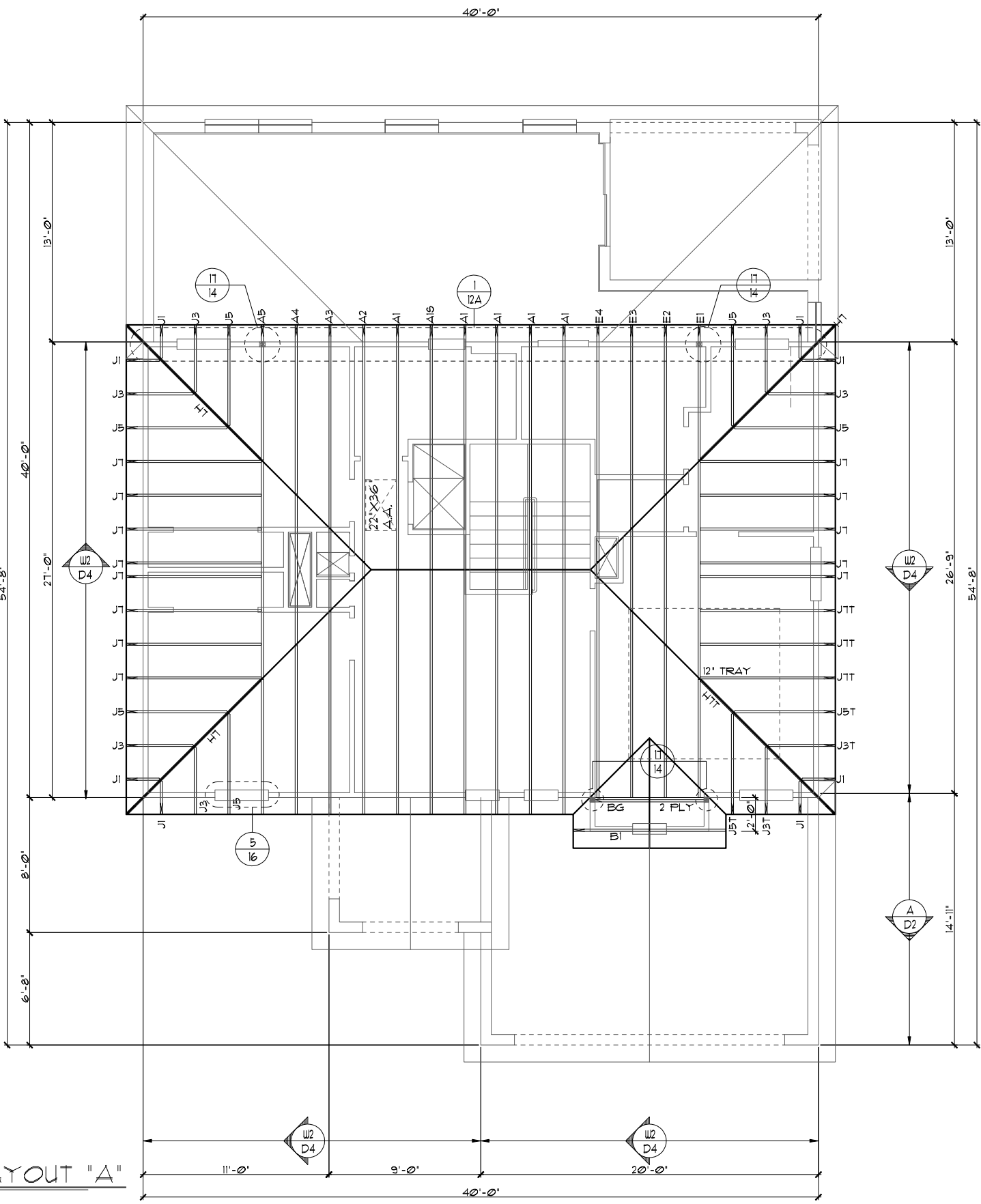
THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ SF.}}{300} = 6.54 \text{ SF.}$  NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL: ----- **3.378 SF.**  
 PROVIDED W/OFF RIDGE VENTS: **4** VENTS @ **978 SF.** /VENT.  
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- **7.54 SF.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--  
 (**86.67 L.F.** @ **0.0878 SF.** VENTING PER L.F.)

UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**



**2ND. FLOOR TRUSS LAYOUT "A"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

FLORIDA SERIES  
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 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

Park Square HOMES

2380 THE PEMBROKE

REVISIONS	BY
05-16-19	JF

DATE: 04-6-12  
 SCALE: AS NOTED  
 DRAWN: RDC  
 JOB: 2382  
 SHEET: 12A OF SHEETS

### ATTIC VENTILATION CALCULATIONS

PER FBC2023 8TH EDITION R806: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ S.F.}}{300} = 6.54 \text{ S.F.}$  NET FREE VENT. REQUIRED

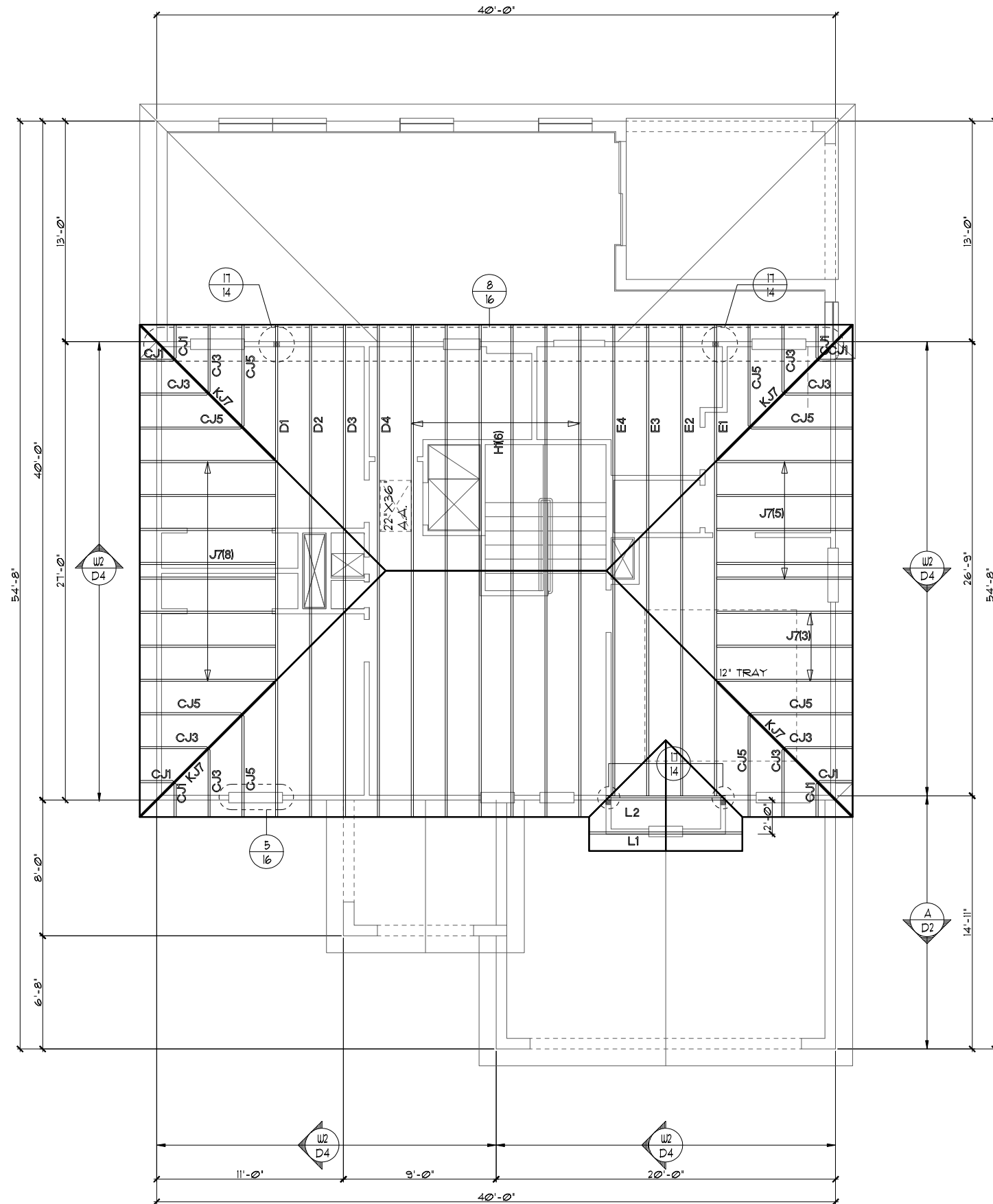
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 PROVIDED W/OFF RIDGE VENTS: 4 VENTS @ **975 S.F.** / VENT.  
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- **7.54 S.F.**  
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UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**

### NOTES

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### 2ND. FLOOR TRUSS LAYOUT "A"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.

2380 THE PEMBROKE

UPPER FLOOR TRUSS LAYOUT

LOT: 0000, COMMUNITY NAME

REVISIONS	BY
05-16-19	JF

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 THOMPSON ENGINEERING GROUP, INC.  
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Park Square HOMES

2380 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	12A
OF SHEETS	

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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### ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/150 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ SF.}}{300} = 6.54 \text{ SF.}$  NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL:----- **3.37 SF.**  
 PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **.97 SF.** /VENT.  
 (VENT TYPE: O'HAGIN MODEL 'S')

LOWER PORTION VENTILATION TOTAL:----- **7.54 SF.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:  
 (**86.67 LF.**@**0.087 SF.** VENTING PER LF.)

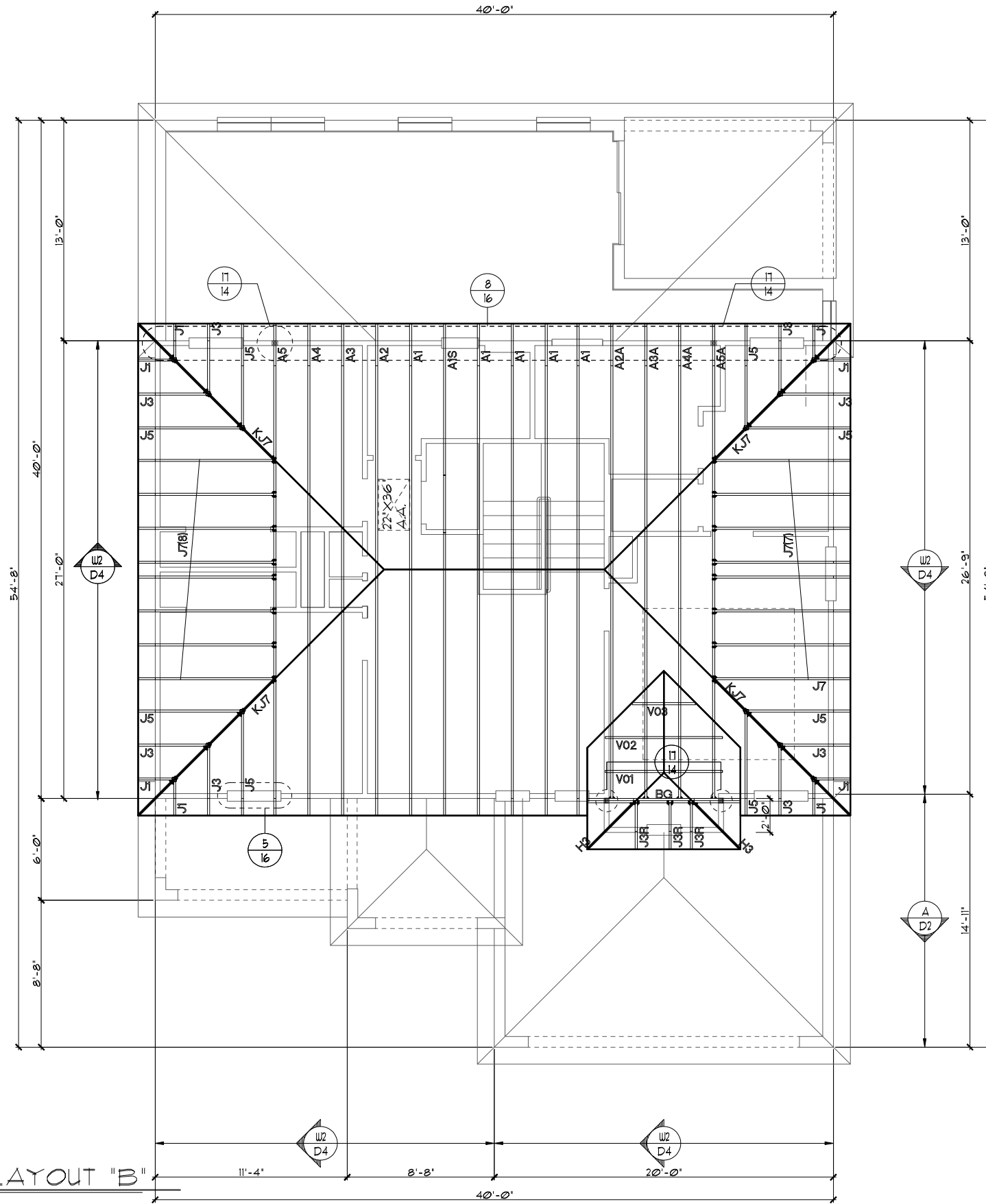
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 LOWER PORTION PERCENTAGE: **57%**

### NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/ OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH THE 11TH EDITION (2020) FLORIDA RESIDENTIAL CODE.
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZED BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPI/WTCA BCS1 I.
6. REFER TO TRUSS MANUFACTURER'S DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. SHINGLE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBC 2020, 11TH EDITION R305.1.1 - Underlayment materials required to comply with ASTM D226, D4869 of Type IV shall bear a label indicating compliance to the standard designation and, if applicable, type classification indicated in Table R305.1.1. Underlayment shall be applied and attached in accordance with Table R305.1.1.
8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
  - LOMANCO : (2) 9 1/4" DIA. CIRCLES
  - MILLENNIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1

### 2ND. FLOOR TRUSS LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

FLORIDA SERIES

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05-16-19	JF

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 Orlando, Florida, 32811  
 Phone: (407) 529 - 3000

**Park Square HOMES**  
 UPPER FLOOR TRUSS LAYOUT

2380	DATE	04-6-12
THE PEMBROKE	SCALE	AS NOTED
	DRAWN	RDC
	JOB	2382
	SHEET	
	OF	12B
		SHEETS



### ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/50 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ SF.}}{300} = 6.54 \text{ SF.}$  NET FREE VENT. REQUIRED

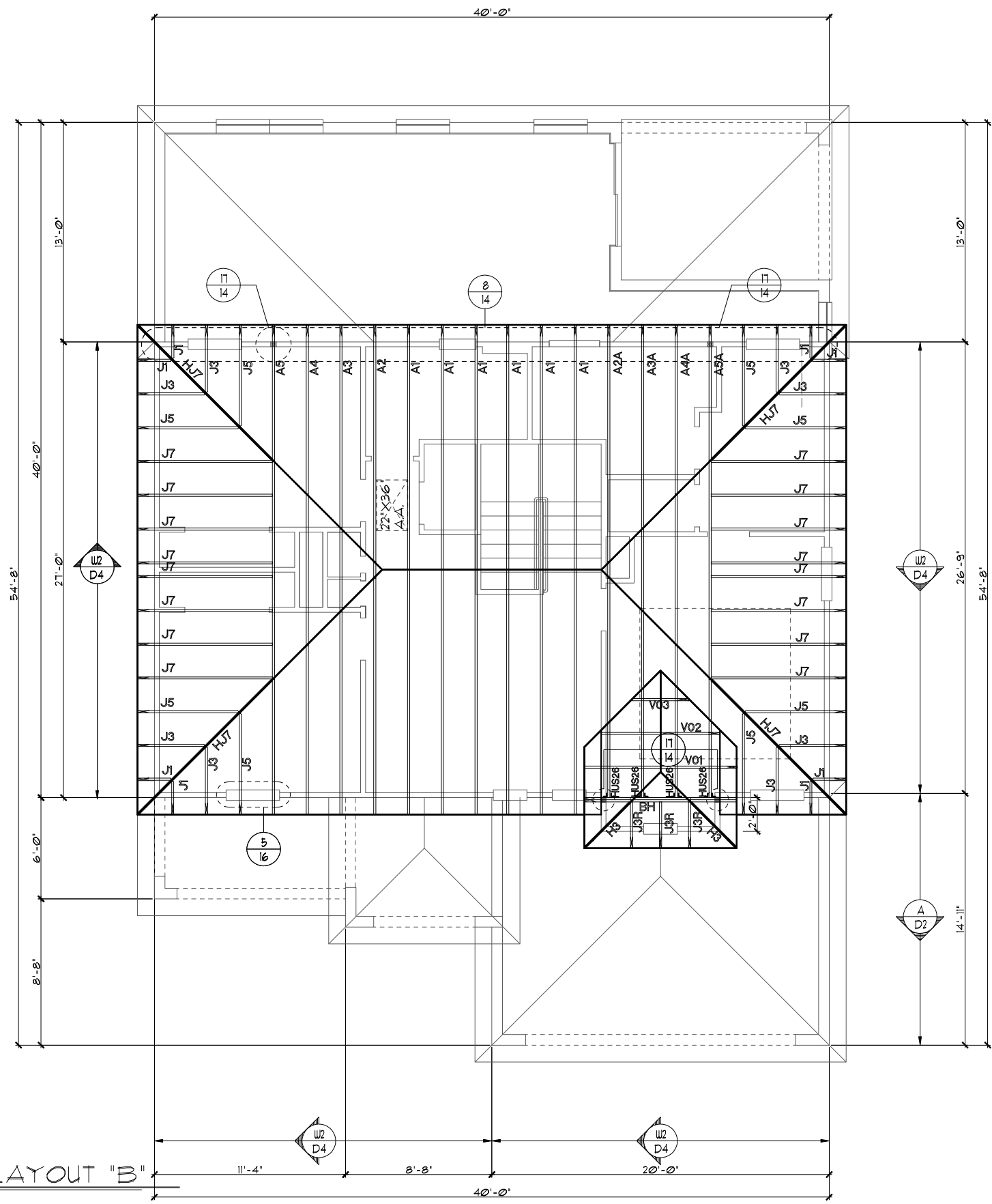
UPPER PORTION VENTILATION TOTAL:----- **3.37 SF.**  
 PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **.97 SF.** /VENT.  
 (VENT TYPE: O'HAGIN MODEL 'S')

LOWER PORTION VENTILATION TOTAL:----- **7.54 SF.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:  
 (**86.67 LF.**@**0.087 SF.**VENTING PER LF.)

UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**

### NOTES

1. TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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8. OFF RIDGE VENTS MAXIMUM OPENING SIZES :
  - LOMANCO : (2) 9 1/4" DIA. CIRCLES
  - MILLENNIUM METAL : 2 1/2" X 46" HOLE
9. ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1



**2ND. FLOOR TRUSS LAYOUT "B"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH  
 LOT: 0000, COMMUNITY NAME  
 FLORIDA SERIES  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
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05-16-19	JF

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 Orlando, Florida, 32811  
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**Park Square HOMES**  
 UPPER FLOOR TRUSS LAYOUT  
 2380  
 THE PEMBROKE

DATE: 04-6-12  
 SCALE: AS NOTED  
 DRAWN: RDC  
 JOB: 2382  
 SHEET: 12B OF 12 SHEETS

### ATTIC VENTILATION CALCULATIONS

PER FBC2023 8TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/300 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ S.F.}}{300} = 6.54 \text{ S.F.}$  NET FREE VENT. REQUIRED

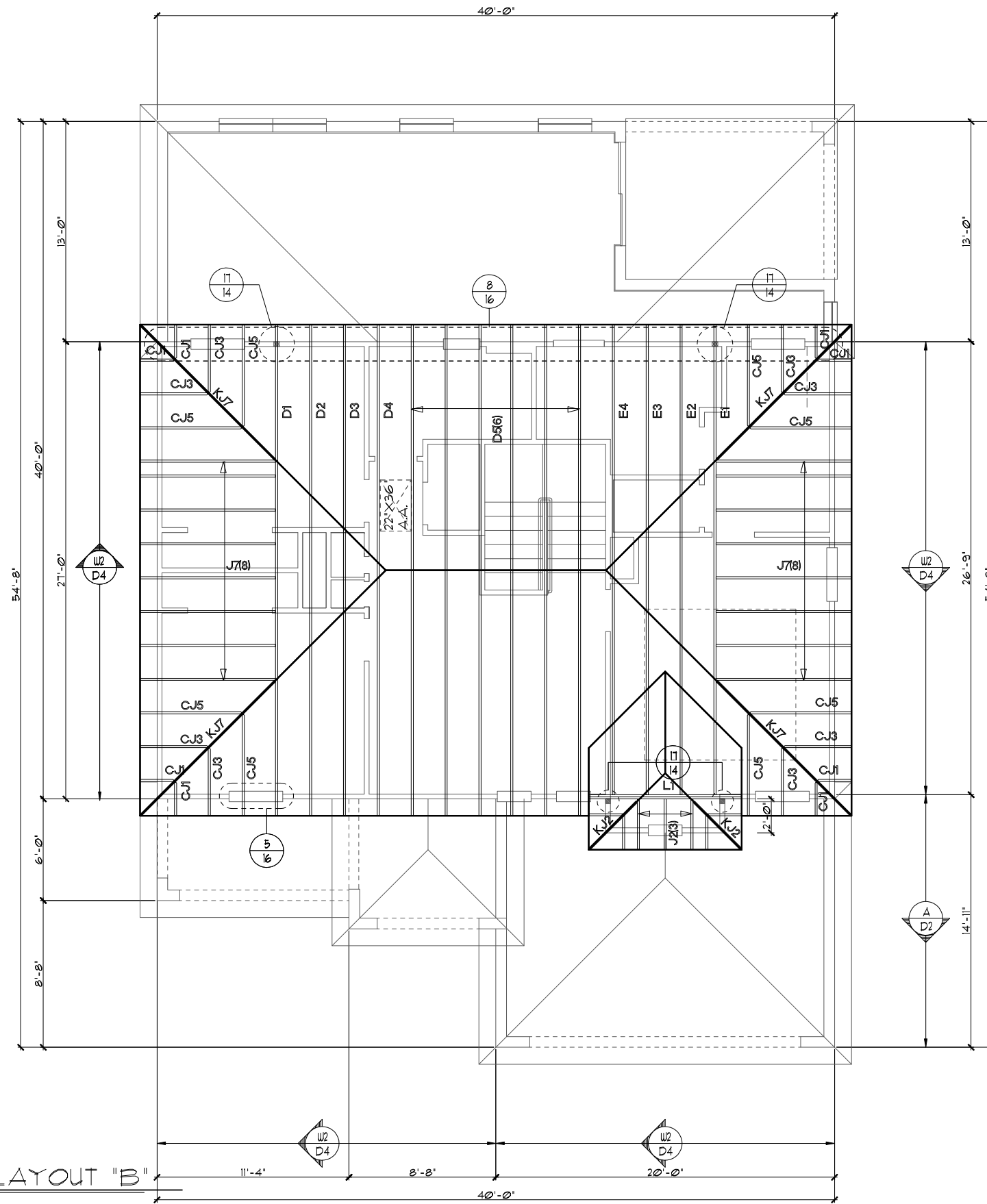
UPPER PORTION VENTILATION TOTAL: ----- **3.375 S.F.**  
 PROVIDED W/OFF RIDGE VENTS: **4 VENTS @ .975 S.F. / VENT.**  
 (VENT TYPE: LOMANCO MODEL T10-D OR MILLENNIUM METAL)

LOWER PORTION VENTILATION TOTAL: ----- **7.54 S.F.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:--  
 (**86.67 L.F. @ 0.0875 S.F. VENTING PER L.F.**)

UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**

### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE **12"** UNLESS OTHERWISE NOTED.
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- OFF RIDGE VENTS MAXIMUM OPENING SIZES:
  - LOMANCO : (2) 9 1/4" DIA. CIRCLES
  - MILLENNIUM METAL : 2 1/2" X 46" HOLE
- ROOF UNDERLAYMENT TO BE USED IS 2 LAYERS OF 30 LBS. SYNTHETIC FELT OR ANY OTHER METHOD LISTED PER FBC R305.1.1.1



2ND. FLOOR TRUSS LAYOUT "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

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UPPER FLOOR TRUSS LAYOUT

LOT: 0000, COMMUNITY NAME

REVISIONS	BY
05-16-19	JF

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Park Square HOMES

2380  
 THE PEMBROKE

DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	12B
OF SHEETS	

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8TH EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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### ATTIC VENTILATION CALCULATIONS

PER FBC2020 11TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

THE MINIMUM NET VENTILATION AREA SHALL BE 1/50 OF VENTED SPACE:

TOTAL VENTED SPACE:  $\frac{1962 \text{ SF.}}{300} = 6.54 \text{ SF.}$  NET FREE VENT. REQUIRED

UPPER PORTION VENTILATION TOTAL:----- **3.37 SF.**  
 PROVIDED W/OFF RIDGE VENTS: **3** VENTS @ **.97 SF.** /VENT.  
 (VENT TYPE: O'HAGIN MODEL 'S')

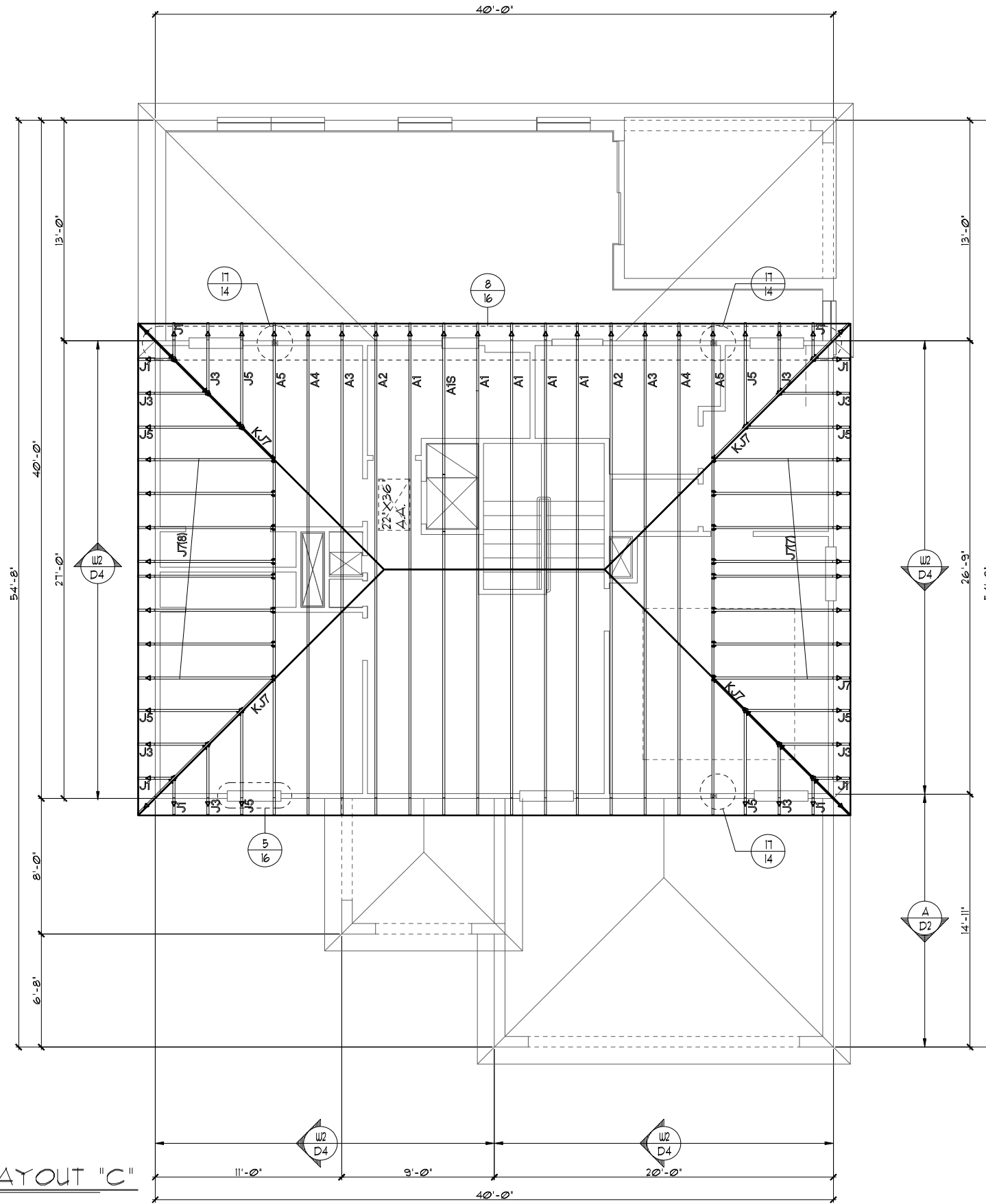
LOWER PORTION VENTILATION TOTAL:----- **7.54 SF.**  
 PROVIDED W/ VENTILATED SOFFITS @ EAVE:  
 (**86.67 LF.**@ **0.087 SF.** VENTING PER LF.)

UPPER PORTION PERCENTAGE: **44%**  
 LOWER PORTION PERCENTAGE: **57%**

### NOTES

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**2ND. FLOOR TRUSS LAYOUT "C"**  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME: FLORIDA SERIES

PARK SQUARE HOMES 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529-3000	
2380 THE PEMBROKE	UPPER FLOOR TRUSS LAYOUT
DATE: 04-6-12 SCALE: AS NOTED DRAWN: RDC JOB: 2382 SHEET: 12C OF 12 SHEETS	REVISIONS BY 05-16-19 JF

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Park Square  
 HOMES

### ATTIC VENTILATION CALCULATIONS

PER FBC2020 7TH EDITION R306: MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).

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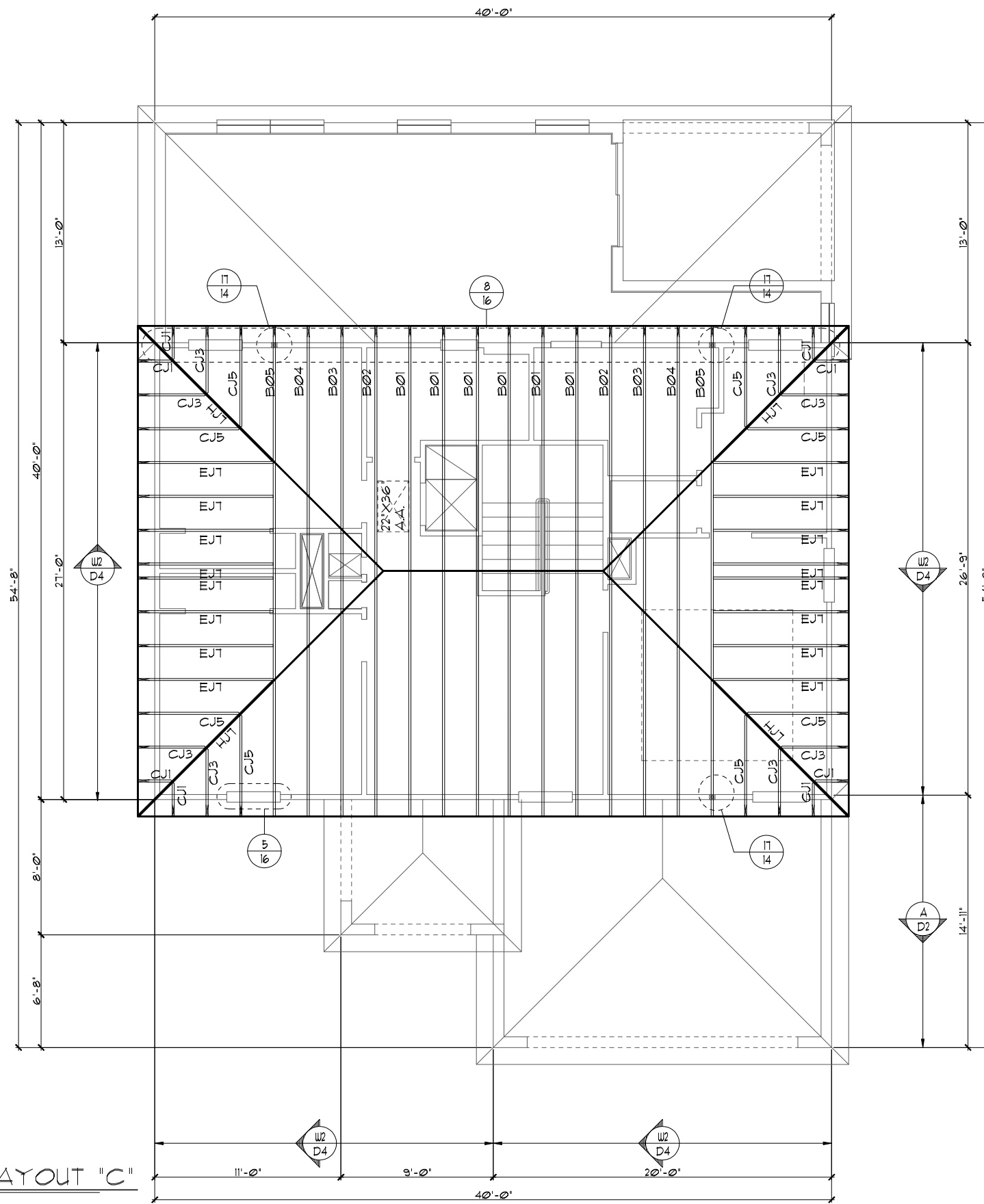
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LOT: 0000, COMMUNITY NAME

FLORIDA SERIES

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DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	12C
OF SHEETS	12C

2380

THE PEMBROKE

UPPER FLOOR TRUSS LAYOUT

Park Square HOMES

A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
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REVISIONS	BY
05-16-19	JF

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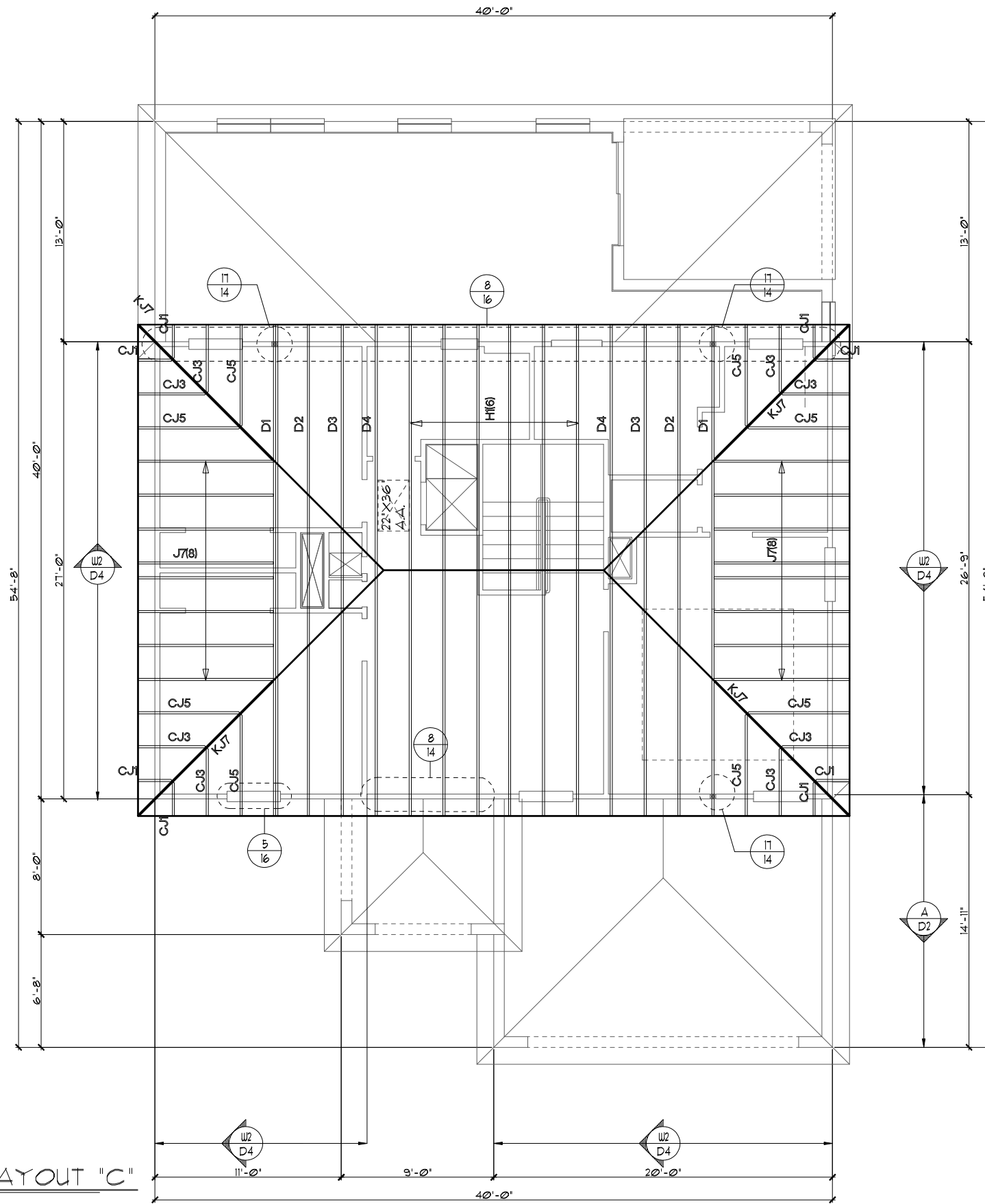
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 (.8667 L.F. @ 0.0875 S.F. VENTING PER L.F.)

UPPER PORTION PERCENTAGE:  $\frac{44\%}{57\%}$   
 LOWER PORTION PERCENTAGE:  $\frac{57\%}{44\%}$

### NOTES

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2ND. FLOOR TRUSS LAYOUT "C"  
 1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

UPPER FLOOR TRUSS LAYOUT

2380 THE PEMBROKE

REVISIONS	BY
05-16-19	JF
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vineland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529-3000	
DATE	04-6-12
SCALE	AS NOTED
DRAWN	RDC
JOB	2382
SHEET	12C
OF	SHEETS

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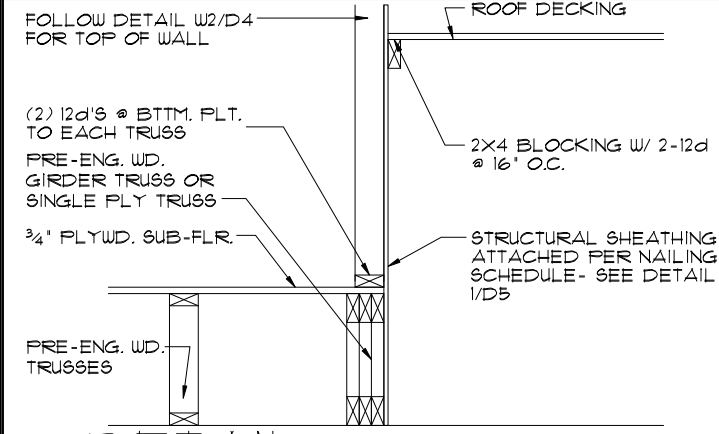
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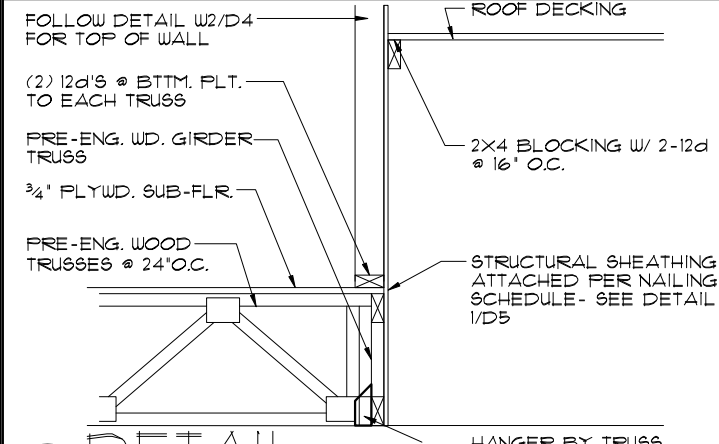






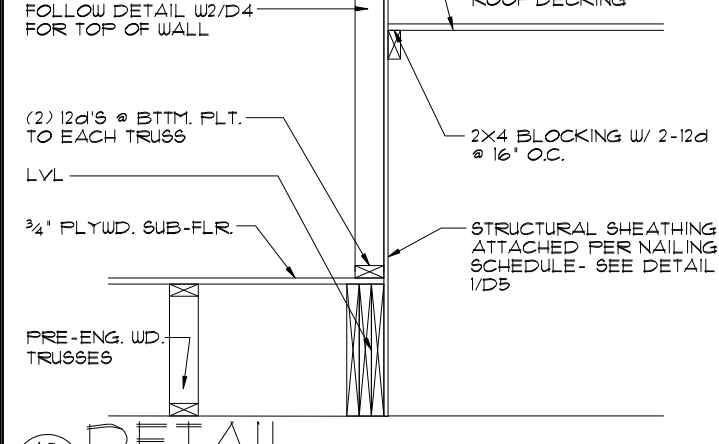
**8 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



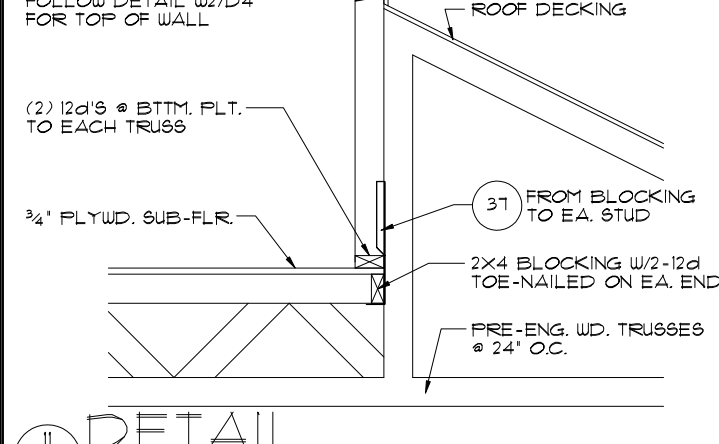
**9 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



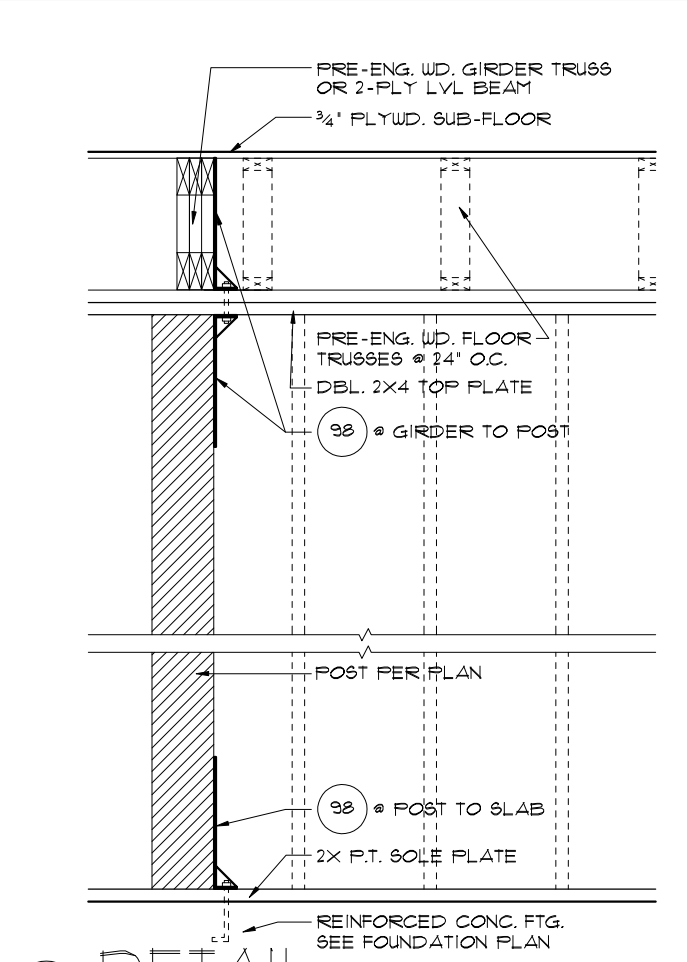
**10 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



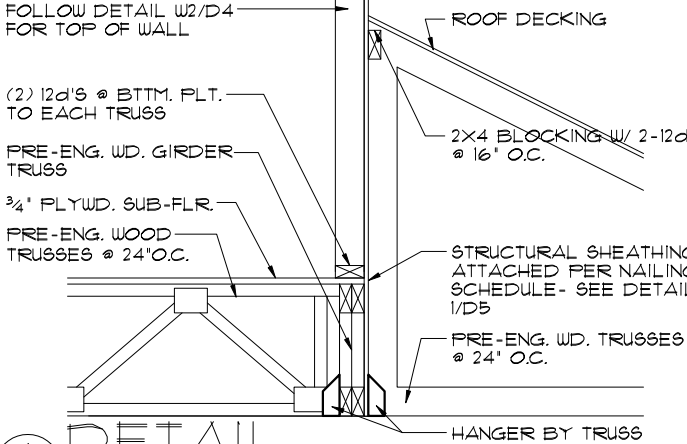
**11 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



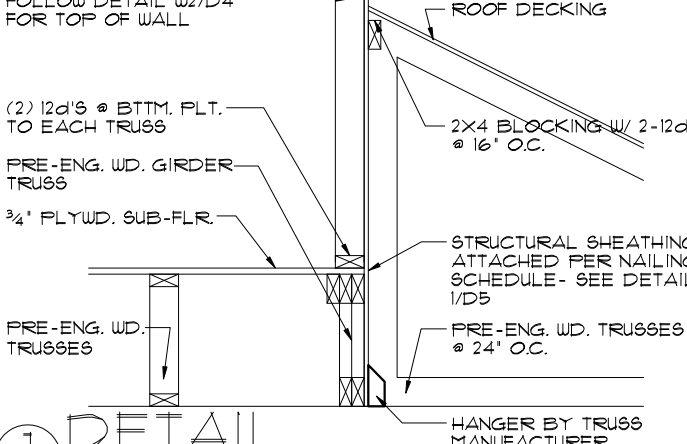
**5 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



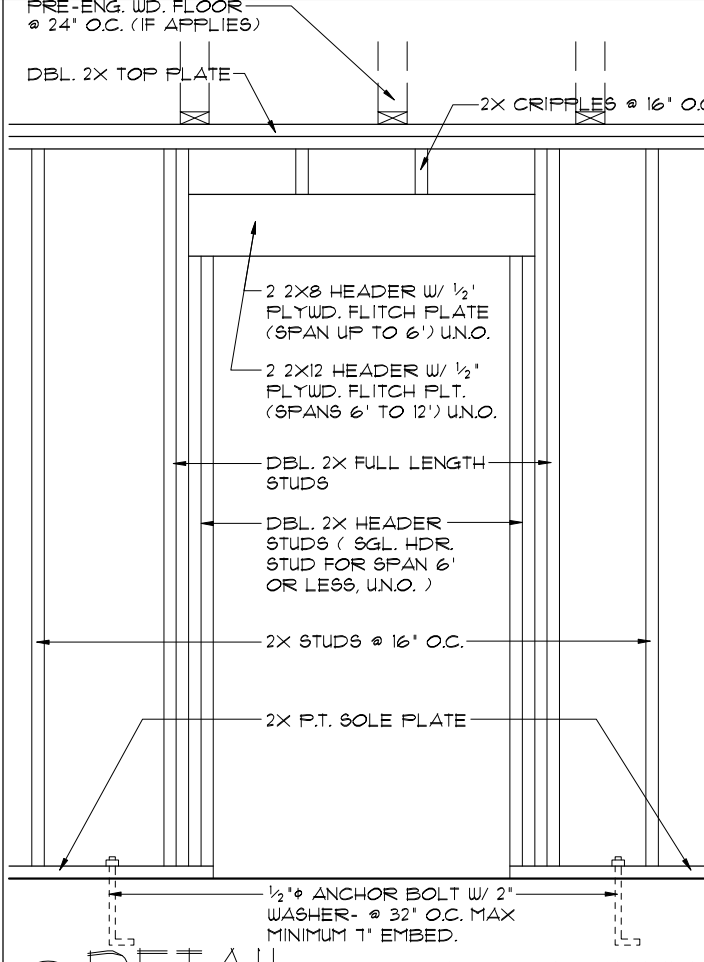
**6 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



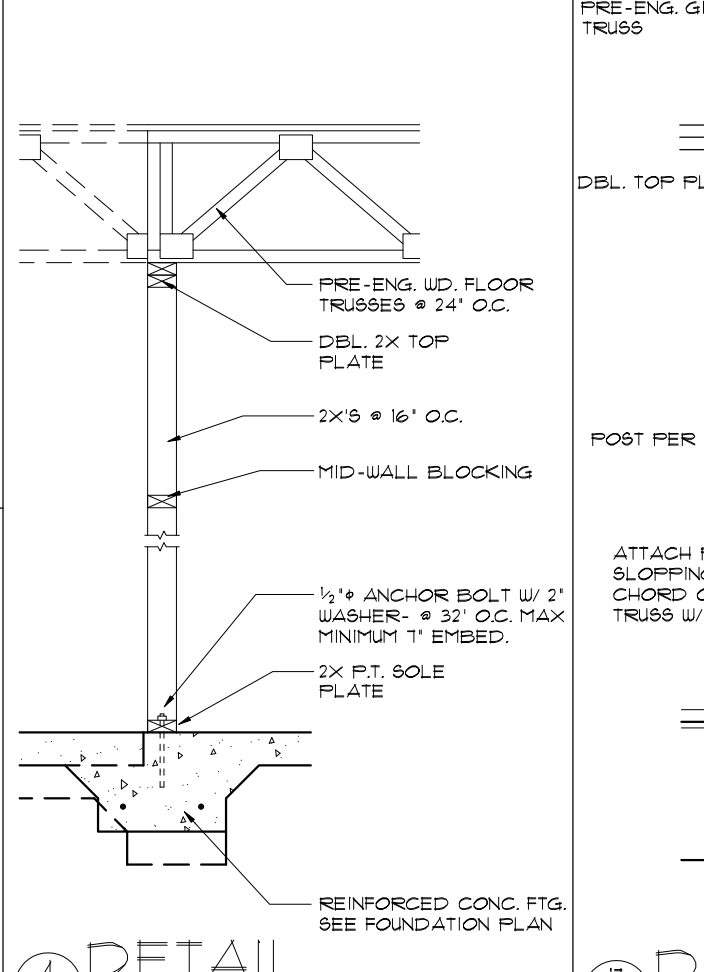
**7 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



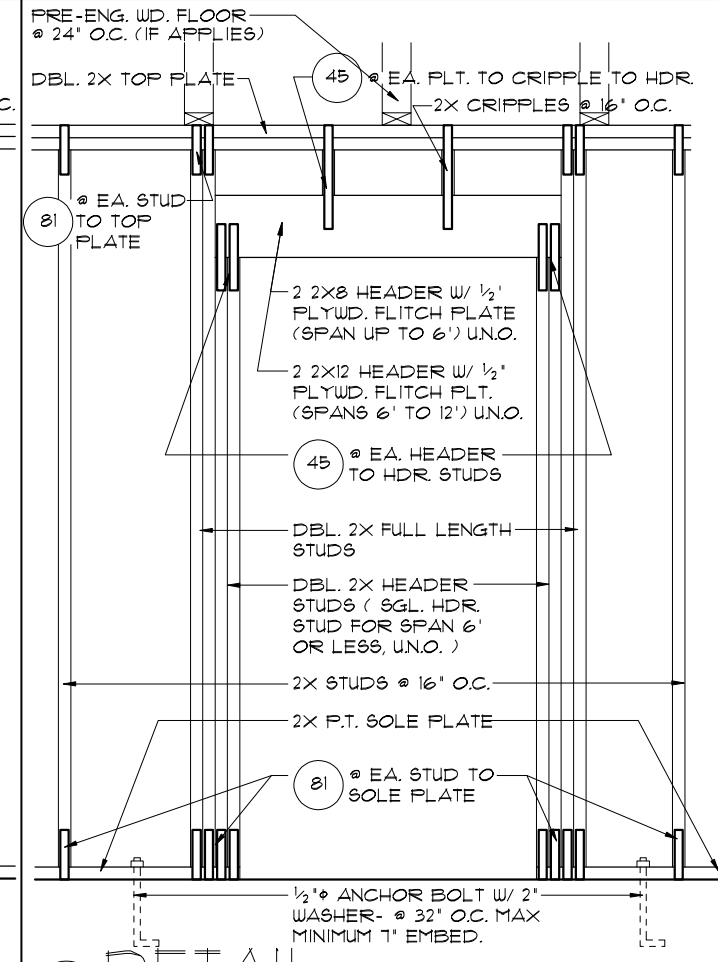
**2 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34) (BRG. W/O UPLIFT)



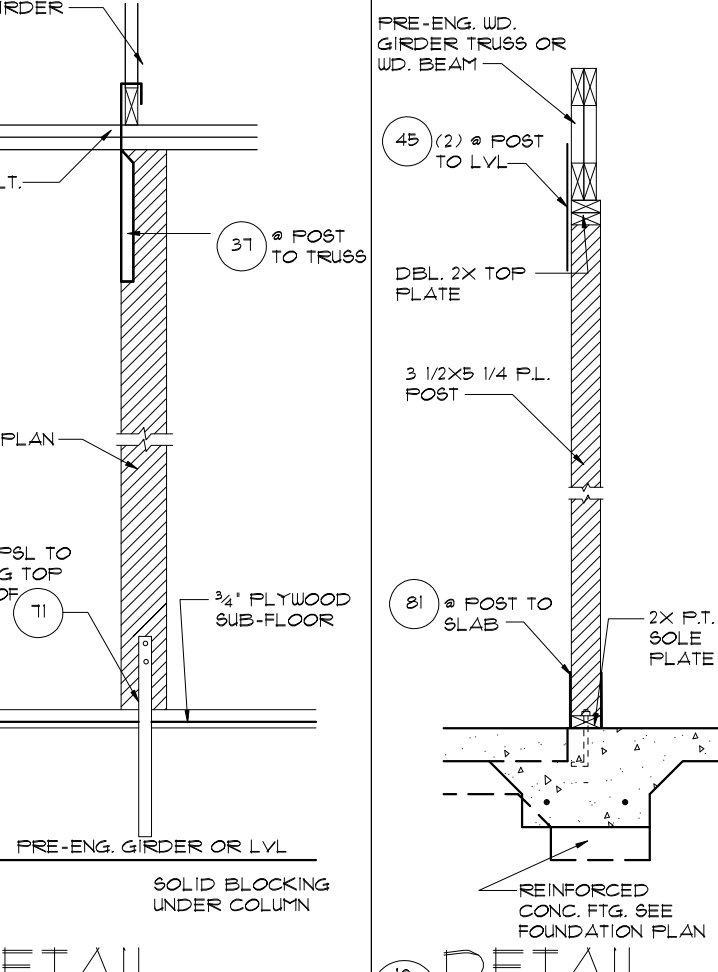
**4 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



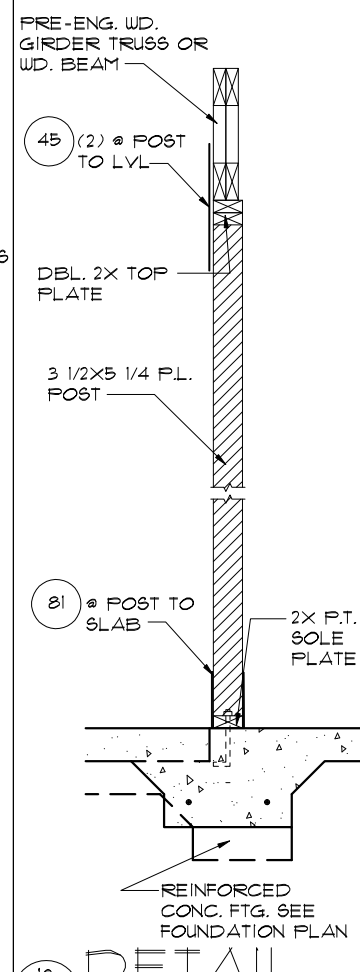
**1 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34) (BRG. W/ UPLIFT)



**11 DETAIL**

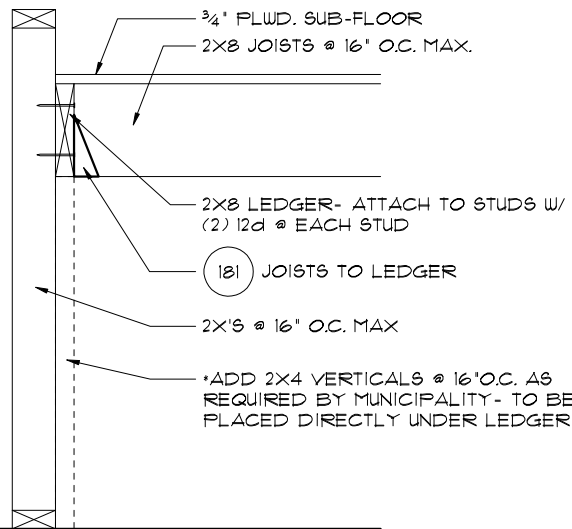
14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



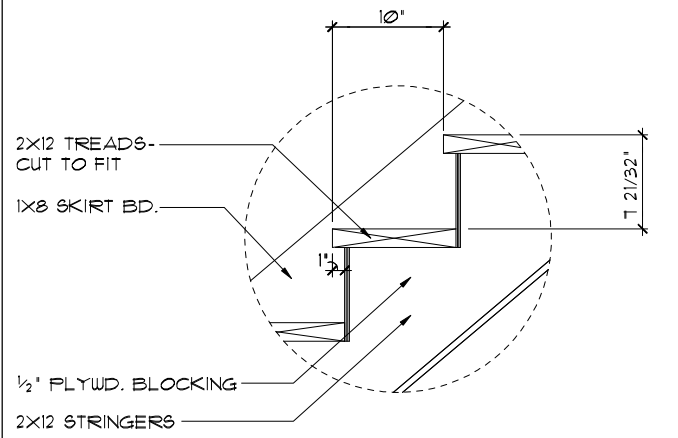
**18 DETAIL**

14 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

FLORIDA SERIES  
 LOT: 0000, COMMUNITY NAME  
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 DATE 04-6-12  
 SCALE AS NOTED  
 DRAWN RDC  
 JOB 2382  
 SHEET 14 OF SHEETS  
 REVISIONS BY  
 05-16-19 JF  
**ITEG**  
 ITC ENGINEERING GROUP, INC.  
 14000 W. STATE ROAD #100, SUITE 200  
 ORLANDO, FLORIDA 32811  
 TEL: (407) 734-1400  
 FAX: (407) 734-1700  
 www.iteg.com  
 A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
 5200 Vineland Road, Suite 200  
 Orlando, Florida, 32811  
 Phone: (407) 529-3000  
**Park Square HOMES**  
 TYPICAL DETAILS  
 2380  
**THE PEMBROKE**

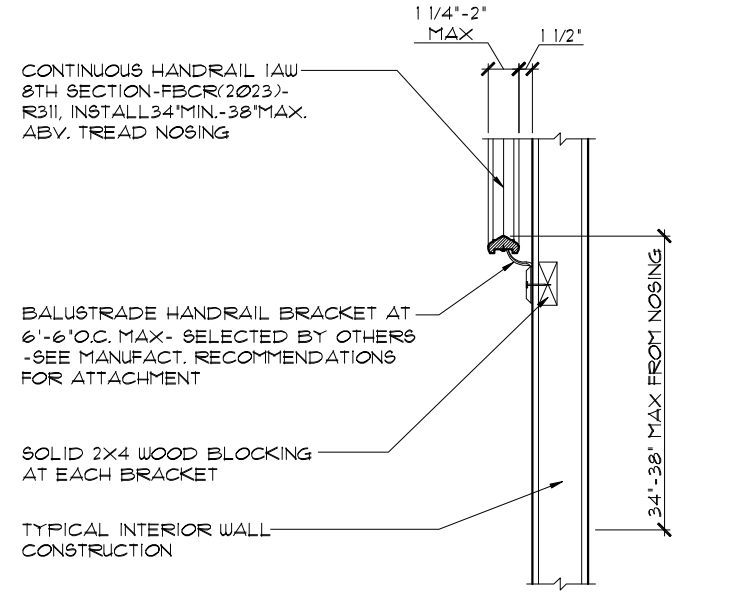


4 TYP. STAIR CONNECT. 3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34") PLATFORM FRAMING

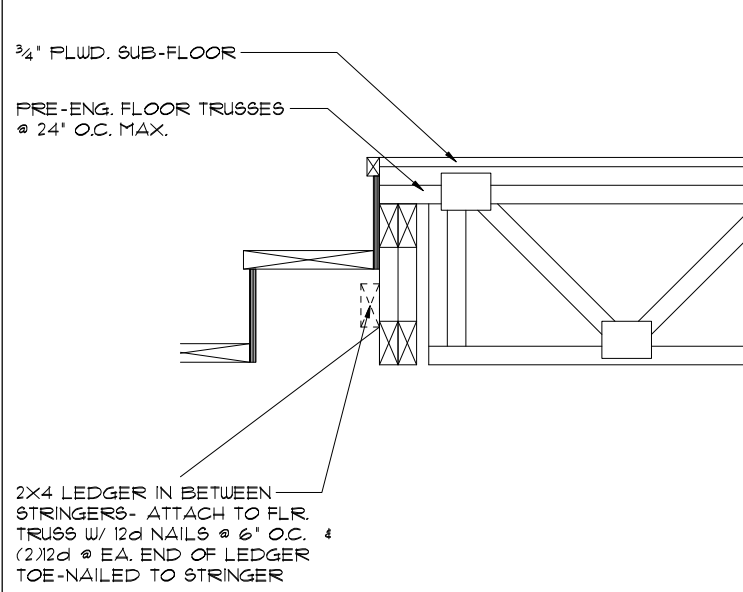


DATA: TOTAL RISE: 10'-8 3/4" (17 RISERS @ 1 9/16" EA.)  
TOTAL RUN: 13'-4" (16 TREADS @ 10" EA.)

1 STAIR DETAIL 3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34") STAIR DATA



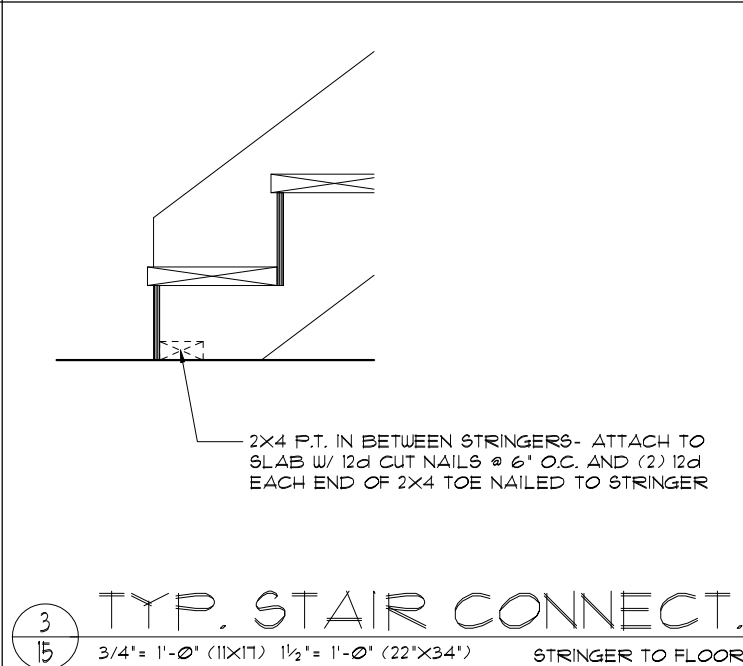
5 TYP. HANDRAIL DET. 3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34")



2 TYP. STAIR CONNECT. 3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR TRUSS

NOTES:  
STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2023, 8 TH EDITION SECTION R311.1

MAX. HGT. OF RISER TO BE NOT MORE 7 3/4". WIDTH OF TREAD TO BE 9" (EXCLUSIVE OF NOSING) ALL TREADS LESS THAN 10" IN WIDTH SHALL HAVE APPROX. 1" OF NOSING 3/16" MAX. VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER 3/8" MAX. VARIATION IN ANY RISER/TREAD HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY. WINDERS: MIN. 6" WIDE @ NARROW END 34" MIN. - 38" MAX., HANDRAIL HGT. HEADROOM CLEARANCE MIN. 6'-8"



3 TYP. STAIR CONNECT. 3/4" = 1'-0" (11X17) 1/2" = 1'-0" (22"X34") STRINGER TO FLOOR

CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		USP		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA20	14-10d x 1 1/2"	ETA20	14-10d	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	N/A	N/A	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	RT3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	RT15	RFT: 5-8dx1 1/2" / PLT: 5-8d	475	485 / 165
22	H10A	RFT: (9)10d x 1 1/2" / PLT: (9)10d x 1 1/2"	RT16	RFT: 8-8d x 1 1/2" / PLT: 8-8d	990	585 / 525
23	LUS26	HDR: 4-10d / JST: 4-10d / RFT / TRS: (4)8d	JUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H1Z	PLT / STD: (2)8dx1 1/2" (8)8d	RT20	RFT / TRS: 9-10d / PLT / STD: 13-10d	985	400 / N/A
26	H2.5A	RFT: 5-8d / PLT: 5-8d	RT1	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / F: 4-8dx1 1/2"	MP34	H: 4-8dx1 1/2" / F: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / F: 4-8dx1 1/2"	MPAIF	H: 6-8dx1 1/2" / F: 6-8dx1 1/2"	440	440 / N/A
37	MTS12	14-10d	MTW12	14-10d	1,000	N/A
38	MTS16	14-10d	MTW16	14-10d	1,000	N/A
43	LSTA12	10-10d	LSTA12	10-10d	905	N/A
45	ST18	14-16d	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	N/A	N/A	5,495	N/A
79	SPI	STD: 6-10d / PLT: 4-10d	SPT22	STD: 4-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	SPT224	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	TP4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	PAU66	12-16d	2,240	N/A
93	CB66	(2) 3/8" BOLTS	PA8X8	4-10d	2,300	985
92	ABU44	12-16d	PAU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	PBS66	24-16d	1,815	1,070
94	AC4 (MAX)	28-16d	PBS44	24-16d	1,815	1,070
95	HTS20	20-10d	HTW20	20-10d	1,450	N/A
96	HD8A	SILL: 1/8" BOLT / STUD: (3) 3/8" X 5 1/2" BOLTS	HHD8A	SILL: 1/8" BOLT / STUD: (3) 3/8" X 5 1/2" BOLTS	7,910	N/A
99	A35	H: 4-8dx1 1/2" / F: 4-8dx1 1/2"	MPAI	H: 6-8dx1 1/2" / F: 6-8dx1 1/2"	440	440 / N/A
98-101	HTT4	5/8" BOLT / 18-16dx2 1/2"	N/A	N/A	3,640	N/A
97-100-102	HTT5	5/8" BOLT / 26-10d	N/A	N/A	4,275	N/A
103	VGTR/L	32-SDS 1/4" X 3" / (2) 5/8" BLT	N/A	N/A	3,990	N/A
104	HDUB-SDS2.5	7/8" BLT / 20-SDS 1/4" X 2 1/2"	N/A	N/A	5,020	N/A
110	HCP2	12-10d x 1 1/2"	HHCP2	20-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	THD46	H: 8-18d / J: 12-10d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	SUH46	H: 8-16d / J: 4-16d	710	N/A
181	HUS26	20-16d	THD26	H: 20-16d / J: 10-10d	1,550	N/A
184	HHUS28-2	G: 28-16d / T: 8-16d	EHUH28-2	12-16d	2,000	N/A
214	HUC212-3TF	HD: 16-3/16" X 1 1/2" TAPCON / BM: 6-16d	HDO212-3	HD: 18-3/16" X 1 1/2" TAPCON / BM: 6-10d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	EHUH210-2	HDR: 40-16d / JST: 16-10d	2,720	N/A
216	HUS412	BLOCK: 10-1/4" X 1 1/2" TC / JOIST: 10-16d	HUS412	BLOCK: 10-1/4" X 1 1/2" TC / JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4" X 1 1/2" TC / JOIST: 10-16d	HUS212-2	BLOCK: 10-1/4" X 1 1/2" TC / JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR 3/4" X 8 TOP FACE / JOIST: 18-10d	NFM35X12U	H: 1-1/2" J-BOLT / J: 5-1/2" BOLTS	3,145	N/A
220	N/A	N/A	NFM 3X12	BLK: 1/2" J / JST: 14-10d	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" x 8" / JOIST: 18-10d	NFM45U	HDR: MIN. 1/2" x J-BOLT / JOIST: (5) 1/2" x BOLTS	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" x 8" / JOIST: 18-10d	NFM3.5X16U	HDR: MIN. 1/2" x J-BOLTS / JOIST: (5) 1/2" x BOLTS	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" x 8" / JOIST: 18-10d	NFM5.5X16U	HDR: MIN. 1/2" x J-BOLTS / JOIST: (5) 1/2" x BOLTS	3,450	N/A
240	H15	R: 4-10dx1 1/2" / F: 4-10dx1 1/2"	N/A	N/A	1,300	480 / N/A
241	LGT2	30-16d-sinker	LUGT2	32-10d	2,000	1015 / 440
301	MGT	(1) 3/4" BOLTS / GIR: 22-10d	N/A	N/A	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BOLTS / GIR: 8-10d	USC63	LTL: 3/4" BOLTS / GIR: 8-16d	6,485	N/A
303	HGT-4	LTL: 3/4" BOLTS / GIR: 16-10d	N/A	N/A	9,250	N/A
401	MSTAM36	(13)10d / BLK: (8)1/4" X 3/4"	N/A	N/A	1,870	N/A
T	CONNECTORS TO BE SPECIFIED AND PROVIDED BY TRUSS MANUFACTURERS					

⊖ - INDICATES TRUSS CONNECTOR GO TO CONNECTOR SCHEDULE ON PAGE 15 FOR CONNECTOR NAME AND SPECIFICATION.

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2023 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

LOT: 0000, COMMUNITY NAME

FLORIDA SERIES

TYPICAL DETAILS / CONNECTOR SCHEDULE

2380 THE PEMBROKE

DATE 04-6-12

SCALE AS NOTED

DRAWN RDC

JOB 2382

SHEET 15 OF SHEETS

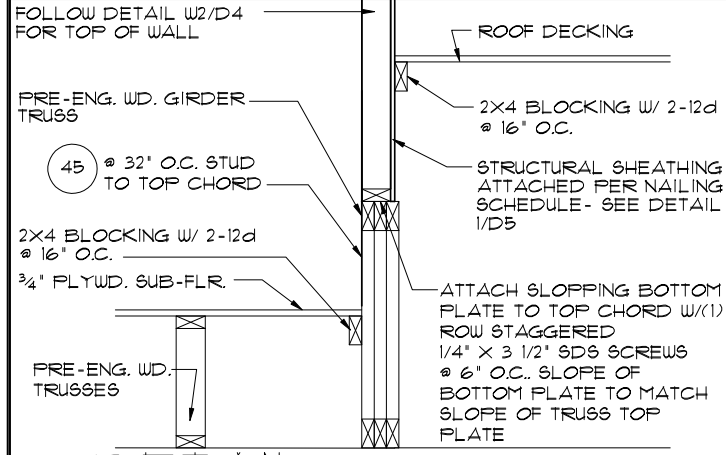
REVISIONS BY

05-16-19 JF

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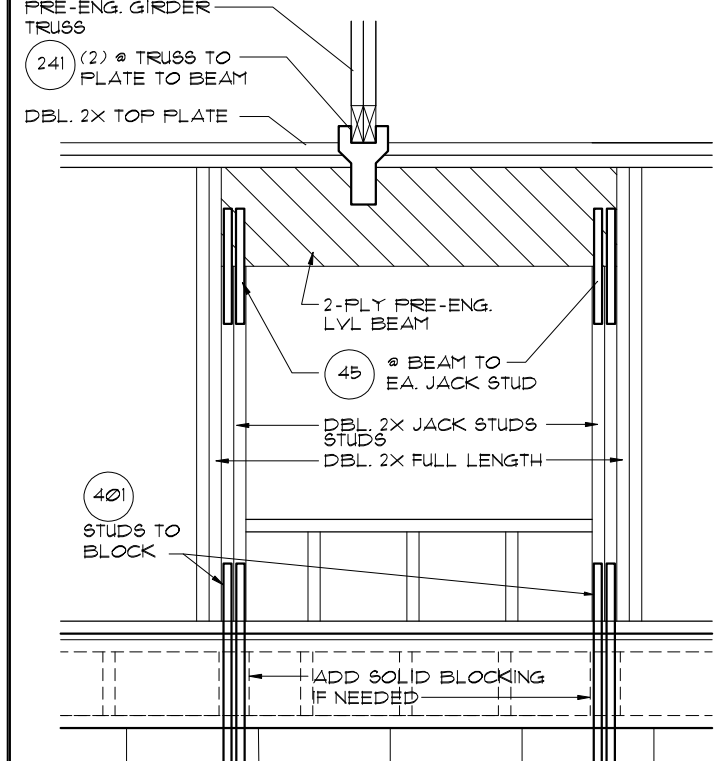
A DIVISION OF PARK SQUARE ENTERPRISES, INC. 5200 Vlneland Road, Suite 200 Orlando, Florida, 32811 Phone: (407) 529-3000

PARK SQUARE HOMES



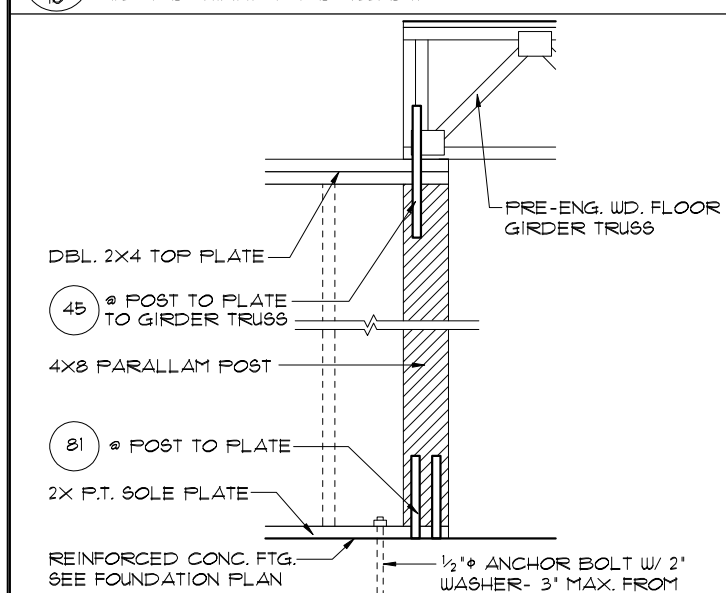
**8 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



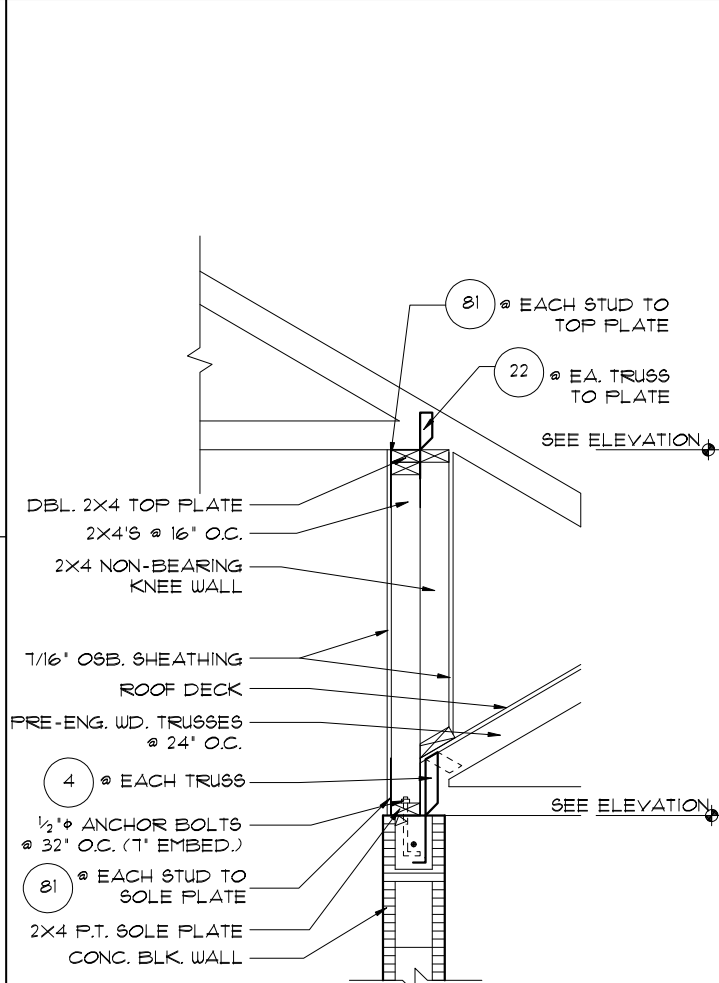
**5 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



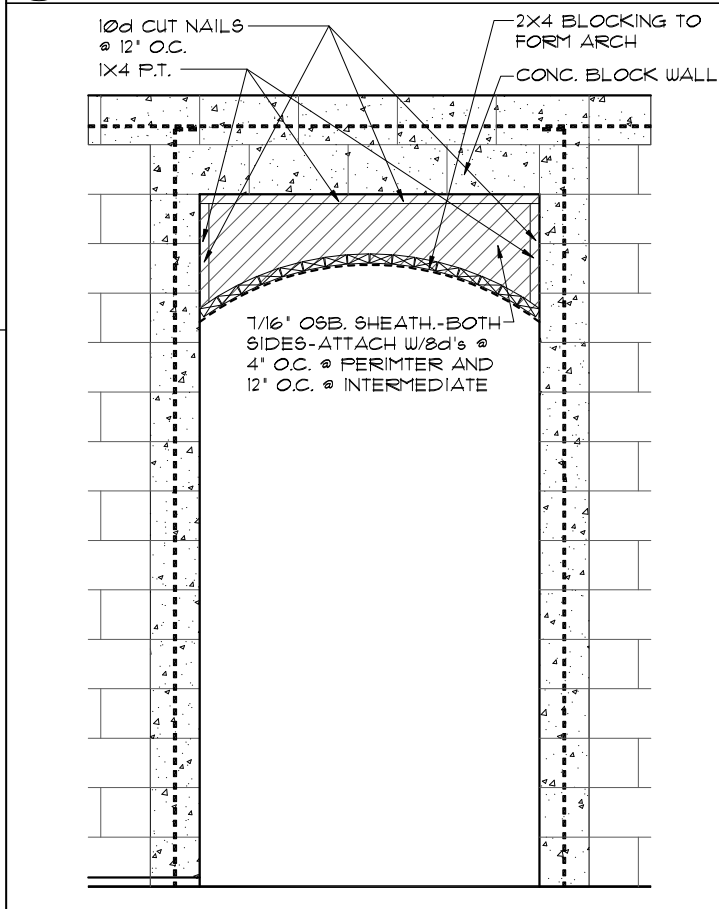
**3 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



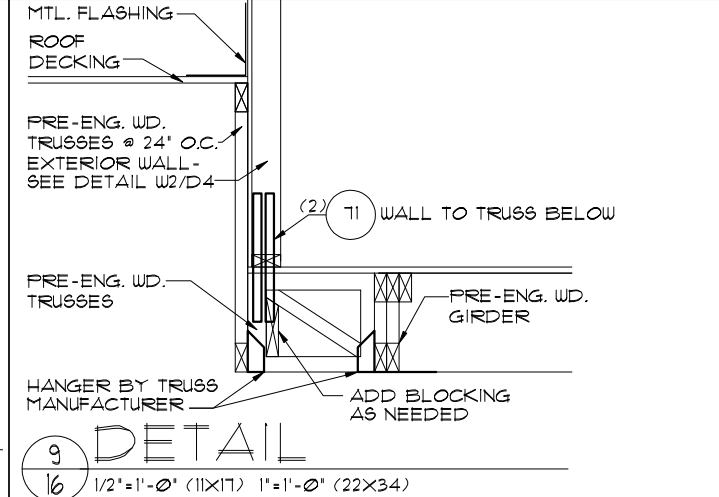
**6 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



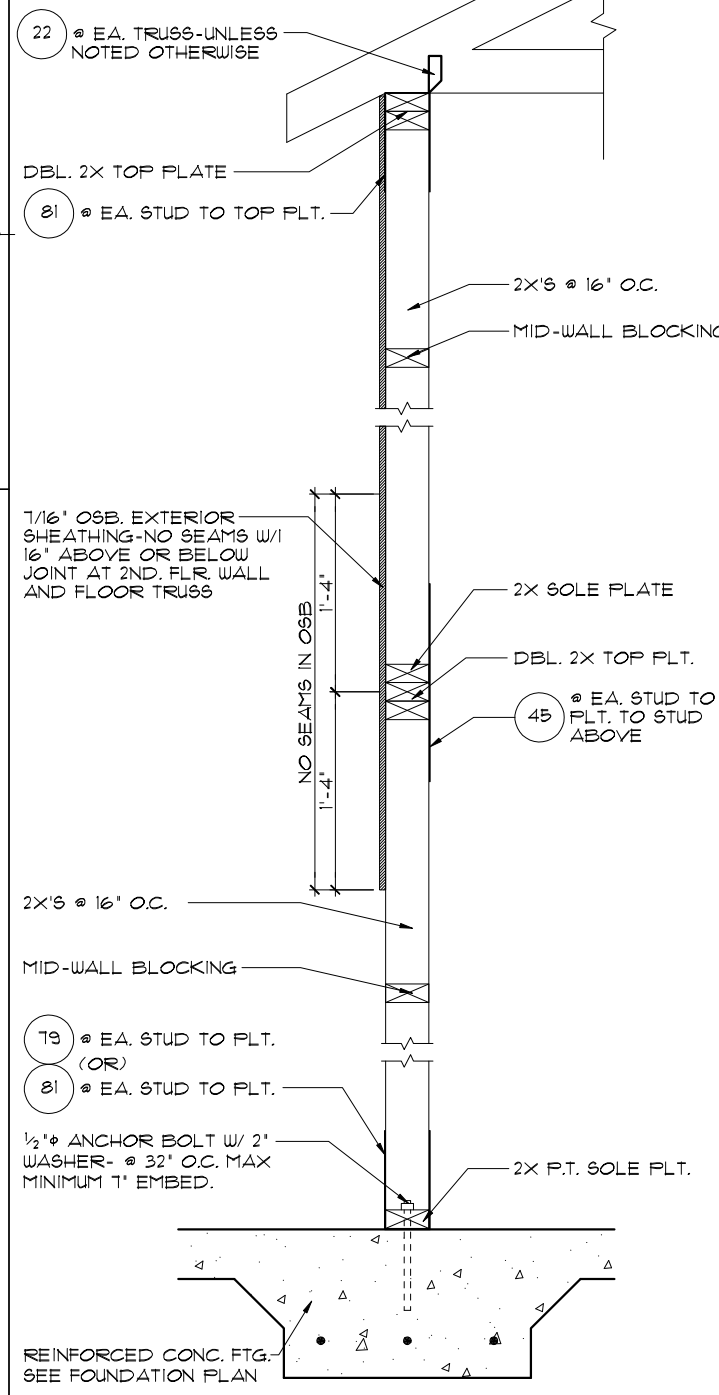
**4 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



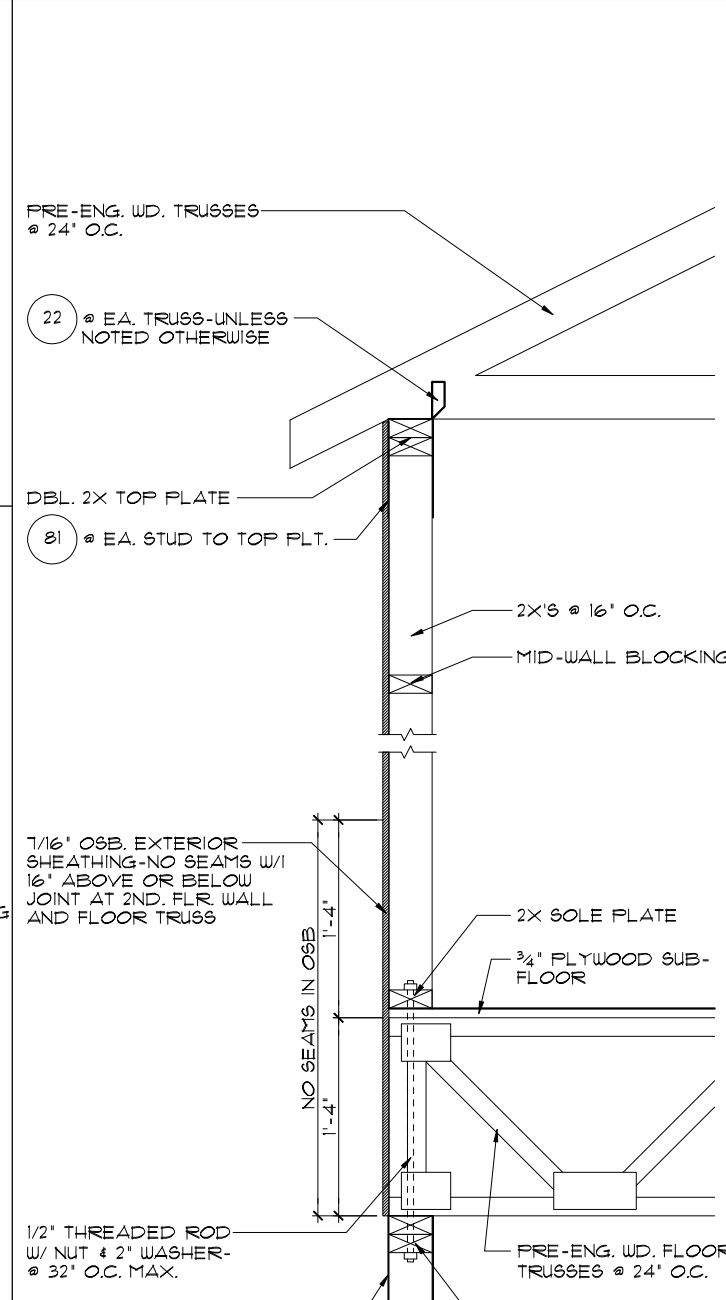
**9 DETAIL**

1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



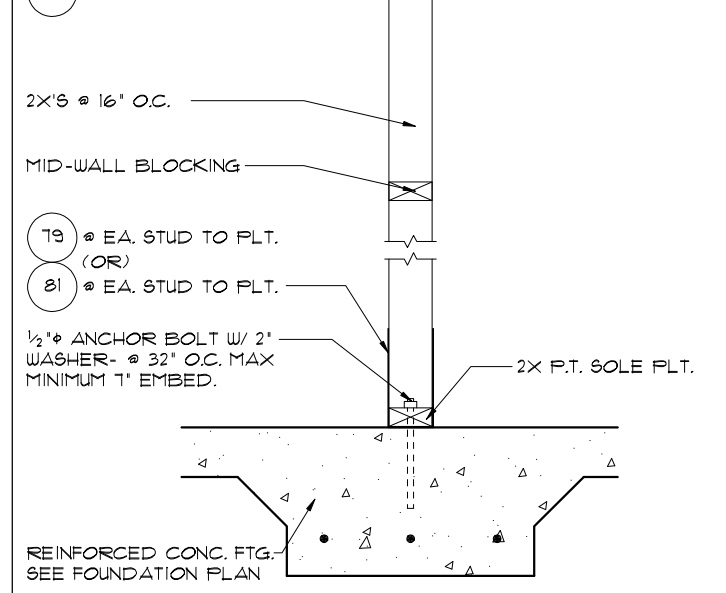
**2 DETAIL**

3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



**1 DETAIL**

3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)



**16 DETAIL**

3/4"=1'-0" (11X17) 1/2"=1'-0" (22X34)

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**FLORIDA SERIES**

LOT: 0000, COMMUNITY NAME

2380

THE PEMBROKE

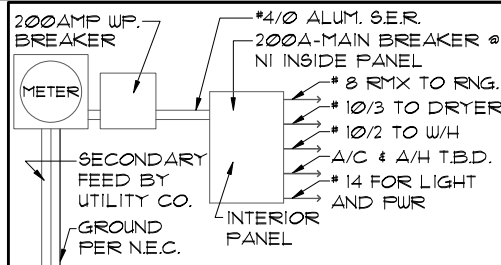
TYPICAL DETAILS

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ITEG ENGINEERING GROUP, INC. 11000 S. Orange Blossom Trail, Suite 100, Orlando, FL 32837 Phone: (407) 734-1400 Fax: (407) 734-1700 www.iteg.com

REVISIONS	BY
05-16-19	JF

DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET 16 OF SHEETS



ELECTRICAL RISER DIAGRAM

NOTE: N.T.S.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

**MECHANICAL INFORMATION**  
PER 2010 FLORIDA RESIDENTIAL CODE

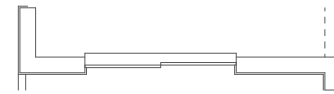
1. COMPLETE DUCT DESIGN WITH SIZES AND R-VALUE COMPLYING WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
2. SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR: A) CONSTRUCTIONS AND SEALING, AND B) SECTION M1601 PER THE FLORIDA RESIDENTIAL CODE 2010 EDITION
3. AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FLA. RESIDENTIAL CODE 2010 EDITION.

**GENERAL NOTES**

1. IAW NEC 2008- 210.12- ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOM, CLOSETS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
2. IAW NEC 2008- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
3. SMOKE DETECTORS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK, AND SHALL BE 3' FROM THE SUPPLY OR RETURN AIR STREAM AND EQUIPPED WITH A BATTERY BACK-UP.
4. RANGE / WATER HEATER 220V OUTLET DELETED WITH GAS COMMUNITIES.

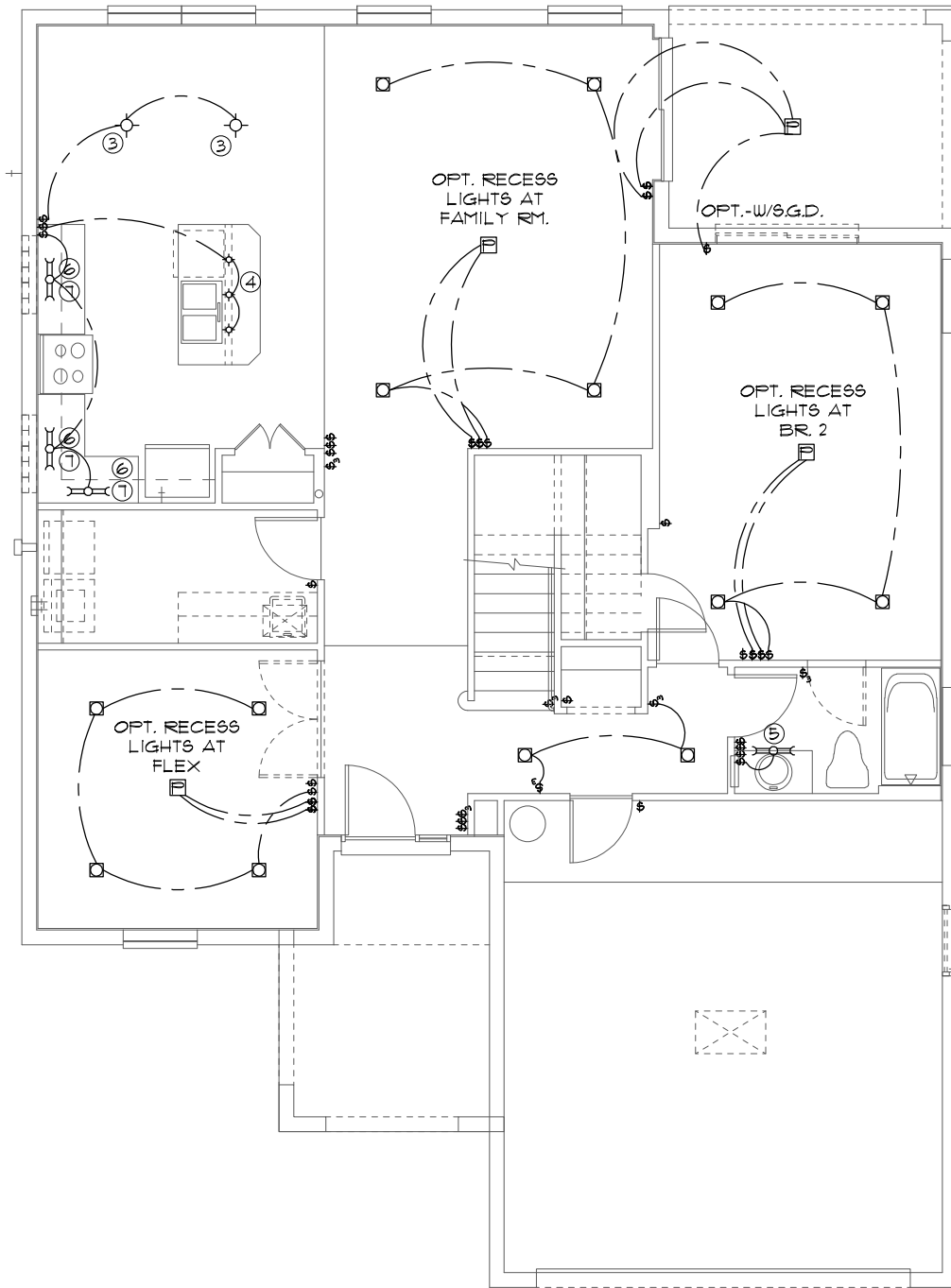
**ELECTRICAL LEGEND**

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ OUTLET 110-115
- ⊕ OUTLET 110-115, SPLIT WIRED
- ⊕ OUTLET 110-115, W/ USB
- ⊕ OUTLET 110-115, CEILING MOUNTED
- ⊕ OUTLET 110-115, FLOOR MOUNTED
- ⊕ 220-240, SPECIAL PURPOSE OUTLET
- ⊕ LIGHT FIXTURE, CEILING MOUNTED
- ⊕ LIGHT FIXTURE, WALL MOUNTED
- ⊕ LIGHT FIXTURE, RECESSED
- ⊕ RECESSED EYEBALL, ADJUSTABLE
- ⊕ LAMP HOLDER W/ PULL CHAIN
- ⊕ FLUORESCENT FIXTURE
- ⊕ FLOODLIGHTS
- ⊕ TELEVISION OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ INTERCOM
- ⊕ CHIMES
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ PUSH BUTTON
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN / LIGHT COMBO
- ⊕ DISPOSAL
- ⊕ DISCONNECT SWITCH
- ⊕ ELECTRICAL PANEL
- ⊕ CEILING FAN, INSTALLED
- ⊕ CEILING FAN, PREWIRED
- ⊕ JUNCTION BOX
- ⊕ DIGITAL THERMOSTAT



S.G.D. OPTION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



LIGHTING OPTIONS

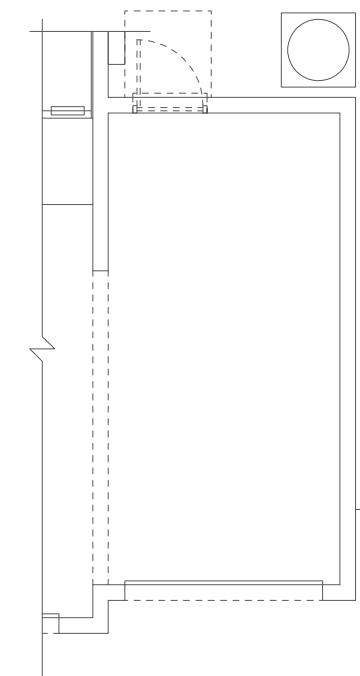
1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

**OPTION LEGEND**

- ① NOT USED
- ② NOT USED
- ③ OPT. DBL. CHANDELIER- SEE COLOR SHEET FOR SPACING
- ④ OPT. PENDANTS LIGHTS- SEE COLOR SHEET FOR SPACING
- ⑤ OPT. TOE-KICK LIGHTING UNDER CABINETS
- ⑥ OPT. ABOVE CABINET LIGHTING
- ⑦ OPT. UNDER CABINET LIGHTING

ELEVATION "B"

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)



3-CAR GAR. OPTION

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

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**ITEG**  
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Fax: (407) 734-1790  
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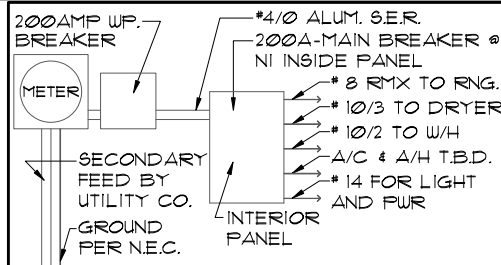
A DIVISION OF PARK SQUARE ENTERPRISES, INC.  
5200 Vineland Road, Suite 200  
Orlando, Florida 32811  
Phone: (407) 528-3000

REVISIONS	BY
05-16-19	JF

**Park Square HOMES**

2380  
THE PEMBROKE

DATE 04-6-12  
SCALE AS NOTED  
DRAWN RDC  
JOB 2382  
SHEET  
LO-1  
OF SHEETS



ELECTRICAL RISER DIAGRAM

NOTE: N.T.S.  
ELECTRICAL MATERIALS AND INSTALLATIONS SHALL COMPLY W/ APPLICABLE PROVISIONS OF THE NATIONAL ELEC. CODE 250.52(A)(1) TO (6), LOCAL CODES, AND THE LOCAL POWER COMPANY.

**MECHANICAL INFORMATION**  
PER 2010 FLORIDA RESIDENTIAL CODE

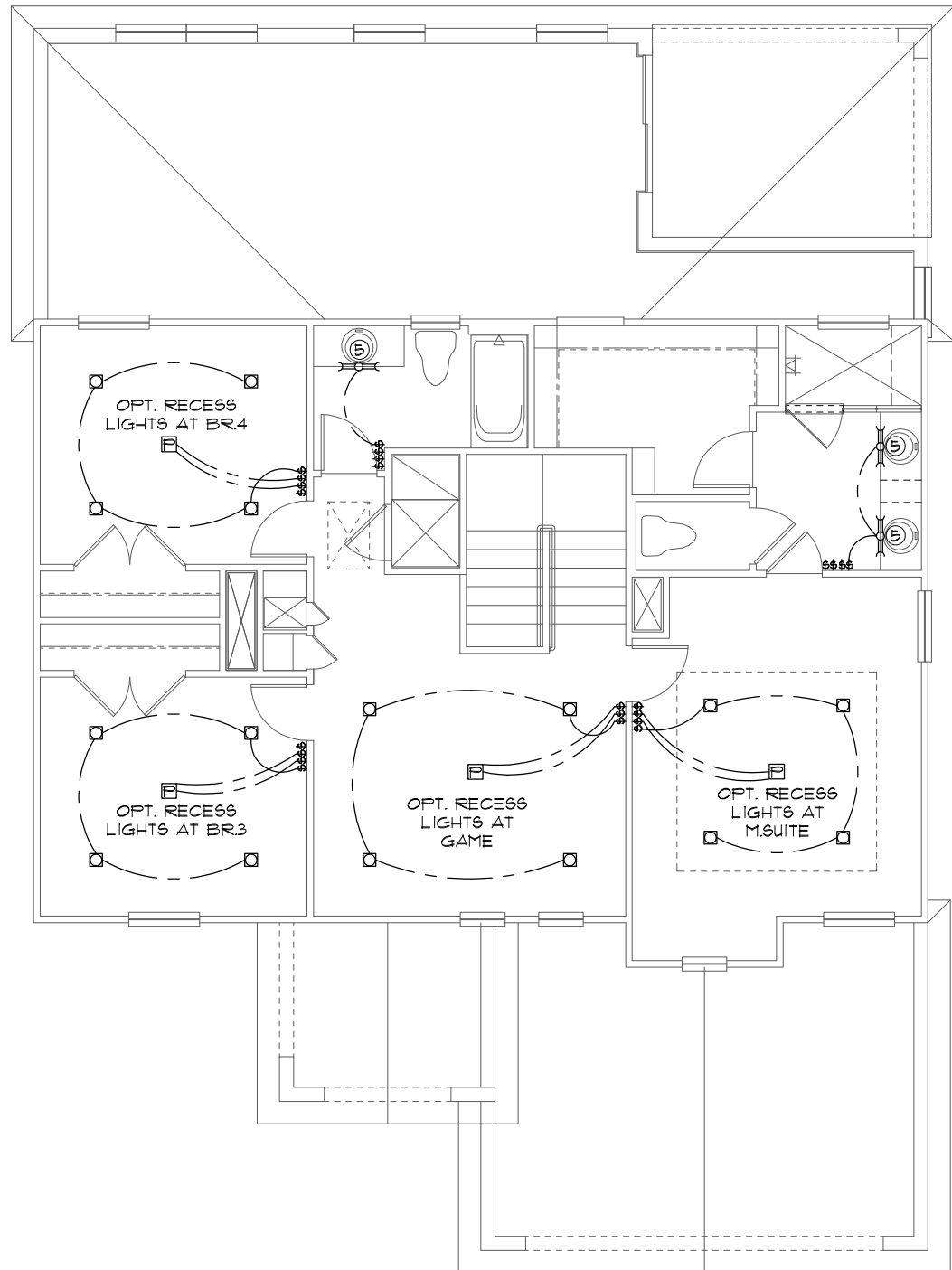
1. COMPLETE DUCT DESIGN WITH SIZES AND R-VALUE COMPLYING WITH THE FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION 610.1 ABC.1
2. SUFFICIENT SPACE SHALL BE PROVIDED ADJACENT TO THE MECHANICAL COMPONENTS TO ASSURE ADEQUATE ACCESS FOR: A) CONSTRUCTIONS AND SEALING, AND B) SECTION M1601 PER THE FLORIDA RESIDENTIAL CODE 2010 EDITION
3. AIR CONDITIONING SYSTEM SHALL BE COMPLETELY BALANCED. ALL ROOMS ISOLATED FROM THE RETURN AIR SHALL BE PROVIDED WITH MEANS TO COMPLY WITH SECTION M1602 OF THE FLA. RESIDENTIAL CODE 2010 EDITION.

**GENERAL NOTES**

1. IAW NEC 2008- 210.12- ALL 15A OR 20A, 120V BRANCH CIRCUITS THAT SUPPLY OUTLETS IN DWELLING UNITS- FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOM, CLOSETS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED AFCI DEVICE OF THE COMBINATION TYPE.
2. IAW NEC 2008- 406.11, ALL 15A AND 20A, 125V RECEPTACLES SHALL BE LISTED AS TAMPER RESISTANT.
3. SMOKE DETECTORS SHALL BE IN ALL SLEEPING AREAS, SHALL BE INTERCONNECTED, SHALL BE WITHIN 1' TO 3' OF PEAK, AND SHALL BE 3' FROM THE SUPPLY OR RETURN AIR STREAM AND EQUIPPED WITH A BATTERY BACK-UP.
4. RANGE / WATER HEATER 220V OUTLET DELETED WITH GAS COMMUNITIES.

**ELECTRICAL LEGEND**

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ OUTLET 110-115
- ⊕ OUTLET 110-115, SPLIT WIRED
- ⊕ OUTLET 110-115, W/ USB
- ⊕ OUTLET 110-115, CEILING MOUNTED
- ⊕ OUTLET 110-115, FLOOR MOUNTED
- ⊕ 220-240, SPECIAL PURPOSE OUTLET
- ⊕ LIGHT FIXTURE, CEILING MOUNTED
- ⊕ LIGHT FIXTURE, WALL MOUNTED
- ⊕ LIGHT FIXTURE, RECESSED
- ⊕ RECESSED EYEBALL, ADJUSTABLE
- ⊕ LAMP HOLDER W/ PULL CHAIN
- ⊕ FLUORESCENT FIXTURE
- ⊕ FLOODLIGHTS
- ⊕ TELEVISION OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ INTERCOM
- ⊕ CHIMES
- ⊕ SMOKE DETECTOR
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ PUSH BUTTON
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN / LIGHT COMBO
- ⊕ DISPOSAL
- ⊕ DISCONNECT SWITCH
- ⊕ ELECTRICAL PANEL
- ⊕ CEILING FAN, INSTALLED
- ⊕ CEILING FAN, PREWIRED
- ⊕ JUNCTION BOX
- ⊕ DIGITAL THERMOSTAT



**OPT. MAST. BATH**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

- OPTION LEGEND**
- ① NOT USED
  - ② NOT USED
  - ③ OPT. DBL. CHANDELIER-SEE COLOR SHEET FOR SPACING
  - ④ OPT. PENDANTS LIGHTS-SEE COLOR SHEET FOR SPACING
  - ⑤ OPT. TOE-KICK LIGHTING UNDER CABINETS
  - ⑥ OPT. ABOVE CABINET LIGHTING
  - ⑦ OPT. UNDER CABINET LIGHTING

**UPPER FLOOR LIGHTING OPTIONS**

1/8"=1'-0" (11X17) 1/4"=1'-0" (22X34)

FLORIDA SERIES

LOT: 0000, COMMUNITY NAME

THIS STRUCTURE IS DESIGNED TO WITHSTAND 140 MPH WINDS PER THE 8th EDITION, 2003 OF THE FLORIDA BUILDING CODE RESIDENTIAL, AND IS CERTIFIED AS SUCH

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