

# 40-1525

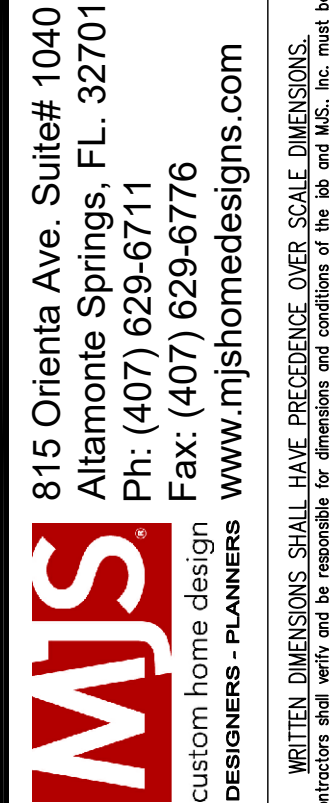
## THE AUGUSTINE

REVISION SCHEDULE:

NO:	DATE:	DESCRIPTION:	BY:

SHEET INDEX:

00	COVER SHEET
A1	SLAB PLAN
A2.A	FLOOR PLAN "A"
A2.B	FLOOR PLAN "B"
A2.C	FLOOR PLAN "C"
A3.A	EXT. ELEVATION A, FRONT & REAR
A3.B	EXT. ELEVATION B, FRONT & REAR
A3.C	EXT. ELEVATION C, FRONT & REAR
A4.A	EXT. ELEVATION A, LEFT & RIGHT
A4.B	EXT. ELEVATION B, LEFT & RIGHT
A4.C	EXT. ELEVATION C, LEFT & RIGHT
A5.AB	FIRST FLOOR ELECTRICAL PLAN "A & B"
A5.C	FIRST FLOOR ELECTRICAL PLAN "C"
D1	TYPICAL DETAILS
S1.A	A (STANDARD) FOUNDATION PLAN
S1.A1	A (OPT. TRAY) FOUNDATION PLAN
S1.B	B (STANDARD) FOUNDATION PLAN
S1.C	C (STANDARD) FOUNDATION PLAN
S1.C1	C (OPT. TRAY) FOUNDATION PLAN
S2.A	A (STANDARD) PRECAST LINTEL PLAN & NOTES
S2.A1	A (OPT. TRAY) PRECAST LINTEL PLAN & NOTES
S2.B	B (STANDARD) PRECAST LINTEL PLAN & NOTES
S2.C	C (STANDARD) PRECAST LINTEL PLAN & NOTES
S2.C1	C (OPT. TRAY) PRECAST LINTEL PLAN & NOTES
S3.A	A (STANDARD) ROOF FRAMING PLAN
S3.A1	A (OPT. TRAY) ROOF FRAMING PLAN
S3.B	B (STANDARD) ROOF FRAMING PLAN
S3.C	C (STANDARD) ROOF FRAMING PLAN
S3.C1	C (OPT. TRAY) ROOF FRAMING PLAN
SD.1	STRUCTURAL NOTES & DETAILS
SD.2	STRUCTURAL DETAILS
SD.3	STRUCTURAL DETAILS
SD.4	STRUCTURAL DETAILS



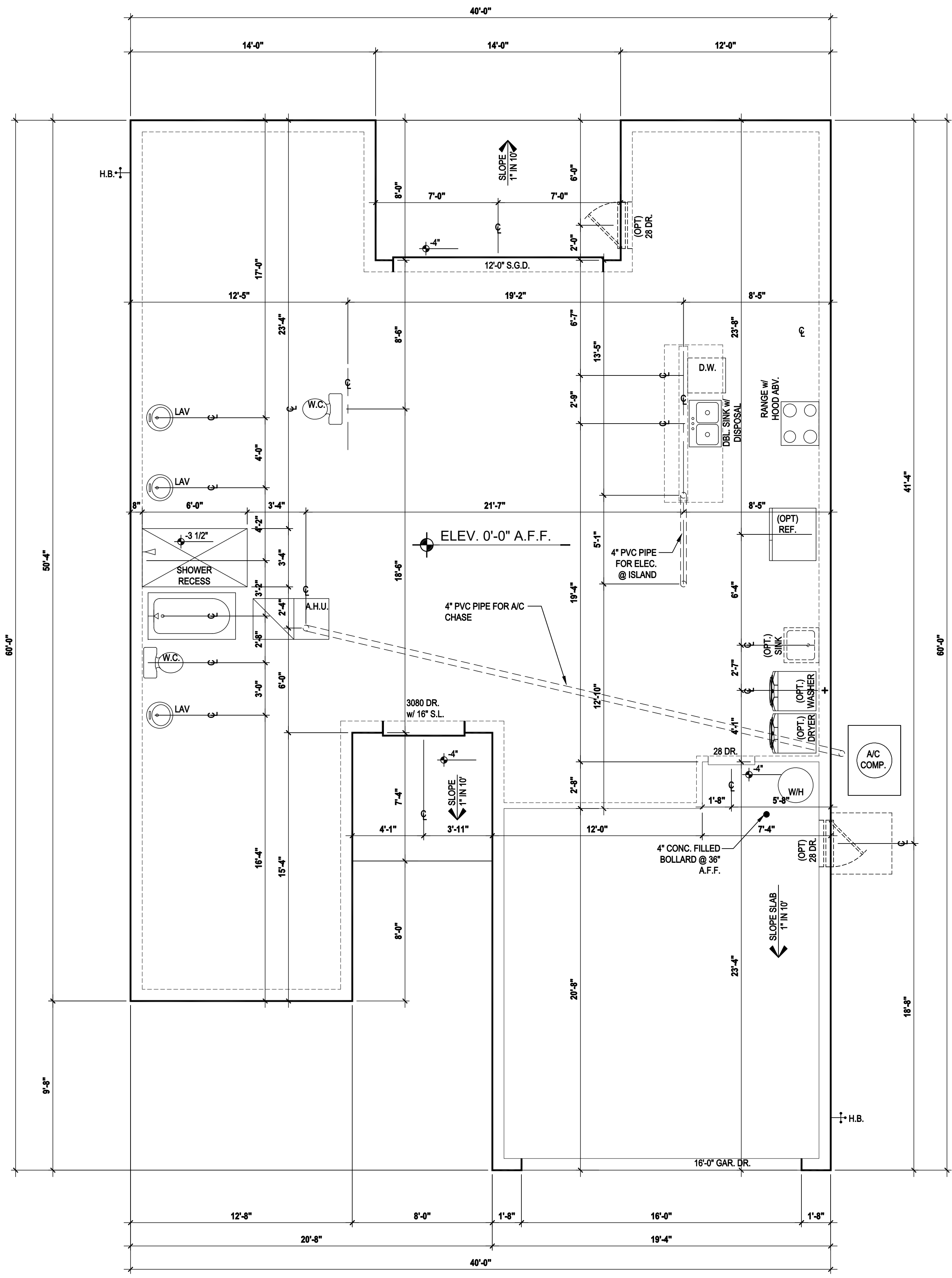
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THE AUGUSTINE  
Lot # - Subdivision  
Street Address  
City, State, Zip

A division of Park Square  
Enterprises Inc.  
5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE	11/28/2019
REVISIONS	
PROJECT:	19-0273
SCALE:	AS NOTED
DRAWN BY:	FM
DESIGNED BY:	MJS

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### Slab Plan "A, B & C"

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

### GENERAL NOTES KEY:

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
4. PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
5. IN LEIU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMICIDE.
6. BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS, PURSUANT TO CH.482 OF THE FLORIDA BUILDING CODE.

### DOOR NOTE KEY:

DOOR SIZE CALLOUT:  
 20 = 2'-0"    40 B.F. = 4'-0" BIFOLD  
 24 = 2'-4"    50 B.F. = 5'-0" BIFOLD  
 26 = 2'-6"    60 B.F. = 6'-0" BIFOLD  
 28 = 2'-8"    80 B.F. = 8'-0" BIFOLD  
 30 = 3'-0"

\* ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER/CLIENT

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**THE AUGUSTINE**

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Altamonte Springs, FL 32701  
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Fax: (407) 629-6776  
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DESIGNERS - PLANNERS  
custom home design

A division of Park Square  
Enterprises Inc.  
5200 Vineland Rd. Suite #200  
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Phone: (407) 529-3000

**Park Square HOMES**

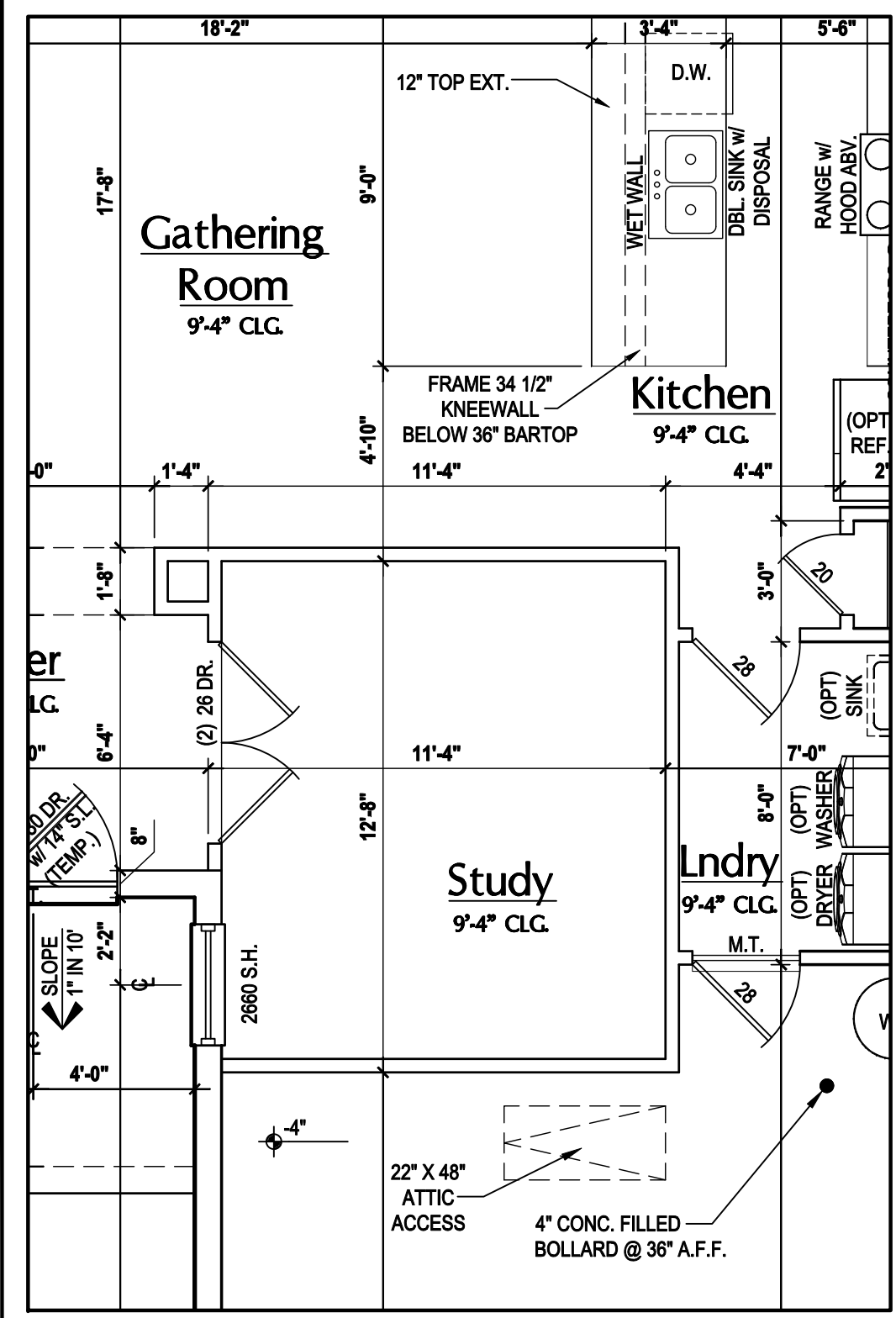
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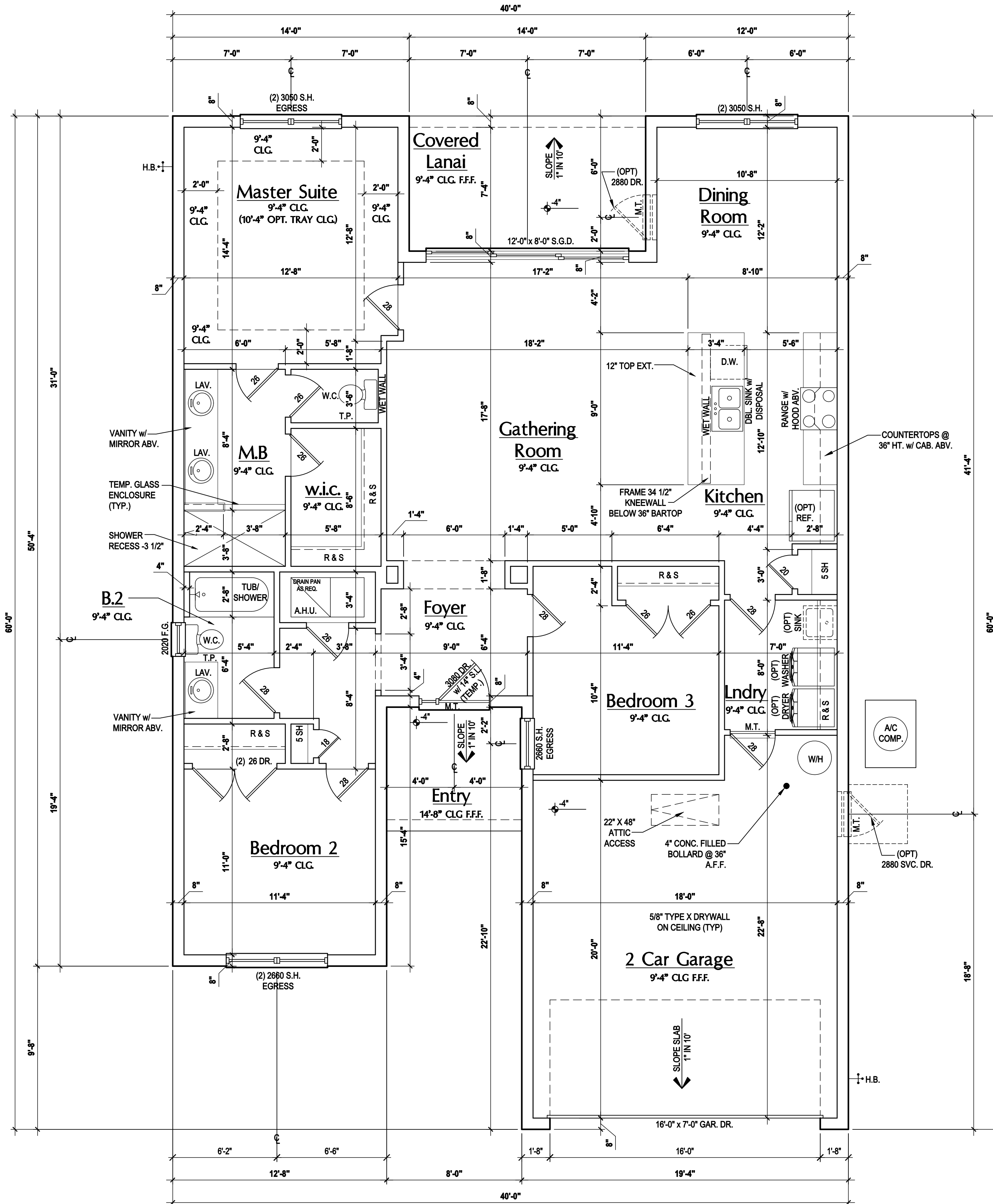
SLAB LAYOUT

**A1**



**Opt. study**

SCALE 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**First Floor Plan "A"**

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

**GENERAL NOTES KEY:**

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

**ABBREVIATIONS:**

- 2- # OF DOORS.
- 2- # OF WINDOWS.
- MT - METAL THRESHOLD
- FR - FRENCH DOORS
- SL - SIDE LIGHT
- FG - FIXED GLASS
- TR - TRANSOM
- GB - GLASS BLOCK
- PKT - POCKET DOOR
- OBS - OBSCURED GLASS
- TEMP - TEMPERED GLASS
- SH - SINGLE HUNG
- DH - DOUBLE HUNG
- HR - HORIZONTAL ROLLER
- BP - BYPASS
- BF - BIFOLD
- TYP. - TYPICAL

NOTE: SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

**NOTES:**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
2. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
3. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
4. A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
5. PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
6. VENT DRYER THRU EXTERIOR WALL U.N.O.
7. PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
8. SAG RESISTANT DRYWALL ON ALL CEILINGS.
9. PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
10. REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
11. REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
12. ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/4" U.N.O.
13. ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/8" U.N.O.
14. ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.N.O.  
 \*\* ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.N.O.
15. C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SW/S = SHEAR WALL SEGMENTS.
16. OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
17. INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.).
18. GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
19. ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
20. ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
21. ALL INT. DOORS TO BE 6'-8" TALL U.N.O. OR PER BUILDER / CLIENT
22. 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
23. ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
24. SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MJS & E.O.R. STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. A/O PROPERLY COMPACTED FILL. (2000 PSF MIN.). FILL MATERIAL SHALL BE COMPACTED TO 98% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

**DOOR NOTE KEY:**

- DOOR SIZE CALLOUT:**
- 20 = 2'-0" 40 B.F. = 4'-0" BIFOLD
  - 24 = 2'-4" 50 B.F. = 5'-0" BIFOLD
  - 26 = 2'-6" 60 B.F. = 6'-0" BIFOLD
  - 28 = 2'-8"
  - 30 = 3'-0"

**WINDOW NOTE KEY:**

- WINDOW SIZE CALLOUT:**
- 2040 = 2'-0" x 4'-0"
  - 2050 = 2'-0" x 5'-0"
  - 2060 = 2'-0" x 6'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

**Area Tabulations**

Living:	1st floor:	1,525 sf
<b>Total Living:</b>		<b>1,525 sf</b>
Entry:		59 sf
Cov. Patio:		107 sf
Garage:		446 sf
<b>Total Area:</b>		<b>2,137 sf</b>



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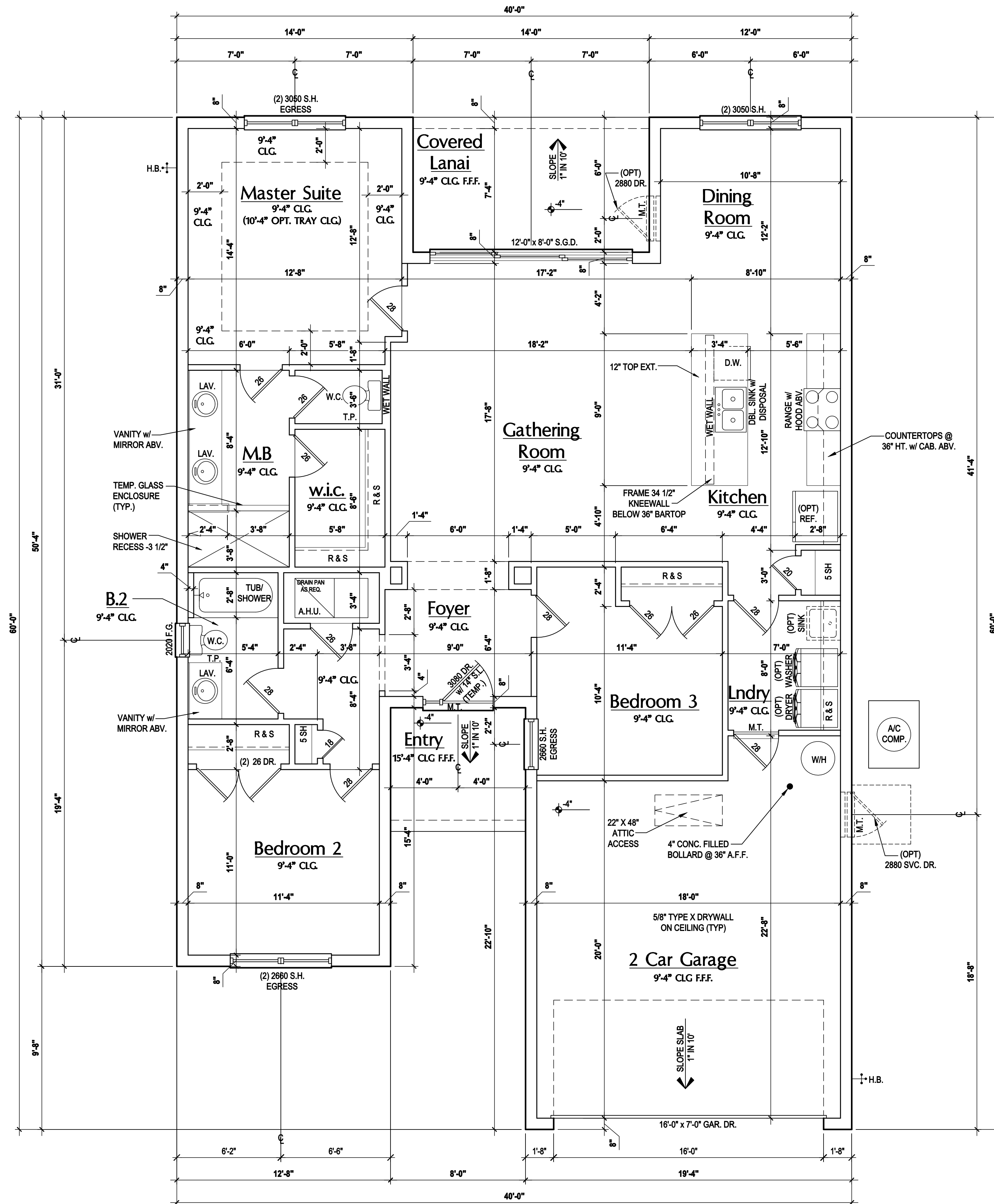
ISSUE DATE 11/28/2019

REVISIONS
PROJECT: 19-0273
SCALE: AS NOTED
DRAWN BY: FM
DESIGNED BY: MJS

FLOOR PLAN A

A2.A

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First Floor Plan "B"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

**GENERAL NOTES KEY:**

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2017) FLORIDA BUILDING CODE (6TH EDITION)

- ABBREVIATIONS:**
- 2- # OF DOORS.
  - 2- # OF WINDOWS.
  - FR - FRENCH DOORS
  - SL - SIDE LIGHT
  - FG - FIXED GLASS
  - TR - TRANSOM
  - GB - GLASS BLOCK
  - PKT - POCKET DOOR
  - OBS - OBSCURED GLASS
  - TEMP - TEMPERED GLASS
  - SH - SINGLE HUNG
  - DH - DOUBLE HUNG
  - HR - HORIZONTAL ROLLER
  - BP - BYPASS
  - BF - BIFOLD
  - TYP - TYPICAL
- NOTE:**  
SPECIALTY WINDOWS/DOORS, FIXED GLASS WINDOWS, AND TRANSOMS ARE NOTED ON PLANS.

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE M307.2 & M1309.3.
  - PROVIDE RECESS H&C WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILING.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 9'-4" U.O.  
•• ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.O.
  - C.M.U. & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS = SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.5.1.
  - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.)
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 7" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVER PER (FBC-R312.2).
  - ALL INT. DOORS TO BE 6'-8" TALL U.O. OR PER BUILDER / CLIENT
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF DECKING
  - ALL WINDOW AND DOOR ROUGH OPENINGS VARY PER MANUFACTURER'S SPECIFICATIONS, AND ARE NOT REFLECTED ON THE PLANS. DIMENSIONS PROVIDED ON PLANS ARE USED FOR AN APPROXIMATE LOCATION OF WINDOWS & DOORS, AND DO NOT REFLECT THE ROUGH OPENINGS REQUIRED FOR PROPER INSTALLATION. BUILDER WILL BE REQUIRED TO CROSS-REFERENCE ROUGH OPENINGS AND PLAN DIMENSIONS.
  - SOIL TESTING IS RECOMMENDED, BUT IS NOT REQUIRED. THE DESIGN TEAM AT MAS & E.O.R STRONGLY RECOMMEND A SOIL TEST TO CONFIRM SOIL BEARING CAPACITY AND SURFACE GEO-TECHNICAL CONDITIONS. FOOTINGS SHALL BEAR ON UNDISTURBED SOIL A/O PROPERLY COMPACTED FILL. (2000 PSF MIN.) FILL MATERIAL SHALL BE COMPACTED TO 95% DENSITY OF A STANDARD PROCTOR. TO BE VERIFIED BY GENERAL CONTRACTOR / OWNER.

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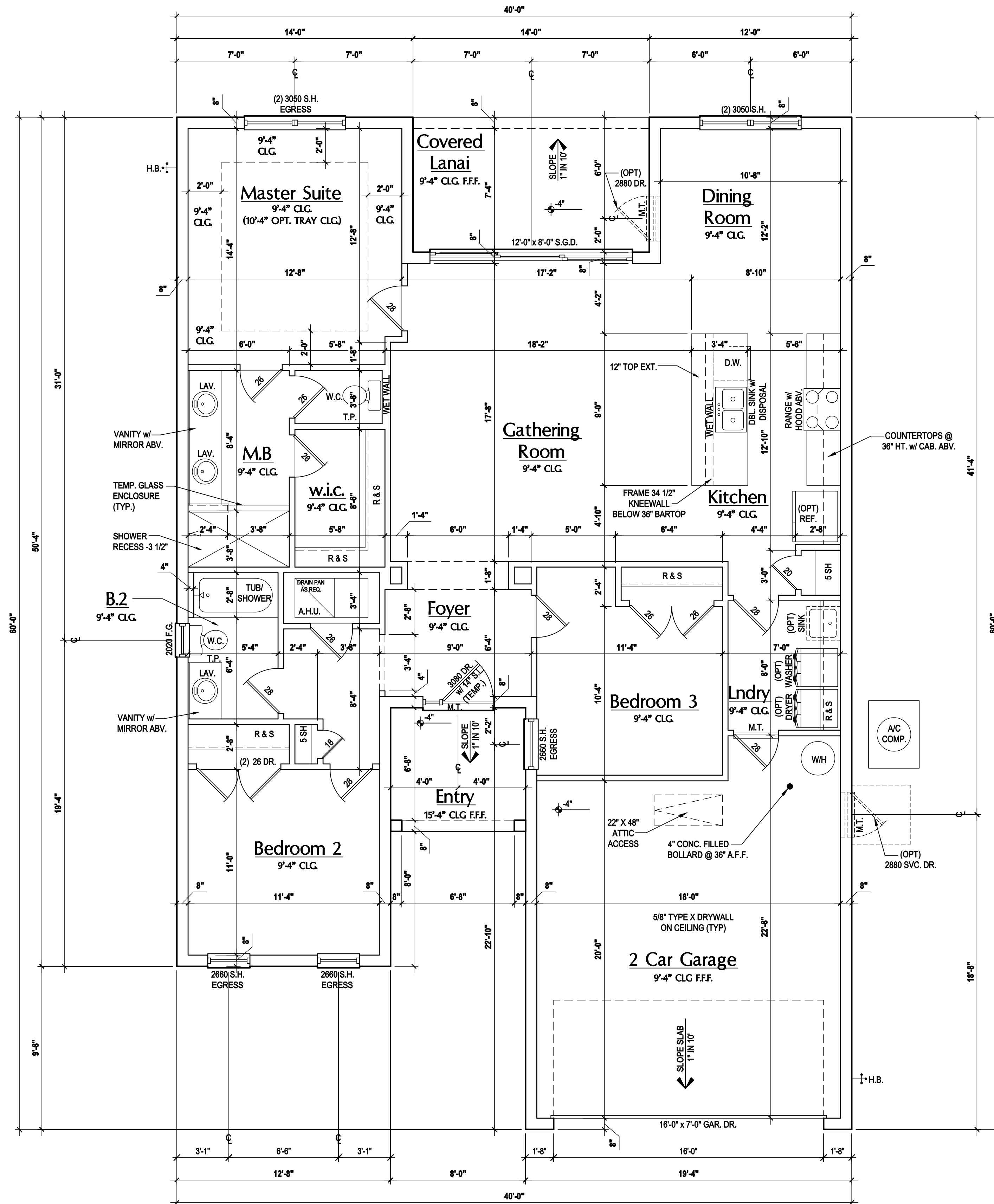
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DRAWN BY: FM  
DESIGNED BY: MJS

FLOOR PLAN B  
**A2.B**

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DESIGNERS - PLANNERS  
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First Floor Plan "C"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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FLOOR PLAN C

**A2.C**

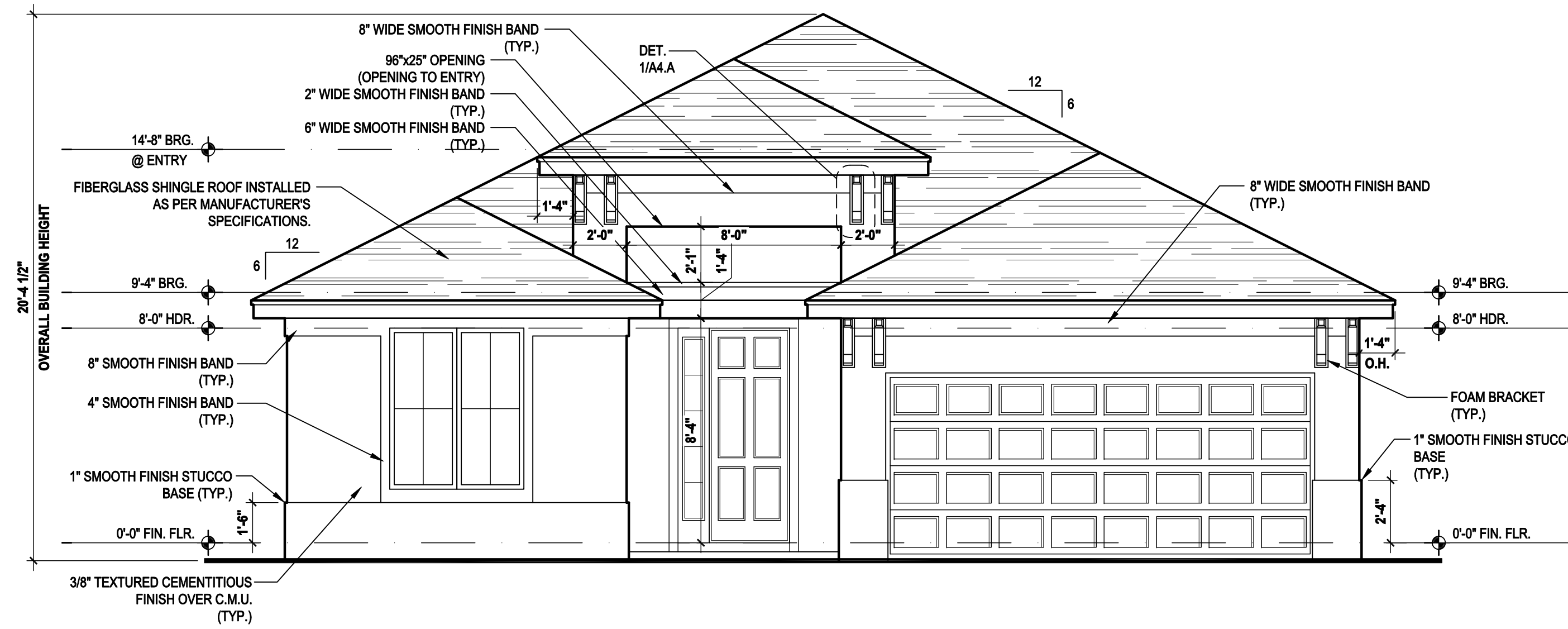
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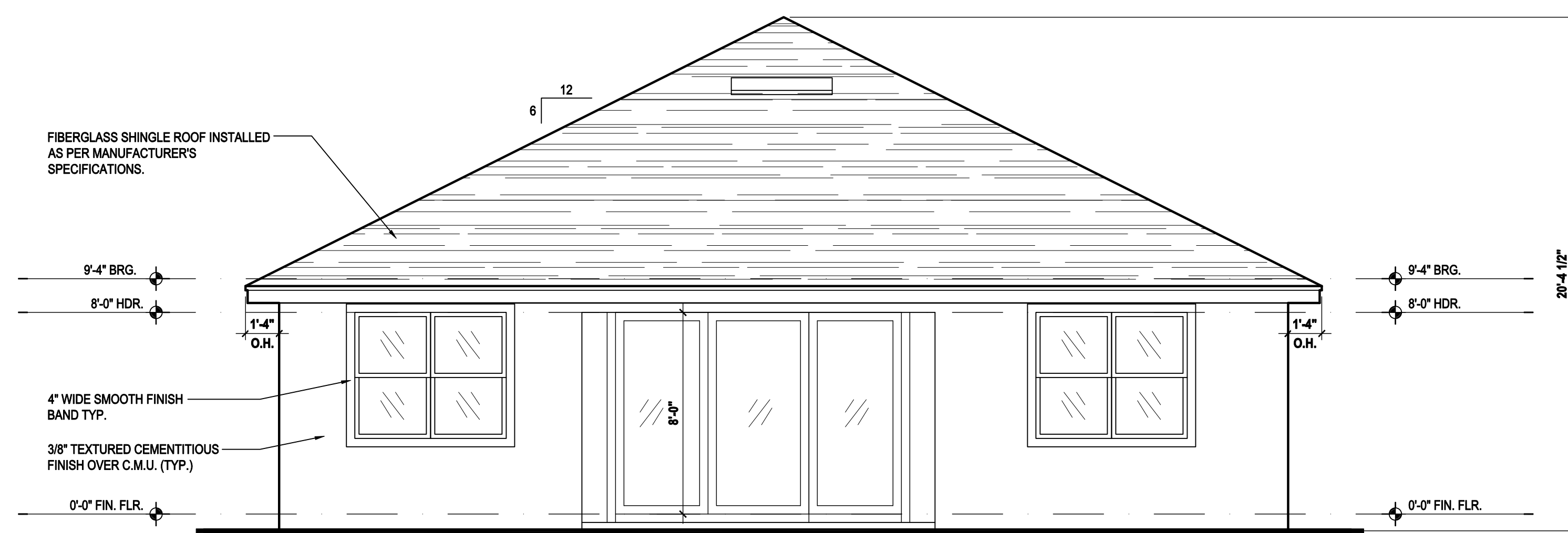
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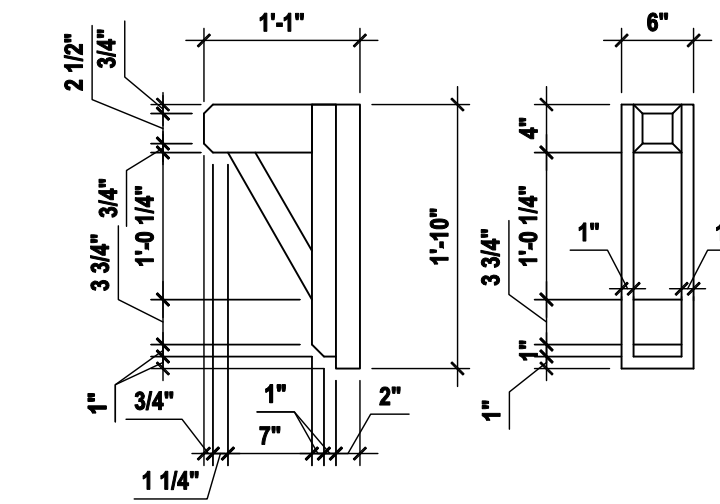
**Front Elevation "A"**  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



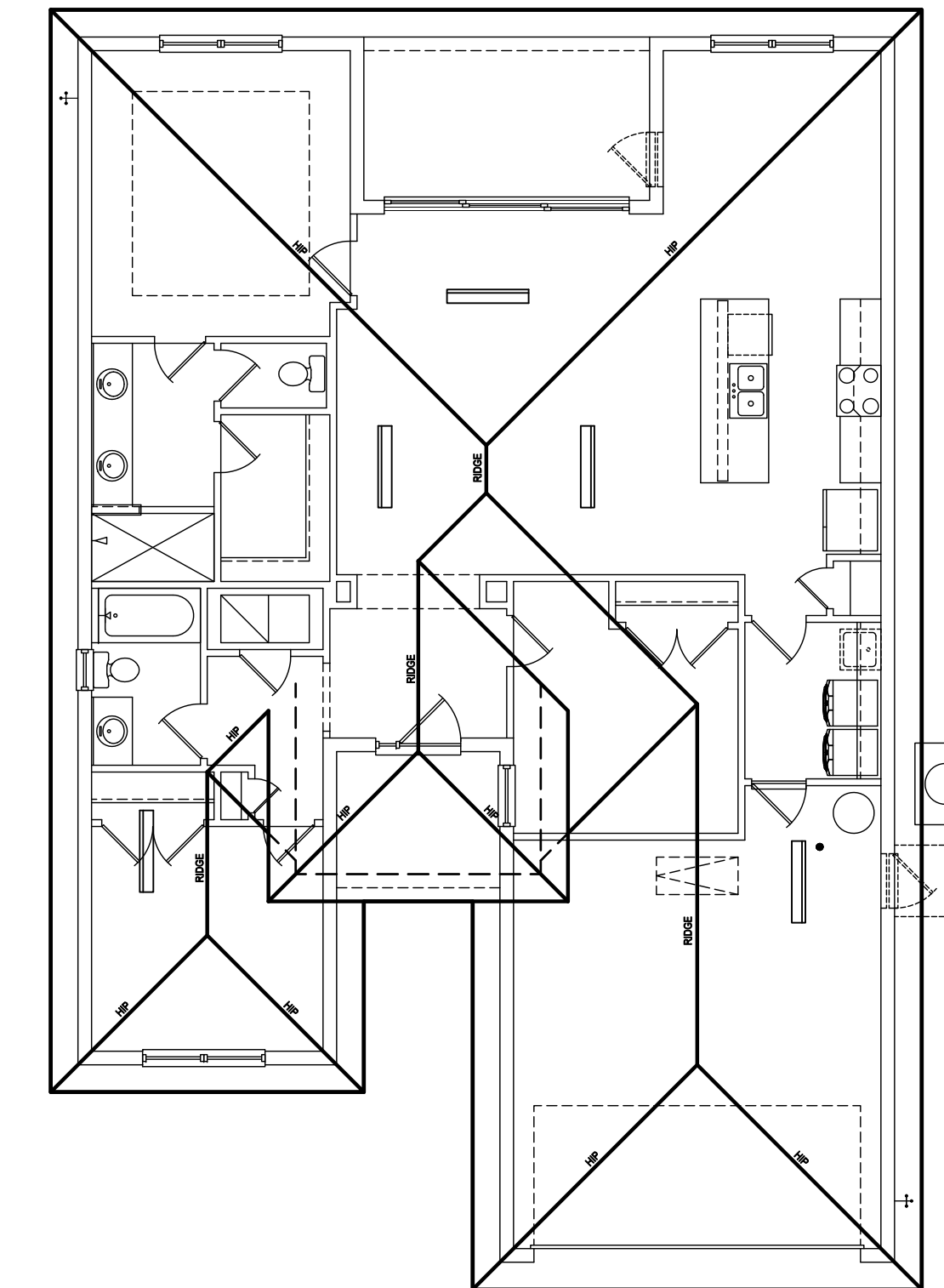
**Rear Elevation "A"**  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Detail 1**

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



**Roof Layout**

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

**ATTIC VENT CALC'S:**

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R606  
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN  
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE  
IN LOWER PORTION (EAVES).  
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED  
SPACE.

TOTAL VENTED SPACE: 2,424 = 8.08 SF. NET FREE  
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3,232 SF.  
TO BE PROVIDED W/ OFF RIDGE VENTS:  
5 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 4,848 SF.  
TO BE PROVIDED W/ SOFFITS @ EAVE:  
80.00 L.F. @ 0.060 SF. VENTING/LF.

UPPER ROOF PERCENTAGE: 40%  
LOWER ROOF PERCENTAGE: 60%



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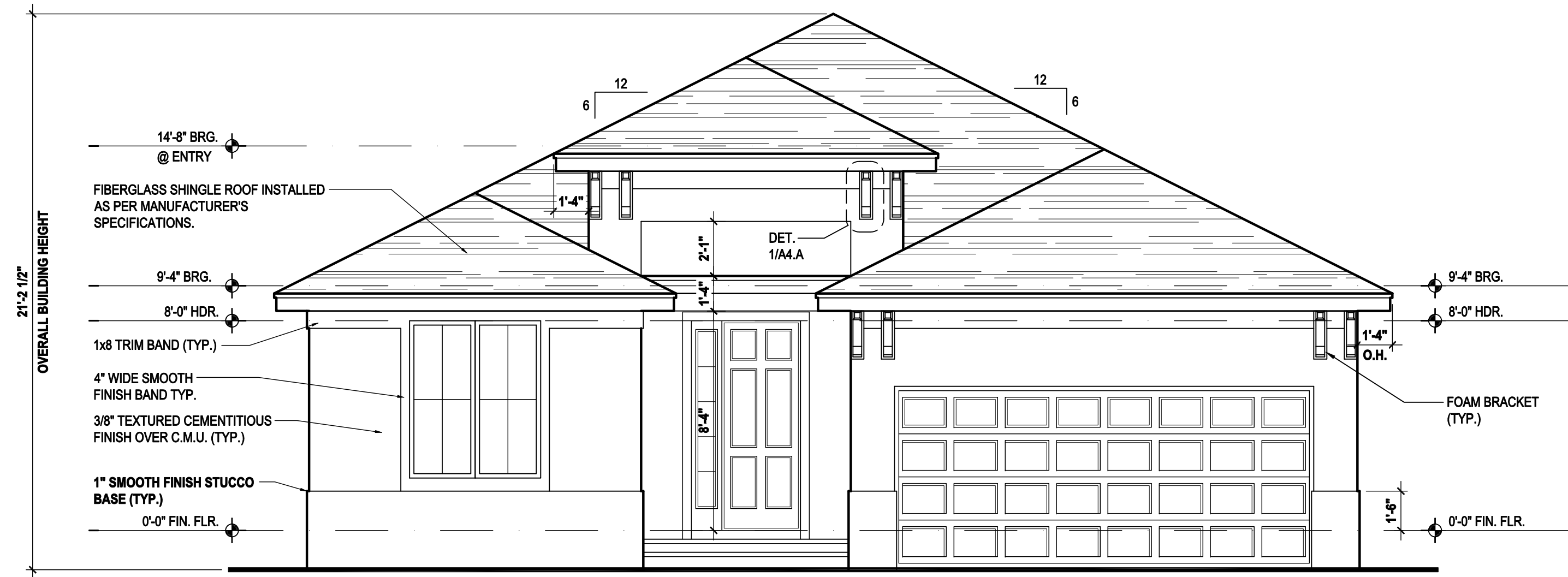
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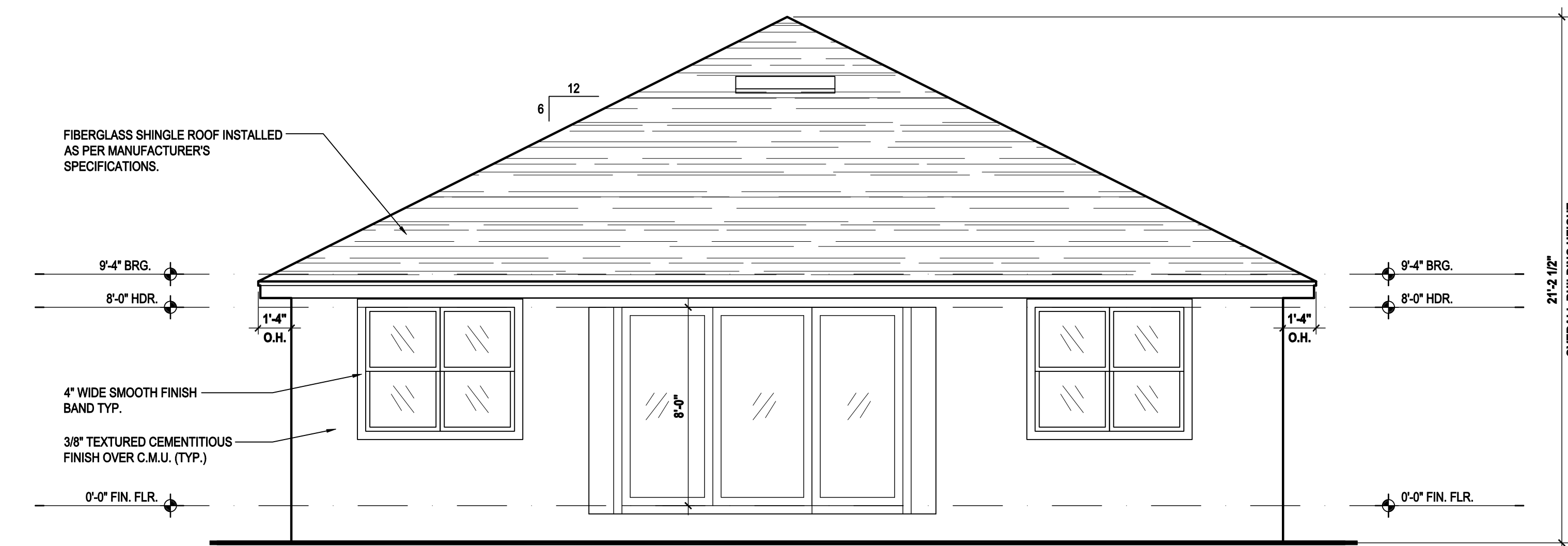
ISSUE DATE	11/28/2019
REVISIONS	
PROJECT:	19-0273
SCALE:	AS NOTED
DRAWN BY:	FM
DESIGNED BY:	MJS

ELEVATIONS "A"  
**A3.A-**



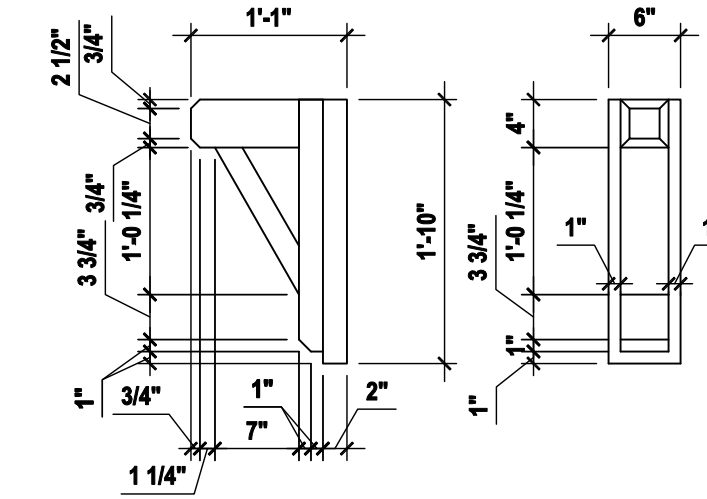
**Front Elevation "A"**  
(Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



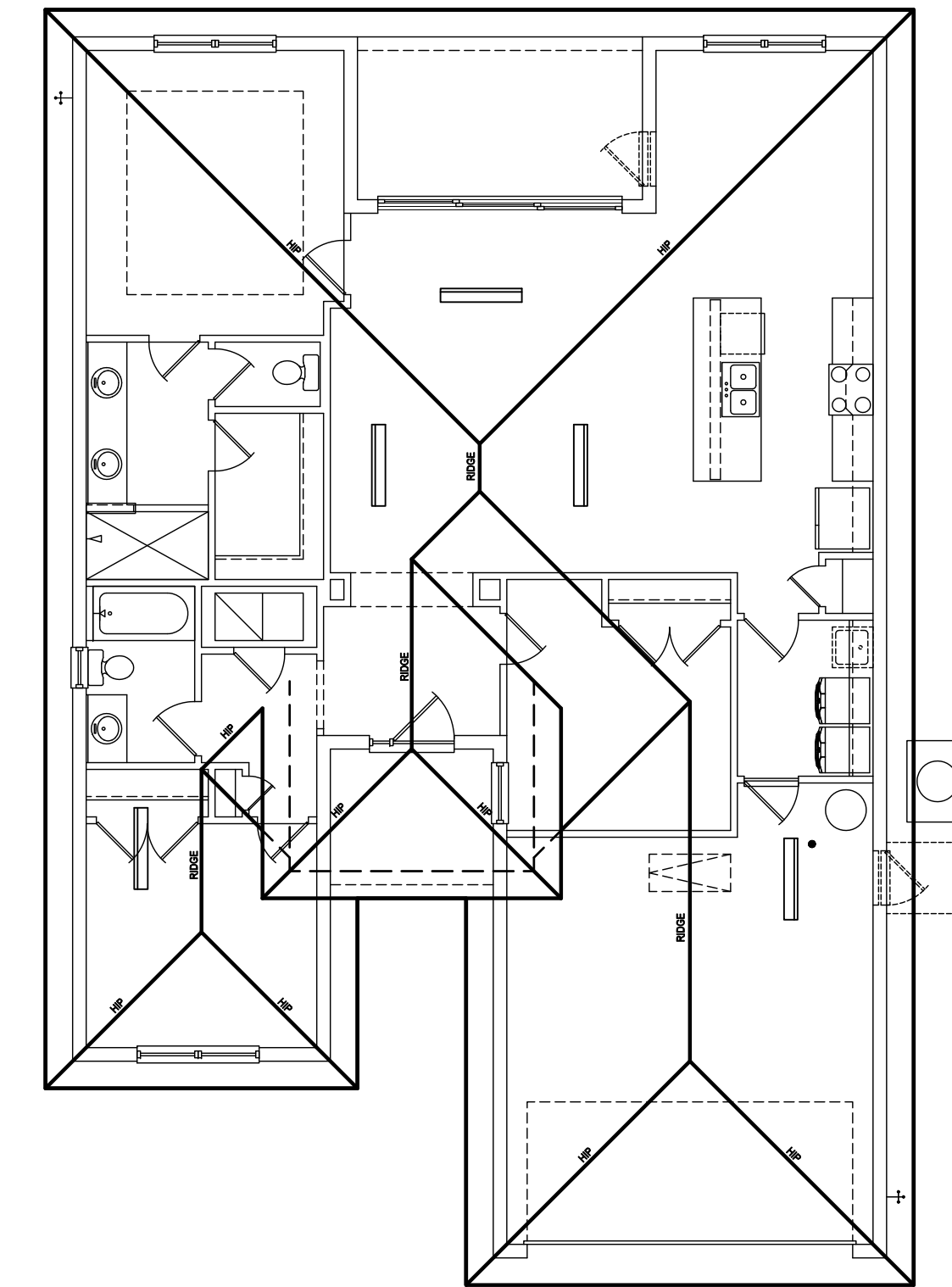
**Rear Elevation "A"**  
(Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Detail 1**

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



**Roof Layout**

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

**ATTIC VENT CALC'S:**

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R806  
MIN. 40% - MAX 50% OF REQUIRED VENTILATION TO BE IN  
UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE  
IN LOWER PORTION (EAVES).  
(OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED  
SPACE.

TOTAL VENTED SPACE: 2,424 = 8.08 SF. NET FREE  
300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3,232 SF.  
TO BE PROVIDED w/ OFF RIDGE VENTS:  
5 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

LOWER PORTION VENTILATION TOTAL: 4,848 SF.  
TO BE PROVIDED w/ SOFFITS @ EAVE:  
80.00 L.F. @ 0.060 SF. VENTING/L.F.

UPPER ROOF PERCENTAGE: 40%  
LOWER ROOF PERCENTAGE: 60%



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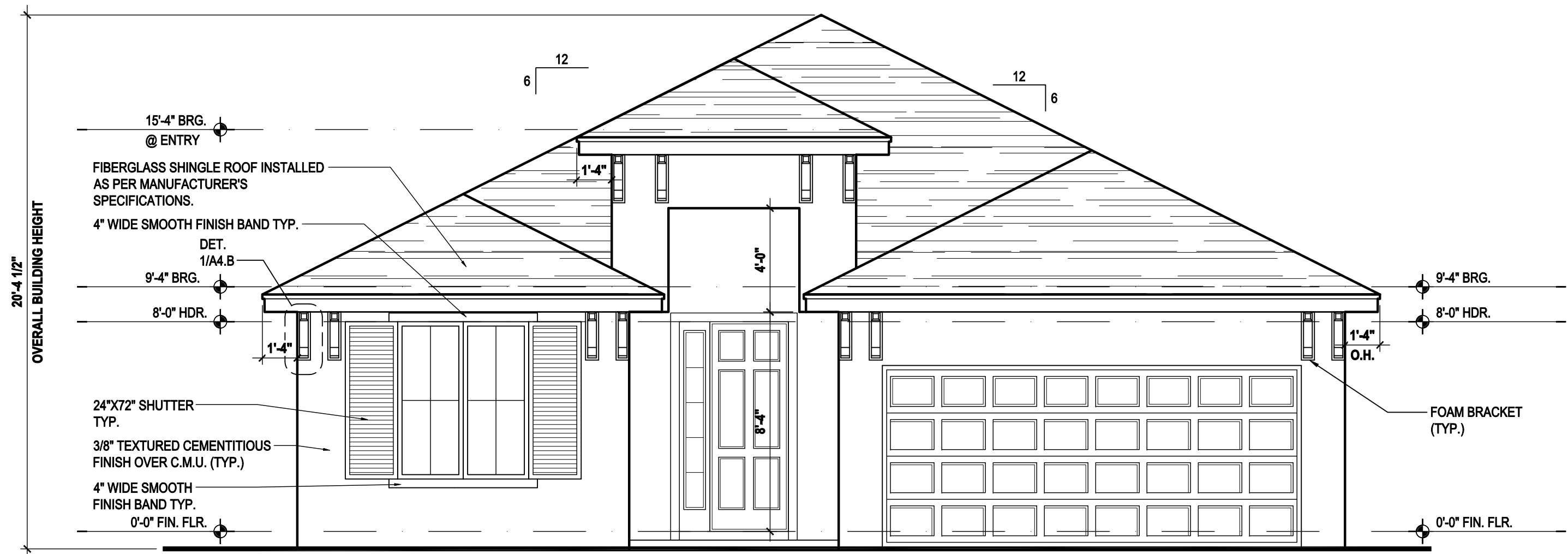
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DRAWN BY:	FM
DESIGNED BY:	MJS

ELEVATIONS "A"  
**A3.A-**

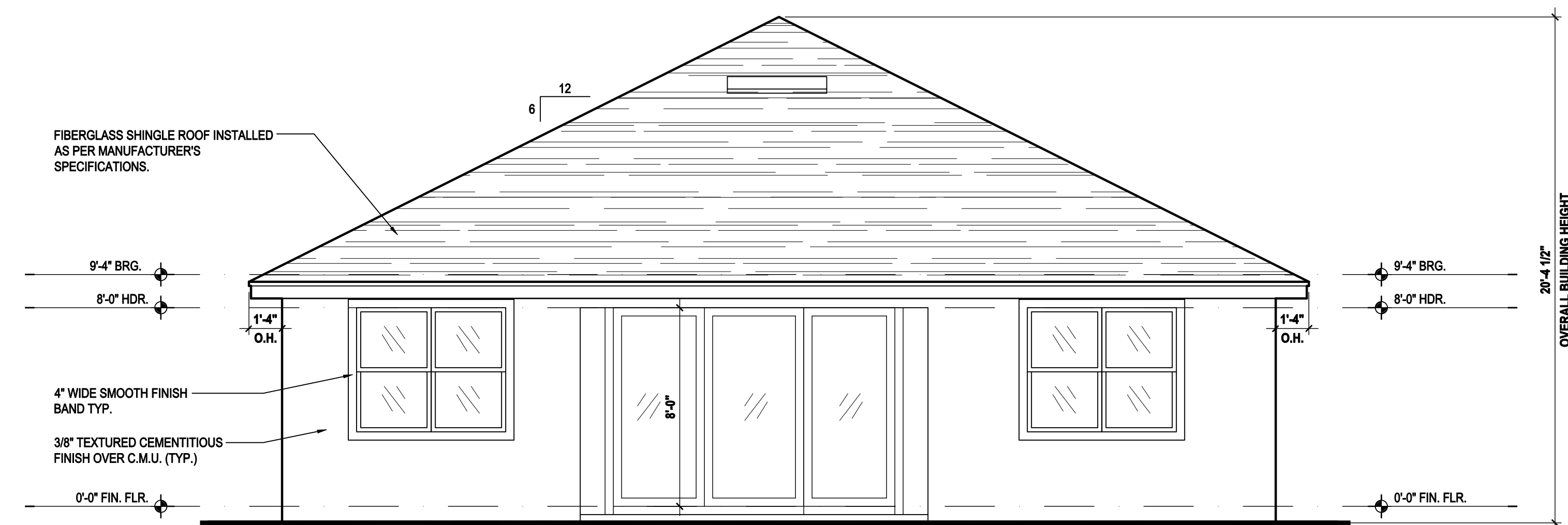
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### Front Elevation "B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



### Rear Elevation "B"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

### ATTIC VENT CALC'S:

2017 FLORIDA BUILDING CODE (6TH EDITION) SECTION R806  
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 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED  
 SPACE.

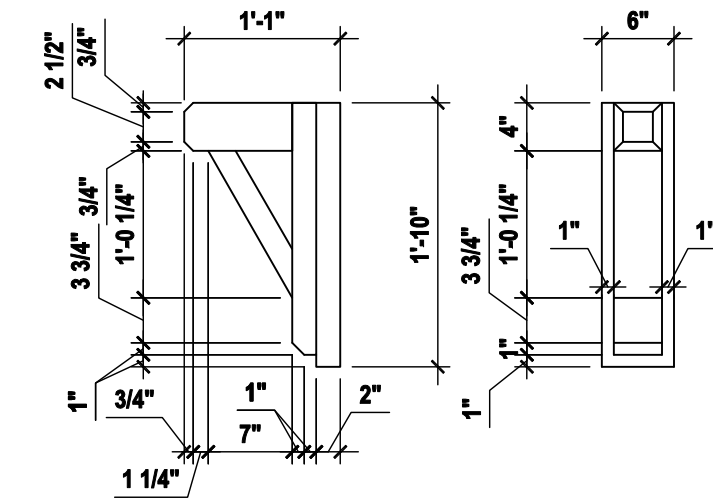
TOTAL VENTED SPACE: 2,424 = 8.08 SF. NET FREE  
 300 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3,232 SF.  
 TO BE PROVIDED W/ OFF RIDGE VENTS:  
 5 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

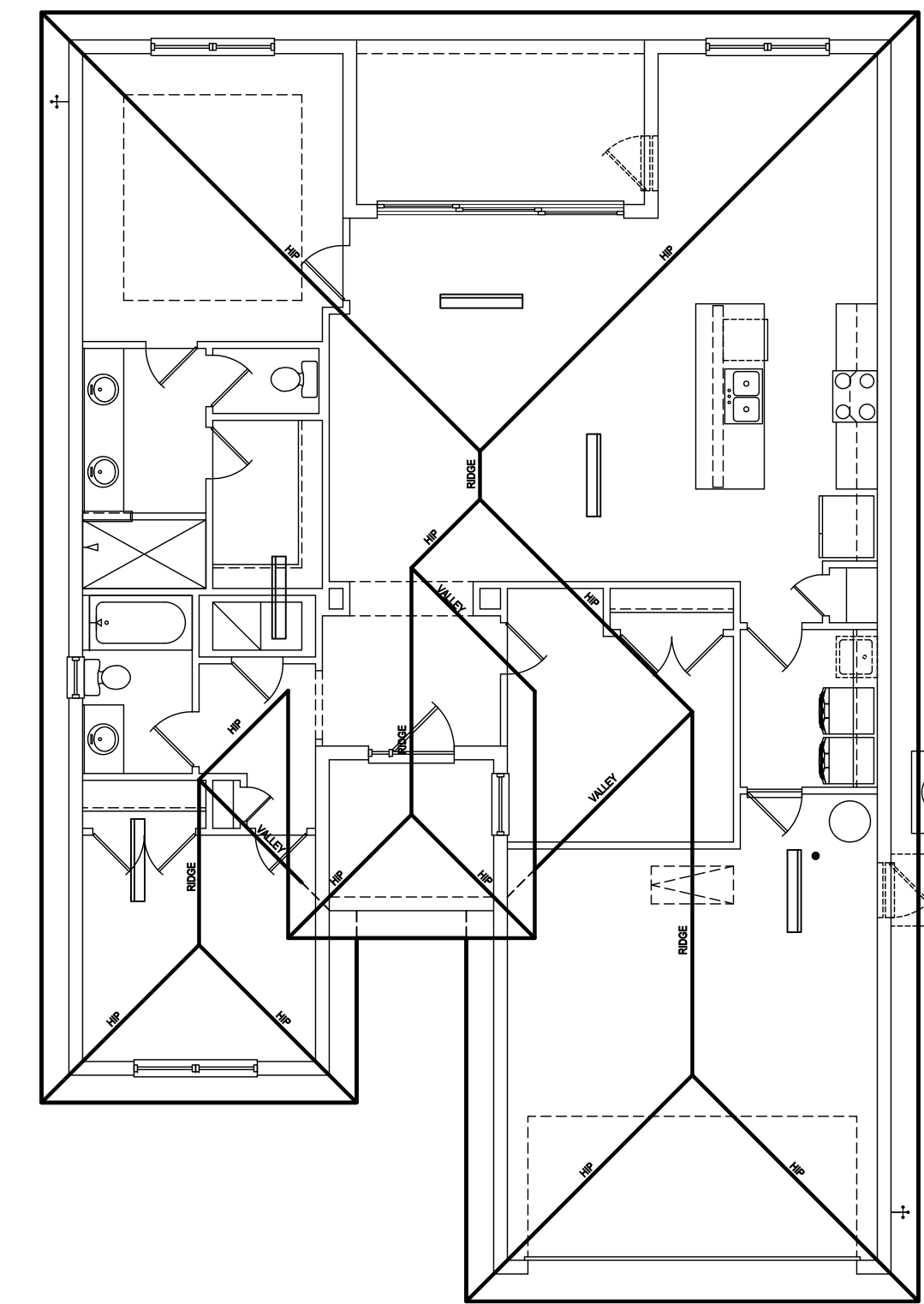
LOWER PORTION VENTILATION TOTAL: 4,848 SF.  
 TO BE PROVIDED W/ SOFFITS @ EAVE:  
 80.00 L.F. @ 0.060 SF. VENTING/L.F.

UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



### Detail 1

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



### Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)



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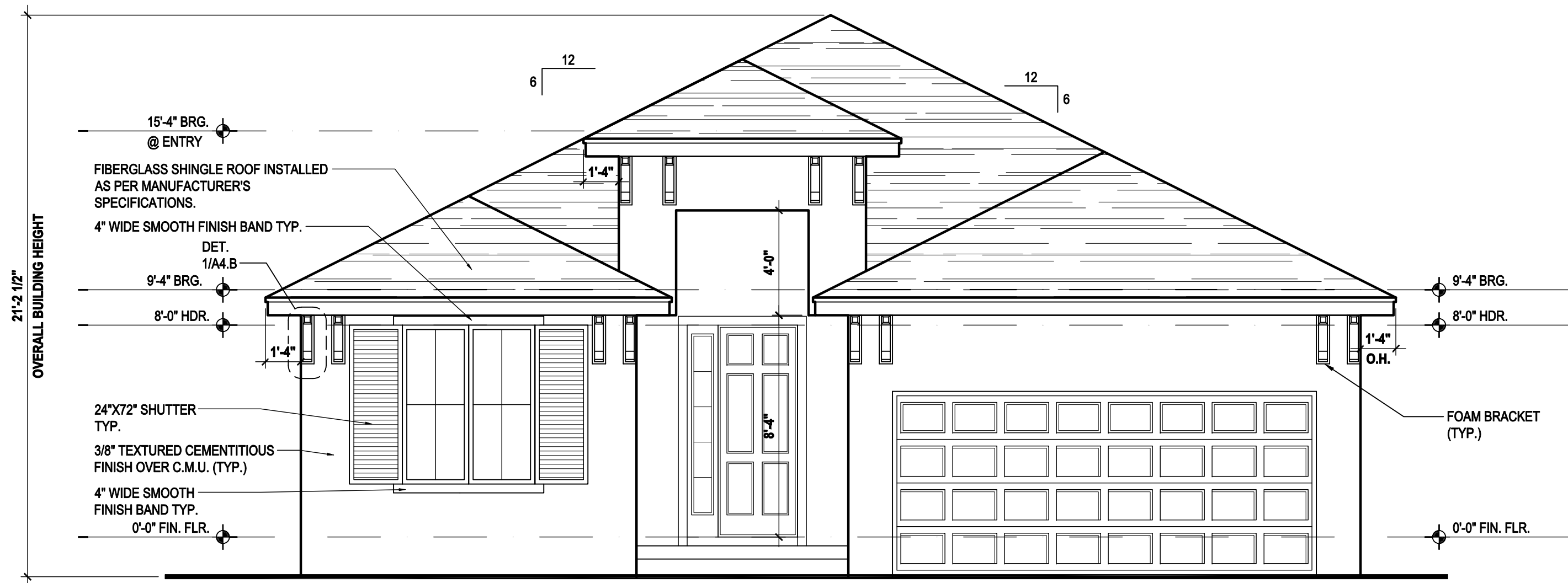
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PROJECT:	19-0273
SCALE:	AS NOTED
DRAWN BY:	FM
DESIGNED BY:	MJS

ELEVATIONS "B"  
**A3.B-**

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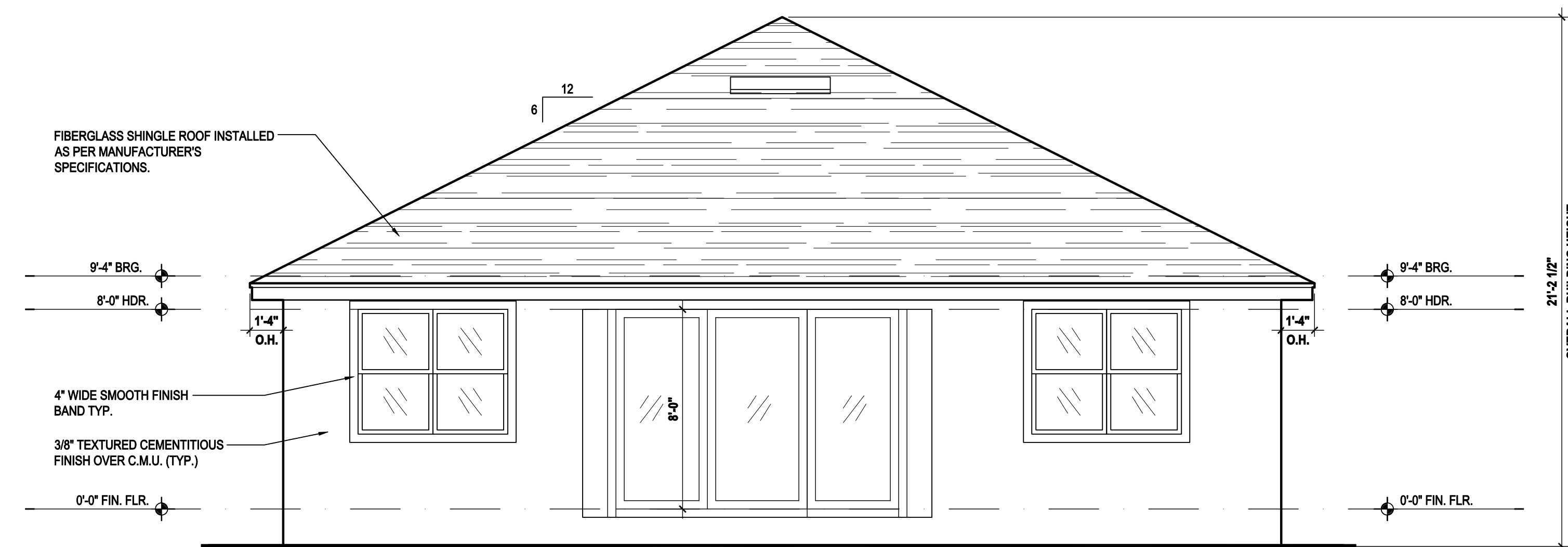




### Front Elevation "B"

(Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



### Rear Elevation "B"

(Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

### ATTIC VENT CALC'S:

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 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)

MINIMUM NET VENTILATION AREA SHALL BE 1/30 OF VENTED SPACE.

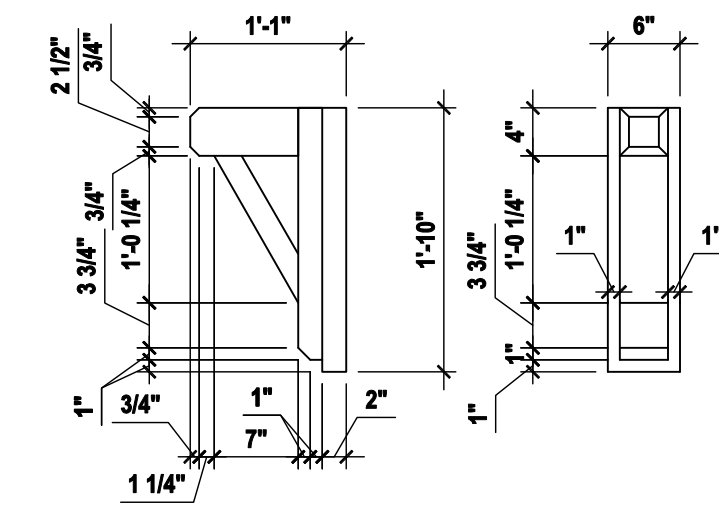
TOTAL VENTED SPACE: 2,424 = 8.08 SF. NET FREE REQUIRED

UPPER PORTION VENTILATION TOTAL: 3,232 SF.  
 TO BE PROVIDED W/ OFF RIDGE VENTS:  
 5 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

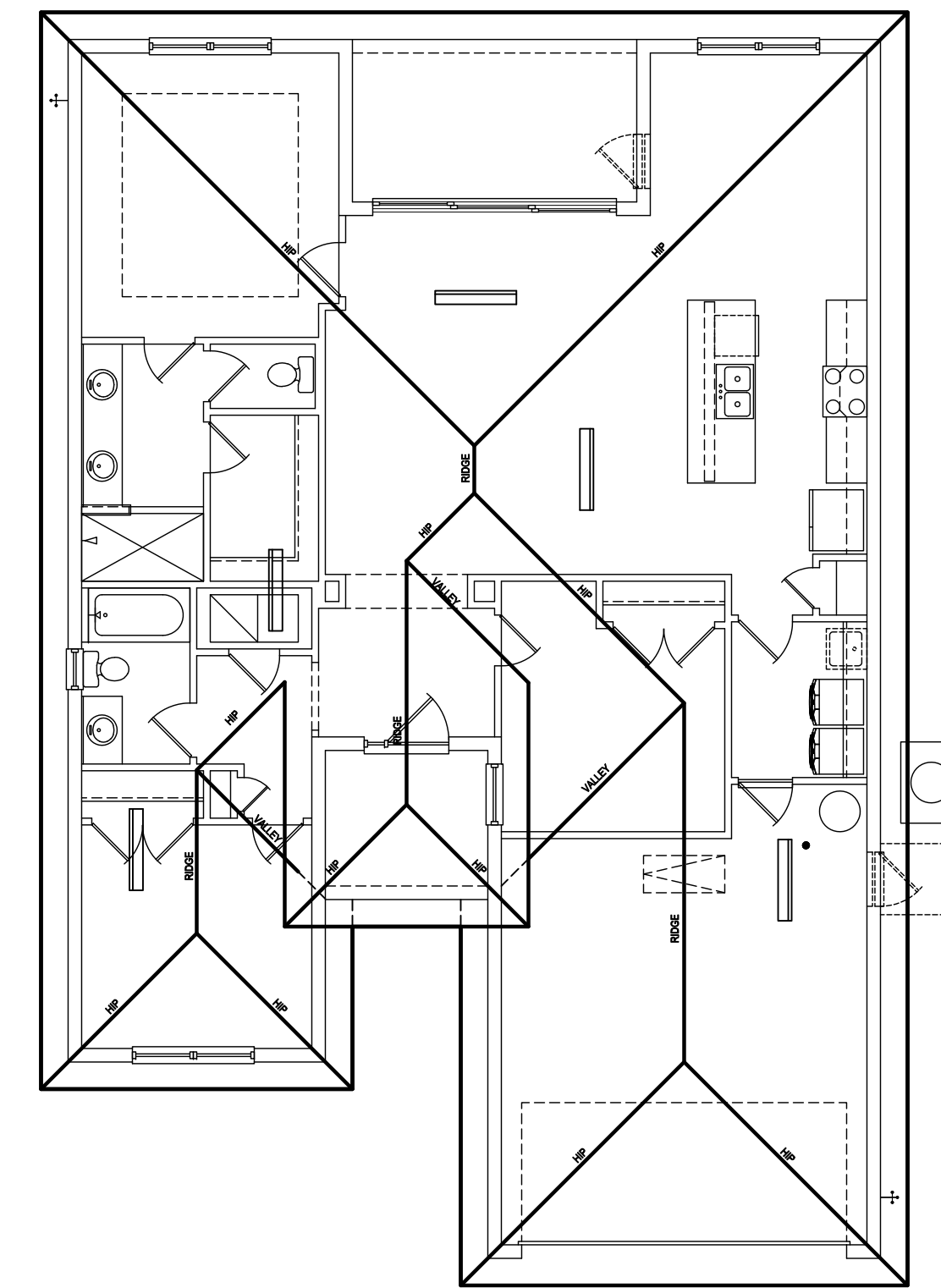
LOWER PORTION VENTILATION TOTAL: 4,848 SF.  
 TO BE PROVIDED W/ SOFFITS @ EAVE:  
 80.00 L.F. @ 0.060 SF. VENTING/L.F.

UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



### Detail 1

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



### Roof Layout

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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DRAWN BY:	FM
DESIGNED BY:	MJS

ELEVATIONS "B"  
**A3.B-**

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 SPACE.

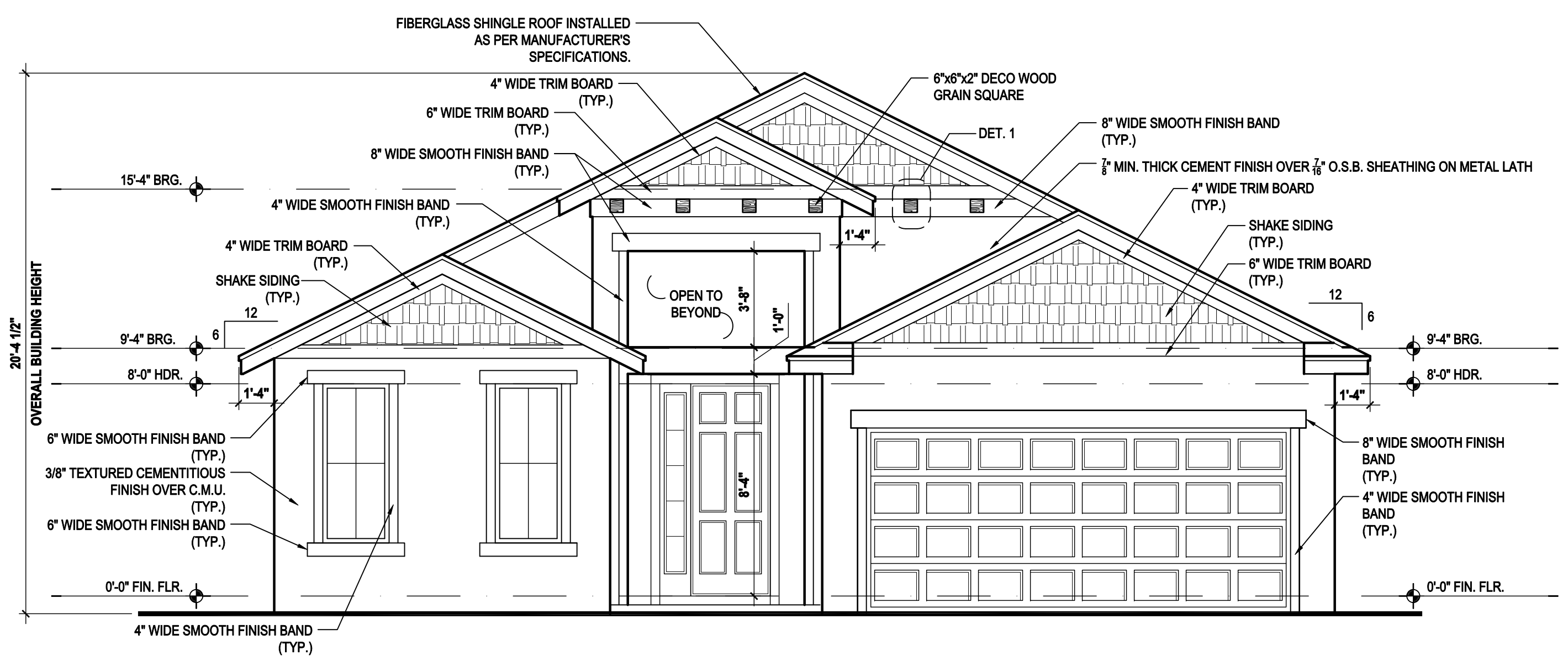
TOTAL VENTED SPACE:  $\frac{2,424}{300} = 8.08$  SF. NET FREE  
 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.232 SF.  
 TO BE PROVIDED w/ OFF RIDGE VENTS:  
 5 VENTS @ .745 /PER VENT

TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

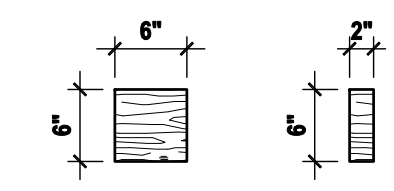
LOWER PORTION VENTILATION TOTAL: 4.848 SF.  
 TO BE PROVIDED w/ SOFFITS @ EAVE:  
 80.00 L.F. @ 0.060 SF. VENTING/L.F.

UPPER ROOF PERCENTAGE: 40%  
 LOWER ROOF PERCENTAGE: 60%



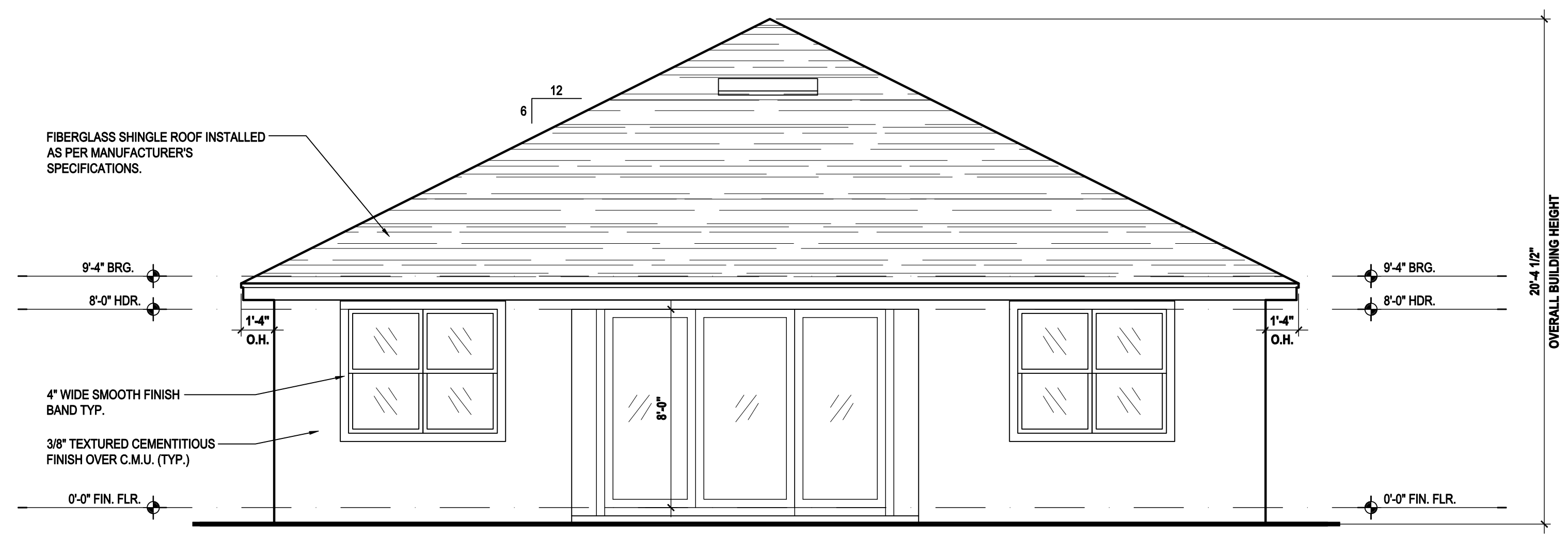
**Front Elevation "C"**  
 (Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



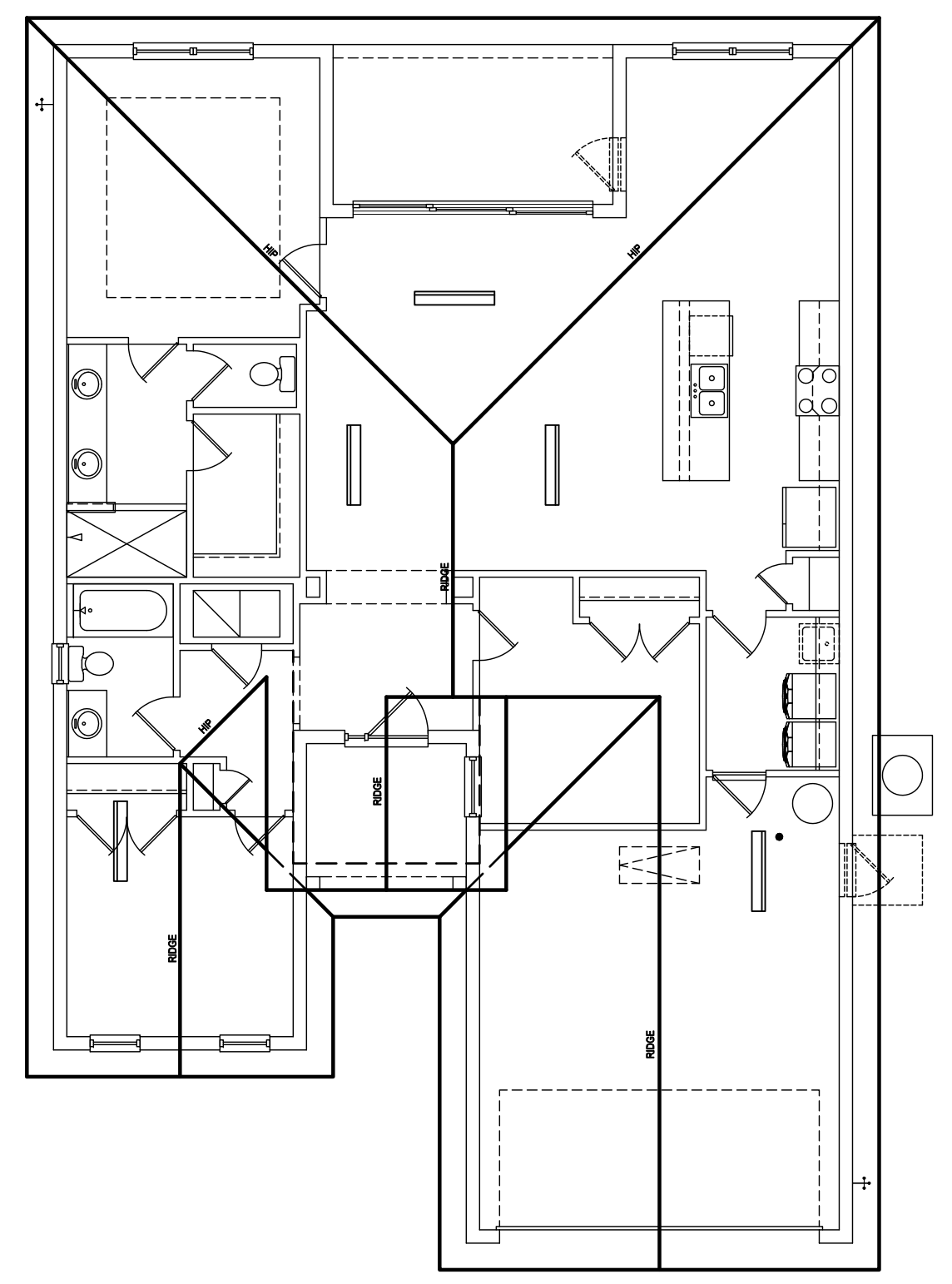
**Detail 1**

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



**Rear Elevation "C"**  
 (Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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 SPACE.

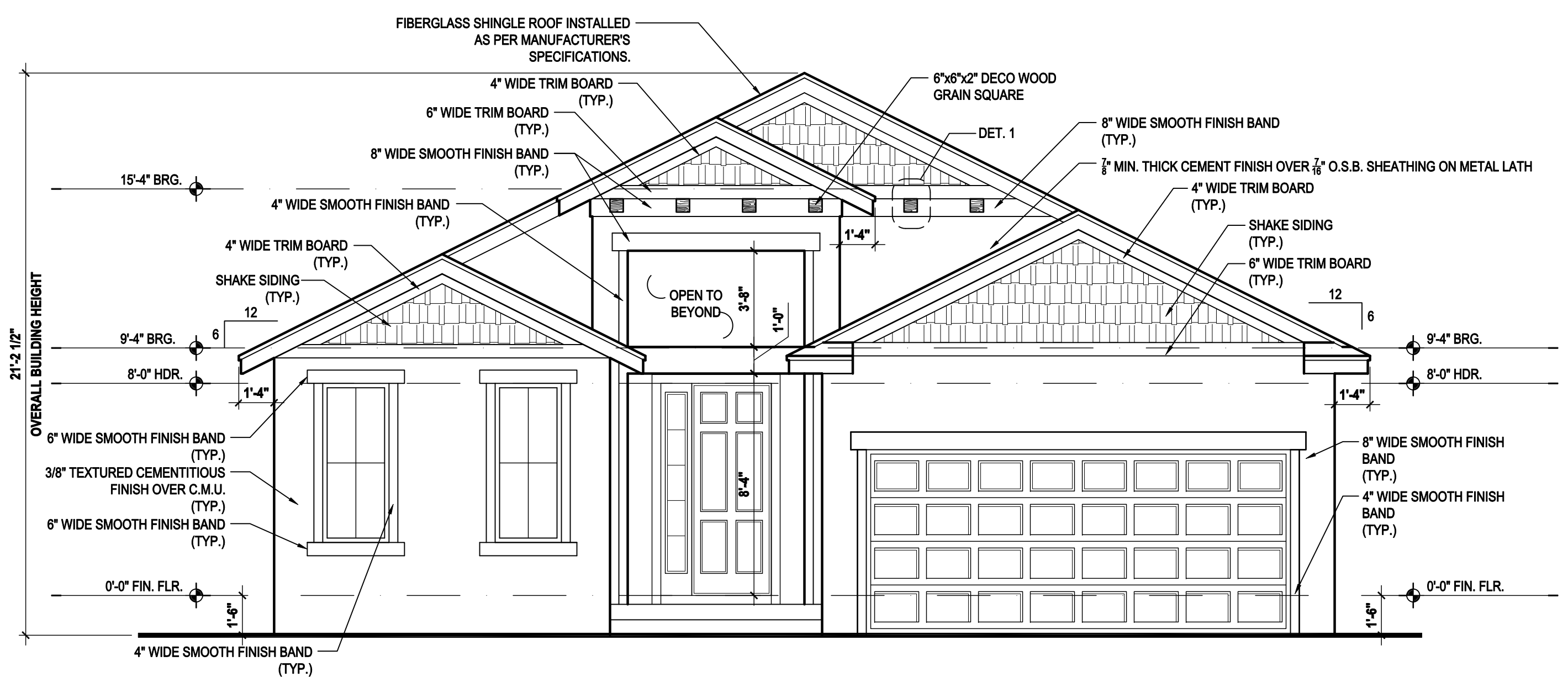
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 REQUIRED

UPPER PORTION VENTILATION TOTAL: 3.232 SF.  
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TILE: O'HAGIN MODEL "S", SHINGLE: LOMANCO 770-D).

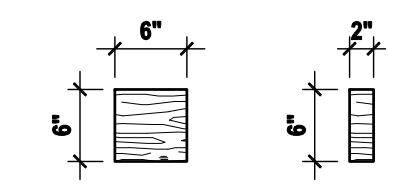
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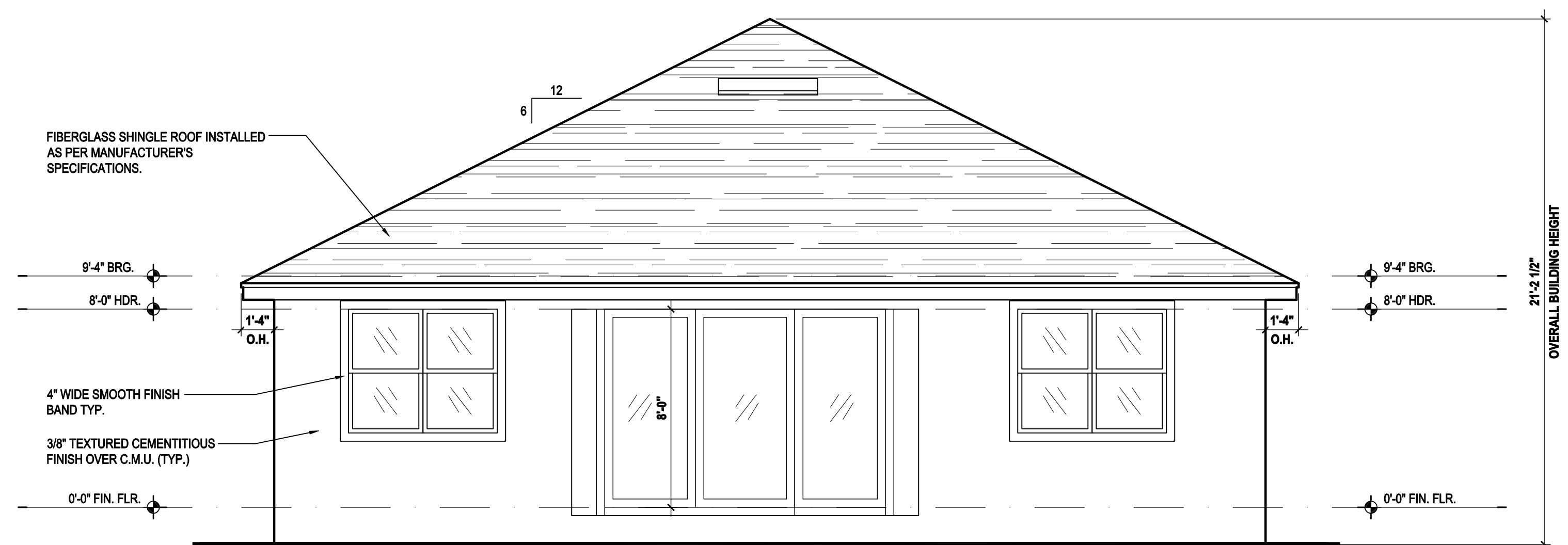
**Front Elevation "C"**  
 (Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



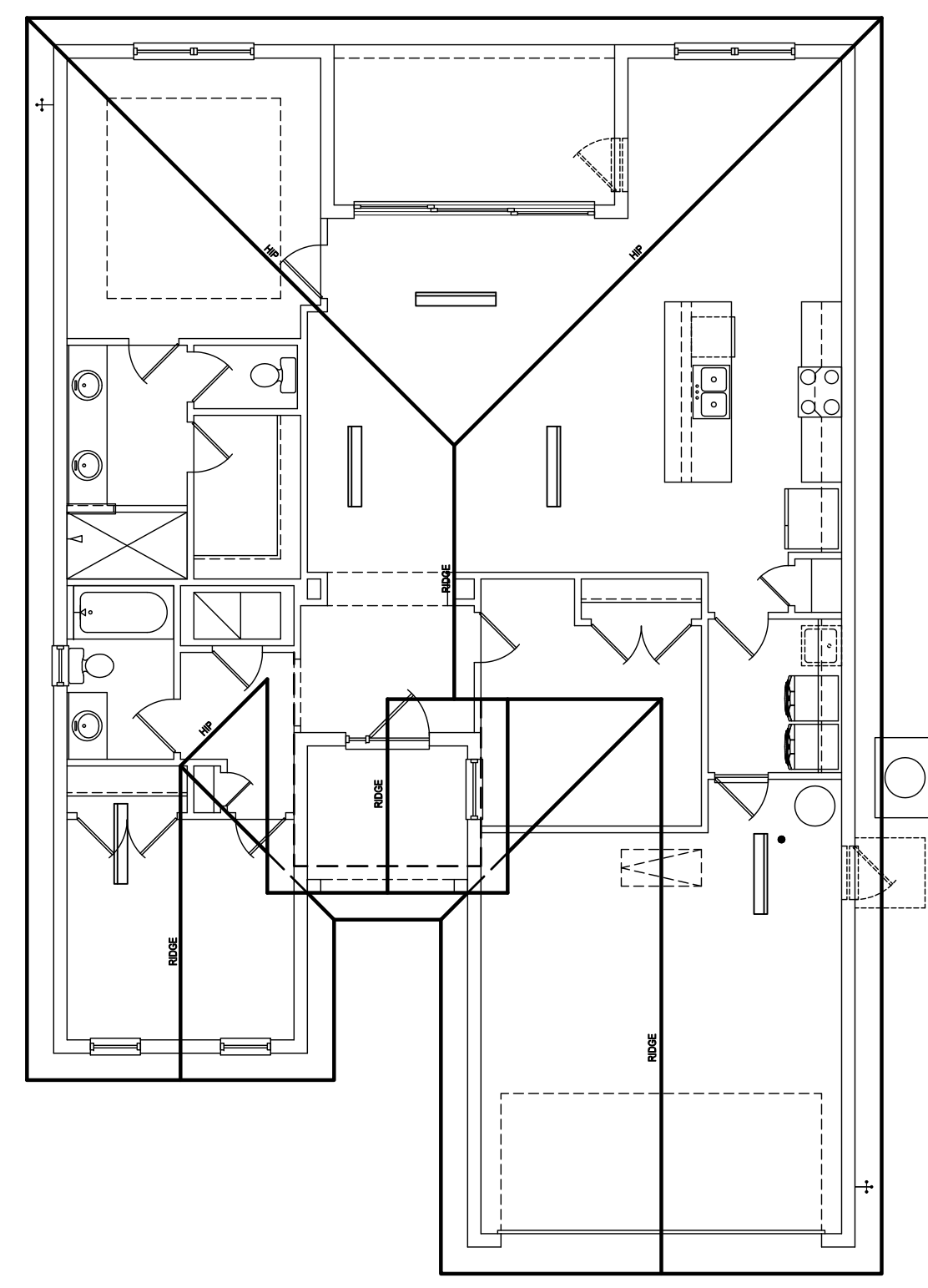
**Detail 1**

SCALE: 3/4" = 1'-0" (11x17) 1 1/2" = 1'-0" (22x34)



**Rear Elevation "C"**  
 (Stemwall)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Roof Layout**

SCALE: 1/16" = 1'-0" (11x17) 1/8" = 1'-0" (22x34)

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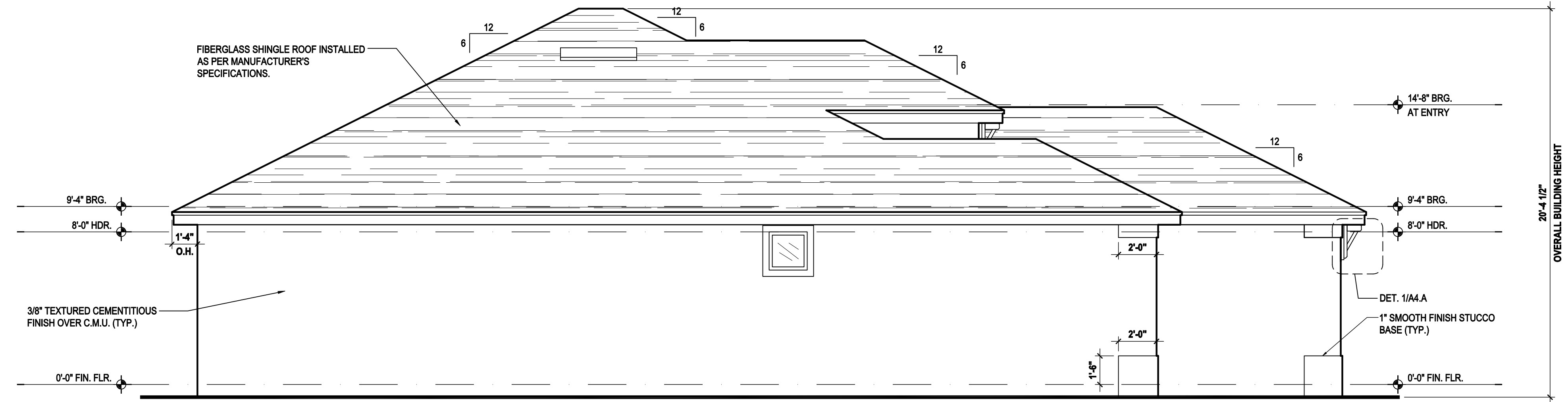
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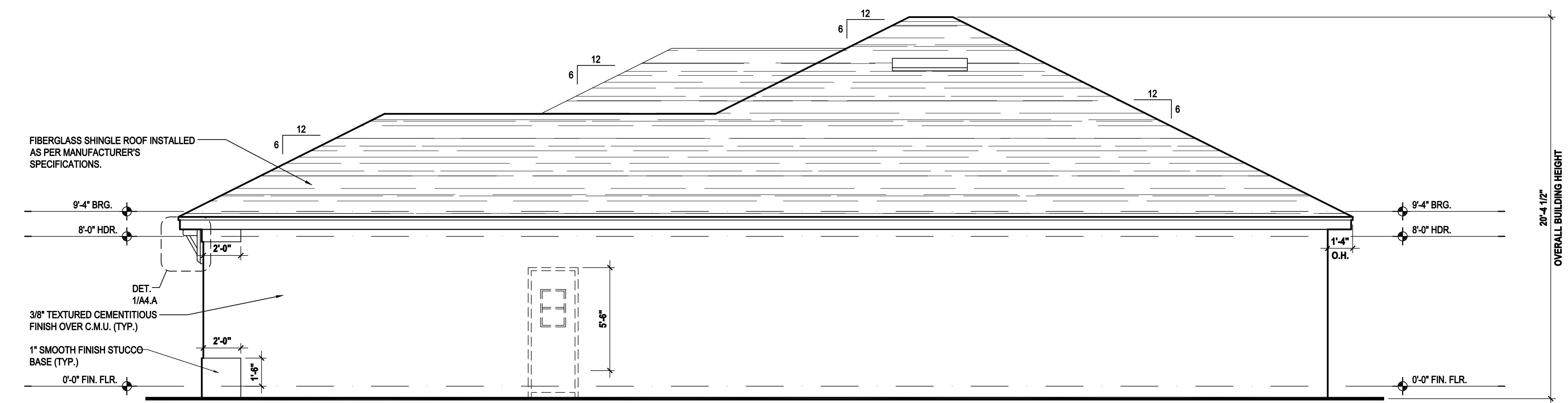
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Left Elevation "A"  
(Standard)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



Right Elevation "A"  
(Standard)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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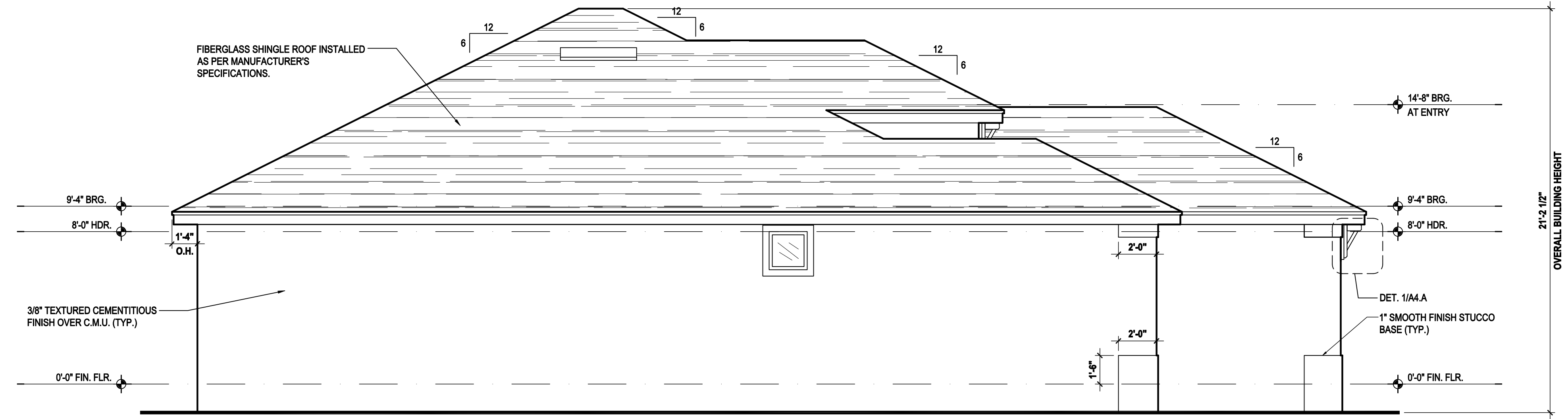
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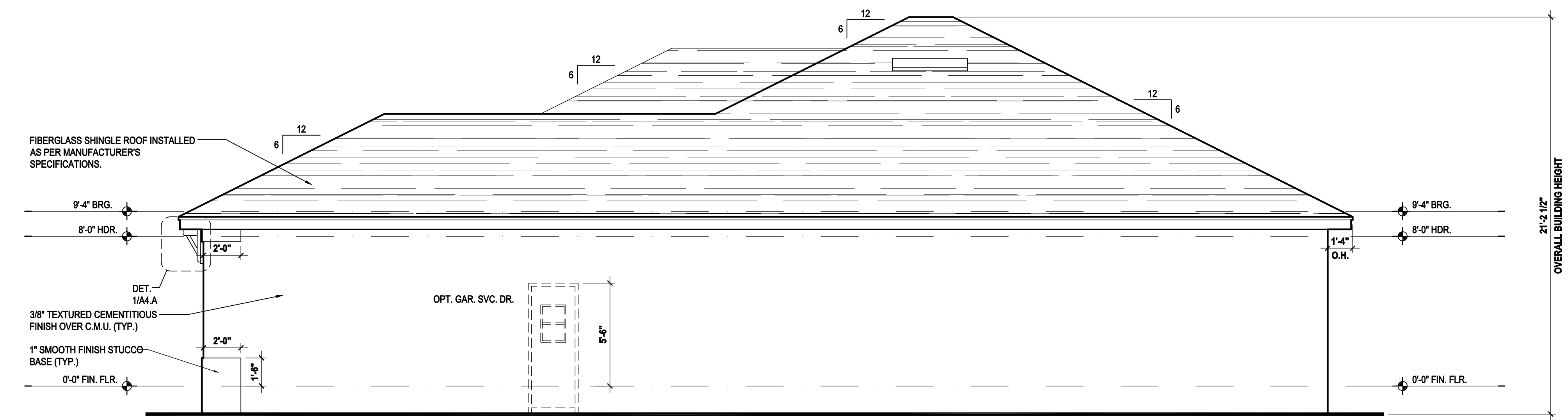
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ELEVATIONS "A"  
**A4.A-**

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**Left Elevation "A"**  
 (Stemwall)  
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)



**Right Elevation "A"**  
 (Stemwall)  
 SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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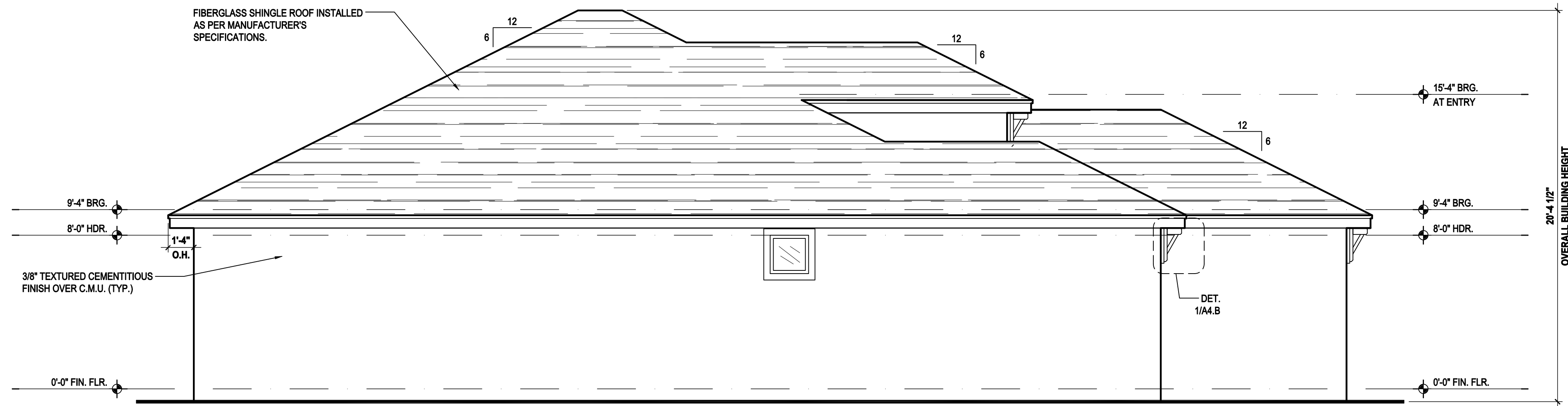
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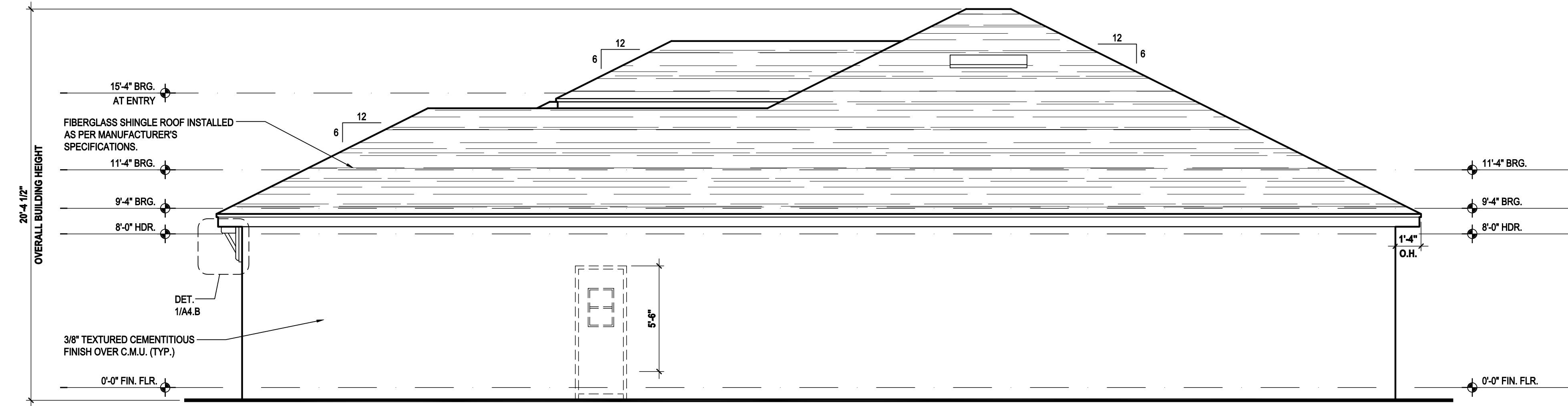
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Left Elevation "B"  
(Standard)

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Right Elevation "B"  
(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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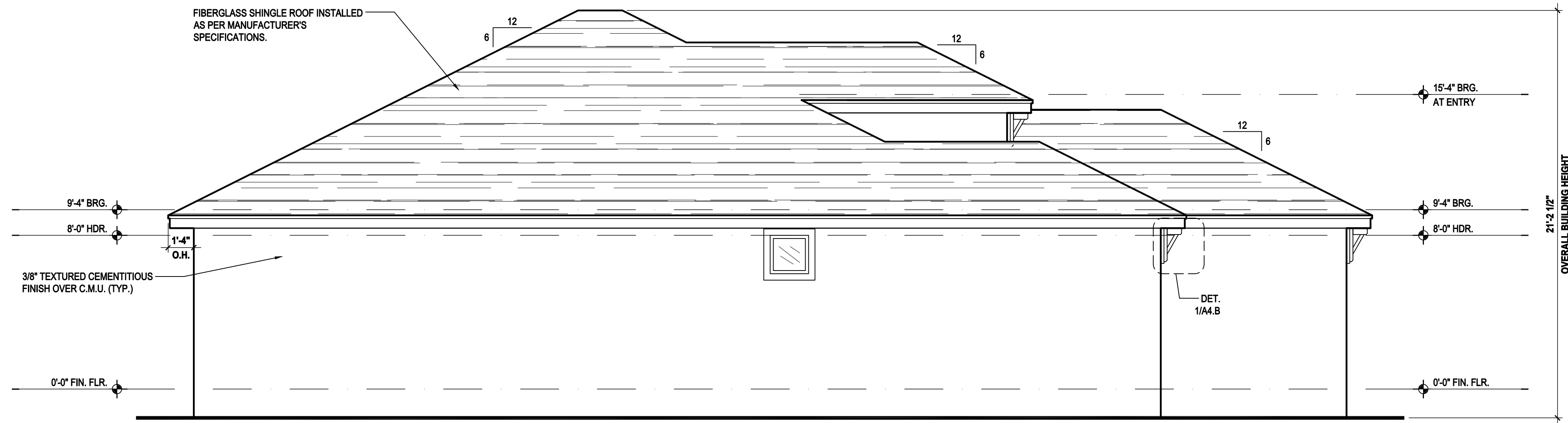
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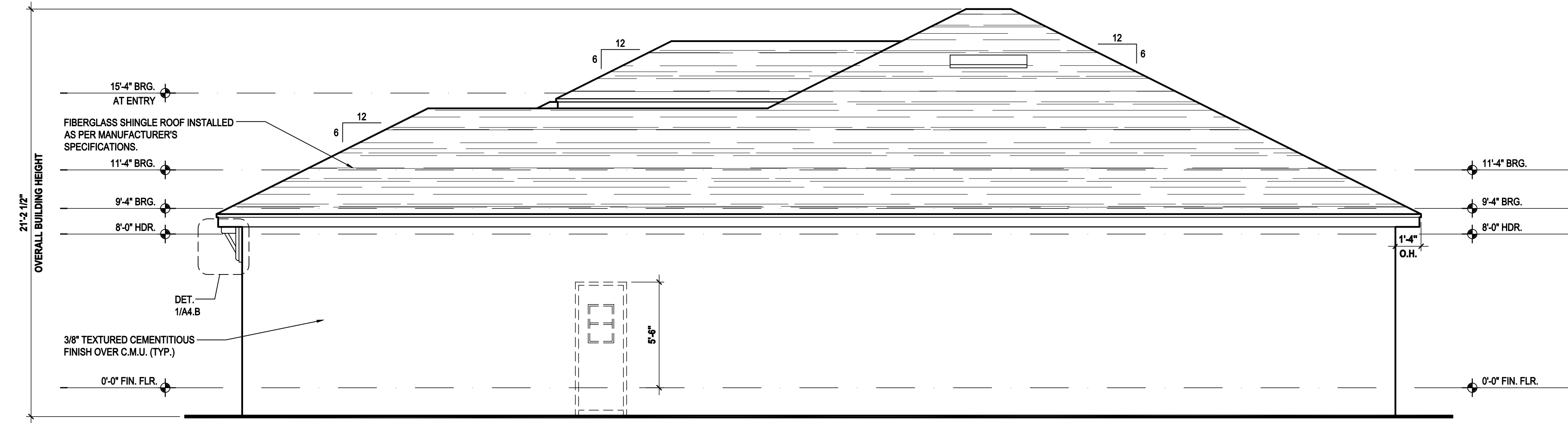
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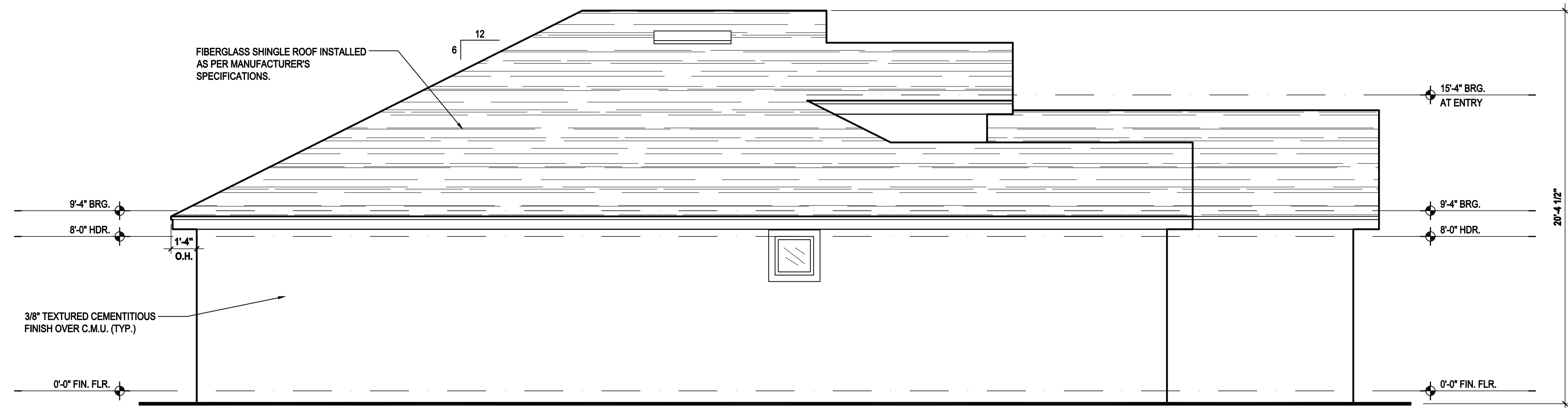
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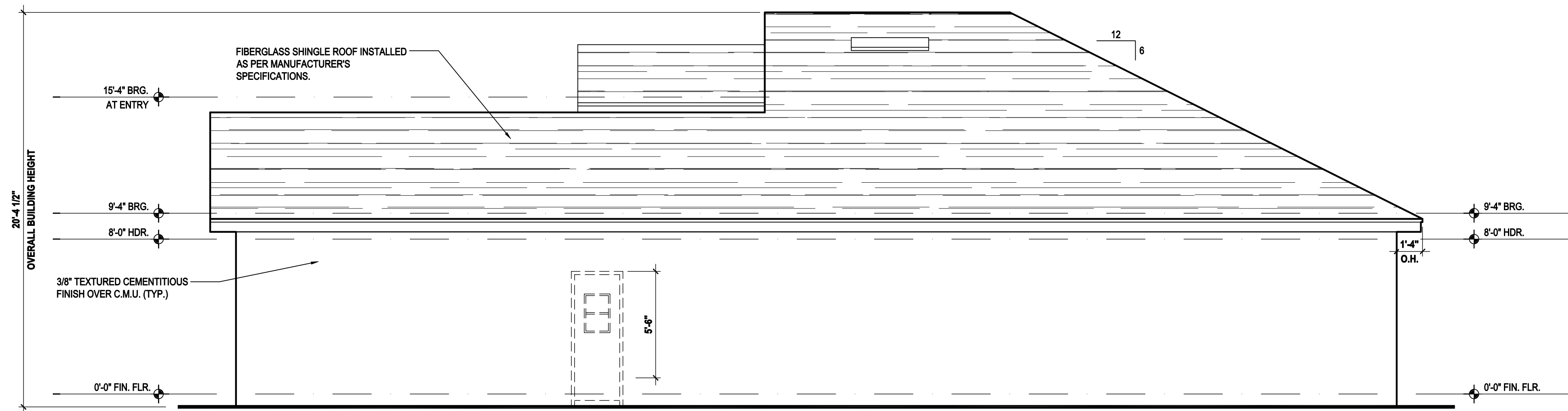
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Left Elevation "C"  
(Standard)

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Right Elevation "C"  
(Standard)

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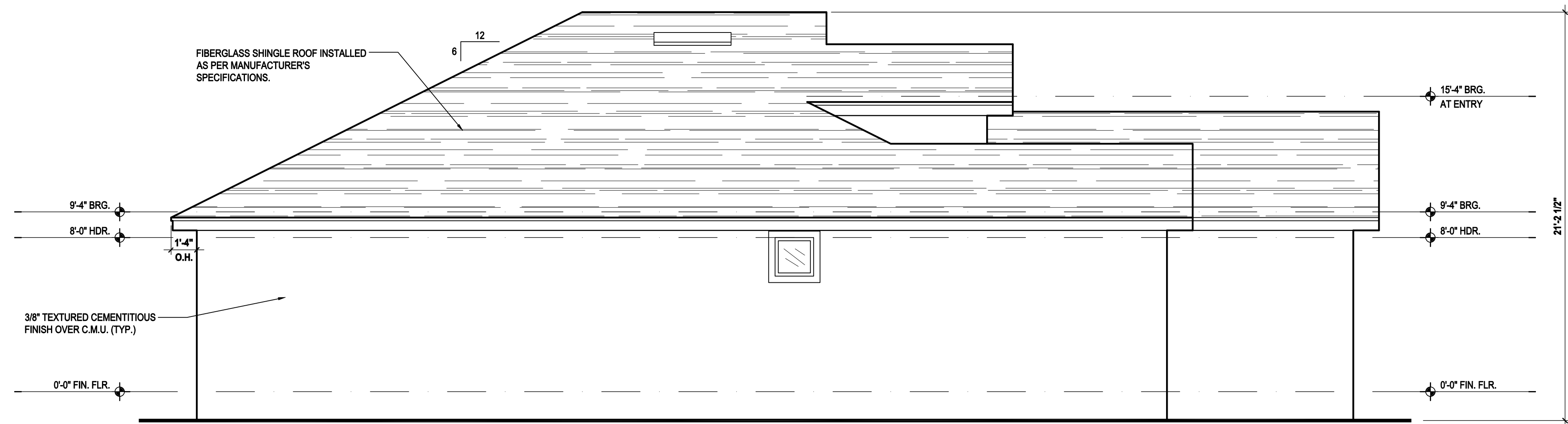
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**A4.C-**

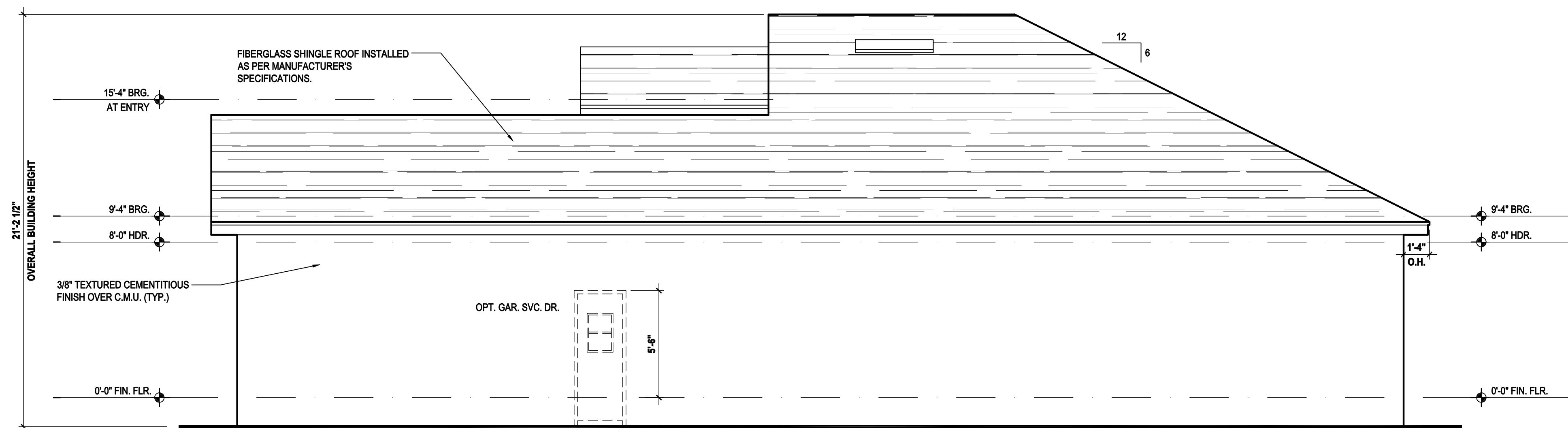
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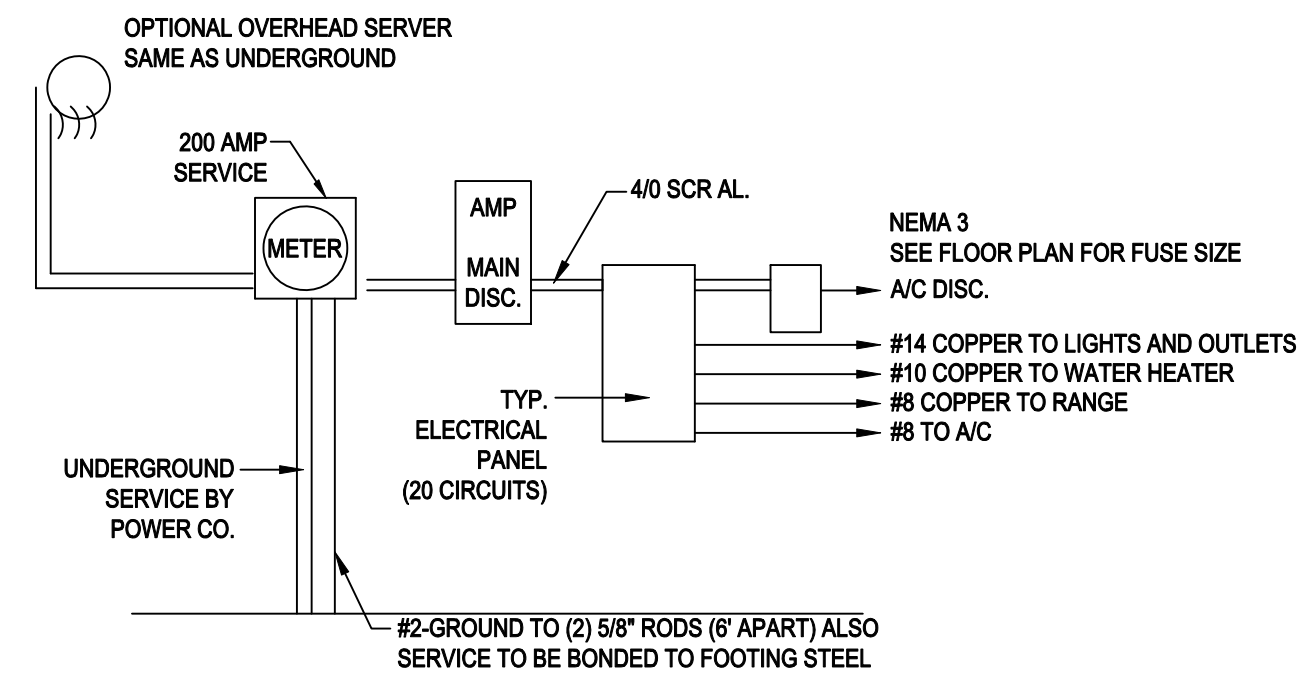
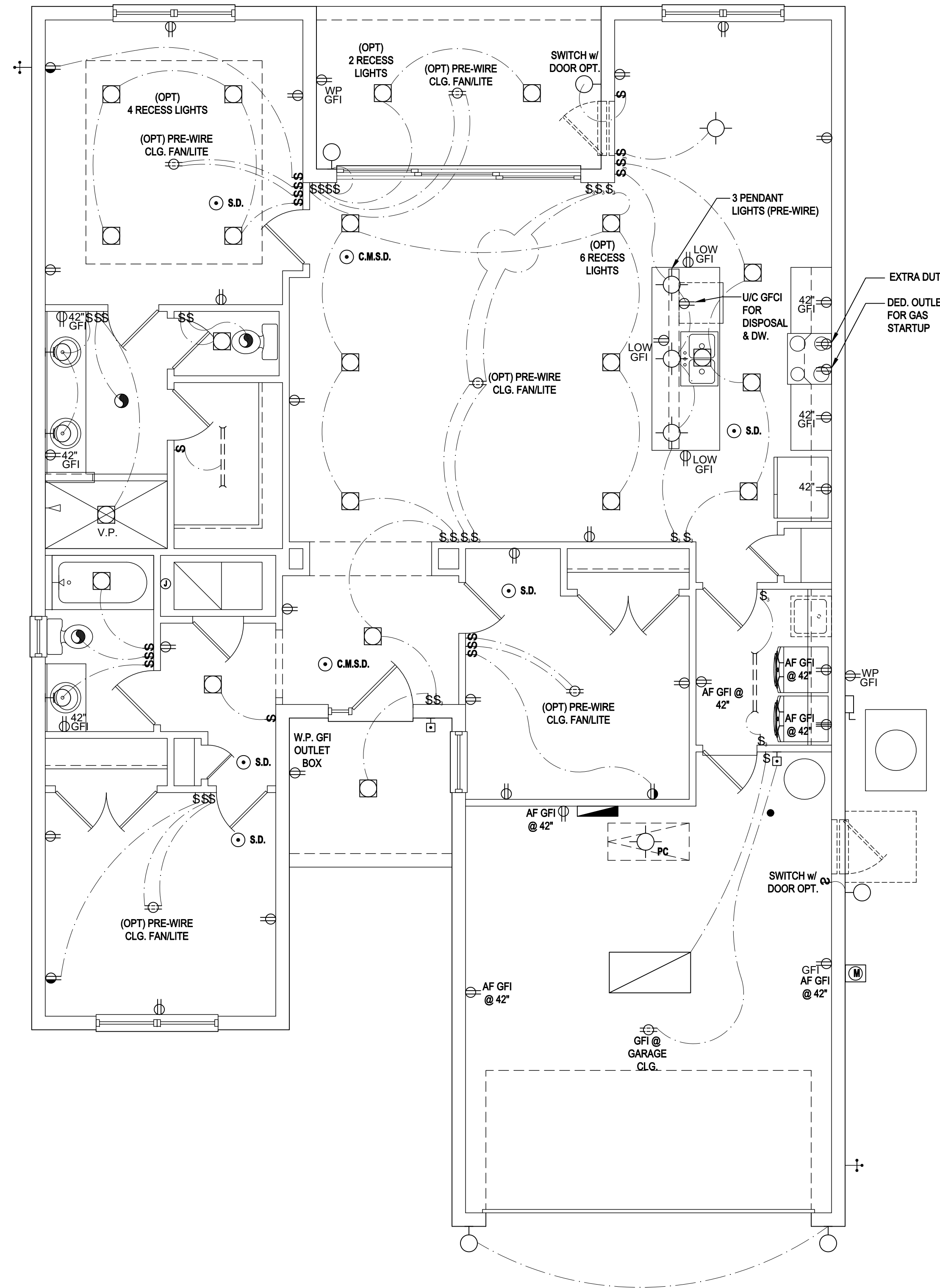
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ELEVATIONS "C"

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NOTE:  
ALL ELECTRICAL WORK AND MATERIAL PROVIDED SHALL COMPLY WITH THE FLORIDA BUILDING CODE. (2017) THE ABOVE ELECTRICAL LAYOUT IS FOR BID PURPOSE ONLY.

### 200 AMP ELECTRICAL RISER

### GENERAL NOTES KEY:

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
  - ALL OUTLETS ARE TO BE AFCI PROTECTED.
  - ALL 15A AND 20A 120V BRANCH CIRCUITS WILL BE AFCI PROTECTED.
  - ALL 15A AND 20A 120V BRANCH CIRCUITS LOCATED IN THE GARAGE AND LAUNDRY WILL BE GFCI PROTECTED.
  - ALL GARAGE BAYS WILL HAVE DEDICATED GFCI OUTLET.
  - ALL OUTLETS LOCATED IN THE KITCHEN AND BATHROOMS ARE TO BE GFCI PROTECTED.
  - DW. AND GARBAGE DISPOSAL ARE TO BE GFCI PROTECTED.
  - EXCEPTIONS TO THE GFCI STIPULATION WILL BE ALLOWED ONLY IF ALLOWED PER CURRENT NFPA / NEC.
  - OUTLETS LOCATED IN THE LAUNDRY ARE TO BE GFCI AND AFCI PROTECTED.
  - OUTLETS LOCATED WITHIN 6'-0" OF A WET AREA ARE TO BE GFCI PROTECTED.
  - ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (U.N.O.).
  - ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
  - 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
  - IN AREAS SPECIFIED IN SECTION E3901.1, 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- NOTES:  
• THIS DIAGRAMMATIC PLAN IS INTENDED TO SHOW LIGHTING AND CONVENIENCE OUTLETS ONLY. IT IS THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY TO VERIFY THE REQUIREMENT AND LOCATIONS OF ALL ELECTRICAL EQUIPMENT, (INCLUDING KITCHEN EQUIPMENT) AND PROVIDE AND INSTALL COMPLETE ELECTRICAL SERVICE AS REQUIRED PER NFPA, NEC, FBC CODES AND ALL REIGNING MUNICIPALITY CODES, STANDARDS AND ORDINANCES.  
• LOCATION OF FIXTURES AND / OR OUTLETS ARE SUGGESTED LOCATIONS AND MEET MOST LOCAL CODE REQUIREMENTS. ADDITIONS OR ADJUSTMENTS MAY BE MADE BETWEEN THE OWNER AND BUILDER IN THE FIELD.  
• ALL ELECTRICAL WORK AND APPLIANCES ARE IN FULL COMPLIANCE WITH N.F.P.A., N.E.C., F.B.C. 6TH EDITION (2017) RESIDENTIAL, AND ALL APPLICABLE LOCAL STANDARDS, CODES, AND ORDINANCES.  
• VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

### ELECTRICAL KEY:

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	RECESSED LIGHT
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	ELECTRICAL PANEL
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

## First Floor Electrical Plan "A & B"

(Standard)  
SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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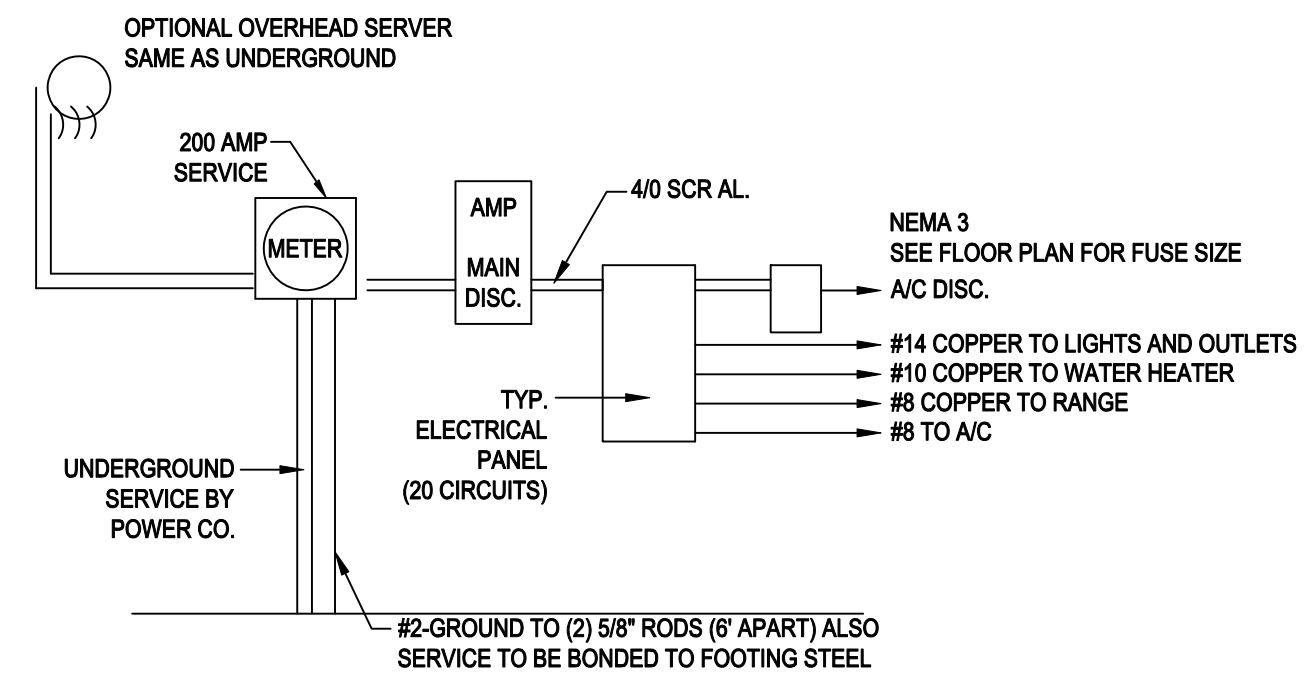
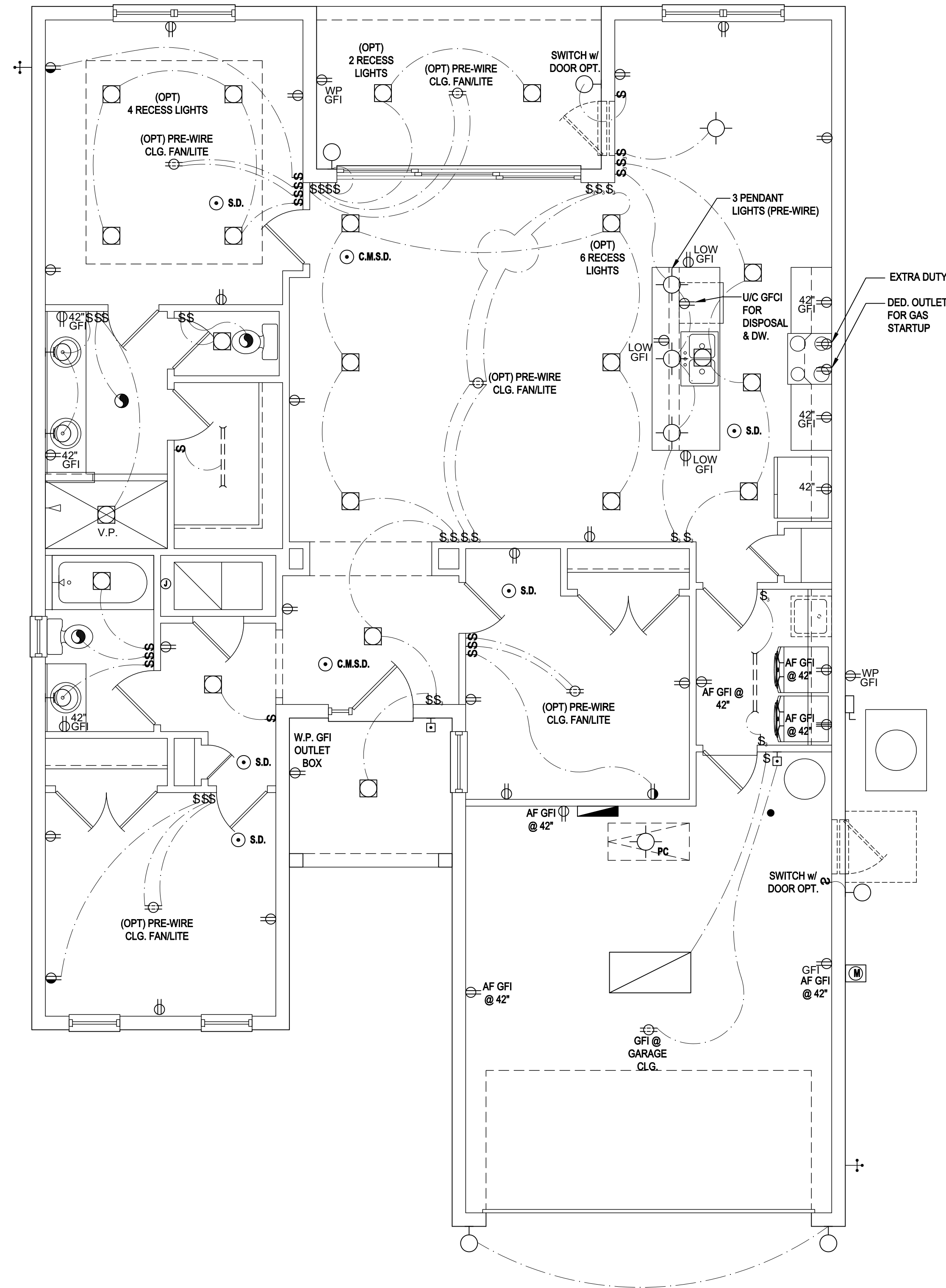
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ISSUE DATE: 11/28/2019  
REVISIONS:  
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS  
**ELECTRICAL LAYOUT**  
**A5.AB**

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### 200 AMP ELECTRICAL RISER

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	FLOOR RECEPTACLE
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	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION

## First Floor Electrical Plan "C"

(Standard)

SCALE: 1/8" = 1'-0" (11x17) 1/4" = 1'-0" (22x34)

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**Park Square HOMES**

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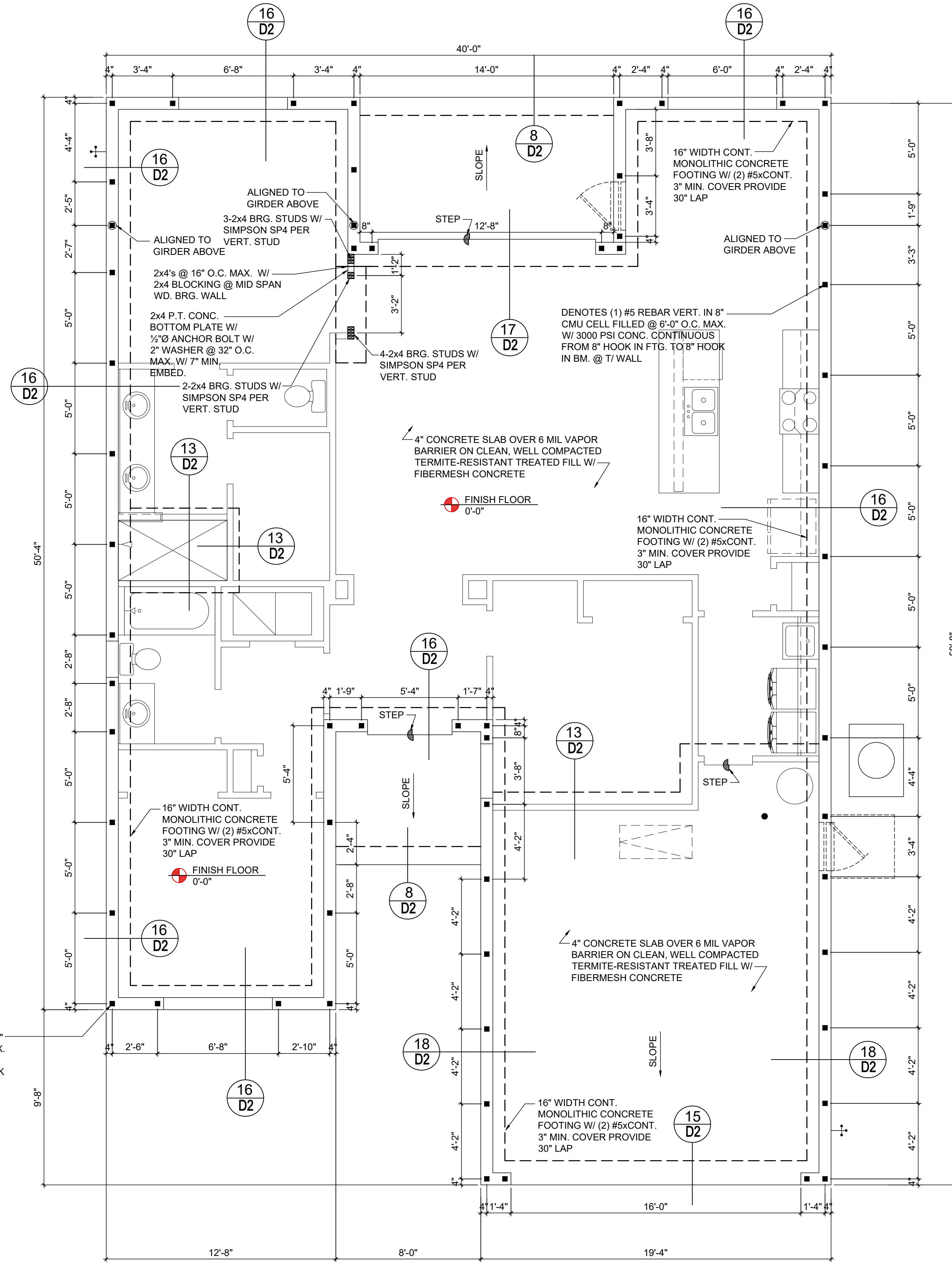
**ELECTRICAL LAYOUT**  
**A5.C**

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### FIELD REPAIR NOTES

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
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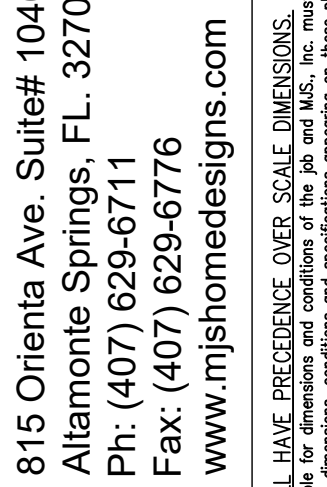
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1/8"=1'-0" (11x17) 1/4"=1'-0" (22x34)



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THE AUGUSTINE

Lot # - Subdivision  
Street Address  
City, State, Zip

A division of Park Square Enterprises Inc.  
5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000



ISSUE DATE 11/28/2019

REVISIONS

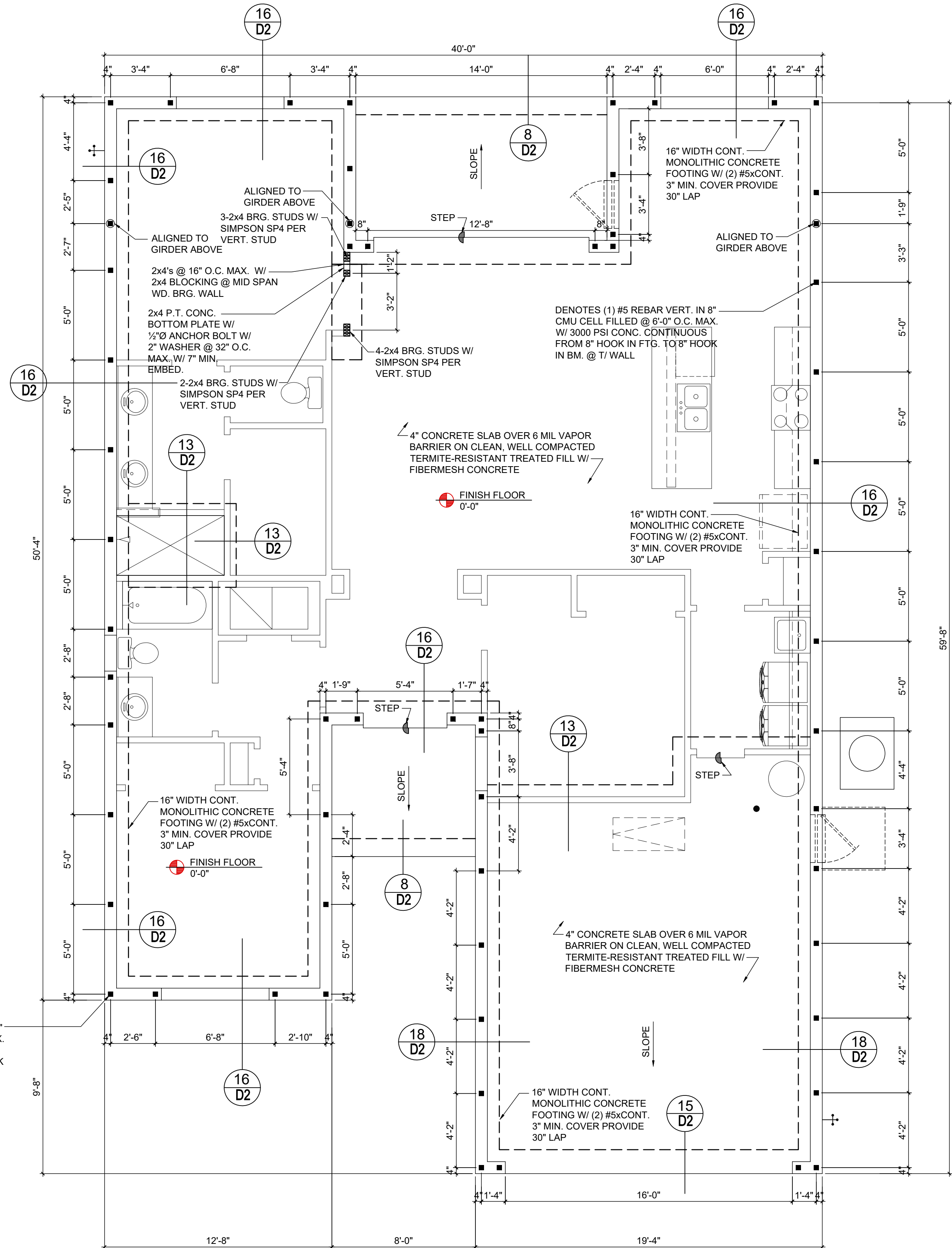
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS

FOUNDATION PLAN  
A (STANDARD)

S1.A

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815 Oriole Ave. Suite# 1040  
 Altamonte Springs, FL 32701  
 Ph: (407) 629-6711  
 Fax: (407) 829-6776

**MJS**  
 CUSTOM HOME DESIGN  
 DESIGNERS - PLANNERS www.mjshomedesigns.com

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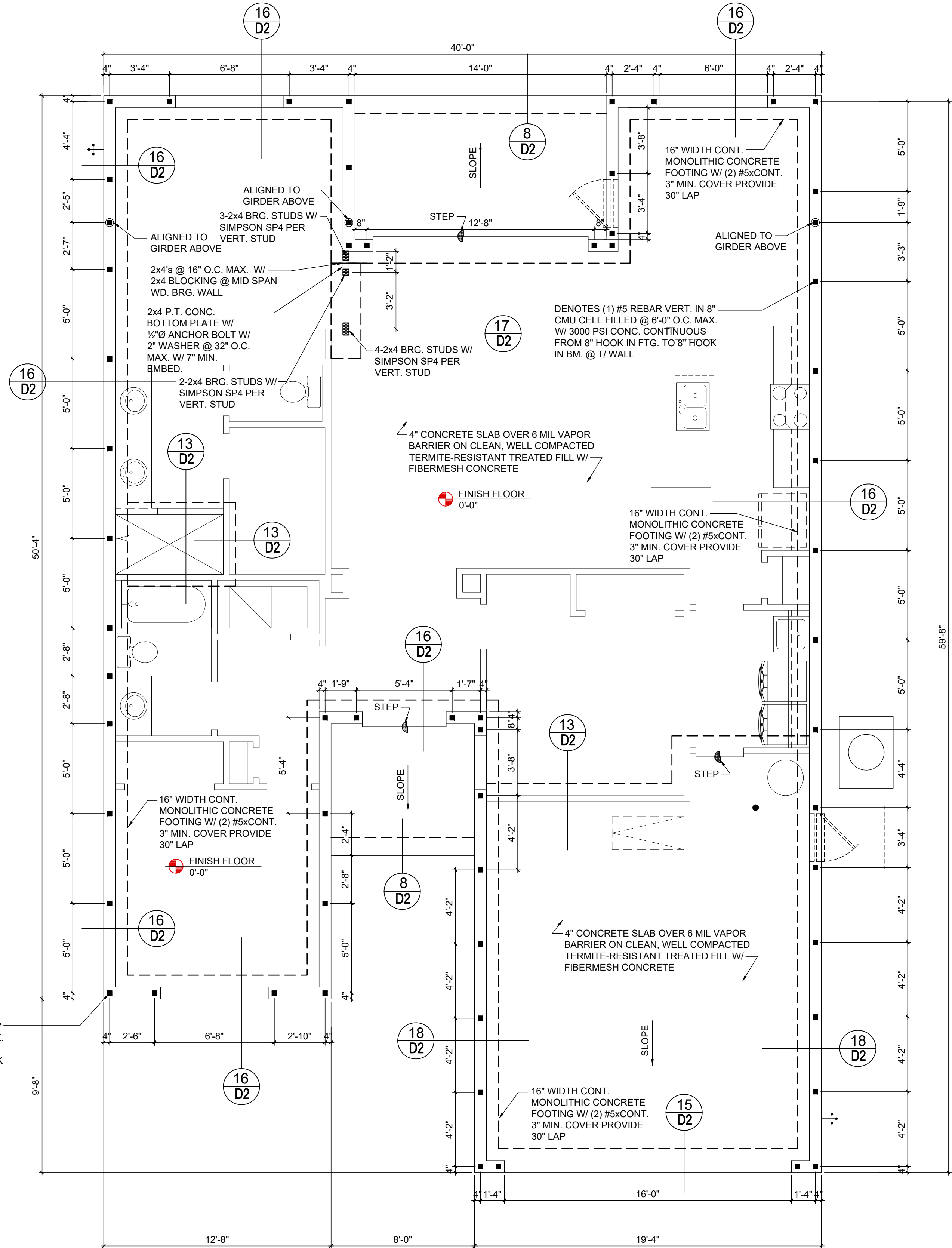
**Park Square HOMES**

ISSUE DATE	11/28/2019
REVISIONS	
PROJECT:	19-0273
SCALE:	AS NOTED
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DESIGNED BY:	MJS

FOUNDATION PLAN  
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**S1.A1**

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[www.itteg.com](http://www.itteg.com)

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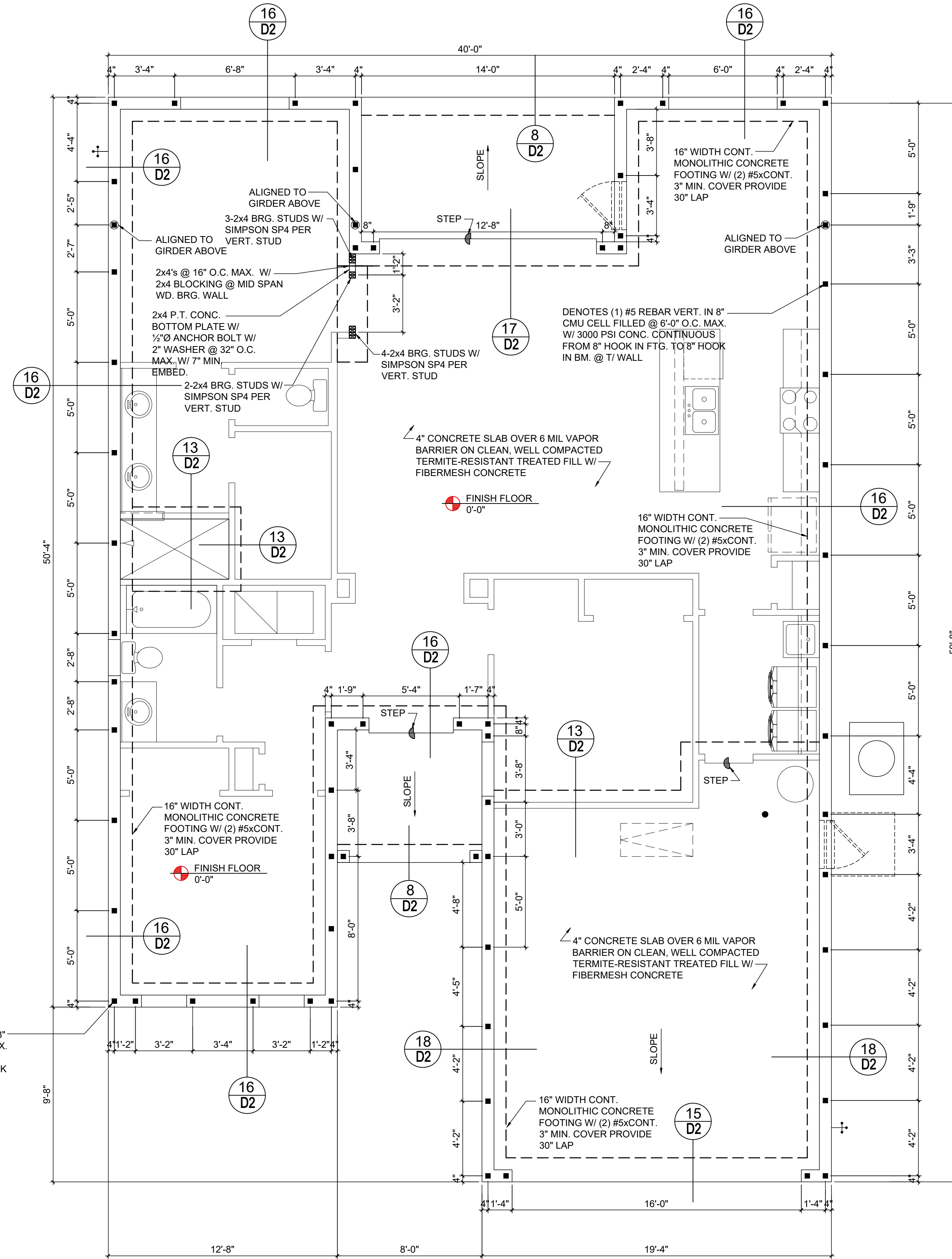
**S1.B**

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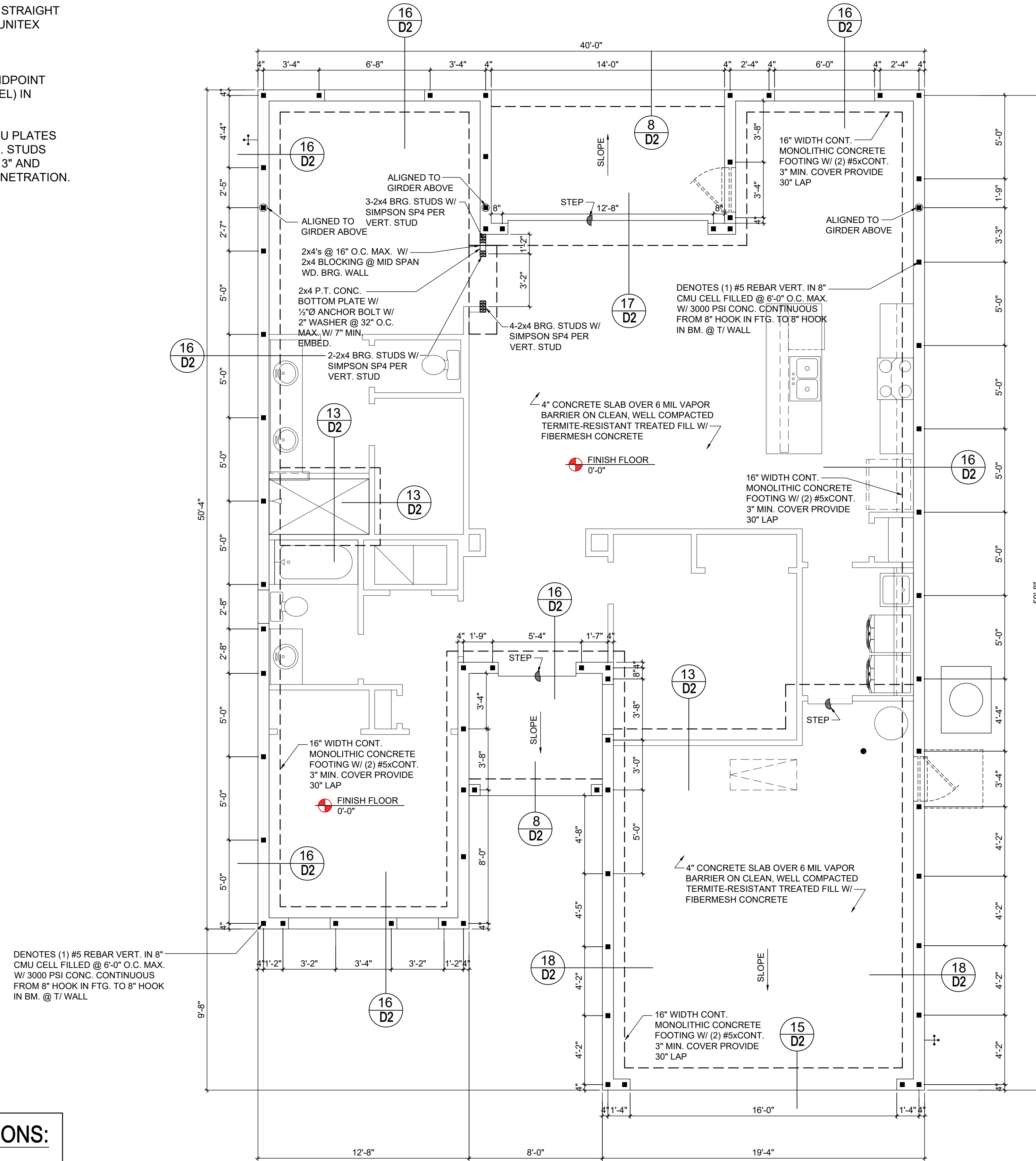
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FOUNDATION PLAN  
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FOUNDATION PLAN  
C (OPT. TRAY)

S1.C1





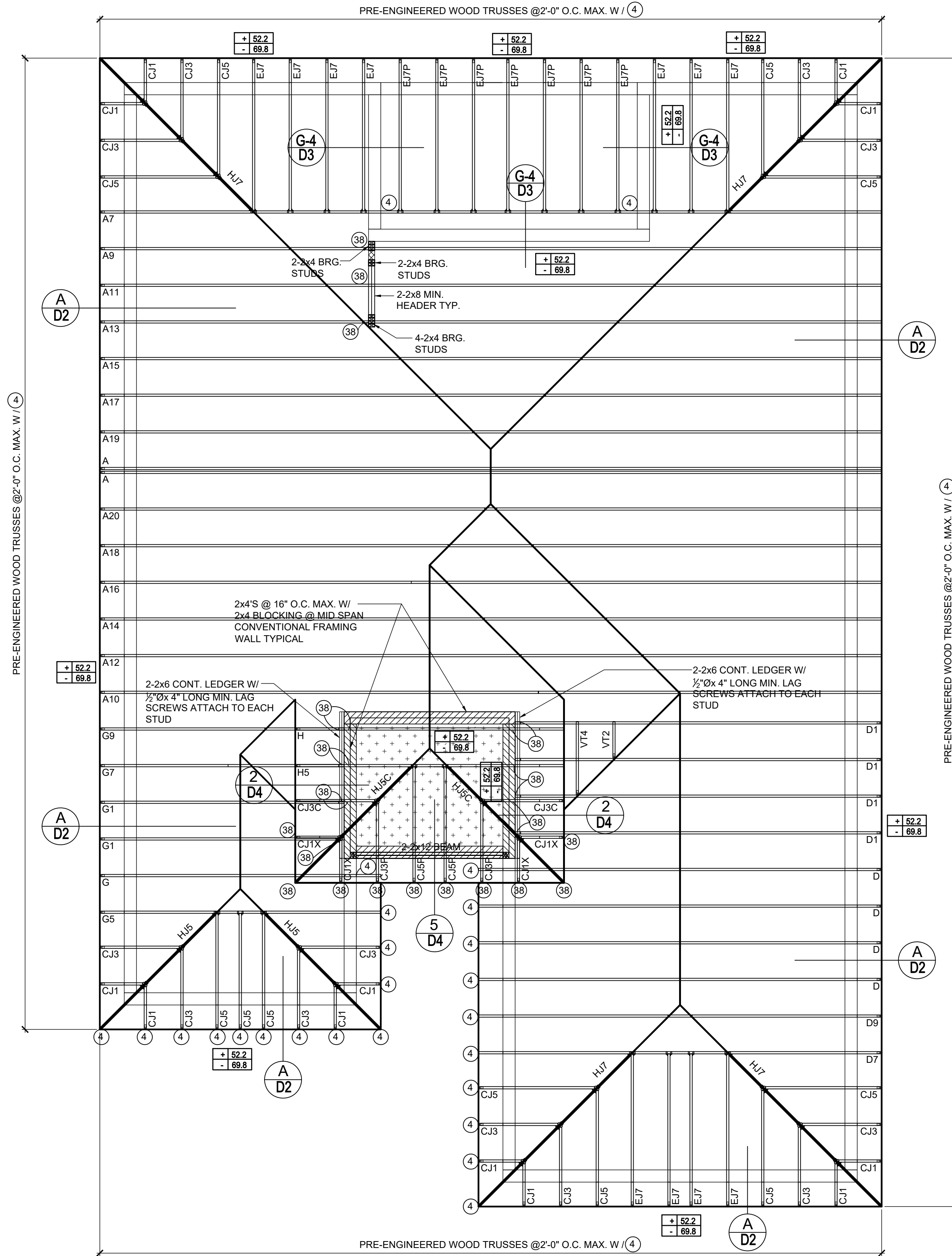






### CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1,000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-3/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3" / (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP & FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

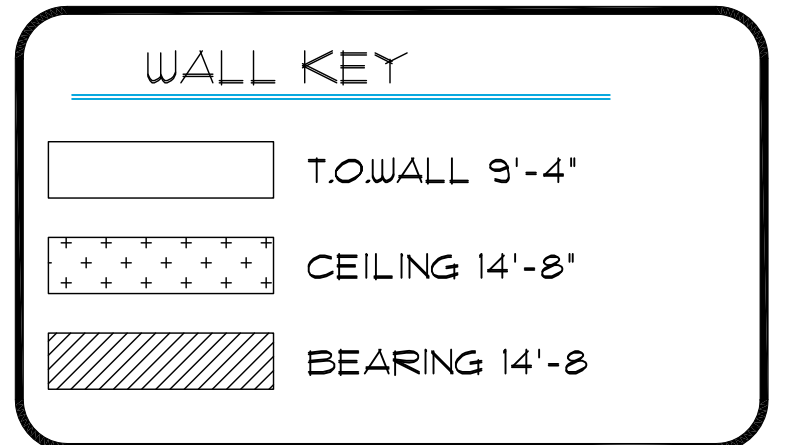


### COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
-XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



### ROOF FRAMING PLAN

A (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

40-1525

**THE AUGUSTINE**

Lot # - Subdivision  
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City, State, Zip

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Altamonte Springs, FL 32701  
Ph: (407) 629-6711  
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DESIGNERS - PLANNERS www.mjshomedesigns.com

**MJS**  
CUSTOM HOME DESIGN  
DESIGNERS - PLANNERS www.mjshomedesigns.com

**ITEG**  
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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. If there is a discrepancy between the two, the written dimensions shall prevail. If there is a discrepancy between the written dimensions and the specifications, the specifications shall prevail. Conflicts in writing of any drawings in the dimensions, conditions and specifications appearing on these plans.

ISSUE DATE: 11/28/2019

REVISIONS:

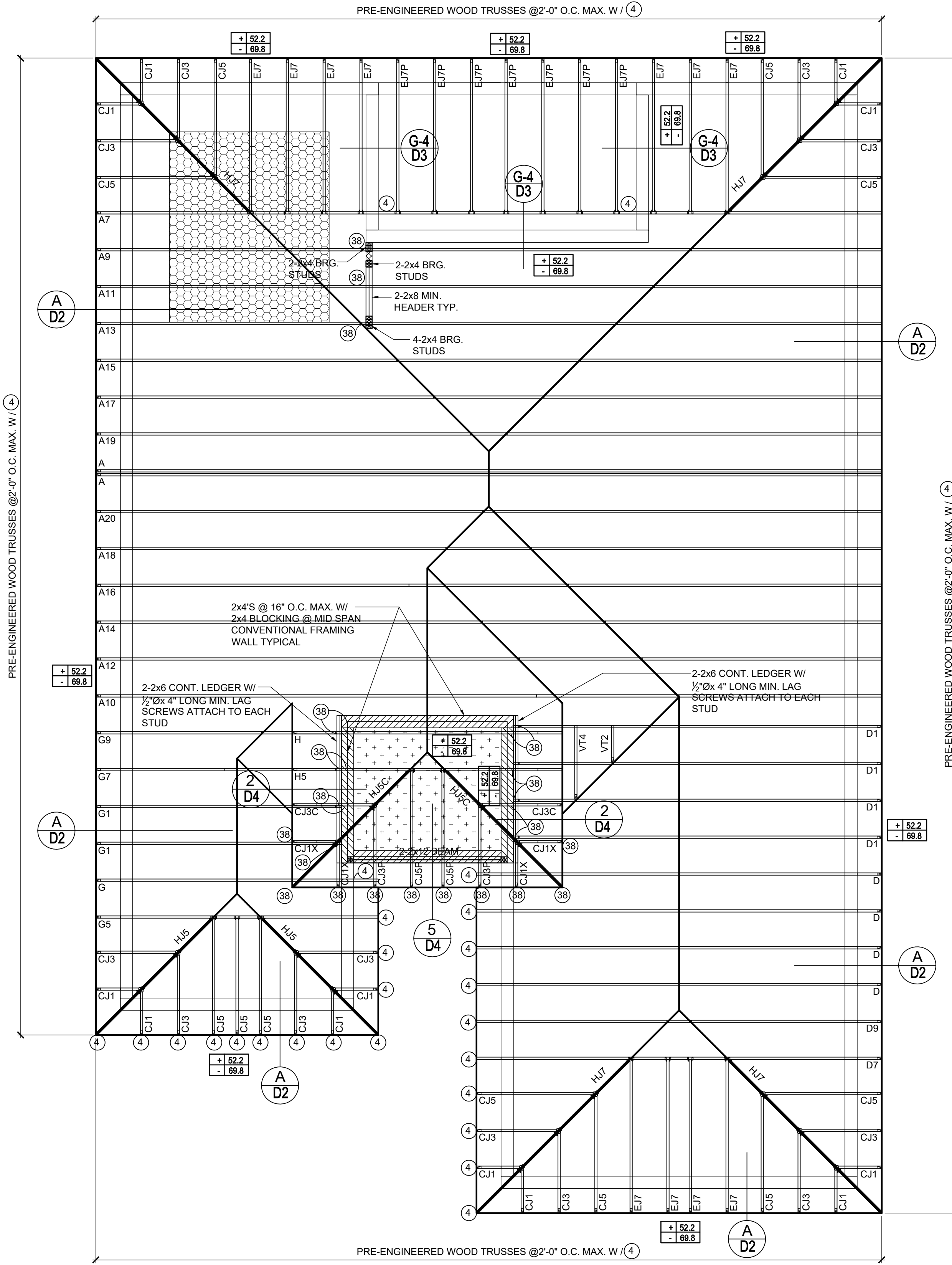
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS

ROOF FRAMING PLAN  
A (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

**S3.A**

### CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1,000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/2" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3" / (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

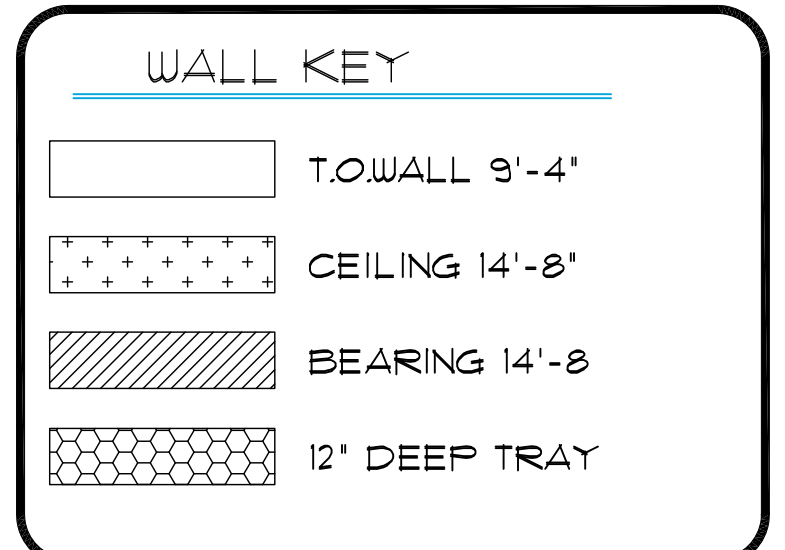


### COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ [XXX] ULTIMATE DESIGNED POSITIVE PRESSURE  
- [XXX] ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



### ROOF FRAMING PLAN

A (OPT. TRAY)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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Lot # - Subdivision  
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City, State, Zip

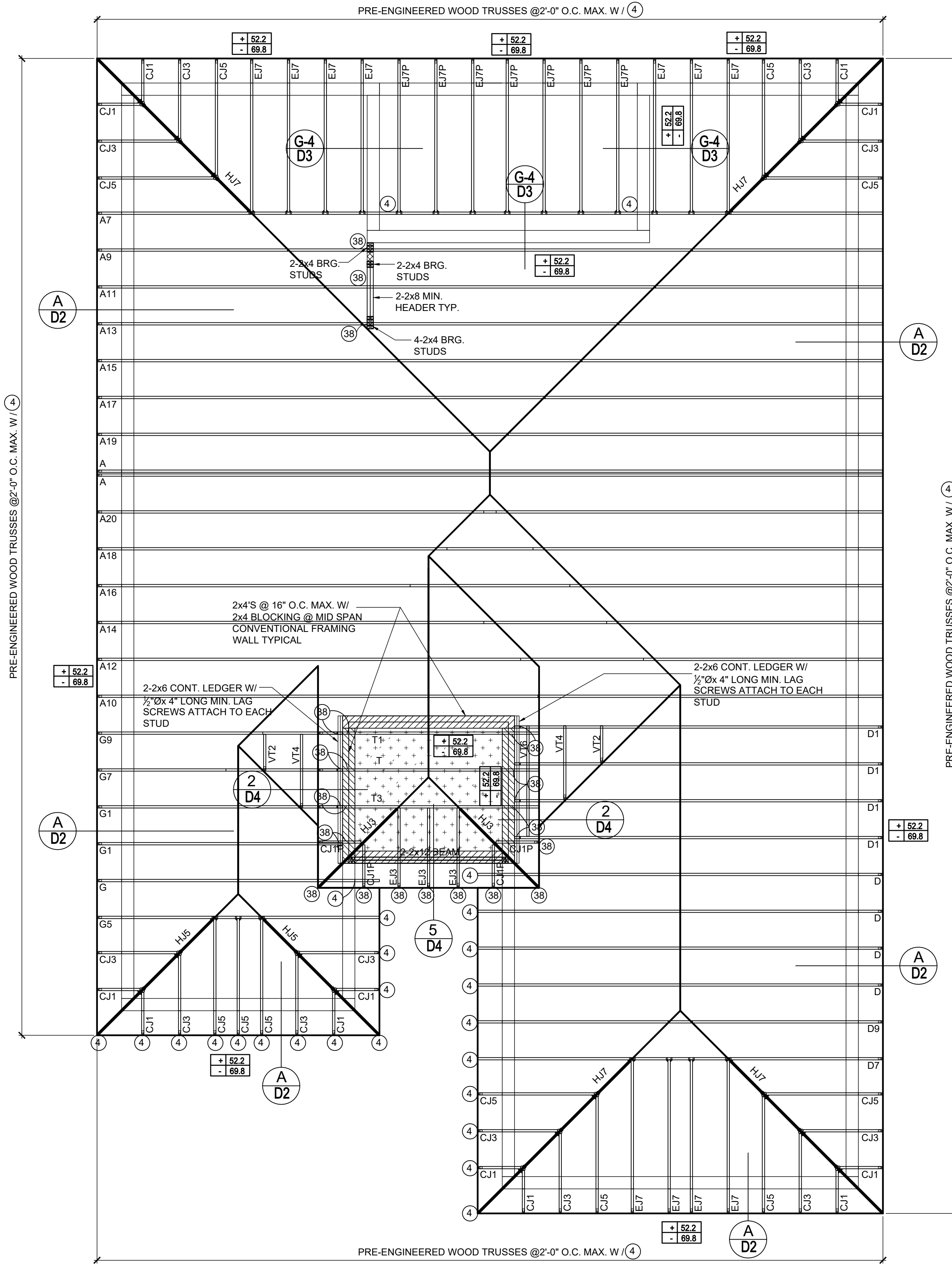
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Enterprises Inc.  
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Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE 11/28/2019  
REVISIONS  
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS  
PRECAST Lintel, PLAN & NOTES A (OPT. TRAY)  
**S3.A1**

### CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/4"x3"/(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SURL414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

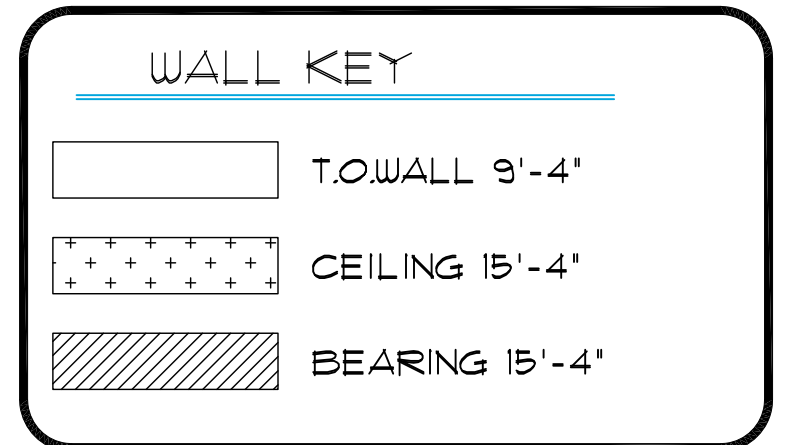


### COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ [XXX] ULTIMATE DESIGNED POSITIVE PRESSURE  
- [XXX] ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



### ROOF FRAMING PLAN B (STANDARD) 1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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**THE AUGUSTINE**  
Lot # - Subdivision  
Street Address  
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A division of Park Square  
Enterprises Inc.  
5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

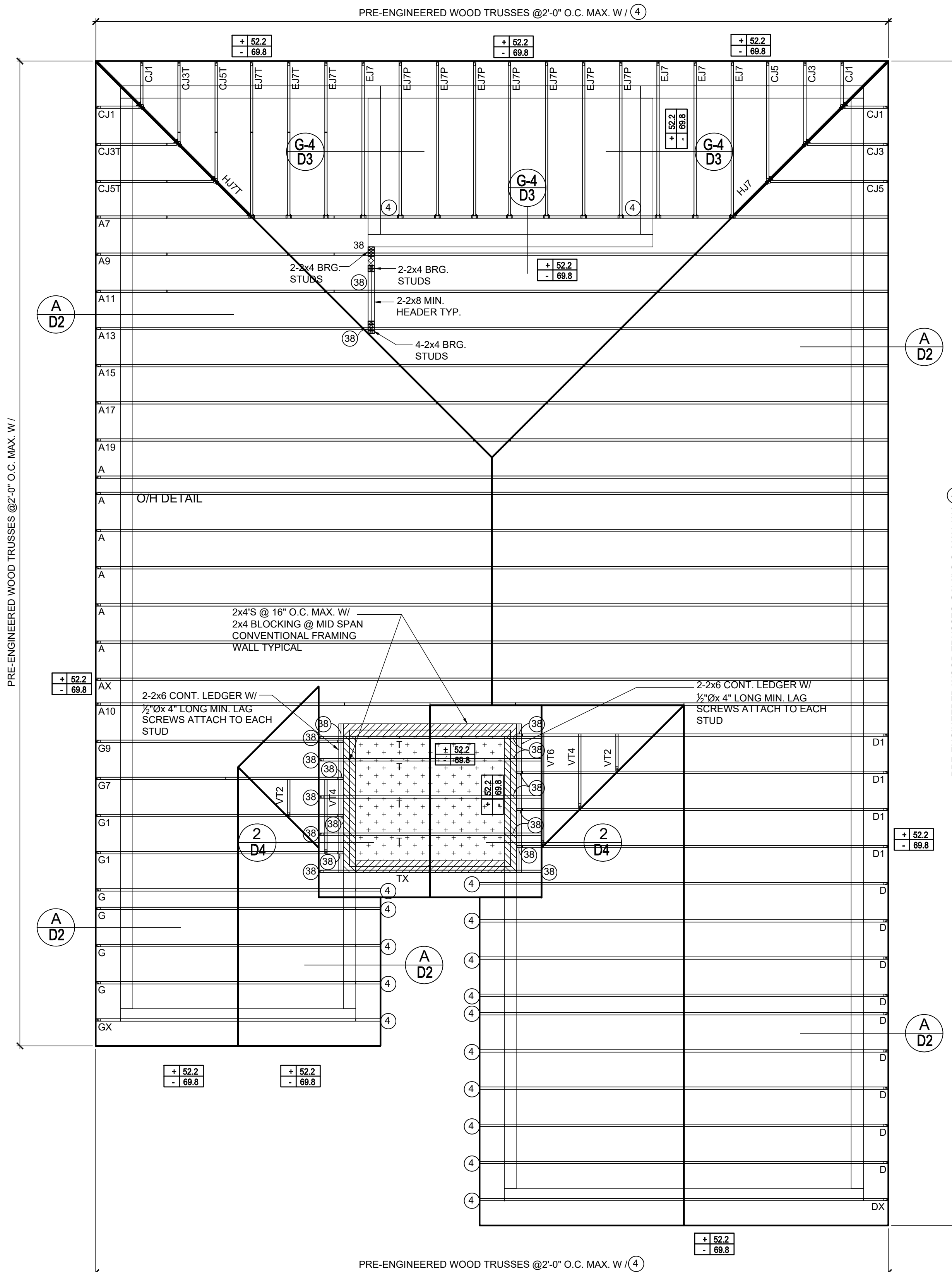
**Park Square HOMES**

ISSUE DATE 11/28/2019  
REVISIONS  
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS

ROOF FRAMING PLAN  
B (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)  
**S3.B**

### CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3" / (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/2"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/2"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
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240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
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301	MGT	(1) 5/8" BLTS. / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS. / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS. / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



### COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ XXXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- XXXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

### WALL KEY

- [Symbol] T.O WALL 9'-4"
- [Symbol] CEILING 15'-4"
- [Symbol] BEARING 15'-4"

**THE AUGUSTINE**  
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**40-1525**  
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ISSUE DATE: 11/28/2019

PROJECT: 19-0273

REVISIONS

SCALE: AS NOTED

DRAWN BY: FM

DESIGNED BY: MJS

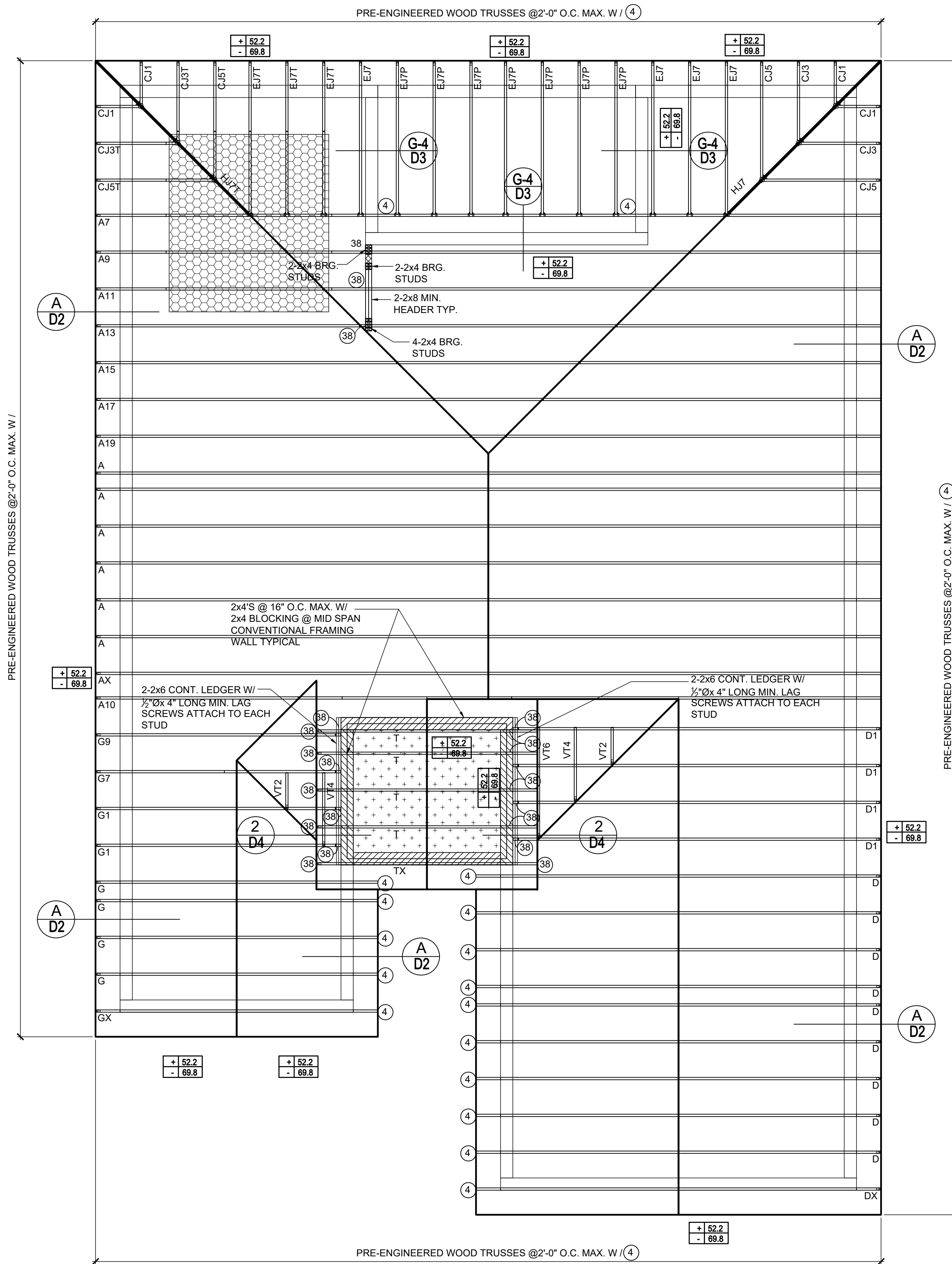
ROOF FRAMING PLAN  
C (STANDARD)  
1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

**S3.C**



# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON		MAX. UPLIFT	LAT. LDS. F1 / F2
	DESCRIPTION	FASTENERS PER CONNECTOR		
4	HETA16	9-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10S	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660/550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	HTS16	14-10d	1,310	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1,000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4,6,8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5 1/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2 1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3"(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/4"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
214	HUC212-3TF	HD: 16-3/16"x1 1/2" TAPCON BM: 6-16d	1,135	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/2"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/2"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MGT	(1) 5/8"BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4"BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4"BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

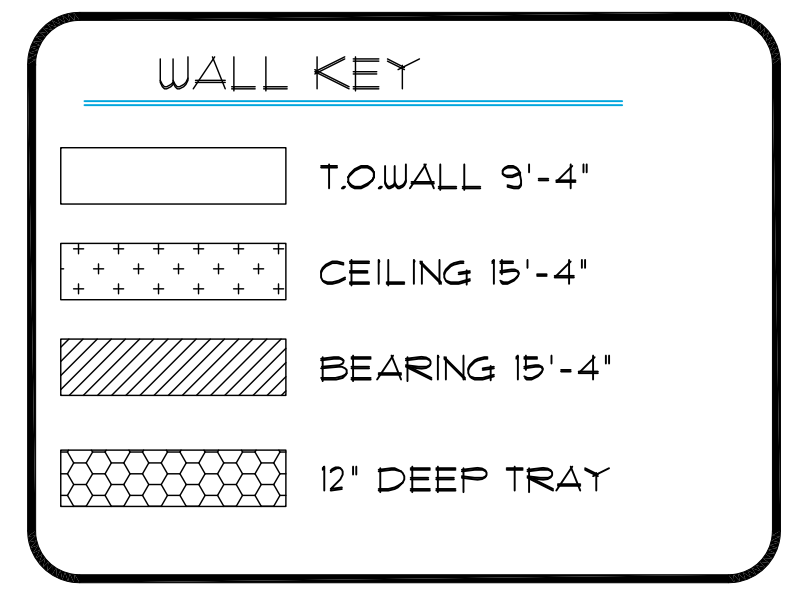


## COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

+ XXXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- XXXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6



## ROOF FRAMING PLAN C (OPT. TRAY)

1/8"=1'-0" (11x17) 1/4"=1'-0" (22x37)

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. When plans have been electronically signed & sealed by Michael Thompson, P.E. using a digital signature I.D. a raised seal printed copies of this document are not considered signed & sealed. Signature must be verified on any electronic copies.

40-1525  
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**Park Square HOMES**

ISSUE DATE: 11/28/2019  
REVISIONS:  
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS

ROOF FRAMING PLAN C (OPT. TRAY)  
**S3.C1**

## STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 6TH EDITION, FBCR 2017 (WIND LOAD @ 150 MPH.)
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- ALL FLOOR SLABS TO BE OF 2,500 PSI CONC. PLANT MIX MIN. 5" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITES TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE "M" OR "S", GROUT - 2,500 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE # 5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:  
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS. THE FOLLOWING CRITERIA MUST BE MET:  

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	-3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

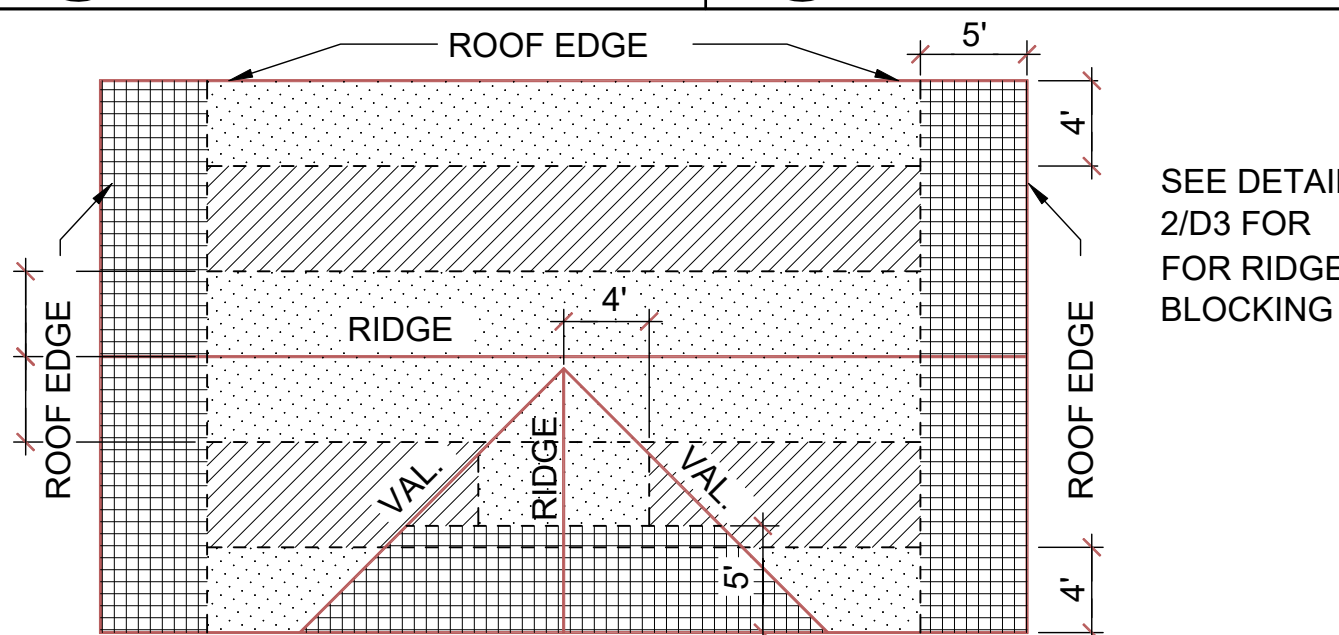
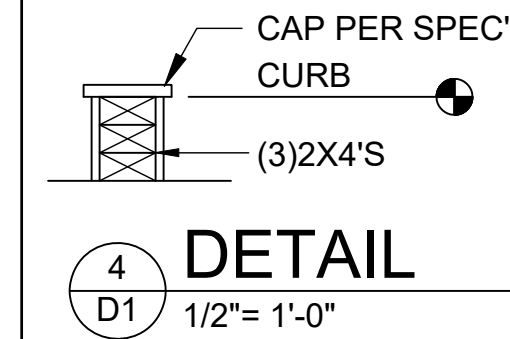
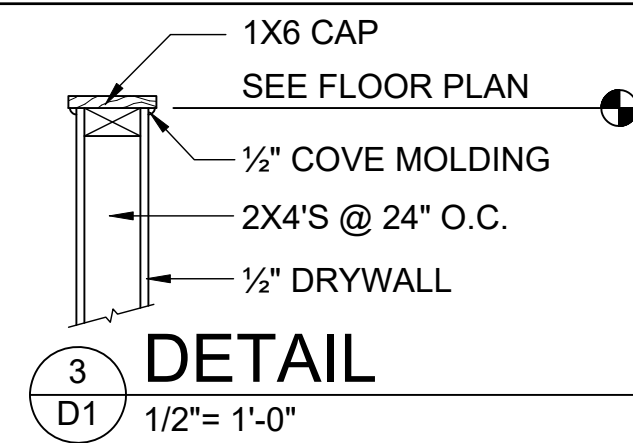
- SOIL BEARING CAPACITY 2000 PSF MINIMUM

## WOOD STRUCTURAL NOTES

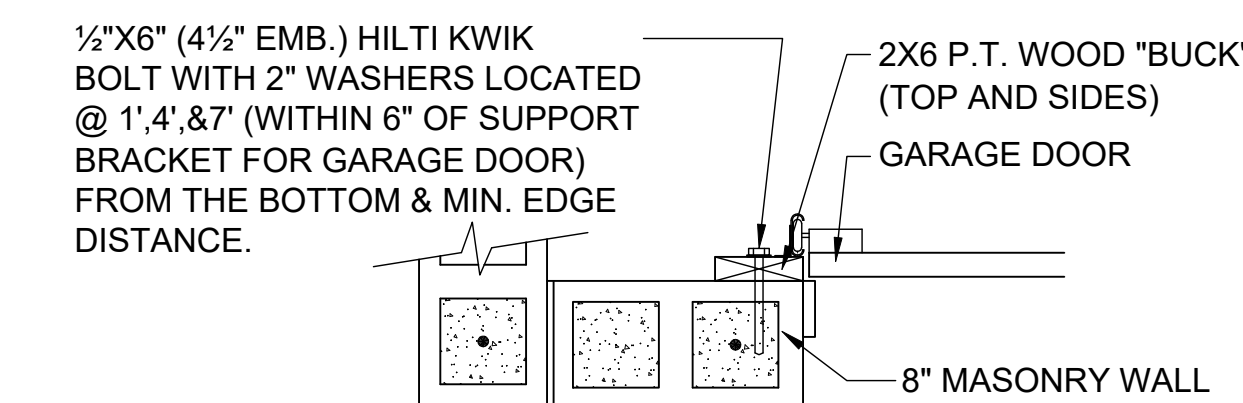
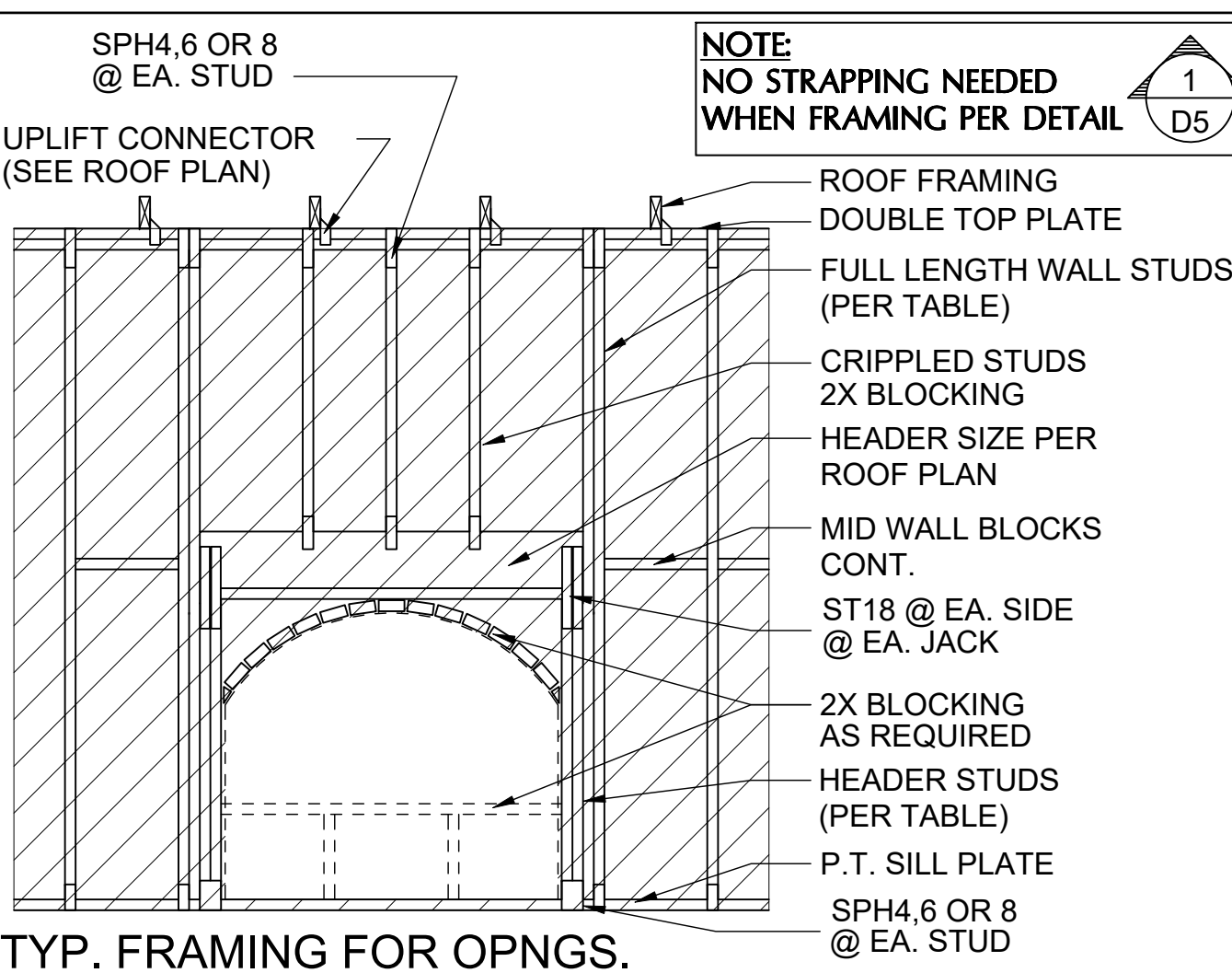
- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C..
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN  
  - DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)
  - DOUBLE STUDS @ 12" O.C..
  - DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.
  - HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER.
  - STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 7/16" OSB, NAILED TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.  
  - ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY
- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

## FIELD REPAIR NOTES

- MISSING LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSING J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. X 7" LONG WEDGE ANCHORS (REDHEADS).
- MISSING FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. X 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:  
  - UP TO -7/8" - NO REPAIR NECESSARY
  - 7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED
  - 1-1/4" - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE



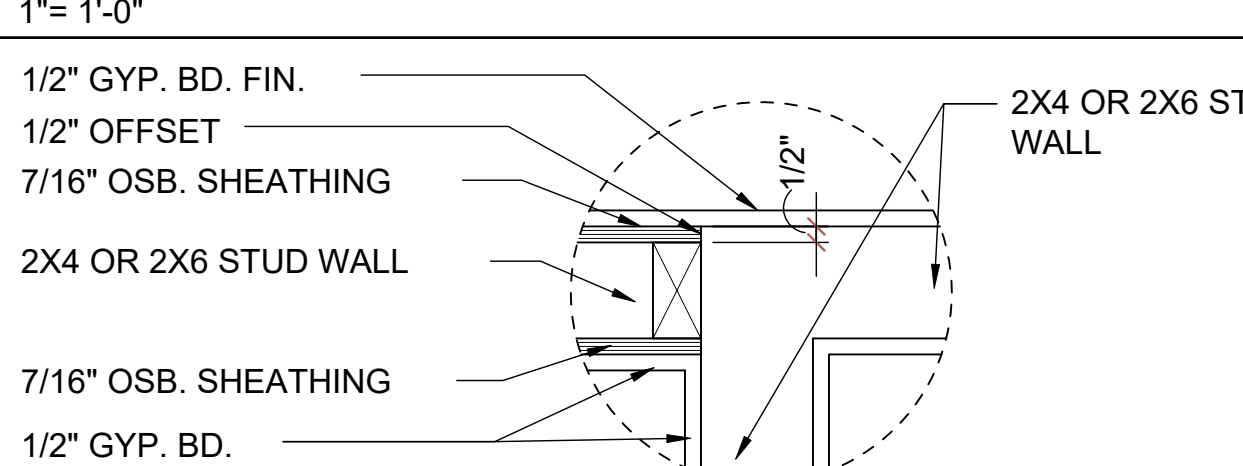
ZONE:	8d NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	8d NAILS @ 6" O.C. EDGES AND 12" O.C. FIELD
ZONE:	8d NAILS @ 4" O.C. EDGES AND 6" O.C. FIELD



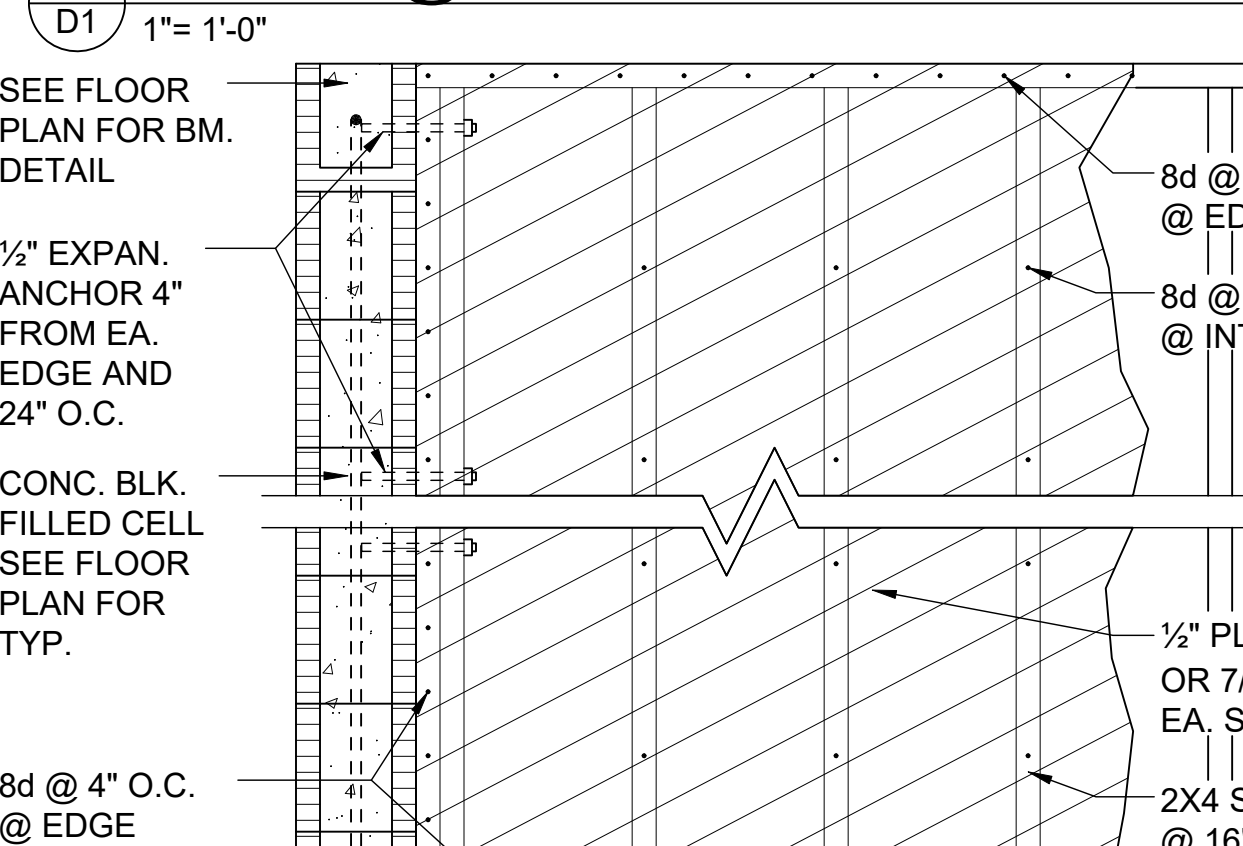
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO THE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
  - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
  - THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2017 FLORIDA BUILDING CODE RESIDENTIAL, 6TH EDITION
  - DOOR SIZE, TYPE AND GLAZING
  - TRACK SIZE AND FASTENER DETAILS.
  - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
  - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

## GARAGE BUCK DETAIL



## DETAIL @ CONN. TO REG. WALL

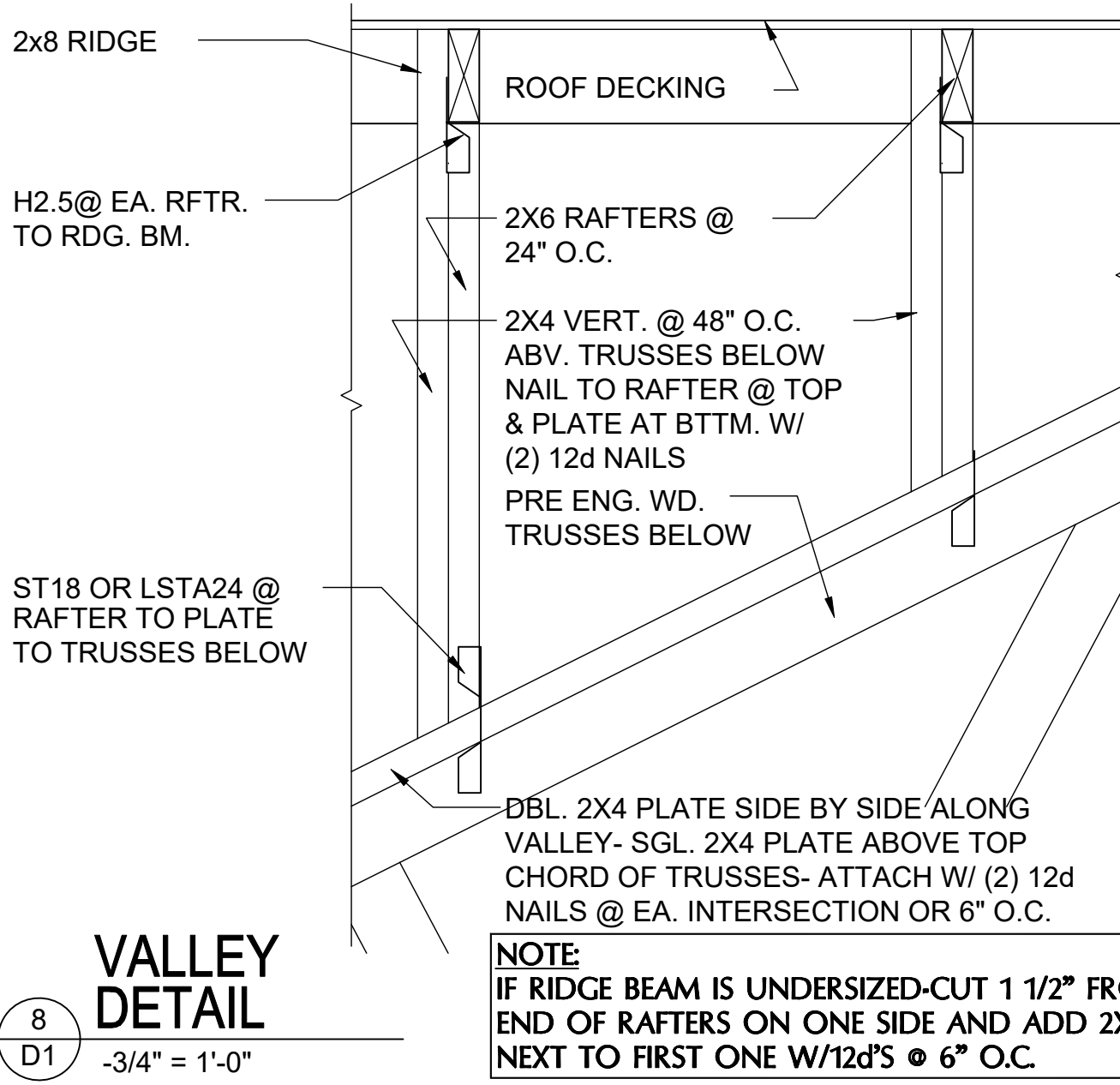
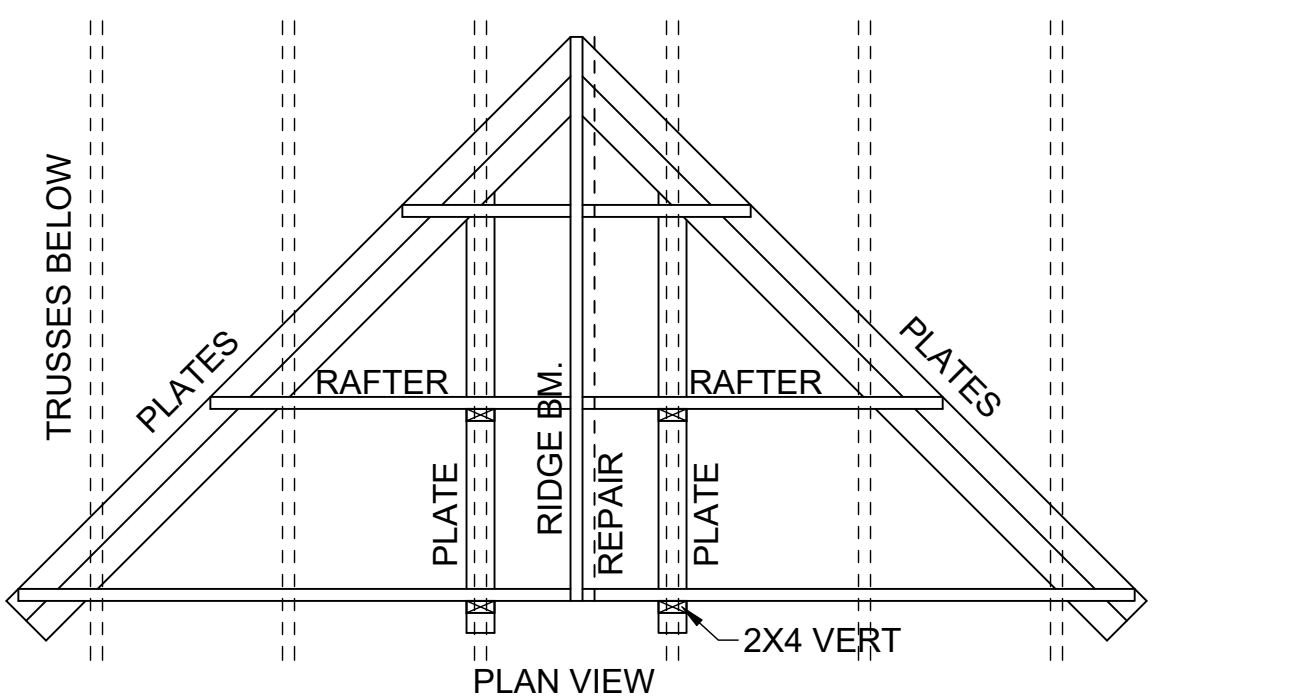


## 7 SHEAR WALL DETAIL

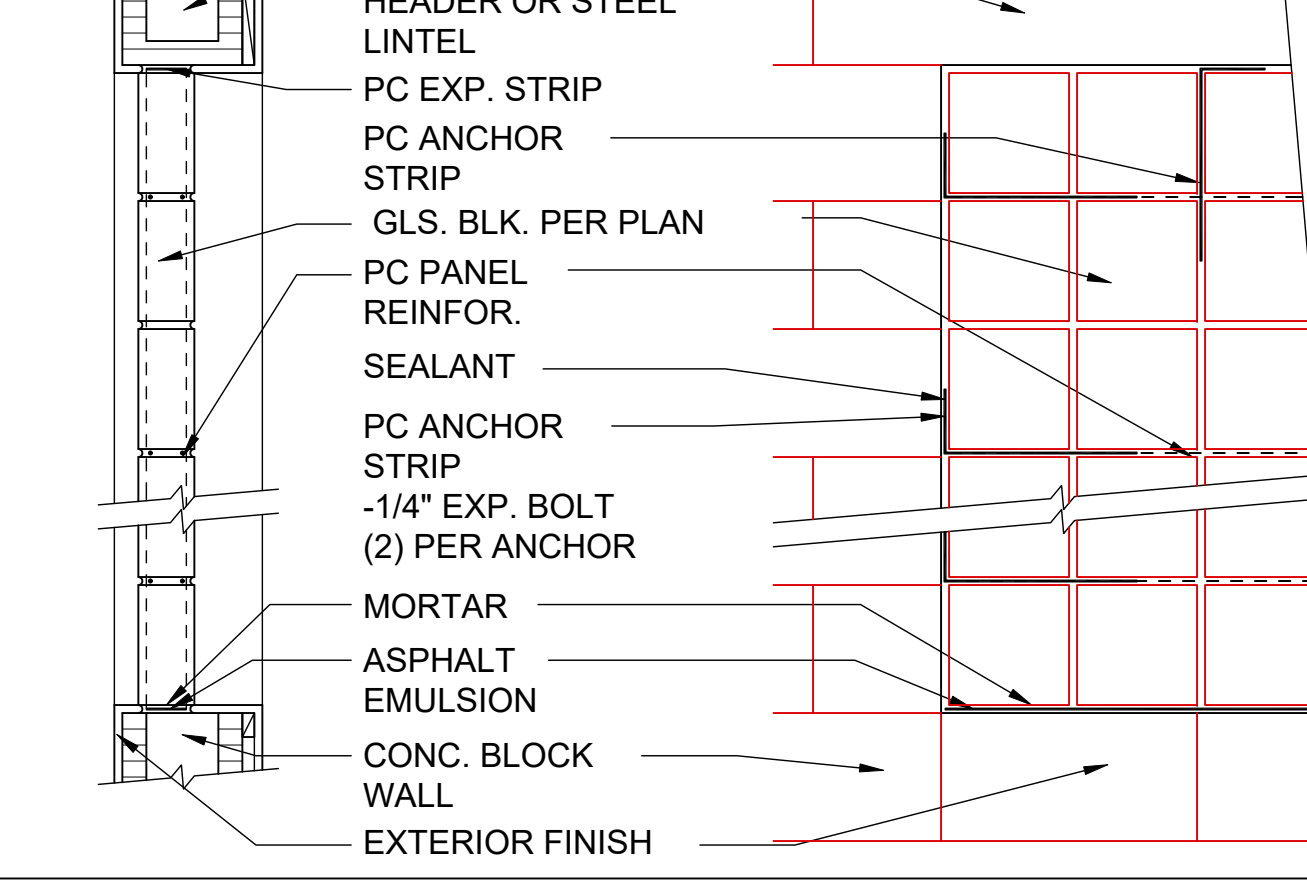


## MIN. WALL AND HEADER REQUIREMENTS

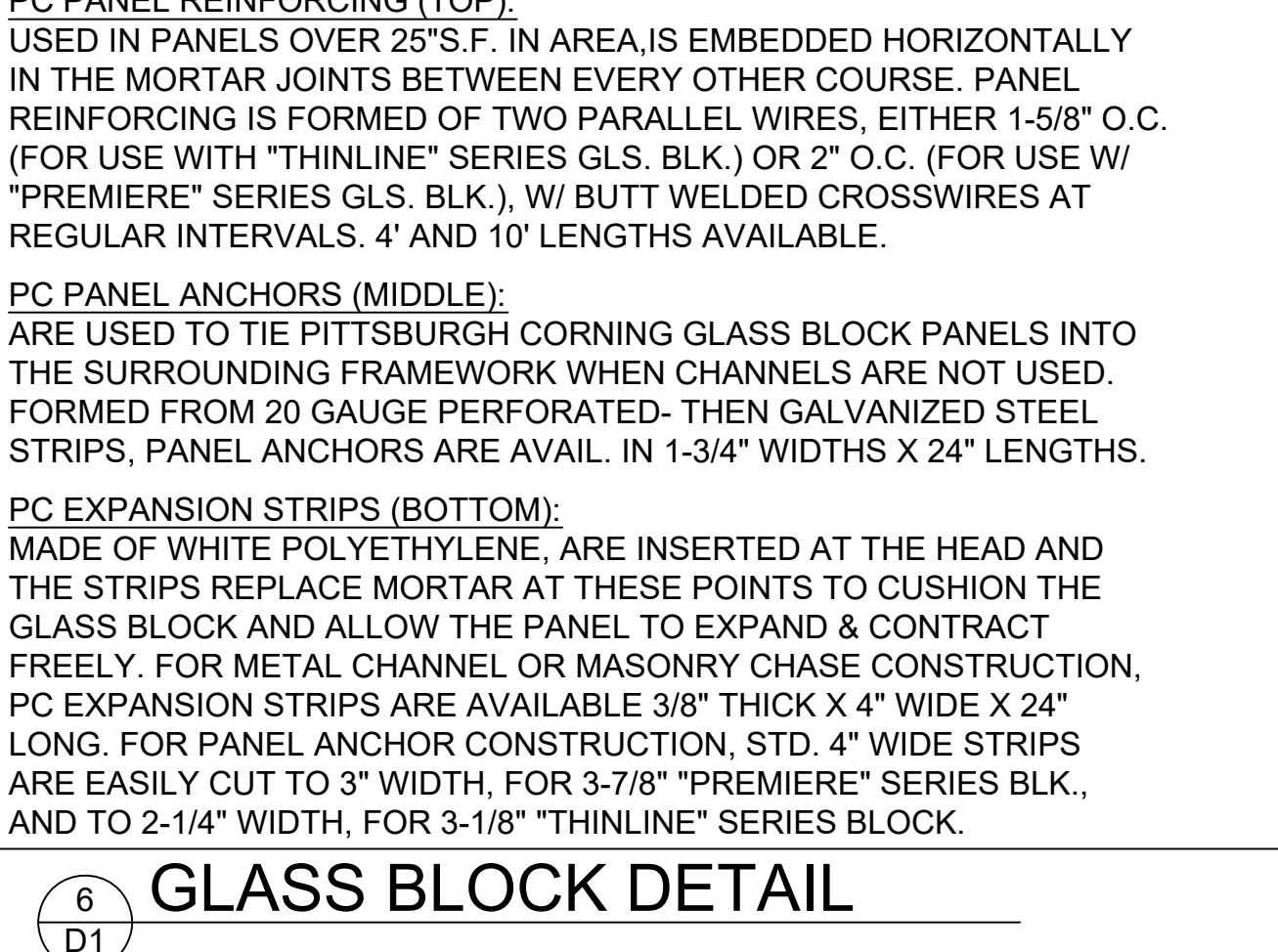
UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
10' OR LESS		2	2	3	3	3	3
		2	2	3	4	5	5
GREATER THAN 10'		2	2	3	4	5	5
		2	2	3	4	5	5



## 8 VALLEY DETAIL



## 6 GLASS BLOCK DETAIL



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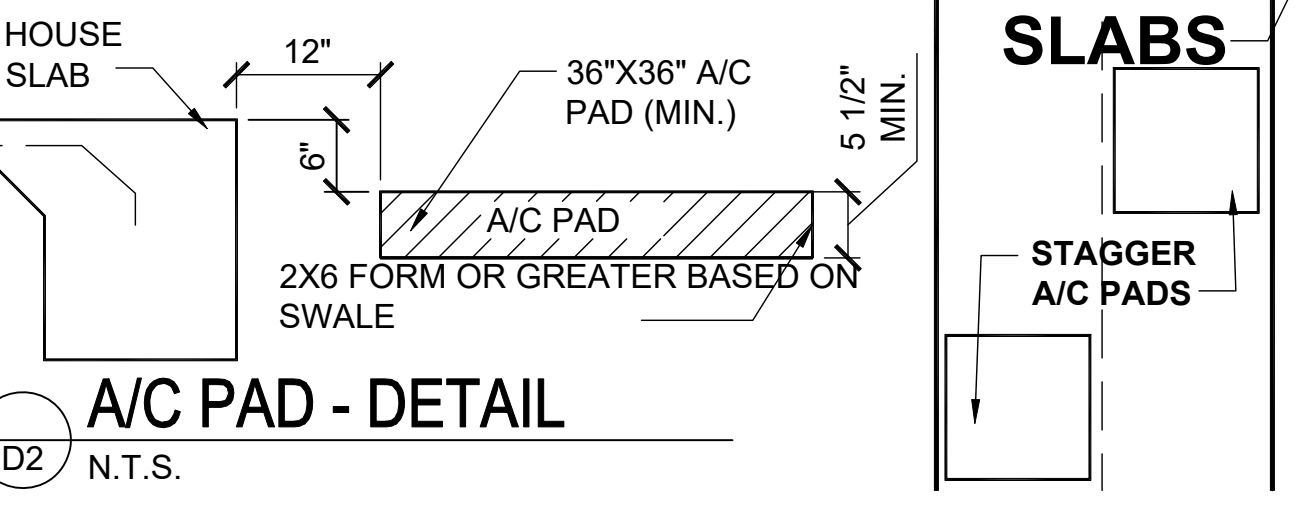
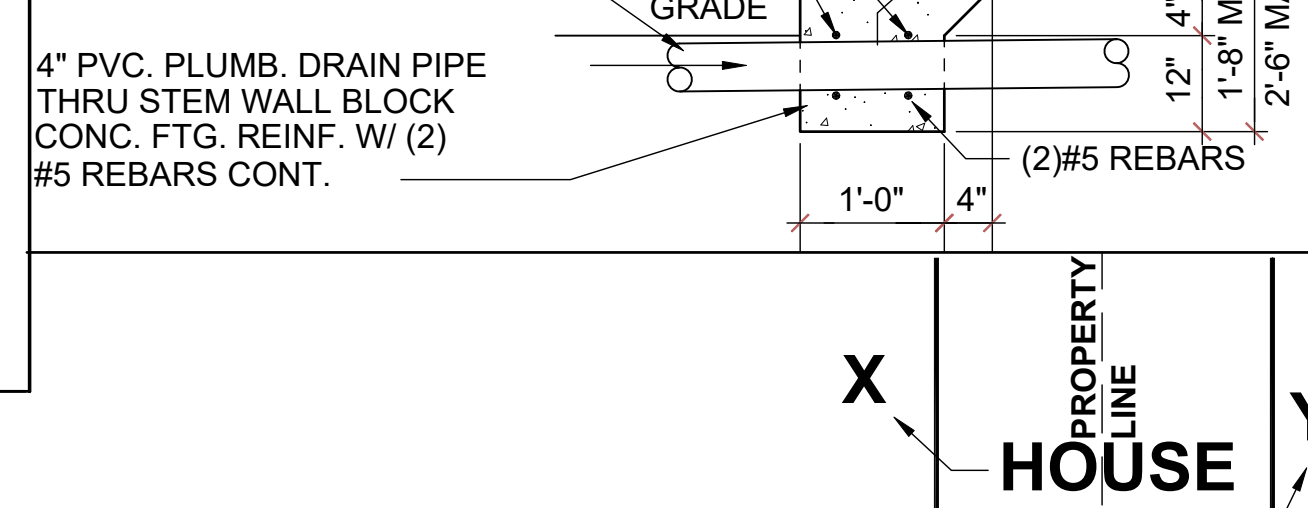
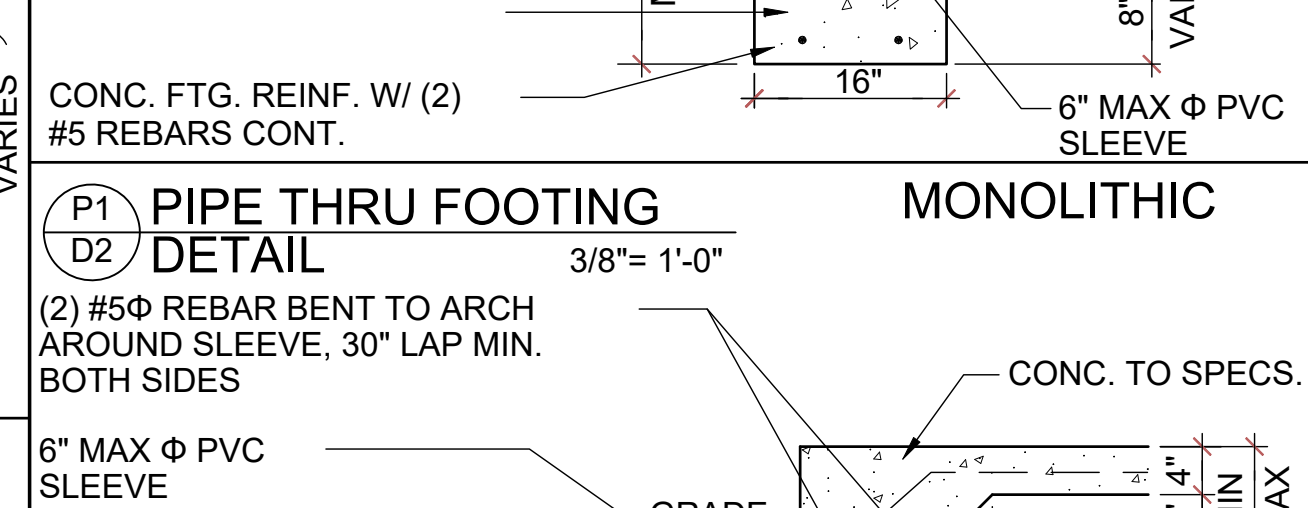
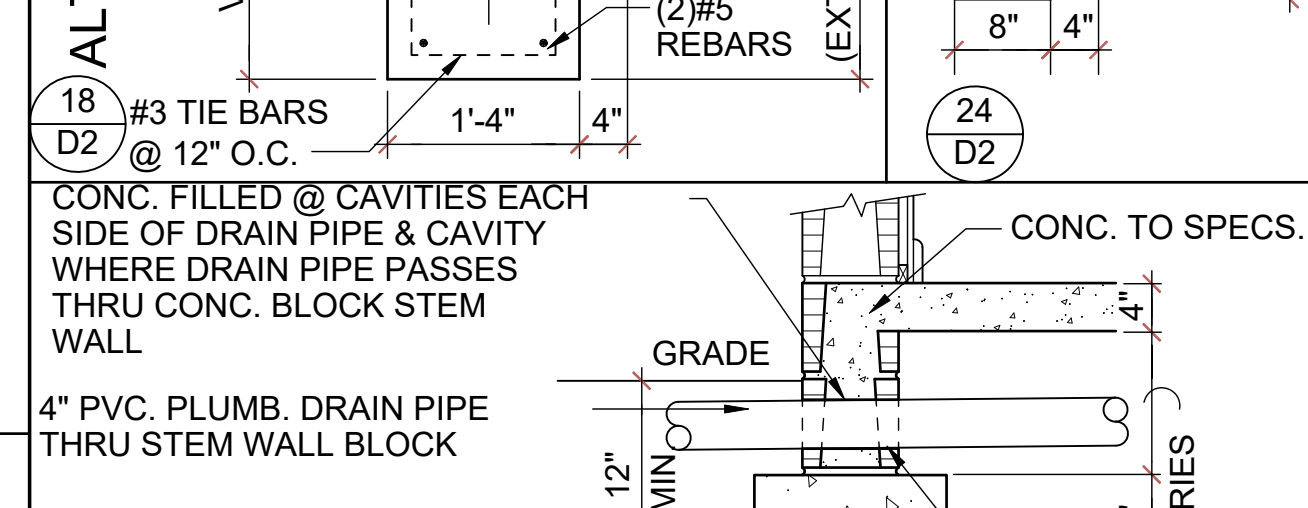
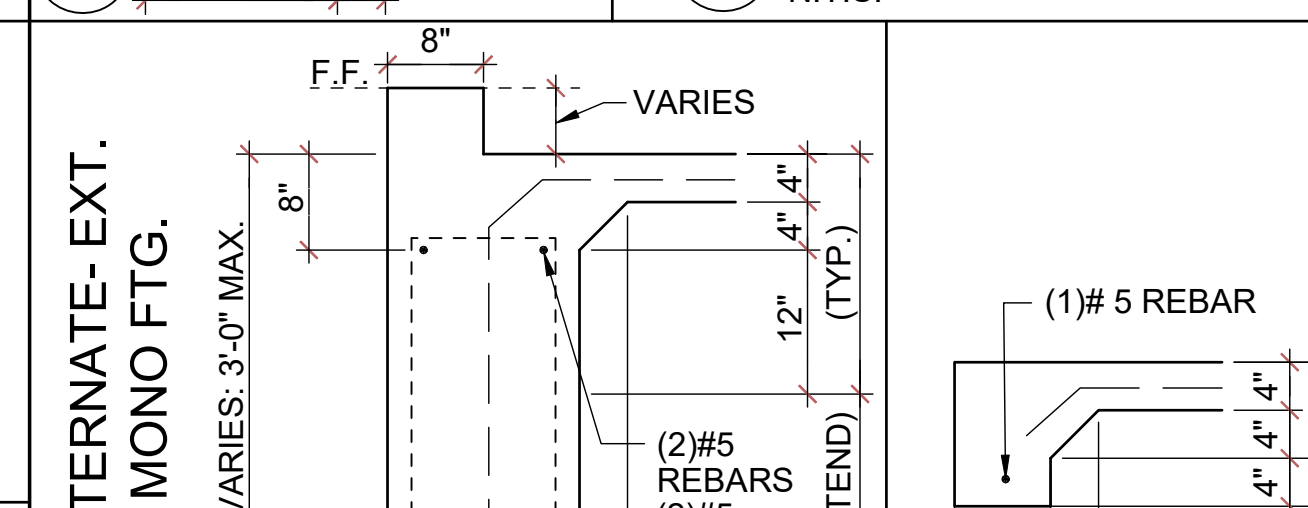
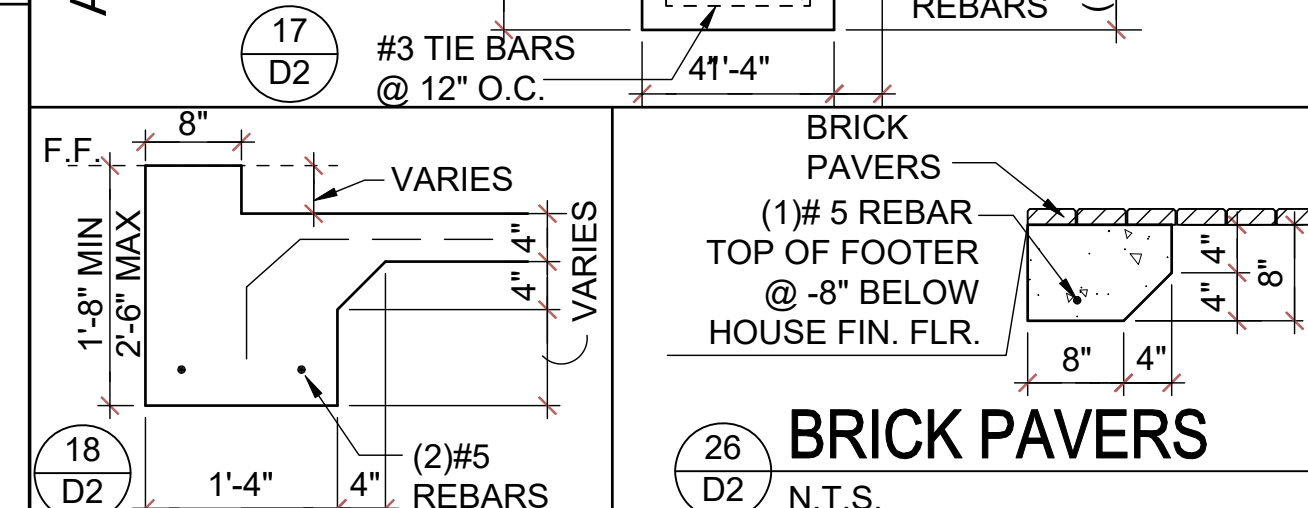
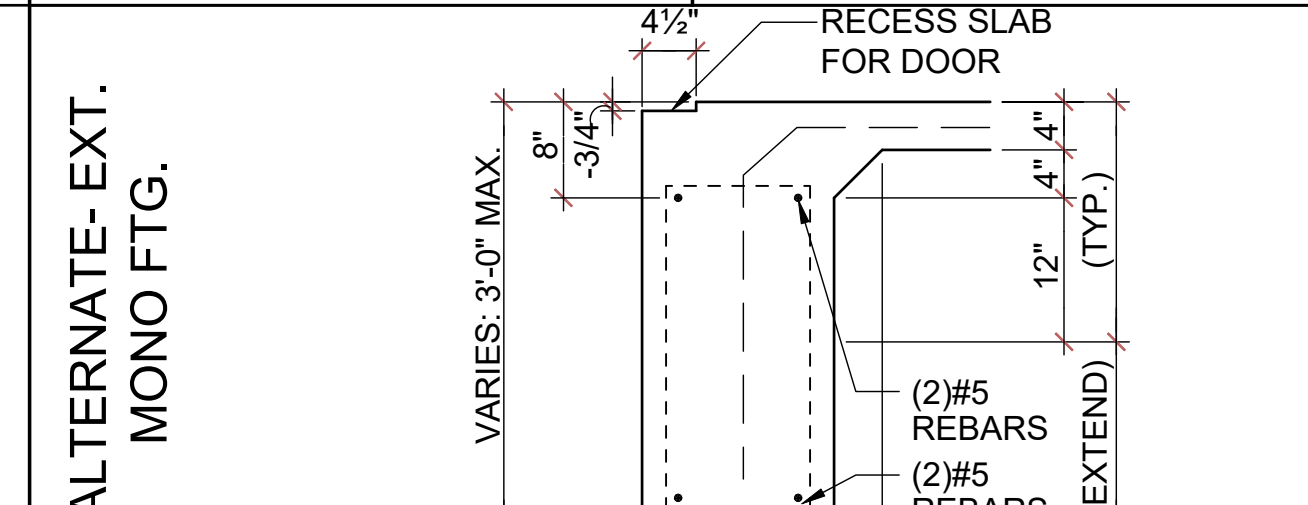
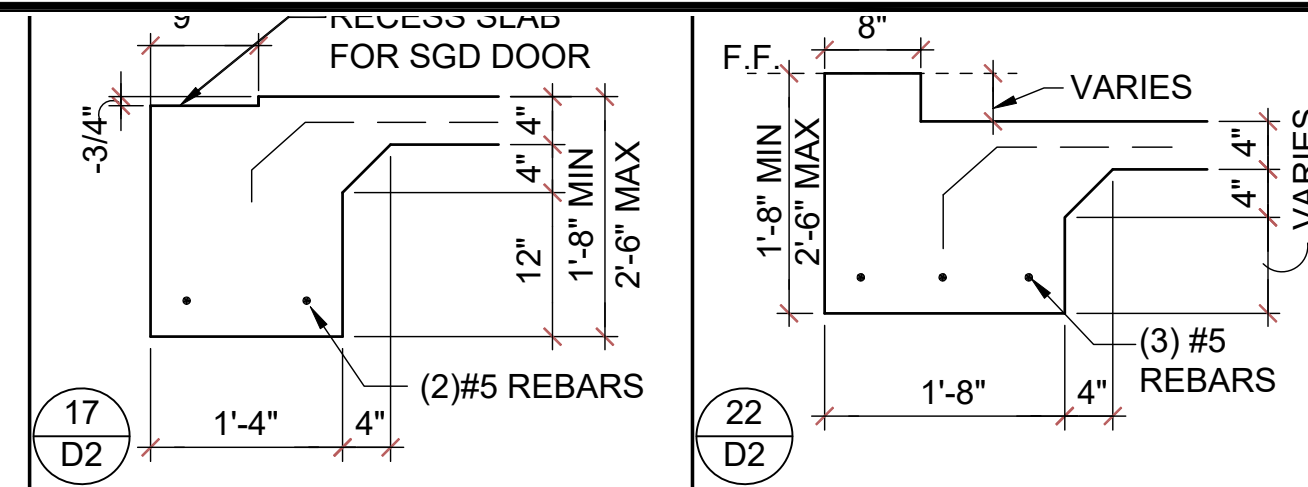
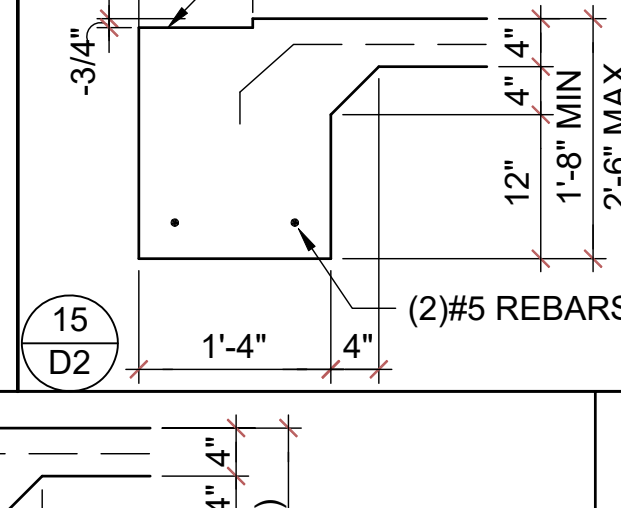
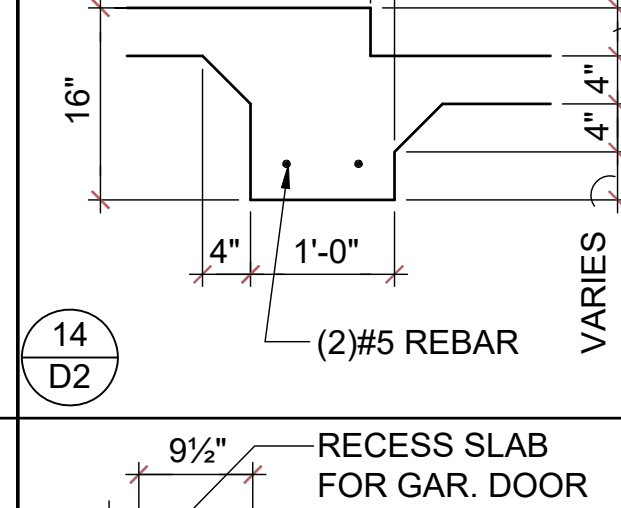
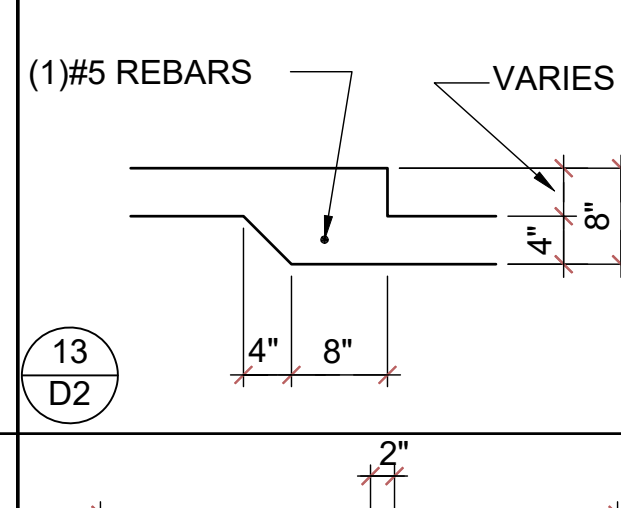
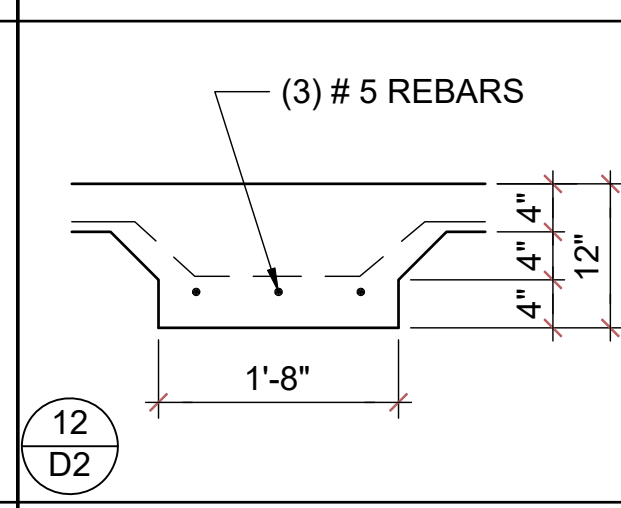
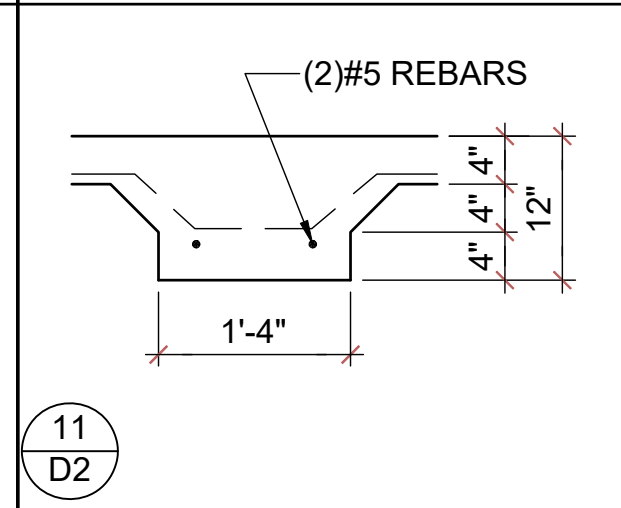
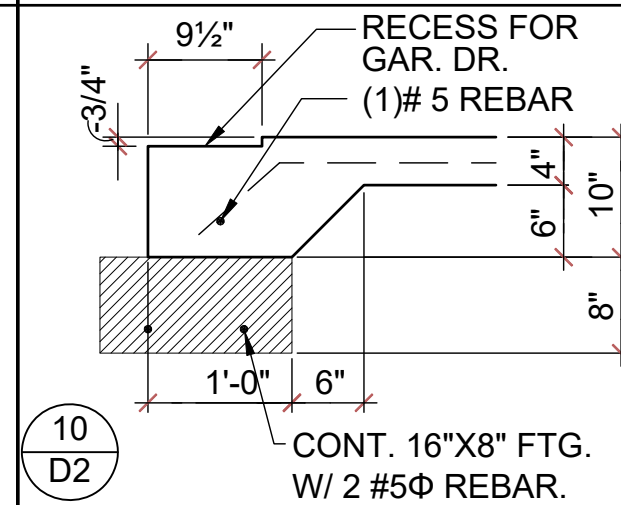
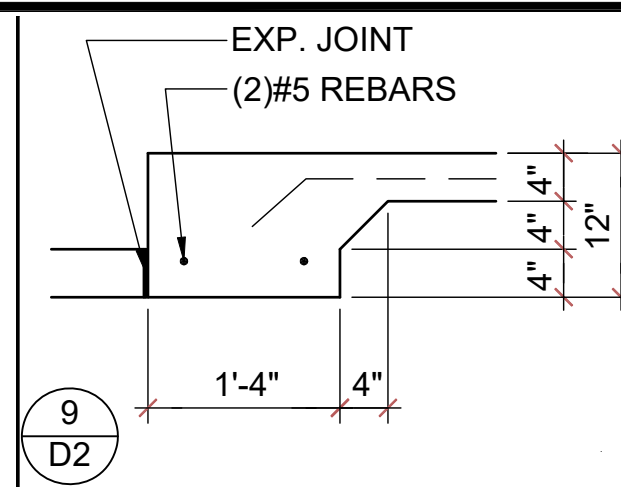
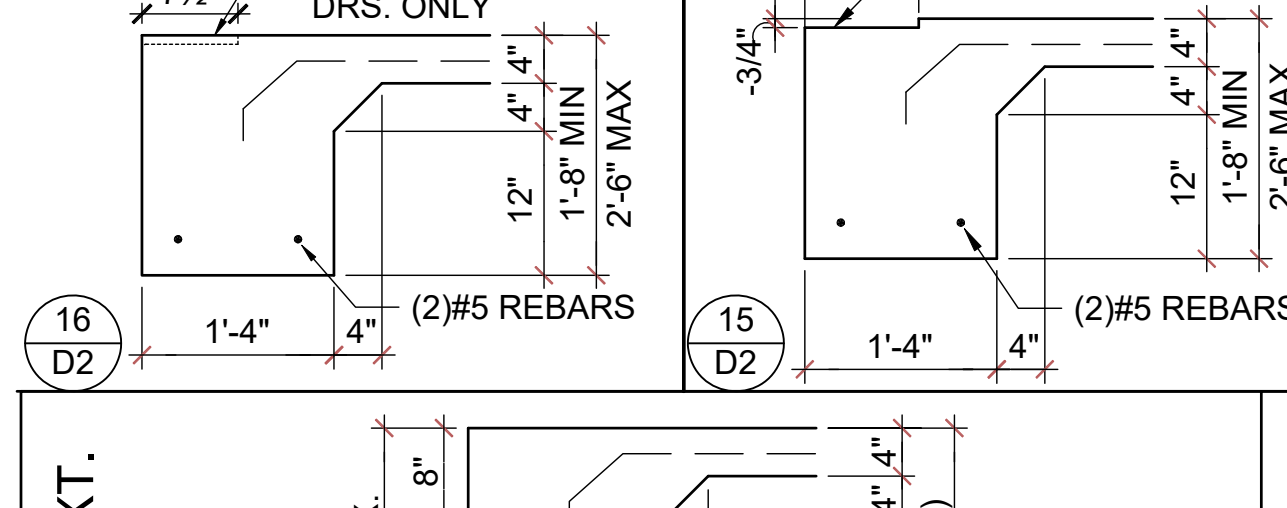
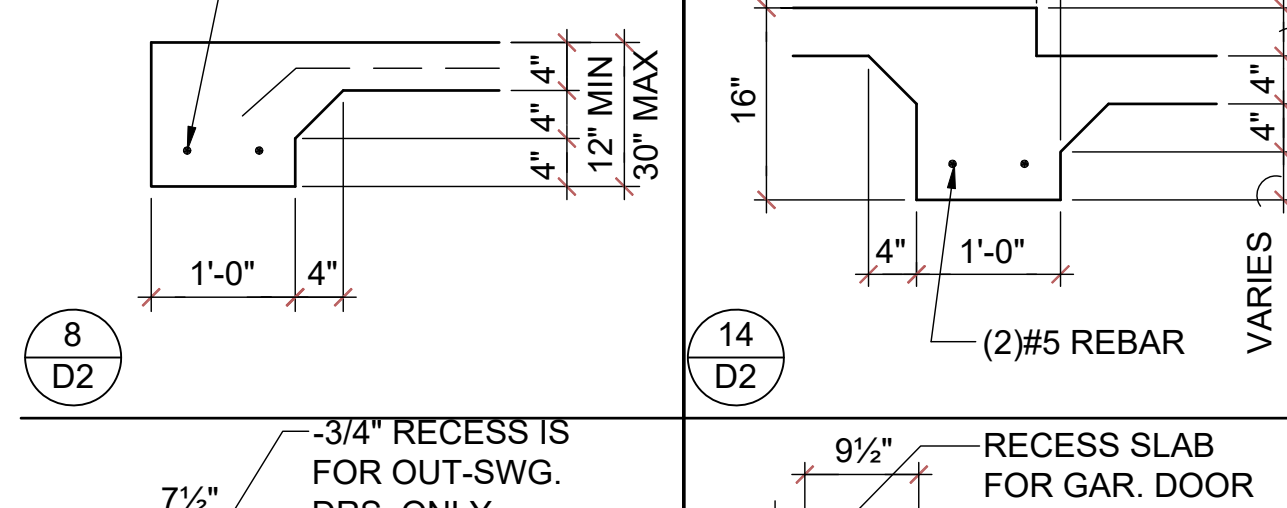
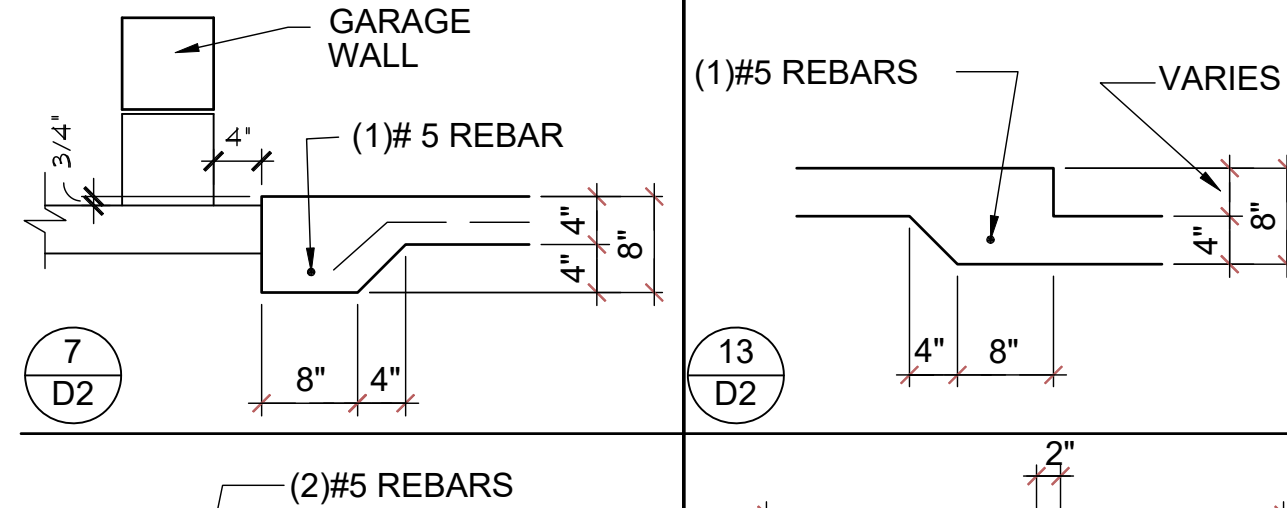
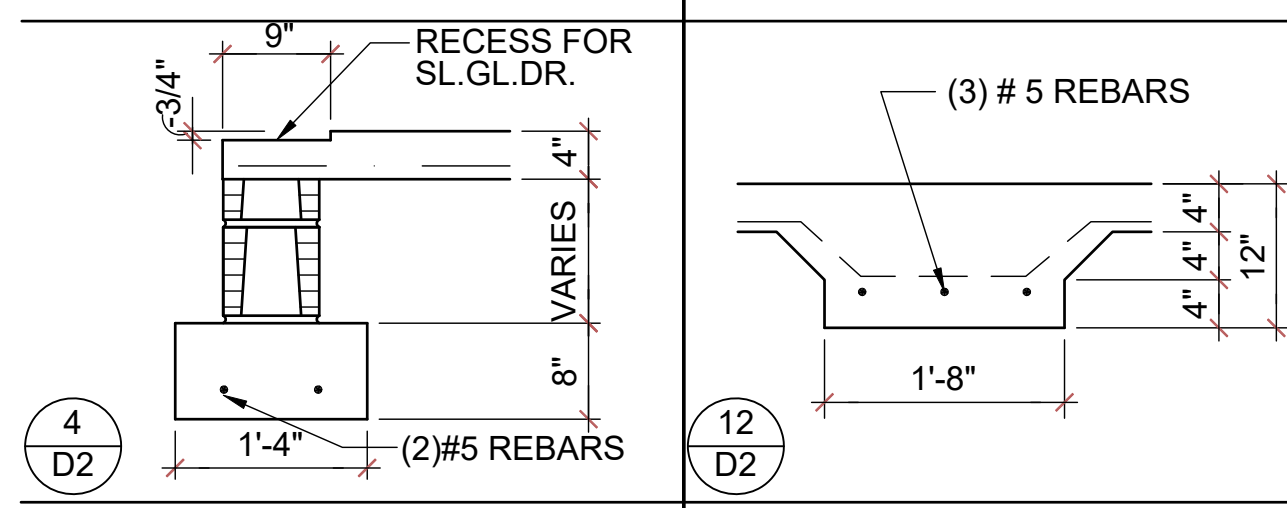
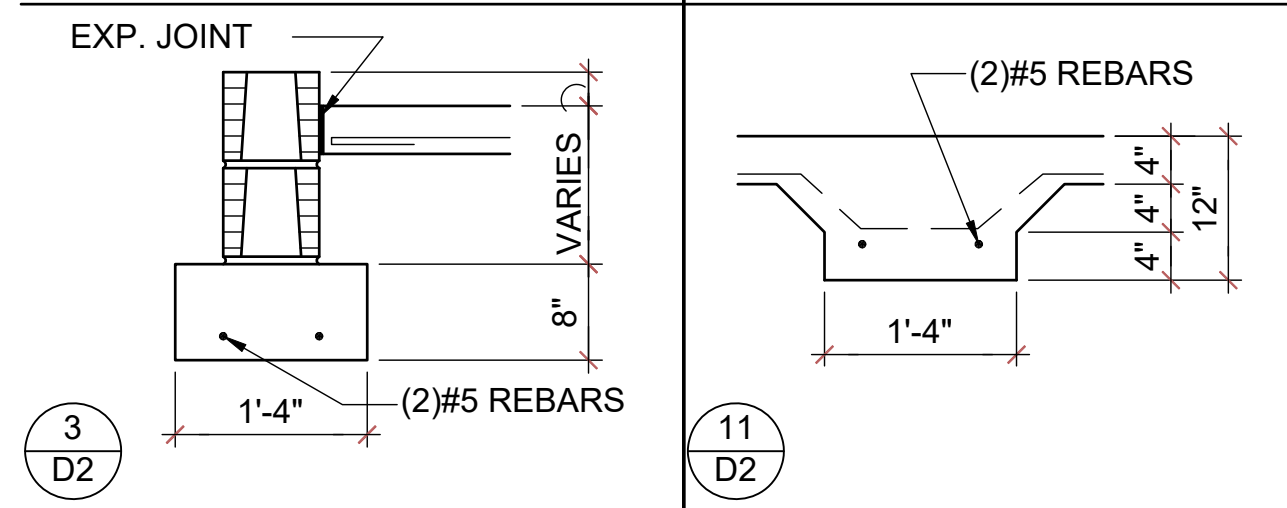
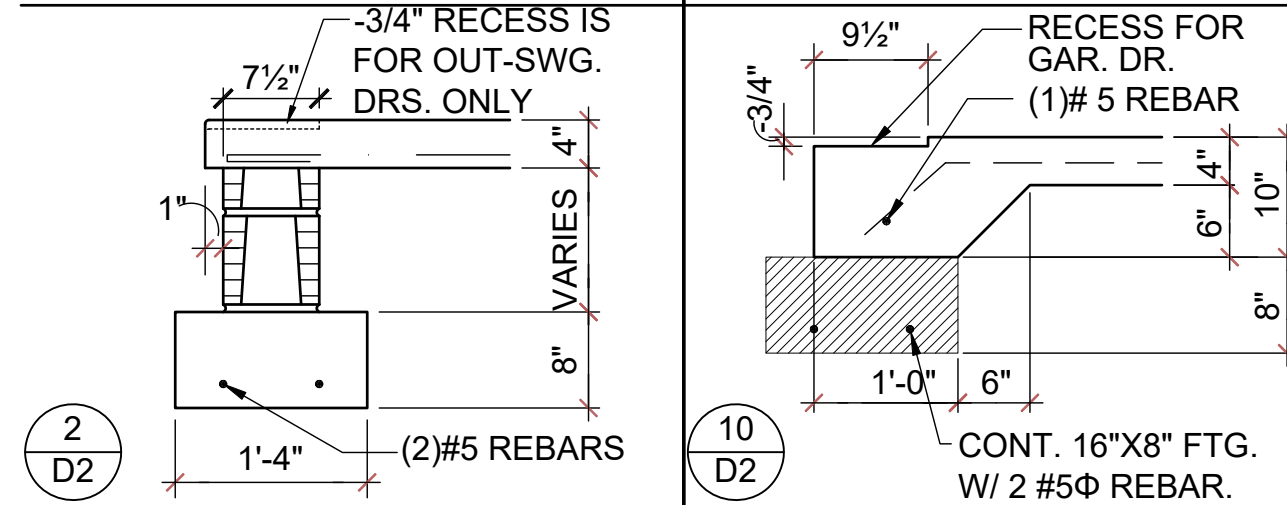
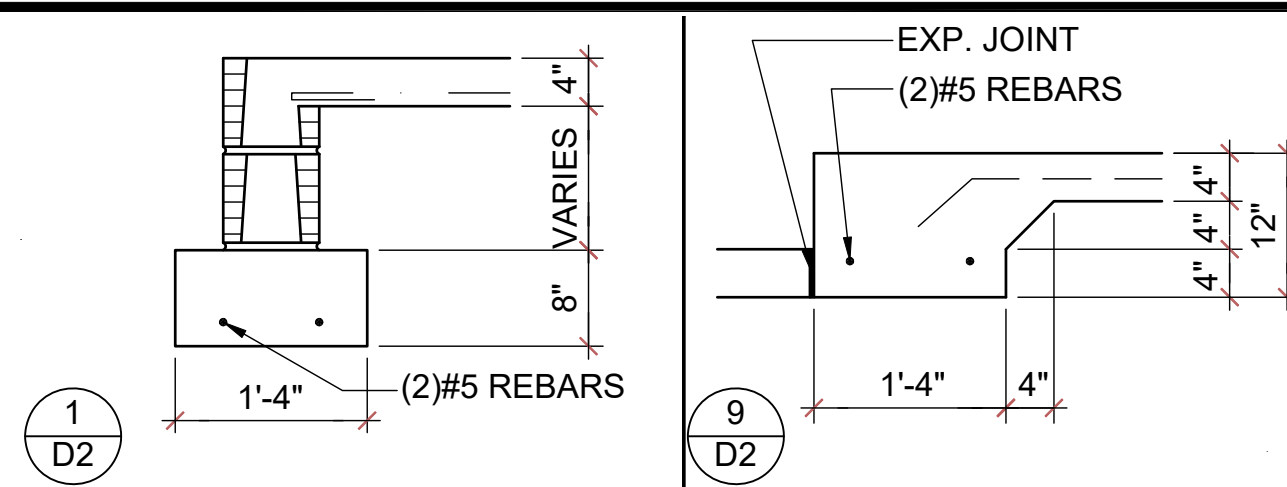
40-1525  
**THE AUGUSTINE**  
Lot # - Subdivision  
Street Address  
City, State, Zip

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5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 11/28/2019  
REVISIONS:  
PROJECT: 19-0273  
SCALE: AS NOTED  
DRAWN BY: FM  
DESIGNED BY: MJS

STRUCTURAL NOTES & DETAILS  
**SD.1**



NOTE: THE ATTACHMENT OF ASPHALT SHINGLES, UNLESS OTHERWISE NOTED, SHALL CONFORM TO ASTM D 3161 (MODIFIED TO 150 MPH) OR M-DC PA 107-95. THE FRC REQUIRES BASE AND CAP FLASHING. SHINGLES OVER BUILDING PAPER OVER 7/16\"/>

PREMANUFACTURED INSULATION Baffle BETWEEN EA. TRUSS  
 4 @ EA. TRUSS W/ UPLIFT OF 1810# OR LESS  
 4 X2 @ EA. TRUSS W/ UPLIFT BETWEEN 1811# & 3620#  
 SEE ROOF PLAN

ALUMINUM DRIP EDGE  
 2X6 SUB FASCIA  
 VENTED ALUM. SOFFIT  
 8\"/>

8\"/>
 PRE CAST LINTEL  
 ALUM. WINDOW (REFER TO FLOOR PLAN & ELEV. FOR DESIGNATIONS)

PRE CAST CONC. SILL  
 8\"/>
 ALTERNATE BRICK VENEER  
 S.E.MTL. WALL TIES @ 16\"/>

#5\"/>
 WOOD BASE  
 FINISH FLOOR

6 MIL POLYETHERYLENE VAPOR BARRIER 6\"/>
 #5 DOWELS SEE FOUND. FOR LOCATION  
 3\"/>
 CONC. FTG. REINFORCED W/ (2)#5 REBARS CONT.

EXTEND FTG. 4\"/>
 HOUSE SLABS  
 STAGGER A/C PADS  
 3/4\"/>
 TYPICAL WALL SECTION W/ STEM WALL FOOTING

NOTE: THE ATTACHMENT OF ASPHALT SHINGLES, UNLESS OTHERWISE NOTED, SHALL CONFORM TO ASTM D 3161 (MODIFIED TO 150 MPH) OR M-DC PA 107-95. THE FRC REQUIRES BASE AND CAP FLASHING. SHINGLES OVER BUILDING PAPER OVER 7/16\"/>

PREMANUFACTURED INSULATION Baffle BETWEEN EA. TRUSS  
 4 @ EA. TRUSS W/ UPLIFT OF 1810# OR LESS  
 4 X2 @ EA. TRUSS W/ UPLIFT BETWEEN 1811# & 3620#  
 SEE ROOF PLAN

ALUMINUM DRIP EDGE  
 2X6 SUB FASCIA  
 VENTED ALUM. SOFFIT  
 8\"/>

8\"/>
 PRE CAST LINTEL  
 ALUM. WINDOW (REFER TO FLOOR PLAN & ELEV. FOR DESIGNATIONS)

PRE CAST CONC. SILL  
 8\"/>
 ALTERNATE BRICK VENEER  
 S.E.MTL. WALL TIES @ 16\"/>

#5\"/>
 WOOD BASE  
 FINISH FLOOR

6 MIL POLYETHERYLENE VAPOR BARRIER 6\"/>
 #5 DOWELS SEE FOUND. FOR LOCATION  
 3\"/>
 CONC. FTG. REINFORCED W/ (2)#5 REBARS CONT. - SEE FOUNDATION PLAN  
 6 MIL POLYETHERYLENE VAPOR BARRIER 6\"/>

EXTEND FTG. 4\"/>
 HOUSE SLABS  
 STAGGER A/C PADS  
 3/4\"/>
 TYPICAL WALL SECTION W/ MONOLITHIC FOOTING

40-1525  
**THE AUGUSTINE**  
 Lot # - Subdivision  
 Street Address  
 City, State, Zip

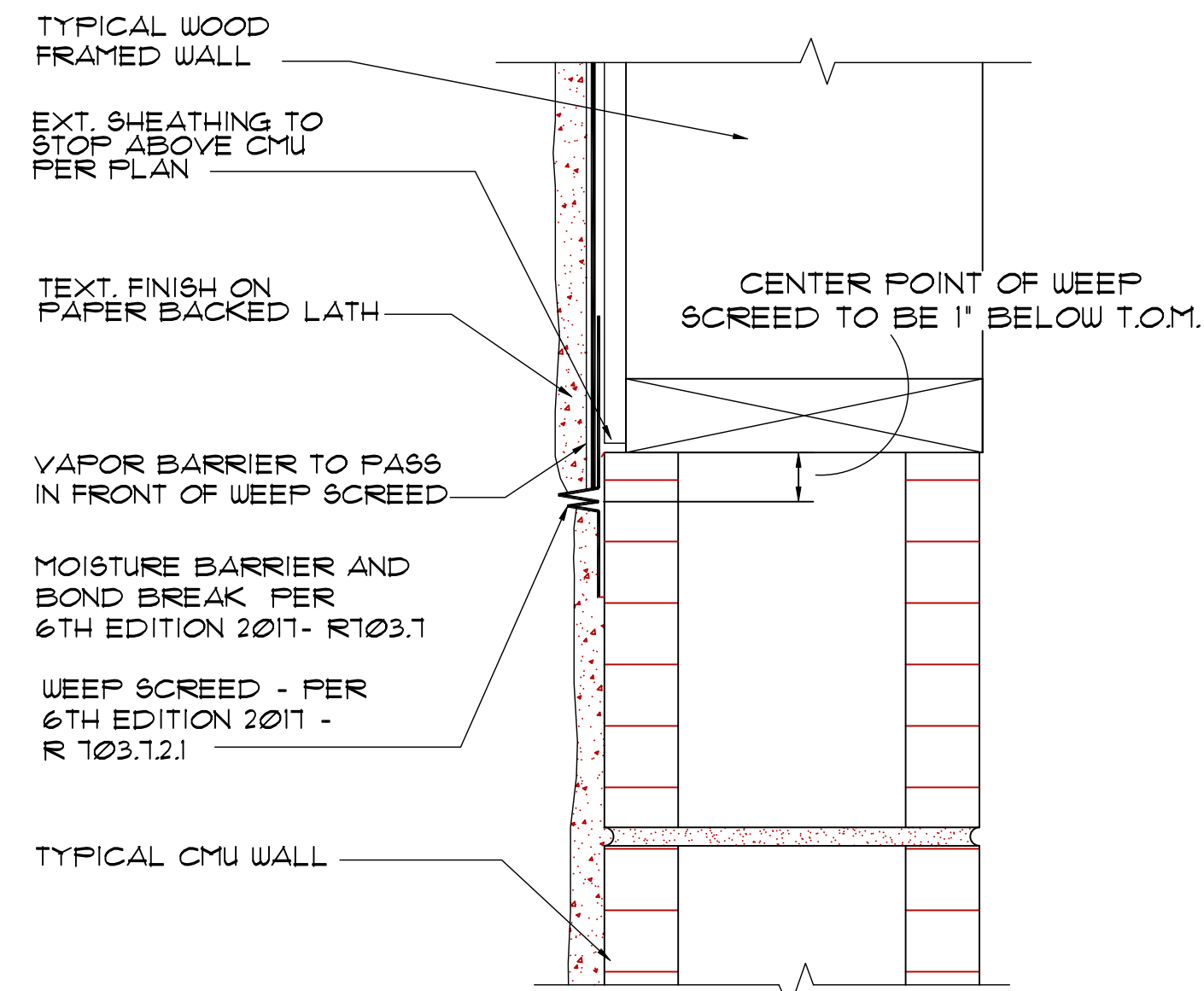
815 Orienta Ave. Suite# 1040  
 Altamonte Springs, FL 32701  
 Ph: (407) 629-6711  
 Fax: (407) 629-6776  
 www.mjshomedesigns.com

**MJS**  
 CUSTOM HOME DESIGN  
 DESIGNERS - PLANNERS

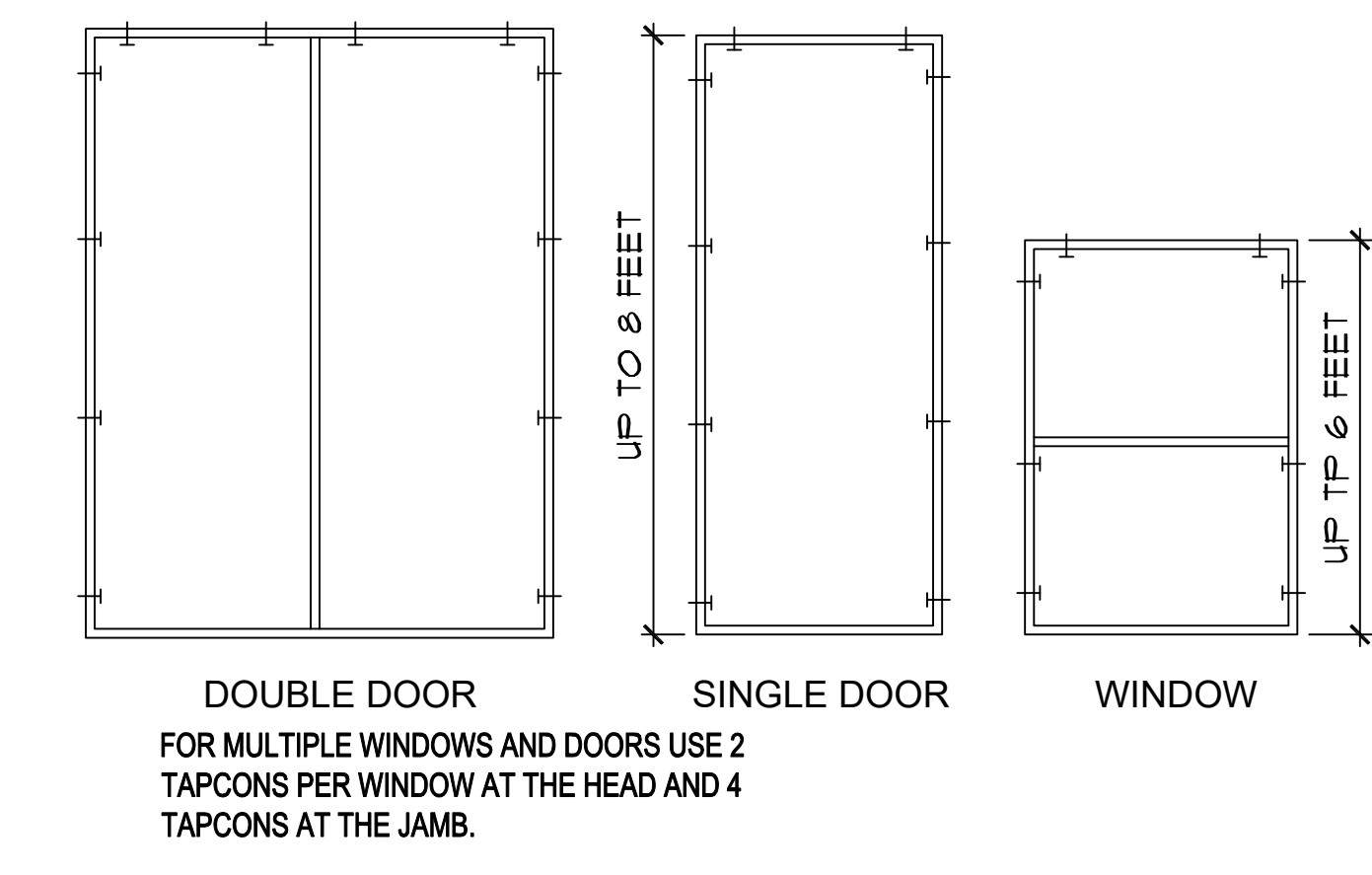
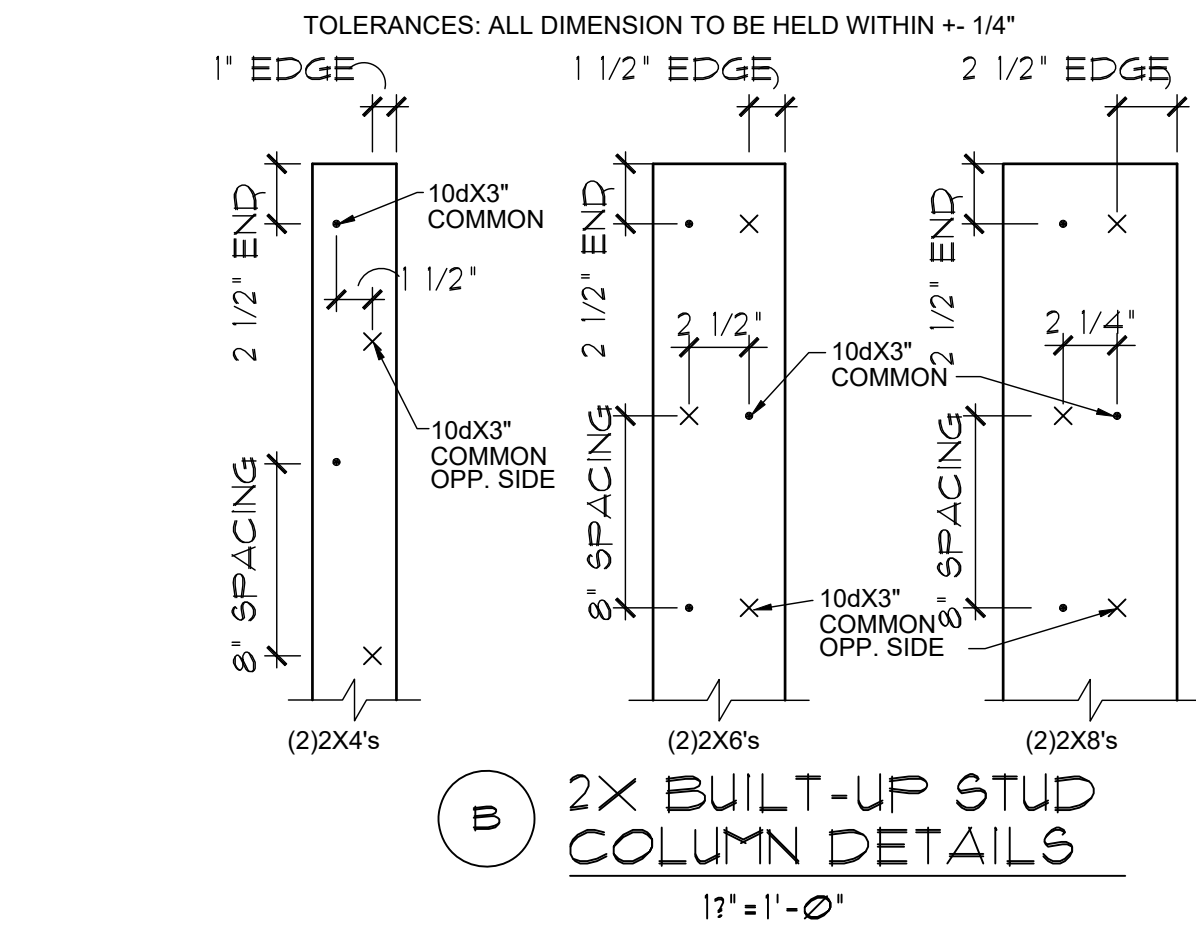
**ITEG**  
 THOMPSON ENGINEERING GROUP, INC.  
 4401 Vineland Road Suite A6  
 Orlando, FL 32811  
 Ph: (407) 734-1450 Fax: (407) 734-1790  
 www.iteg.com

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 REVISIONS  
 PROJECT: 19-0273  
 SCALE: AS NOTED  
 DRAWN BY: FM  
 DESIGNED BY: MJS

STRUCTURAL DETAILS  
**SD.2**



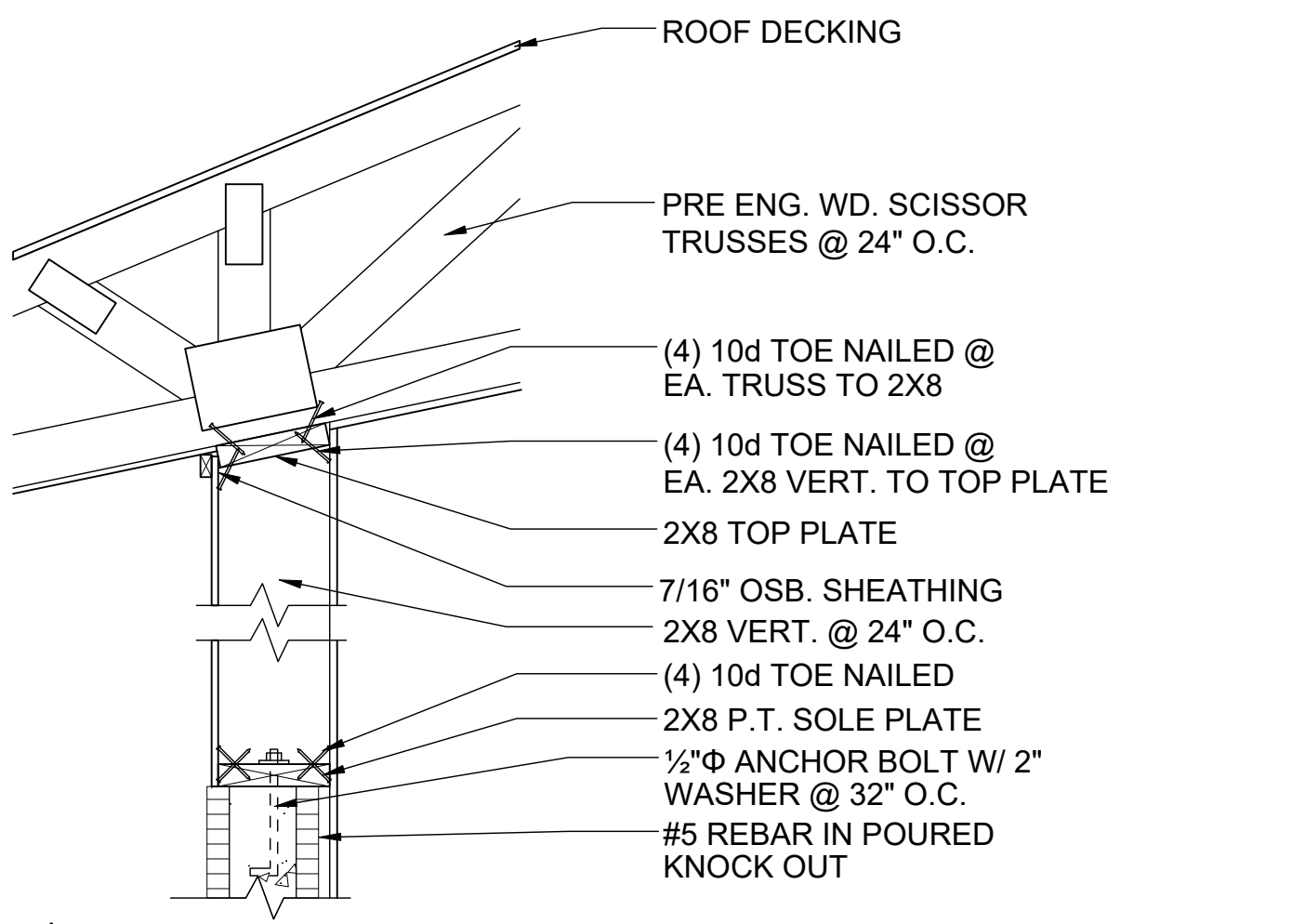
**FLASHING DETAIL**  
D3



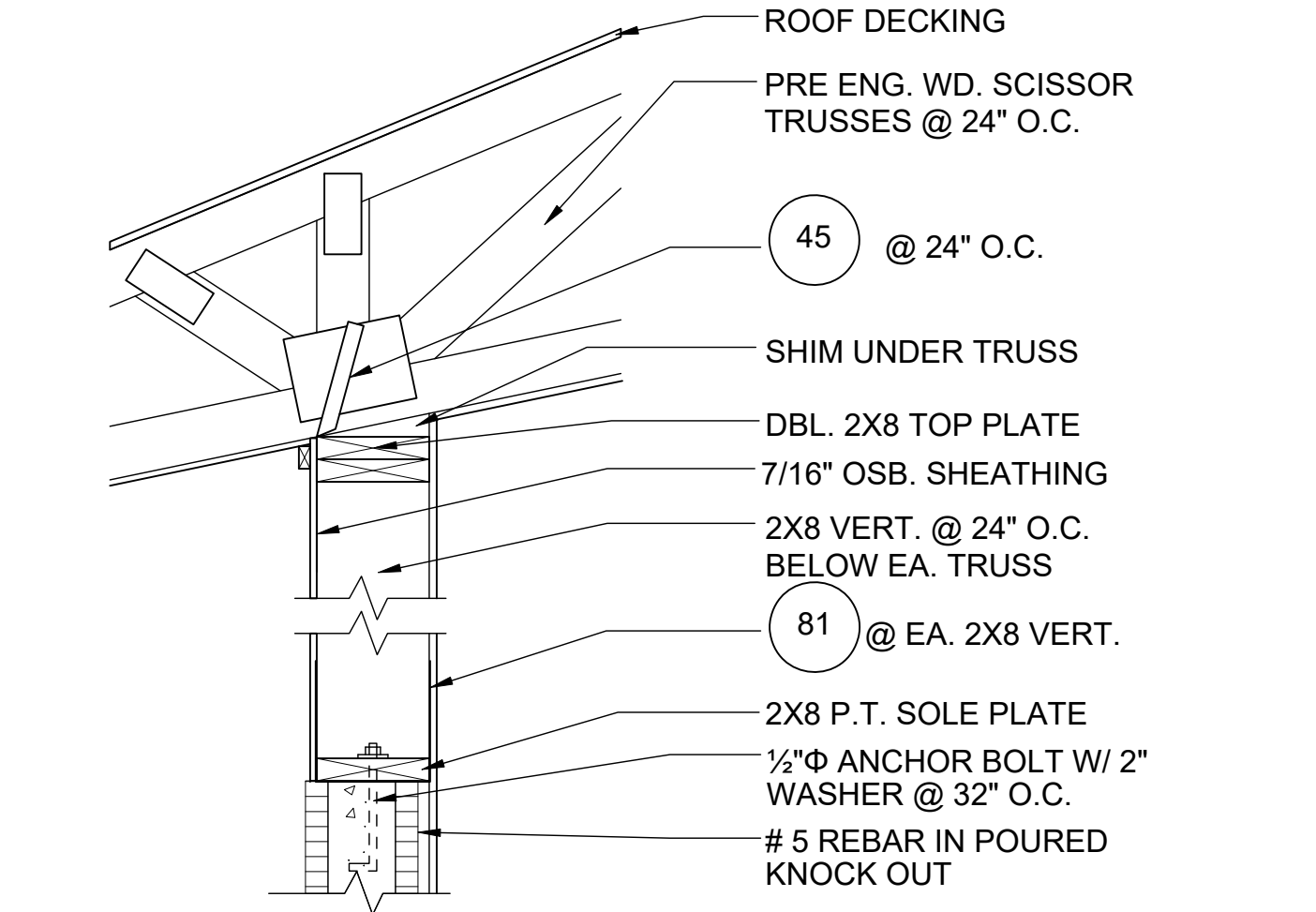
**BUCK ATTACHMENT DATA**  
BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN PINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

USE MIN. 2-1/4" T-NAILS W/ 1x BUCK. USE MIN. -1/4" x 3" TAPCONS W/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

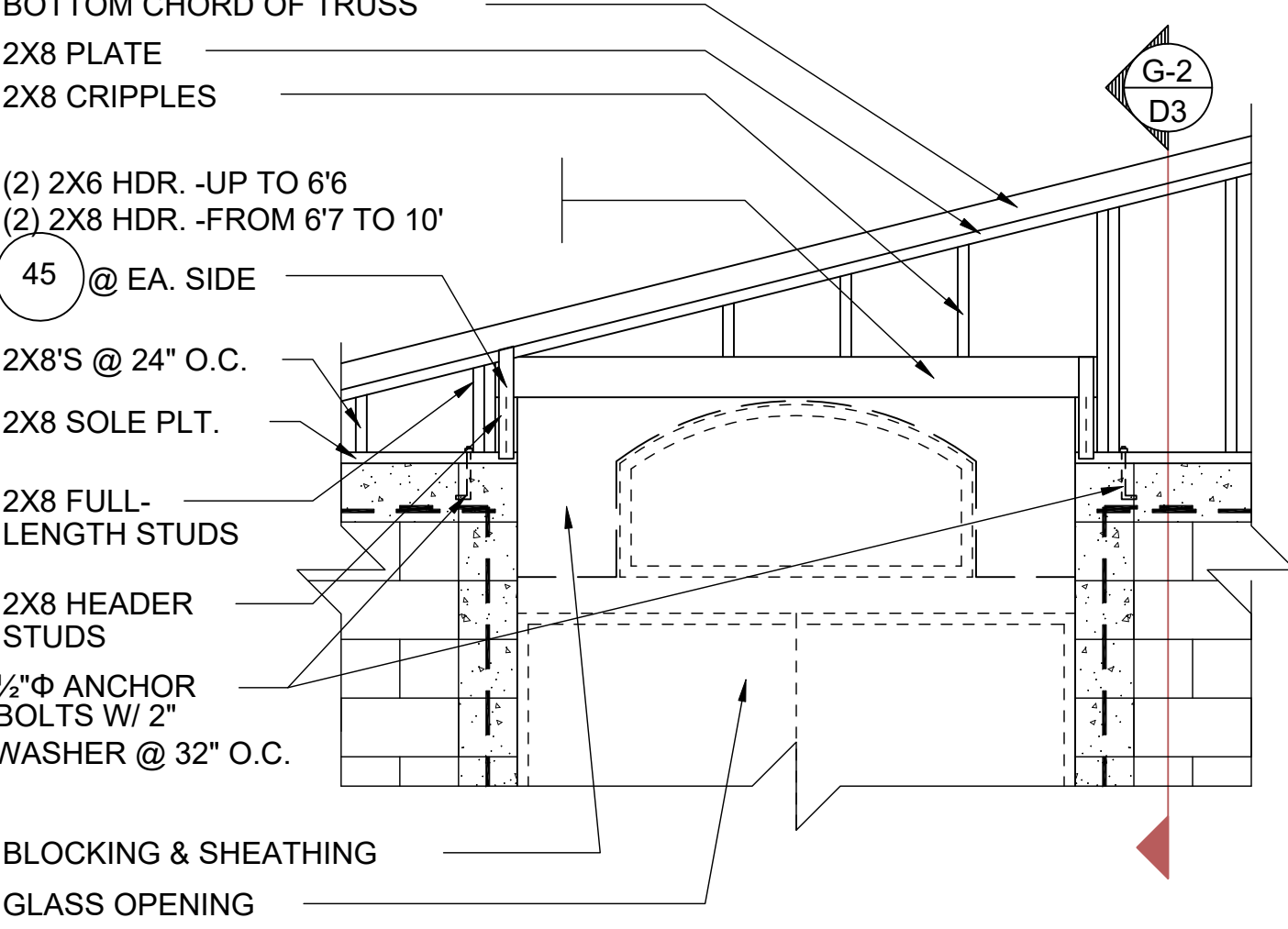
**NOTE**  
IN CASE OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3" FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4"x1-3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



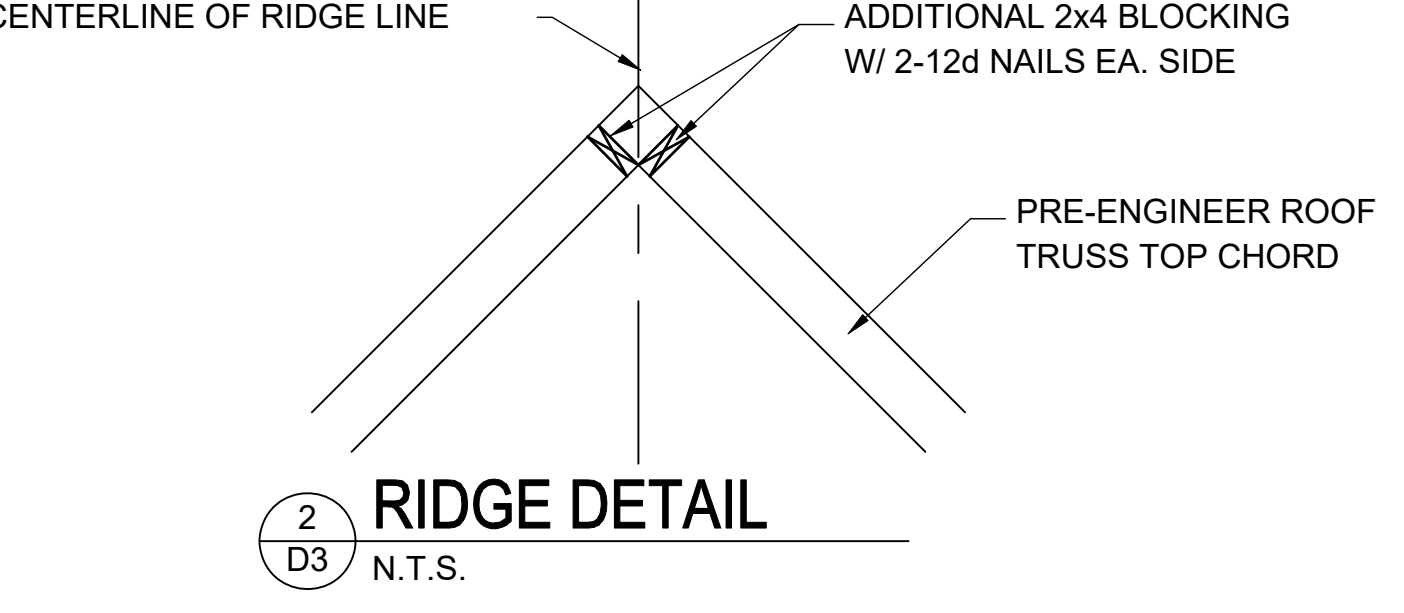
**NON-BEARING**  
D3



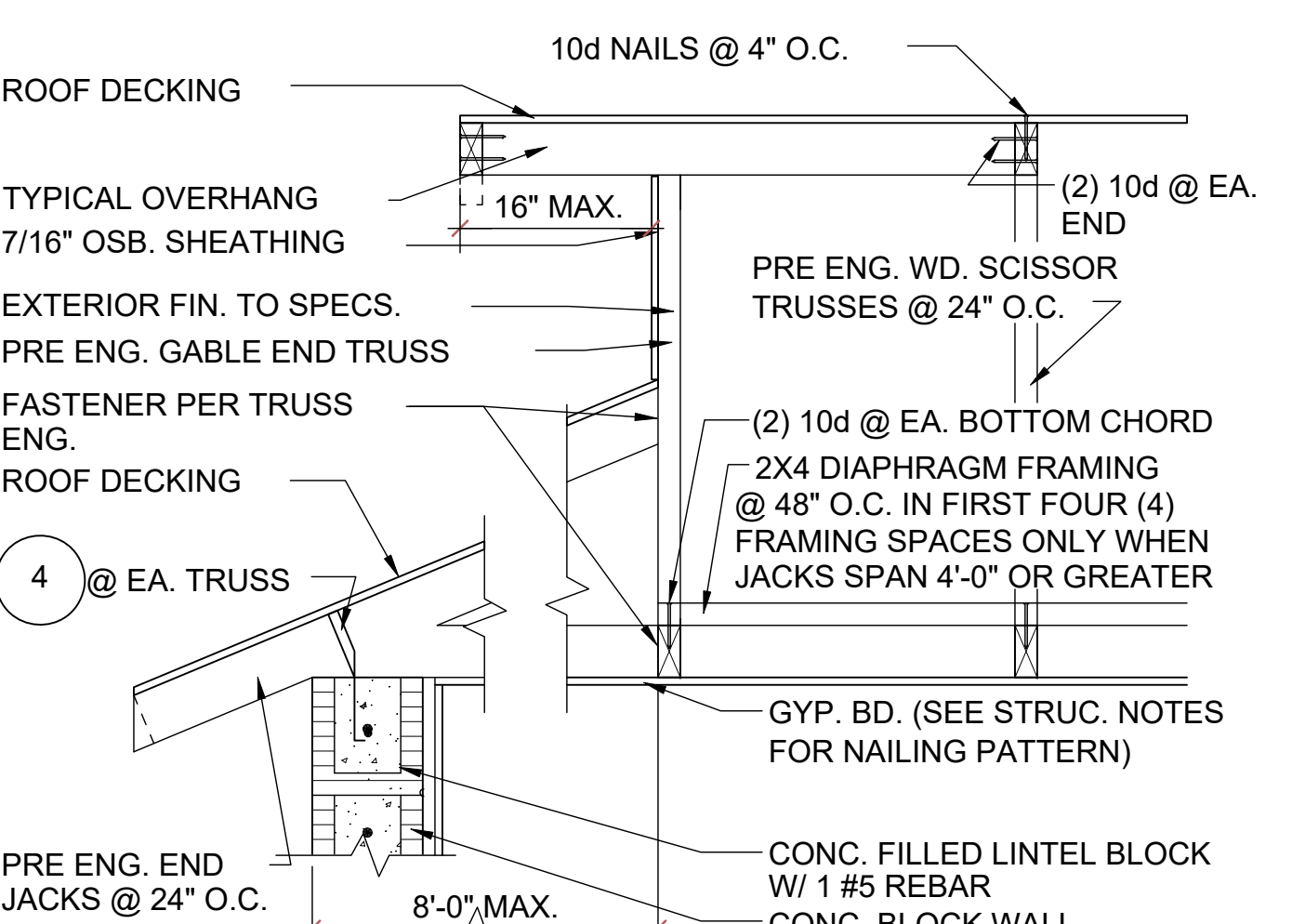
**BEARING**  
D3



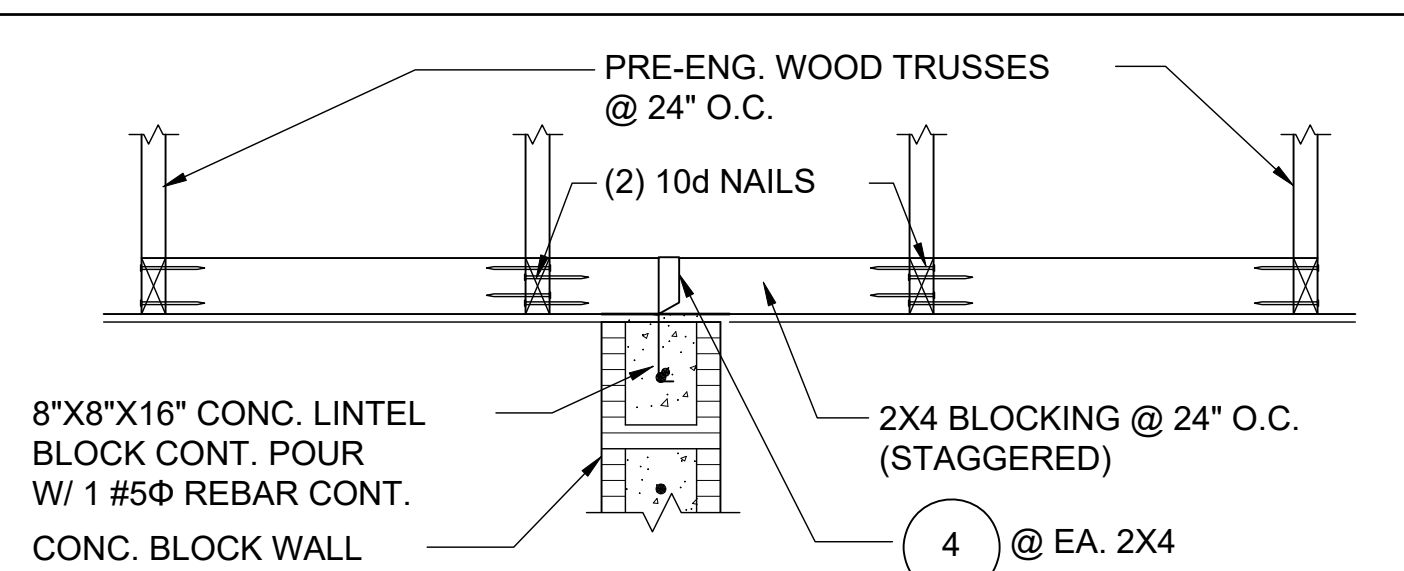
**GABLE END**  
D3



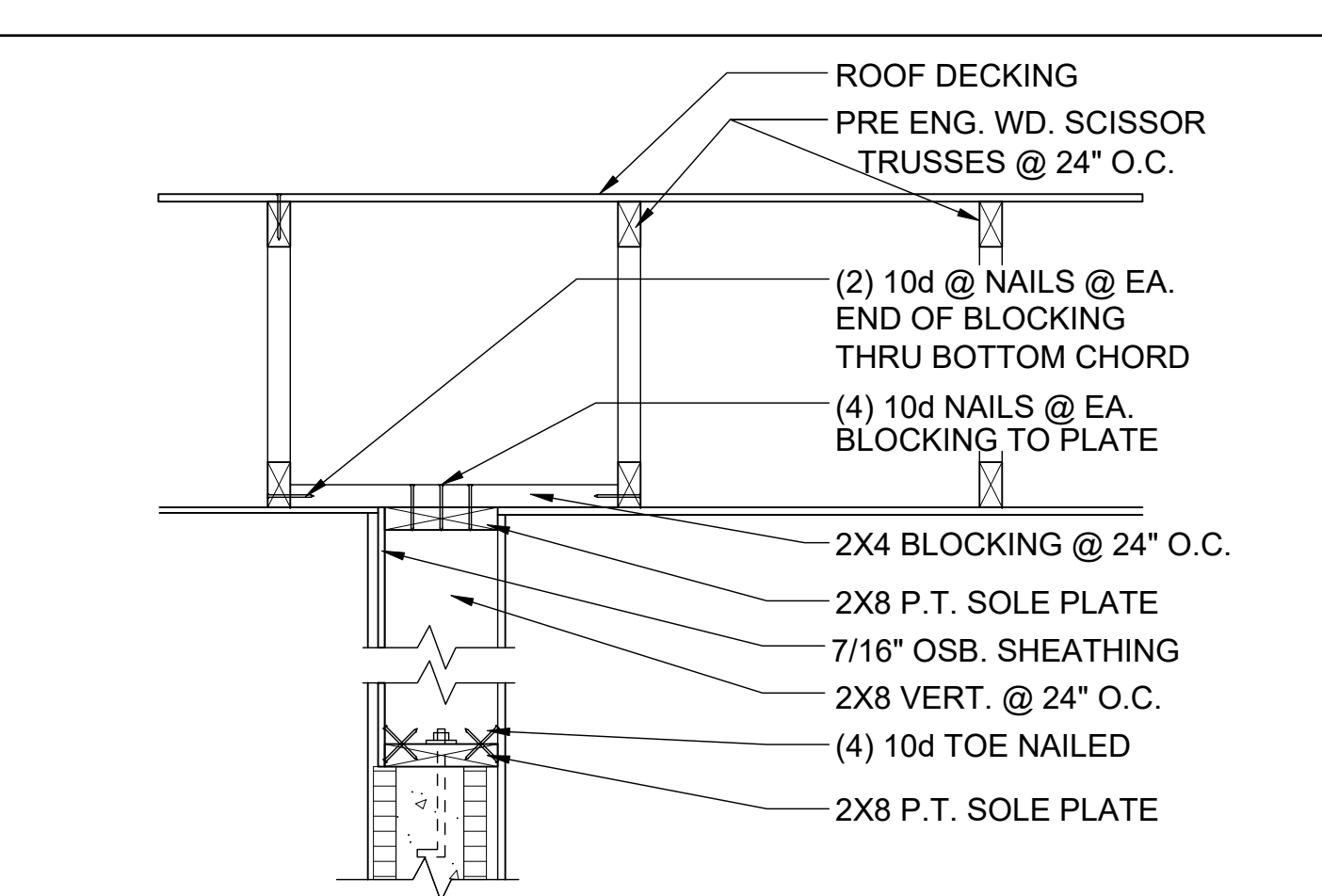
**RIDGE DETAIL**  
D3



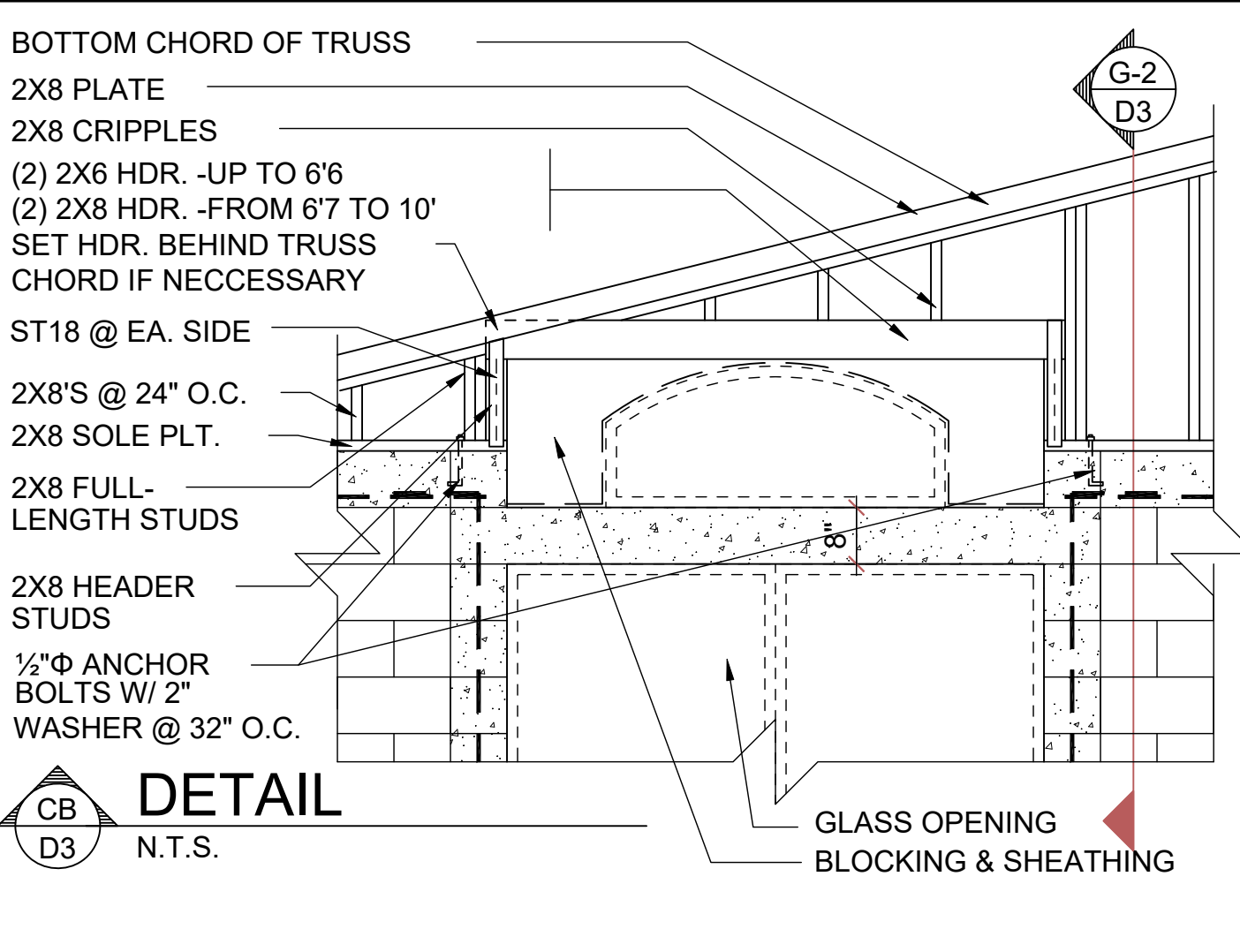
**GABLE END**  
D3



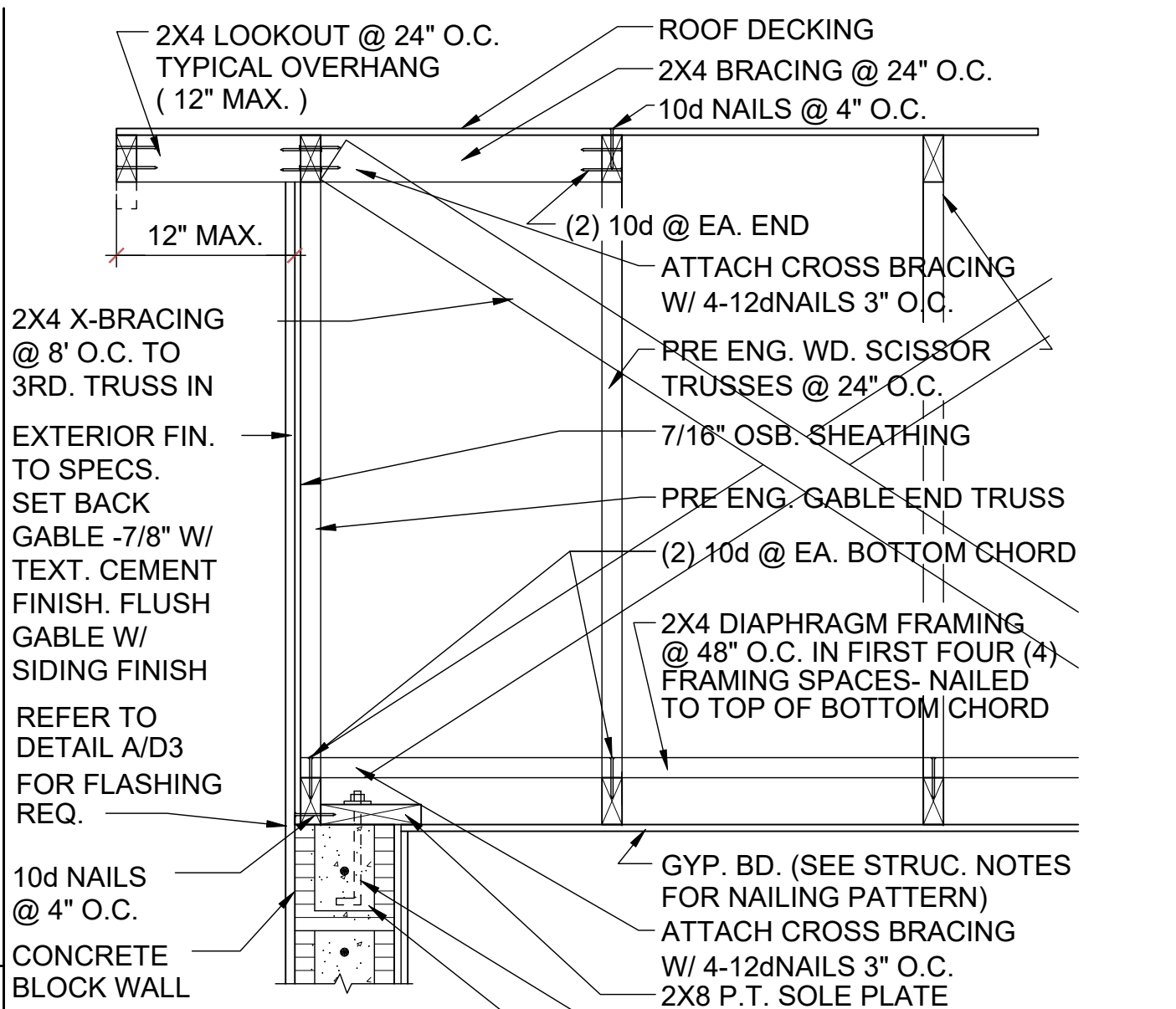
**DETAIL**  
D3



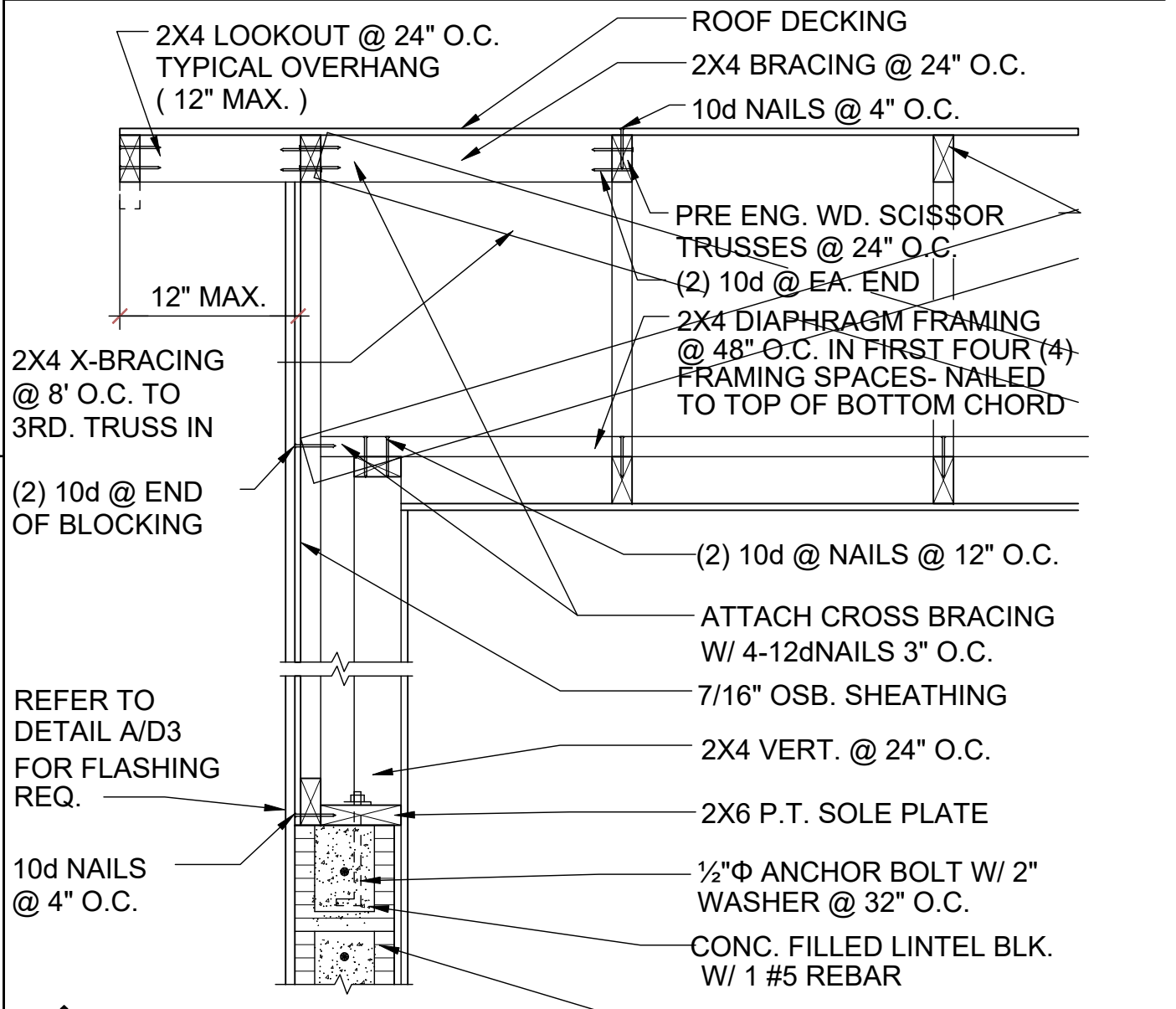
**GABLE END**  
D3



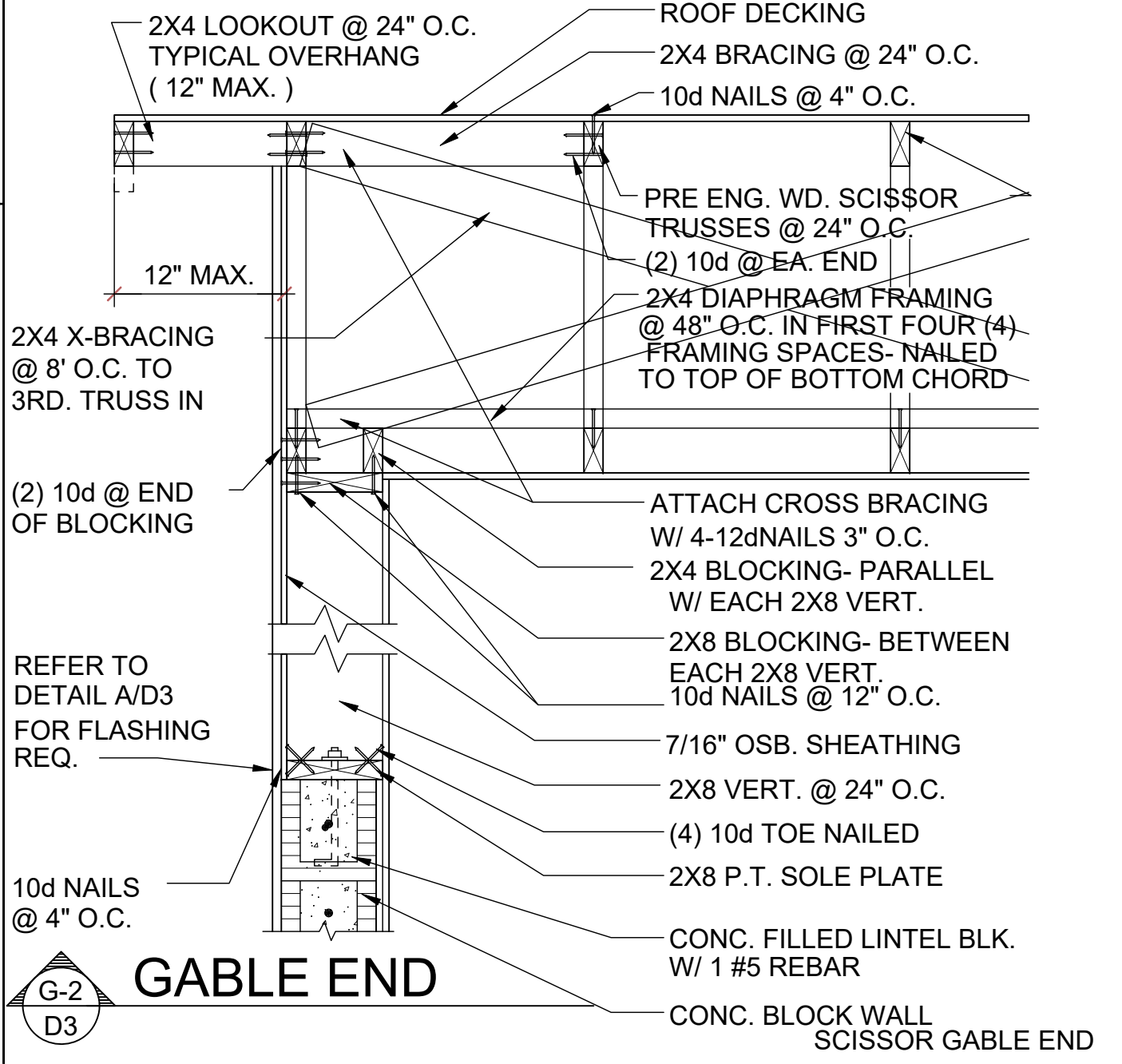
**DETAIL**  
D3



**GABLE END**  
D3



**GABLE END**  
D3



**GABLE END**  
D3

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**MJS**  
DESIGNERS - PLANNERS

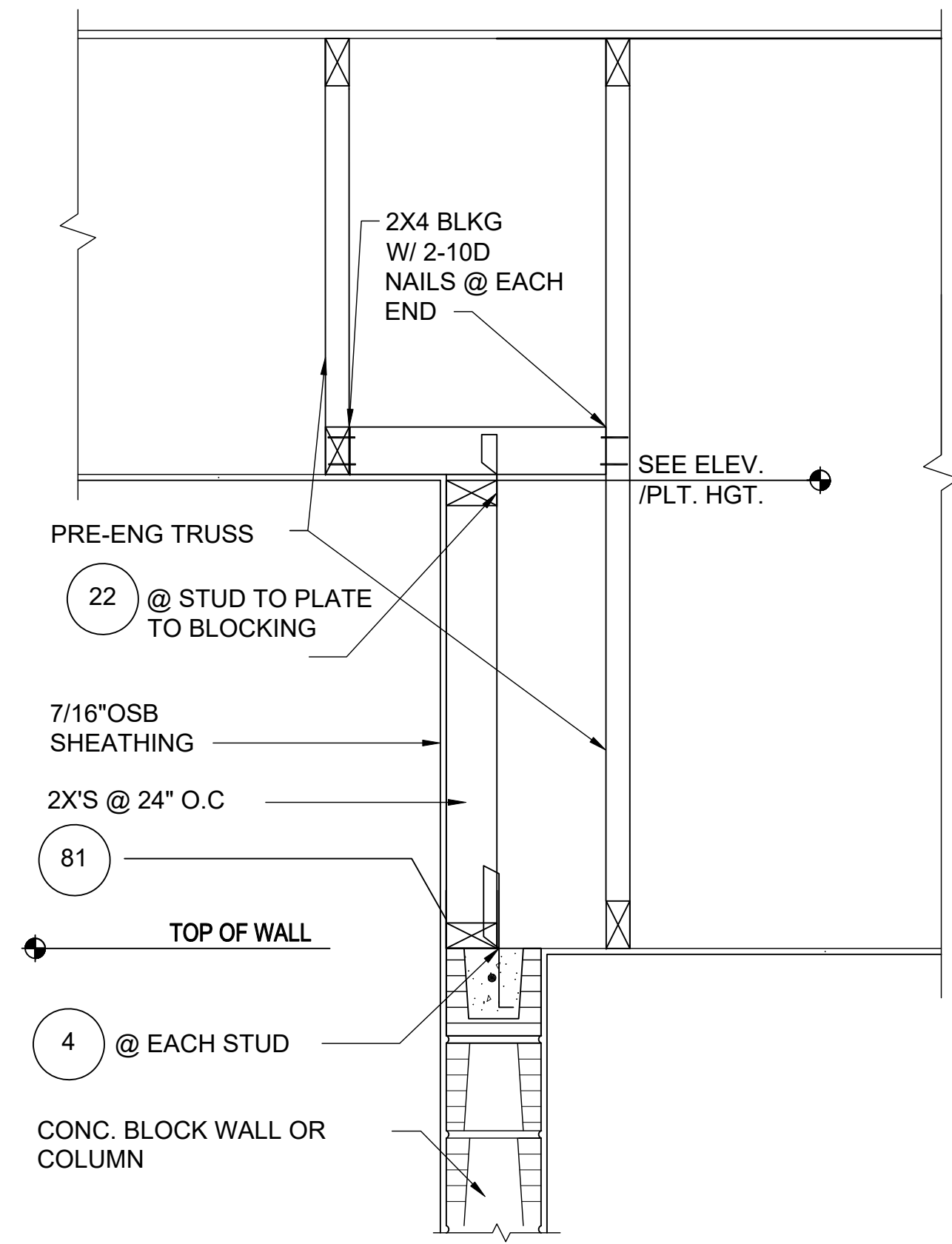
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Ph: (407) 629-6711 Fax: (407) 629-6776  
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**Park Square HOMES**

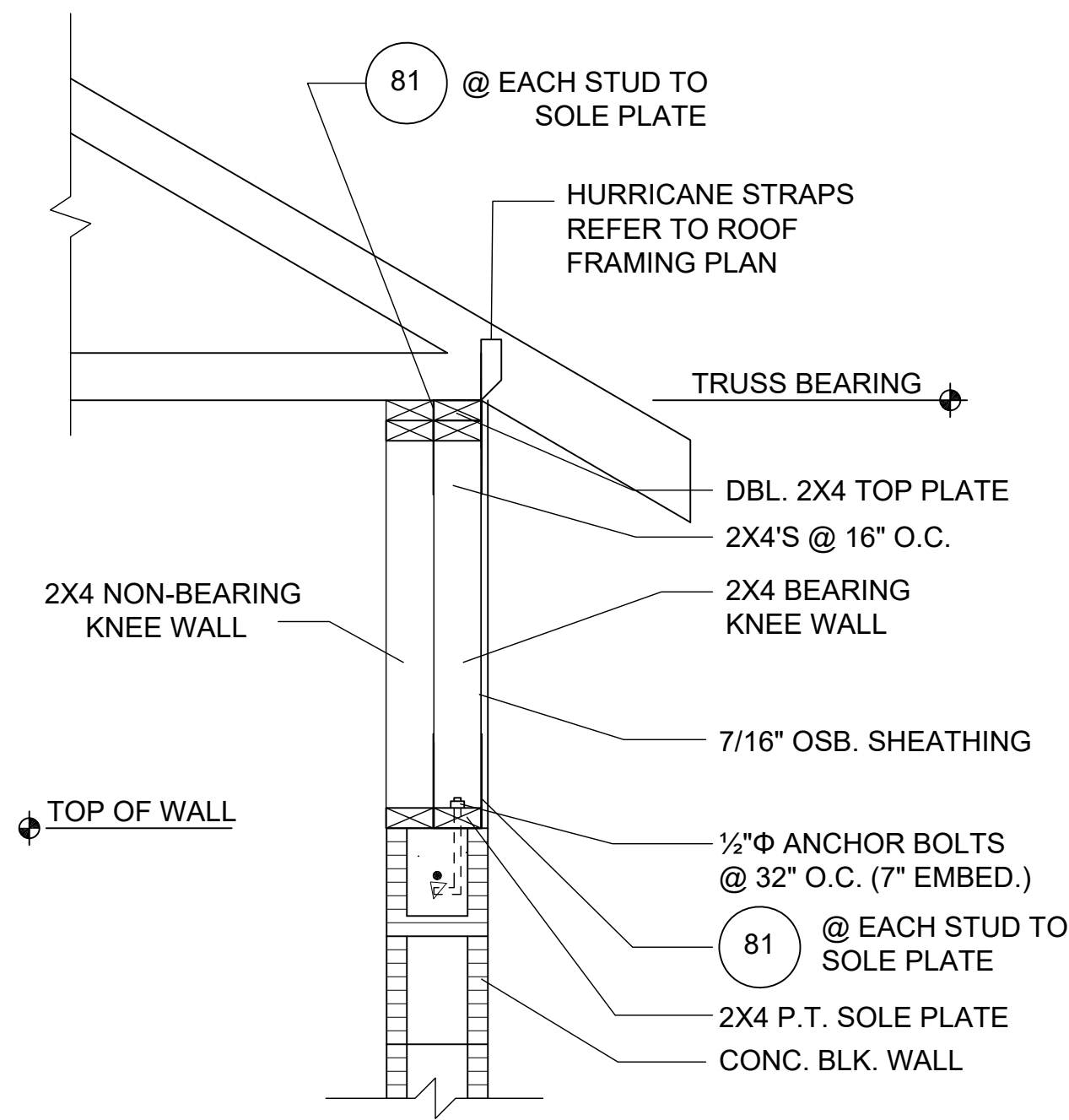
ISSUE DATE: 11/28/2019  
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STRUCTURAL DETAILS  
**SD.3**

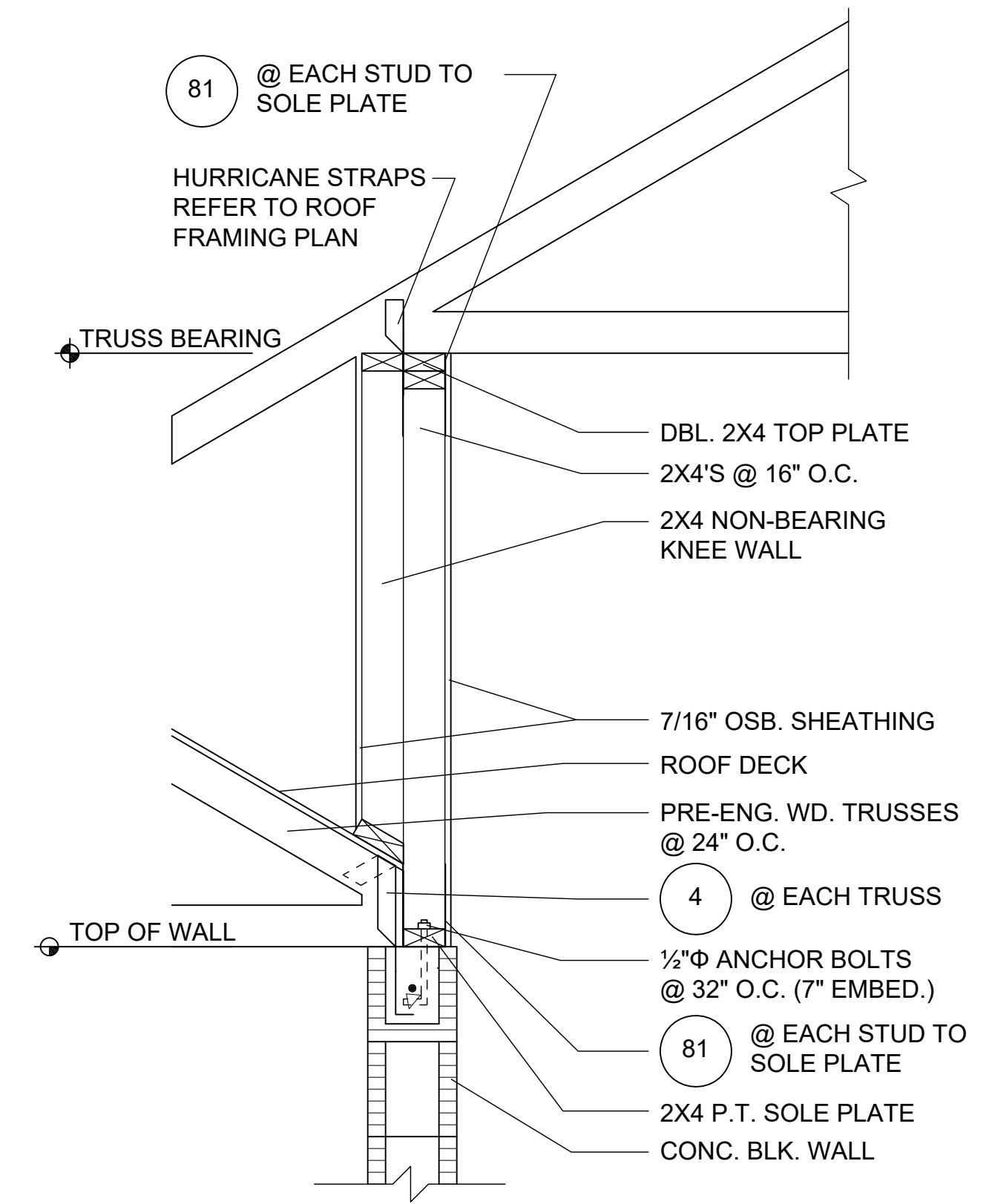


**1** DETAIL  
D4 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

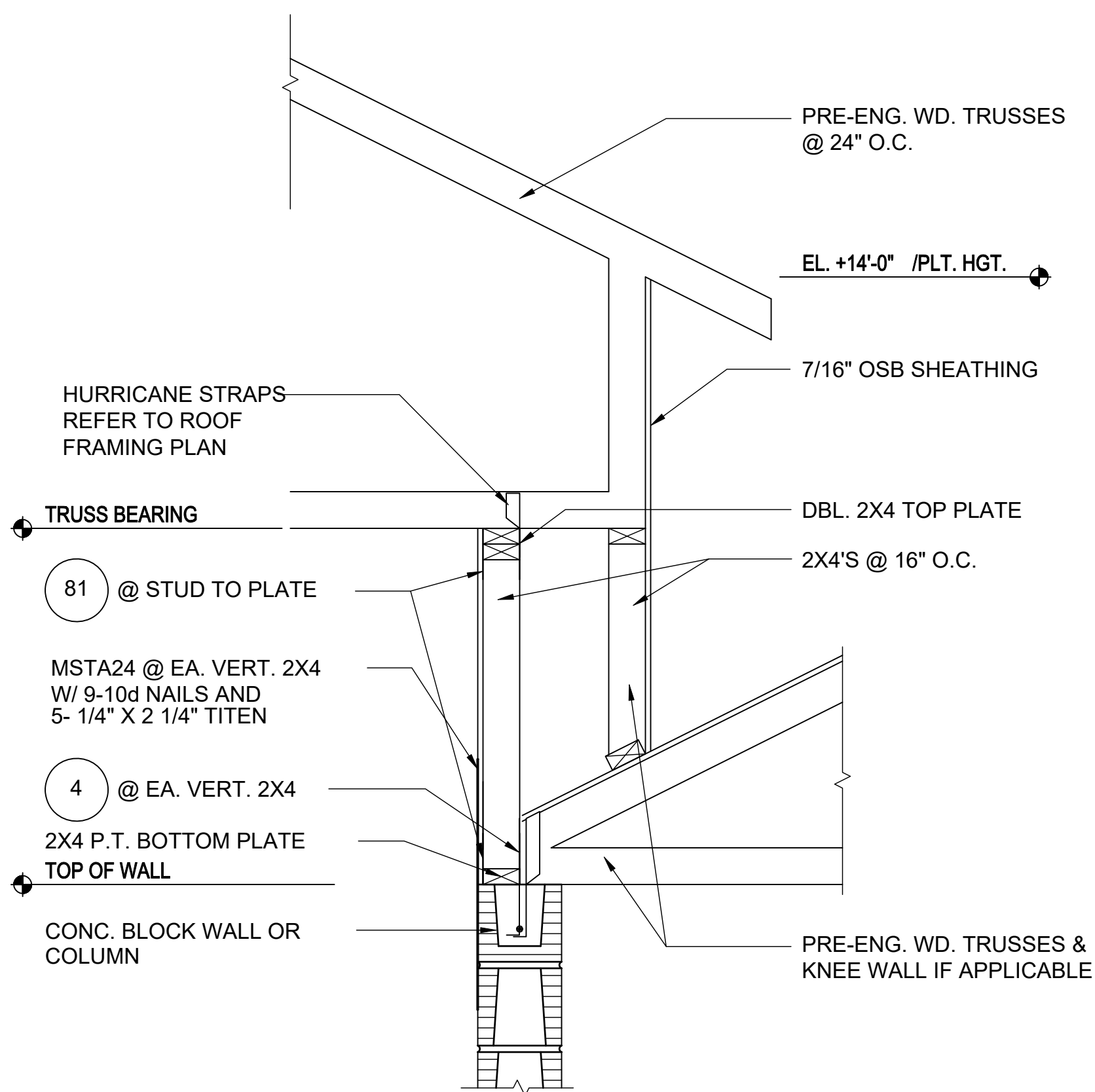
○ - INDICATES TRUSS CONNECTOR. GO TO CONNECTOR SCHEDULE ON ROOF FRAMING PLAN FOR CONNECTOR NAME AND SPECIFICATION.



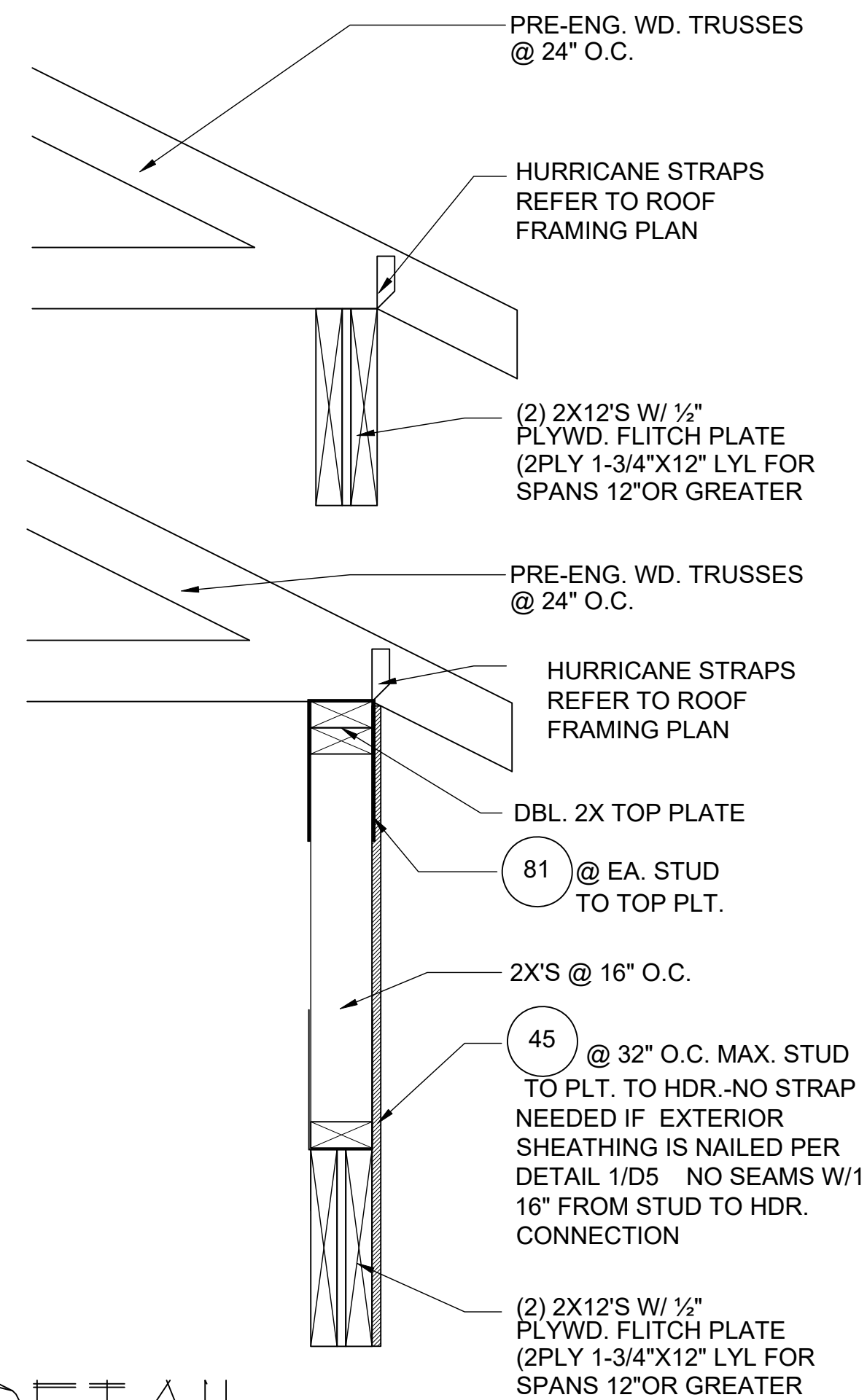
**2** DETAIL  
D4 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



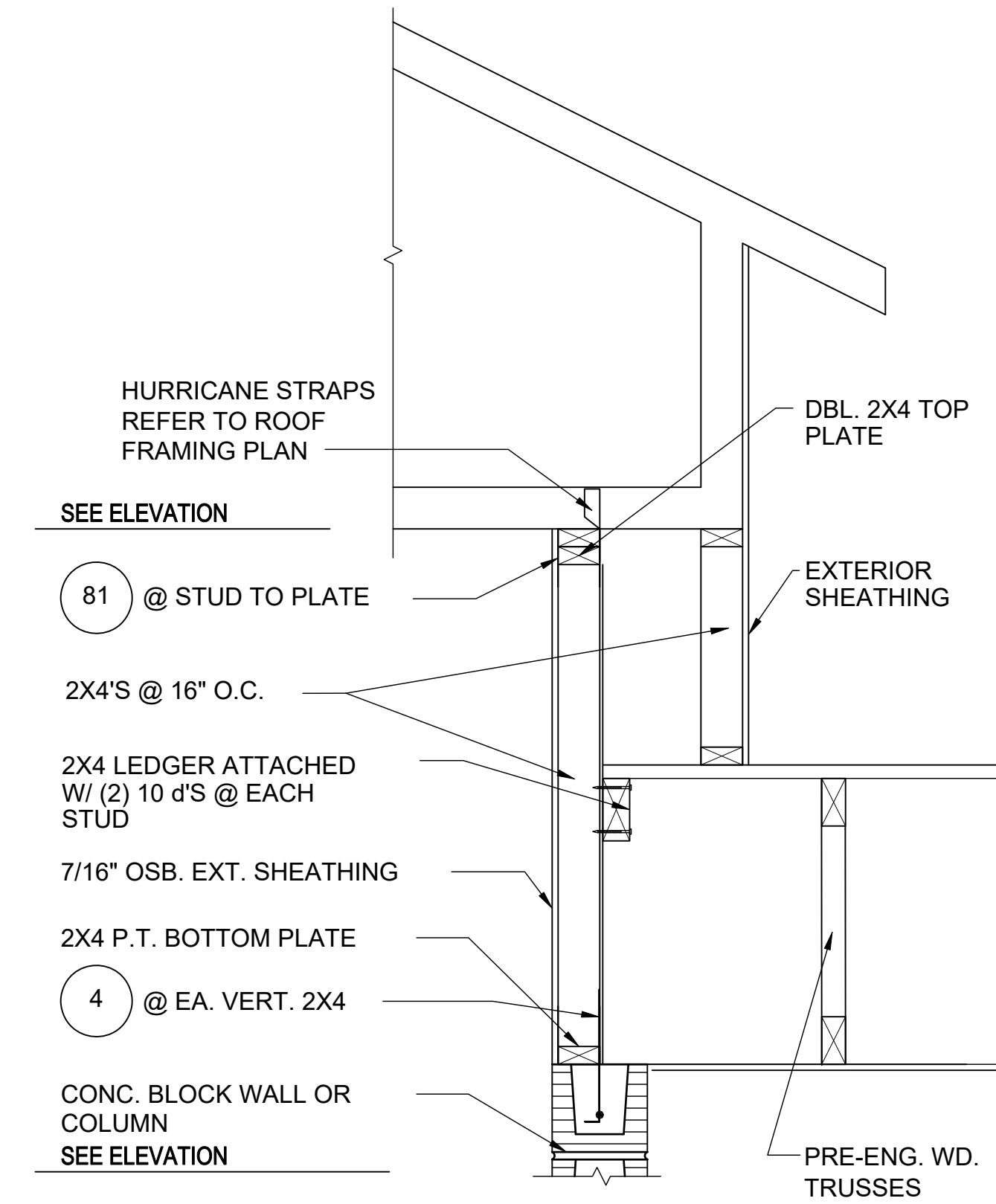
**3** DETAIL  
D4 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**4** DETAIL  
D4 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**5** DETAIL  
D4



**6** DETAIL  
D4

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