



3042 SANIBEL (TPA)



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REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:
1	08/24/21	REVISED ENTRY BEARING CALLOUTS ON THE ELEVATION TO REFLECT A 14'-0" BEARING HEIGHT I/O OF 12'-0" BEARING HT.	C.C.
2	12/03/21	CHANGED THE EXTENDED ROOF OVER THE GARAGE ON ELEVATION "C" FROM SHINGLE TO METAL ROOF.	C.C.
3	03/01/22	ADDED ROOF VENT NOTES TO ELEVATIONS	M.C.
4	08/12/22	REVISED PLAN TO REMOVE SCONCE LIGHTS, ADJUST DRAIN FOR TUB, RESIZE MASTER CLOSET DOOR	A.M.
5	08/17/22	REVISE MASTER CLOSET DOOR FROM (2) BARN DOOR TO (2) 4080 DR.	A.M.
6	09/08/22	CREATED ENTRY DETAIL FOR ELEV. C	C.C.
7	03/27/23	REVISED LAUNDRY WET WALL TO 2x6. ADDED HDR. HT. CALLS OUTS TO FLOOR PLAN	C.C.
8	07/27/23	ADDED BANDING AROUND GARAGE DOOR FOR ELEV. B	C.C.
9	12/04/23	THE ELEVATIONS AND ELECTRICAL MARKUPS UPDATED.	G.P.
10			
11			
12			
13			
14			
15			
16			

DISTRIBUTED LIVE LOAD

(IN POUNDS PER SQ. FT.)

UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTICS WITH LIMITED STORAGE	20
HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDS AND HANDRAILS	200
GUARD IN-FILL COMPONENTS	50
PASSENGER VEHICLE GARAGES	50
ROOMS OTHER THAN SLEEPING ROOMS	40
SLEEPING ROOMS	30
STAIRS	40

ANSI STANDARD FOR MEASURING HOUSES

THE ANSI STANDARD FOR MEASURING HOUSES:
NATIONAL STANDARD Z765-1996 NEW CONSTRUCTION THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS. FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS ARENT USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS. FOR ATTACHED UNITS, THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS ARENT USED IN THIS SYSTEM OF MEASURING.

THE ANSI STANDARDS BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS SEPARATED INTO TWO AREAS:

- AIR-CONDITIONED SPACE
- NON-AIR-CONDITIONED SPACE (GARAGES, PATIOS, PORCHES, BREEZEWAYS)

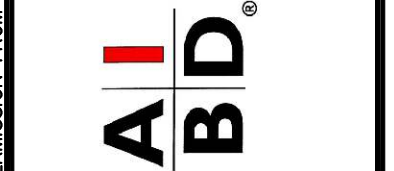
THE ANSI STANDARDS DEFINE "FINISHED AREA" AS "AN ENCLOSED AREA IN A HOUSE SUITABLE FOR YEAR-ROUND USE, EMBODYING WALLS, FLOORS, AND CEILINGS THAT ARE LIKE THE REST OF THE MEASUREMENTS MUST BE TAKEN TO THE NEAREST INCH OR TENTH OF A FOOT, AND FLOOR AREA MUST BE REPORTED TO THE NEAREST SQUARE FOOT. THESE WOULD INCLUDE BONUS/ATTIC SPACES AND ARE USUALLY LISTED SEPARATELY.

GENERAL CONTRACTOR:

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSTALL ALL MATERIALS MEETING FLORIDA APPROVAL COMPLIANCE TO AVOID WATER INTRUSION AND MOISTURE INTRUSION ON WINDOWS, DOORS, ROOF, AND ANY OTHER AREA AROUND EACH SINGLE FAMILY HOUSE/ APARTMENT/ CONDOMINIUM/ TOWNHOUSE.



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40-3042
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Lot # - Community
Street Address
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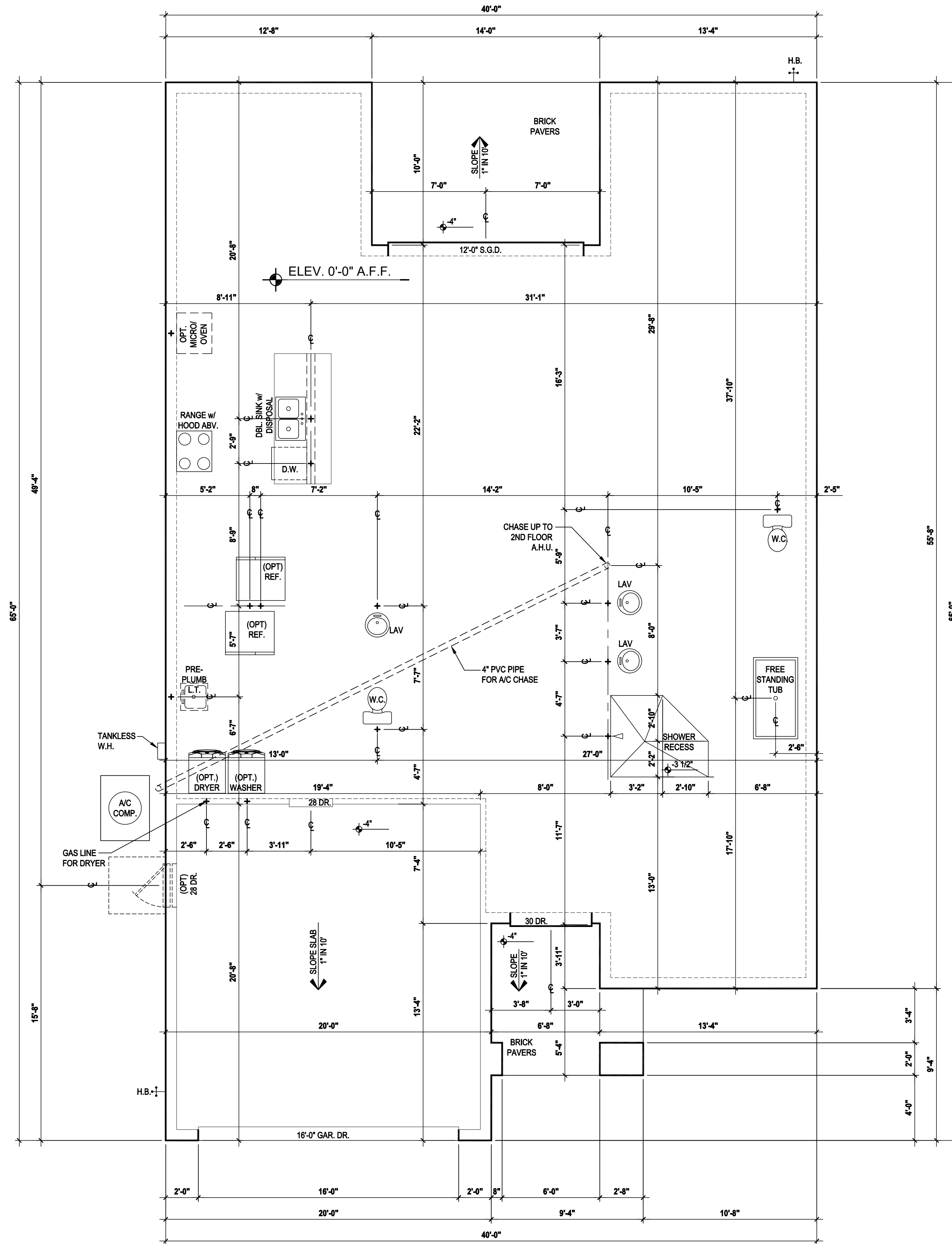
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ISSUE DATE	03/27/2023
REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

COVER PAGE
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Slab Plan "A,B"

(Opt. Master Bath)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:
 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD
 24 = 2'-4" 50 B.F. = 5'-0" BIFOLD
 28 = 2'-8" 60 B.F. = 6'-0" BIFOLD
 30 = 3'-0"

* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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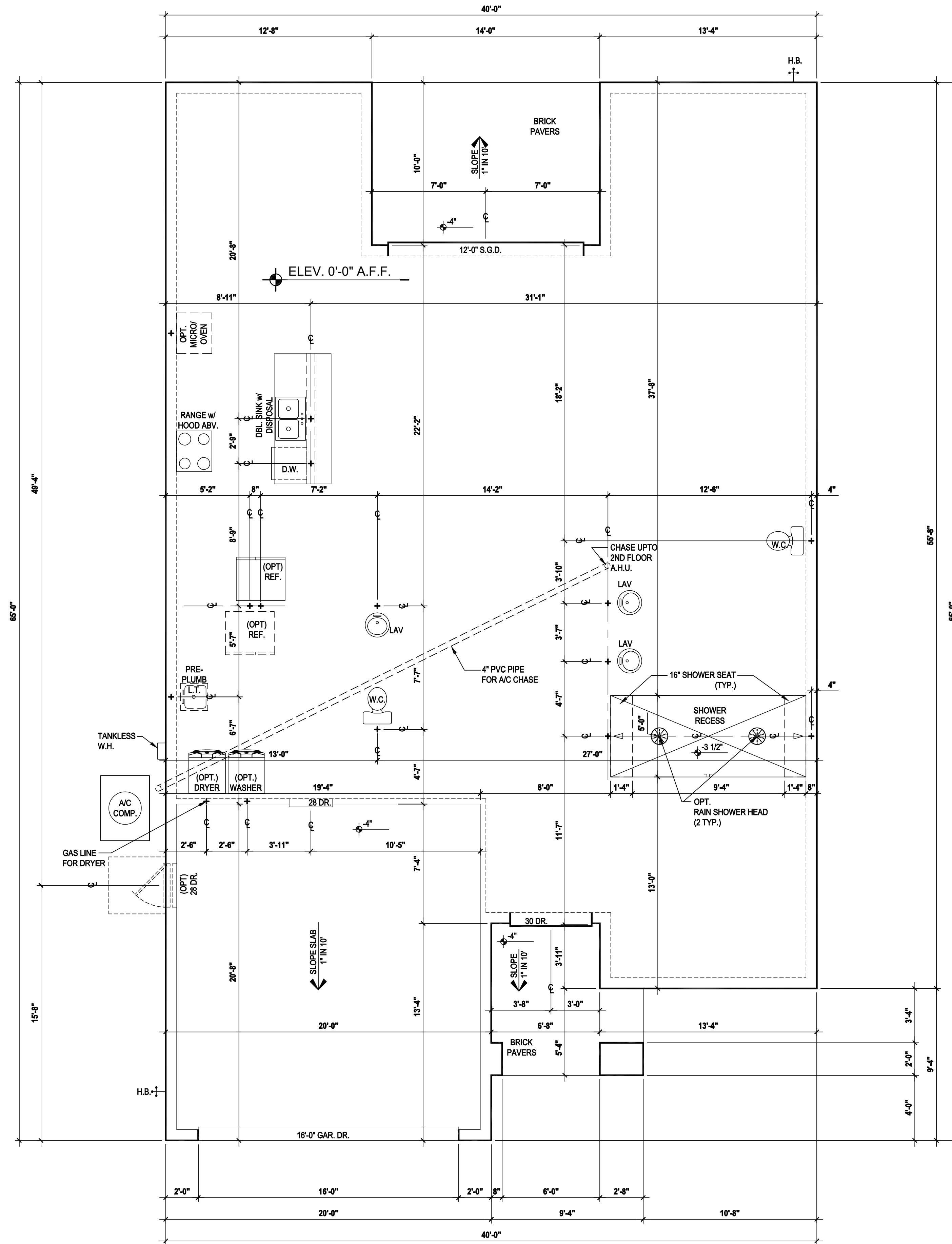
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DESIGNED BY:	MJS

FLOOR PLAN
A1.AB

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Slab Plan "A,B"

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

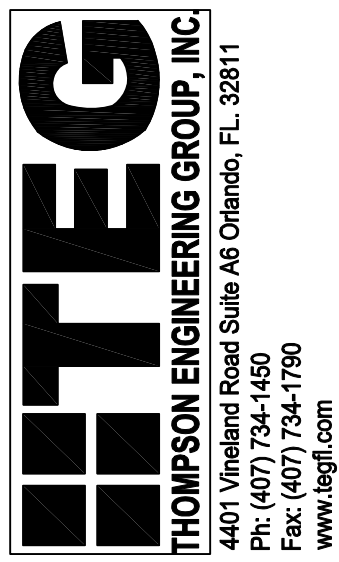
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- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

DOOR NOTE KEY:

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- 28 = 2'-8"
- 30 = 3'-0"

* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT



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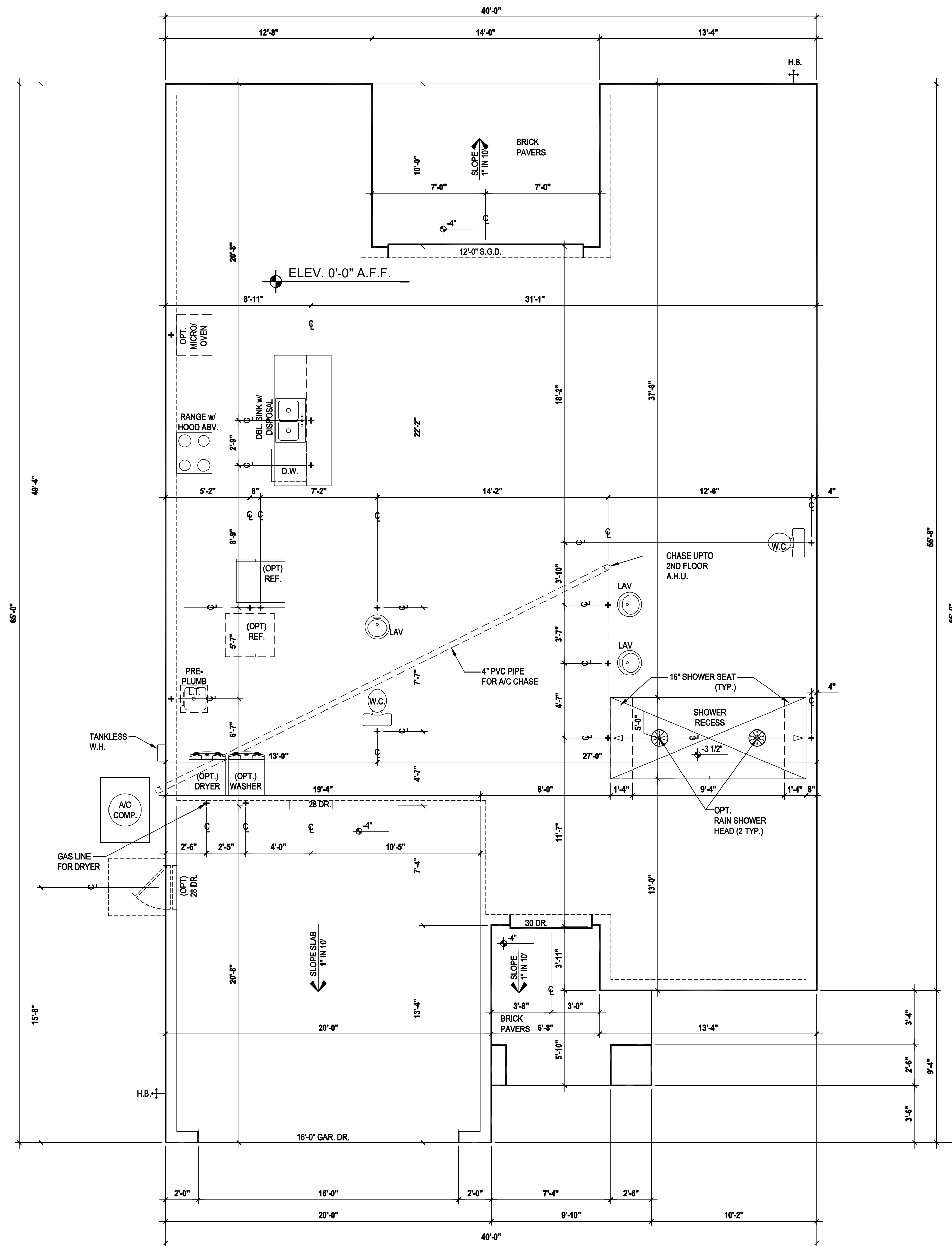
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FLOOR PLAN
A1.AB Le

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Slab Plan "C"
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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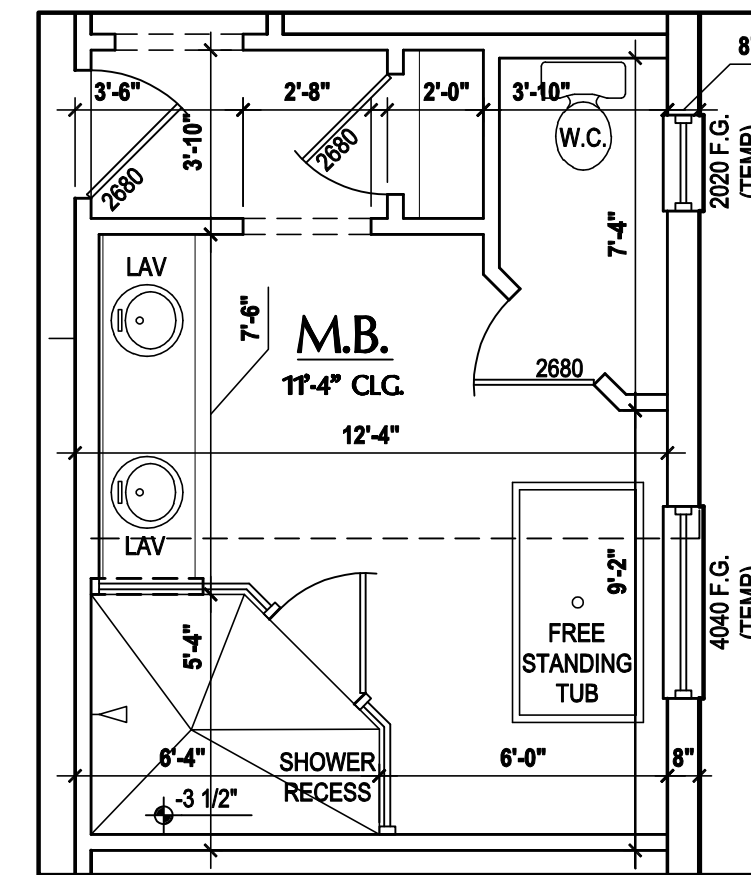
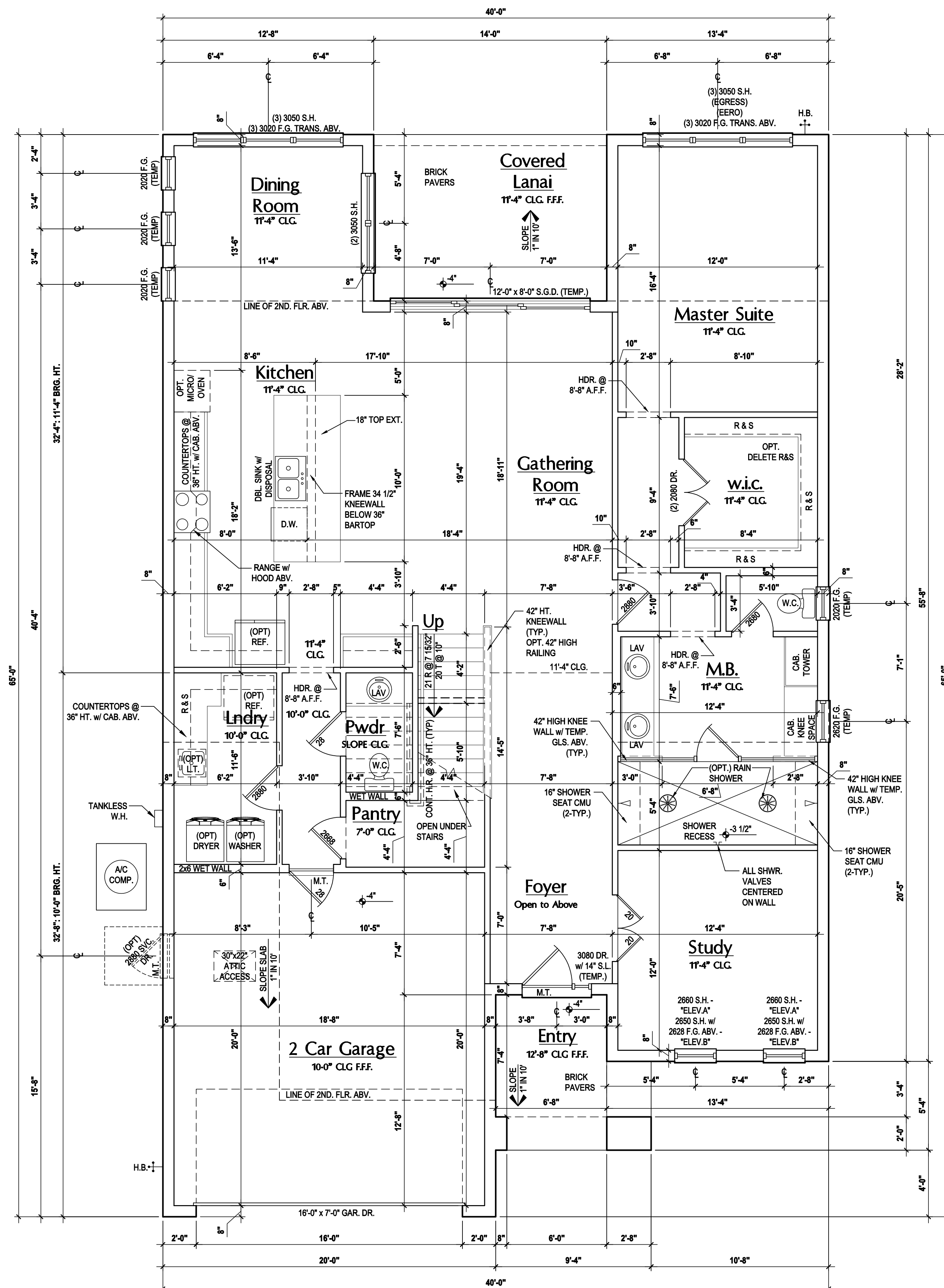
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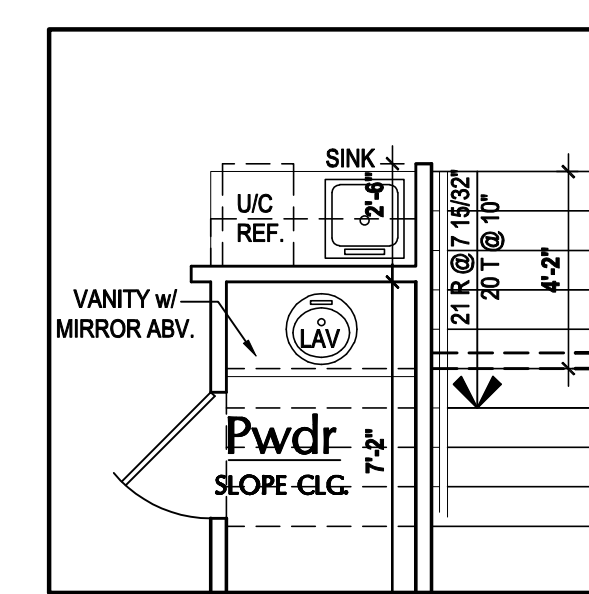
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FLOOR PLAN
A1.C Le

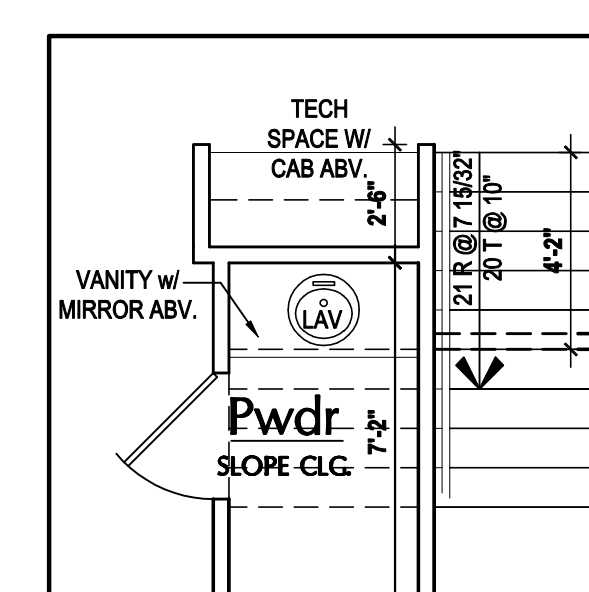
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Opt. Master Bath
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Opt. Wet Bar
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Opt. Tech Space
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

First Floor Plan "A&B"
(Standard)
SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2020) FLORIDA BUILDING CODE (7TH EDITION)
- ABBREVIATIONS:**
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD
 - FR - FRENCH DOORS
 - SL - SIDE LIGHT
 - FG - FIXED GLASS
 - TR - TRANSOM
 - GB - GLASS BLOCK
 - PKT - POCKET DOOR
 - OBS - OBSCURED GLASS
 - TEMP - TEMPERED
- GLASS:**
- SH - SINGLE HUNG
 - DH - DOUBLE HUNG
 - HR - HORIZONTAL ROLLER
 - BP - BYPASS
 - BF - BIFOLD
 - TYP. - TYPICAL
- NOTE:**
- SPECIALTY WINDOWS/DOORS
 - FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

FLOOR PLAN NOTES:

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
 - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
 - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
 - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
 - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2", U.N.O.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2", U.N.O.
 - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.
 - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
 - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
 - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H., U.N.O.
 - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
 - 1/2" GYPSUM BOARDS APPLIED TO THE UNDER STAIR SURFACE AND SIDES.
 - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER (FBC-R312.2).
 - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
 - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING.
 - ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURERS SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
 - SOIL TESTING IS RECOMMENDED. THE DESIGN TEAM AT M&S & E.O.R STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. A/O PROPERLY COMPACTED FILL (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

DOOR NOTE KEY:

DOOR SIZE CALLOUT:	28 = 2'-8"
20 = 2'-0"	30 = 3'-0"
24 = 2'-4"	40 B.F. = 4'-0" BIFOLD
26 = 2'-6"	50 B.F. = 5'-0" BIFOLD
	60 B.F. = 6'-0" BIFOLD

WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:	ALL WINDOW CALLOUTS
2040 = 2'-0" x 4'-0"	ARE MEASURED IN FEET
2050 = 2'-0" x 5'-0"	& INCHES AS PER THE
2060 = 2'-0" x 6'-0"	EXAMPLE TABLE ABOVE.

Area Tabulations

Living:		
1st floor:	1,838 sf	
2nd floor:	1,204 sf	
Total Living:	3,042 sf	
Entry:	77 sf	
Cov. Patio:	140 sf	
Garage:	408 sf	
Total Area:	3,667 sf	

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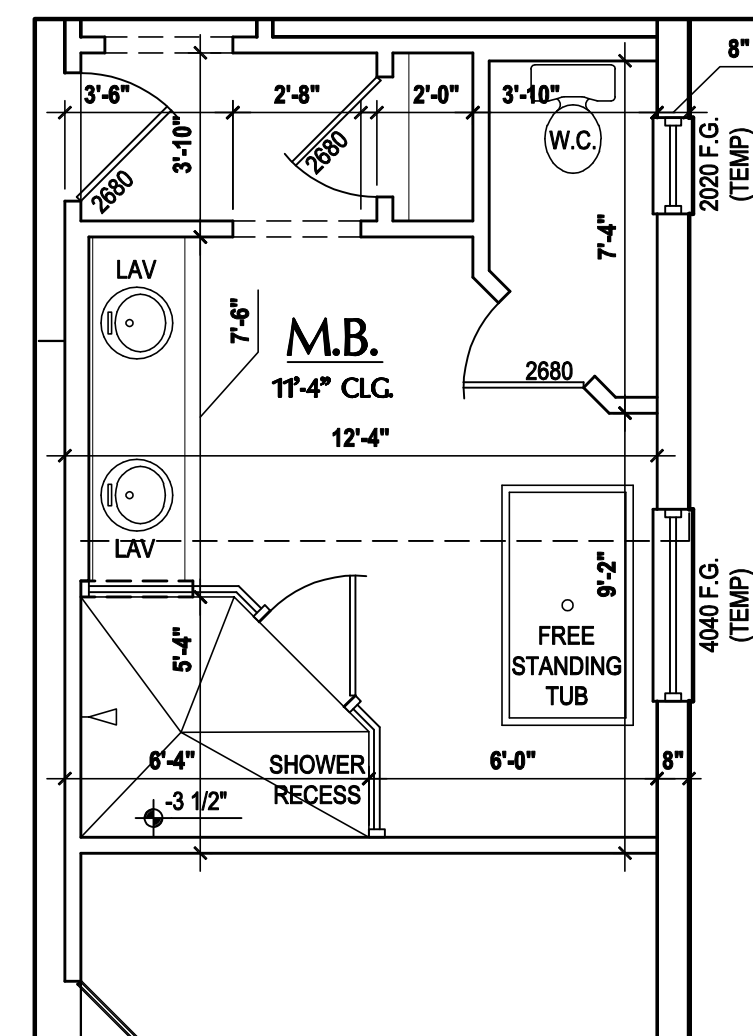
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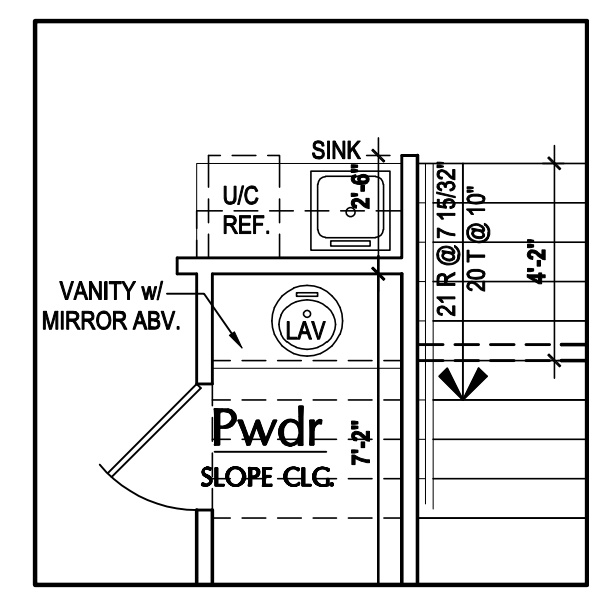
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FLOOR PLAN
A2.AB

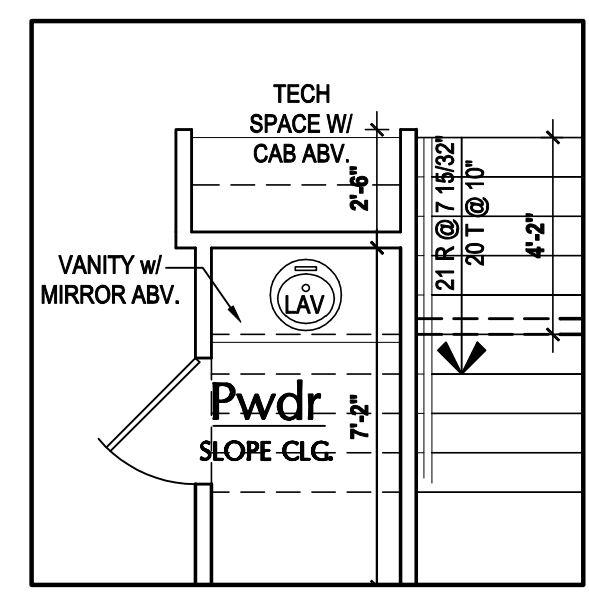
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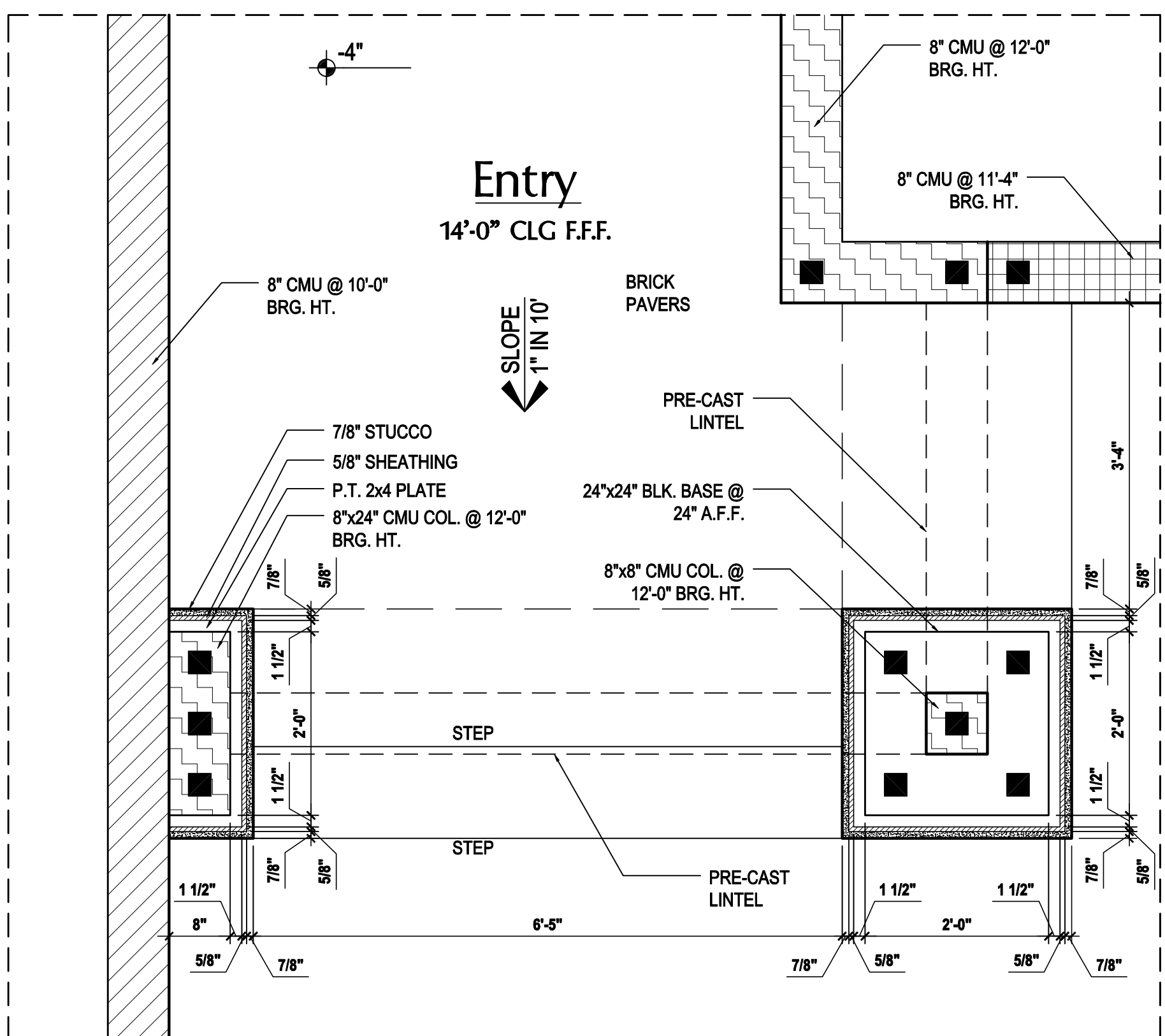
Opt. Master Bath
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



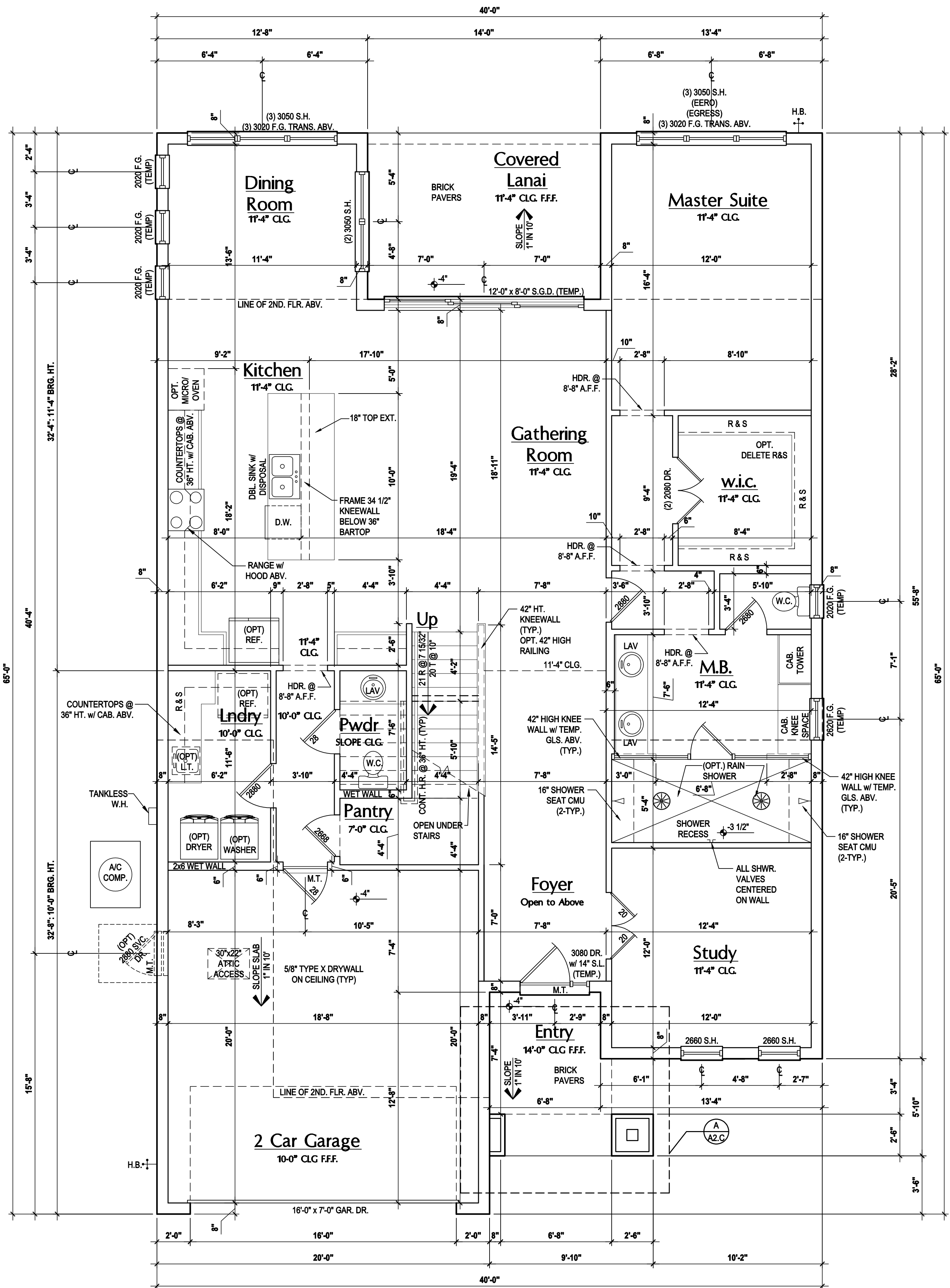
Opt. Wet Bar
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Opt. Tech Space
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Entry Detail
SCALE: 3/4" = 1'-0"



First Floor Plan "C"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED THE (2020) FLORIDA BUILDING CODE (7TH EDITION)
- ABBREVIATIONS:
- 2 - # OF DOORS.
 - 2 - # OF WINDOWS.
 - MT - METAL THRESHOLD.
 - FR - FRENCH DOORS.
 - SL - SIDE LIGHT.
 - FG - FIXED GLASS.
 - TR - TRANSOM.
 - GB - GLASS BLOCK.
 - PKT - POCKET DOOR.
 - OBS - OBSCURED GLASS.
 - TEMP - TEMPERED.
- SH - SINGLE HUNG.
 - DH - DOUBLE HUNG.
 - HR - HORIZONTAL ROLLER.
 - BP - BYPASS.
 - BF - BIFOLD.
 - TYP. - TYPICAL.
 - NOTE: SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

FLOOR PLAN NOTES:

- NOTES:
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 - VENT DRYER THRU EXTERIOR WALL U.N.O.
 - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
 - SAG RESISTANT DRYWALL ON ALL CEILINGS.
 - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
 - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
 - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
 - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.N.O.
 - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.N.O.
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 - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
 - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
 - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H., U.N.O.
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DOOR NOTE KEY:

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Area Tabulations

Living:		
1st floor:	1,838 sf	
2nd floor:	1,204 sf	
Total Living:	3,042 sf	
Entry:	84 sf	
Cov. Patio:	140 sf	
Garage:	408 sf	
Total Area:	3,674 sf	

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THOMPSON ENGINEERING GROUP, INC.
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MJS
designers group
residential-commercial-architecture

A | B | D

GOBA
Greater Orlando Builders Association

40-3042
SANIBEL (TPA)
Lot # - Community
Street Address
City, State, Zip

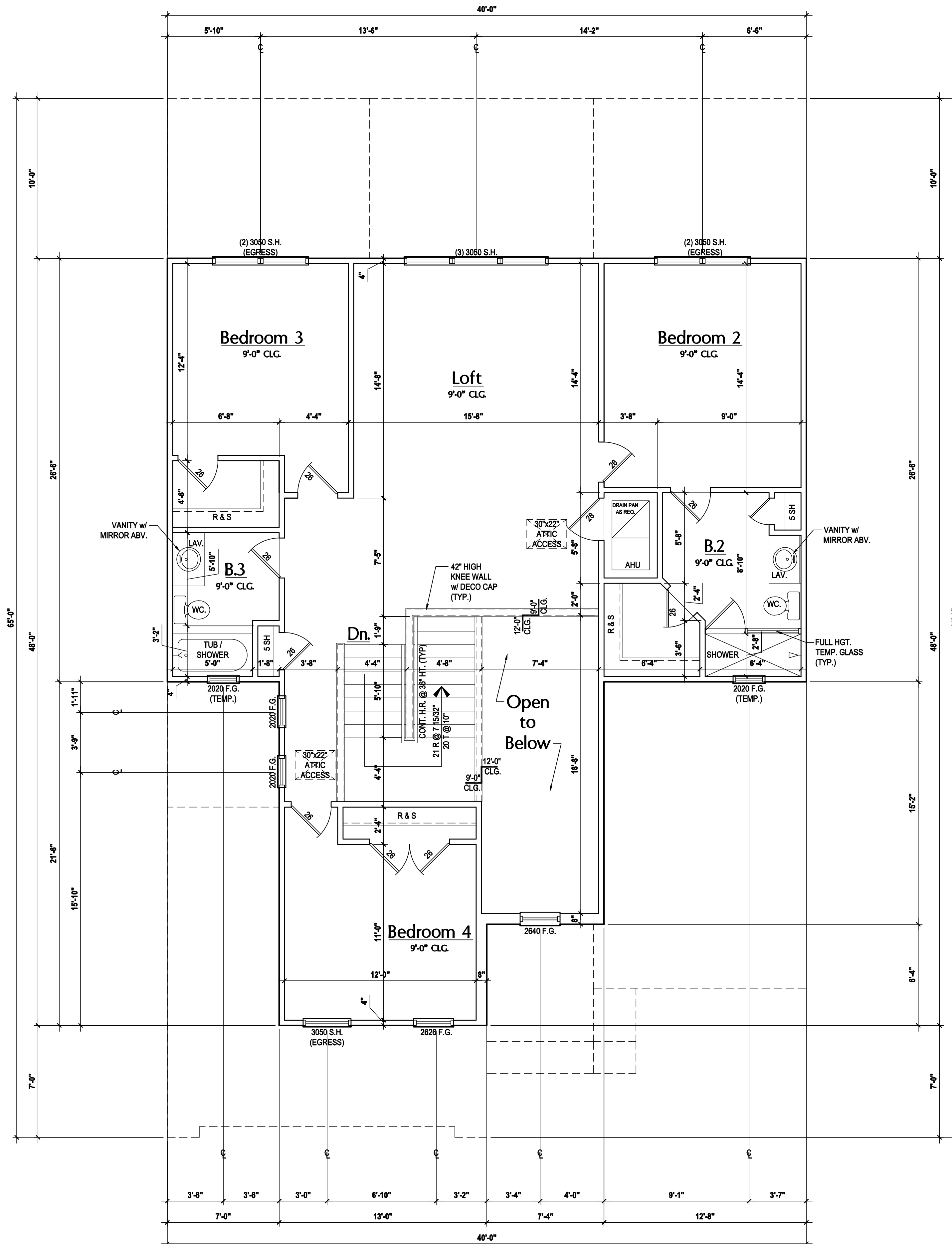
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5200 Vineland Rd. Suite #200
Orlando, FL 32811
Phone: (407) 529-3000

Park Square HOMES

ISSUE DATE: 03/27/2023
REVISIONS:

PROJECT: 22-0000
SCALE: AS NOTED
DRAWN BY: M.C.
DESIGNED BY: MJS

FLOOR PLAN
A2.C



Second Floor Plan "A"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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ABBREVIATIONS:		GLASS	
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TR - TRANSOM	TYP. - TYPICAL	GB - GLASS BLOCK	NOTE:
		PKT - POCKET DOOR	SPECIALTY WINDOWS/DOORS
		OBS - OBSCURED GLASS	FIXED GLASS WINDOWS, AND
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DOOR NOTE KEY:

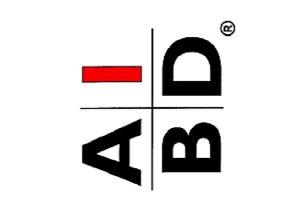
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40-3042
SANIBEL (TPA)
Lot # - Community
Street Address
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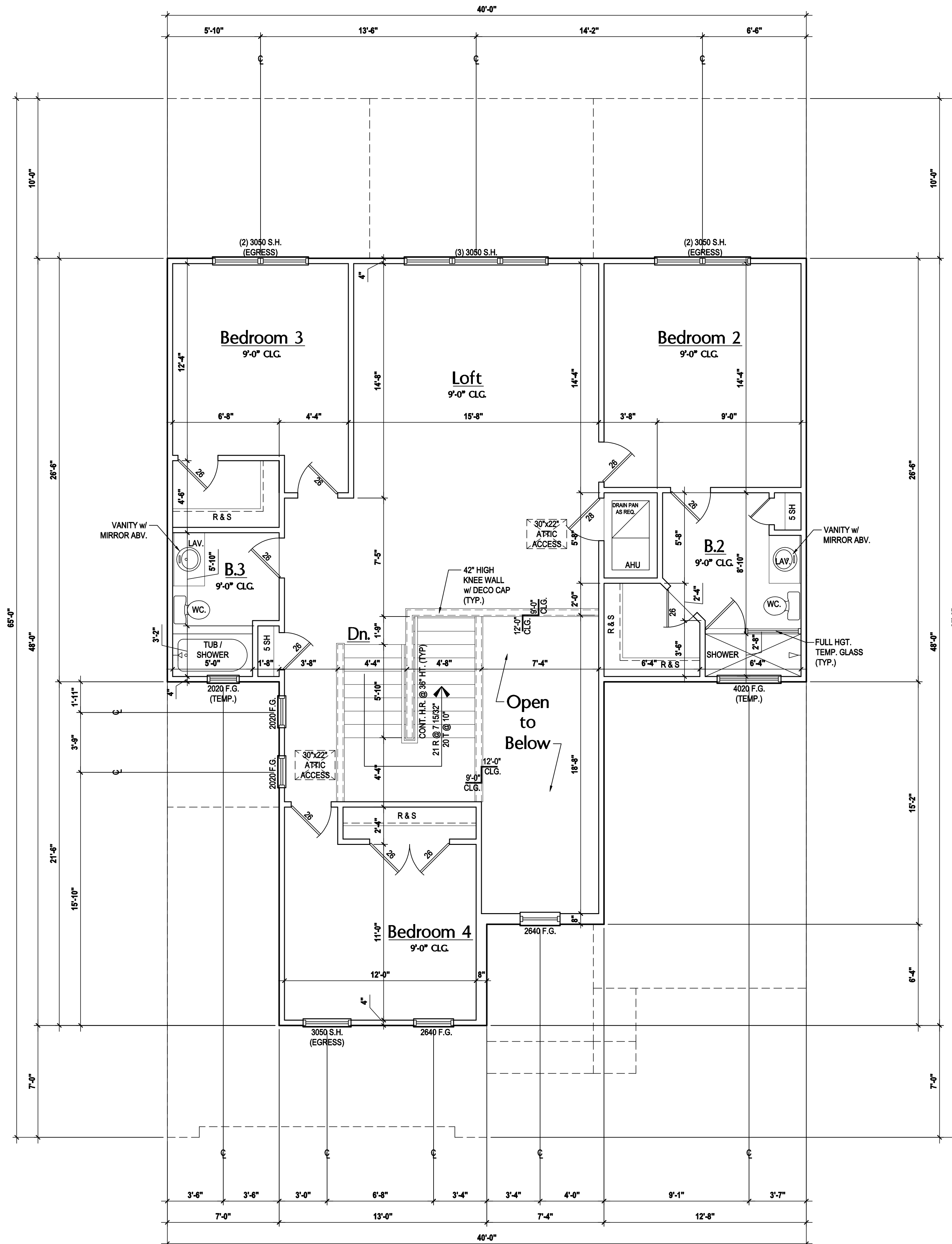
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2500 Vineland Rd. Suite # 200
Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	03/27/2023
REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A3.A Le

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Second Floor Plan "B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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• MT - METAL THRESHOLD	• HR - HORIZONTAL ROLLER	• OBS - OBSCURED GLASS	• FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.
• FR - FRENCH DOORS	• BP - BYPASS	• TR - TRANSOM	• TYP. - TYPICAL
• SL - SIDE LIGHT	• BF - BIFOLD	• GB - GLASS BLOCK	• NOTE:
• FG - FIXED GLASS	• BF - BIFOLD	• PKT - POCKET DOOR	• SPECIALTY WINDOWS/DOORS
• TR - TRANSOM	• TYP. - TYPICAL	• OBS - OBSCURED GLASS	• FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

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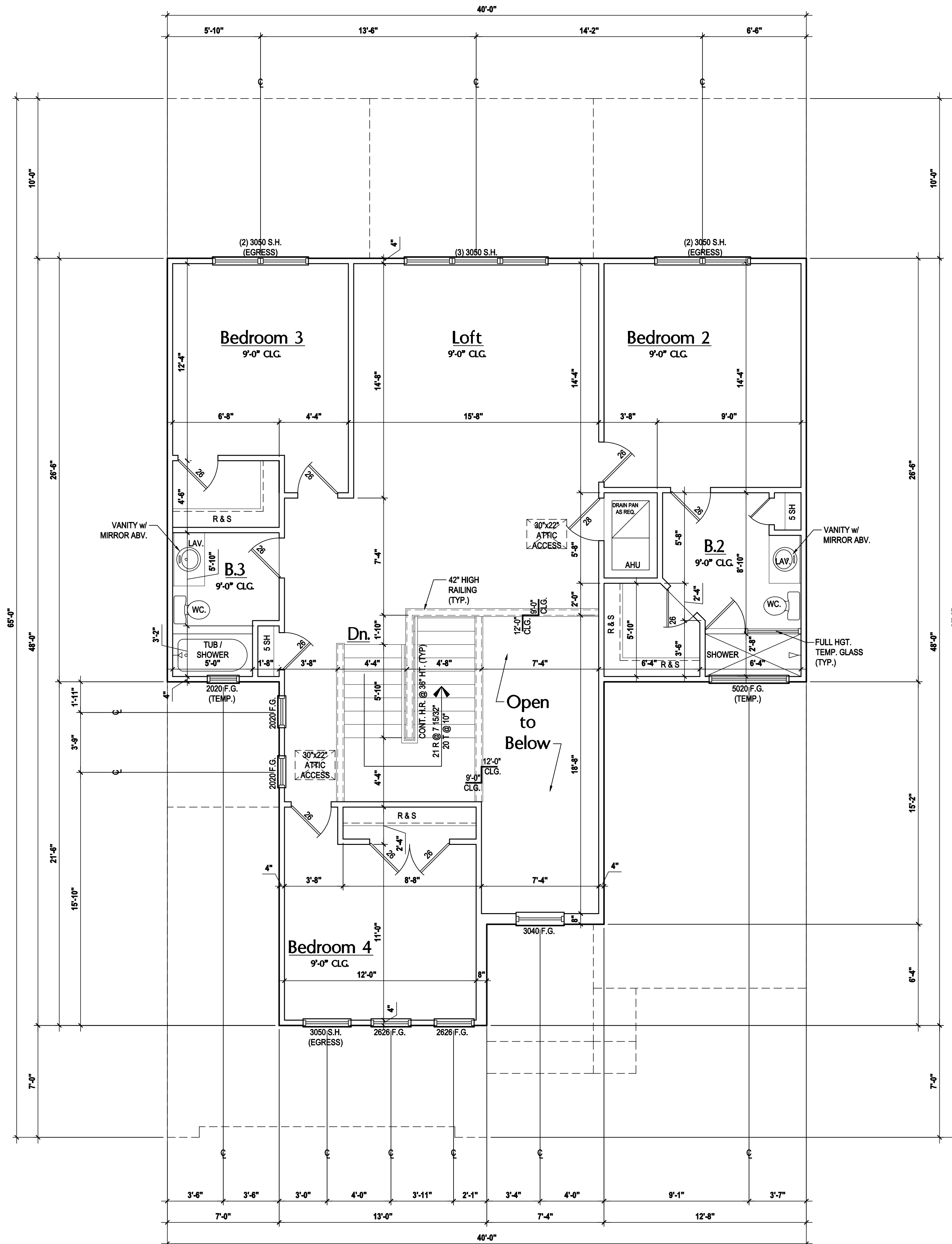
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ISSUE DATE	03/27/2023
REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

FLOOR PLAN
A3.B Le

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Second Floor Plan "C"

(Standard)

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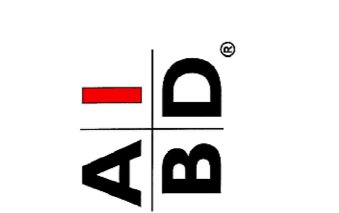
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	60 B.F. = 6'-0" BIFOLD

WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:	ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.
2040 = 2'-0" x 4'-0"	
2050 = 2'-0" x 5'-0"	
2060 = 2'-0" x 6'-0"	



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Lot # - Community
Street Address
City, State, Zip

A division of Park Square Enterprises Inc.
5200 Vineland Rd. Suite # 200
Orlando, FL 32811
Phone: (407) 529-3000



ISSUE DATE	03/27/2023
REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

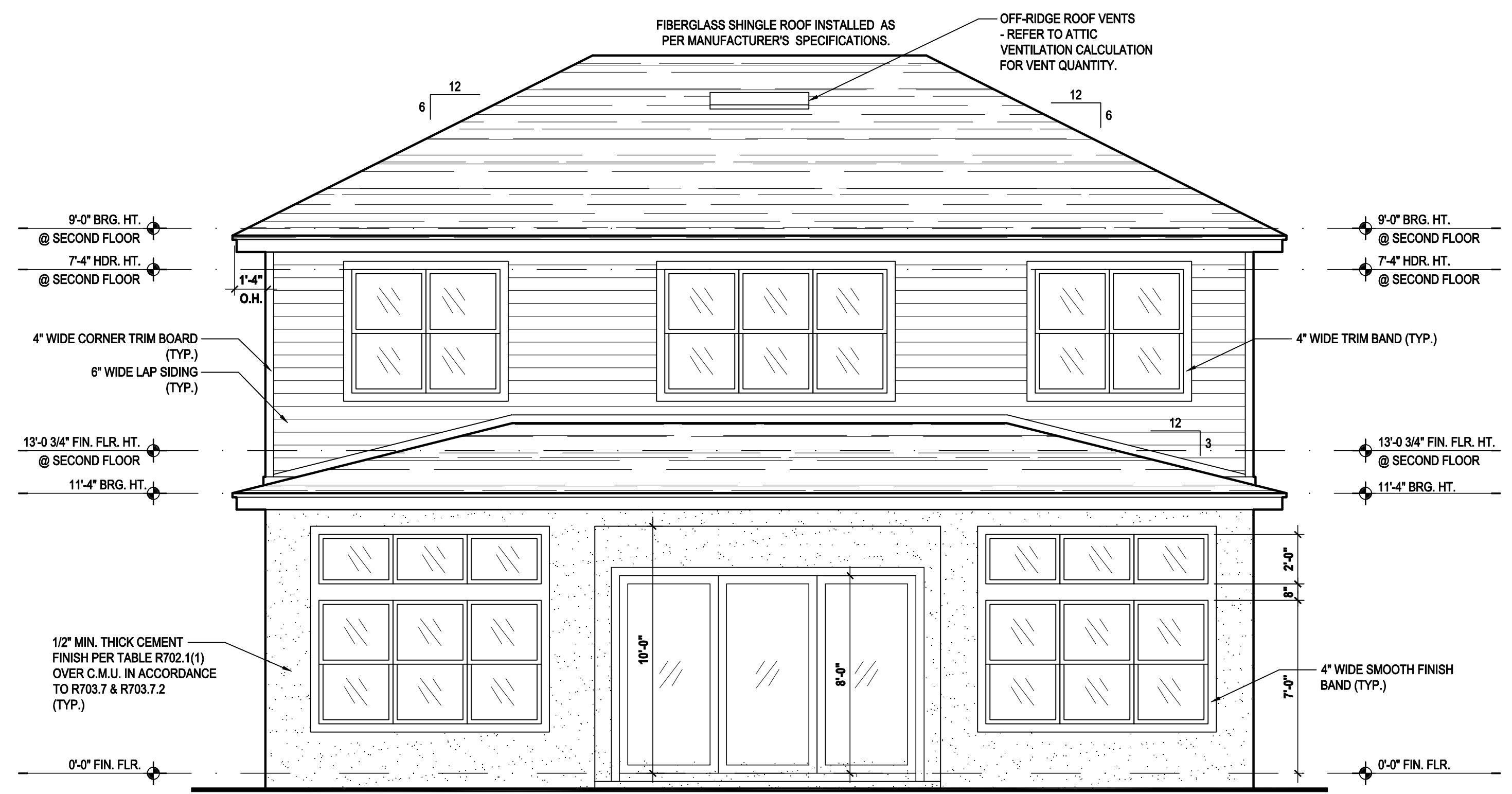
FLOOR PLAN
A3.C Le

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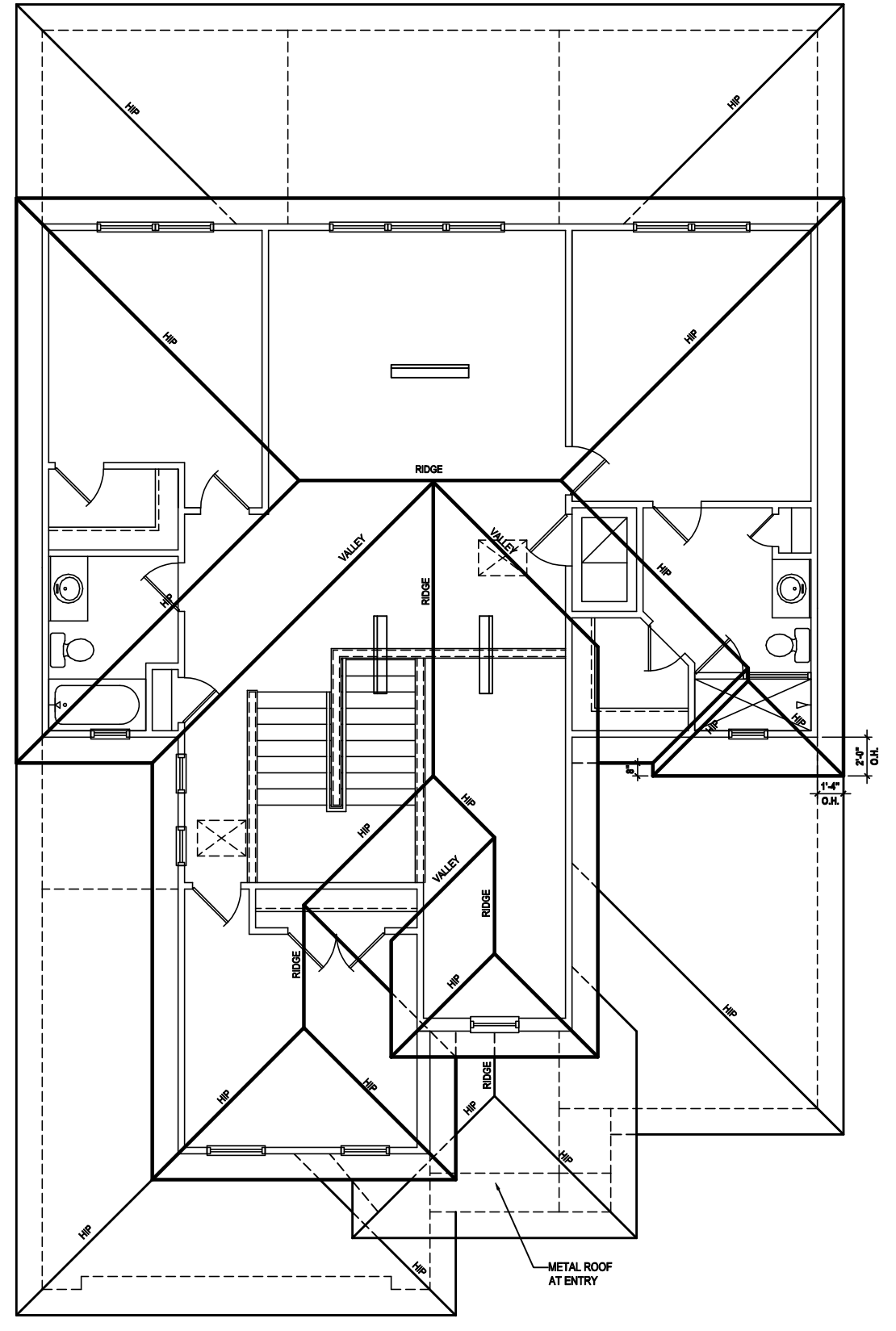
Front Elevation "A"

(Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
 MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED SPACE.

TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%

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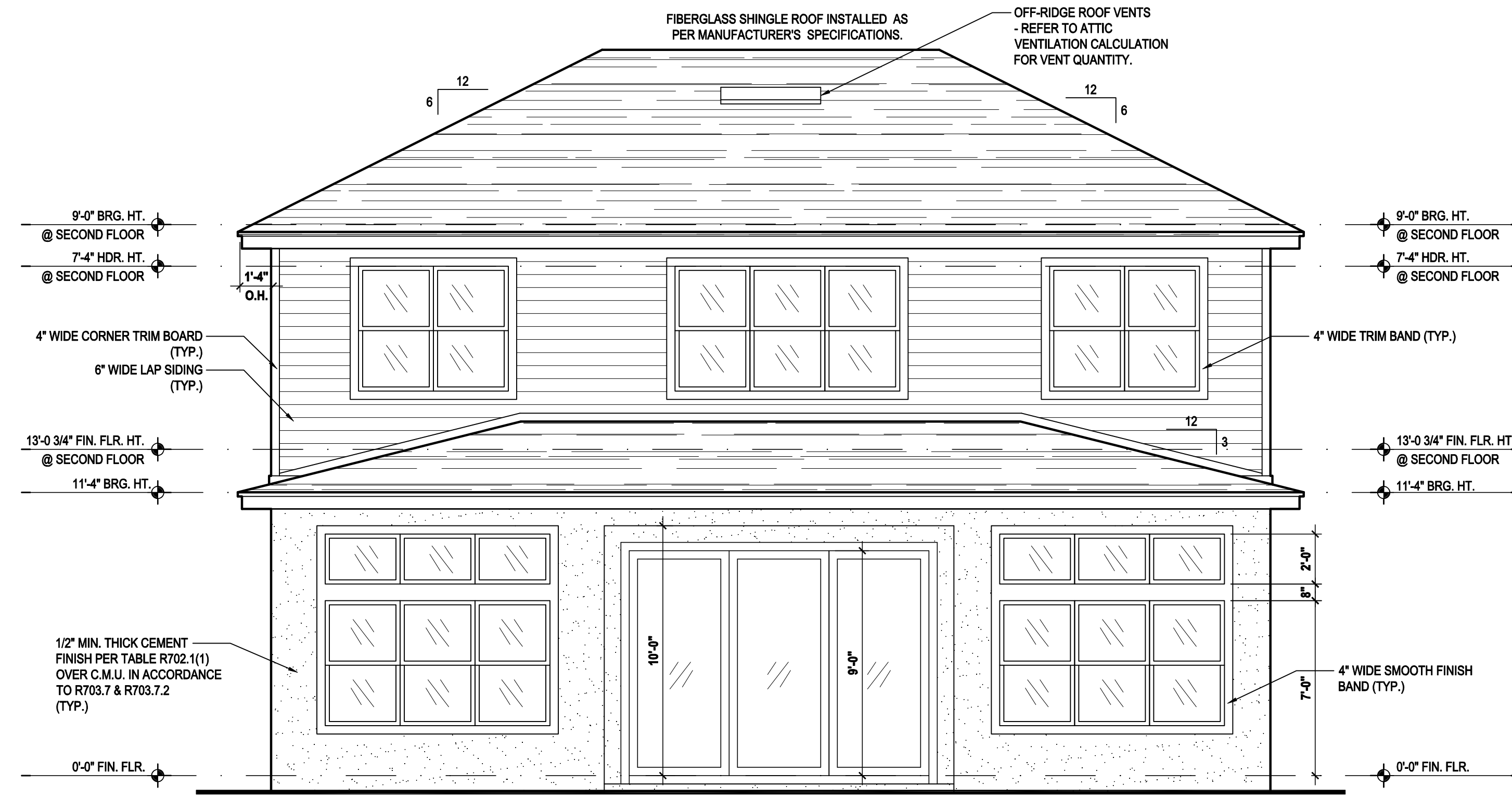
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 SCALE: AS NOTED
 DRAWN BY: M.C.
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ELEVATIONS "A"
A4.A

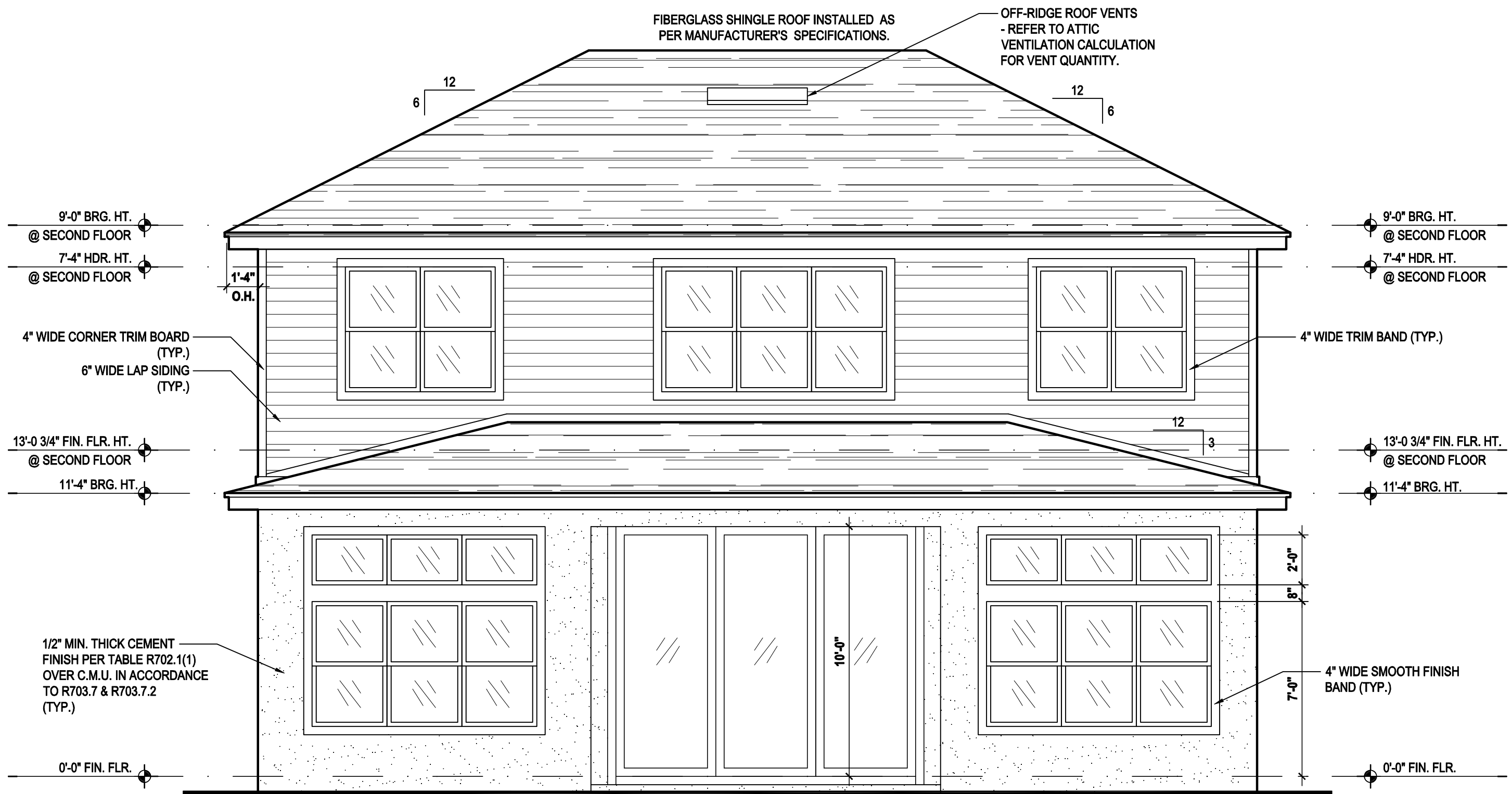
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Rear Elevation "A"

(Opt. 9'-0" SGD.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "A"

(Opt. 10'-0" SGD.)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
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 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

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 SPACE.

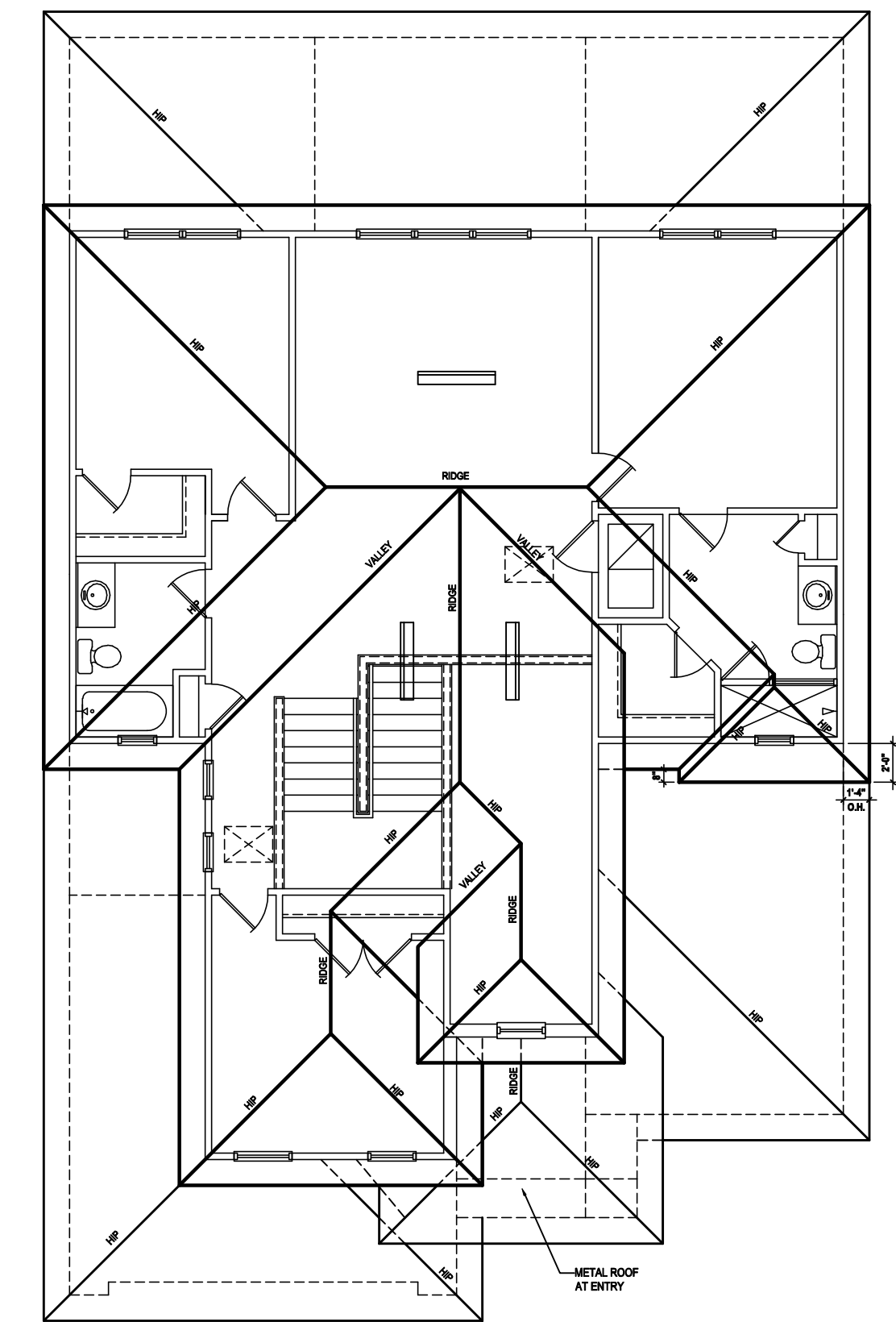
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
 TO BE PROVIDED w/ OFF RIDGE VENTS:
 6 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

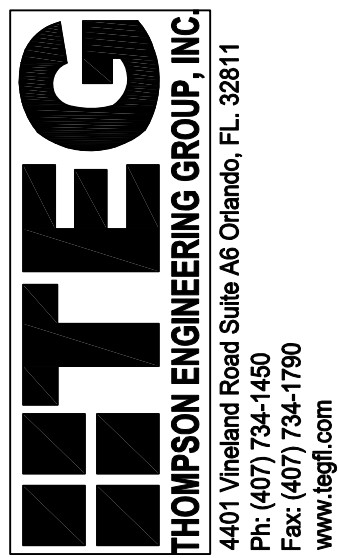
LOWER PORTION VENTILATION TOTAL: 6.708 SF.
 TO BE PROVIDED w/ SOFFITS @ EAVE:
 80.00 L.F. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
 LOWER ROOF PERCENTAGE: 60%



Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



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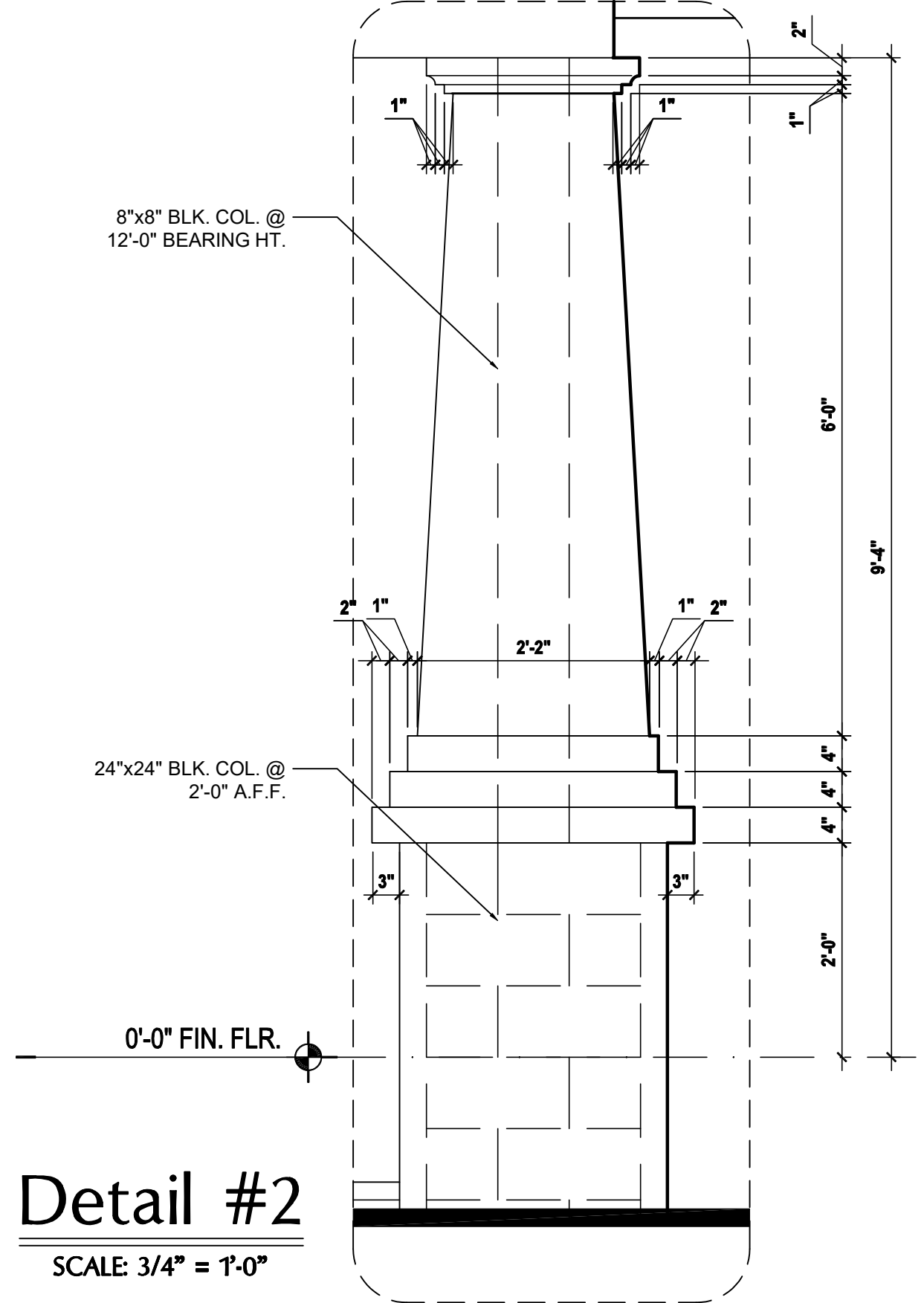
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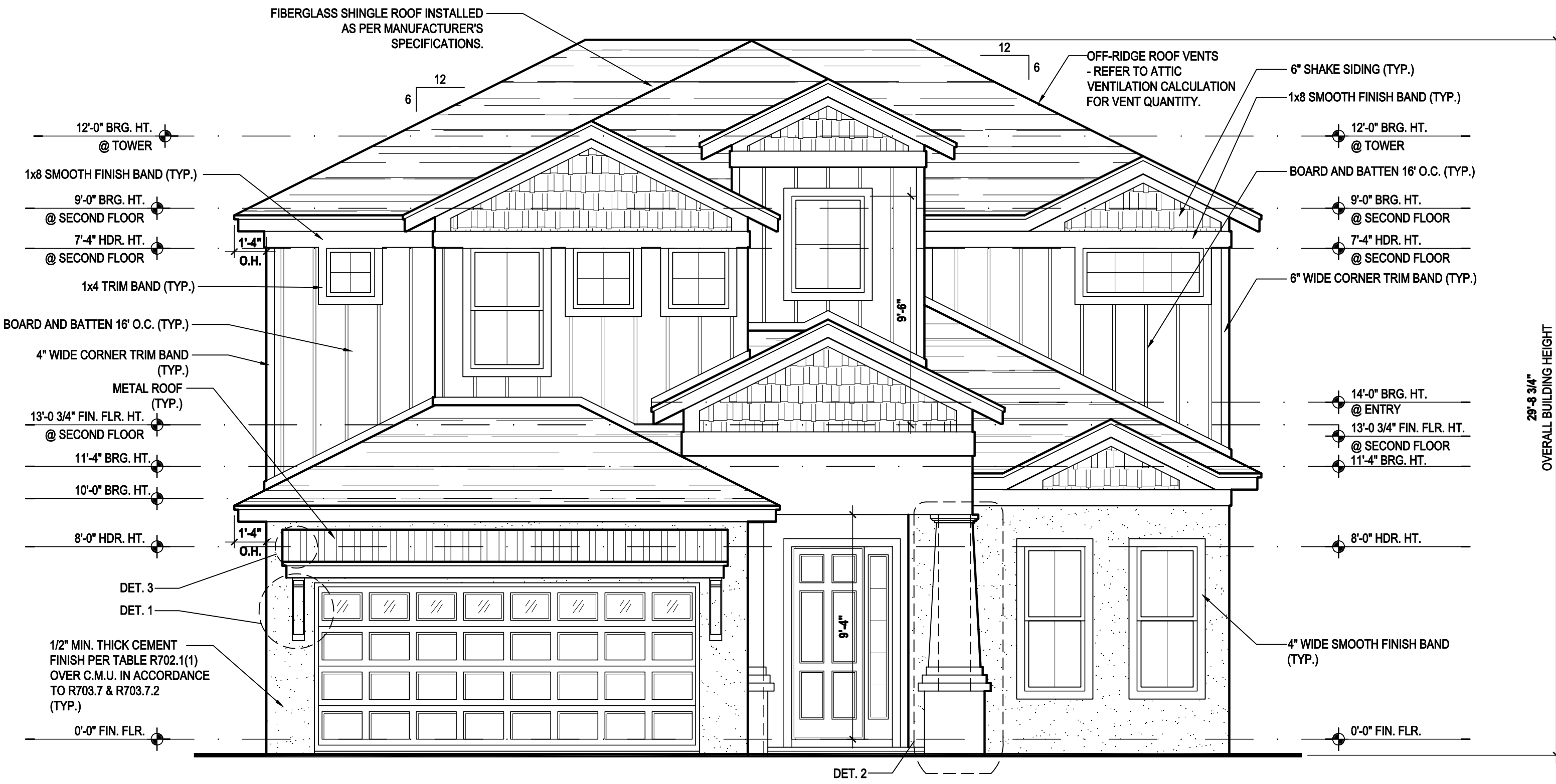
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REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELEVATIONS "A"
A4.A1

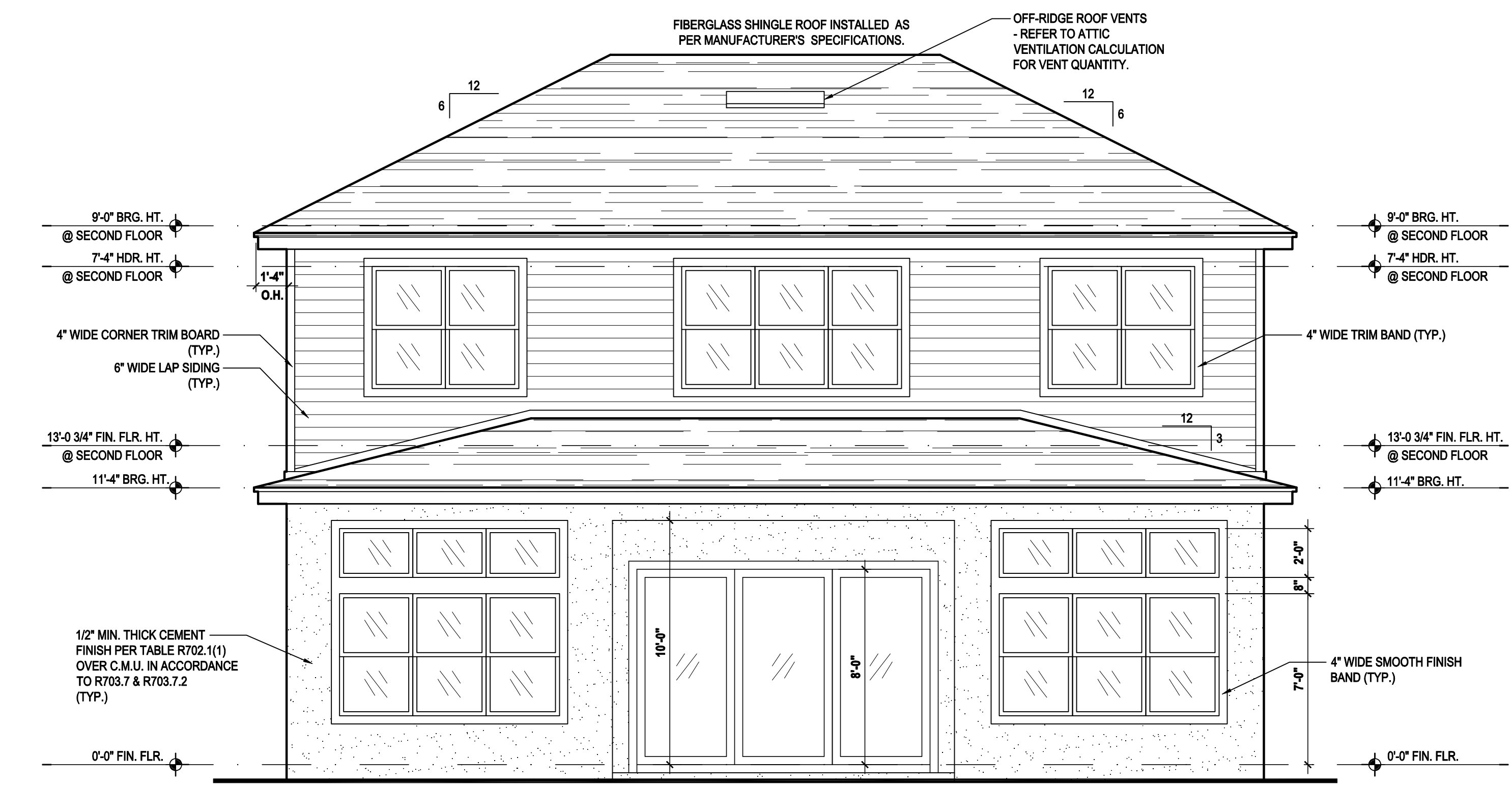
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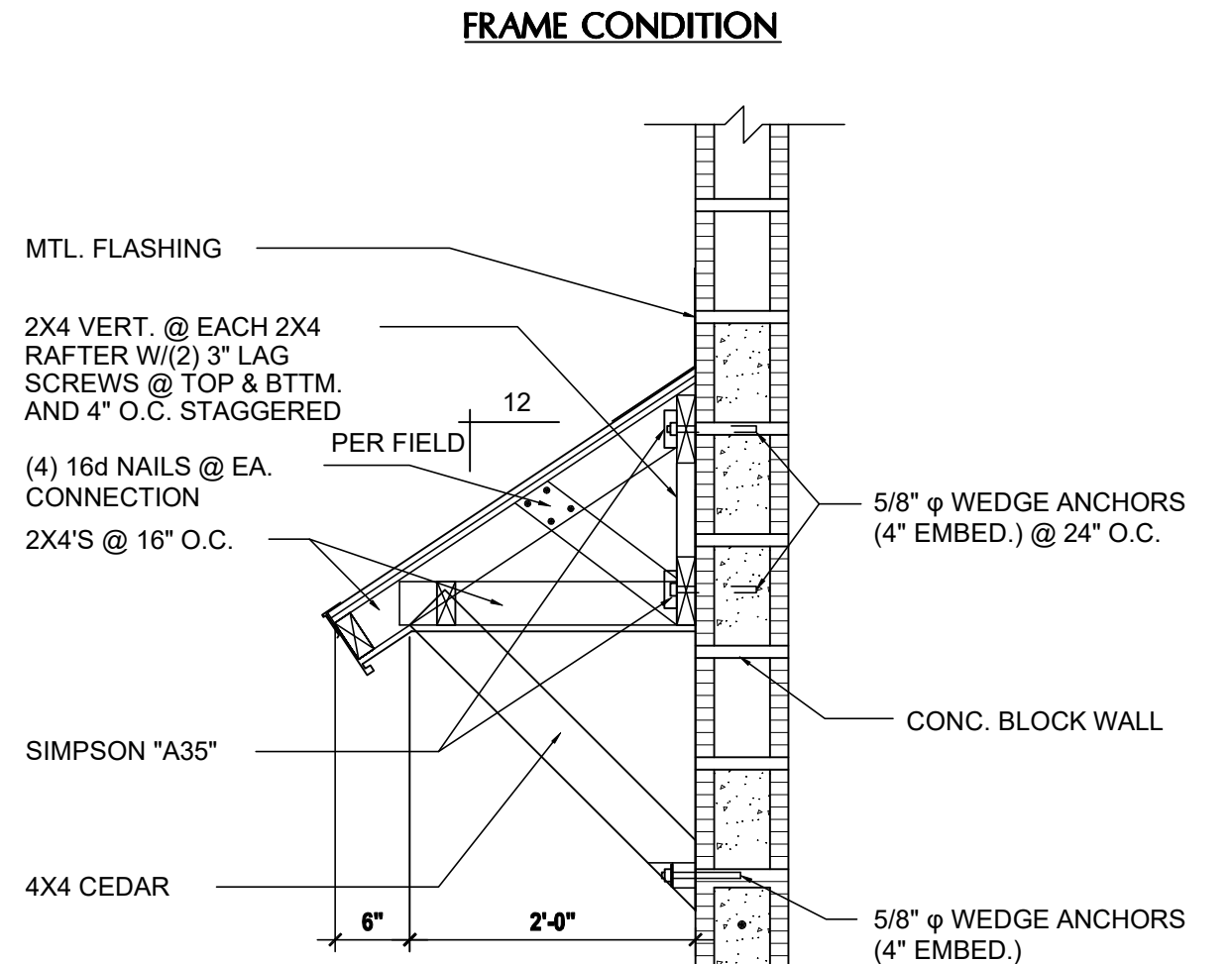
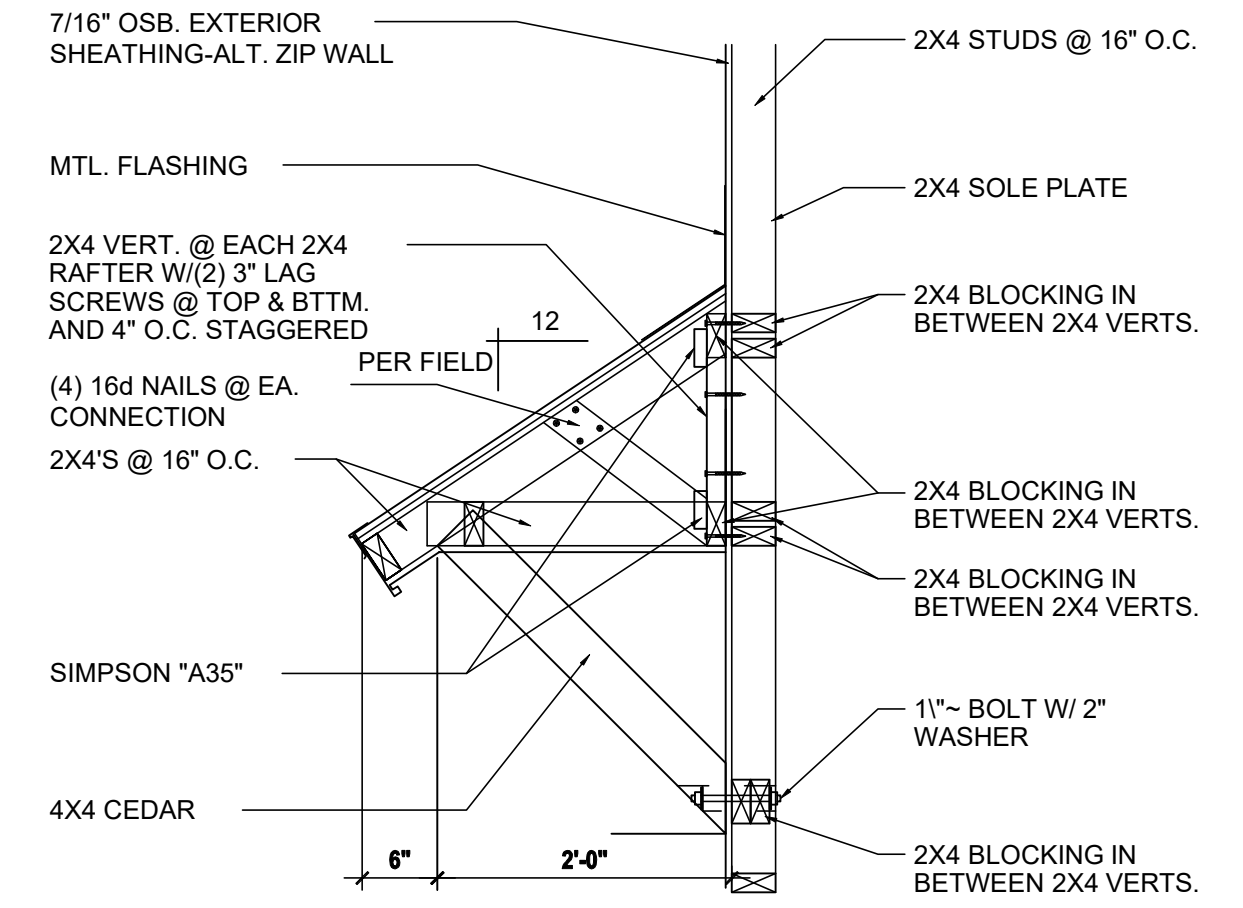
Detail #2
SCALE: 3/4" = 1'-0"



Front Elevation "C"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"
(Standard)
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Detail #3
SCALE: 3/4" = 1'-0"

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(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/3 OF VENTED SPACE.

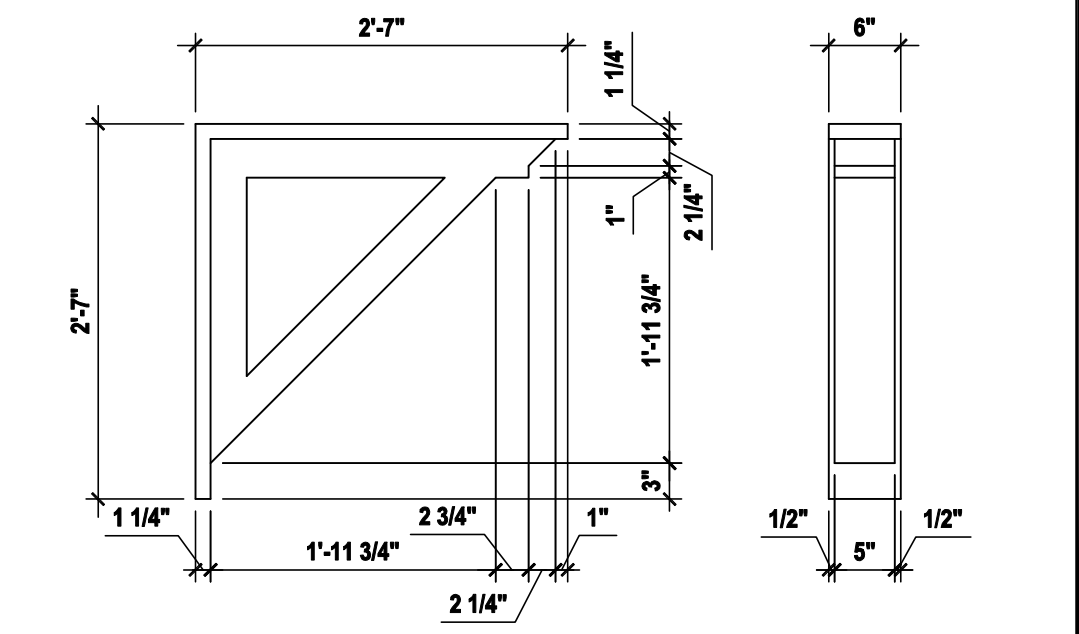
TOTAL VENTED SPACE: $\frac{3,354}{300} = 11.18$ SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 4.472 SF.
TO BE PROVIDED W/ OFF RIDGE VENTS: 6 VENTS @ .745 /PER VENT

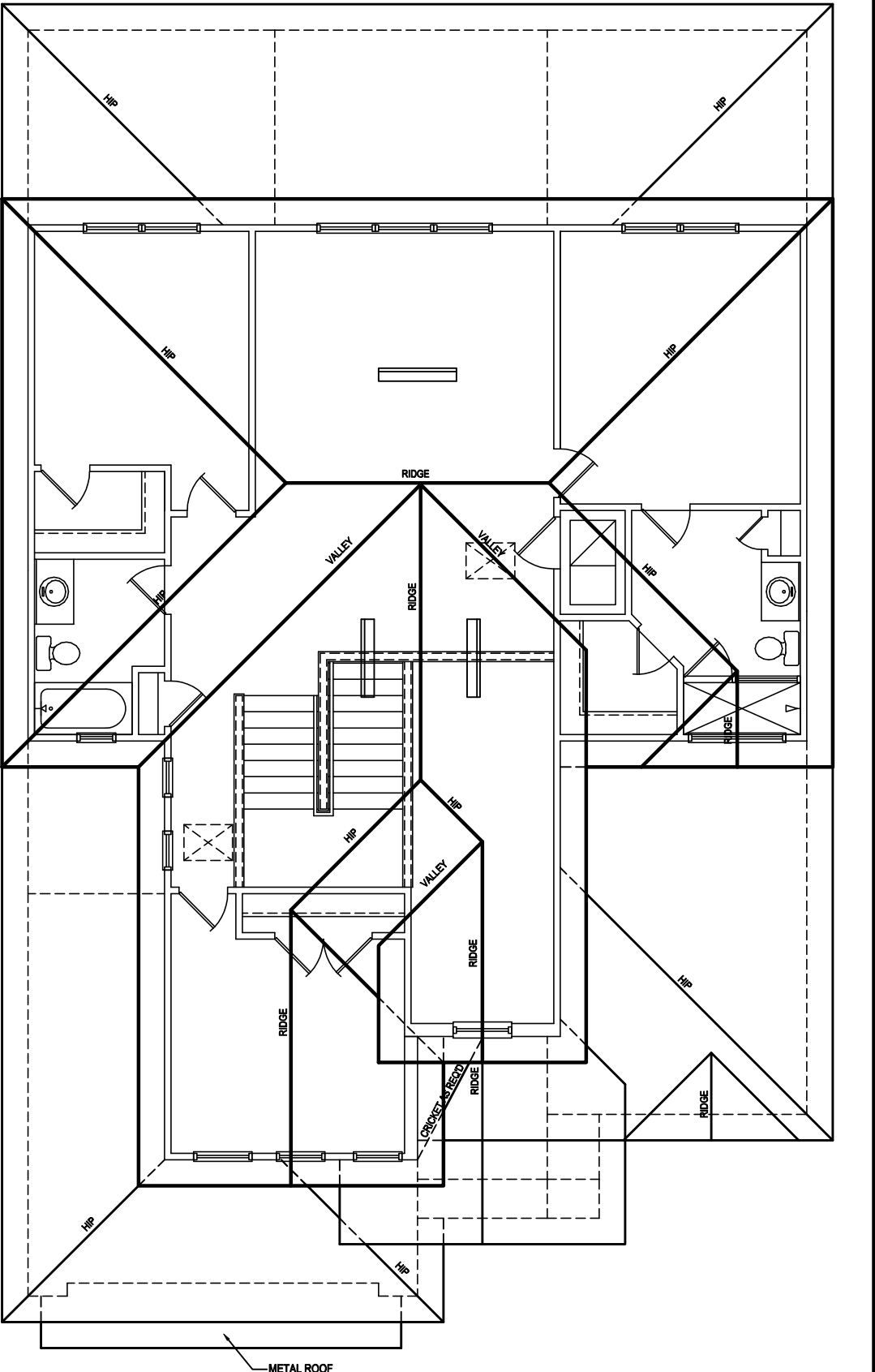
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 6.708 SF.
TO BE PROVIDED W/ SOFFITS @ EAVE: 80.00 LF. @ 0.083 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%
LOWER ROOF PERCENTAGE: 60%



Detail #1
SCALE: 3/4" = 1'-0"



Roof Layout
SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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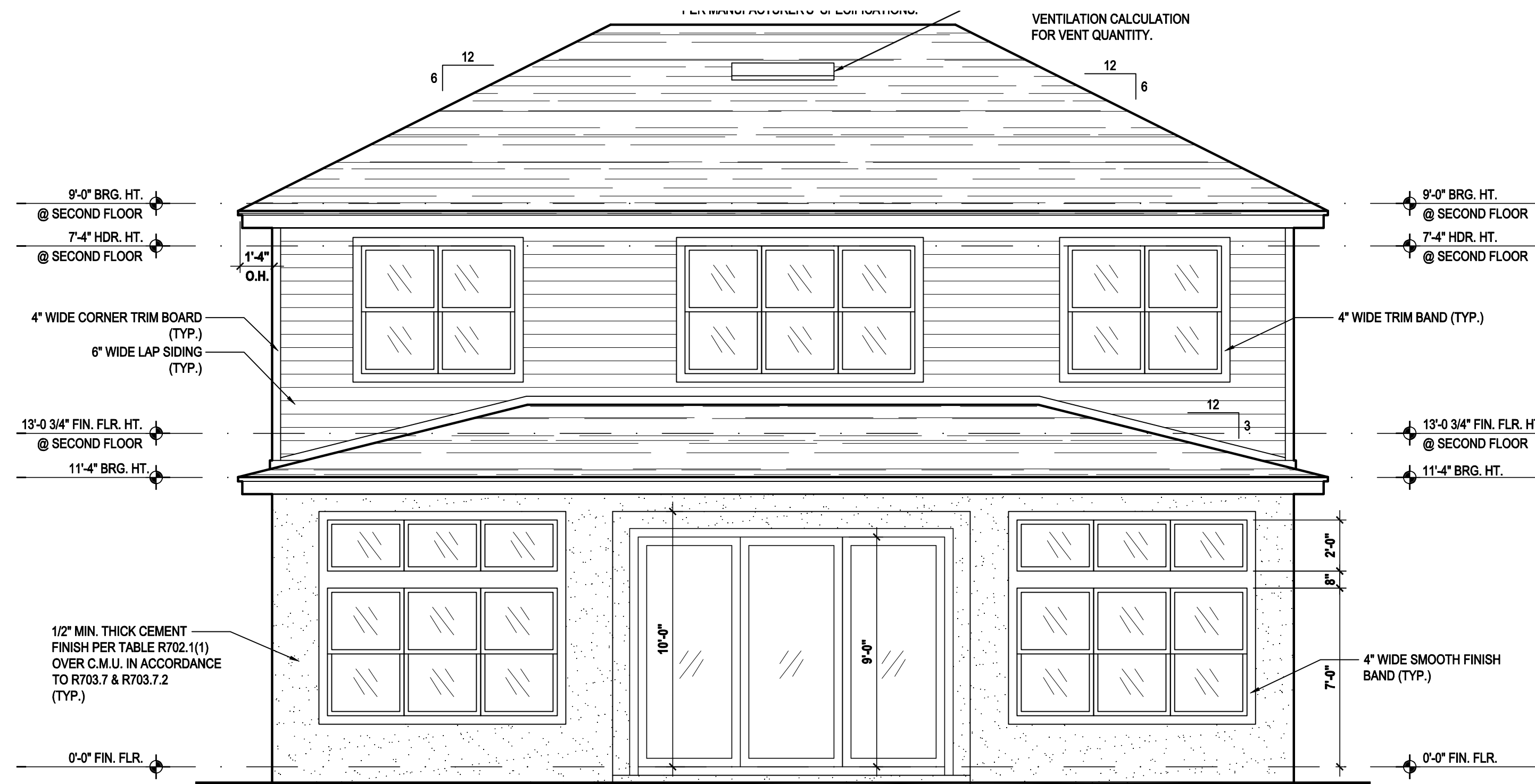
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PROJECT: 22-0000
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DRAWN BY: M.C.
DESIGNED BY: MJS

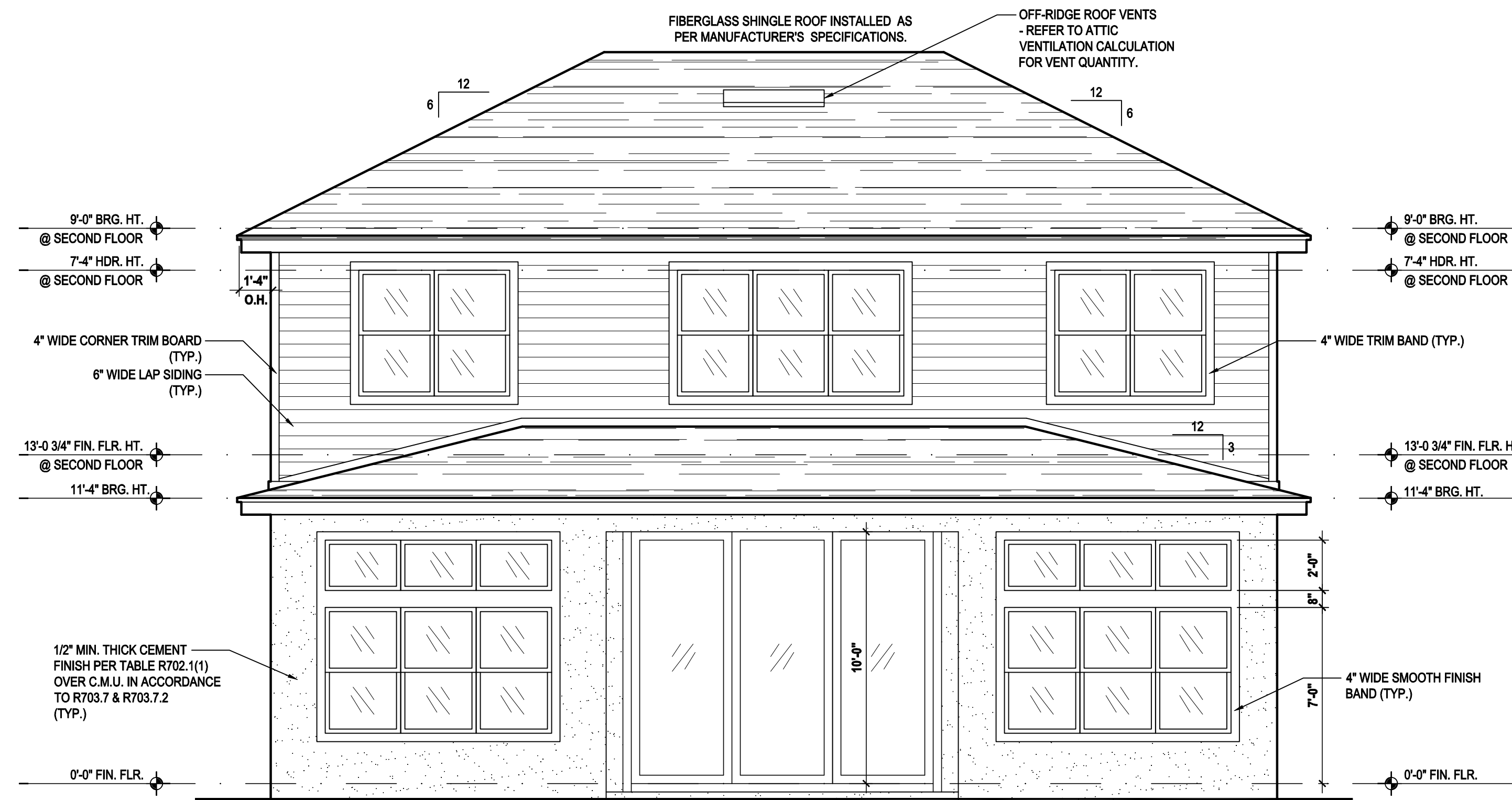
ELEVATIONS "A"
A4.C



Rear Elevation "C"

(Opt. 9'-0" SGD)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Rear Elevation "C"

(Opt. 10'-0" SGD)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

ATTIC VENT CALC'S:

2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R806
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REQUIRED

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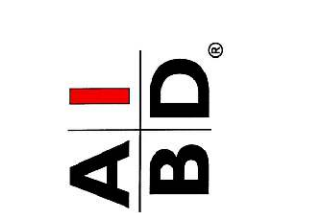
TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

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LOWER ROOF PERCENTAGE: 60%



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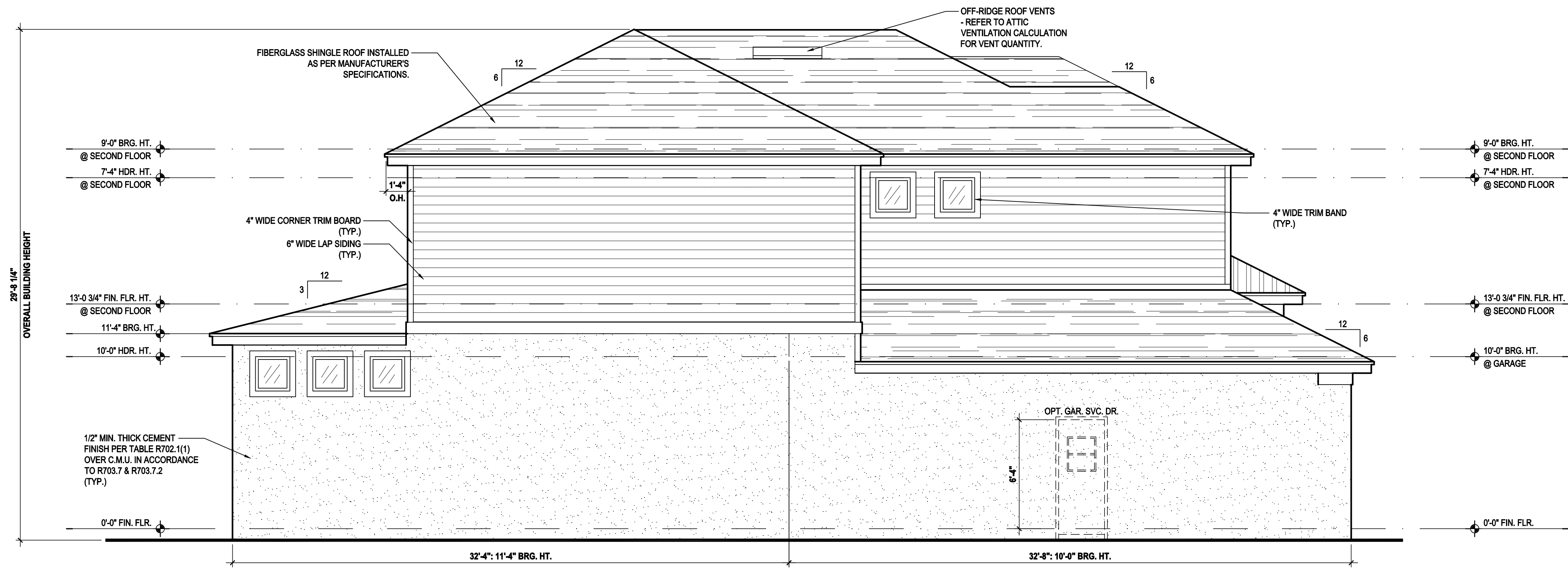
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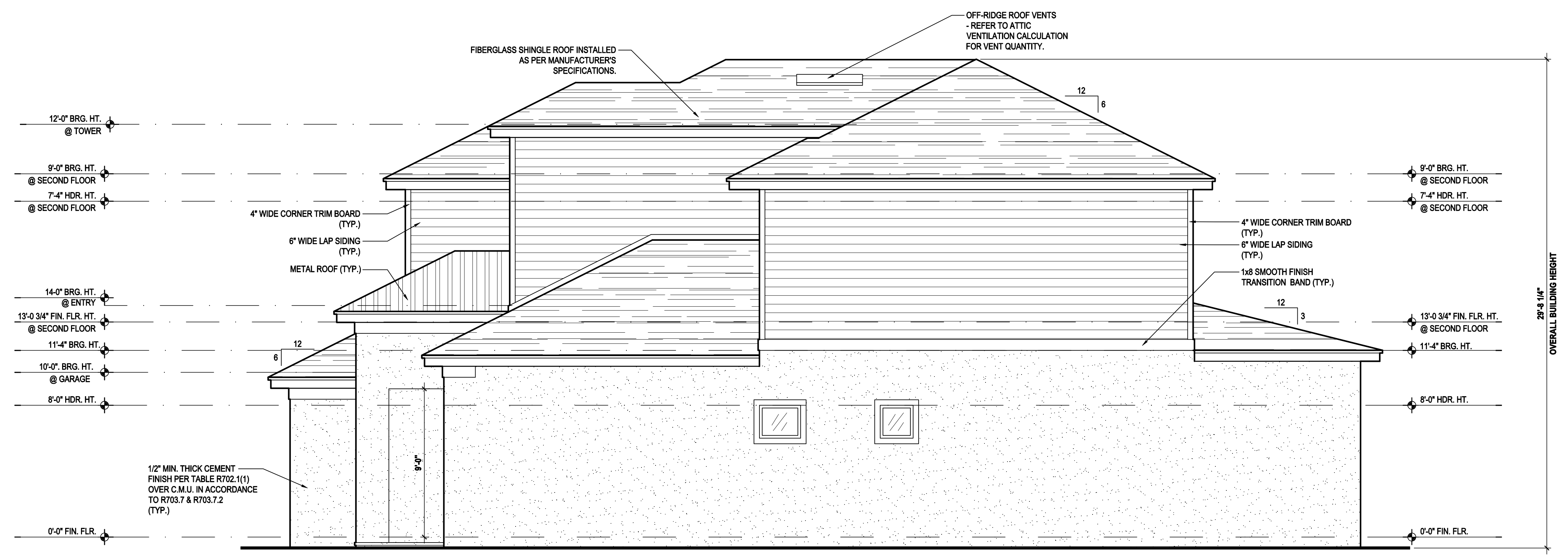
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SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELEVATIONS "A"
A4.C1

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Left Elevation "A"
 (Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"
 (Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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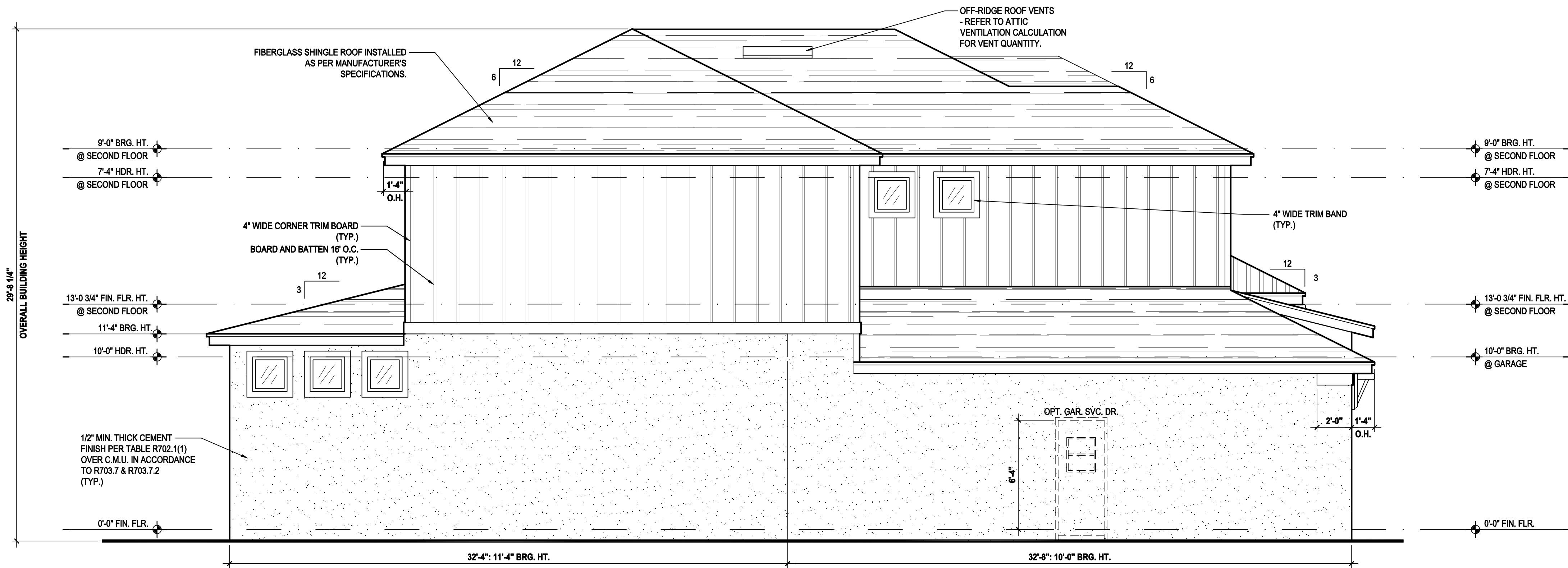
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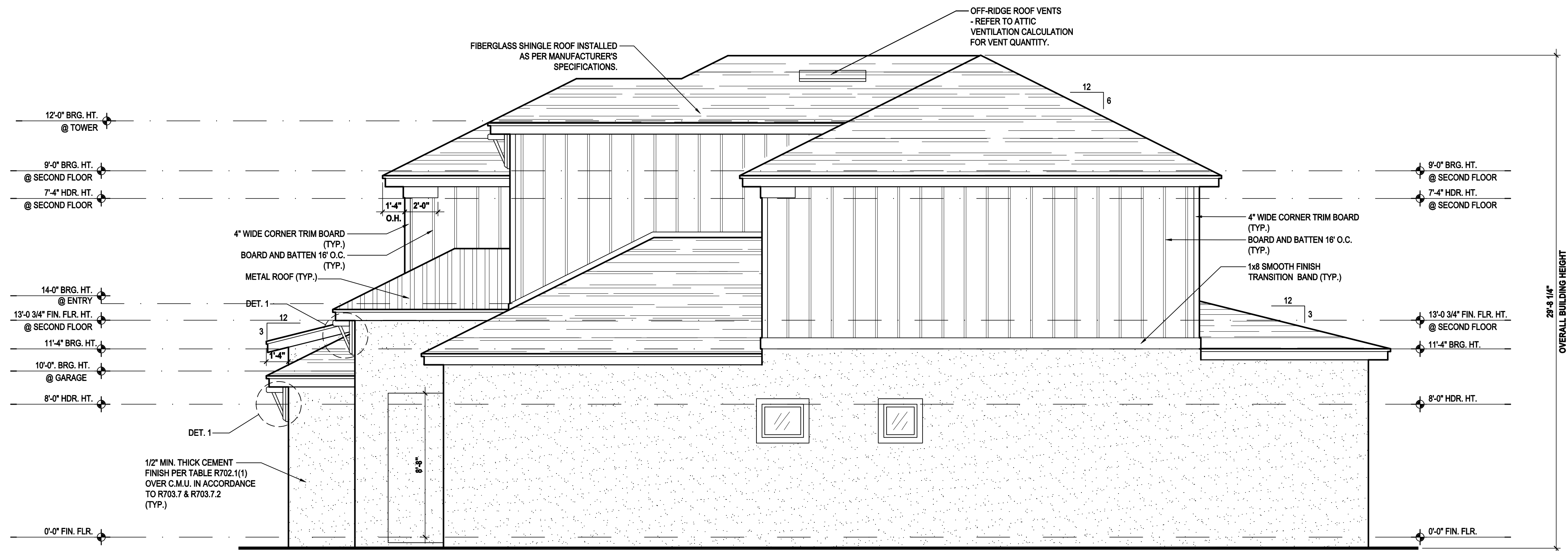
ELEVATIONS "A"
A5.A

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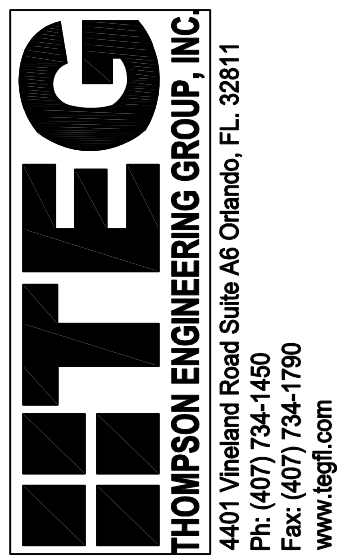
Left Elevation "B"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "B"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



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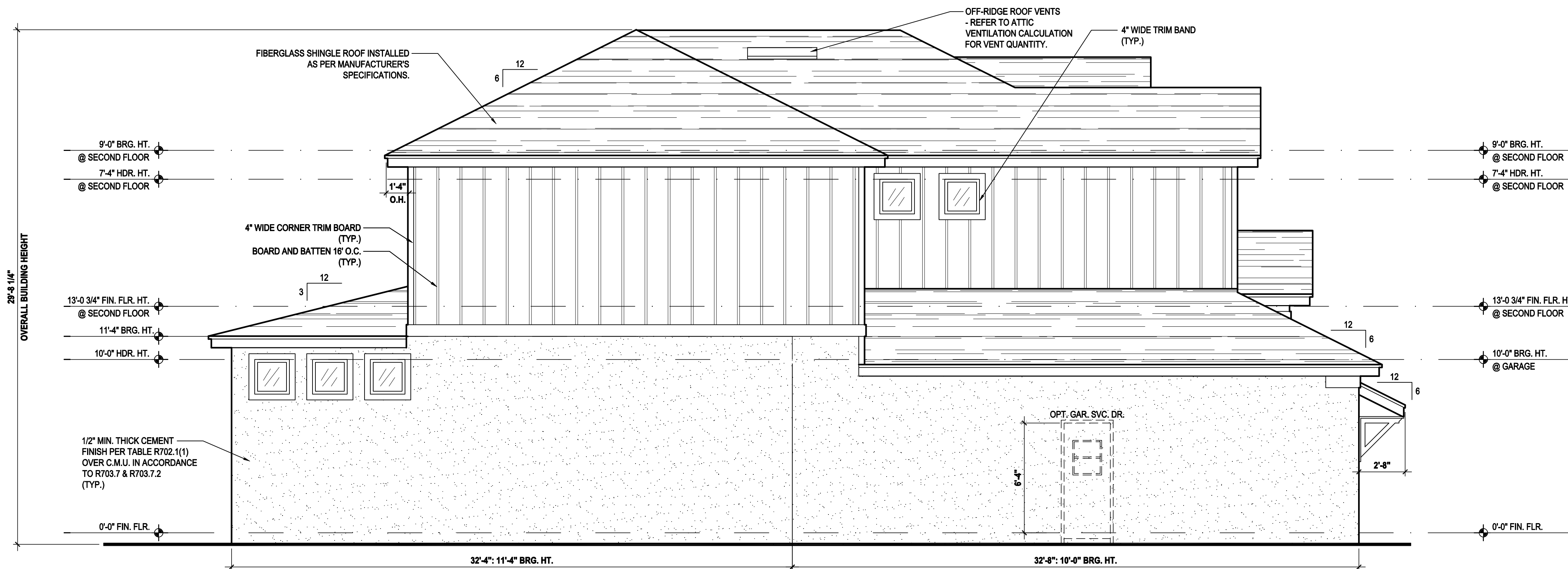
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DESIGNED BY:	MJS

ELEVATIONS "B"
A5.B

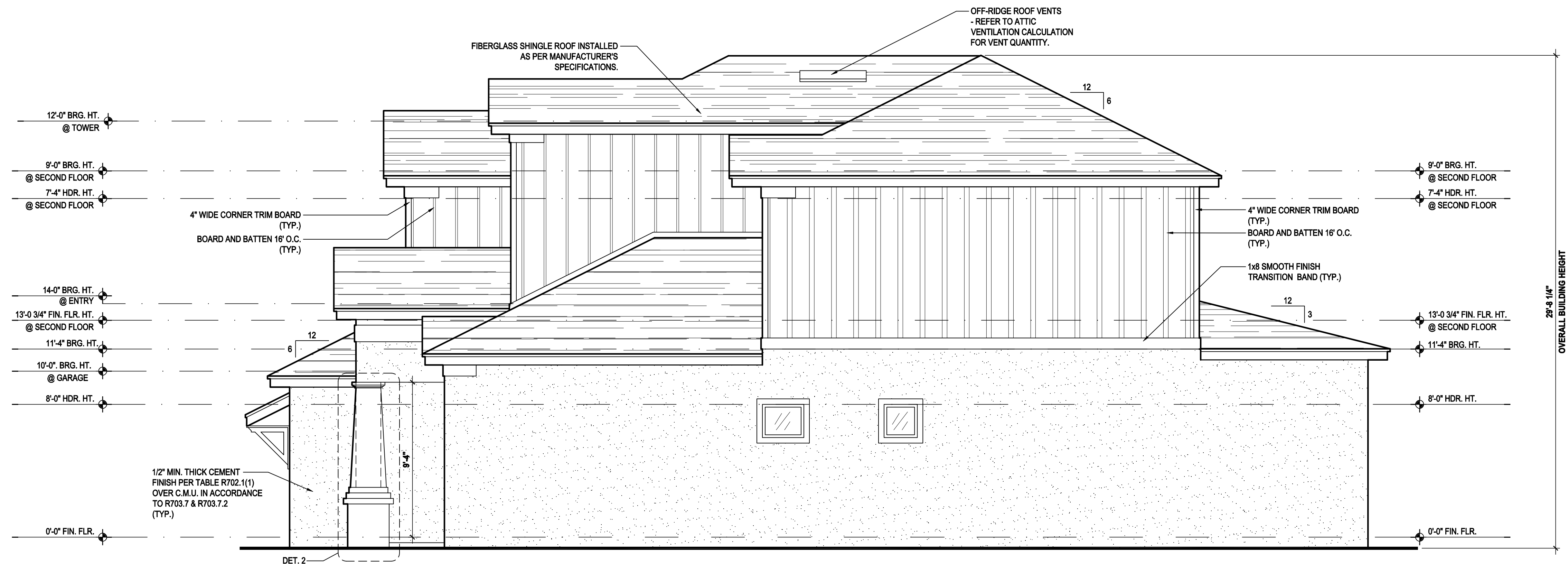
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Left Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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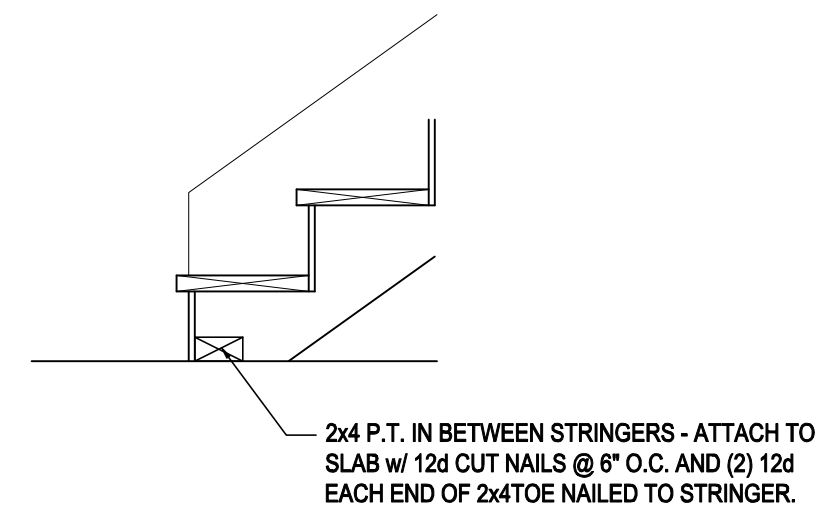
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ELEVATIONS "A"
A5.C

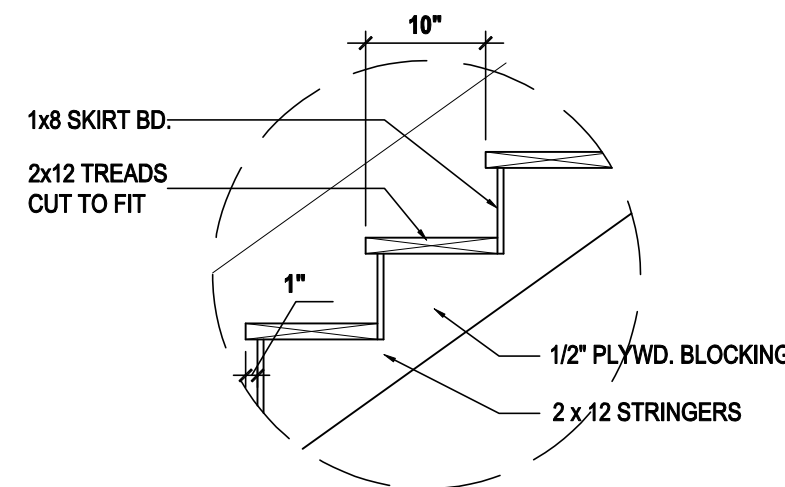
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NOTES:

1. STAIRWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 7TH EDITION SECTION R311.7.
2. MAX HT. OF RISER TO BE 7 3/4".
3. MIN. WIDTH OF TREAD TO BE 10" (EXCLUSIVE OF NOSING).
4. ALL TREADS LESS THAN 10" IN WIDTH SHALL HAVE APPROX. 1" OF NOSING.
5. 3/16" MAX VARIATION IN RISERS/TREADS ADJACENT TO EACH OTHER.
6. 1/2" MAX VARIATION IN ANY RISE/TREAD.
7. HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
8. UNDER MIN. 6" WIDE @NARROW END.
9. 34"-38" HANDRAIL HT.
10. HEADROOM CLEARANCE MIN 6'-8".

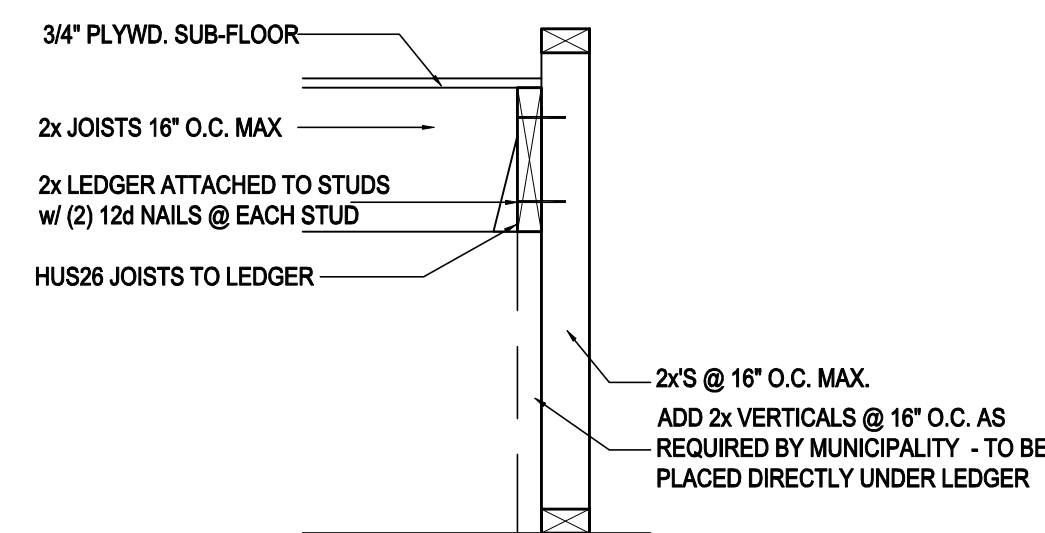


S1
A6 **TYP. STAIR CONNECT.**
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22"x34")

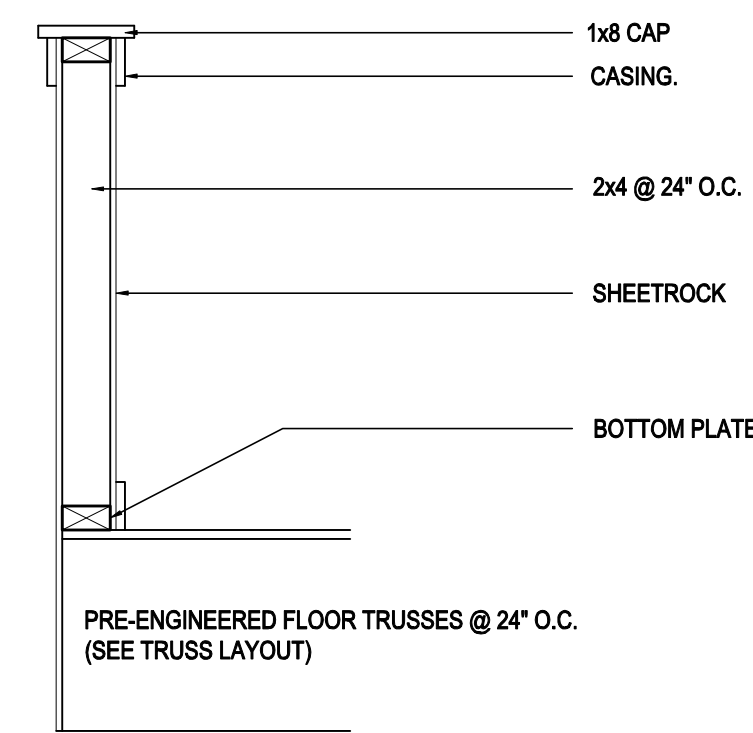


DATA: TOTAL RISE: 10-8 3/4" (18 RISERS @ 7.15" EA.)
TOTAL RUN: 17 (17 TREADS @ 10" EA.)

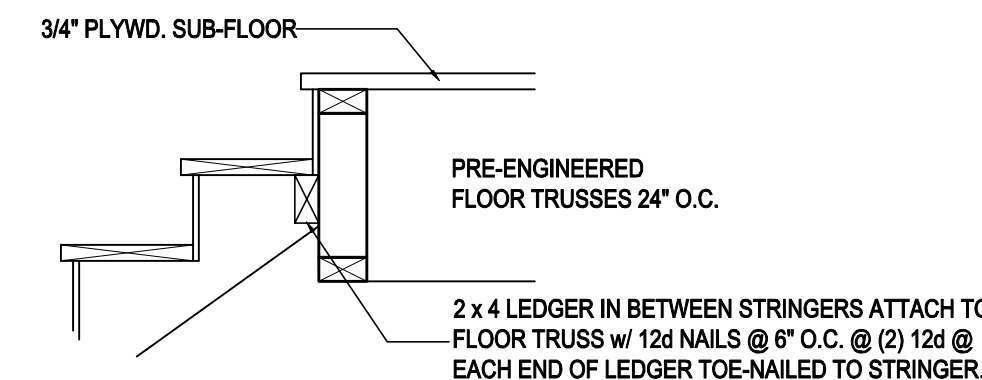
S2
A6 **TREAD & RISER DETAIL**
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



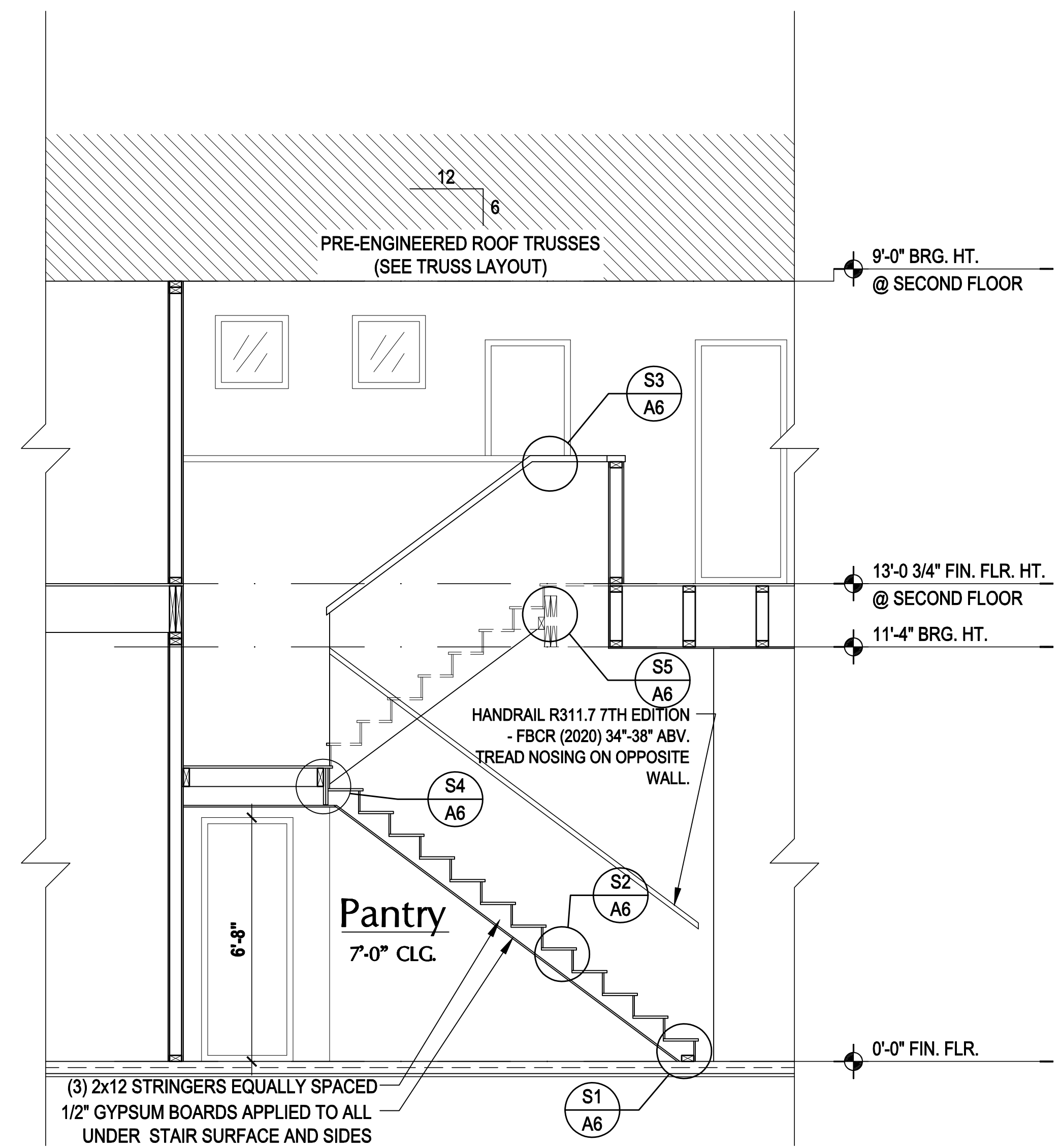
S4
A6 **LANDING CONNECT. DETAIL**
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) PLATFORM FRAMING



S3
A6 **HALF WALL DETAIL**
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



S5
A6 **STAIR CONNECT. @ FLR. TRUS**
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34) STRINGER TO FLOOR TRUSS



Stair Section
SCALE: 3/8" = 1'-0" (11x17) 3/4" = 1'-0" (22x34)

Stair Details
SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



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Street Address
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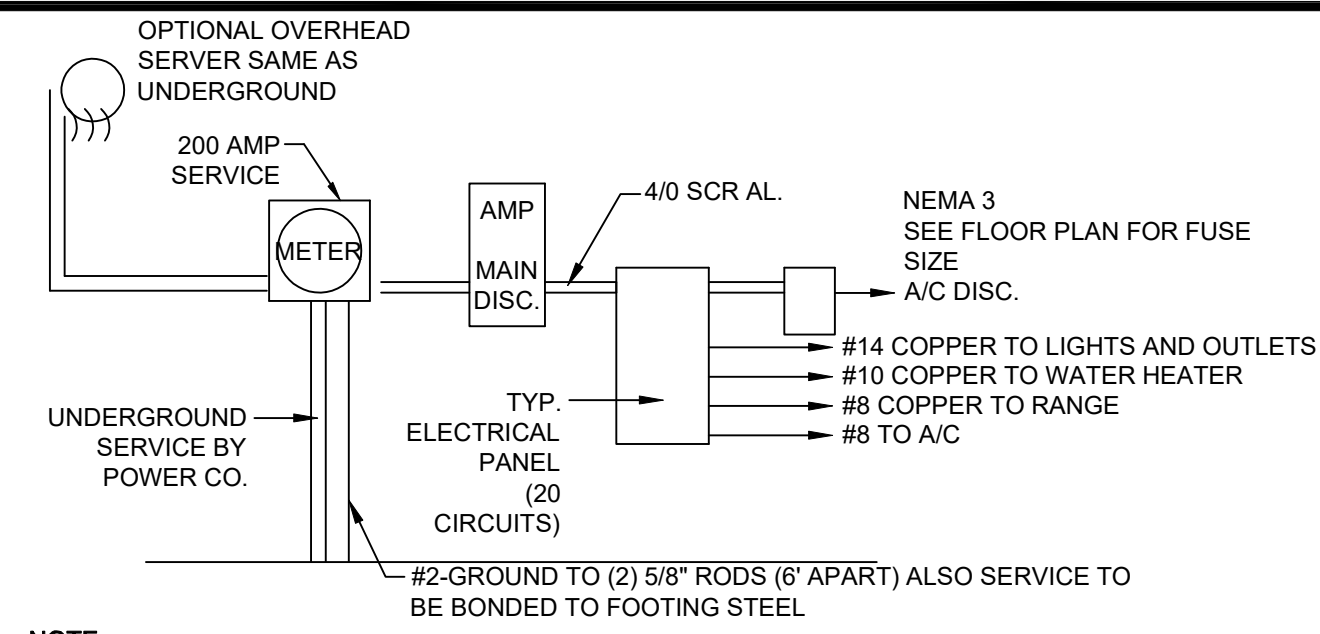
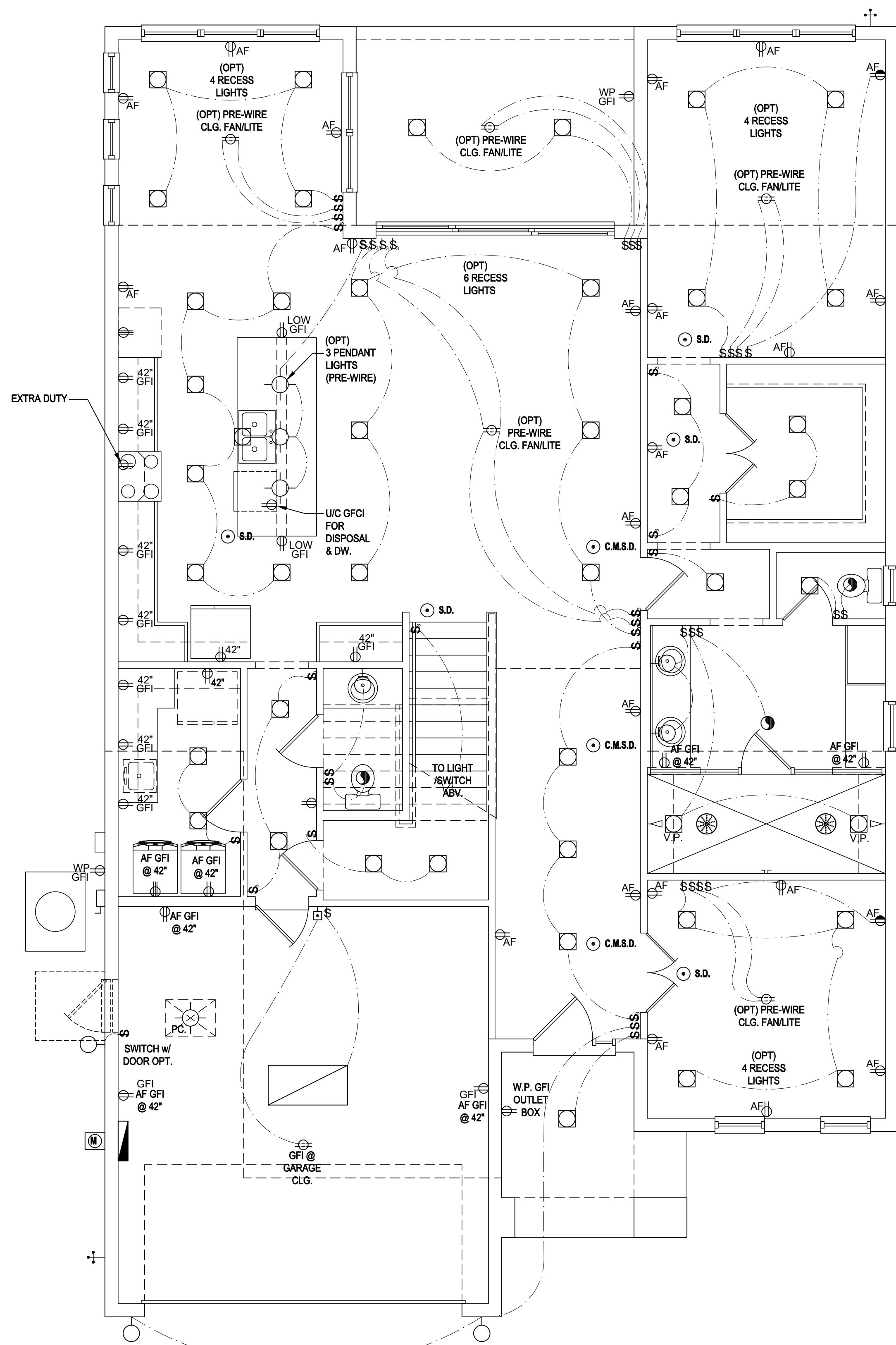
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DRAWN BY:	M.C.
DESIGNED BY:	MJS

SECTIONS
A6

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NOTE:

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- 1/0 COPPER THWN WILL BE USED FOR BOTH HOT WIRES. #1 COPPER THWN WILL BE USED FOR THE NEUTRALS.
- 3/0 SER ALUM. CABLE WILL BE USED FROM THE DISC. TO THE INSIDE PANELS FROM BOTH DISC. AND BOTH INSIDE PANELS.

200 AMP ELECTRICAL RISER

GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
 - ALL OUTLETS ARE TO BE AFCI PROTECTED.
 - ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
 - ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
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 - ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
 - DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
 - EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
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 - OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
 - ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
 - ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
 - 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
 - IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- NOTES:**
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ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

First Floor Electrical Plan "A&B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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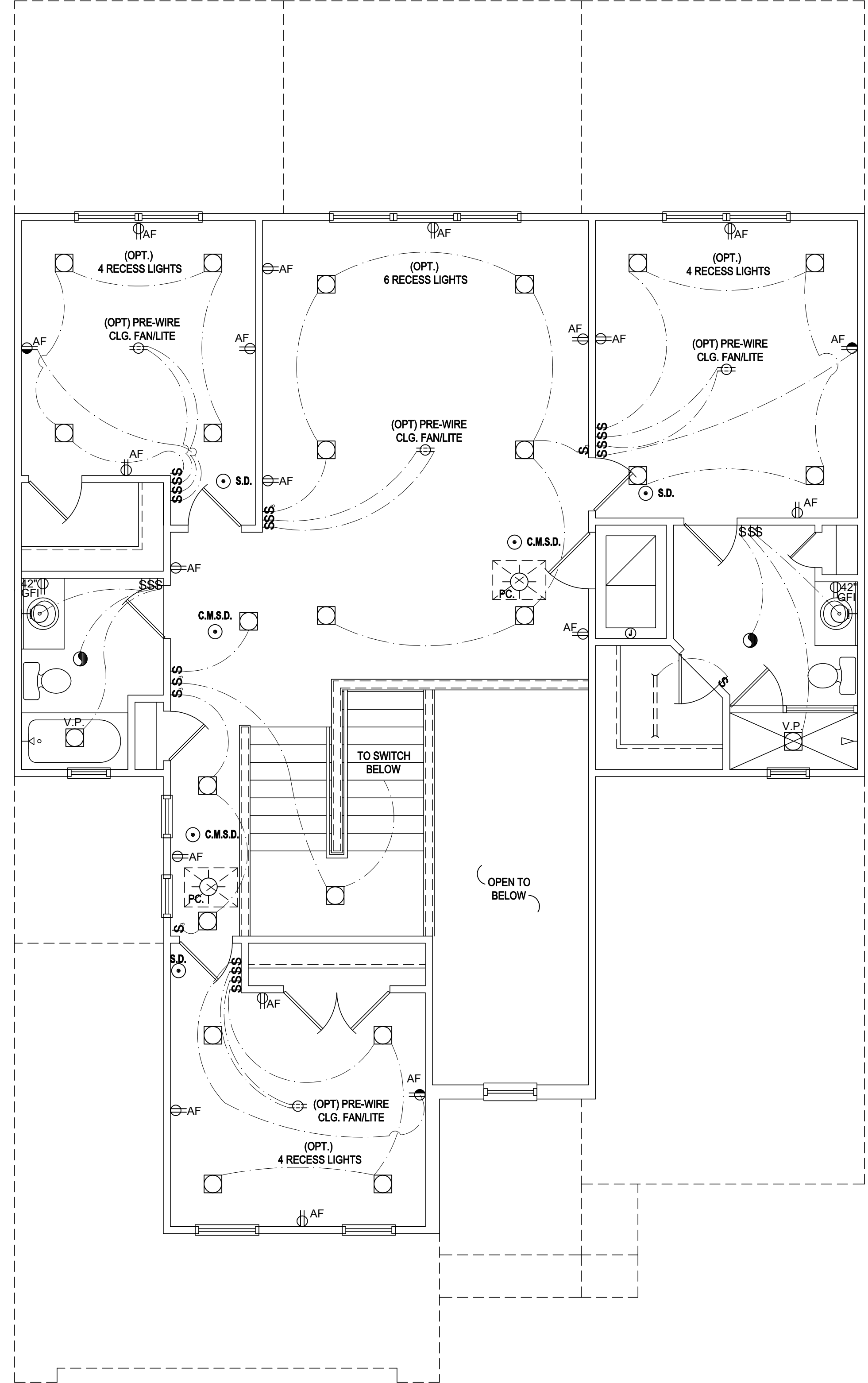
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SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELECTRICAL LAYOUT
A7.AB Le

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Second Floor Electrical Plan "A"
 (Standard)
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

1. BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
 2. ALL OUTLETS ARE TO BE AFCI PROTECTED.
 3. ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
 4. ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
 5. ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
 6. ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
 7. DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
 8. EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
 9. OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
 10. OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
 11. ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
 12. ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
 13. 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
 14. IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
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	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
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	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
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	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
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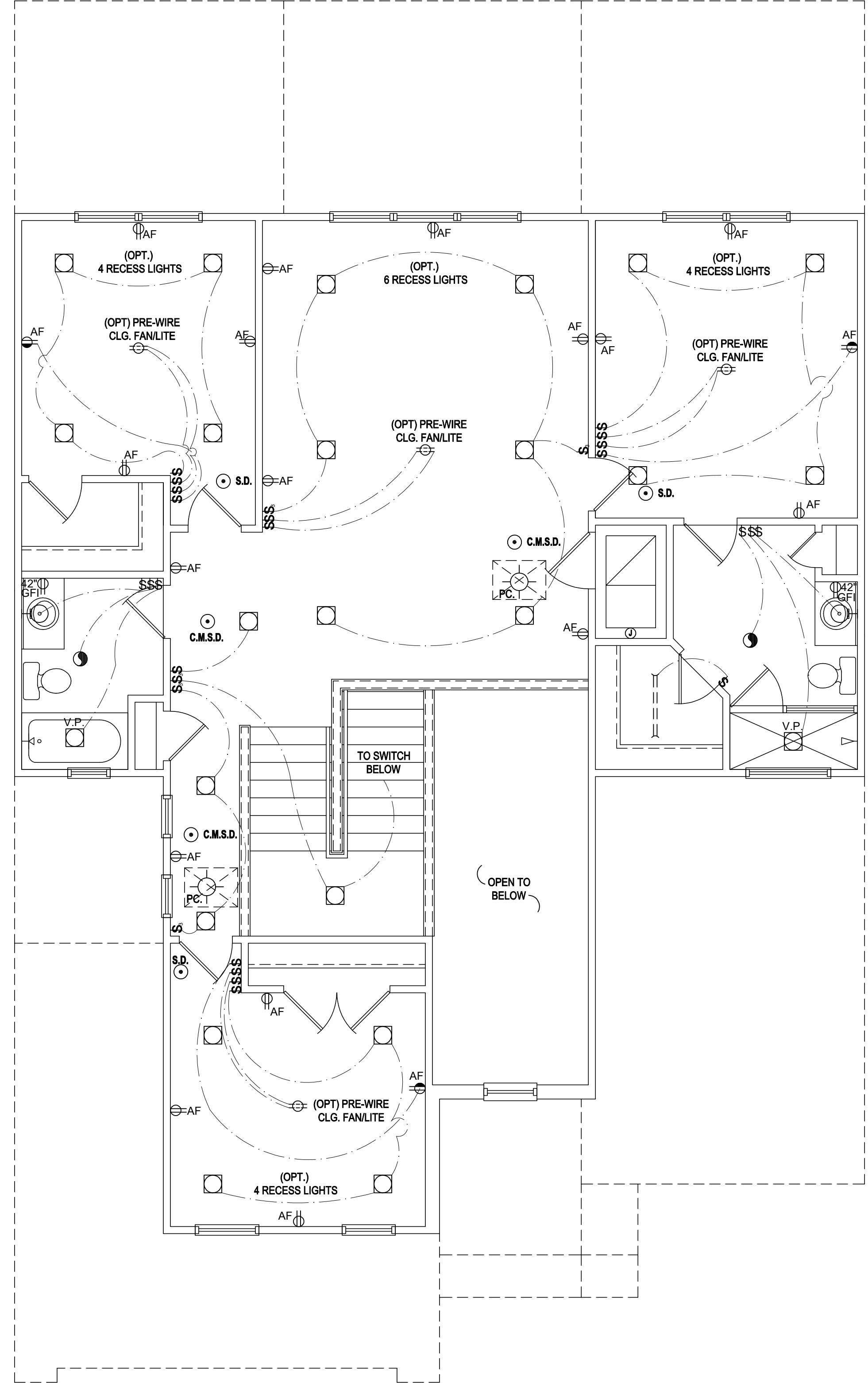
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DRAWN BY:	M.C.
DESIGNED BY:	MJS
ELECTRICAL LAYOUT	
A8.A Le	

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Second Floor Electrical Plan "B"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

GENERAL NOTES KEY:

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	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
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	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
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	FLUORESCENT LIGHT
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	CARBON MONOXIDE / SMOKE DETECTOR
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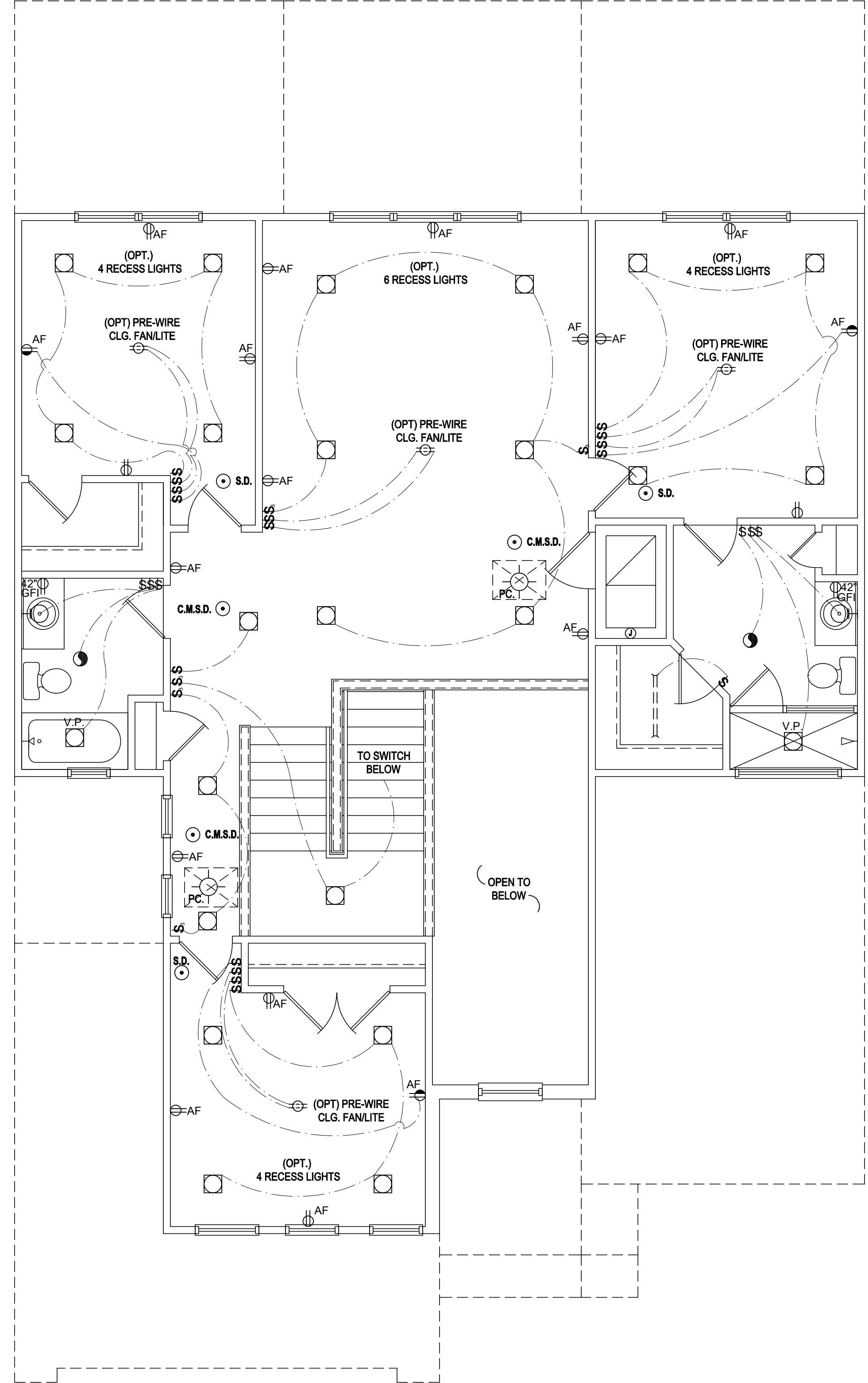
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DRAWN BY:	M.C.
DESIGNED BY:	MJS

ELECTRICAL LAYOUT
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Second Floor Electrical Plan "C"
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
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	FLUORESCENT LIGHT
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	CHIME
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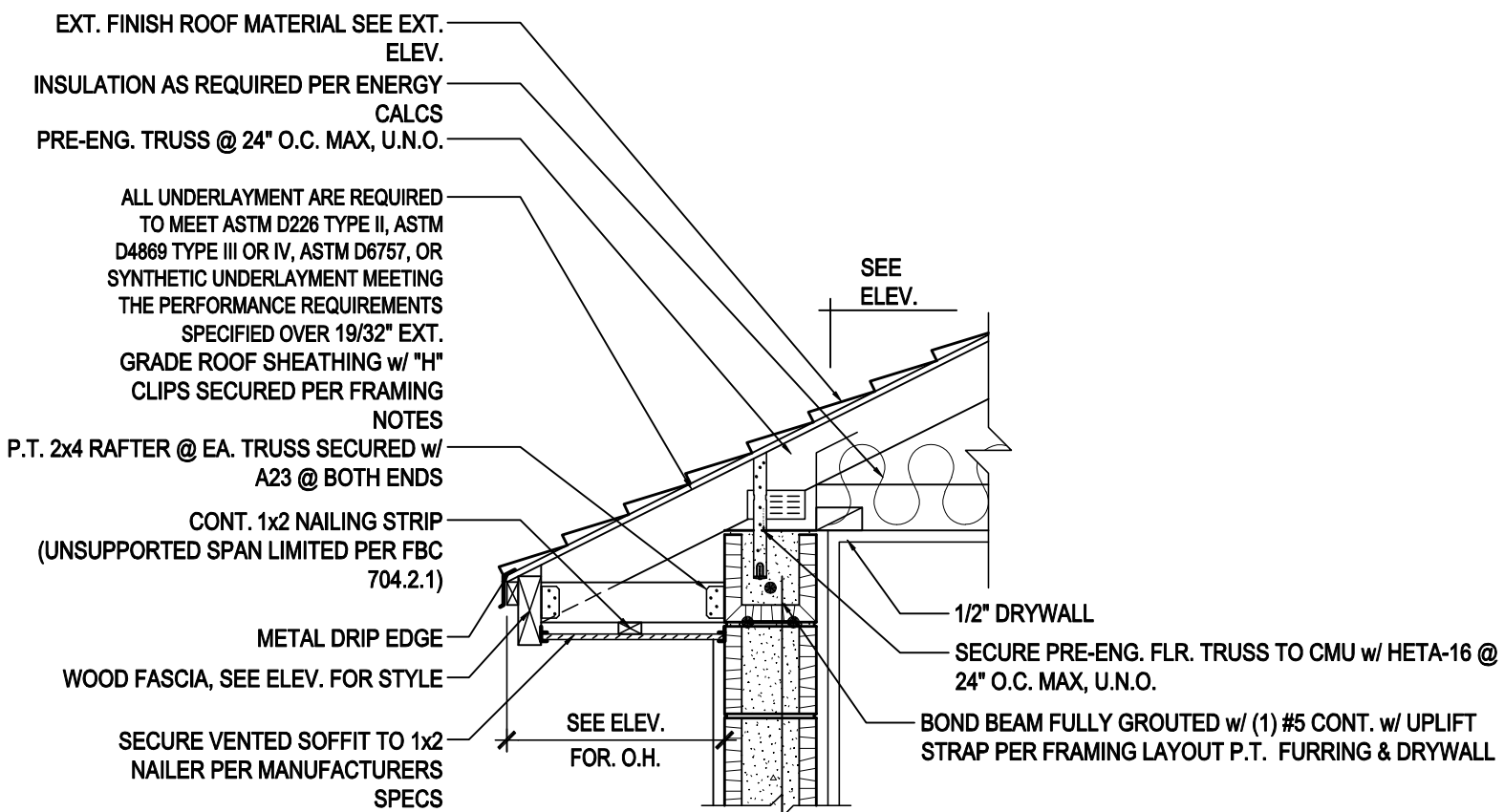
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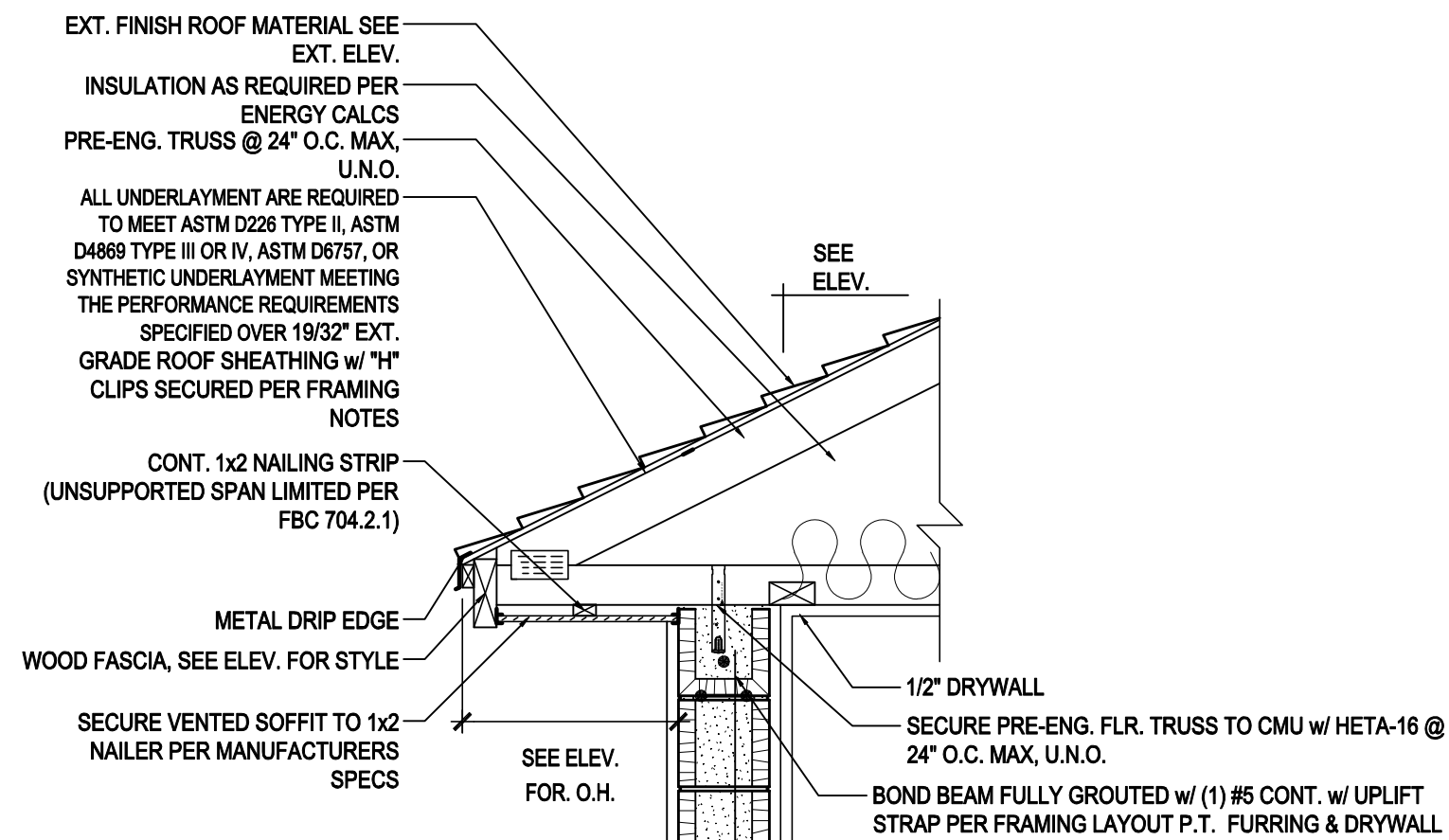
ELECTRICAL LAYOUT
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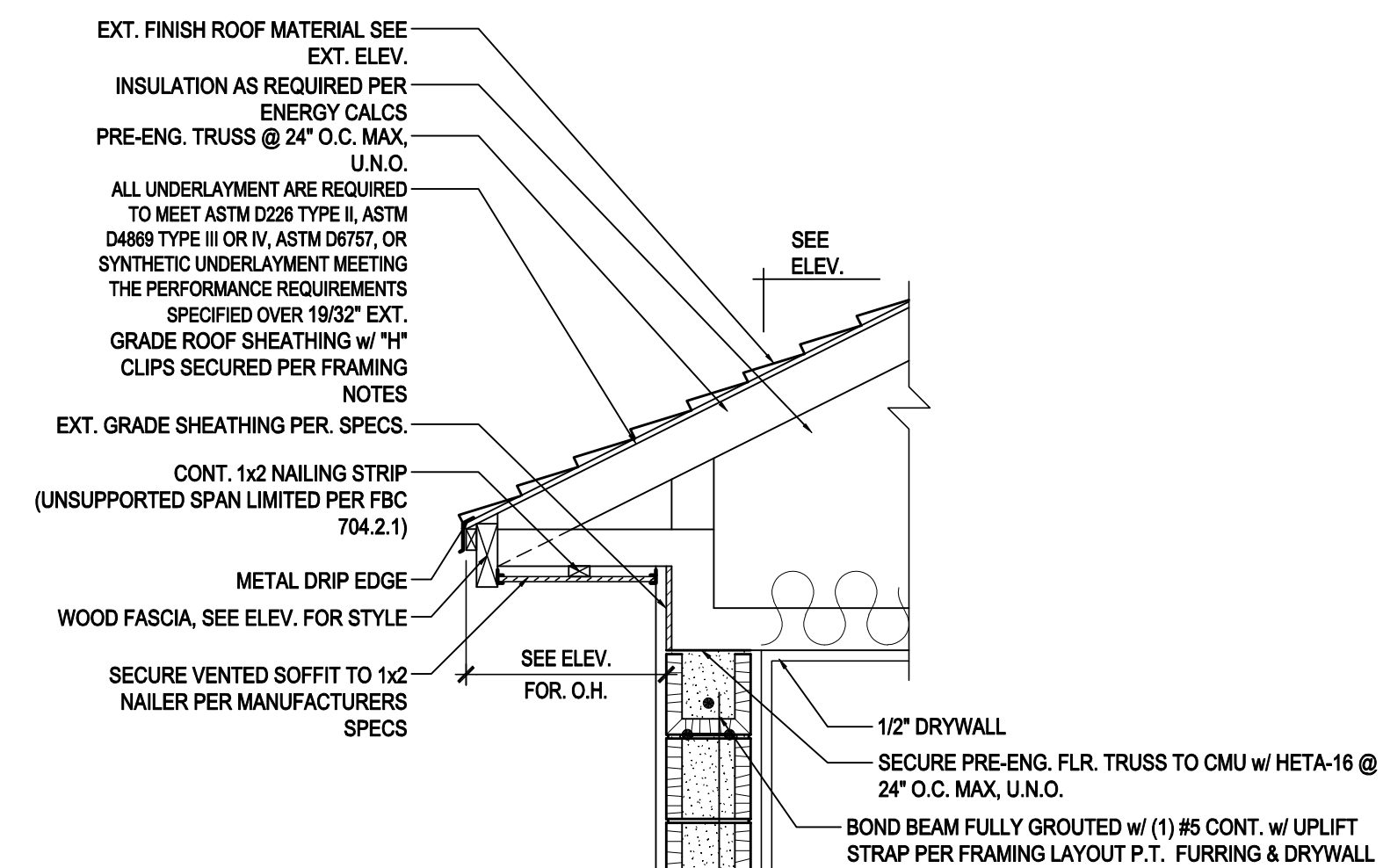
NOTE: ROOF UNDERLAYMENT SHALL COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS IN ACCORDANCE WITH R905.33 - FBC 2020 7TH EDITION



NOMINAL HEEL CONDITION



CANTILEVERED BTM. CHORD CONDITION



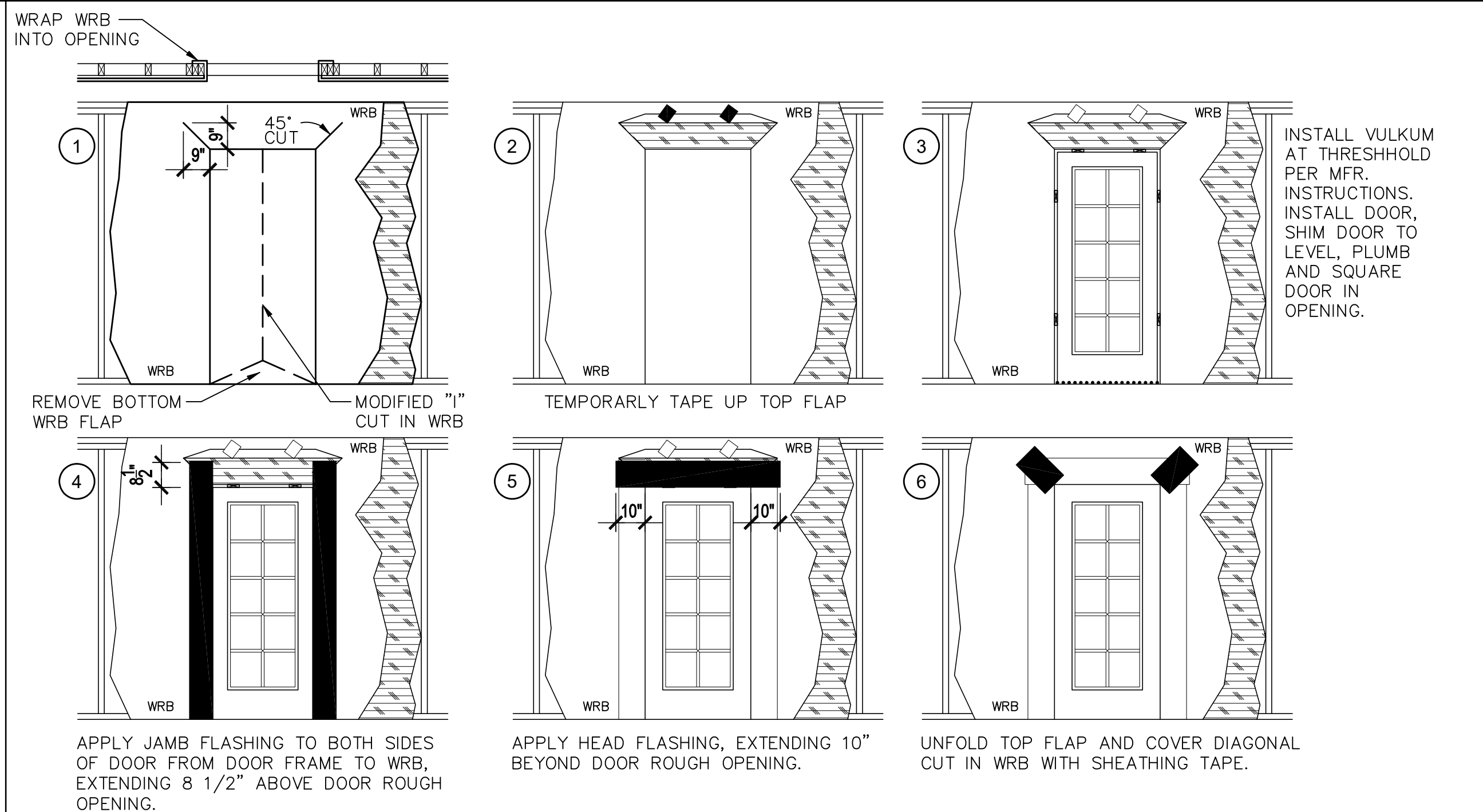
RAISED HEEL CONDITION

1 SOFFIT OVERHANG DETAIL

SCALE: N.T.S.

2 CRICKET/FLASHING DETAIL

SCALE: N.T.S.



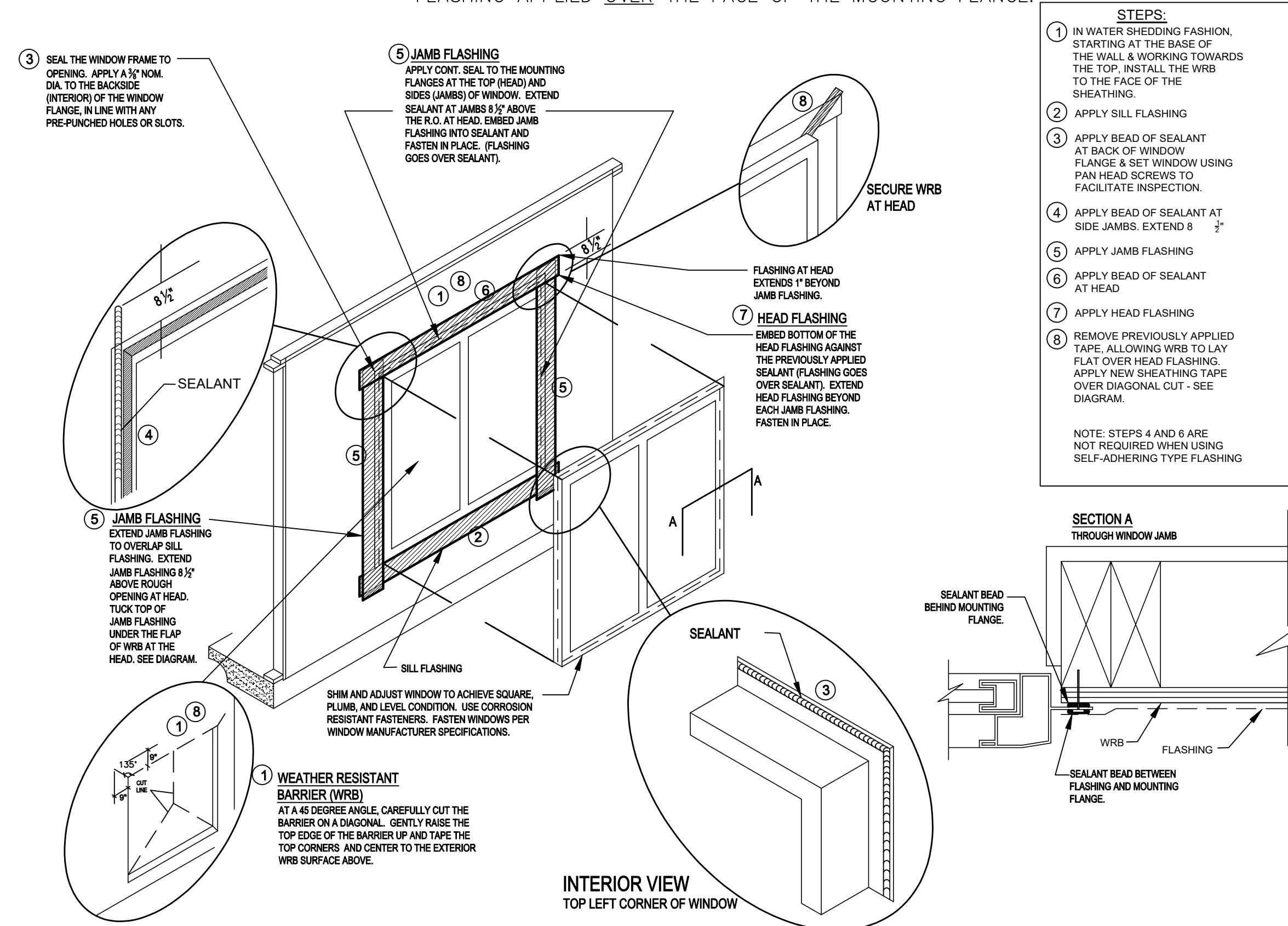
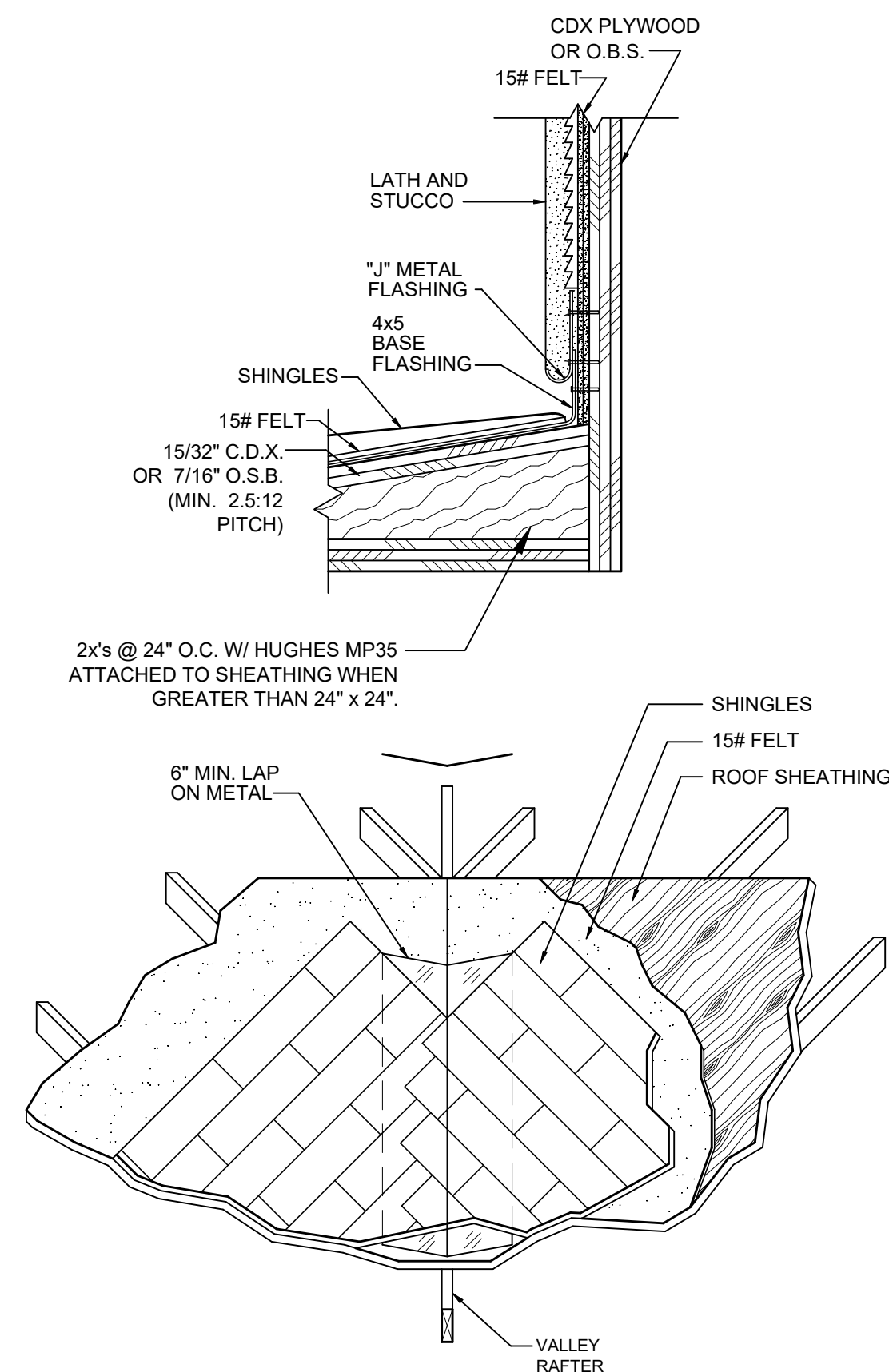
EXTERIOR DOOR FLASHING

NOTE: ALL FLASHING WILL BE SELF ADHERING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.

SCALE: N.T.S.

WINDOW INSTALLATION (METHOD A-1) (ASTM E 2112-01)

WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



INTERIOR VIEW TOP LEFT CORNER OF WINDOW

- STEPS:
- 1 IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL & WORKING TOWARDS THE TOP, INSTALL THE WRB TO THE FACE OF THE SHEATHING.
 - 2 APPLY SILL FLASHING
 - 3 APPLY BEAD OF SEALANT AT BACK OF WINDOW FLANGE & SET WINDOW USING PAN HEAD SCREWS TO FACILITATE INSPECTION.
 - 4 APPLY BEAD OF SEALANT AT SIDE JAMBS. EXTEND 8 1/2"
 - 5 APPLY JAMB FLASHING
 - 6 APPLY BEAD OF SEALANT AT HEAD
 - 7 APPLY HEAD FLASHING
 - 8 REMOVE PREVIOUSLY APPLIED TAPE, ALLOWING WRB TO LAY FLAT OVER HEAD FLASHING. APPLY NEW SHEATHING TAPE OVER DIAGONAL CUT - SEE DIAGRAM.
- NOTE: STEPS 4 AND 6 ARE NOT REQUIRED WHEN USING SELF-ADHERING TYPE FLASHING

NOTE: ALL FLASHING WILL BE SELF ADHERING AND ROLLED SMOOTH & FLAT WITH A J-ROLLER.

SCALE: N.T.S.

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ISSUE DATE	03/27/2023
REVISIONS	
PROJECT:	22-0000
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

DETAILS
A9