



# PARADISO GRANDE TOWNHOMES



5-UNIT:

(NAUTILUS, LATITUDE, LATITUDE II)

PAD SIZE 110'-0" x 70'-0"

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A2	FIRST FLOOR OVERALL
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A9	BUILDING SECTIONS & ROOF LAYOUT- ELEV. "A&B"
A10	UNIT & STAIR SECTION- ELEV. "A&B"
A11	ARCHITECTURAL DETAILS
E1	ELECTRICAL LAYOUT- "NAUTILUS"
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S6	DETAILS
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D3	STRUCTURAL DETAILS
D4	STRUCTURAL DETAILS
D5	STRUCTURAL DETAILS
D6	STRUCTURAL DETAILS

### REVISION SCHEDULE:

NO.	DATE	DESCRIPTION	BY:
1	05/25/22	CREATED MASTER	M.C.
2	09/2/22	ADDED WATER PROOFING NOTE	A.M.
3	09/09/22	REMOVED STUCCO TRIM OVER GARAGE DOOR.	C.C.
4	04/10/23	MASTER REVISIONS RECEIVED FROM PSH- SEE PARK SQUARE REDLINE FOLDER MARKED 03/30, 04/04, 04/05, 04/06/23	C.C.
5	05/19/23	PERMIT REJECTIONS	C.C.
6	07/27/23	REVISED BANDING ON FRONT ELEVATION BUMP-OUT FOR ELEV. A	C.C.
7	09/26/23	SHOW A FIBER GLASS UNIT SHOWER IN BATH #5 ILO RECESS.	G.P.
8	10/10/23	PROTOTYPE FRAME WALK REVISIONS	G.P.

### DISTRIBUTED LIVE LOAD

(IN POUNDS PER SQ. FT.)	
10	UNINHABITABLE ATTICS WITHOUT STORAGE
20	UNINHABITABLE ATTICS WITH LIMITED STORAGE
30	HABITABLE ATTICS & ATTICS SERVED WITH FIXED STAIRS
40	BALCONIES EXTERIOR AND DECKS
40	FIRE ESCAPES
200	GUARDS AND HANDRAILS
50	GUARD INFILL COMPONENTS
40	PASSENGER VEHICLE GARAGES
30	ROOMS OTHER THAN SLEEPING ROOMS
30	SLEEPING ROOMS
40	STAIRS

### ANSI STANDARD FOR MEASURING HOUSES

THE ANSI STANDARD FOR MEASURING HOUSES: NATIONAL STANDARD Z390-1996 NEW CONSTRUCTION. THE ANSI STANDARD BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS FOR ATTACHED UNITS. THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS ARE NOT USED IN THIS SYSTEM OF MEASURING. THE ANSI STANDARD BASE FLOOR AREA CALCULATIONS ON THE EXTERIOR DIMENSIONS OF THE BUILDING AT EACH FLOOR LEVEL AND INCLUDE ALL INTERIOR WALLS AND VOIDS FOR ATTACHED UNITS. THE OUTSIDE DIMENSION IS THE CENTER LINE OF THE COMMON WALLS. INTERNAL ROOM DIMENSIONS ARE NOT USED IN THIS SYSTEM OF MEASURING.

AREA (SQ. FT.)	(+) VALUE DENOTES PRESSURE	(-) VALUE DENOTES SUCTION
10	(+) 29.4 / (-) 31.9	(+) 29.4 / (-) 39.4
20	(+) 28.1 / (-) 30.6	(+) 28.1 / (-) 36.7
50	(+) 26.3 / (-) 28.8	(+) 26.3 / (-) 33.2
100	(+) 25.0 / (-) 27.5	(+) 25.0 / (-) 30.8

AREA	(+) VALUE DENOTES PRESSURE	(-) VALUE DENOTES SUCTION
16'-0" x 8'-0"	(+) 21.7	(-) 21.9
16'-0" x 7'-0"	(+) 21.9	(-) 21.7
18'-0" x 8'-0"	(+) 24.4	(-) 27.2
9'-0" x 8'-0"	(+) 25.8	(-) 25.9
9'-0" x 7'-0"	(+) 25.9	(-) 25.8
8'-0" x 8'-0"	(+) 22.9	(-) 23.1
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### ENGINEERING KEY

DESIGN REQUIREMENTS  
 A. ROOF LIVE LOAD IS 20 PSF  
 B. FLOORS LIVE LOAD IS 40 PSF. BALCONIES, DECKS, STAIRS, LIVE LOAD IS 80PSF  
 NOTE: THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (RESIDENTIAL, 7TH EDITION)  
 1. WIND EXPOSURE- CATEGORY (C)  
 2. ULTIMATE WIND SPEED- 140MPH  
 3. WIND IMPORTANCE FACTOR- 1.0  
 4. INTERNAL PRESSURE COEFFICIENT- 18  
 5. MAXIMUM PRESSURE FOR COMPONENTS AND CLADDING, 21.0 p.s.f./28.1 p.s.f. UNLESS NOTED OTHERWISE.  
 6. SINGLE FAMILY RESIDENCE TO BE RISK CATEGORY II.

### DESIGN STATEMENT

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (RESIDENTIAL, 7TH EDITION)

EFFECTIVE WIND AREA (SQ. FT.)	WIND PRESSURE AND SUCTION (PSF.)
AREA	(+) VALUE DENOTES PRESSURE (-) VALUE DENOTES SUCTION
10	(+) 29.4 / (-) 31.9
20	(+) 28.1 / (-) 30.6
50	(+) 26.3 / (-) 28.8
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**MJS** designers group  
 residential-commercial-architecture

**AI** **BD**  
 DESIGNER-BUILDER ASSOCIATION

**GOBA**  
 GREAT ORGANIZED BUILDERS ASSOCIATION

5-Unit: (Paradiso TH)  
 Models: Nautilus, Latitude  
 Building Pair # XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A Division of Park Square Enterprises Inc.  
 5200 Vineland Rd. Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

ISSUE DATE: 04/13/2023  
 REVISIONS:  
 PROJECT: 22-1151  
 SCALE: AS NOTED  
 DRAWN BY: M.C.  
 DESIGNED BY: MJS

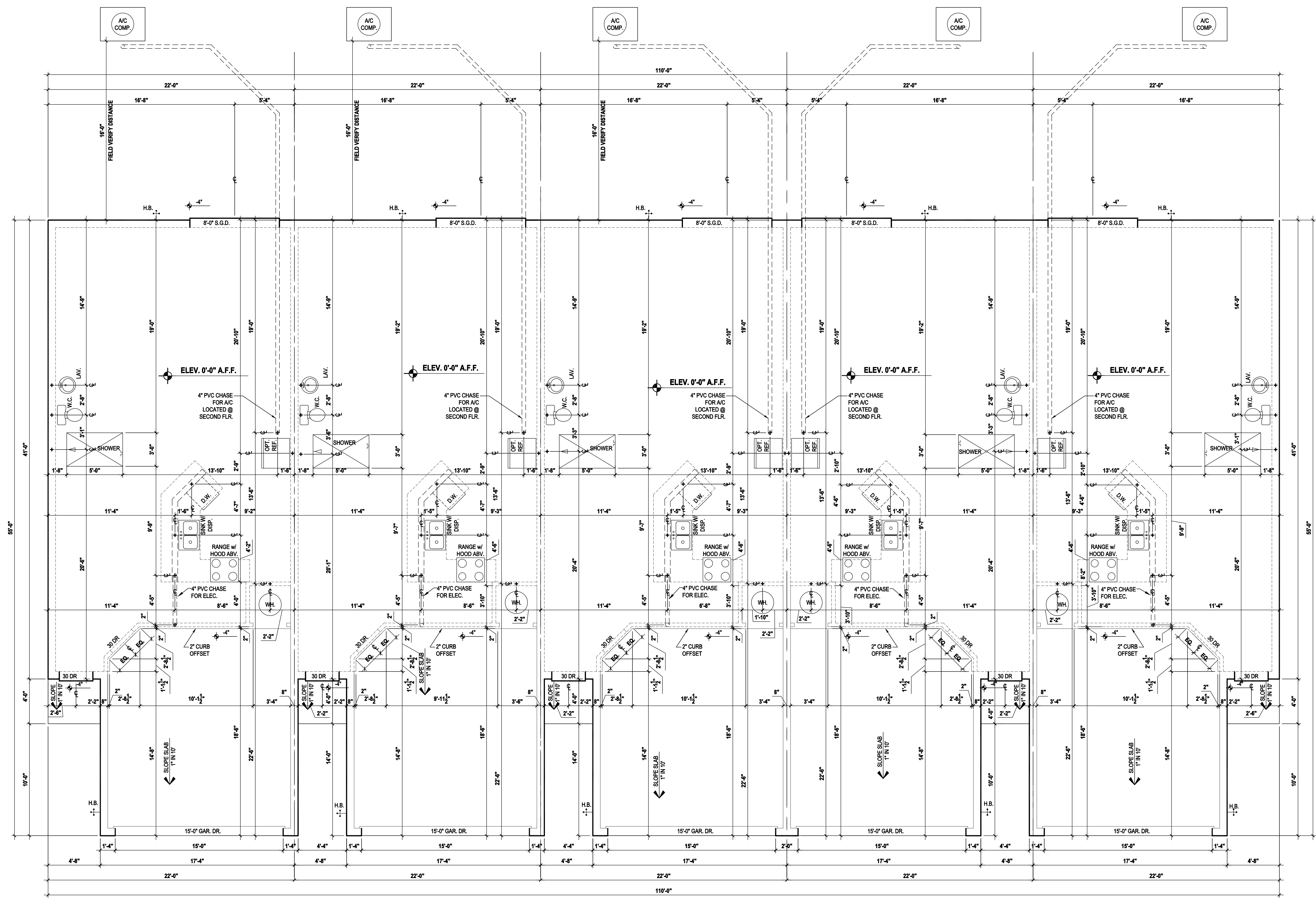
COVER PAGE  
**A0**

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**Nautilus**  
LOT# XX

**Latitude II**  
LOT# XX

**Latitude**  
LOT# XX

**Latitude (Rev.)**  
LOT# XX

**Nautilus (Rev.)**  
LOT# XX

**GENERAL NOTES KEY:**

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
- DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED FROM PLOT TO SUPERVISOR FOR CLARIFICATION.
- WATER HEATER T & P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR WATER HEATED AT OR ABOVE FLOOR LEVEL SHALL BE IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE AN APPROVED THERMAL EXPANSION DEVICE.
- PAVERS MAY BE USED ILO CONCRETE SLAB AT PATIO, PORCH, DRIVE AND WALKWAY.
- IN LIEU OF TREATING THE SOIL AN ALTERNATIVE TO TERMITE TREATED SOIL CAN BE TERMITE.
- BORA-CARE TO BE APPLIED ON INTERIOR WALLS IAW MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS. PURSUANT TO FBC-R316.
- EQUIPMENT AND APPLIANCES SUPPORTED FROM THE GROUND SHALL BE LEVEL AND FIRMLY SUPPORTED ON A CONCRETE SLAB PER FBC-R M1306.1.1.
- GRADE TO SLOPE AWAY FROM FOUNDATION WALLS AT A RATE OF NOT LESS THAN 6 INCHES PER 10 FEET.
- ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).

**DOOR NOTE KEY:**

- DOOR SIZE CALL OUT:
- 30 = 3'-0"
  - 24 = 2'-4"
  - 28 = 2'-8"
  - 36 = 3'-6"
  - 40 B.F. = 4'-0" BI-FOLD
  - 50 B.F. = 5'-0" BI-FOLD
  - 60 B.F. = 6'-0" BI-FOLD

**Slab Plan**  
SCALE 1/4" = 1'-0"

**HITEC**  
THOMPSON ENGINEERING GROUP, INC.  
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www.hitec.com

**MJS**  
designers group  
residential-commercial-architecture

**A I B I D**

**GOBA**  
CREATOR ISLAND BUILDERS ASSOCIATION

**5-Unit: (Paradiso TH)**  
Model: Nautilus, Latitude  
Building Pad # XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Enterprises, Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

Dec 04, 2023, 1:44pm

**GENERAL NOTES KEY:**

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)

- ABBREVIATIONS:**
- 2 - # OF DOORS.
  - # - # OF WINDOWS.
  - MT - METAL THRESHOLD.
  - FR - FRENCH DOORS.
  - SL - SIDE LIGHT.
  - FG - FIXED GLASS.
  - TR - TRANSOM.
  - GB - GLASS BLOCK.
  - PCT - POCKET DOOR.
  - OBS - OBSCURED GLASS.
  - TEMP - TEMPERED GLASS.
  - SH - SINGLE HUNG.
  - DH - DOUBLE HUNG.
  - HR - HORIZONTAL ROLLER.
  - BP - BYPASS.
  - BF - BIFOLD.
  - TYP. - TYPICAL.

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - A/C CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R M197.2 & FBC-M 304.
  - PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.N.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS H2O WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO DETAIL SHEETS FOR EXTERIOR WALL FINISH SPECS.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL EXTERIOR FRAME WALL DIMENSIONS TO BE 3/16" U.N.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 10'-0" U.N.O.
  - ALL INT. SECOND FLOOR CEILINGS AT 8'-0" U.N.O.
  - CALL & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNLIMITED LENGTH OF 12" OR MORE SHALL BE CONSIDERED SHEAR WALL SWG & SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ A 20 MIN. FIRE RATED SOLID WOOD OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1 3/4" THICKNESS AS PER FBC-702.2.1.
  - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP.).
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS WILL HAVE ANTI-SCALDING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" A.B.V. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 24" ABOVE FINISHED FLOOR BEING SERVED PER FBC-R191.2.3.
  - ALL EGRESS/EGRESS OPENING SHALL BE IN ACCORDANCE W/ SECTION FBC-R191.2.
  - ALL INT. DOORS TO BE 6'-0" TALL U.N.O. OR PER BUYER/CLIENT.
  - 1/2" GYPSUM BOARD APPLIED TO THE ACCESSIBLE AREA UNDER STAIR SURFACE AND SIDES.
  - THERMAL BARRIER FROM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12 MM) GYPSUM WALLBOARD, 2X2" ANCH (1/2" WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE TEMPERATURE TRANSMISSION FIRE TEST AND THE INTEGRITY FIRE TEST OF PAR. 705.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R219.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREA PER PRICE R402.2.4.
  - FILL WOODS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C179), FIBER REINFORCED GYPSUM PANELS (ASTM C177), NON-ABSORBTOR FIBER CEMENT BACKER BOARD (ASTM C120) OR NON-ABSORBTOR FIBER MAT REINFORCED CEMENTitious BACKER UNITS (ASTM C1328) SHALL BE USED PER FBC-R104.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW NOTE KEY:**

WINDOW SIZE CALLOUT: ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS FOR THE EXAMPLE TABLE ABOVE.

2040 = 2'-0" x 4'-0"	40 B.F. = 4'-0" BIFOLD
2060 = 2'-0" x 6'-0"	60 B.F. = 6'-0" BIFOLD
2080 = 2'-0" x 8'-0"	80 B.F. = 8'-0" BIFOLD

**DOOR NOTE KEY:**

DOOR SIZE CALLOUT:

20'-2"	40 B.F. = 4'-0" BIFOLD
24'-2"	60 B.F. = 6'-0" BIFOLD
28'-2"	80 B.F. = 8'-0" BIFOLD
29'-2"	
30'-2"	

**BRG. HT. LEGEND**

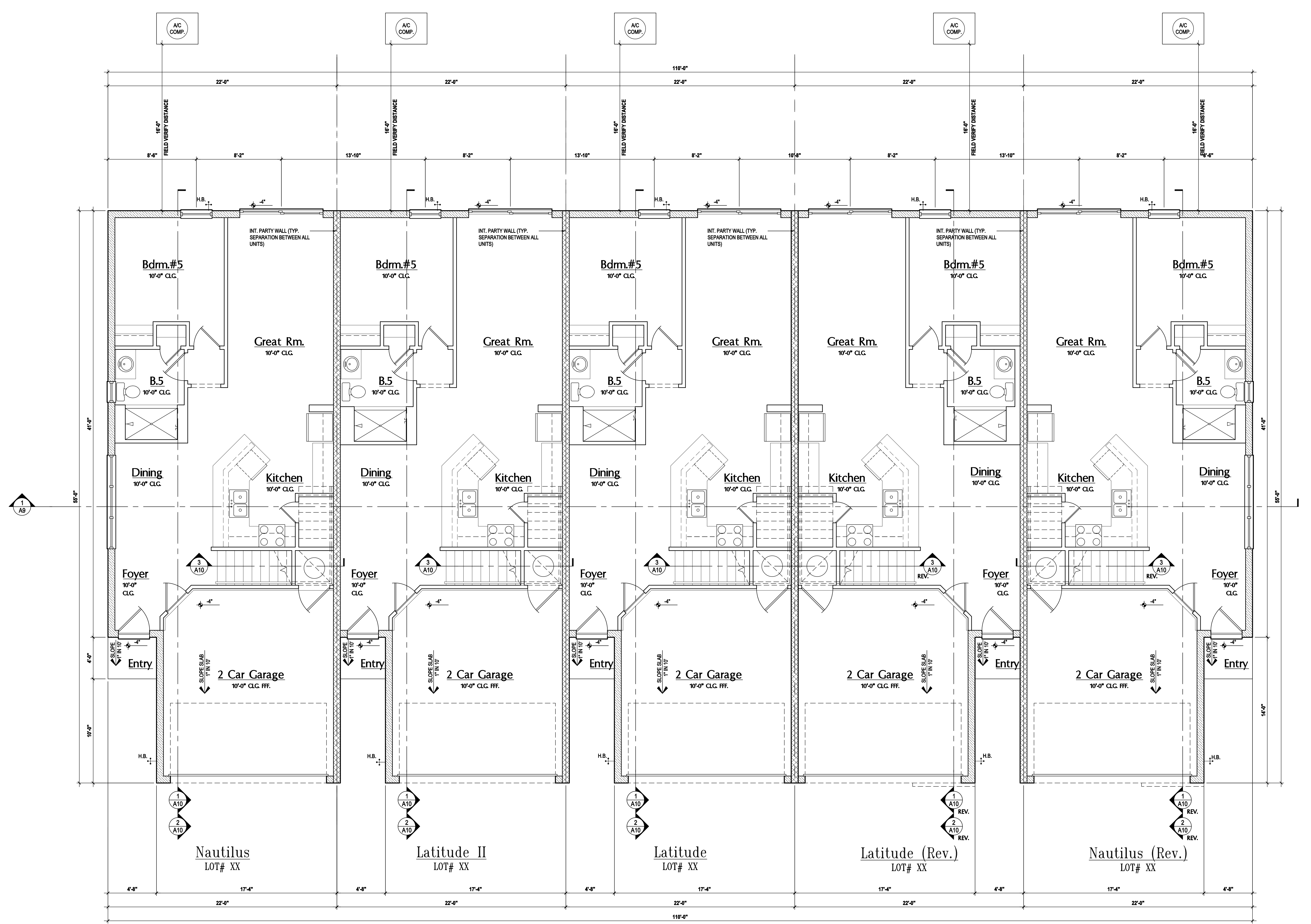
- 20'-8" CMU INDICATES BRG. WALL
- 20'-8" BRG. HT. PER PLAN
- 24"R. FIRE RATED CMU PER PLAN

**Area Tabulations**

Living:	
1st floor:	4,065 sf
2nd floor:	5,670 sf
<b>Total Living:</b>	<b>9,735 sf</b>
entry:	90 sf
garage:	1,655 sf
<b>Total Area:</b>	<b>11,480 sf</b>

**First Floor Plan**

SCALE: 1/4" = 1'-0"



**HTEG**  
THOMPSON ENGINEERING GROUP, INC.  
401 Webster Road, Suite 400, Orlando, FL 32811  
Ph: (407) 734-1450 Fax: (407) 734-1750  
www.hteg.com

**MJS**  
designers group  
residential-commercial-architecture

**AID**

**GOBA**  
CREATING GRANDER BLENDED ARCHITECTURE

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Enterprises, Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

**FIRST FLOOR**  
A2

### GENERAL NOTES KEY:

THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE 2020 FLORIDA BUILDING CODE (7TH EDITION)

**ABBREVIATIONS:**

- 2 - # OF DOORS
- 2 - # OF WINDOWS
- MT - METAL THRESHOLD
- FR - FRENCH DOORS
- SL - SLIDE LIGHT
- FG - FIXED GLASS
- TR - TRANSOM
- GB - GLASS BLOCK
- PKT - POCKET DOOR
- OBS - OBSCURED GLASS
- TEMP - TEMPERED GLASS
- SH - SINGLE HUNG
- DH - DOUBLE HUNG
- HR - HORIZONTAL ROLLER
- BP - BYPASS
- BF - BIFOLD
- TYP - TYPICAL

- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R M307.2 & FBC-M 304.
  - PROVIDE RECESS HMC WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS HMC WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC'S.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/16" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 1/2" U.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 12'-0" U.O.
  - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.O.
  - C/L & F/WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALLS - SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH MIN. FIRE RATED SOLID WOOD OR FIBER CEMENT CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R302.1.
  - INSTALL 60# TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP).
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS SHALL HAVE ANTI-SKIDDING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 36" ABOVE FINISHED FLOOR FINISH SERVING PER FBC-R312.2.
  - ALL EGRESS OPENINGS SHALL BE IN ACCORDANCE WITH SECTION FBC-R310.
  - ALL INT. DOORS TO BE 6'-0" TALL U.O. OR PER BUILDER / CLIENT.
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF BEARING.
  - 1/2" GYPSUM BOARD APPLIED TO THE ACCESSIBLE AREA UNDER STAIR SURFACE AND SIDES.
  - THERMAL BARRIER FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 10 INCH (2 7/8") GYPSUM WALLBOARD. COORDINATE WITH MIN. WOOD STRUCTURAL PANELS OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE THERMAL BARRIER TRANSDUCER FIRE TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE WITH SECTION FBC-R319.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R322.4.
  - FILL VOIDS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPENING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1378), FIBER-REINFORCED GYPSUM PANELS (ASTM C1207), NON-ABRASIVE FIBER CEMENT BACKER BOARD (ASTM C1208) OR NON-ABRASIVE FIBER MAT REINFORCED CONCRETE BACKER UNITS (ASTM C1325) SHALL BE USED PER FBC-R702.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

### WINDOW NOTE KEY:

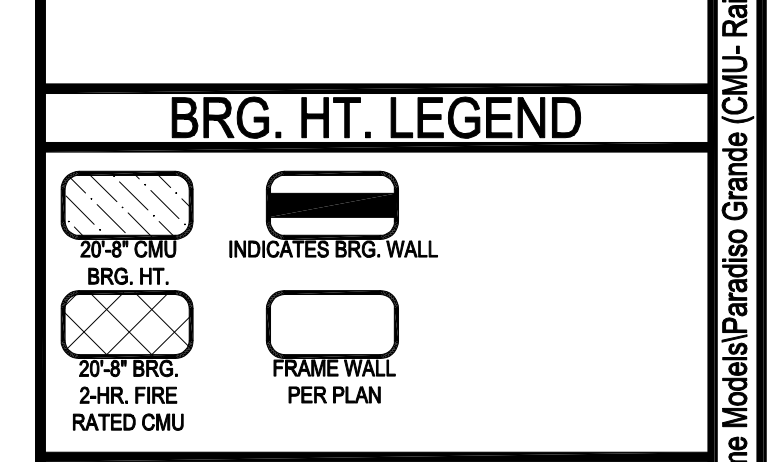
WINDOW SIZE CALLOUT:  
2000 - 2'-0" x 6'-0"  
2050 - 2'-0" x 6'-0"  
2080 - 2'-0" x 6'-0"

ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

### DOOR NOTE KEY:

DOOR SIZE CALLOUT:  
20 - 2'-0" 40 B.F. = 4'-0" BIFOLD  
24 - 2'-4" 80 B.F. = 8'-0" BIFOLD  
26 - 2'-6" 80 B.F. = 8'-0" BIFOLD  
28 - 2'-8" 80 B.F. = 8'-0" BIFOLD  
30 - 3'-0"

### BRG. HT. LEGEND



ISSUE DATE	04/13/2023
REVISIONS	
PROJECT:	22-1151
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

### Second Floor Plan

SCALE: 1/4" = 1'-0"

**ITEG**  
THOMPSON ENGINEERING GROUP, INC.  
4401 Vineyard Road Suite #6 Orlando, FL 32811  
Ph: (407) 629-6711  
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www.iteg.com

**MJS**  
designers group  
residential-commercial-architecture

**AI** **BD**

**GOBA**  
GEOGRAPHIC ORIENTATION

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Homes Inc.  
5200 Vineyard Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

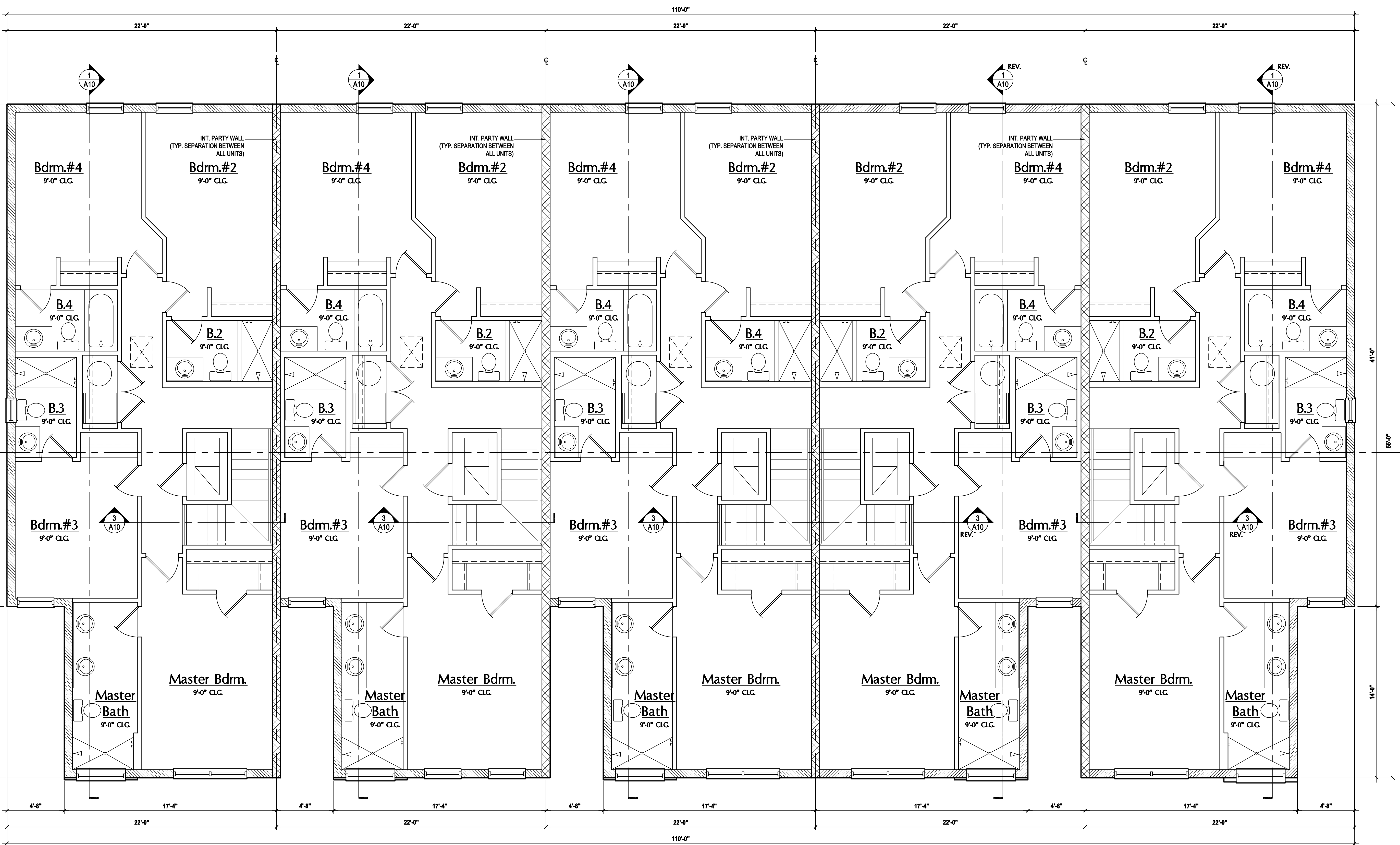
**Park Square HOMES**

Dec 04, 2023; 1:44pm  
mjsuser\jpark Square Homes\MODELS\TOWNHOME MODEL\EST\Townhomes (Chandaji)\T - Townhome Models\Paradiso Grande (CMU - Raised Heel)\JIS-UNITAS Second Floor Overall.dwg

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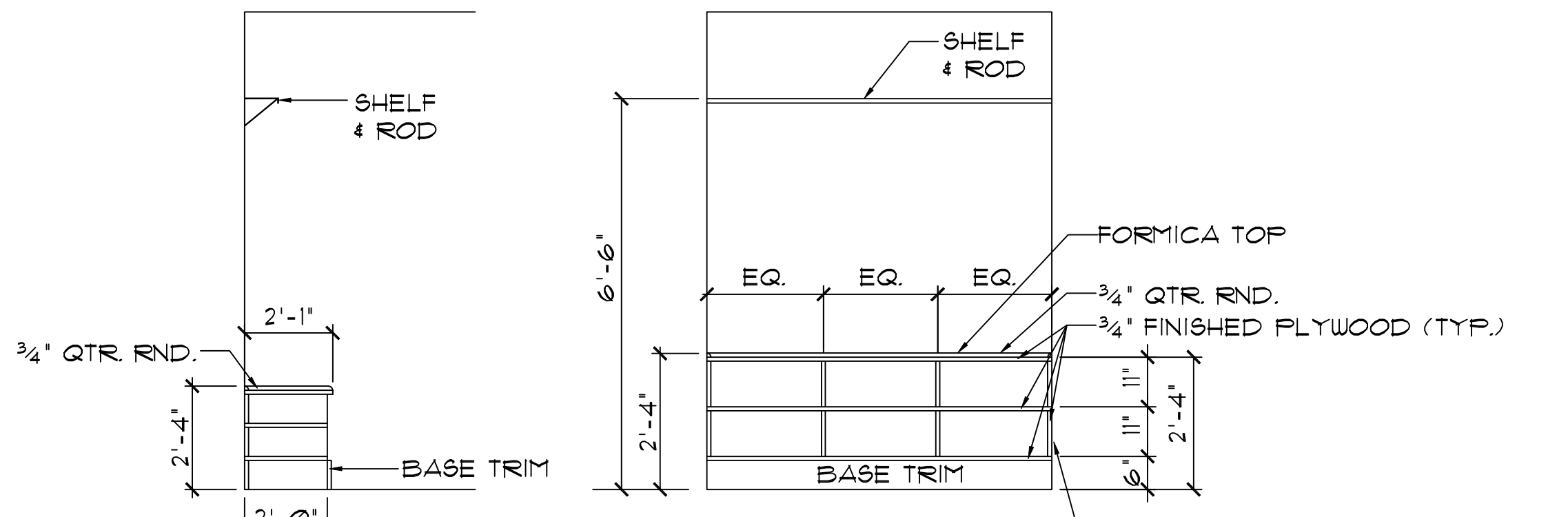
WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and MJS, Inc. must be notified in writing of any changes in the dimensions, conditions and specifications appearing on these plans.

SECOND FLOOR  
**A3**



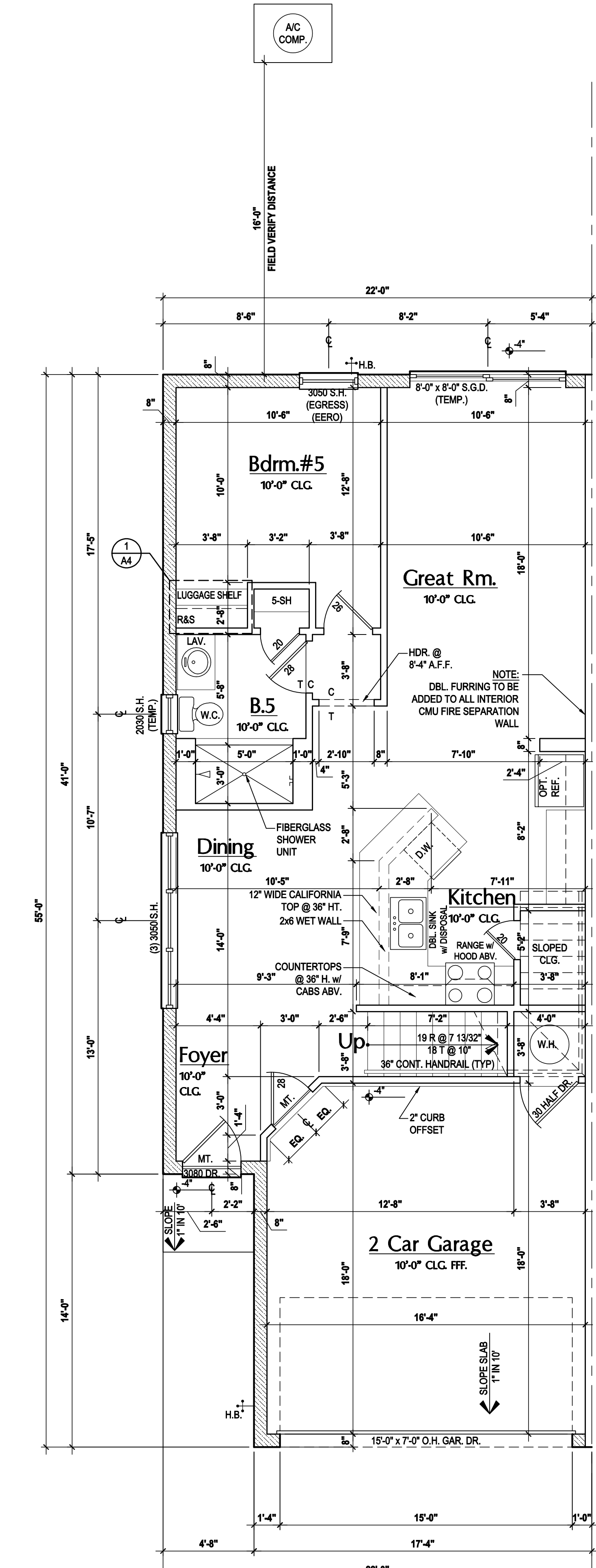
Nautilus LOT# XX      Latitude II LOT# XX      Latitude LOT# XX      Latitude (Rev.) LOT# XX      Nautilus (Rev.) LOT# XX

**"Elev. A"**  
SCALE: 1/4" = 1'-0"

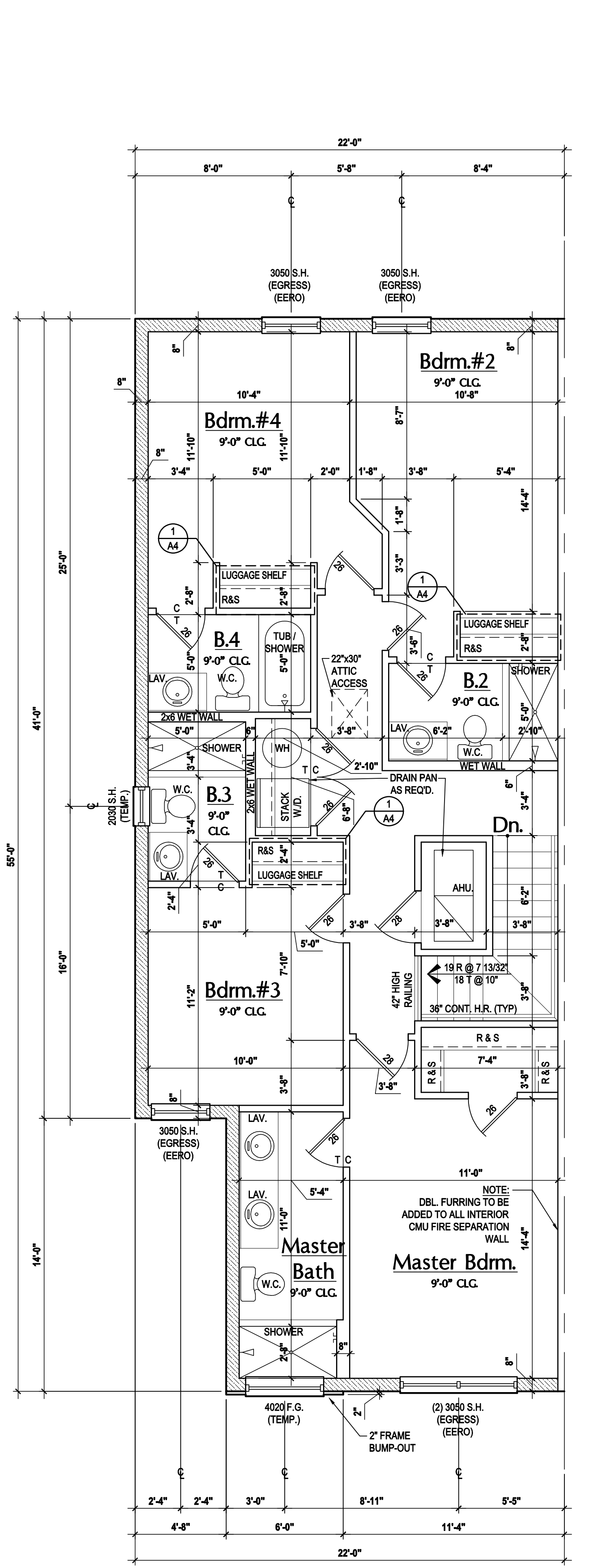


### 1 Luggage Shelf Detail

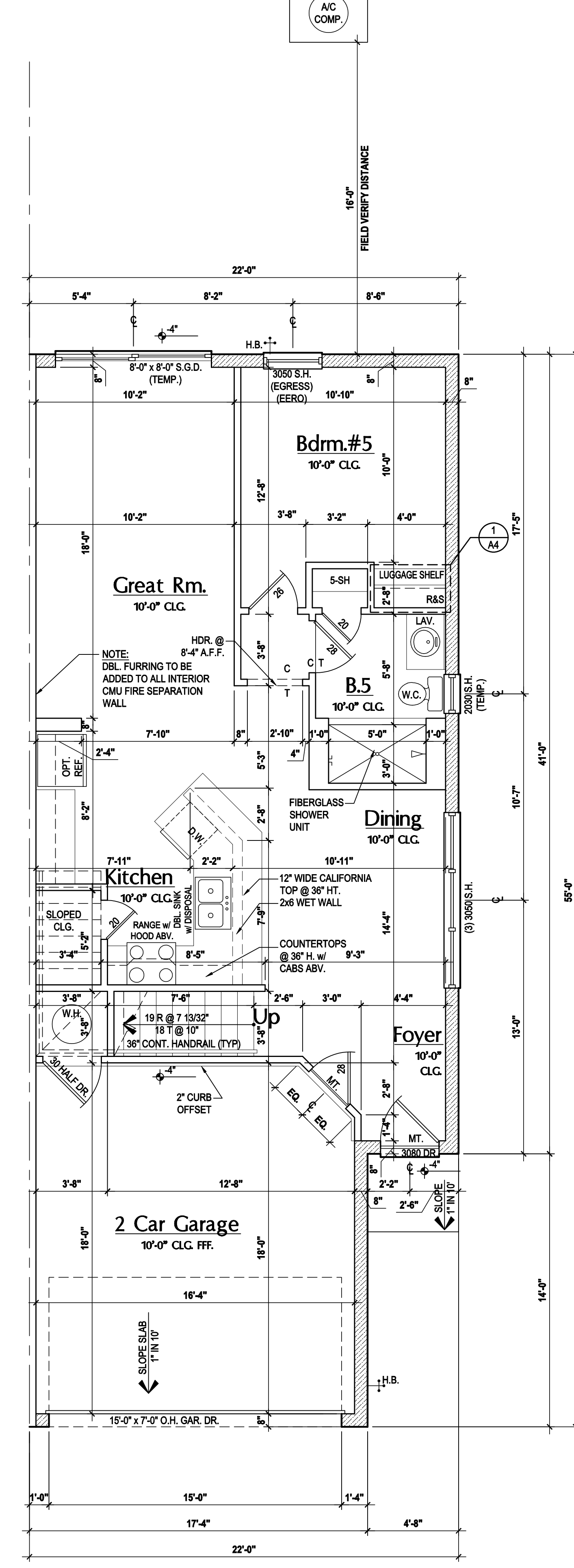
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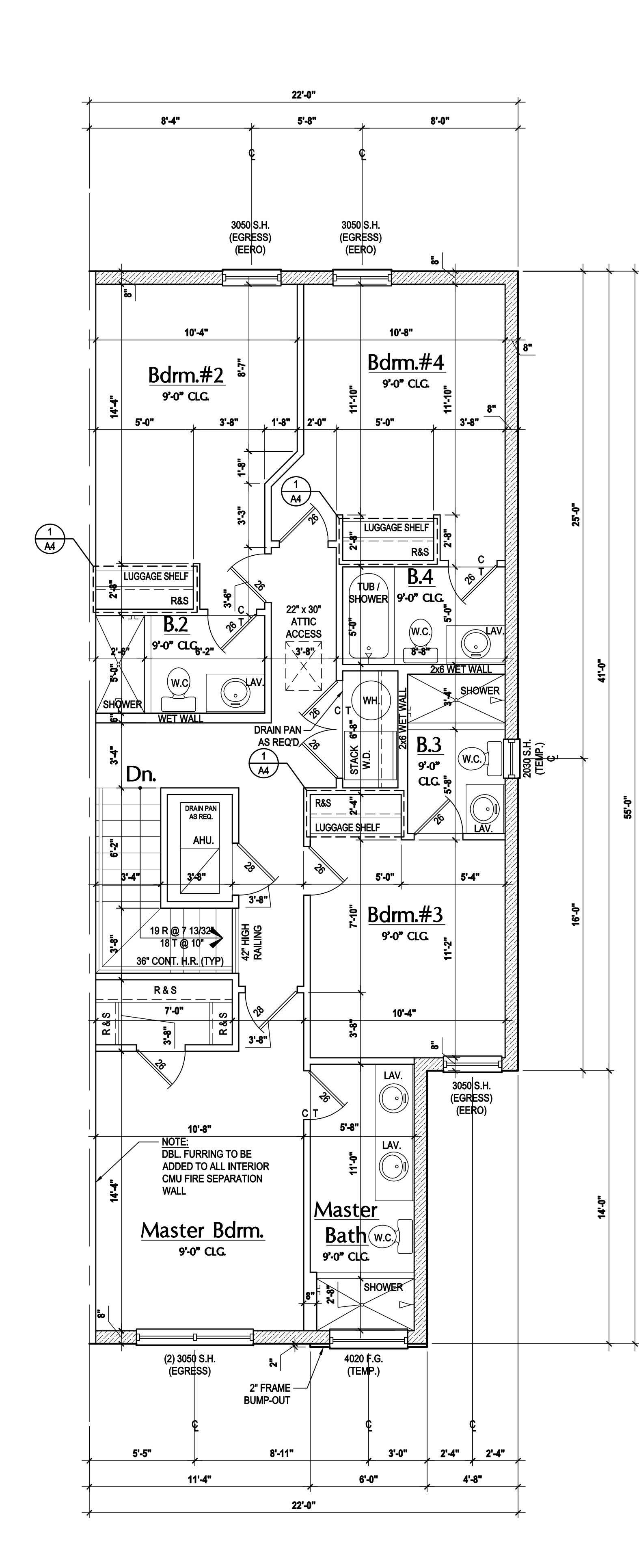
First Floor  
SCALE: 1/4" = 1'-0"



Second Floor- "Elev. A"  
SCALE: 1/4" = 1'-0"



First Floor- Rev.  
SCALE: 1/4" = 1'-0"



Second Floor- Rev. - "Elev. A"  
SCALE: 1/4" = 1'-0"

- #### GENERAL NOTES KEY:
- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)
- ABBREVIATIONS:
- PKT - POCKET DOOR
  - 2 - # OF DOORS
  - 2 - # OF WINDOWS
  - MT - METAL THRESHOLD
  - FR - FRENCH DOORS
  - SL - SIDE LIGHT
  - FG - FIXED GLASS
  - TR - TRANSOM
  - GB - GLASS BLOCK
  - OBS - OBSCURED GLASS
  - TEMP - TEMPERED GLASS
  - SH - SINGLE HUNG
  - DH - DOUBLE HUNG
  - HR - HORIZONTAL ROLLER
  - BP - BYPASS
  - BF - BIFOLD
  - TYP - TYPICAL
- NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBCR 1307.2 & FBCR 304.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS HWC WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/16" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/16" U.O.
  - ALL INT. FIRST FLOOR CEILING AT 12'-0" U.O.
  - ALL INT. SECOND FLOOR CEILING AT 8'-0" U.O.
  - CMU & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS + SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED W/ 20 MIN. FIRE RATED SOLID WOOD OR FIBERGLASS CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBCR 903.2.1.
  - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP).
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS SHALL HAVE ANTI-SLIPPING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 7'2" A.B.V. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 27" ABOVE FINISHED FLOOR BEING SERVED PER (FBCR 312.2).
  - ALL EGRESS OPENING SHALL BE IN ACCORDANCE WITH SECTION FBCR 910.
  - 12" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF BEAMING.
  - 12" GYPSUM BOARD APPLIED TO THE ACCESSIBLE AREA UNDER STAIR SLOPPES AND SIDES.
  - THERMAL BARRIER FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (MIN) GYPSUM WALLBOARD, GYPSUM CORE (1/2" MIN WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE THERMAL BARRIER TRANSDUCTION FIRE TEST AND THE NOTIFICATION FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE WITH SECTION FBCR 919.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICK LASH PANELS (OR SIMILAR).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER (FBCR 903.2.1).
  - FILL JOISTS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1278), FIBER-REINFORCED GYPSUM PANELS (ASTM C1207), NON-ABRASIVE FIBER-CEMENT BACKER BOARD (ASTM C1208) OR NON-ABRASIVE FIBER-REINFORCED CONCRETE BACKER UNITS (ASTM C1205) SHALL BE USED PER (FBCR 24.4). PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

#### WINDOW NOTE KEY:

WINDOW SIZE CALLOUT:  
2000 S.H. (TEMP.)

- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

#### DOOR NOTE KEY:

DOOR SIZE CALLOUT:  
2000 S.H. (TEMP.)

- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

#### BRG. HT. LEGEND

- POURED CONCRETE FILLED CELL WITH AN 8" CMU WALL, U.O. W/ VERT. REBAR CONT. FROM FOUNDATION SLAB TO RING BEAM (MIN. OF 25' LAP ON ALL STEEL REINFORCING BARS)
- INDICATES BRG. WALL
- FRAME WALL PER PLAN

#### Area Tabulations

Living:	Nautilus
1st floor:	813 sf
2nd floor:	1,134 sf
Total Living:	1,947 sf
entry:	18 sf
garage:	331 sf
Total Area:	2,296 sf

#### Floor Plan

SCALE: 1/4" = 1'-0"

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**MJS DESIGNERS GROUP**  
residential commercial architecture

**AIBD**

**GOBA**  
GREEN BUILDING ASSOCIATION

5-Unit: (Paradiso TH)  
Models: Nautilus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Homes  
Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

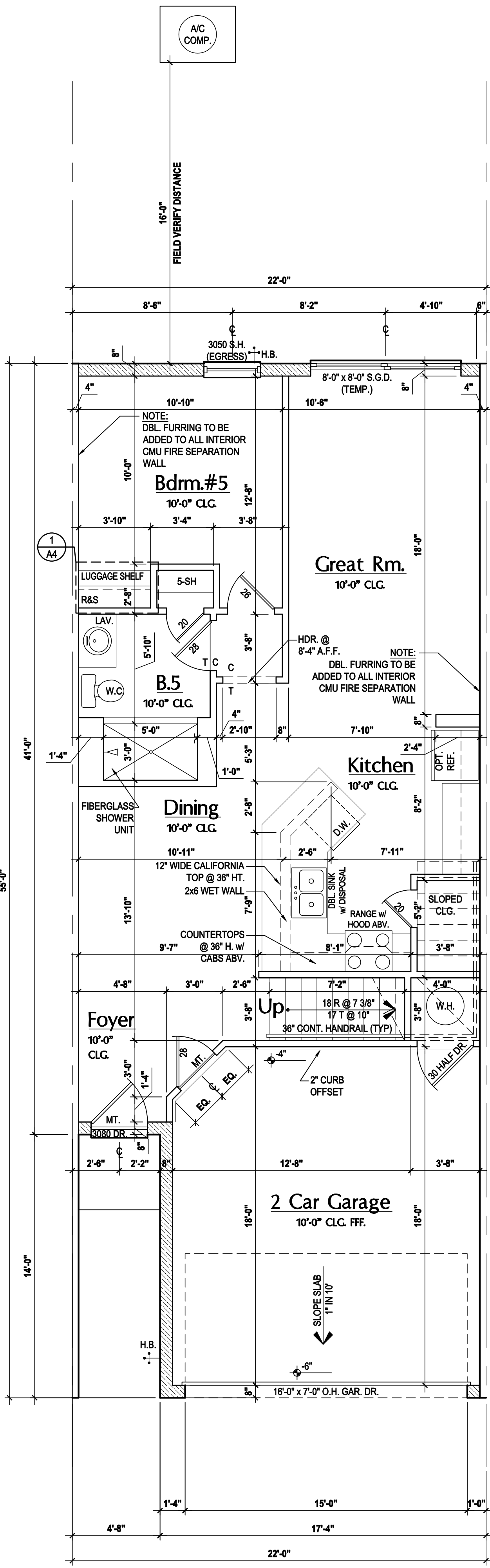
ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

Dec 04, 2023, 1:45pm mjsuser\p\Park Square Homes\MODELS\TOWNHOME\MOORELSTOWNHOME\CHANDLOJ\T-Townhome\Nautilus\ParadisoTH\1-Unit\TH-UNIT\TH-Floor Plans (Nautilus).dwg

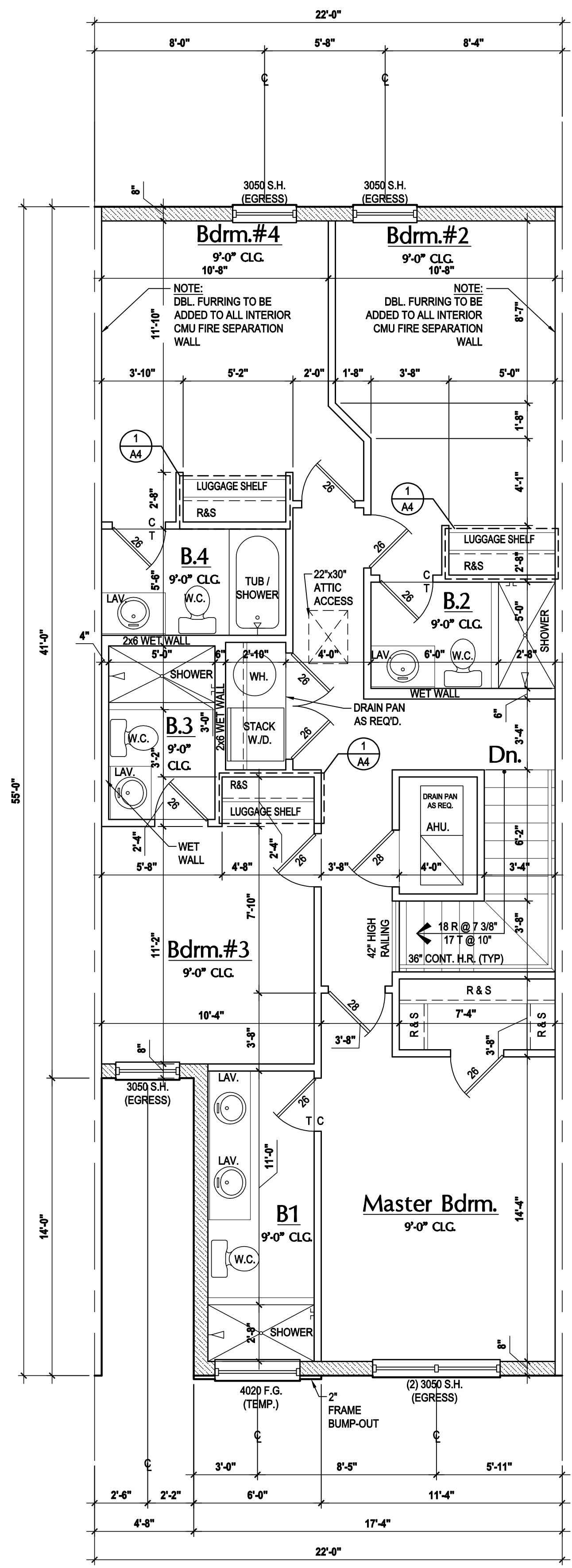
DETAIL DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and MJS, Inc. must be notified in writing of any change in the dimensions, conditions and specifications appearing on these plans.

NAUTILUS FLR. PLAN

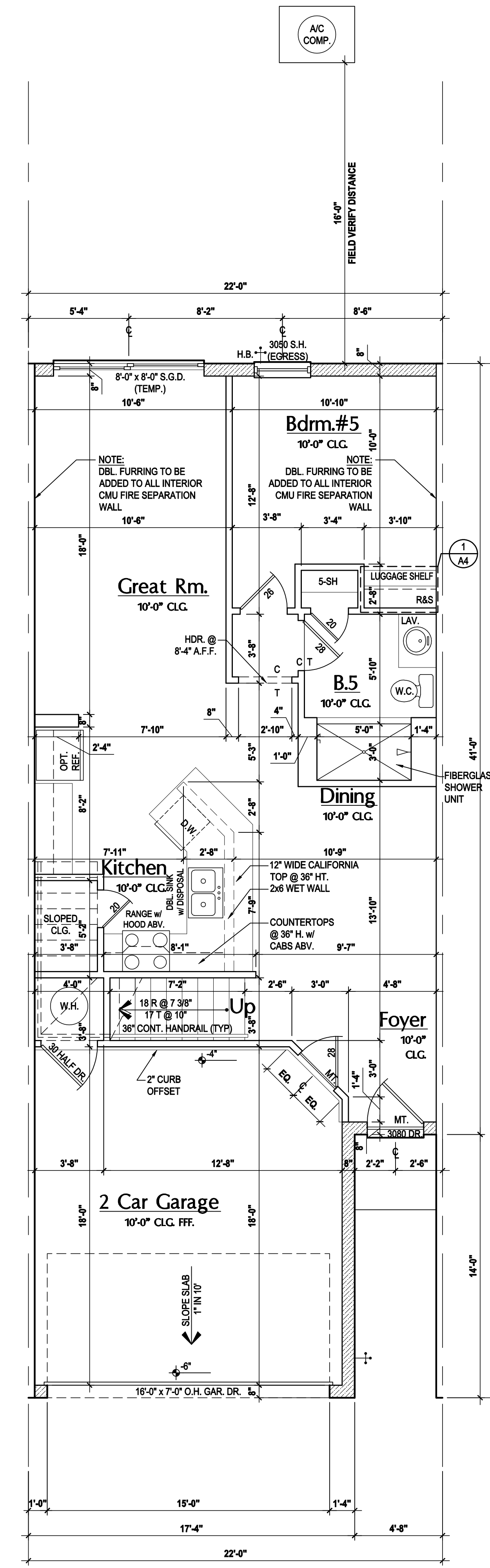
**A4**



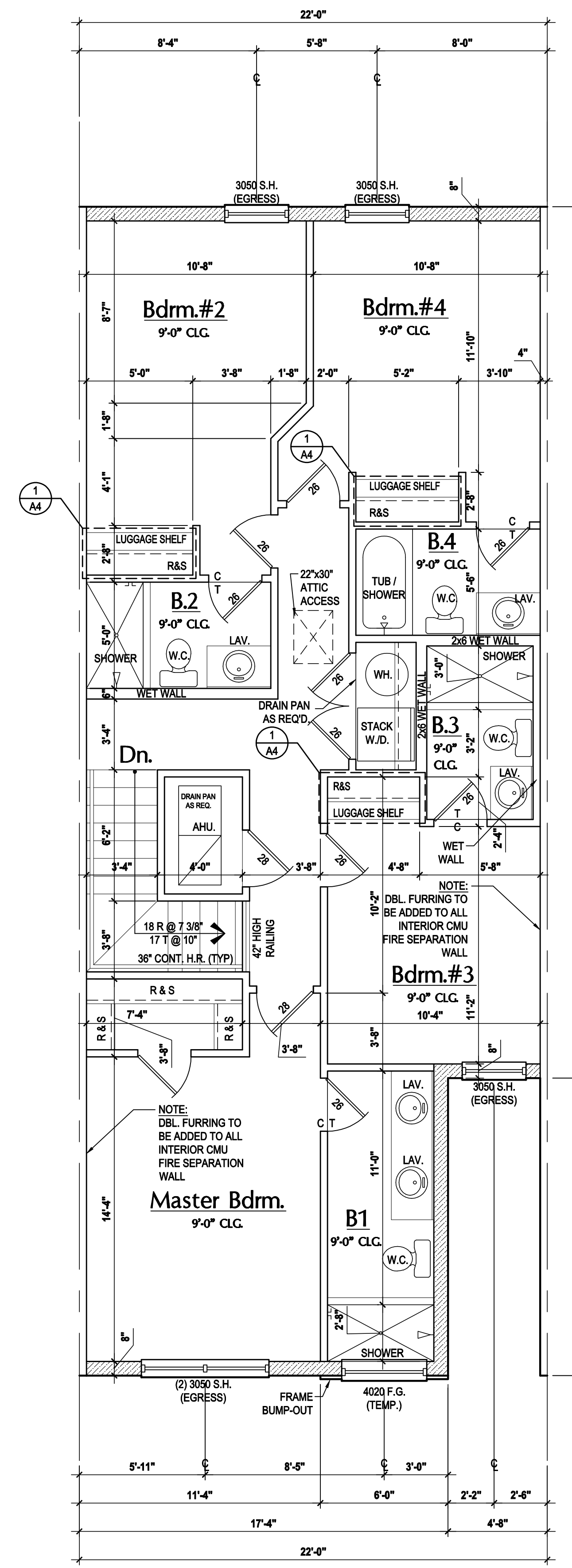
**First Floor**  
SCALE: 1/4" = 1'-0"



**Second Floor- "Elev. A"**  
SCALE: 1/4" = 1'-0"



**First Floor- Rev.**  
SCALE: 1/4" = 1'-0"



**Second Floor- Rev. - "Elev. A"**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES KEY:**

- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)
- ABBREVIATIONS:**
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  - 2 - # OF WINDOWS
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  - TR - TRANSOM
  - GB - GLASS BLOCK
  - PKT - POCKET DOOR
  - OBS - OBSCURED GLASS
  - TEMP - TEMPERED GLASS
  - SH - SINGLE HUNG
  - DH - DOUBLE HUNG
  - HR - HORIZONTAL ROLLER
  - BP - BYPASS
  - BF - BIFOLD
  - TYP - TYPICAL
- NOTES:**
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBC-R 1307.2 & FBC-M 304.
  - PROVIDE RECESS HMC WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS HMC WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO EXTERIOR ELEVATIONS & TYP. DETAIL SHEETS FOR EXTERIOR WALL FINISH SPEC.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3 1/2" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7 1/2" U.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 10'-0" U.O.
  - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.O.
  - CMU & FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWS + SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH MIN. FIRE RATED SOLID WOOD OR FIBERGLASS CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBC-R 102.1.
  - INSTALL 1/2" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP).
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS SHALL HAVE ANTI-SLIPPING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 7'2" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 20" ABOVE FINISHED FLOOR BEING SERVED PER FBC-R 102.2.
  - ALL EERO / EGRESS OPENING SHALL BE IN ACCORDANCE WITH SECTION FBC-R 1010.
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF BEAMING.
  - 1/2" GYPSUM BOARD APPLIED TO THE ACCESSIBLE AREA UNDER STAIR SURFACE AND SIDES.
  - THERMAL BARRIER FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12.7MM) GYPSUM WALLBOARD, 2" (50.8MM) WOOD STRUCTURAL FRAME OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE THERMAL TRANSMISSION COEFFICIENT AND THE INTEGRITY FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE WITH SECTION FBC-R 1019.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - ATTN: ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBC-R 102.1.
  - FILL JOGS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1278), FIBER-REINFORCED GYPSUM PANELS (ASTM C1278), NON-ABRASIVE FIBER-CEMENT BACKER BOARD (ASTM C1201) OR NON-ABRASIVE FIBER MAT REINFORCED CONCRETE BACKER UNITS (ASTM C1205) SHALL BE USED PER FBC-R 102.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW NOTE KEY:**

- WINDOW SIZE CALLOUT:
- 2000 x 2'-0" x 6'-0"
  - 2050 x 2'-0" x 6'-0"
  - 2000 x 2'-0" x 6'-0"
  - 30 x 3'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

**DOOR NOTE KEY:**

- DOOR SIZE CALLOUT:
- 20 x 2'-0" 40 B.F. = 4'-0" BIFOLD
  - 24 x 2'-4" 50 B.F. = 5'-0" BIFOLD
  - 28 x 2'-6" 60 B.F. = 6'-0" BIFOLD
  - 28 x 2'-8" 60 B.F. = 6'-0" BIFOLD
  - 30 x 3'-0"

**BRG. HT. LEGEND**

- POURED CONCRETE FILLED CELL WITHIN AN 8" CMU WALL, U.O. W/ 1" VERT. REBAR CONT. FROM FOUNDATION SLAB TO RING BEAM (MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS)
- 20'-0" CMU BRG. HT.
  - 20'-0" BRG. 3-HR. FIRE RATED CMU
  - INDICATES BRG. WALL
  - FRAME WALL PER PLAN

**Area Tabulations**

	Latitude
1st floor:	813 sf
2nd floor:	1,134 sf
<b>Total Living:</b>	<b>1,947 sf</b>
entry:	18 sf
garage:	331 sf
<b>Total Area:</b>	<b>2,296 sf</b>

**Floor Plan**

SCALE: 1/4" = 1'-0"

**ITEG**  
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WWW.ITEGENGINEERINGGROUP.COM

**MJS**  
designers group  
residential-commercial-architecture

**AI** **BD**

**GOBA**  
GOLF BUILDING ORGANIZATION

**5-Unit: (Paradiso TH)**  
Models: Nambius, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address, Zip Code  
City, State, Zip Code

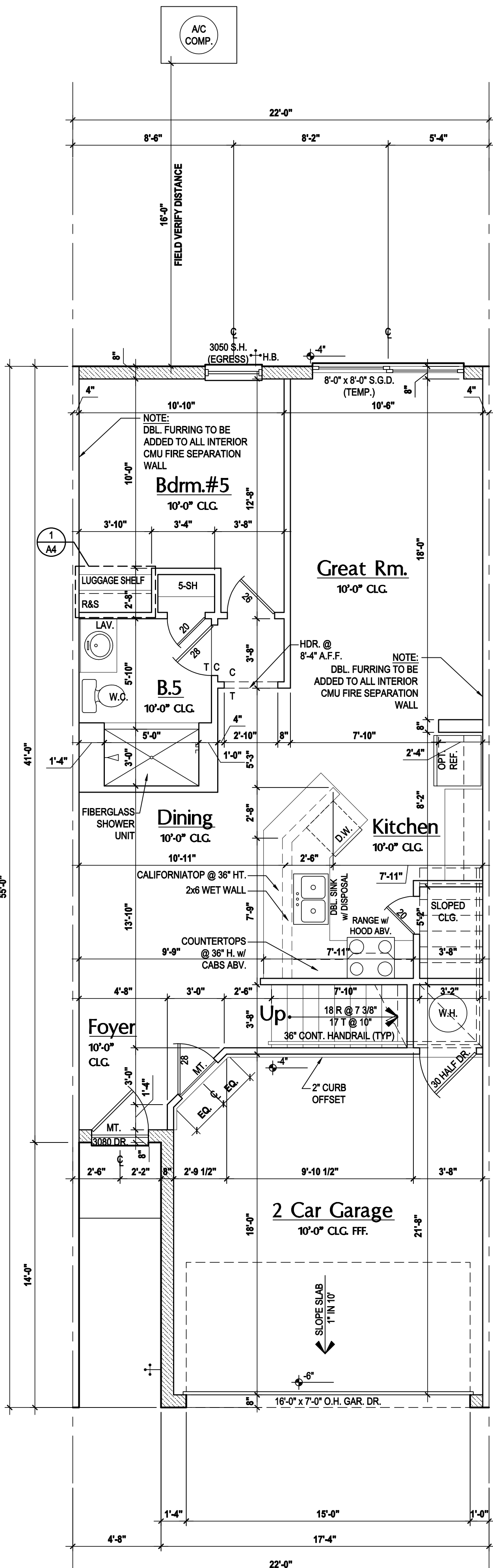
A division of Park Square Enterprises Inc.  
5200 Vineland Rd, Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

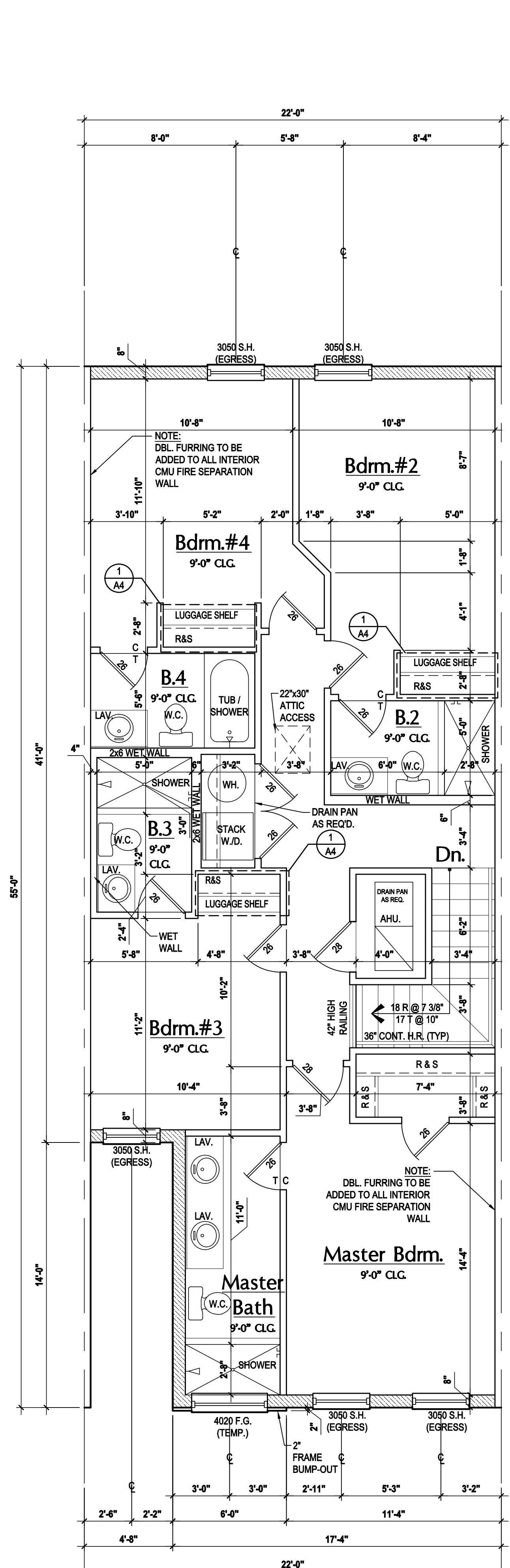
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mjsuser@park-square-homes.com  
MJS: SCALE DIMENSIONS: CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND MJS, INC. MUST BE NOTIFIED IN WRITING OF ANY CHANGES IN THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS OBTAINED ON THESE PLOTS.

LATITUDE FLR. PLAN  
**A5**



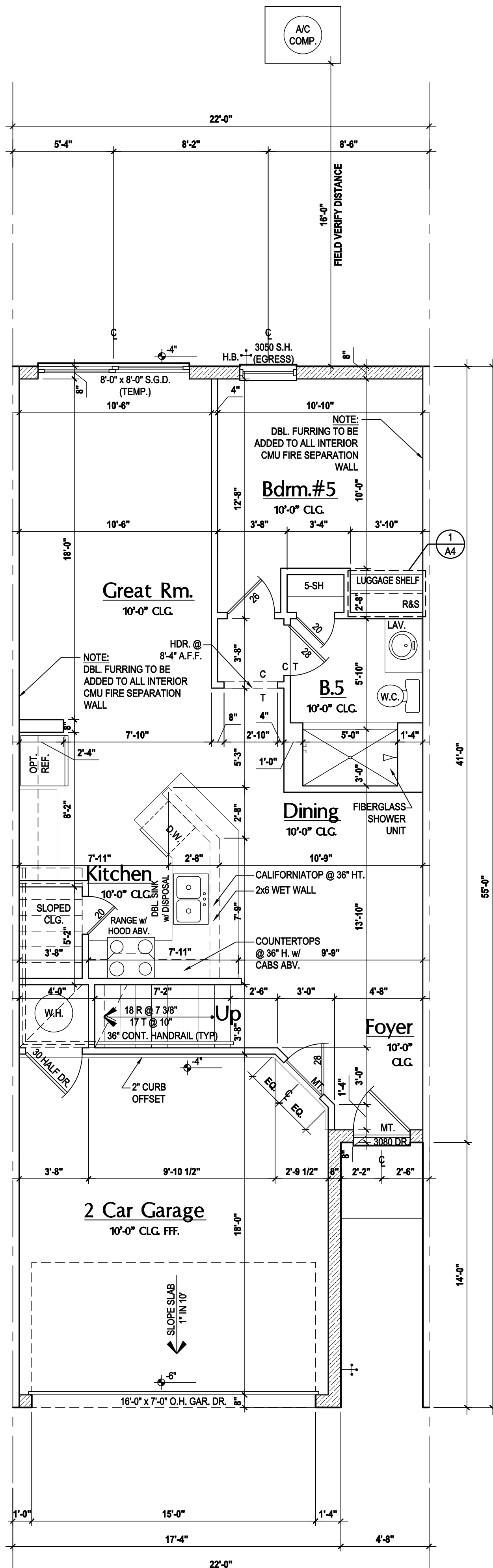
Latitude II First Floor

SCALE: 1/4" = 1'-0"



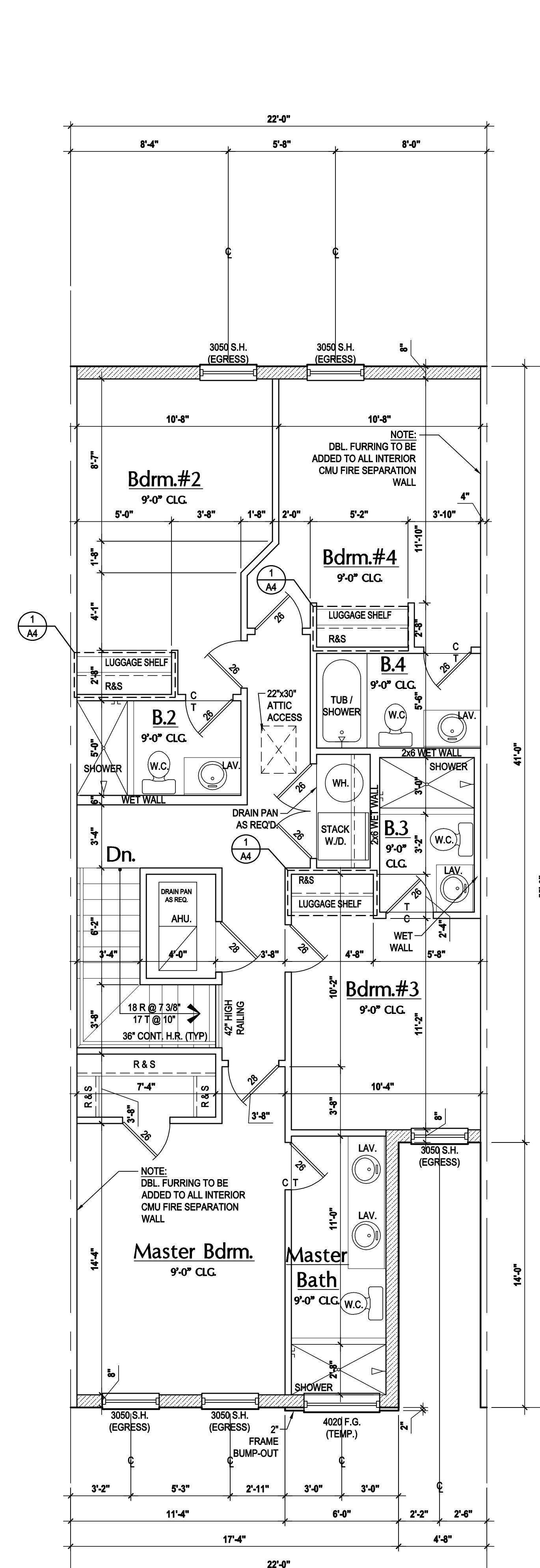
Latitude II Second Floor- "Elev. A"

SCALE: 1/4" = 1'-0"



Latitude II First Floor- Rev.

SCALE: 1/4" = 1'-0"



Latitude II Second Floor- Rev.- "Elev. A"

SCALE: 1/4" = 1'-0"

**GENERAL NOTES KEY:**

- THIS STRUCTURE HAS BEEN DESIGNED TO MEET OR EXCEED REQUIREMENTS OF THE (2020) FLORIDA BUILDING CODE (7TH EDITION)
- ABBREVIATIONS:
- 2 - # OF DOORS
  - 2 - # OF WINDOWS
  - MT - METAL THRESHOLD
  - FR - FRENCH DOORS
  - SL - SLIDE LIGHT
  - FG - FIXED GLASS
  - TR - TRANSOM
  - GB - GLASS BLOCK
  - PKT - POCKET DOOR
  - Obs - OBSCURED GLASS
  - TEMP - TEMPERED GLASS
  - SH - SINGLE HUNG
  - DH - DOUBLE HUNG
  - HR - HORIZONTAL ROLLER
  - BP - BYPASS
  - BF - BIFOLD
  - TYP. - TYPICAL
- NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS ON JOB SITE.
  - DO NOT SCALE PRINTS. CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
  - MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
  - AC CONDENSER UNIT TO BE ANCHORED TO SLAB PER CODE FBCR 1307.2 & FBCR 304.
  - PROVIDE RECESS HWC WATER W/ DRAIN @ WASHER SPACE.
  - VENT DRYER THRU EXTERIOR WALL U.O.
  - PROVIDE COLD WATER LINE FOR ICE MAKER LINE @ REF. SPACE.
  - PROVIDE RECESS HWC WATER W/ DRAIN @ WASHER SPACE.
  - SAG RESISTANT DRYWALL ON ALL CEILINGS.
  - PULL ALL DIMENSIONS FROM THE REAR OF PLAN.
  - REFER TO DETAIL SHEETS FOR FLASHING REQUIREMENTS AT ALL WOOD TO MASONRY INTERFACES.
  - ALL INTERIOR FRAME WALL DIMENSIONS TO BE 3/16" U.O.
  - ALL EXTERIOR BLOCK WALL DIMENSIONS TO BE 7/16" U.O.
  - ALL INT. FIRST FLOOR CEILINGS AT 10'-0" U.O.
  - ALL INT. SECOND FLOOR CEILINGS AT 9'-0" U.O.
  - CALL A FRAME WALL SYSTEM SEGMENTS WHICH HAVE AN UNINTERRUPTED LENGTH OF 12'-0" OR MORE SHALL BE CONSIDERED SHEAR WALL SWLS + SHEAR WALL SEGMENTS.
  - OPENING BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH MIN. FIRE RATED SOLID WOOD OR FIBERGLASS CORE STEEL DOOR NOT LESS THAN 1 3/8" THICKNESS AS PER FBCR 703.2.1.
  - INSTALL 5/8" TYPE X DRYWALL ON GARAGE CEILING BENEATH HABITABLE ROOMS (TYP).
  - GARAGE DOOR TO BE CERTIFIED BY MFR. FOR 140 M.P.H.
  - ALL TUB & SHOWER UNITS SHALL HAVE ANTI-SLIPPING DEVICES INSTALLED.
  - ALL OPERABLE WINDOWS LOCATED MORE THAN 72" ABV. SURFACE BELOW SHALL HAVE THE LOWEST PORTION OF WINDOW CLEAR OPENING A MIN. OF 37" ABOVE FINISHED FLOOR BEING SERVED PER FBCR 703.2.2.
  - ALL EGRESS OPENINGS SHALL BE IN ACCORDANCE WITH SECTION FBCR 703.10.
  - ALL INT. DOORS TO BE 6'-8" TALL U.O. OR PER BUILDER / CLIENT
  - 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALL TO UNDERSIDE OF BECKING.
  - 1/2" GYPSUM BOARD APPLIED TO THE ACCESSIBLE AREA UNDER STAIR SURFACES AND SIDES.
  - THERMAL BARRIER FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF A BUILDING BY NOT LESS THAN 1/2" (12 MM) GYPSUM WALLBOARD, GYPSUM OR 1/2" (12 MM) WOOD STRUCTURAL PANEL OR A MATERIAL THAT IS TESTED IN ACCORDANCE WITH AND MEETS THE ACCEPTANCE CRITERIA OF BOTH THE THERMAL BARRIER TRANSMISSION TEST AND THE INTEGRITY FIRE TEST OF NFPA 275.
  - ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE WITH SECTION FBCR 703.19.
  - ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
  - SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.
  - ATTIC ACCESS OPENING SHOULD BE WEATHERSTRIPPED AND INSULATED TO LEVEL EQUIVALENT TO INSULATION ON THE SURROUNDING AREAS PER FBCR 703.2.1.
  - FILL JOGS OF UNDERSIDE OF TUBS & SHOWERS WITH INSULATION FOR ACOUSTIC DAMPING.
  - ADD ACOUSTIC OR VIBRATION ISOLATION DEVICES AT GARAGE DOOR OPENERS THAT ARE ADJACENT TO HABITABLE SPACES ABOVE.
  - WHERE WALL TILE IS INSTALLED IN TUB AND SHOWER AREAS, GLASS MAT GYPSUM BACKING PANELS (ASTM C1278), FIBER-REINFORCED GYPSUM PANELS (ASTM C1278), NON-ASBESTOS FIBER-CEMENT BACKER BOARD (ASTM C1201) OR NON-ASBESTOS FIBER-REINFORCED CONCRETE BACKER UNITS (ASTM C1205) SHALL BE USED PER FBCR 703.4. PAPER-FACED GYPSUM BOARD SHALL NOT BE USED.

**WINDOW NOTE KEY:**

- WINDOW SIZE CALLOUT:
- 2000 x 2'-0" x 6'-0"
  - 2050 x 2'-0" x 6'-0"
  - 2000 x 2'-0" x 6'-0"
  - 30 x 3'-0"
- ALL WINDOW CALLOUTS ARE MEASURED IN FEET & INCHES AS PER THE EXAMPLE TABLE ABOVE.

**DOOR NOTE KEY:**

- DOOR SIZE CALLOUT:
- 20 x 2'-0" 40 B.F. = 4'-0" BIFOLD
  - 24 x 2'-4" 50 B.F. = 5'-0" BIFOLD
  - 28 x 2'-8" 60 B.F. = 6'-0" BIFOLD
  - 28 x 2'-8" 60 B.F. = 6'-0" BIFOLD
  - 30 x 3'-0"

**BRG. HT. LEGEND**

- POURED CONCRETE FILLED CELL WITHIN AN 8" CMU WALL, U.O. W/ VERT. REBAR CONT. FROM FOUNDATION SLAB TO ROOF BEAM (MIN. OF 25" LAP ON ALL STEEL REINFORCING BARS)
- INDICATES BRG. WALL
- FRAME WALL PER PLAN

**Area Tabulations**

	Latitude II
1st floor:	813 sf
2nd floor:	1,134 sf
Total Living:	1,947 sf
entry:	18 sf
garage:	331 sf
Total Area:	2,296 sf

**Floor Plan**

SCALE: 1/4" = 1'-0"

815 Oriole Ave., Suite #1040  
Altamonte Springs, FL 32710  
Ph: (407) 629-6711  
Fax: (407) 629-6776  
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**AI BD**

**GOBA**  
GOLF & OAKS ASSOCIATES

**5-Unit: (Paradiso TH)**  
Models: Nambius, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: M.C.

LATITUDE II FLR PLAN  
**A6**

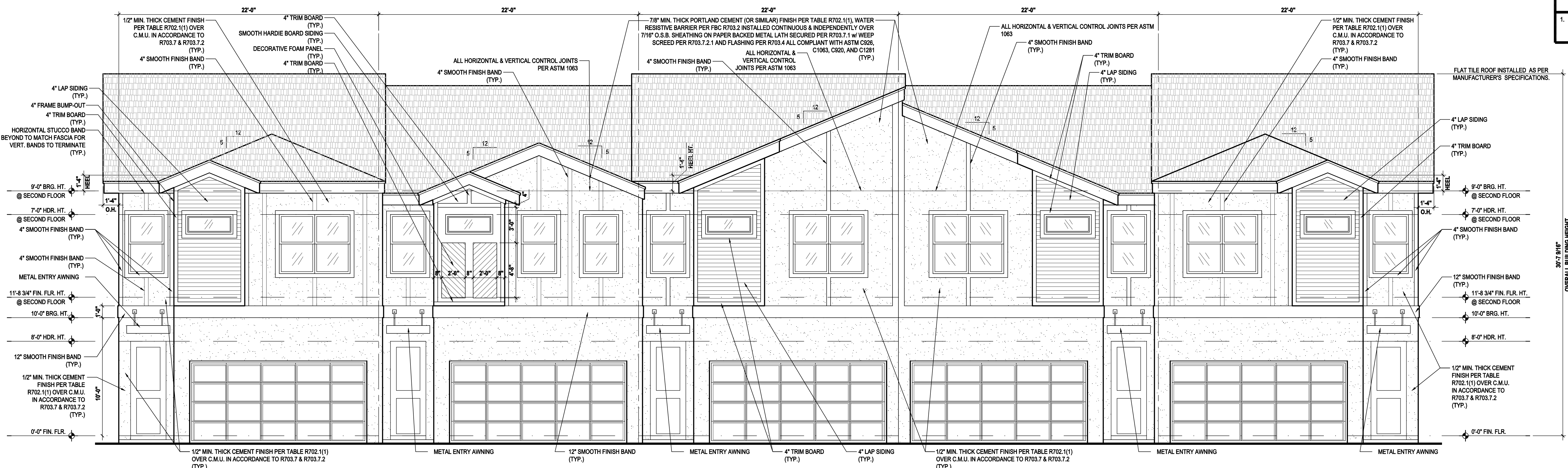
Dec 04, 2023, 1:45pm  
MJSUBSERV@Park Square HomesMODELSTOWNHOME (Chandoli)-Townhome ModelParadisoTH (Latitude II) (w)

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401 Vineland Road Suite #6 Orlando, FL 32811  
Ph: (407) 724-1790  
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**ELEVATION NOTES**

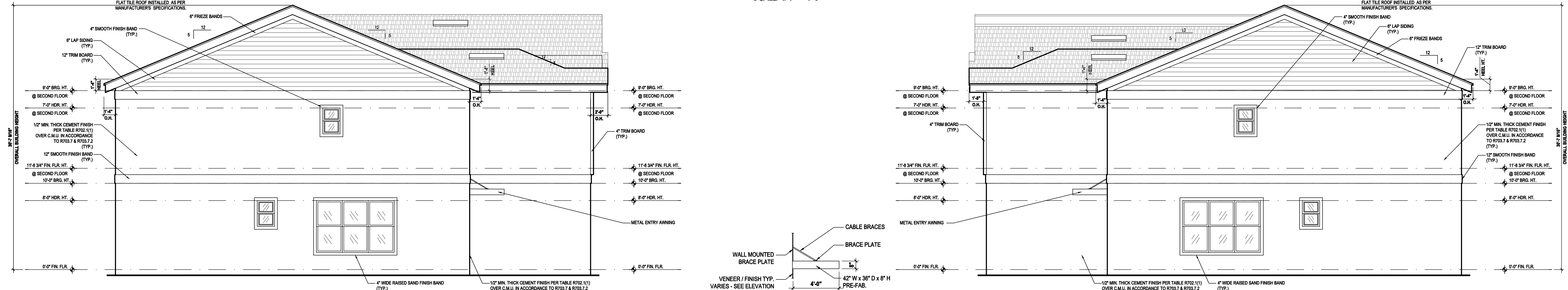
1. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.



Nautilus LOT# XX      Latitude LOT# XX      Latitude (Rev.) LOT# XX      Nautilus (Rev.) LOT# XX

**Front Elevation "A"**

(Standard)  
SCALE 1/4" = 1'-0"



Left Elevation "A" (Standard) SCALE 3/16" = 1'-0"      Right Elevation "A" (Standard) SCALE 3/16" = 1'-0"

**Metal Awning Detail**

SCALE 1/4" = 1'-0"



**Rear Elevation "A"**

(Standard)  
SCALE 3/16" = 1'-0"

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**AI**  
**BD**

**GOBA**  
GENERAL BUILDING CONTRACTORS

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Plat #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

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Enterprise Inc.  
5200 Vineland Rd, Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
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SCALE: AS NOTED  
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DESIGNED BY: MJS

ELEVATIONS  
**A7**

Dec 04, 2023, 1:45pm mjsusbr\1\Park Square Homes\MODEL\STOWNHOME MODEL\STOWNHOME (Grandjoni)\1- Townhome Model\Paradiso Grande (Cando)\1- Elevations\1-Paradiso TH\5-UNIT\A Elevations- Elev. A.dwg

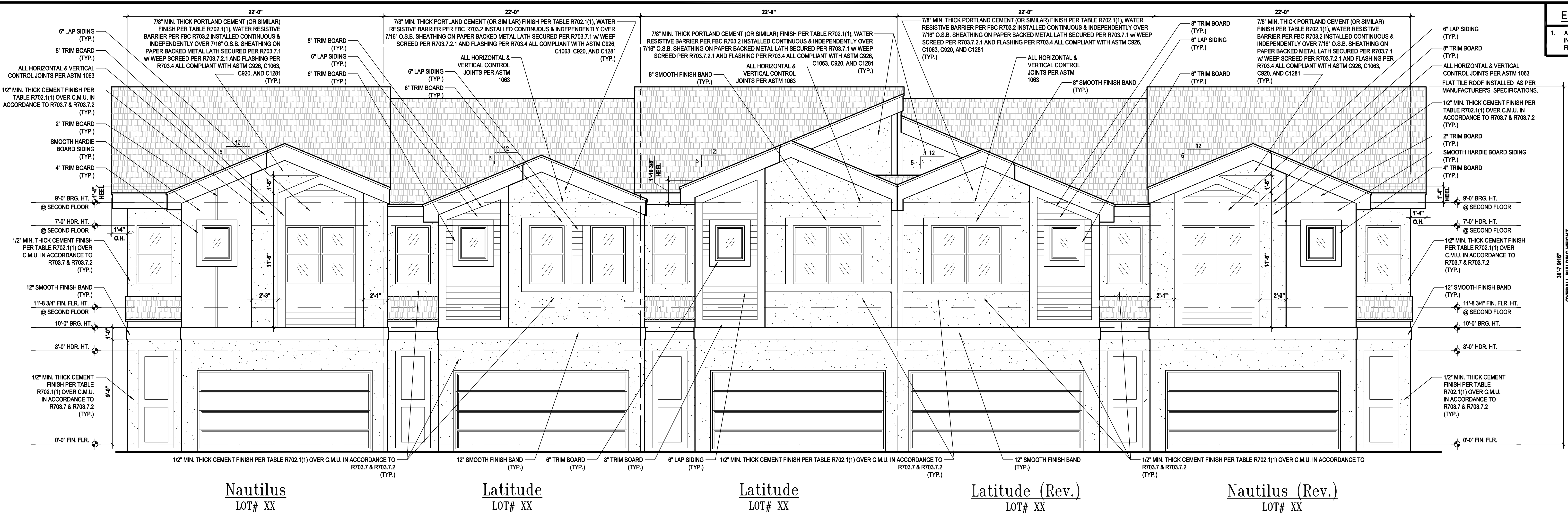
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Written dimensions shall have precedence over scale dimensions. Contractors shall verify and be responsible for dimensions and conditions of the job and MJS, Inc. must be notified in writing of any changes in the dimensions, conditions and specifications appearing on these plans.

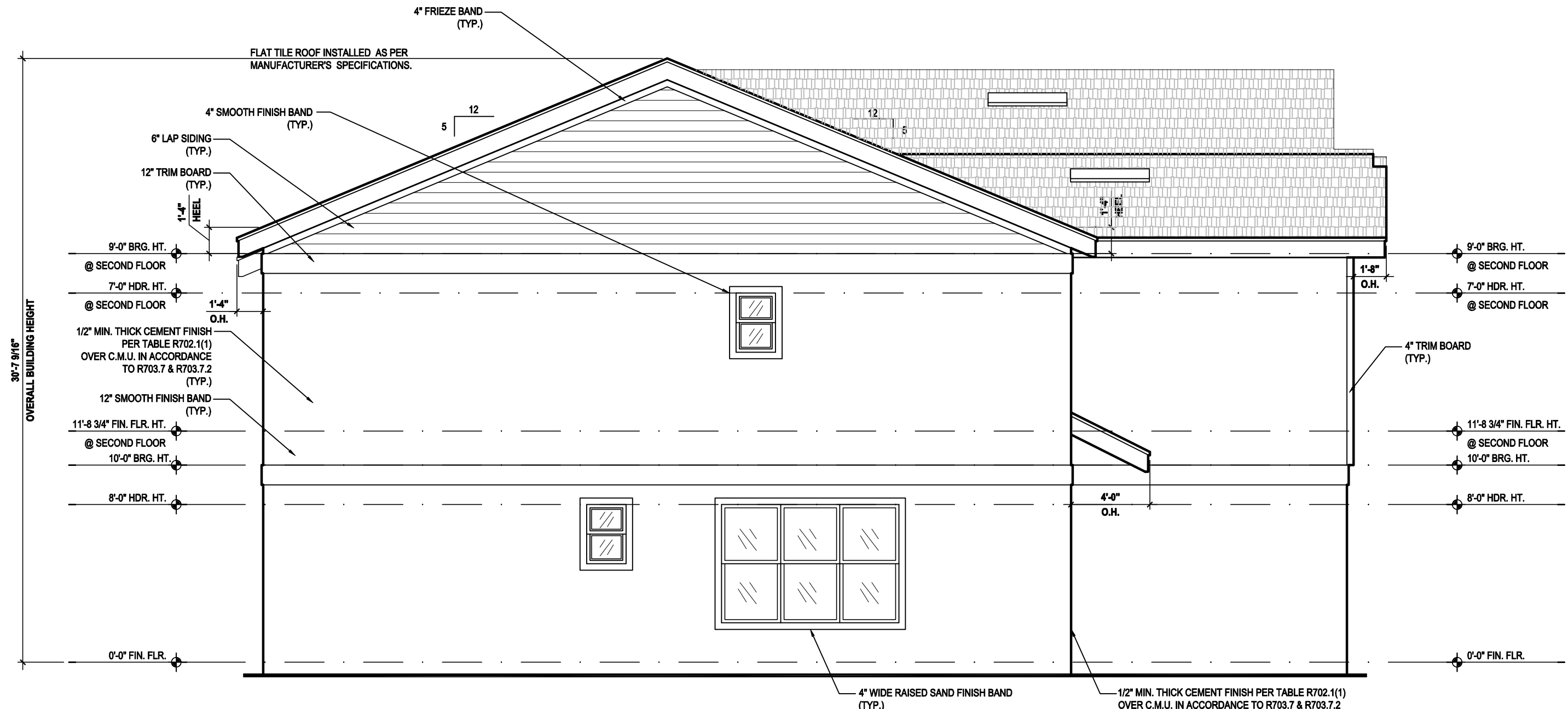


**ELEVATION NOTES**

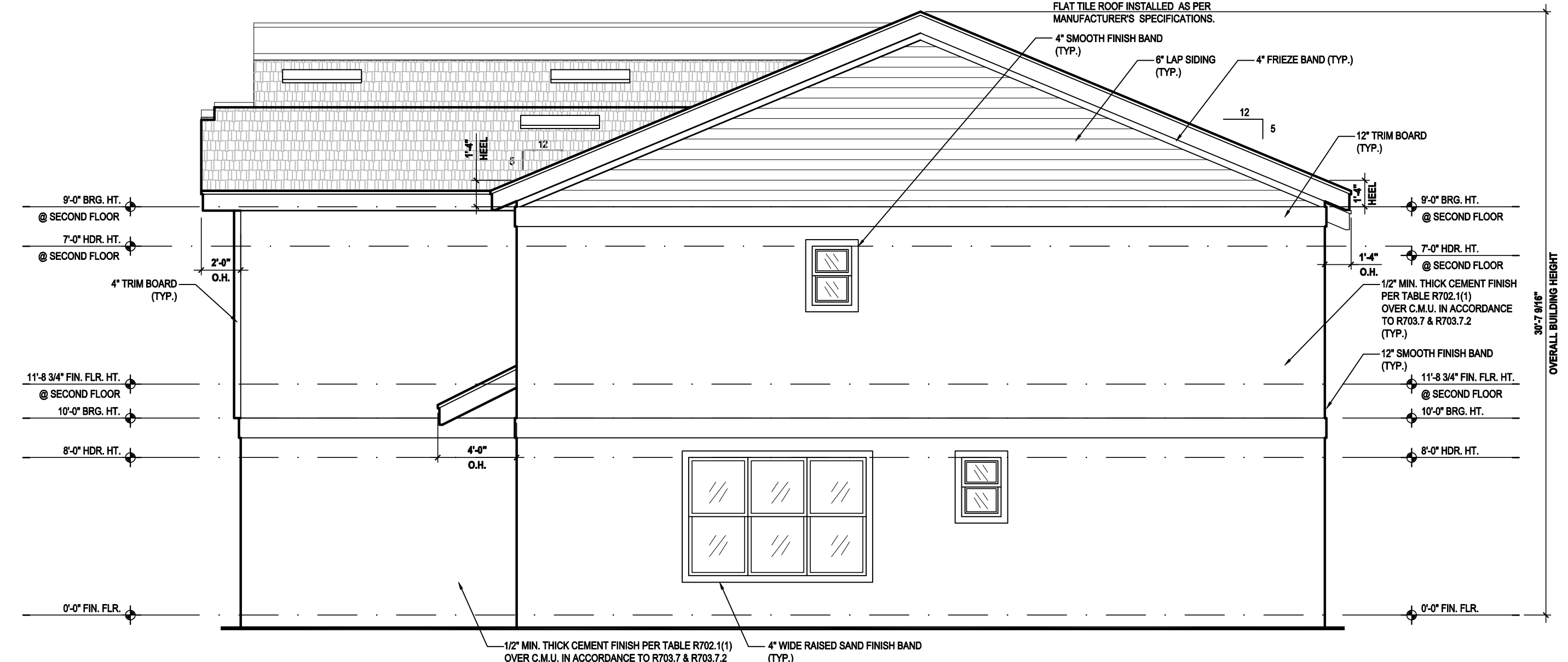
1. ADDRESS NOTIFICATION SHALL BE IN ACCORDANCE W/ SECTION FBC-R319.



**Front Elevation "B"**  
(Standard)  
SCALE 1/4" = 1'-0"



**Left Elevation "B"**  
(Standard)  
SCALE 3/16" = 1'-0"



**Right Elevation "B"**  
(Standard)  
SCALE 3/16" = 1'-0"



**Rear Elevation "B"**  
(Standard)  
SCALE 3/16" = 1'-0"

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**GOBA**  
GENERAL BUILDING CONTRACTORS

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Plat #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

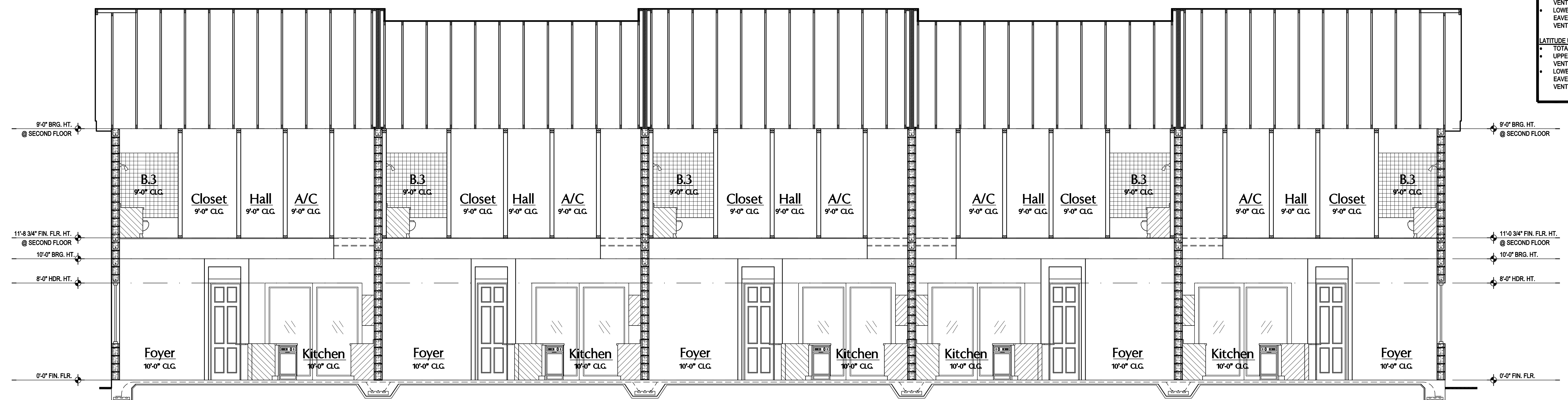
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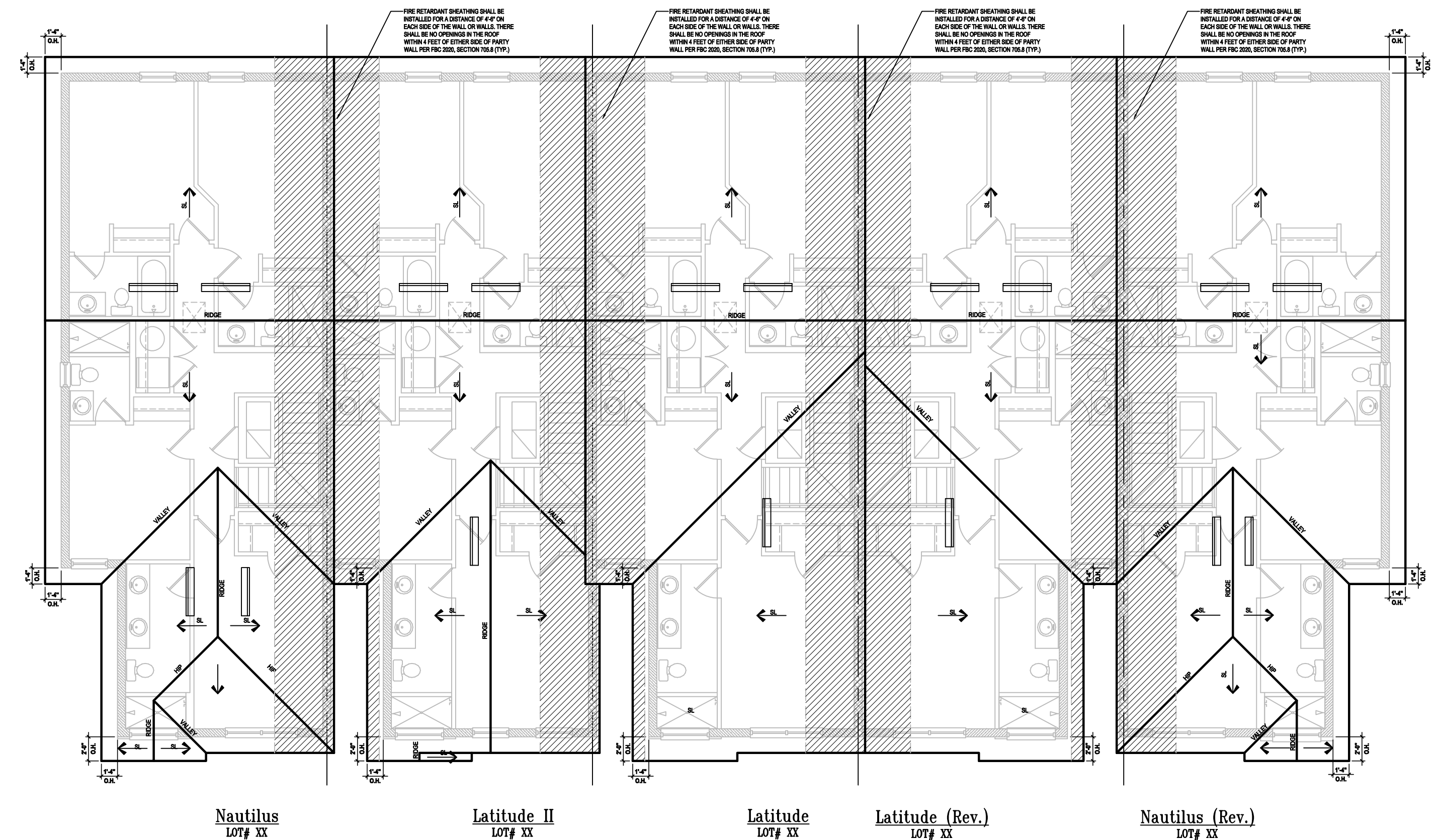
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PROJECT: 22-1151  
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DESIGNED BY: MJS

ELEVATIONS  
**A8**

**ATTIC VENT CALC'S:**  
 2020 FLORIDA BUILDING CODE (7TH EDITION) SECTION R808  
 MIN. 40% - MAX. 50% OF REQUIRED VENTILATION TO BE IN UPPER PORTION OF ATTIC SPACE AND THE BALANCE TO BE IN LOWER PORTION (EAVES).  
 (OFF-RIDGE VENT MAXIMUM OPENING SIZES)  
 MINIMUM NET VENTILATION AREA SHALL BE 1/150 OF VENTED SPACE.  
**NAUTILUS UNIT:**  
 • TOTAL VENTED: 1,320/300 = 4.4 SQ. FT.  
 • UPPER PORTION VENTILATION TOTAL w/ OFF-RIDGE VENTS (40%): 1.76 SQ. FT. / .652 = 2.69 VENTS= 3 VENTS  
 • LOWER PORTION VENTILATION TOTAL w/ SOFFITS @ EAVE (60%): 2.64 SQ. FT. / .80.00 LF= .033 SQ. FT. PER VENTINGALF.  
**LATITUDE UNIT:**  
 • TOTAL VENTED: 1,169/300 = 3.89 SQ. FT.  
 • UPPER PORTION VENTILATION TOTAL w/ OFF-RIDGE VENTS (40%): 1.55 SQ. FT. / .652 = 2.39 VENTS= 3 VENTS  
 • LOWER PORTION VENTILATION TOTAL w/ SOFFITS @ EAVE (60%): 2.33 SQ. FT. / .80.00 LF= .029 SQ. FT. PER VENTINGALF.



**1 Building Section "A&B"**  
 SCALE: 1/4" = 1'-0"



**2 Roof Layout "A"**  
 SCALE: 1/8" = 1'-0"

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**A I B D**

**GOBA**  
 GROUP OF BUILDING ORGANIZATIONS

**5-Unit: (Paradiso TH)**  
 Models: Nautilus, Latitude  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

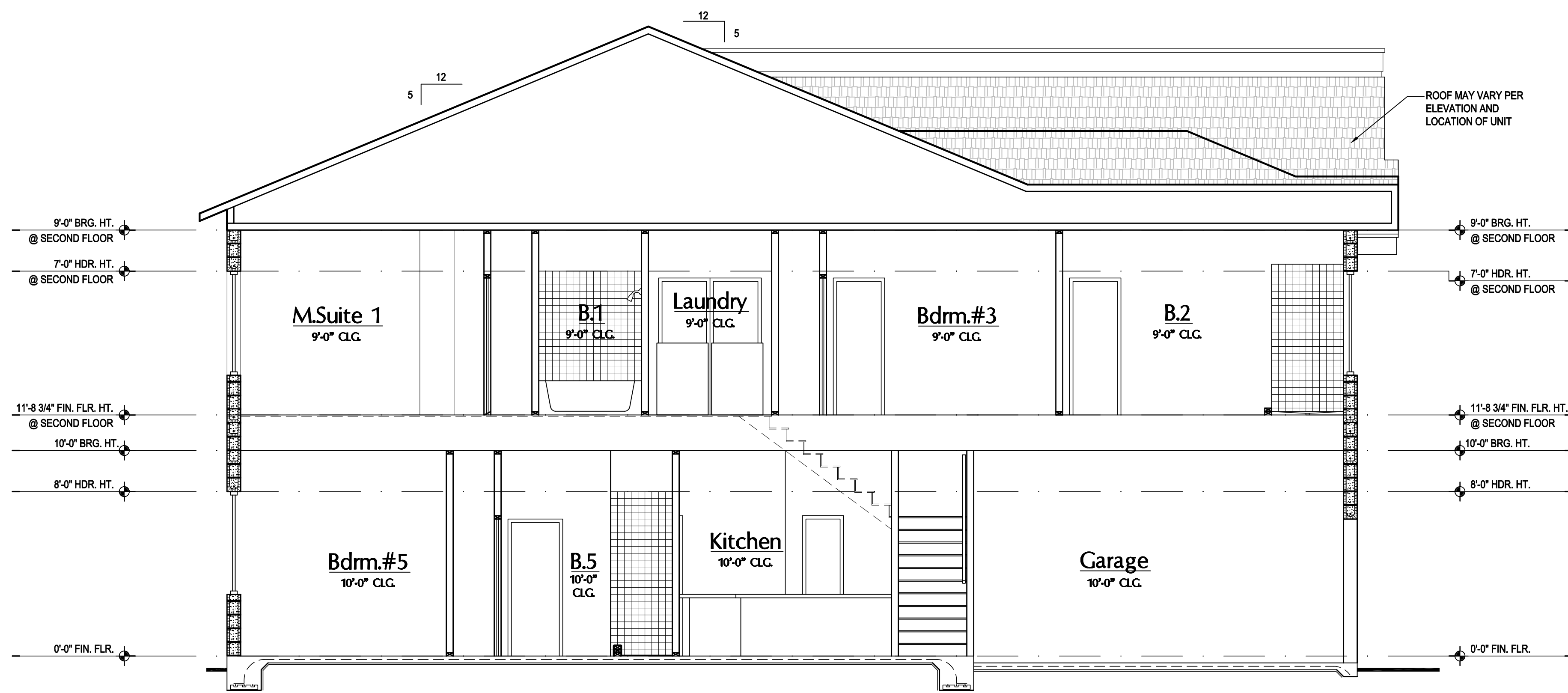
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**Park Square HOMES**

ISSUE DATE: 04/13/2023  
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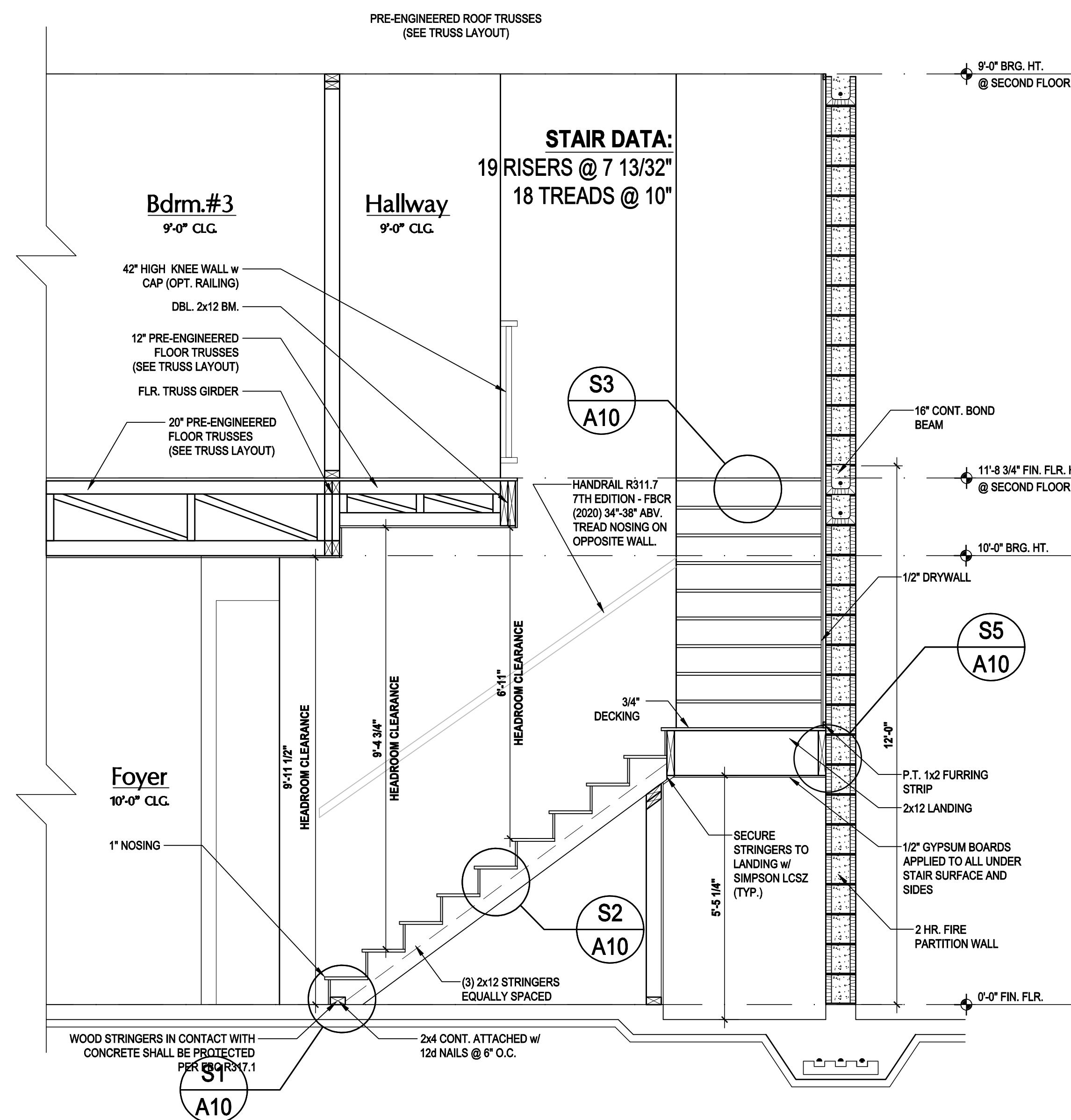
SECTIONS  
**A9**

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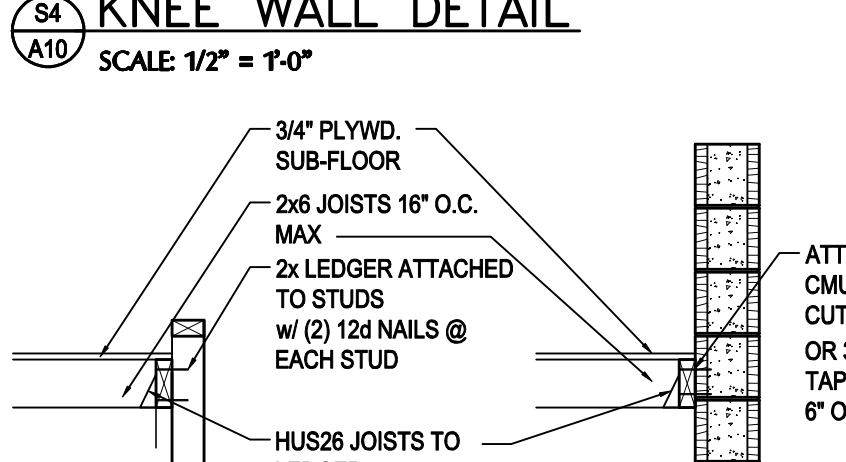
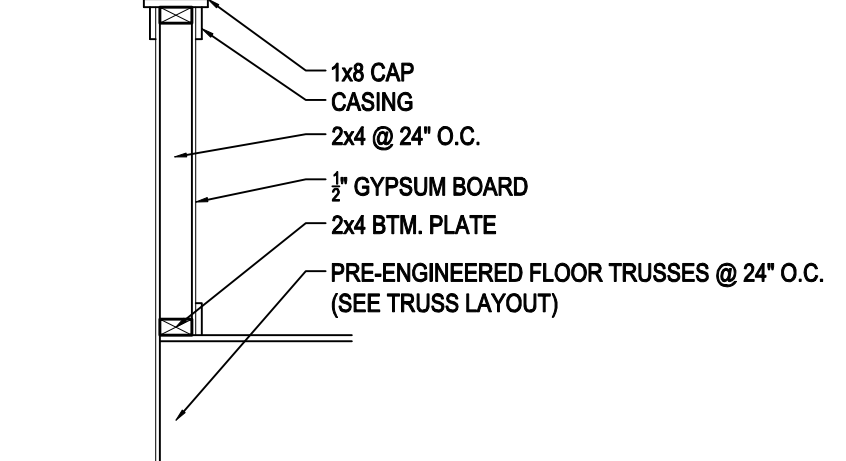
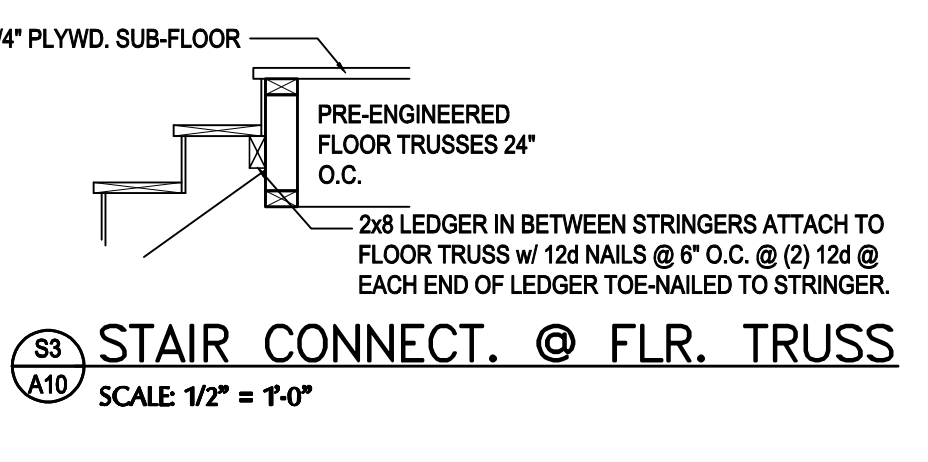
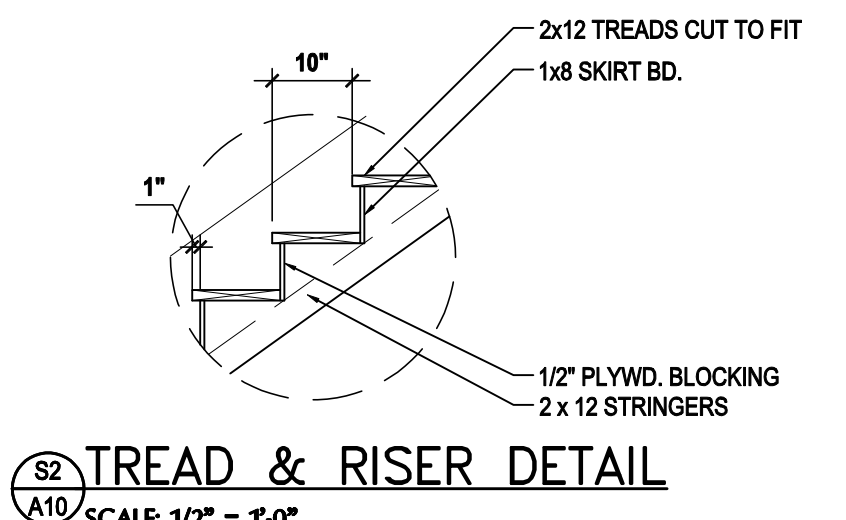
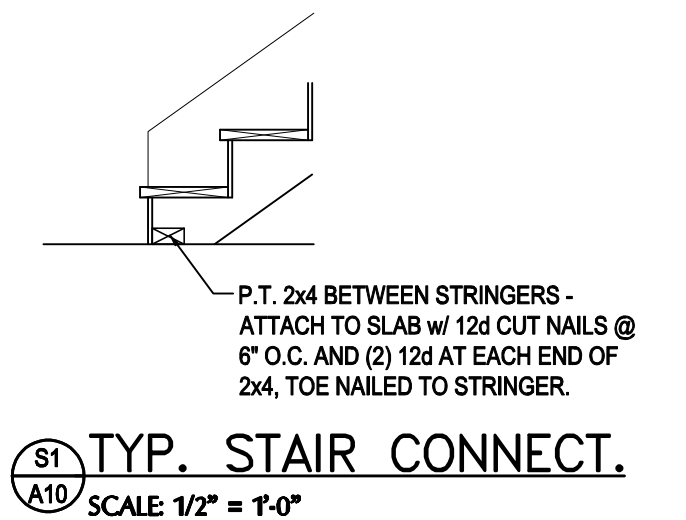


Nautilus & Latitude

**1 Building Section "A"**  
SCALE: 1/4" = 1'-0"



**3 Stair Section**  
SCALE: 1/2" = 1'-0"



- FRAME CONDITION**      **CMJ CONDITION**
- NOTES:**
- STARWAY CONSTRUCTION TO CONFORM TO FBCR 2020, 7TH EDITION SECTION R311.7
  - STARWAY SHALL NOT BE LESS THAN 36" MIN. IN WIDTH.
  - HEADROOM SHALL NOT BE LESS THAN 8 FEET 0 INCHES MIN. IN CLEARANCE.
  - RISERS SHALL BE AT A MAX. HGT. OF 7 3/4".
  - TREAD DEPTH SHALL NOT BE LESS THAN 10 INCHES.
  - TREAD NOSING SHALL HAVE A MAX. RADIUS CURVATURE OF 9/16" AND A PROJECTION OF 3/4" BUT NOT MORE THAN 1 1/4". NOSING PROJECTION NOT REQUIRED WHERE THE TREAD DEPTH IS NOT LESS THAN 11 INCHES.
  - 3/16" MAX VARIATION IN RISERS / TREADS ADJACENT TO EACH OTHER.
  - 3/8" MAX VARIATION IN ANY RISE / TREAD.
  - HAND RAIL CIRCULAR CROSS SECTION DIA. TO BE 1 1/4" - 2" OR TO PROVIDE EQUIVALENT GRASPABILITY.
  - UNDER MIN. 8" WIDE @ NARROW END.
  - HANDRAIL HGT. SHALL BE NOT LESS THAN 34" BUT NOT GREATER THAN 38".

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**GOBA**  
 GROUP OF BUSINESS ASSOCIATES

**5-Unit: (Paradiso TH)**  
 Models: Nautilus, Latitude  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

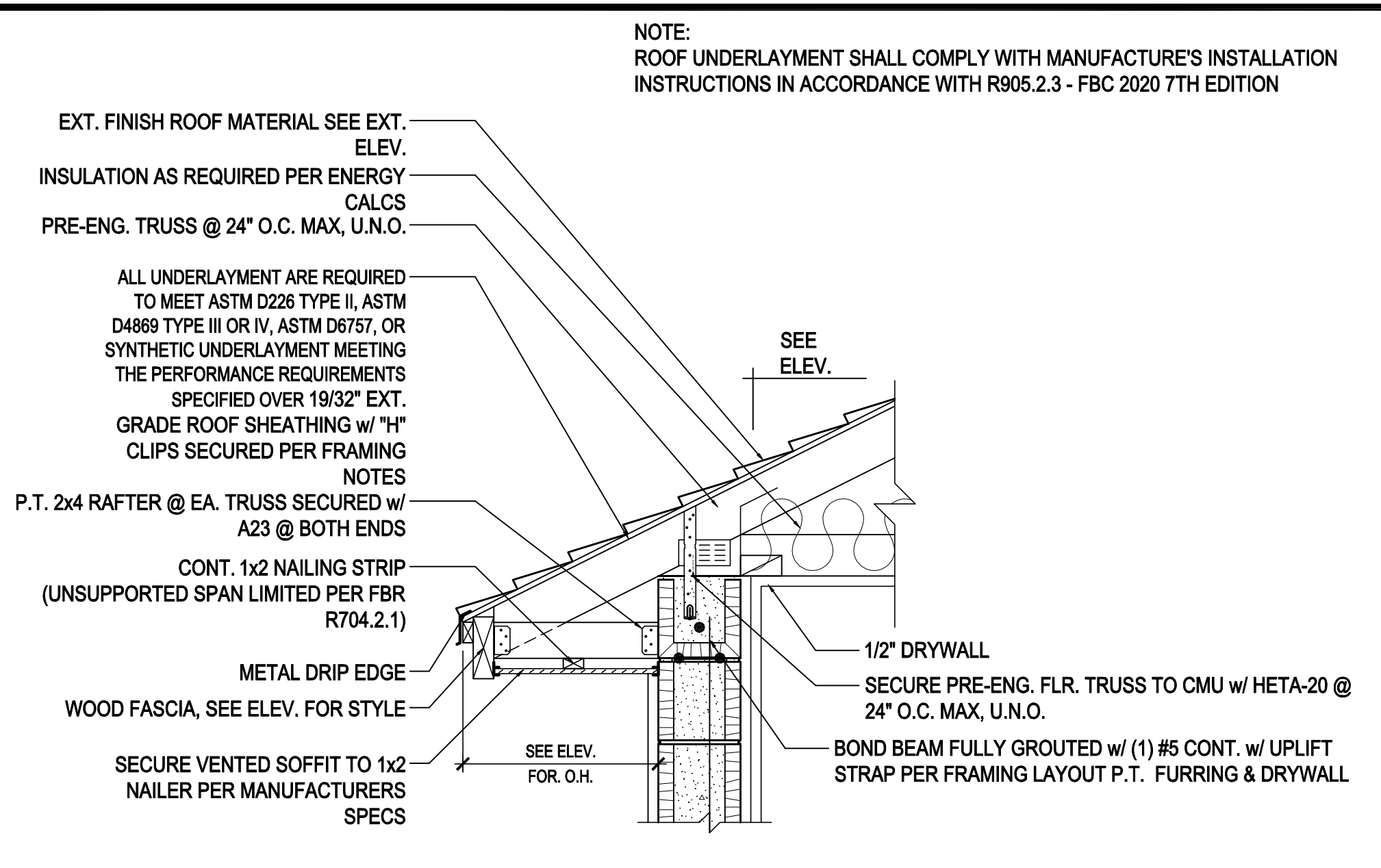
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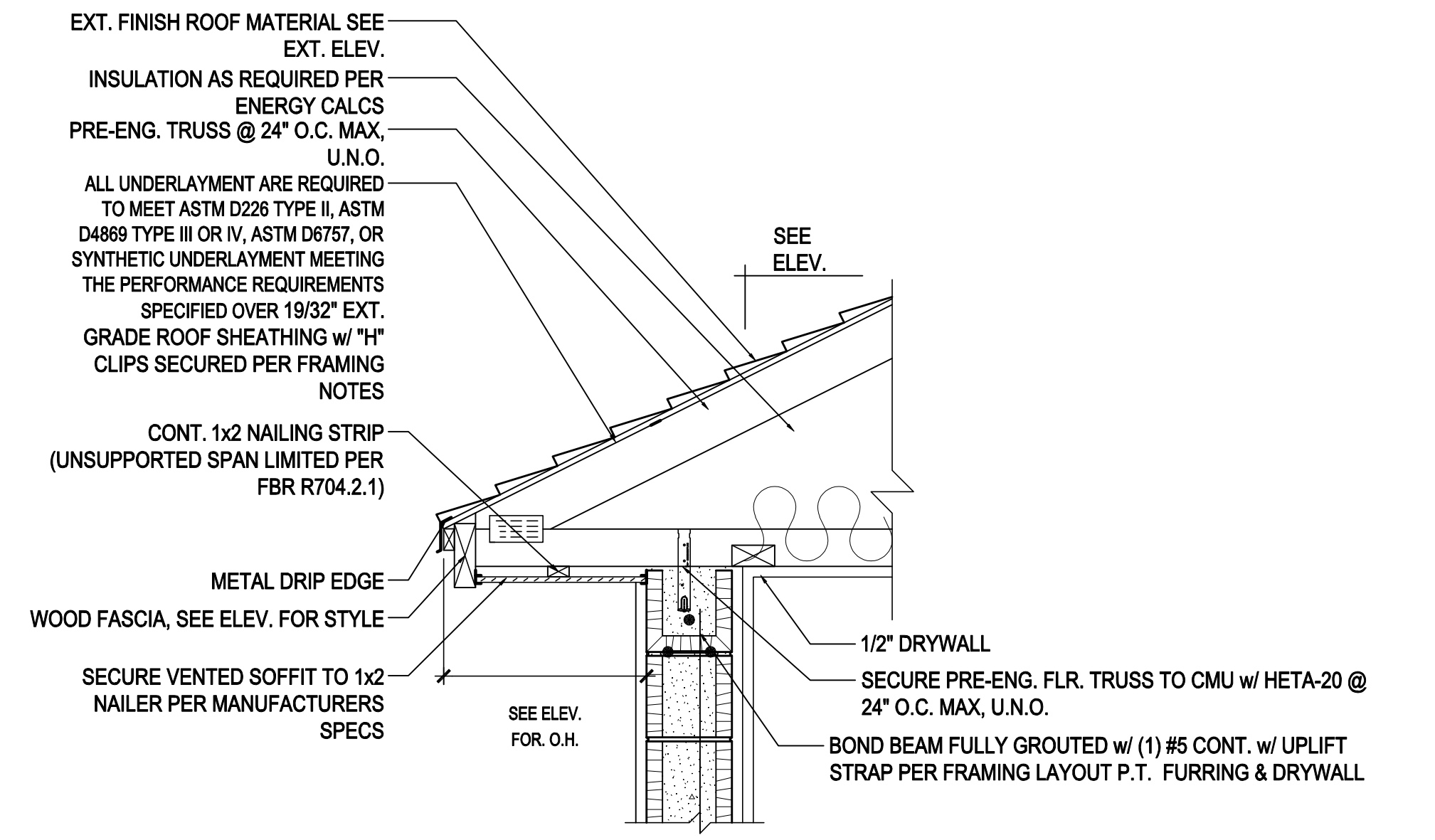
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 REVISIONS:

SECTIONS  
**A10**

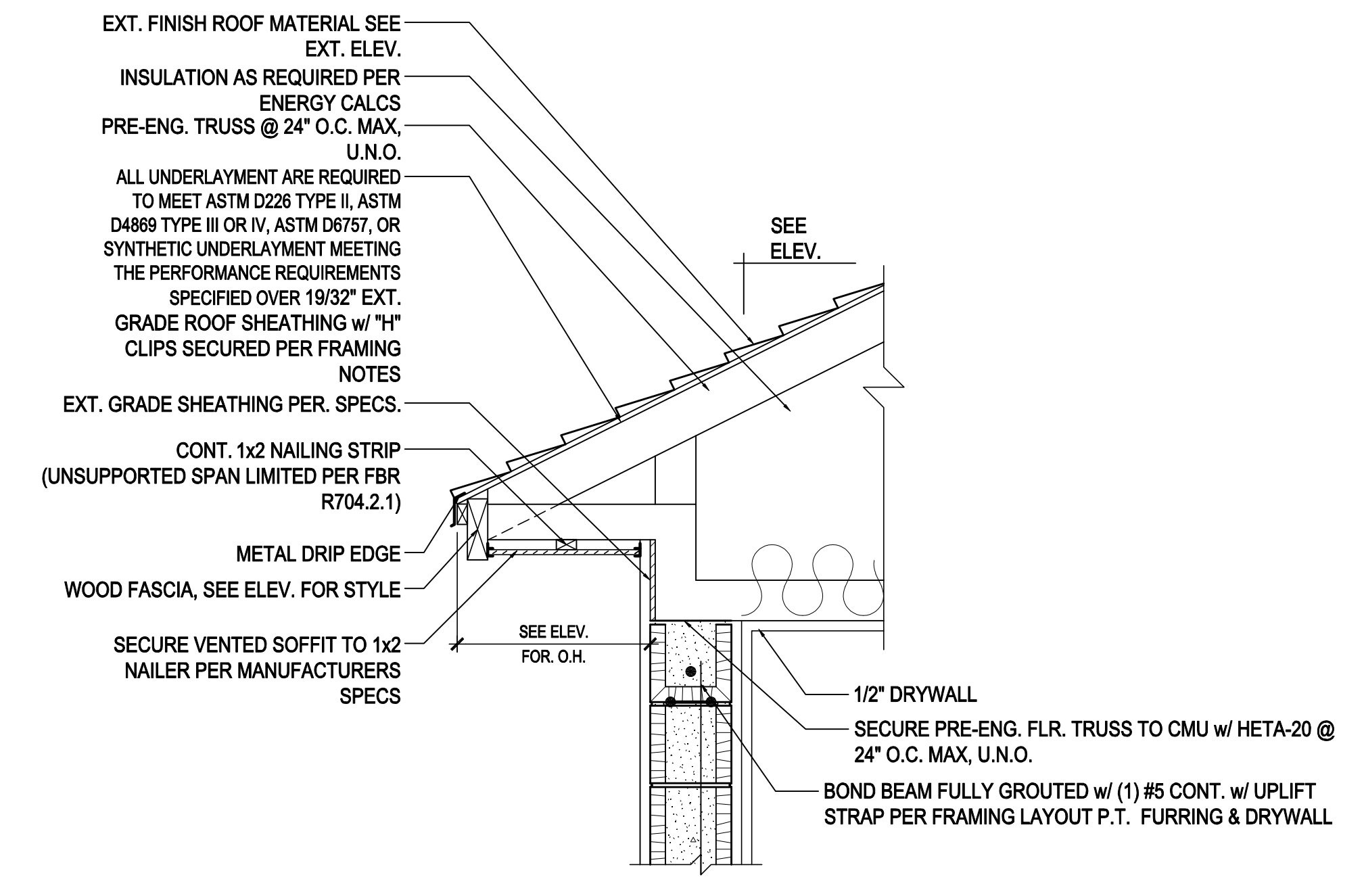
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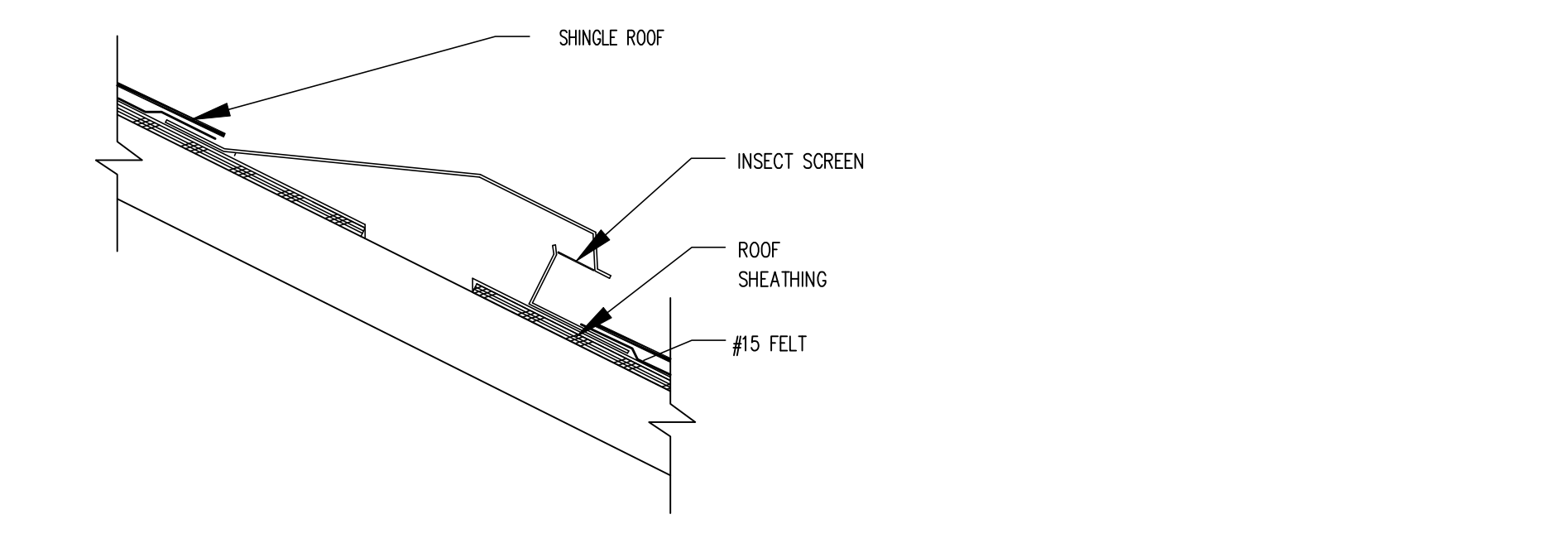
NOMINAL HEEL CONDITION



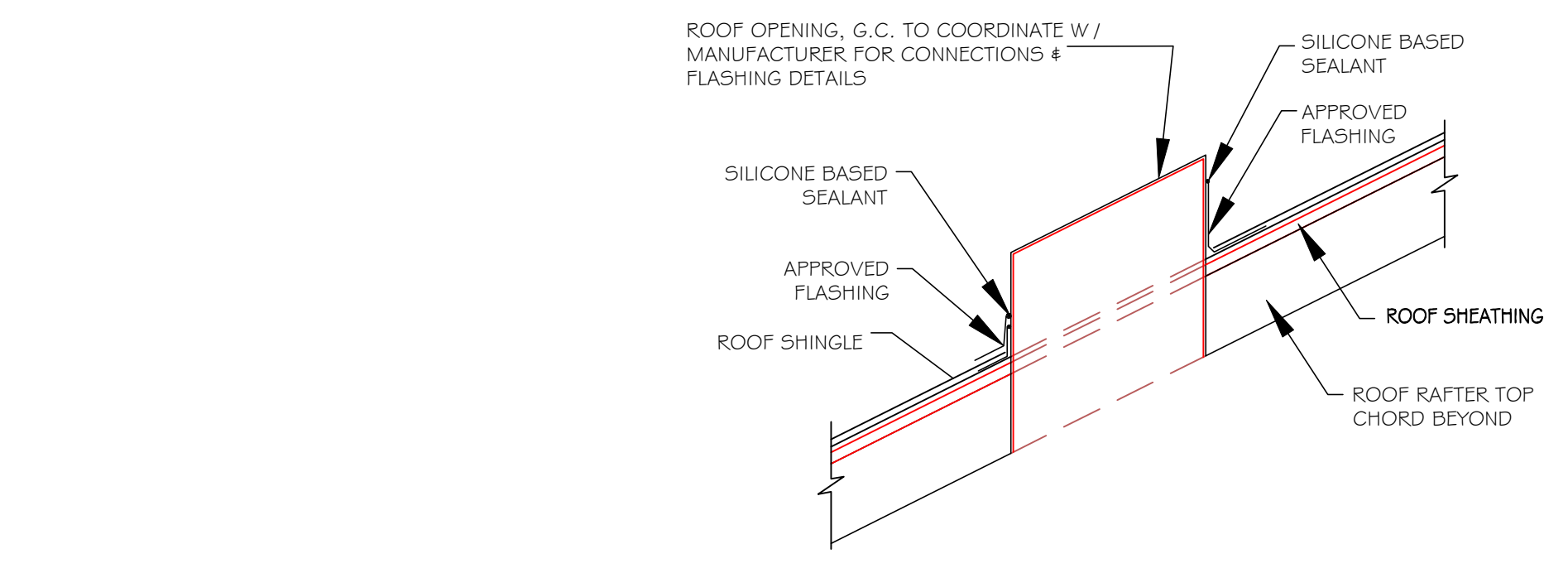
CANTILEVERED BTM. CHORD CONDITION



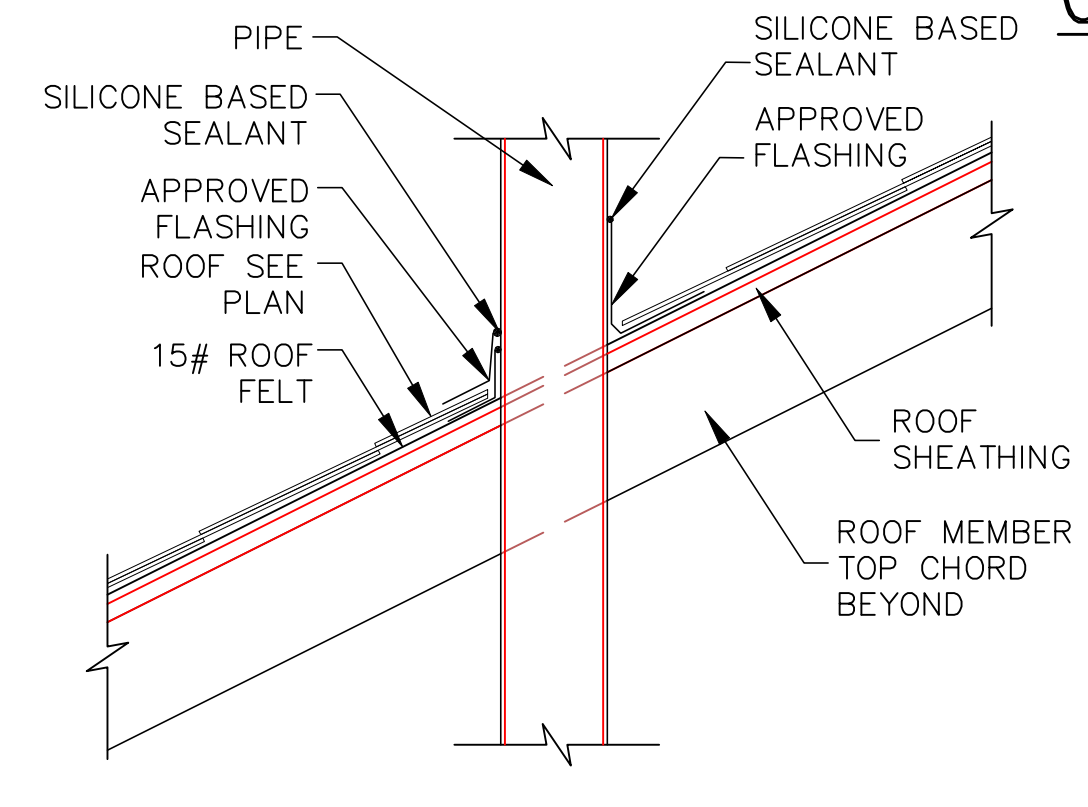
RAISED HEEL CONDITION



OFF-RIDGE VENT PENETRATION THRU ROOF



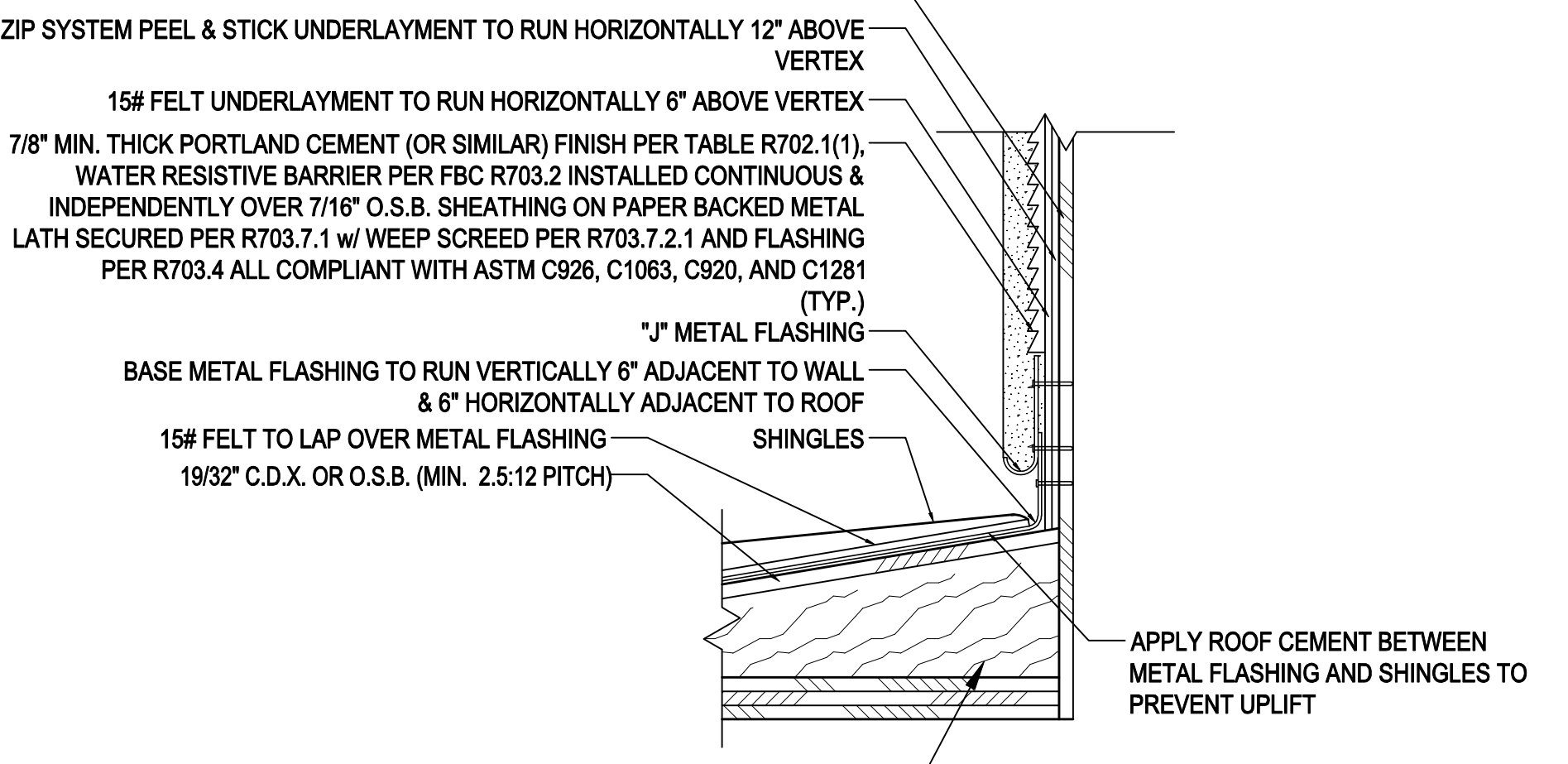
OPENING PENETRATION THRU ROOF



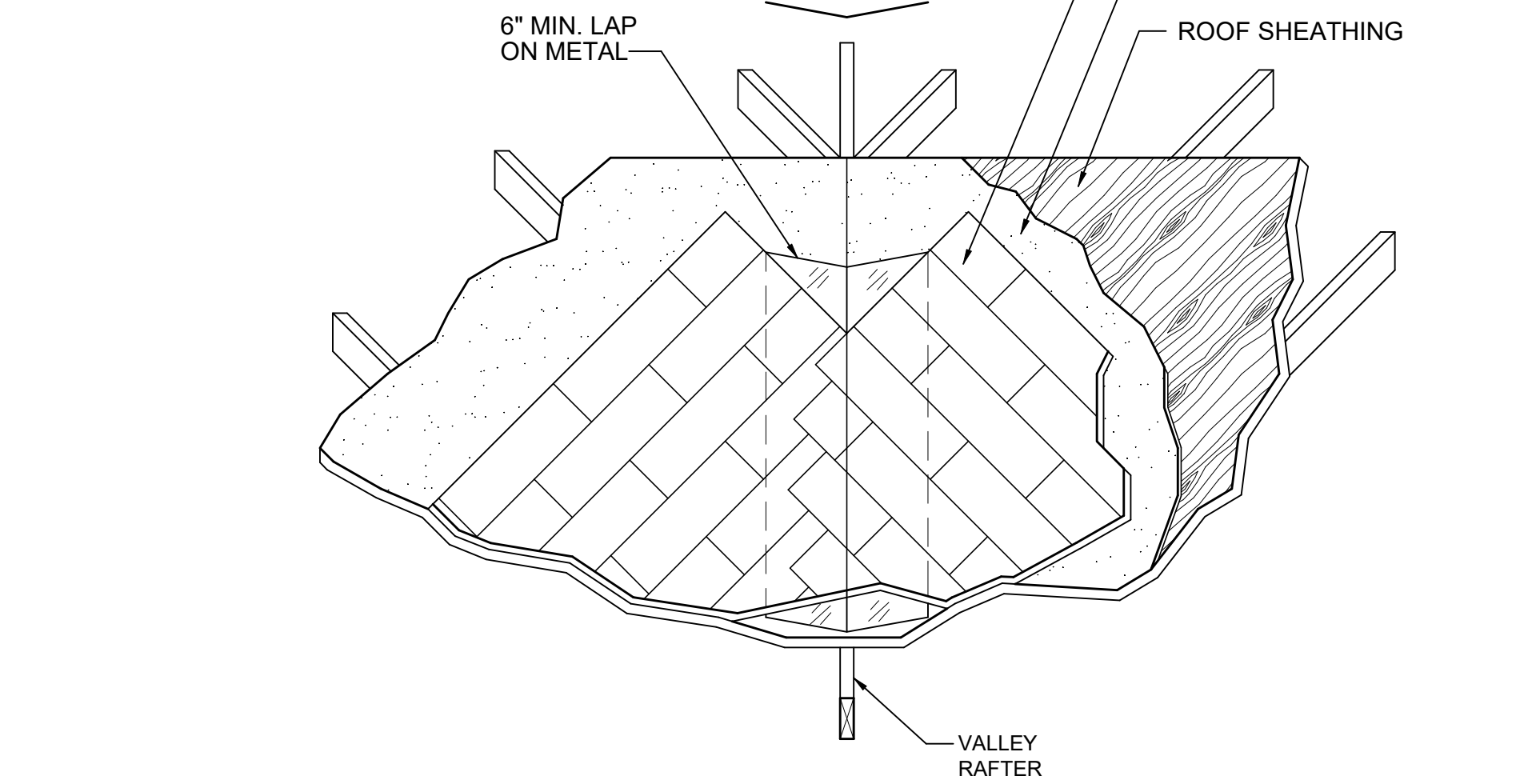
PIPE PENETRATION THRU ROOF

2 ROOF PENETRATION DETAIL

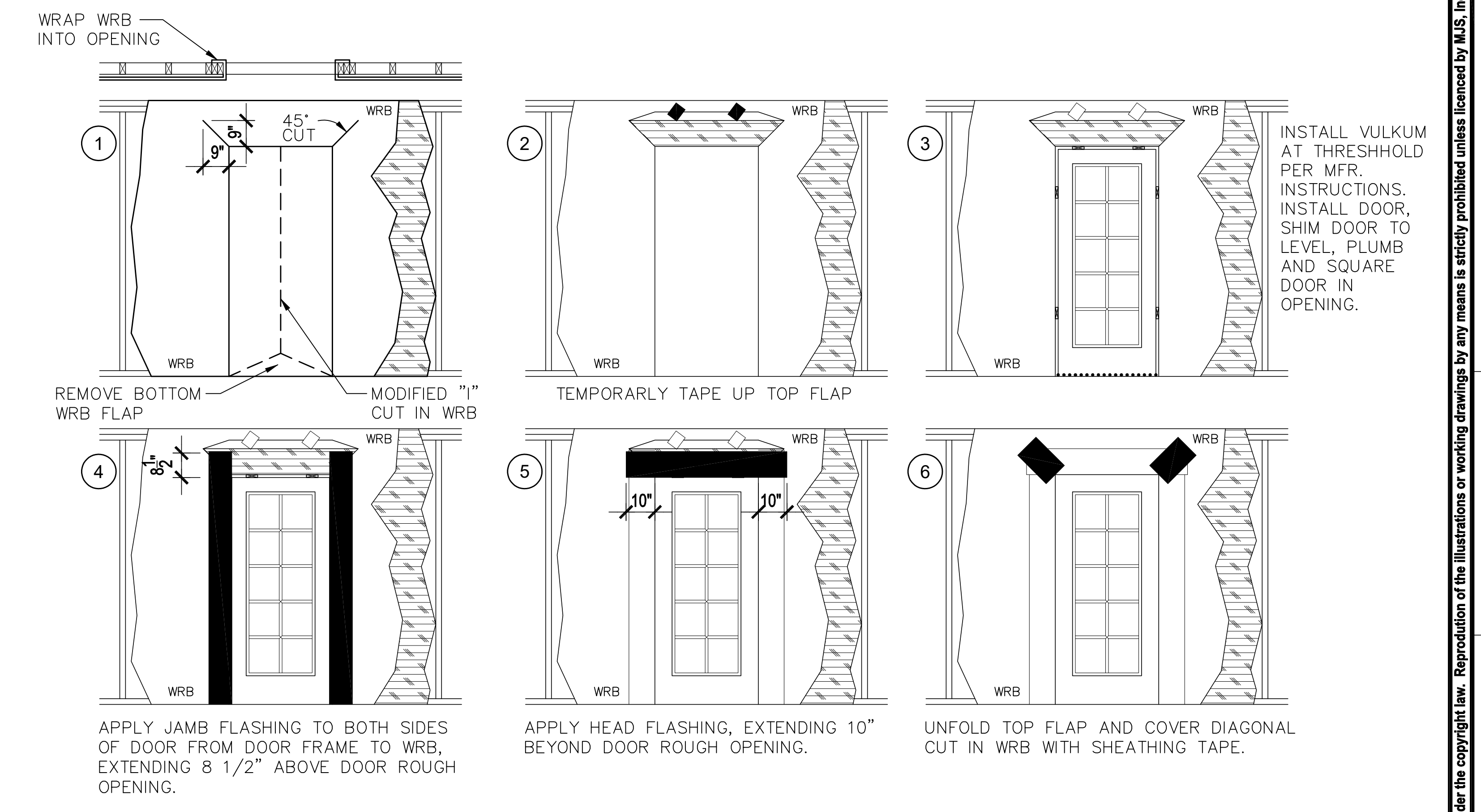
NOTE: FLASHING DETAIL TO COMPLY WITH R903.2 OF THE FBC 2020 - 7TH EDITION



2x's @ 24" O.C. W/ HUGHES MP35 ATTACHED TO SHEATHING WHEN GREATER THAN 24" x 24".



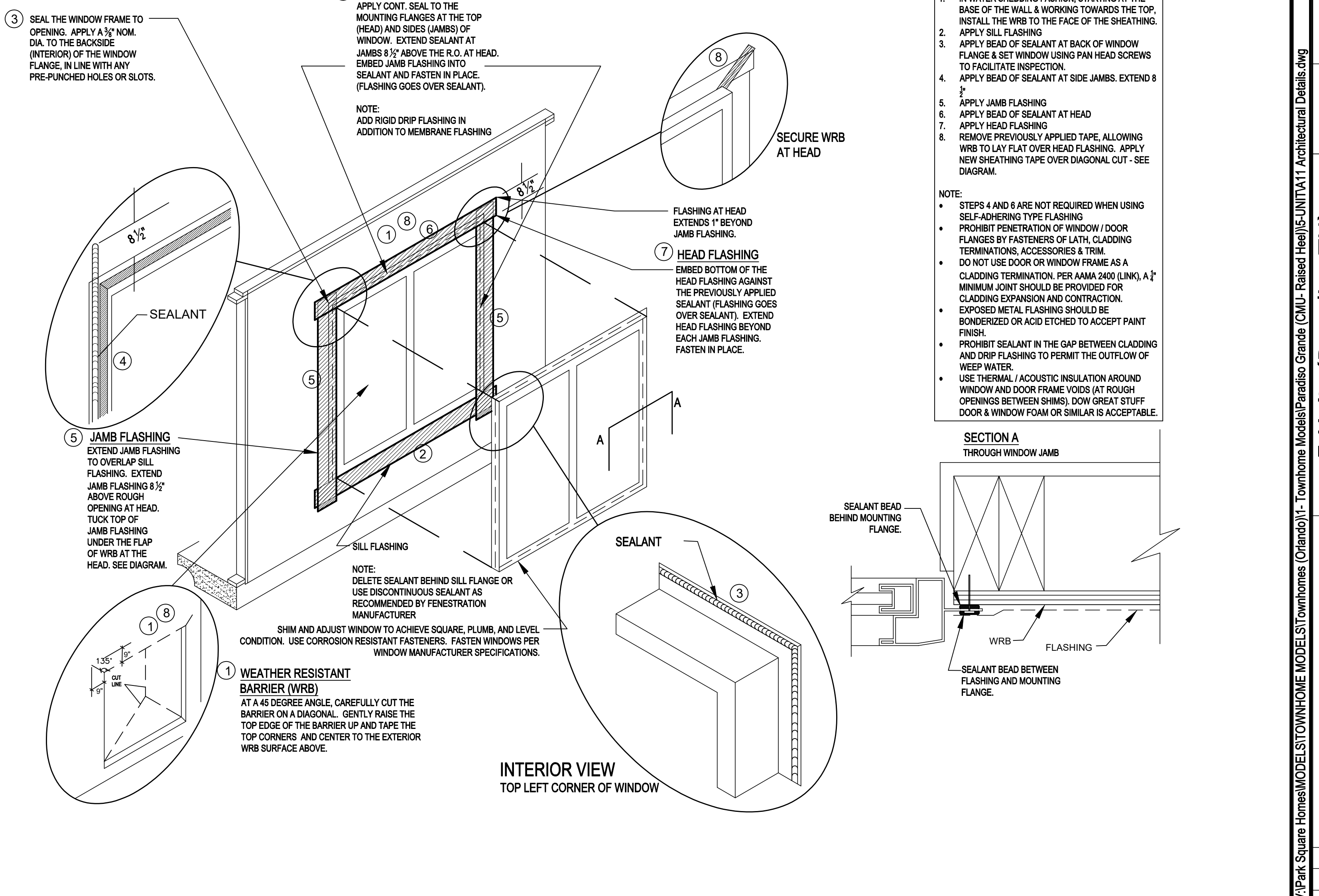
3 CRICKET FLASHING DETAIL



EXTERIOR DOOR FLASHING

WINDOW INSTALLATION (METHOD A-1) (ASTM E 2112-01)

WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION. FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.



WINDOW FLASHING "METHOD A-1"

1 SOFFIT OVERHANG DETAIL

3 CRICKET FLASHING DETAIL

WINDOW FLASHING "METHOD A-1"

**MTEG**  
THOMPSON ENGINEERING GROUP, INC.  
4401 Vineland Road Suite 40 Orlando, FL 32811  
Ph: (407) 734-1450  
Fax: (407) 734-1790  
www.teg.com

815 Oriente Ave., Suite #1040  
Altamonte Springs, FL 32701  
Ph: (407) 629-6711  
Fax: (407) 629-6776  
www.mjsdesignsgroup.com  
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**MJS**  
designers group  
residential-commercial-architecture

**AIBD**

**GOBA**  
GREEN ORANGE BUILDING ASSOCIATION

**5-Unit: (Paradise TH)**  
Models: Neapolis, Latitude  
Building Pair #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises, Inc.  
5200 Vineland Rd. Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

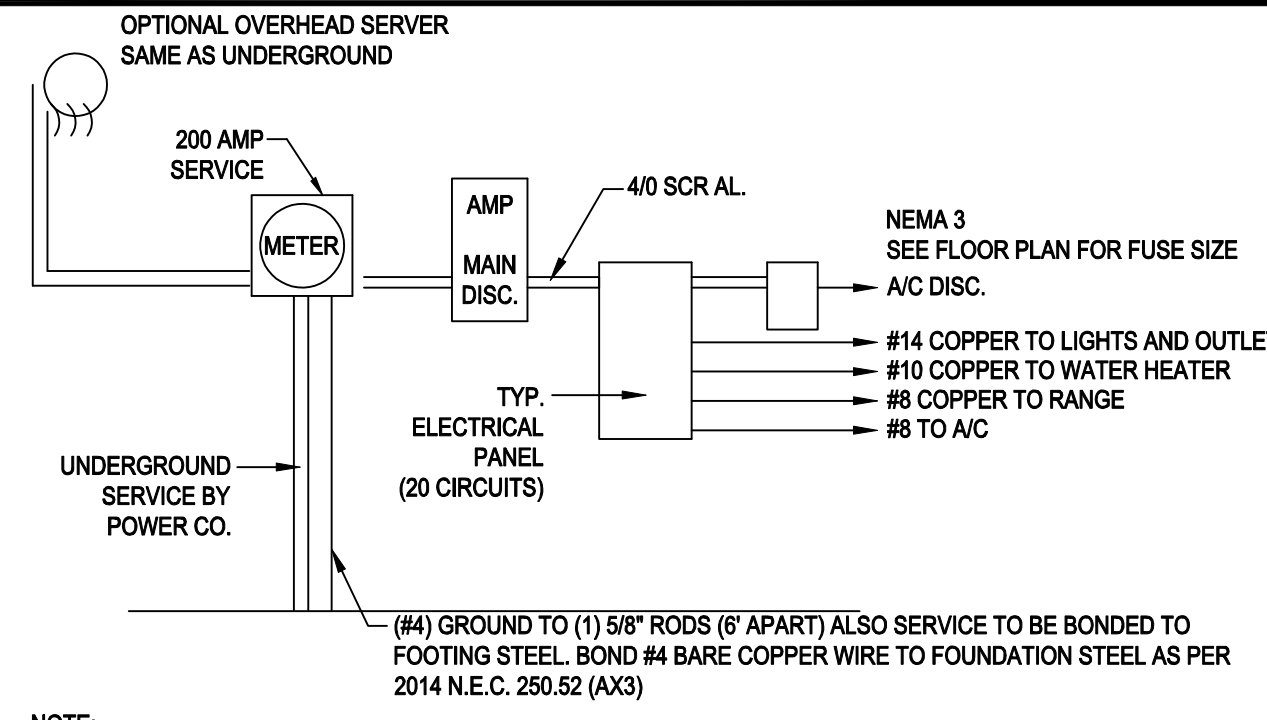
**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

Dec 04, 2023, 1:46pm

DETAILS  
**A11**



**NOTE:**

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**200 AMP ELECTRICAL RISER**

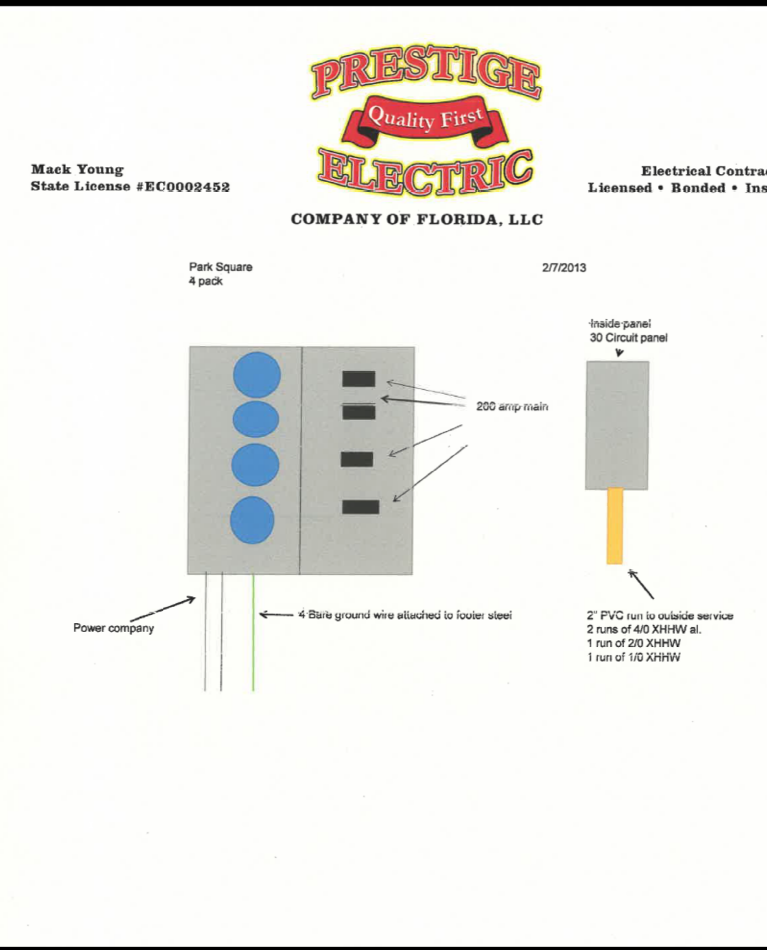
**PRESTIGE ELECTRIC**  
COMPANY OF FLORIDA, LLC

Mark Young  
Mark Young

Electrical Contract  
License # 1000000000

Electrical Contract  
License # 1000000000

Park Square Paradise Town Home	2772022	200 amp Service
General Lighting @ 3 watts sq	1500	5700
Small appliance @1500 watt	1500	3000
Laundry	1500	1500
Range	8000	8000
Pool	4500	4500
Dishwasher	1200	1200
Disposal	1000	1000
Over	8000	8000
Pool Heater	8000	8000
Sub Total		34800
Fee @ 10% @ 100%		4480
Remainder @ 40 %		10960
Air Conditioner Load @ 300%	5280	5280
Heat Pump @ 60%	8000	8000
		23440
VA 240 Volts - Service Size Amps		23440/200



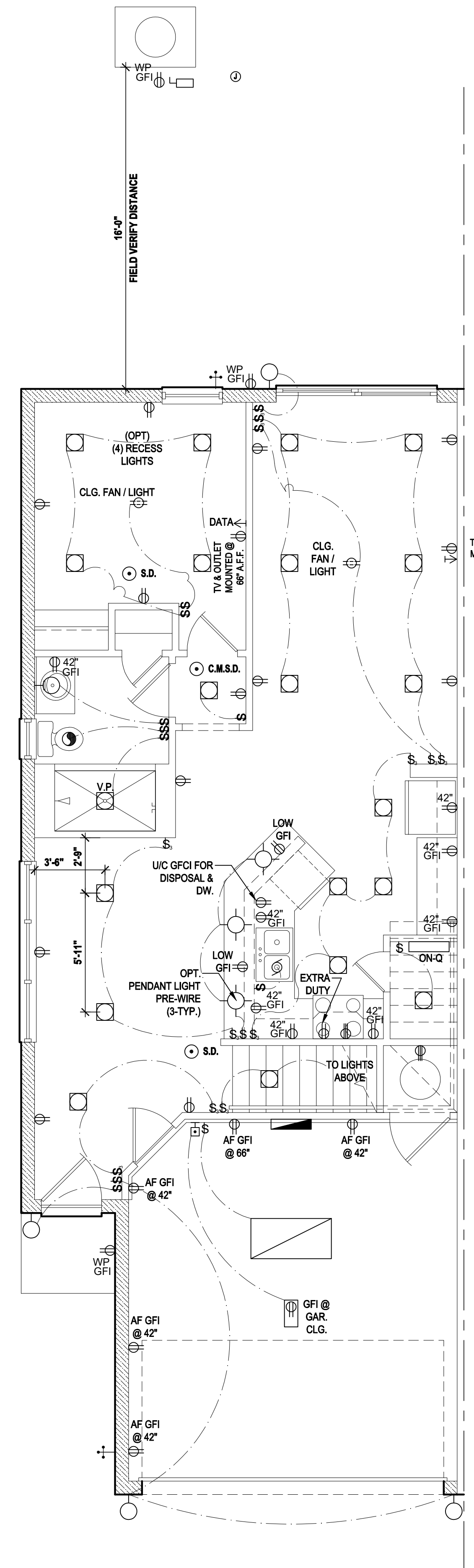
**GENERAL NOTES KEY:**

- BUILDER TO VERIFY EXACT LOCATION OF FLOOR OUTLETS IN FIELD.
- ALL OUTLETS ARE TO BE AFCI PROTECTED.
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- ALL OUTLETS OVER COUNTERTOPS TO BE 42" A.F.F. (J.N.O.).
- ALL SMOKE/CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED, INTERCONNECTED AND AFCI PROTECTED.
- 8'-0" HEIGHT VANITY LIGHTS IN MASTER BATHROOM AND 7'-0" IN ALL OTHER BATHROOMS.
- ANY EXTERIOR WALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATIONS SHOULD BE FITTED WITH QUICKFLASH PANELS (OR SIMILAR).
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE ARE SUBJECT TO THE PROVISIONS OF FBCEC R402.4.5. FIXTURES SHALL BE IC-RATED (FOR ZERO CLEARANCE INSULATION CONTACT) AND SEALED AIR TIGHT. ALSO SEE FBCE 410.116.

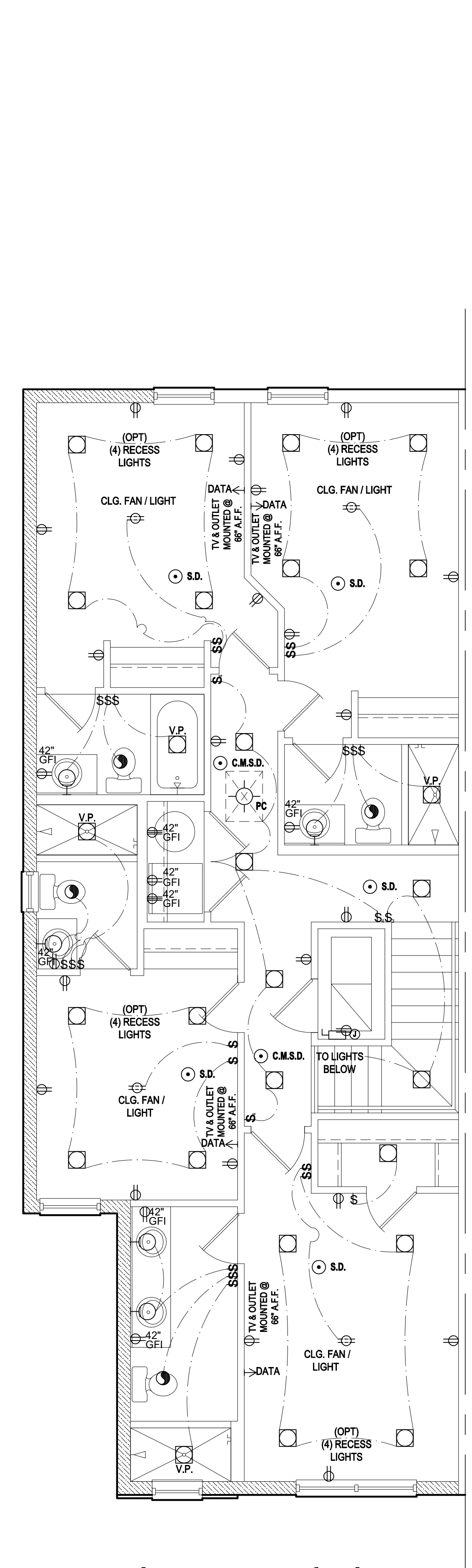
**NOTES:**

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- VARIOUS SYMBOLS ON ELECTRICAL LEGEND MAY OR MAY NOT BE USED ON THIS PLAN.

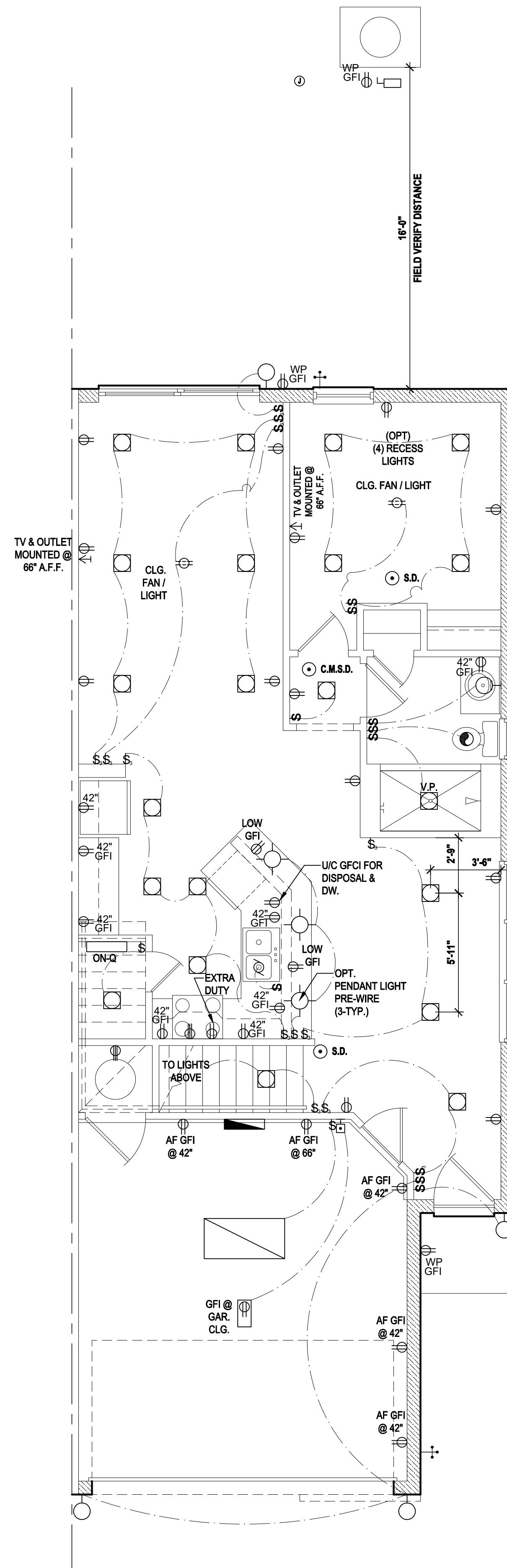
**SMOKE DETECTOR REQUIREMENTS:**  
ALL SMOKE/CARBON DETECTOR LOCATIONS MUST BE A MINIMUM OF 3' FROM ANY BATHROOM PER FBC-R314.3 (4). THEY MUST ALSO BE LOCATED NO MORE THAN 10' FROM ANY BEDROOM DOOR OPENINGS PER FBC-R315.1.



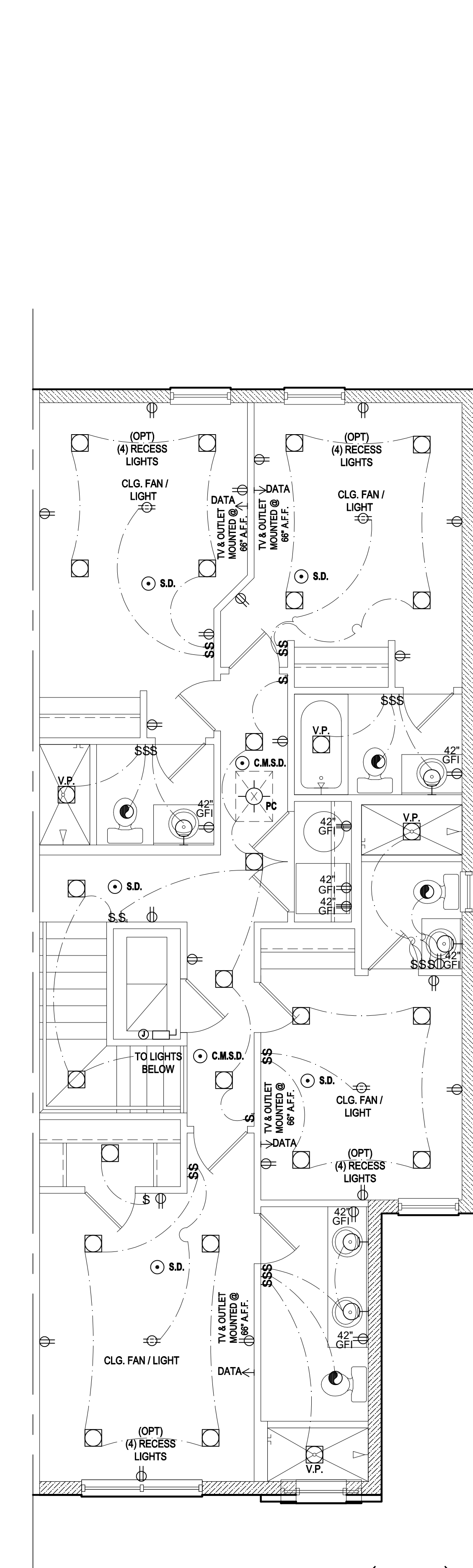
**Nautilus First Floor**  
SCALE: 1/4" = 1'-0"



**Nautilus Second Floor**  
"Elev. A&B" - (Elev. "A" shown)  
SCALE: 1/4" = 1'-0"



**Nautilus First Floor - (Rev.)**  
SCALE: 1/4" = 1'-0"



**Nautilus Second Floor - (Rev.)**  
"Elev. A&B" - (Elev. "A" shown)  
SCALE: 1/4" = 1'-0"

**ELECTRICAL KEY:**

	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
	FLUSH-MOUNT LED
	WALL MOUNTED LIGHT
	WALL WASH RECESSED
	DUPLEX RECEPTACLE
	220 V RECEPTACLE
	1/2 HOT, 1/2 SWITCHED
	WATER PROOF RECEPTACLE
	FLOOR RECEPTACLE
	PRE-WIRE FOR CLG. FAN
	GROUND FAULT INTERRUPT
	WALL SWITCH
	3-WAY SWITCH
	DIMMER SWITCH
	TELEPHONE JACK
	CABLE JACK
	PRE-WIRE GARAGE DOOR OPENER
	FLUORESCENT LIGHT
	CHIME
	DOOR BELL / GARAGE DOOR SWITCH
	DISCONNECT SWITCH
	ELECTRICAL METER
	SMOKE DETECTOR
	CARBON MONOXIDE / SMOKE DETECTOR
	CEILING FAN
	WALL SCONCE
	CHANDELIER
	SPOT LIGHT
	FLUSH MOUNT FLUORESCENT LIGHT
	FAN / LIGHT COMBINATION
	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	ARC FAULT PROTECTION
	INTERCOM

**Electrical Plan**  
SCALE: 1/4" = 1'-0"

**HTEG**  
THOMPSON ENGINEERING GROUP, INC.  
441 Vineland Road Suite A6 Orlando, FL 32811  
Ph: (407) 284-1799  
www.hteg.com

**MJS**  
designers group  
residential-commercial-architecture

**AI BID**

**GOBA**  
GENERAL CONTRACTOR

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Homes Enterprises, Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

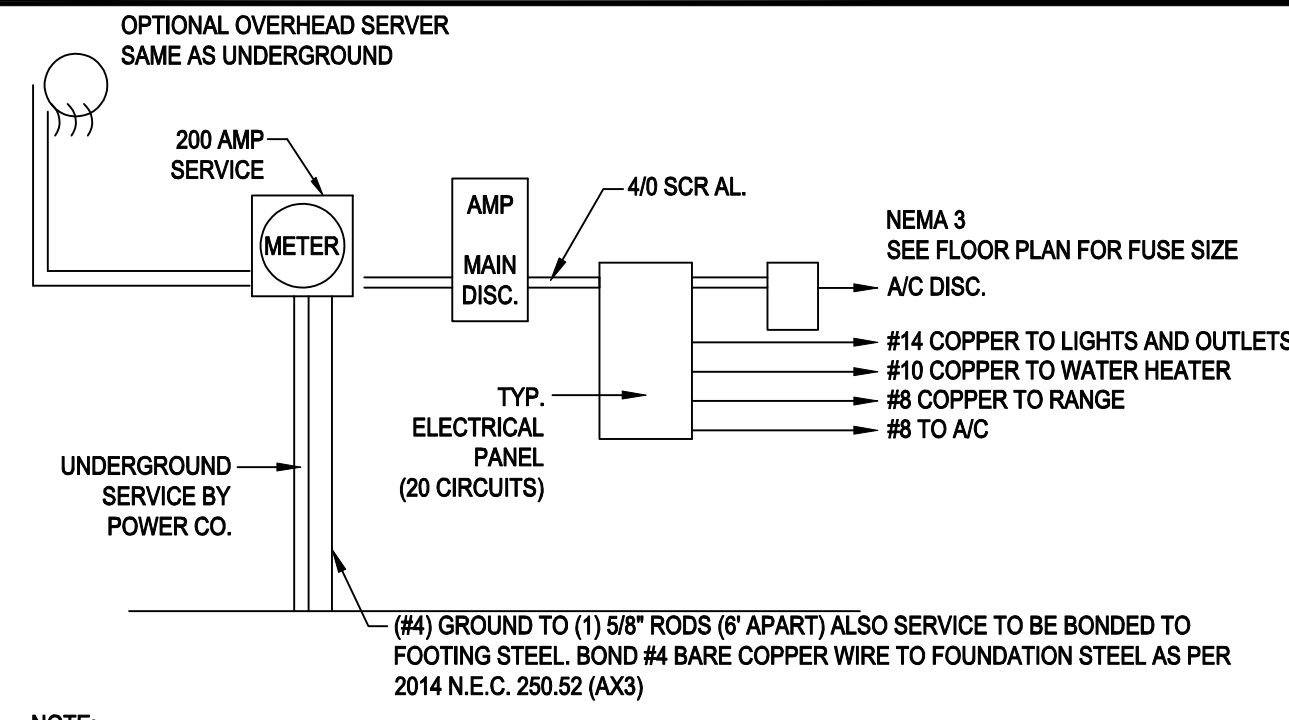
ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

**E1**

Dec 04, 2023 7:45pm  
MJSUSER\VPark Square Homes\MODEL\STATIONHOME\MODEL\STATIONHOME (Orlando)\1 - Townhome Models\Paradiso Grande (CMU) - Revised\115-UNIT\1 - Electrical Layout (Nautilus).dwg

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WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND MJS, INC. MUST BE NOTIFIED IN WRITING OF ANY CHANGES IN THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

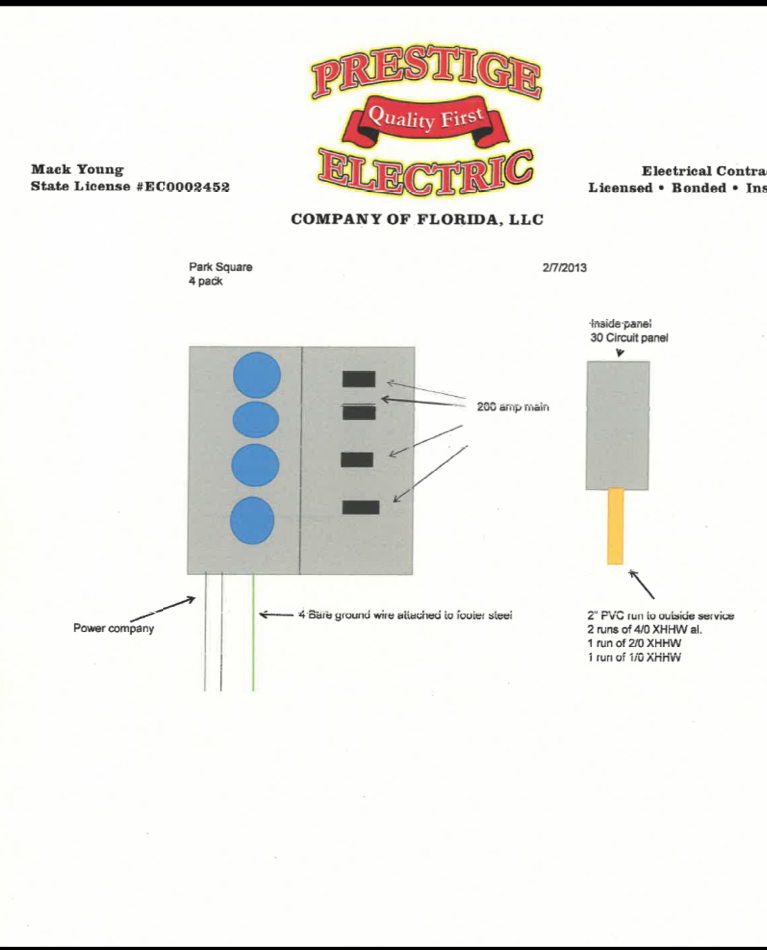


NOTE:  
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**200 AMP ELECTRICAL RISER**

**PRESTIGE ELECTRIC**  
 COMPANY OF FLORIDA, LLC  
 Electrical Contractors  
 Licensed • Bonded • Insured

Park Square Paradise Town Home	272022	200 amp Service
General Lighting @ 3 watts/sq	1500	4500
Small appliance @ 1500 watts	1500	4500
Range	8000	8000
Pool	4000	4000
Dishwasher	1200	1200
Disposal	1000	1000
Dryer	8000	8000
Pool Heater	8000	8000
<b>Sub Total</b>		<b>34800</b>
Price 10.00% @ 100%		6480
Removal @ 45%		15660
Air Conditioner Load @ 100%	3280	3280
Heat Pump @ 60%	8000	4800
		<b>29440</b>
Val. 240 Volts - Service Size Amps		<b>29440</b>

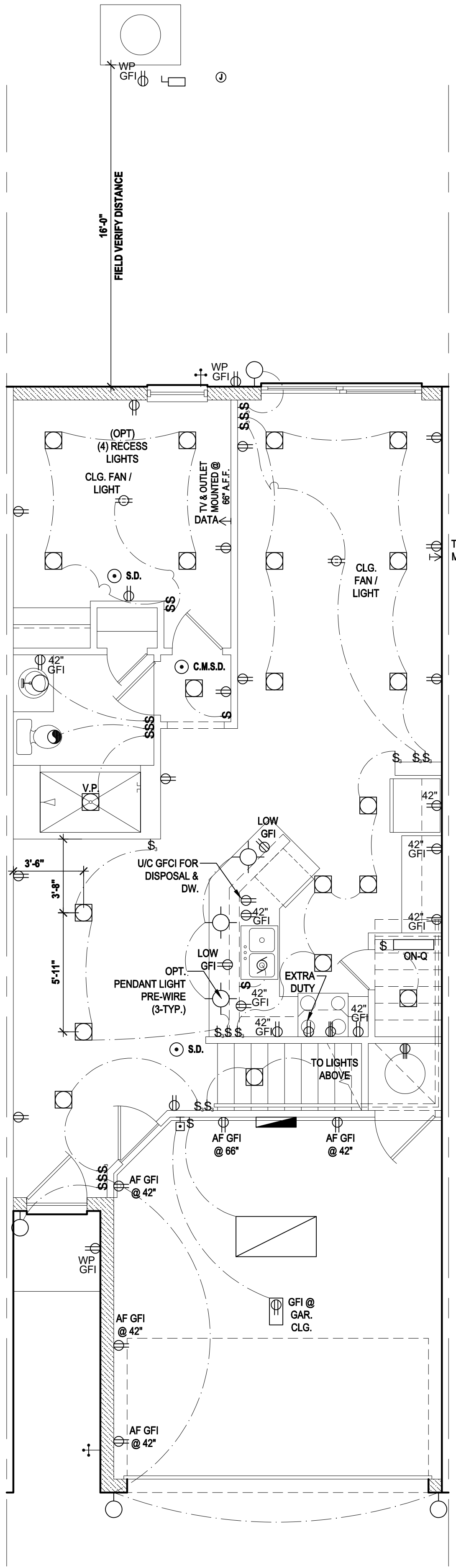


**GENERAL NOTES KEY:**

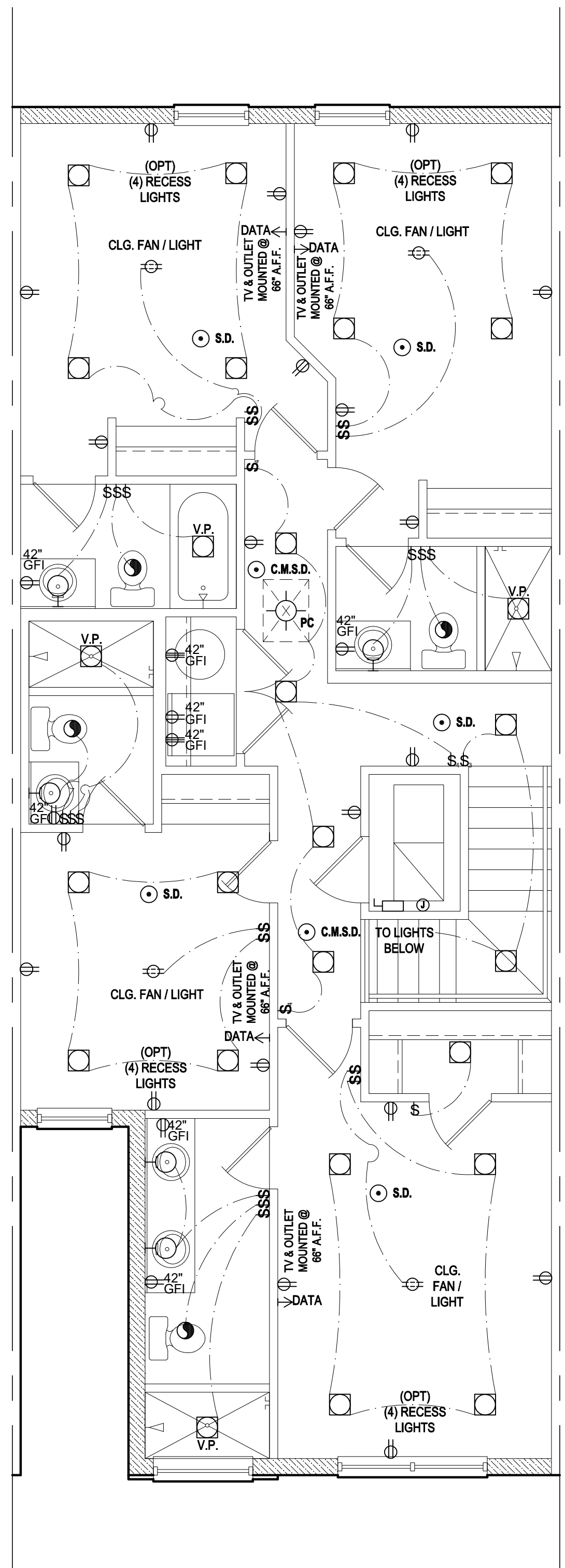
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**ELECTRICAL KEY:**

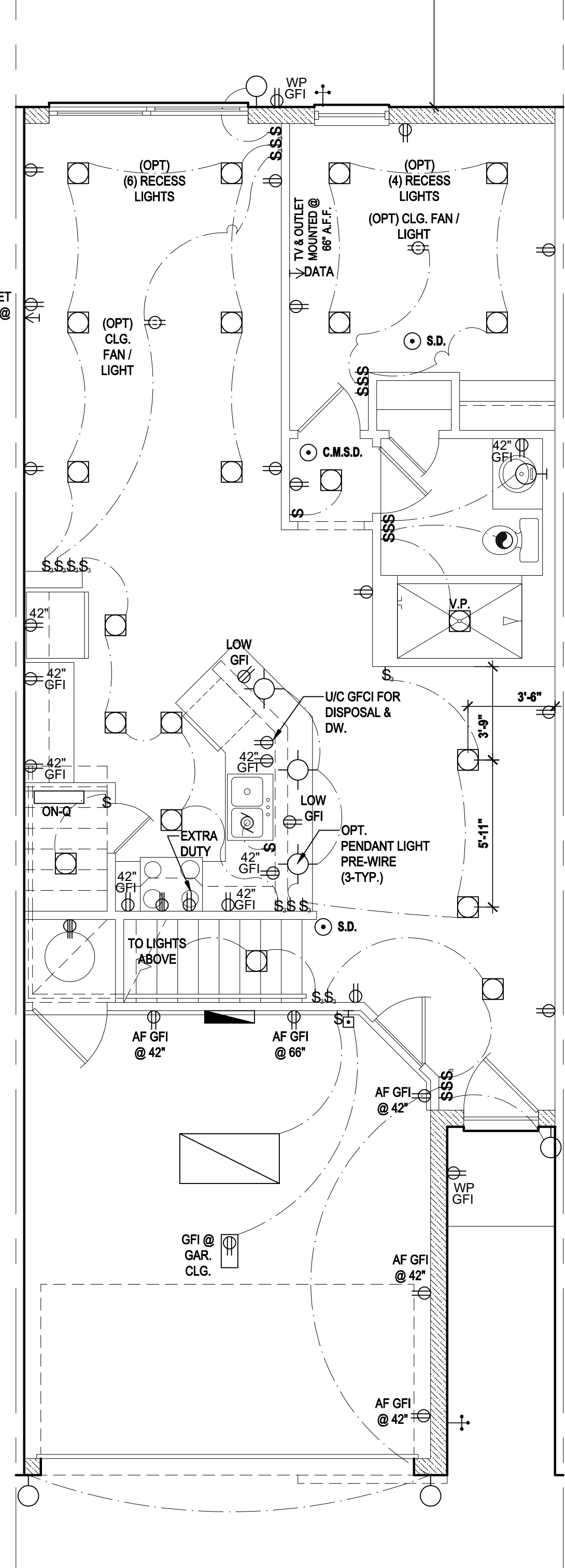
	CEILING MOUNTED LIGHT
	PULL CHAIN LIGHT
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	CARBON MONOXIDE / SMOKE DETECTOR
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	FLUSH MOUNT FLUORESCENT LIGHT
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	GARBAGE DISPOSAL MOTOR
	SPEAKER
	JUNCTION BOX
	LOW VOLTAGE
	VAPOR PROOF
	AFCI ARC FAULT PROTECTION
	INTERCOM



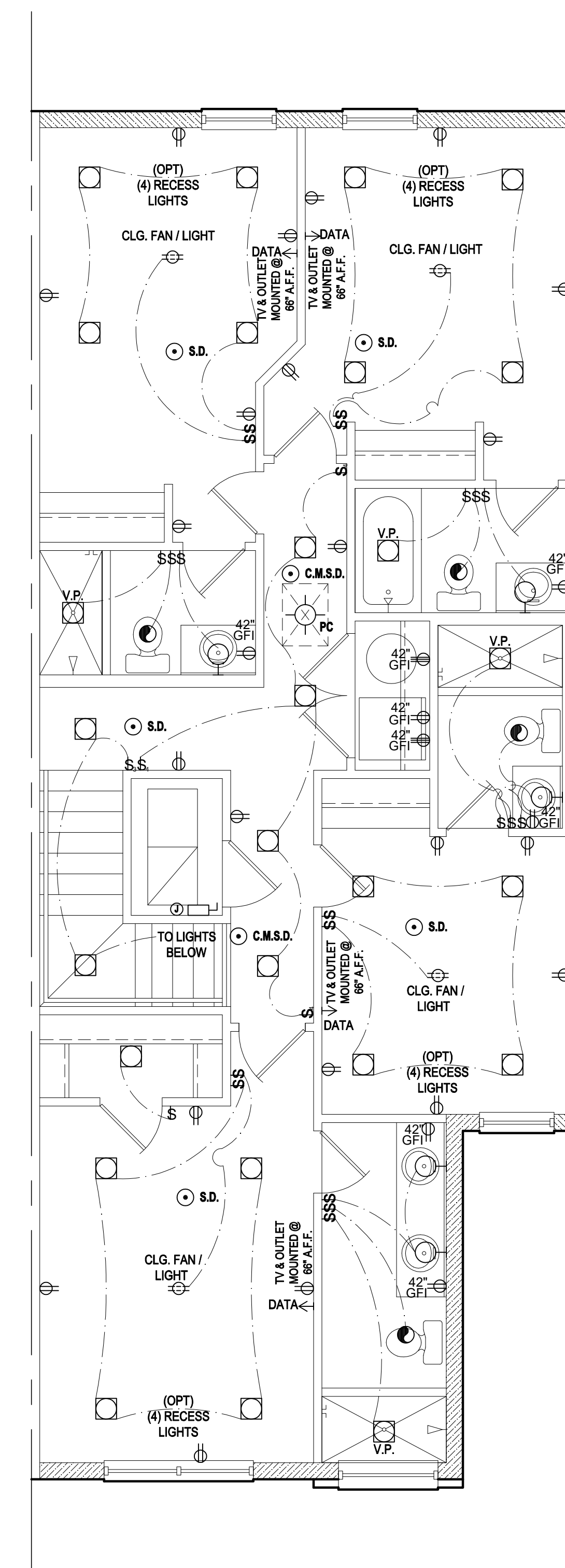
**Latitude First Floor**  
 SCALE: 1/4" = 1'-0"



**Latitude Second Floor  
 "Elev. A&B"-(Elev. "A" shown)**  
 SCALE: 1/4" = 1'-0"



**Latitude First Floor - (Rev.)  
 "Elev. A&B"-(Elev. "A" shown)**  
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**Latitude Second Floor-(Rev.)  
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**Electrical Plan**  
 SCALE: 1/4" = 1'-0"

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 MJS DESIGN GROUP  
 residential-commercial-architecture

**AI BID**

**GOBA**  
 GROUP OF ARCHITECTS

**5-Unit: (Paradiso TH)**  
 Models: Marullus, Latitude  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A division of Park Square Enterprises Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
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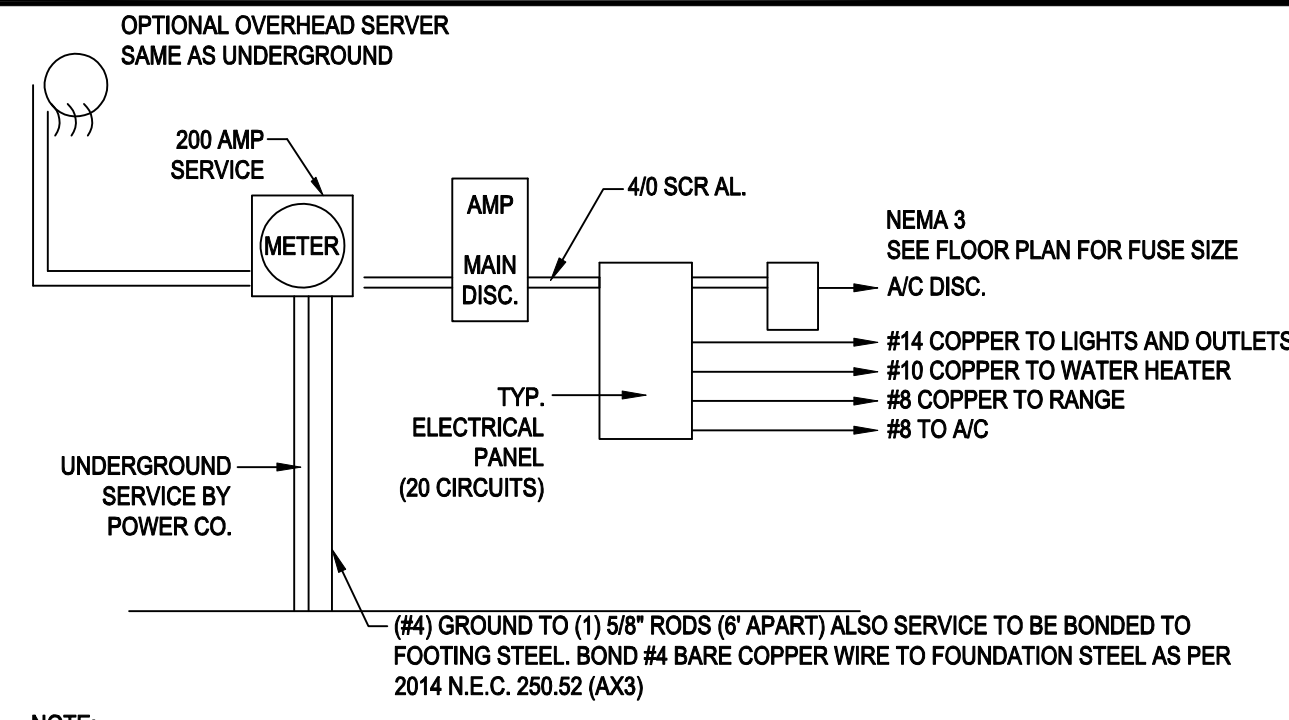
**Park Square HOMES**

ISSUE DATE: 04/13/2023  
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 SCALE: AS NOTED  
 DRAWN BY: M.C.  
 DESIGNED BY: MJS

**Electrical LAYOUT**  
 E2

Dec 04, 2023 1:46pm  
 mjsuser\VPark Square Homes\MODELIST\TOWNHOME\MODELIST\Townhomes (Orlando)\1- Townhome Model\Paradiso Grande (CMU- Raised the 1st UNIT 22 Electrical Layout (Latitude).jpg

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and MJS, Inc. must be notified in writing of any changes in the dimensions, conditions and specifications appearing on these plans.



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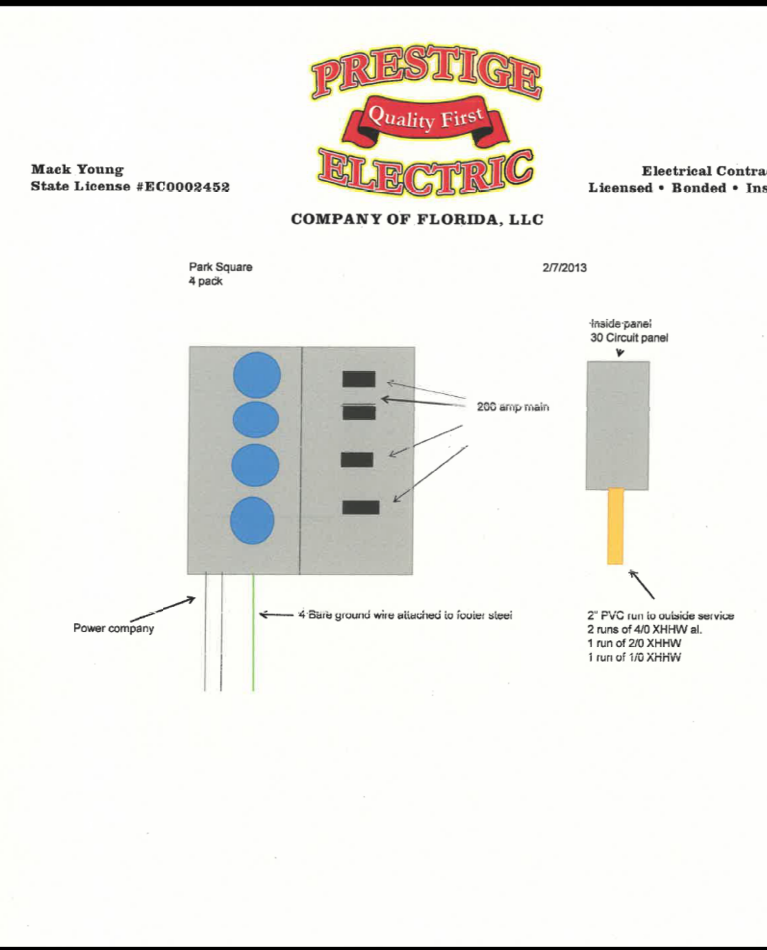
**200 AMP ELECTRICAL RISER**

**PRESTIGE ELECTRIC**  
COMPANY OF FLORIDA, LLC

Mark Young  
Mark Young / FCG000000

2720202  
200 amp Service

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Dishwasher	1200	1200
Disposal	1000	1000
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Pool Heater	8000	8000
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		29480
Vol. 240 Volts - Service Size Amps		<b>200/300/300</b>



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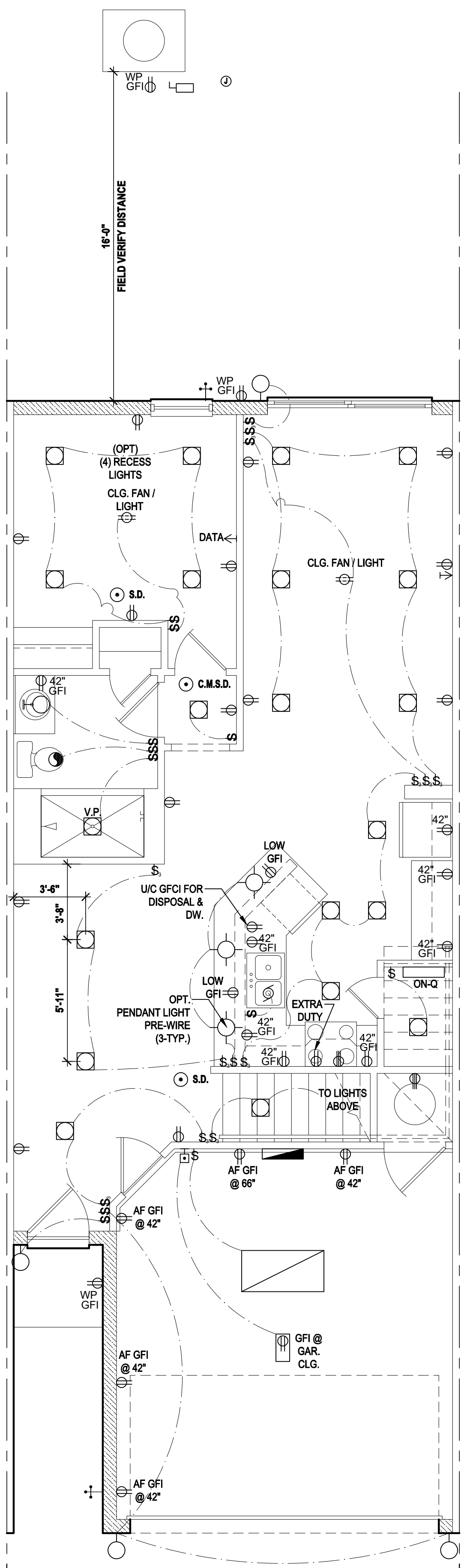
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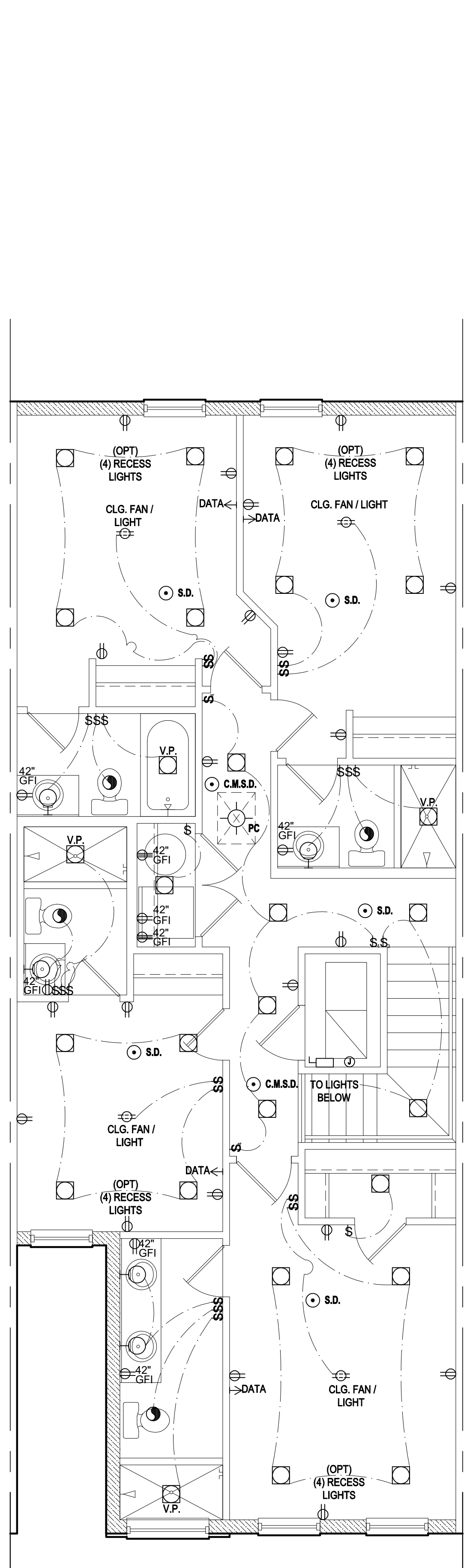
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**ELECTRICAL KEY:**

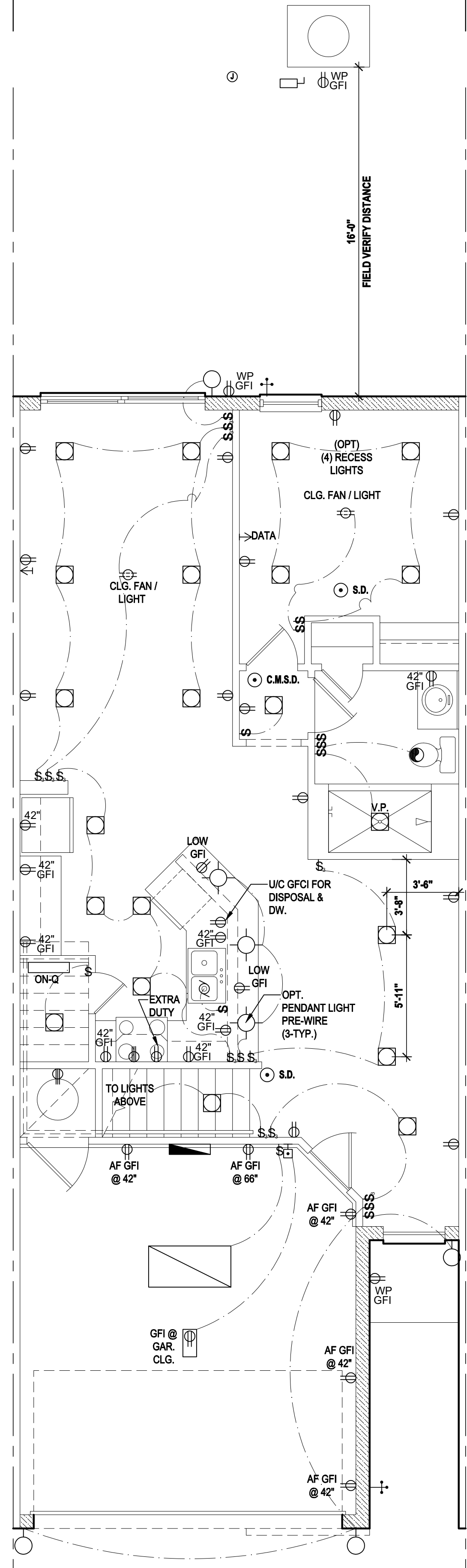
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	SPOT LIGHT
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	ARC FAULT PROTECTION
	INTERCOM



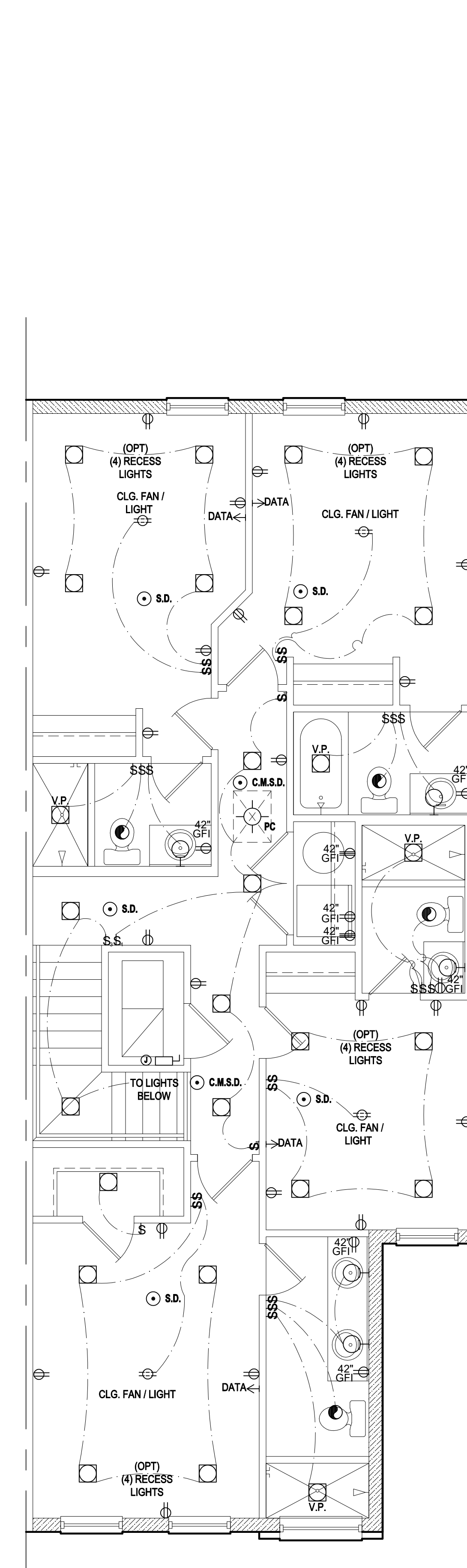
**Latitude II First Floor**  
SCALE: 1/4" = 1'-0"



**Latitude II Second Floor "Elev. A&B"**-(Elev. "A" shown)  
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**Latitude II First Floor - (Rev.)**  
SCALE: 1/4" = 1'-0"



**Latitude II Second Floor-(Rev.)**  
"Elev. A&B"-(Elev. "A" shown)  
SCALE: 1/4" = 1'-0"

**Electrical Plan**

SCALE: 1/4" = 1'-0"

**PRESTIGE ELECTRIC**  
COMPANY OF FLORIDA, LLC

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2720202  
200 amp Service

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MJS DESIGN GROUP  
residential-commercial-architecture

**MJS DESIGN GROUP**  
residential-commercial-architecture

**A I BID**

**GOBA**  
GENERAL CONTRACTORS

**5-Unit: (Paradiso TH)**  
Model: Paradiso, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

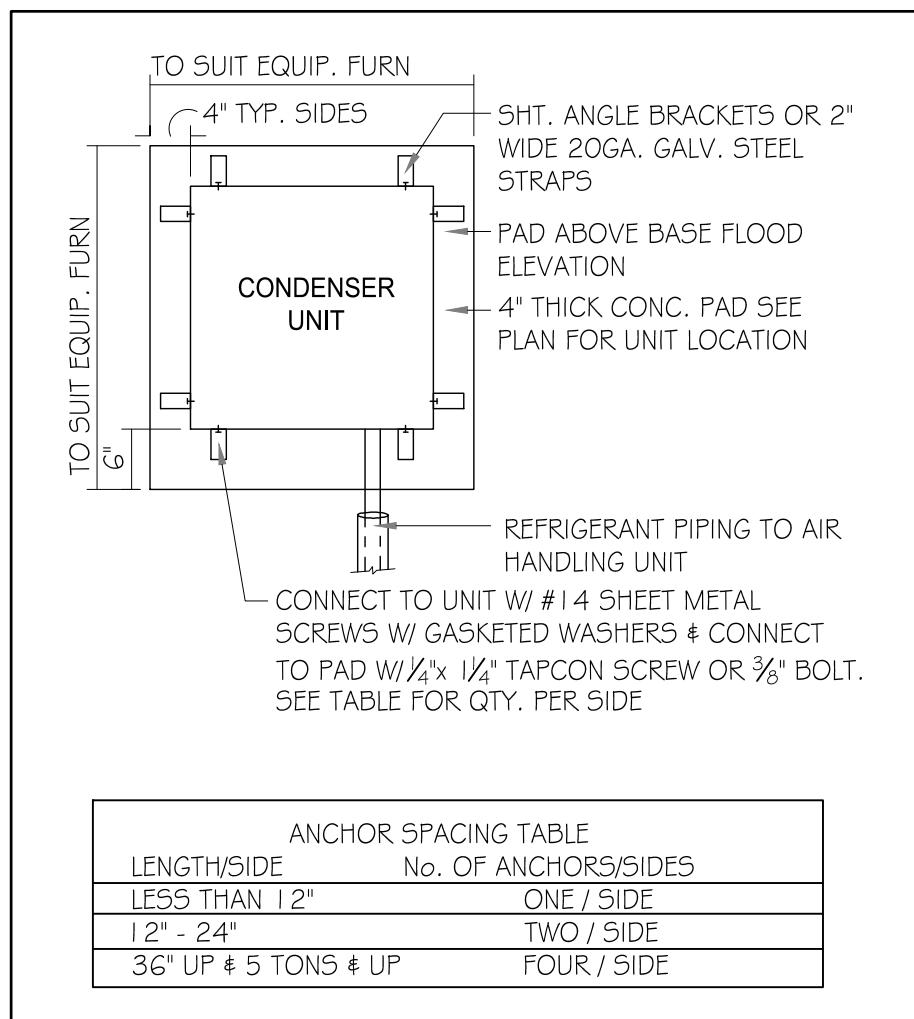
A division of Park Square Enterprises Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

**Electrical Layout**  
E3

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors shall verify and be responsible for dimensions and conditions of the job and MJS, Inc. must be notified in writing of any changes in the dimensions, conditions and specifications appearing on these plans.



**1 COND. ANCHOR DETAIL**  
N.T.S.

**FIELD REPAIR NOTES**

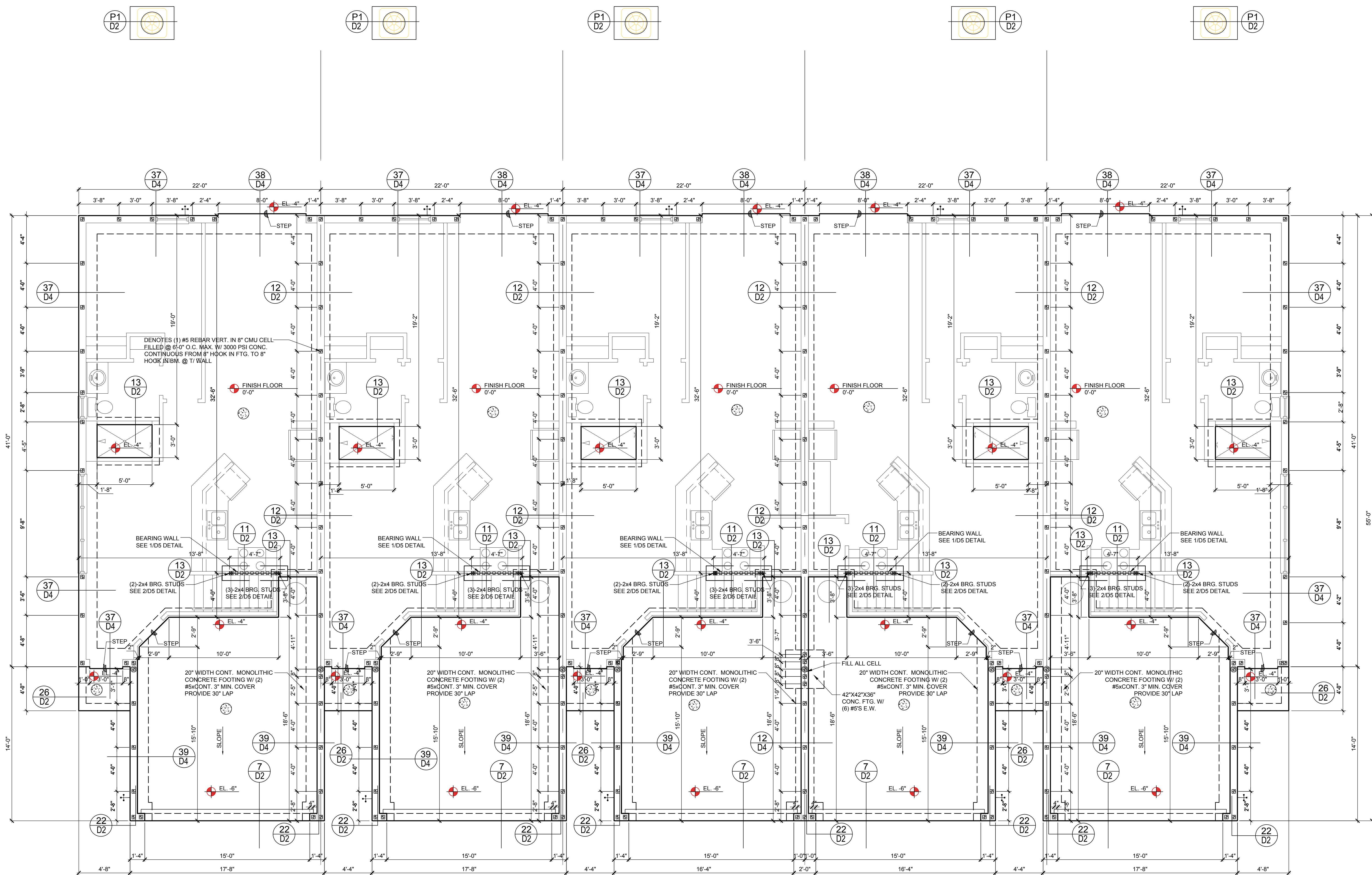
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- 2- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (VERTICAL STEEL) IN AREAS AFFECTED. 1 1/4" + - REQUIRE SPECIAL ENGINEERING LETTER.
- 3- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS 12 @ TOP AND BOTTOM PLATE.

**VERIFICATION OF FIELD CONDITIONS:**

CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS RELATIVE TO SAME. WHERE THERE ARE CONFLICTS BETWEEN ACTUAL FIELD CONDITIONS AND DATA PRESENTED IN THE DRAWINGS, SUCH CONDITIONS SHALL BE CALLED TO THE ARCHITECTS AND OR TO THE ENGINEER OF RECORDS (EOR) ATTENTION AND NECESSARY ADJUSTMENTS MADE PER THEIR INSTRUCTIONS.

**FOUNDATION NOTES**

1. CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
2. DENOTES FILL CELL REIN. W/ CONC. W/ 1- #5 REBAR. GRADE GO.
3. DENOTES FILL CELL RE. NE. W/ CONC. W/ 2-#5 REBAR. GRADE GO.
4. DENOTES FLOOR SLAB OF PLANT MIX CONCRETE 2500 P.S.I. 4" THICK WITH 6X6 1/0 GAUGE REINFORCING MAT. W/ MIN. 1" COVER. TERMITE TREATED SOIL WITH 0.006mm (6mil) POLYETHYLENE VAPOR BARRIER OVER. COMPACTED CLEAN FILL. W/ F SHALL BE PLACED IN MIDDLE TO UPPER THIRD OF SLAB AND SUPPORTED ON APPROVED SLAB BOLSTERS. "FIBER MESH REINFORCEMENT MAY BE USED AS ALTERNATIVE TO WIRE.
5. DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
6. WATER HEATER T&P RELIEF VALVE SHALL BE FULL SIZE TO EXTERIOR. WATER HEATER AT OR ABOVE FLOOR LEVEL G1-FALL E IN A PAN WITH DRAIN TO EXTERIOR. WATER HEATER SHALL HAVE APPROVED THERMAL EXPANSION DEVICE.
7. PAVERS MAY BE USED ILO CONCRETE SLABS IN PATIO, PORCH, DRIVE AND WALKWAY AREAS. DELETE SLAB IN AREAS PAVERS ARE USED.
8. MECHANICAL EQUIP. LOCATIONS WILL BE DETERMINED BY COMMUNITY AND COUNTY CODES.
9. IN LIEU OF TREATING THE SOIL, AN ALTERNATIVE TO TERMITE TREATED SOIL CA BE FENITIDE 75 WP TERMITICIDE.
10. BORA CARE TO BE APPLIED ON INTERIOR WALLS W/ MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS, PURSUANT FLORIDA BUILDING CODE LATEST EDITION.



Nautilus LOT# XX      Latitude II LOT# XX      Latitude LOT# XX      Latitude (Rev.) LOT# XX      Nautilus (Rev.) LOT# XX

**Foundation Plan**  
SCALE 1/4" = 1'-0"

**ITEG**  
THOMPSON ENGINEERING GROUP, INC.  
401 Vineyard Road Suite 46 Orlando, FL 32811  
Ph: (407) 734-1450 Fax: (407) 734-1790 www.iteg.com

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**MJS**  
designers group  
residential-commercial-architecture

**A.I.D.**  
B.D.

**GOBA**  
GEOGRAPHIC ORIENTATION AND BOUNDARY ASSOCIATION

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises Inc.  
5200 Vineyard Rd. Suite #200  
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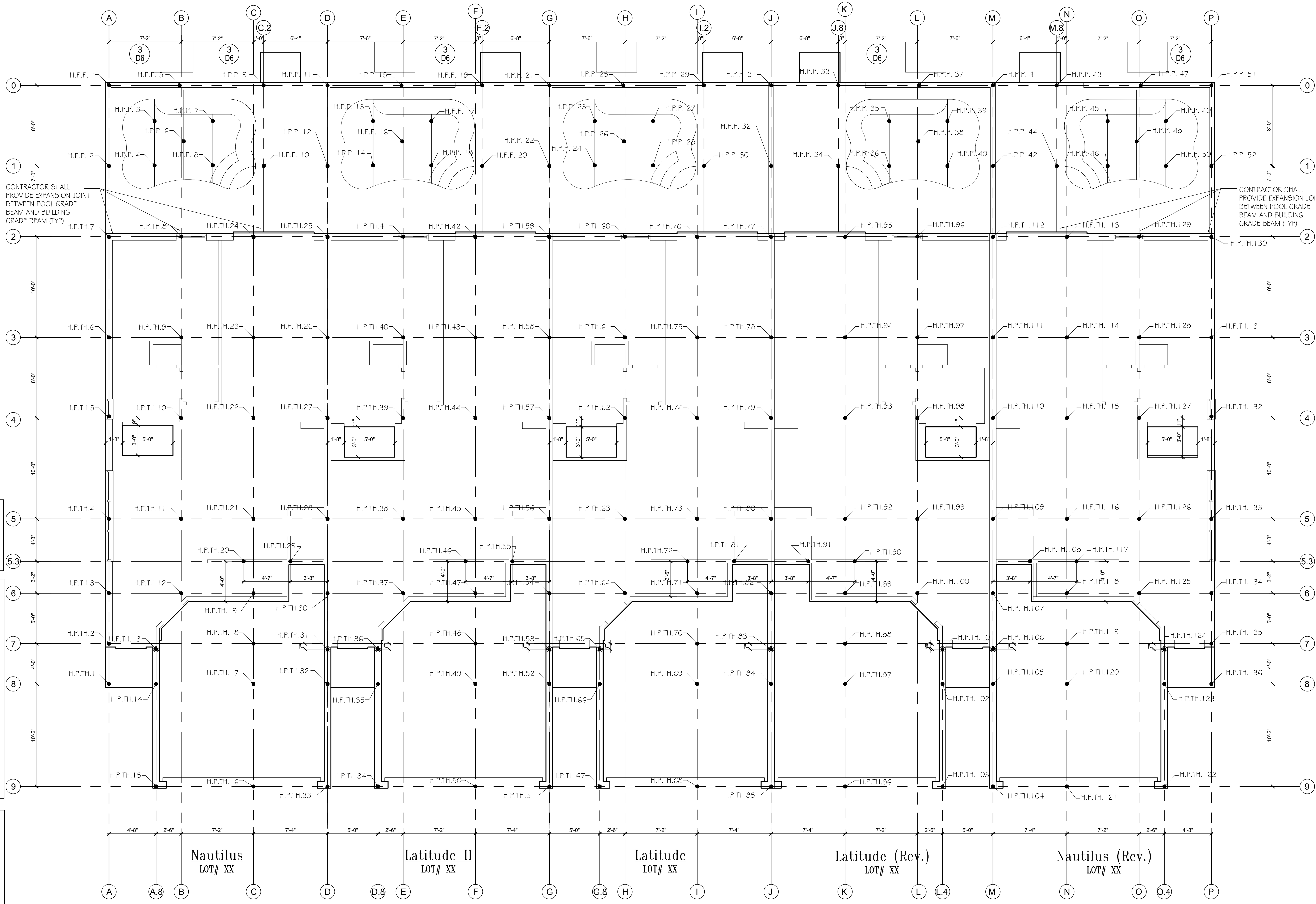
**Park Square HOMES**

ISSUE DATE: 04/13/2023  
REVISIONS:  
PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

FOUNDATION PLAN  
ELEV. A 8 UNIT  
**S1**



HELICAL PILE TOWNHOMES --- 136  
 HELICAL PILE POOLS ----- 52  
 TOTAL HELICAL PILES ----- 183



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**FOUNDATION NOTES**

- CONTRACTOR VERIFY ALL DIMENSIONS ON JOB SITE.
- DENOTES HELICAL ANCHORS.
- PROVIDE HELICAL ANCHORS AS SPECIFIED TO MEET A MINIMUM CAPACITY OF 35 KIPS ALLOWABLE COMPRESSION PER HELICAL ANCHOR.
- FLOOR SLAB & GRADE BEAM OF PLANT MIX CONCRETE 3000 P.S.I.
- DO NOT SCALE PRINTS! CONSTRUCTION TO BE FROM CALCULATED DIMENSIONS ONLY. ANY DISCREPANCIES OR ERRORS TO BE REPORTED PROMPTLY TO SUPERVISOR FOR CLARIFICATION.
- COORDINATE STRUCTURAL AND OTHER DRAWINGS THAT ARE PART OF THE CONTRACT DOCUMENTS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS WHICH AFFECT THE STRUCTURAL DRAWINGS.
- NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED OR OTHERWISE REDUCED IN SIZE OR STRENGTH WITHOUT PRIOR APPROVAL IN WRITING FROM STRUCTURAL ENGINEER.

**NOTE:**  
 THE DEVELOPER TO RETAIN GEOTECHNICAL ENGINEER TO PROVIDE INSPECTION SERVICES DURING THE SIDE PREPARATION PROCEDURES FOR CONFIRMATIONS OF THE ADEQUACY OF THE EARTHWORK OPERATIONS. FIELD TESTS AND OBSERVATIONS INCLUDE VERIFICATION OF FOUNDATION SUBGRADE BY MONITORING EARTHWORK OPERATIONS AND PERFORMING QUALITY ASSURANCE TESTS OF THE PLACEMENT OF COMPACTED STRUCTURAL FILL COURSES.

IN-PLACE DENSITY TESTS SHALL BE PERFORMED WITHIN TWO FEET OF THE BOTTOM OF ALL FOUNDATIONS AND IN EACH LIFT OF STRUCTURAL FILL TO VERIFY PROPER COMPACTION OF THE SUBGRADE SOILS.

THE MINIMUM ALLOWABLE NET SOIL BEARING PRESSURE SHALL BE 1,500 PSF.

**Pile Number location**  
 SCALE 1/4" = 1'-0"

**NOTE:**  
 WORK THIS SHEET WITH FOUNDATION PLAN (GRADE BEAM)

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**A I B D**

**GOBA**  
 GEOTECHNICAL ASSOCIATION

**5-Unit: (Paradiso TH)**  
 Models: Nautilus, Latitude  
 Building Pad #XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

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ISSUE DATE: 04/13/2023  
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 DESIGNED BY: MJS

FOUNDATION PLAN  
 ELEV. A 8 UNIT  
**S1.1**

**FIELD REPAIR NOTES**

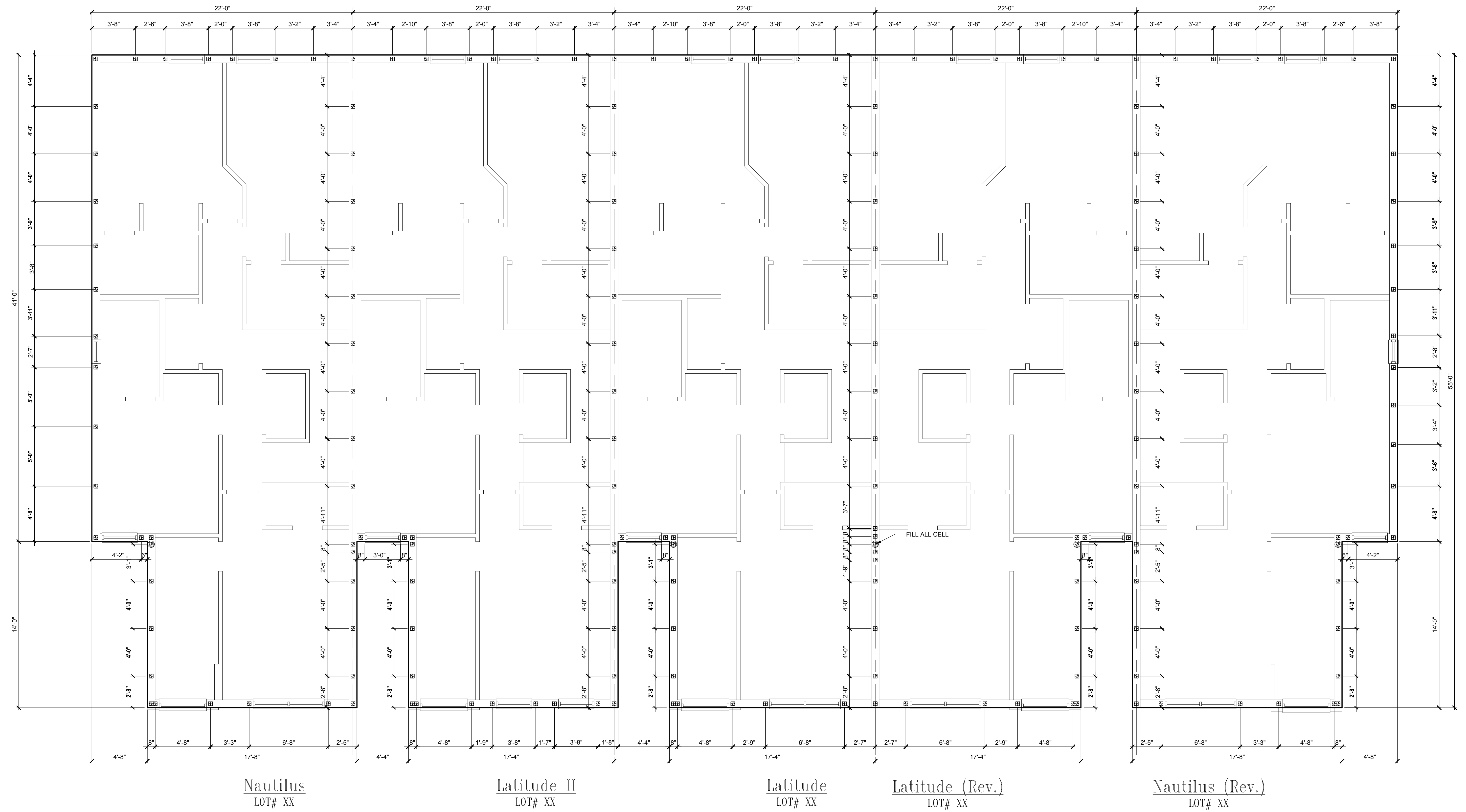
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Second Floor dowel plan  
"Elev. A"  
SCALE: 1/4" = 1'-0"

Dec 08, 2023 5:01 pm Design: C:\Users\Design1\OneDrive - Thompson Engineering Group\Desktop\Paradiso Grande (CALI - Raised Heal) | 12042023\5-Unit\Draw Files\Paradiso TH (Raised Heal 5-Unit) | 12042023\5-Unit\2nd floor dowel plan ELEV A.dwg

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**A I I**  
B I D

**GOBA**  
GOLF BUILDERS ASSOCIATION

**5-Unit: (Paradiso TH)**  
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**Park Square HOMES**

PROJECT:	22-1151
SCALE:	AS NOTED
DRAWN BY:	M.C.
DESIGNED BY:	MJS

ISSUE DATE: 04/13/2023

REVISIONS:


ROOF PLAN ELEV. A

**S1.2**

**FIELD REPAIR NOTES**

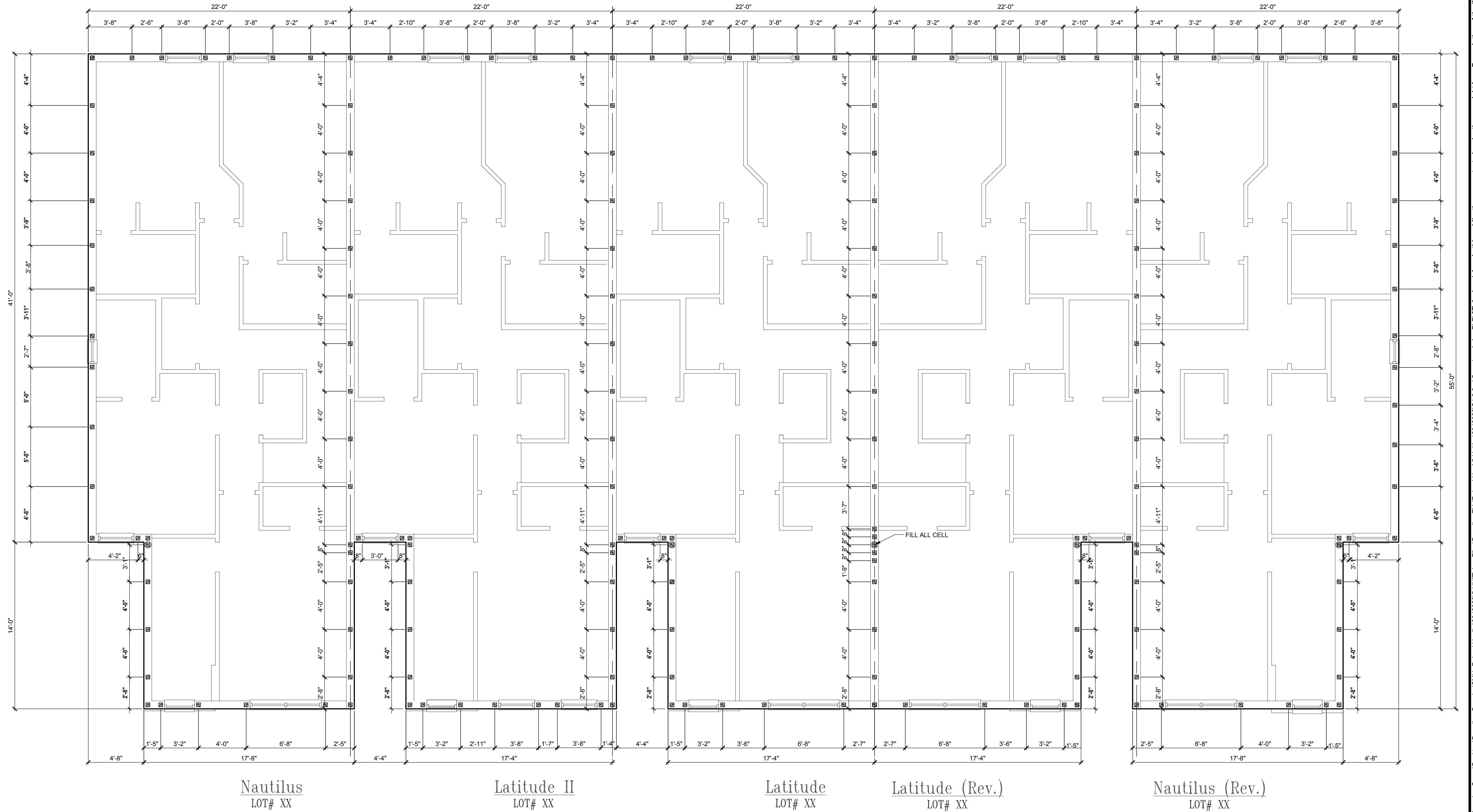
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Second Floor dowel plan  
"Elev. B"  
SCALE: 1/4" = 1'-0"

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**A I D** BD

**GOBA**  
GREAT ORGANIZED BUILDERS ASSOCIATION

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
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Lot# XX-XX, Subdivision  
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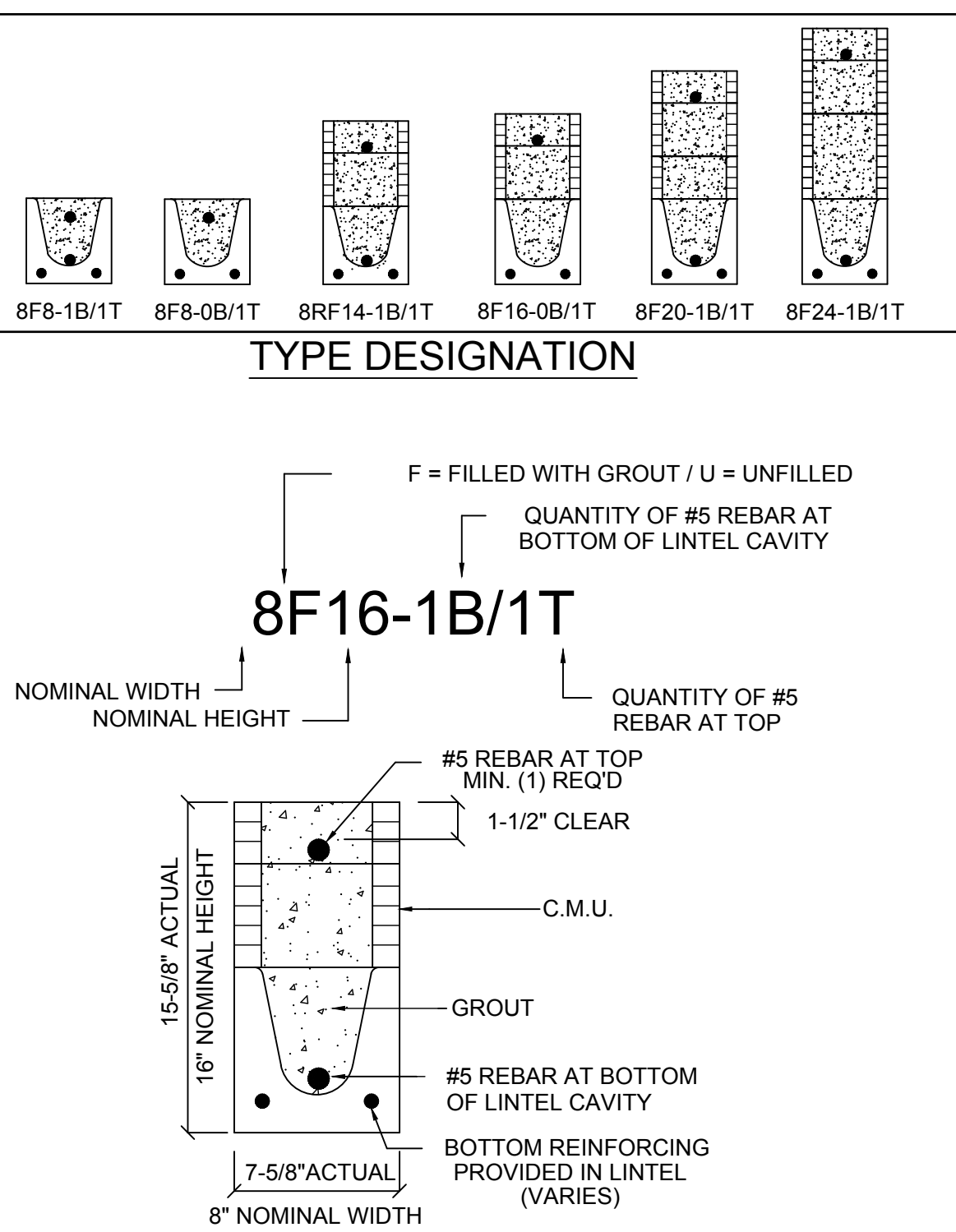
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Dec 08, 2023 5:02pm  
Roof Plan Elev. A  
**S1.2**

LINTEL NO.	LENGTH	TYPE	COMMENTS
L-1	17'-4"	8F40-1B/1T	GARAGE DOOR
L-2	4'-4"	8RF22-1B/1T	FRONT DOOR
L-3	10'-6"	8F24-1B/1T	(3) 3060 S.H.
L-4	3'-6"	8F24-0B/1T	2030 S.H.
L-5	4'-6"	8F24-0B/1T	3050 S.H.
L-6	9'-4"	8F24-1B/1T	8'-0" X 8'-0" S.G.D.
L-7	7'-6"	8F24-1B/1T	(2) 3050 S.H.
L-8	5'-4"	8F24-0B/1T	4020 F.G. (TEMP)-ELEV. A
L-8	4'-0"	8F24-0B/1T	2630 F.G. (TEMP)-ELEV. B

### SAFE LOAD TABLES FOR GRAVITY, UPLIFT & LATERAL LOADS

8" PRECAST & PRESTRESSED U-LINTELS		GRAVITY							
LENGTH	TYPE	8F8-0B	8F12-0B	8F16-0B	8F20-0B	8F24-0B	8F28-0B	8F32-0B	8F36-0B
2'-10" (34")	PRECAST	2302	3166	4473	6039	7520	9004	10472	11936
3'-6" (42")	PRECAST	2302	3166	4473	6039	7520	9004	10472	11936
4'-0" (48")	PRECAST	2029	2946	4473	6039	7520	9004	10472	11936
4'-6" (54")	PRECAST	1651	1787	1913	2057	2403	2850	3307	3764
5'-4" (64")	PRECAST	1184	1223	1301	1389	1477	1565	1653	1741
5'-10" (70")	PRECAST	972	1000	1059	1118	1177	1236	1295	1354
6'-6" (78")	PRECAST	937	1029	1075	1121	1167	1213	1259	1305
7'-6" (90")	PRECAST	767	809	845	881	917	953	989	1025
8'-0" (96")	PRECAST	670	707	737	767	797	827	857	887
8'-8" (104")	PRECAST	618	650	676	702	728	754	780	806
9'-4" (112")	PRECAST	573	600	622	644	666	688	710	732
10'-6" (126")	PRECAST	456	482	504	526	548	570	592	614
11'-4" (136")	PRECAST	445	468	490	512	534	556	578	600
12'-0" (144")	PRECAST	414	435	456	477	498	519	540	561
13'-4" (160")	PRECAST	362	427	458	489	520	551	582	613
14'-0" (168")	PRECAST	338	405	436	467	498	529	560	591
14'-8" (176")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
15'-4" (184")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
17'-4" (208")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
19'-4" (232")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
21'-4" (256")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
22'-0" (264")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.
24'-0" (288")	PRESTRESSED	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.	N.R.

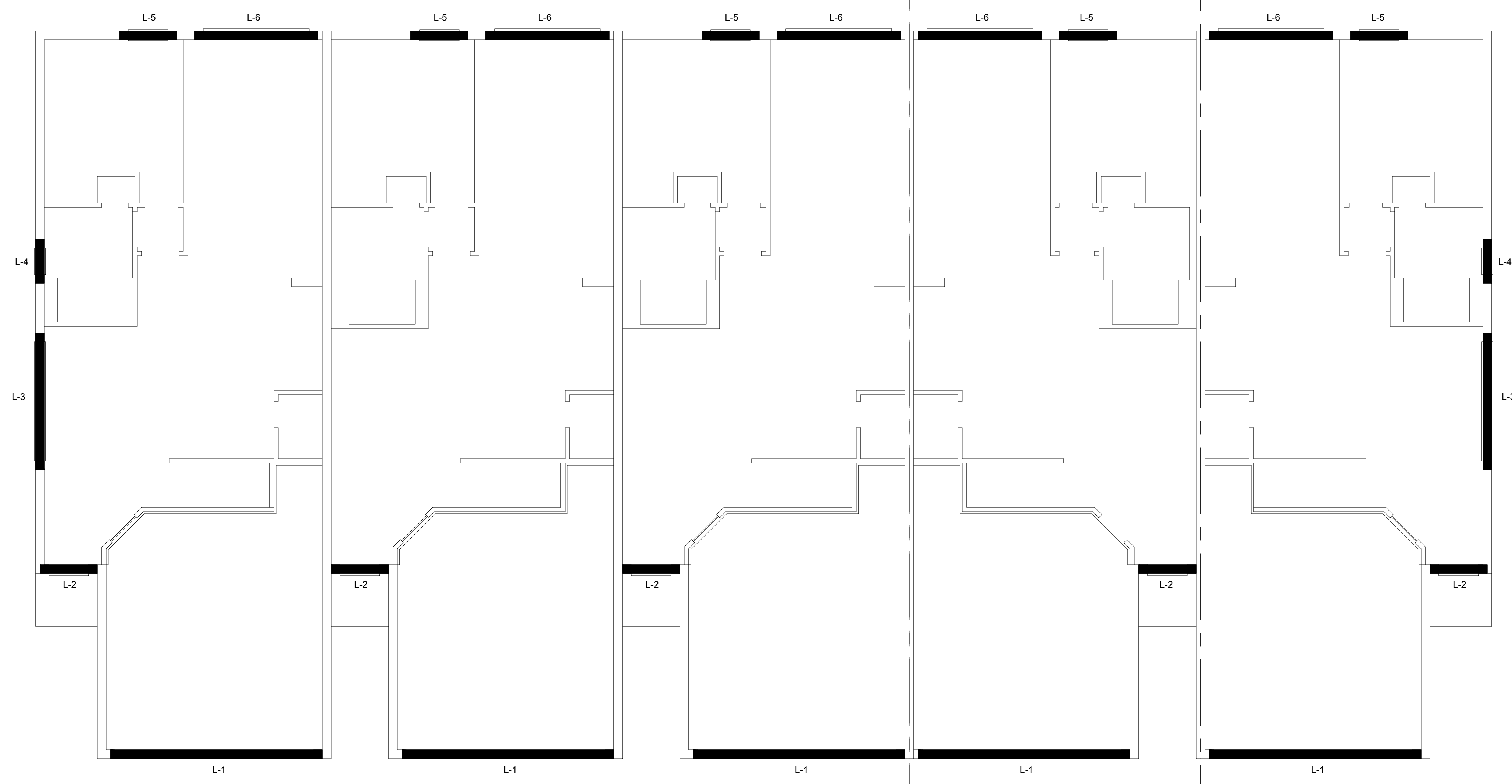


- MATERIALS**
1. Precast lintels = 3500 psi.
  2. Precast prestressed lintels = 6000 psi.
  3. Concrete masonry units (CMU) per ASTM C90 w/ minimum net area compressive strength = 1900 psi.
  4. Rebar provided in precast lintel per ASTM A615 GR60. Field rebar per ASTM A615 GR40 or GR60.
  5. Prestressing strand per ASTM A416 grade 270 low relaxation.
  6. 7/32 wire per ASTM A510.
  7. Mortar per ASTM C270 type M or S.

8" PRECAST W/ 2" RECESS DOOR U-LINTELS		GRAVITY							
LENGTH	TYPE	8RUB	8RUB6	8RUB12	8RUB18	8RUB24	8RUB30	8RUB36	8RUB42
4'-4" (52")	PRECAST	1489	1591	1702	1813	1924	2035	2146	2257
4'-6" (54")	PRECAST	1367	1469	1570	1671	1772	1873	1974	2075
5'-8" (68")	PRECAST	785	832	879	926	973	1020	1067	1114
5'-10" (70")	PRECAST	735	779	823	867	911	955	999	1043
6'-8" (80")	PRECAST	622	657	692	727	762	797	832	867
7'-6" (90")	PRECAST	665	701	737	773	809	845	881	917
9'-8" (118")	PRECAST	371	420	469	518	567	616	665	714

8" PRECAST & PRESTRESSED U-LINTELS		UPLIFT								LATERAL	
LENGTH	TYPE	8F8-1T	8F12-1T	8F16-1T	8F20-1T	8F24-1T	8F28-1T	8F32-1T	8F36-1T	8UB	8FB
2'-10" (34")	PRECAST	2727	2878	3029	3180	3331	3482	3633	3784	2021	2021
3'-6" (42")	PRECAST	1878	1989	2100	2211	2322	2433	2544	2655	1267	1267
4'-0" (48")	PRECAST	1678	1789	1900	2011	2122	2233	2344	2455	938	938
4'-6" (54")	PRECAST	1660	1771	1882	1993	2104	2215	2326	2437	727	727
5'-4" (64")	PRECAST	1390	1491	1592	1693	1794	1895	1996	2097	505	505
5'-10" (70")	PRECAST	1272	1373	1474	1575	1676	1777	1878	1979	418	418
6'-6" (78")	PRECAST	1141	1242	1343	1444	1545	1646	1747	1848	307	307
7'-6" (90")	PRECAST	990	1091	1192	1293	1394	1495	1596	1697	219	219
9'-4" (112")	PRECAST	801	902	1003	1104	1205	1306	1407	1508	149	149
10'-6" (126")	PRECAST	716	817	918	1019	1120	1221	1322	1423	96	96
11'-4" (136")	PRECAST	666	767	868	969	1070	1171	1272	1373	363	363
14'-0" (168")	PRECAST	607	708	809	910	1011	1112	1213	1314	340	340
14'-8" (176")	PRESTRESSED	243	294	345	396	447	498	549	600	N.R.	307
15'-4" (184")	PRESTRESSED	228	279	330	381	432	483	534	585	N.R.	327
17'-4" (208")	PRESTRESSED	188	239	290	341	392	443	494	545	N.R.	204
19'-4" (232")	PRESTRESSED	165	216	267	318	369	420	471	522	N.R.	172
21'-4" (256")	PRESTRESSED	145	196	247	298	349	400	451	502	N.R.	152
22'-0" (264")	PRESTRESSED	140	191	242	293	344	395	446	497	N.R.	161
24'-0" (288")	PRESTRESSED	127	178	229	280	331	382	433	484	N.R.	135

8" PRECAST W/ 2" RECESS DOOR U-LINTELS		UPLIFT								LATERAL	
LENGTH	TYPE	8RUB6	8RUB12	8RUB18	8RUB24	8RUB30	8RUB36	8RUB42	8RUB48	8RUB54	8RUB60
4'-4" (52")	PRECAST	1244	1355	1466	1577	1688	1799	1910	2021	2132	2243
4'-6" (54")	PRECAST	1192	1303	1414	1525	1636	1747	1858	1969	2080	2191
5'-8" (68")	PRECAST	806	917	1028	1139	1250	1361	1472	1583	1694	1805
5'-10" (70")	PRECAST	756	867	978	1089	1200	1311	1422	1533	1644	1755
6'-8" (80")	PRECAST	688	799	910	1021	1132	1243	1354	1465	1576	1687
7'-6" (90")	PRECAST	688	799	910	1021	1132	1243	1354	1465	1576	1687
9'-8" (118")	PRECAST	533	644	755	866	977	1088	1199	1310	1421	1532



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**MJS**  
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residential-commercial-architecture

**AIBD**

**GOBA**  
GRAND OPENING BELIEVE ASSOCIATES

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Pair # XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

ISSUE DATE: 04/13/2023  
REVISIONS:

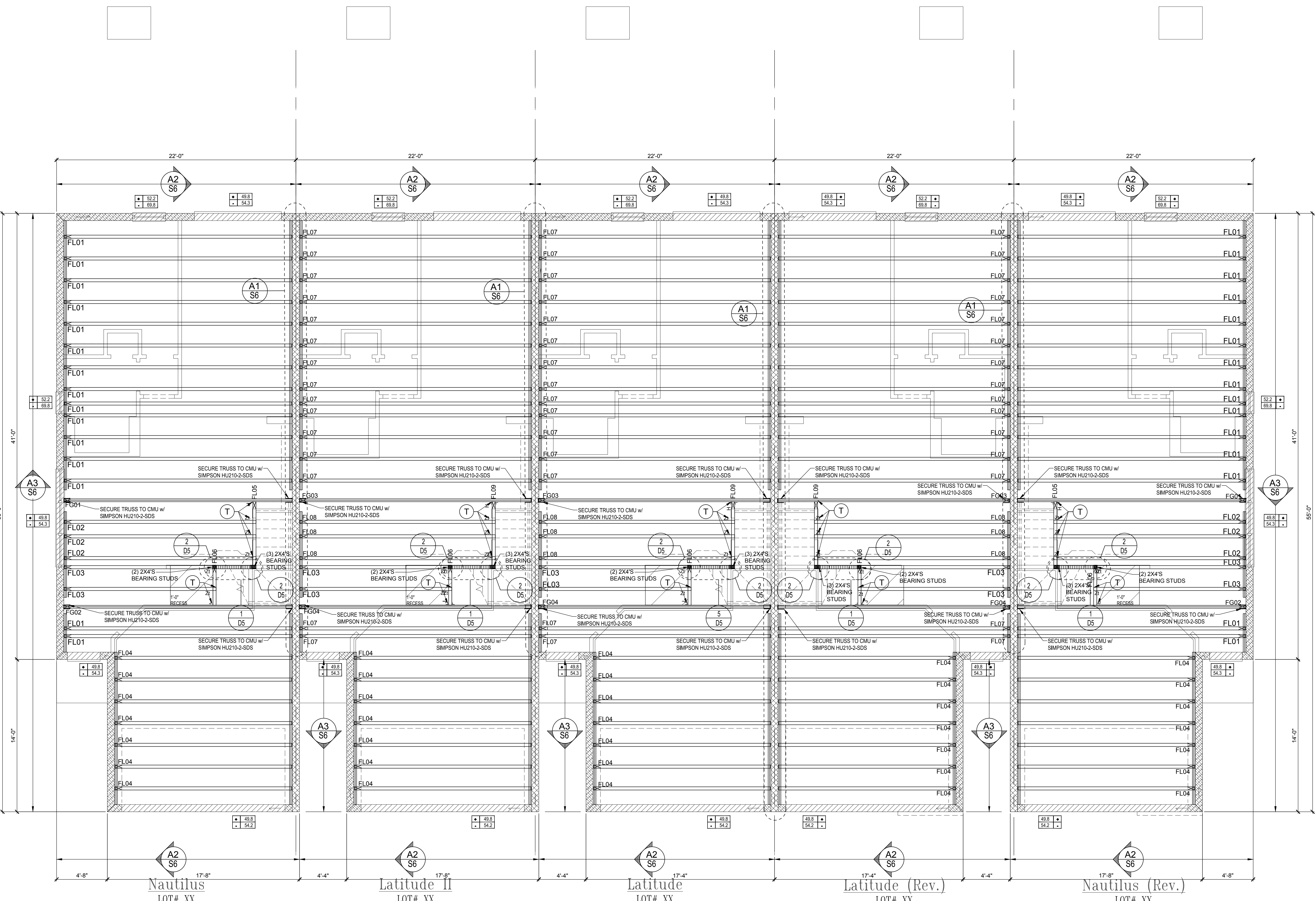
LINTEL PLAN  
**S2**





**CONNECTOR SCHEDULE**

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA20	14-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10A	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	MTS12	14-10d	1,000	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2-1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3/4" (2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
186	HUCQ210-2 SDS	H: 12-1/4"x2-1/2" SDS J: 6-1/4"x2-1/2" SDS	2,345	N/A
190	HU210-2 SDS	CMU: 18-1/4"x2-1/2" TITEN T." J: 10-0.148x3"	1,800 U. 5,095 D.	N/A
214	HUC212-3	HD: (22) 0.162"x3 1/2" TAPCON BM: (10) 0.148x3"	1,895	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MG1	(1) 5/8" BLTS / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS / GIR: 8-10d	6,485	N/A
303	HGT-4	LTL: 3/4" BLTS / GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			



**COMPONENT & CLADDING DESIGN WIND PRESSURES**

SEE PLAN DESIGN WIND PRESSURE

+ XXX ULTIMATE DESIGNED POSITIVE PRESSURE  
- XXX ULTIMATE DESIGNED NEGATIVE PRESSURE

NOTE: DESIGN PRESSURES BASED ON ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

**FIELD REPAIR NOTES**

1. MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR EFT ADHESIVES.
2. BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
3. PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE.

**NOTES**

1. TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
2. TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
3. PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
4. ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
5. TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIWTC A BC51.1.
6. REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
7. ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
8. TILE ROOF: UNDERLAYMENT TO BE INSTALLED IAW FBOR 2023, 8TH EDITION R905.1.1 UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1.
9. OFF RIDGE VENTS MAXIMUM OPENING SIZES:  
- LOWANCO: (2) 9/2" DIA. CIRCLES  
- MILLENNIUM METAL: 2 1/2"x4 1/2" HOLE

**Floor Framing Plan**

SCALE: 1/4" = 1'-0"

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**MJS** designers group  
residential-commercial-architecture

**A.I.D.**

**GOBA**

**5-Unit: (Paradiso TH)**

Models: Nautilus, Latitude

Building Per # XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises, Inc.

5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023

REVISIONS:

NO.	DESCRIPTION

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

FLOOR TRUSSES

**S4**

# CONNECTOR SCHEDULE

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA20	14-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2"/PLT: 4-8d	475	485 / 165
22	H10A	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d/JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
37	MTS12	14-10d	1,000	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/2"x2-1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2"/P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3"(2) 7/8" BLT	3,990	N/A
104	HU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d/J: 6-16d	1,550	N/A
168	U46	H: 8-10d/J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d/J: 4-10d	1,085	N/A
186	HUCQ210-2 SDS	H: 12-1/4"x2-1/2" SDS J: 6-1/4"x2-1/2" SDS	2,345	N/A
190	HU210-2 SDS	CMU: 18-1/4"x2-1/2" TITEN T." J: 10-0.148x3"	1,800 U. 5,095 D.	N/A
214	HUC212-3	HD: (22) 0.162"x3 1/2" TAPCON BM: (10) 0.148x3"	1,895	N/A
215	HGUS210-2	HDR: 46-16d/JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/2"x11 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/2"x11 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2"/P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2000	1015 / 440
301	MG1	(1) 5/8" BLTS./GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS./GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS./GIR: 16-10d	9,250	N/A
401	SUR/L414	FACE: 18-16d/JST: 8-16d	1,700	N/A

CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS

### COMPONENT & CLADDING DESIGN WIND PRESSURES

SEE PLAN DESIGN WIND PRESSURE

ULTIMATE DESIGN POSITIVE PRESSURE  
ULTIMATE DESIGN NEGATIVE PRESSURE

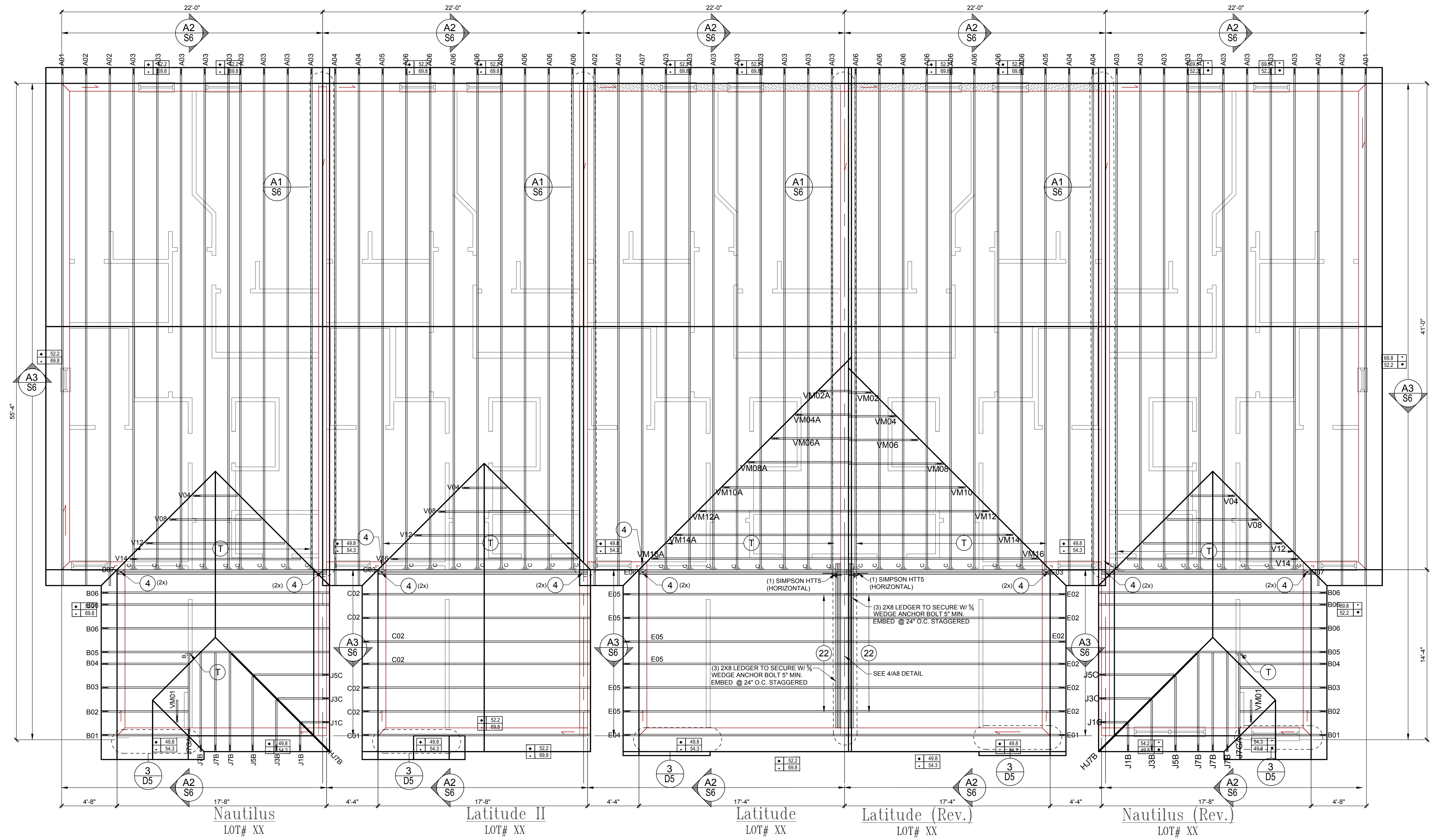
NOTE: DESIGN PRESSURES BASED ON ULTIMATE WIND SPEED TO OBTAIN NOMINAL "ASD" WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.8

### FIELD REPAIR NOTES

- MISSING FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETV ADHESIVE.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR. PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 9" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE.

### NOTES

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC. STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, ORDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY. KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TP/W/TCA BC/SI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- TILE ROOF UNDERLAYMENT TO BE INSTALLED IAW FBCR 2023, 8TH EDITION R905.1.1 UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:  
- LOMANCO: (2) 9/8" DIA. CIRCLES  
- MILLENNIUM METAL: 2 1/2" x 48" HOLE



**Roof Framing Plan**  
**"Elev. A"**  
SCALE 1/4" = 1'-0"

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**A.I. B.D.**  
GOBA  
GOLF BUILDERS ASSOCIATION

**5-Unit: (Paradiso TH)**  
Models: Nautilus, Latitude  
Building Per # XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A division of Park Square Enterprises, Inc.  
5200 Vineland Rd, Suite # 200  
Orlando, FL 32811  
Phone: (407) 529-3000

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

ISSUE DATE: 04/13/2023  
REVISIONS:

Dec 08, 2023, 5:02pm

ROOF PLAN ELEV. A  
**S5**



**CONNECTOR SCHEDULE**

CONNECT. TYPE	SIMPSON DESCRIPTION	FASTENERS PER CONNECTOR	MAX. UPLIFT	LAT. LDS. F1 / F2
4	HETA20	14-10d x 1 1/2"	1,810	65 / 960
5	DETAL20	18-10d x 1 1/2"	2,480	2000 / 1370
20	H3	RFT: 4-8d / PLT: 4-8d	455	125 / 160
21	H1	RFT: 6-8dx1 1/2" / PLT: 4-8d	475	485 / 165
22	H10A	RFT: 8-8d x 1 1/2" PLT: 8-8d x 1 1/2"	1010	660 / 550
23	LUS26	HDR: 4-10d / JST: 4-10d	935	N/A
24	H7	RFT / TRS: 4-8d PLT / STD: 10-8d	985	400 / N/A
26	H2.5	RFT: 5-8d / PLT: 5-8d	415	150 / 150
34	A34	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	365	280 / 303
35	A35F	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
37	MTS12	14-10d	1,000	N/A
38	MTS16	14-10d	1,000	N/A
39	MTS30	14-10d	1000	N/A
43	LSTA12	10-10d	905	N/A
45	ST18	14-16d	1,200	N/A
47	LSTA24	18-10d	1,295	N/A
71	MSTA36	26-10d	2,135	N/A
72	MSTC66	64-16d SINKERS	5,495	N/A
79	SP1	STD: 6-10d / PLT: 4-10d	535	560 / 260
80	SP2	STD: 6-10d / PLT: 6-10d	605	560 / 260
81	SPH4.6.8	12-10d x 1 1/2"	885	N/A
90	ABU66	12-16d	2,240	N/A
89	CB66	(2) 7/8" BOLTS	2,300	985
92	ABU44	12-16d	2,200	N/A
93	AC6 (MAX)	28-16d	1,815	1,070
94	AC4 (MAX)	28-16d	1,815	1,070
95	HTS20	20-10d	1,450	N/A
96	HD8A	SILL: 7/8" BOLT STUD: (3) 7/8"x5/2" BOLTS	7,910	N/A
97	MTSM16	BLOCK: 4-1/4"x2-1/4" TC JOIST: 7-10d	860	N/A
98	HTT4	SILL: 7/8" BOLT STRAP: 18-16d	4,235	N/A
99	A35	H: 4-8dx1 1/2" / P: 4-8dx1 1/2"	440	440 / N/A
102	HTT5	7/8" BOLT / 26-10d	4,275	N/A
103	VGTR/L	32-SDS 1/2"x3"(2) 7/8" BLT	3,990	N/A
104	HDU8-SDS2.5	7/8" BLT / 20-SDS 1/2"x2 1/2"	5,020	N/A
110	HCP2	12-10d x 1 1/2"	520	260 / N/A
167	HHUS46	H: 14-16d / J: 6-16d	1,550	N/A
168	U46	H: 8-10d / J: 4-10d	710	N/A
181	HUS26	20-16d	1,550	N/A
184	HUC28-2	H: 14-16d / J: 4-10d	1,085	N/A
186	HUCQ210-2 SDS	H: 12-1/4"x2-1/2" SDS J: 6-1/4"x2-1/2" SDS	2,345	N/A
214	HUC212-3	HD: (22) 0.162"x3 1/2" TAPCON BM: (10) 0.148x3"	1,895	N/A
215	HGUS210-2	HDR: 46-16d / JST: 10-16d	2,720	N/A
216	HUS412	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	3,240	N/A
217	HUS212-2	BLOCK: 10-1/4"x1 1/2" TC JOIST: 10-16d	2,630	N/A
219	MBHA412	H: 1-ATR3/4X8 TOP&FACE JOIST: 18-10d	3,145	N/A
220	N/A	N/A	1,620	N/A
226	MBHA4.75/12	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	2,160	N/A
231	MBHA3.56/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
232	MBHA5.50/16	HDR: (2) 3/4" φ x 8" JOIST: 18-10d	3,450	N/A
240	H16	R: 2-10dx1 1/2" / P: 10-10dx1 1/2"	1,470	480 / N/A
241	LGT2	30-16d-sinker	2,000	1015 / 440
301	MG1	(1) 5/8" BLTS / GIR: 22-10d	3,965	N/A
302	HGT-2 or 3	LTL: 3/4" BLTS / GIR: 8-10d	6485	N/A
303	HGT-4	LTL: 3/4" BLTS / GIR: 16-10d	9,250	N/A
401	SURL414	FACE: 18-16d / JST: 8-16d	1,700	N/A
T	CONNECTORS TO BE SPECIFIED & PROVIDED BY TRUSS MANUFACTURERS			

**COMPONENT & CLADDING DESIGN WIND PRESSURES**

SEE PLAN DESIGN WIND PRESSURE

+ .xxx ULTIMATE DESIGNED POSITIVE PRESSURE  
- .xxx ULTIMATE DESIGNED NEGATIVE PRESSURE

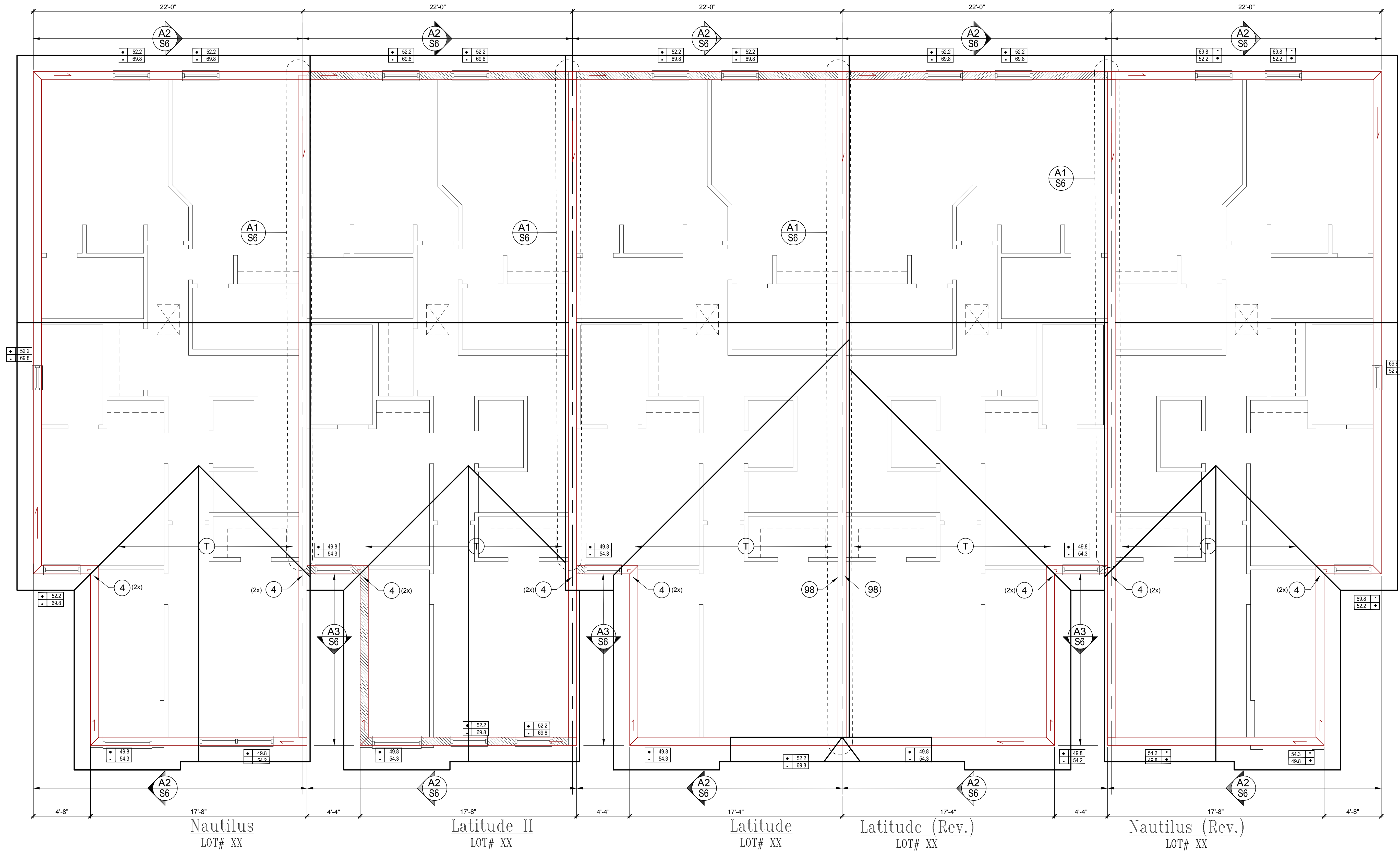
NOTE: DESIGN PRESSURES BASED ULTIMATE WIND SPEED TO OBTAIN NOMINAL ASD WIND PRESSURES MULTIPLY VALUES SHOWN BY A FACTOR OF 0.6

**FIELD REPAIR NOTES**

- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEK PROPOXY 300 OR SIMPSON SET OR ETC ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION: UP TO 7/8" - NO REPAIR NECESSARY 7/8" TO 1 1/2" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED. 1 1/2" - REQUIRE SPECIAL ENGINEERING LETTER.
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF ALONG BEARING WALL MAY OCCUR PROVIDED DBL STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 5" AND TRUSS/FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE.

**NOTES**

- TYPICAL ROOF GABLE OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- TYPICAL ROOF EAVES OVERHANG TO BE 12" UNLESS OTHERWISE NOTED.
- PROVIDE AND INSTALL FLASHING AND ROOFING AS PER NATIONAL ROOFING AND SHEET METAL ASSOC STANDARDS AND/OR ACCEPTABLE INDUSTRY PRACTICE AND IN ACCORDANCE WITH 8TH EDITION (2023) FLORIDA RESIDENTIAL CODE.
- ALL ROOF TRUSSES, GIRDERS, BEAMS, HEADERS, ETC. TO BE SIZE BY TRUSS MANUFACTURER OR FL. REG. ENG.
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION & PROVIDE LATERAL STABILITY KIN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR BUILDING & ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS. TRUSSES SHALL BE BRACED IN ACCORDANCE WITH TPIW/TCA BCSI 1.
- REFER TO TRUSS MANUFACTURERS DRAWINGS FOR TRUSS PLACEMENT & TRUSS TO TRUSS CONNECTIONS.
- ROOF UNDERLAYMENT TO BE USED IS 30 LBS. SYNTHETIC FELT.
- TILE ROOF - UNDERLAYMENT TO BE INSTALLED IAW FBCE 2023, 8TH EDITION R905.1.1 UNDERLAYMENT MATERIALS REQUIRED TO COMPLY WITH ASTM D226, D1970, D4869 AND D6757 SHALL BEAR A LABEL INDICATING COMPLIANCE TO THE STANDARD DESIGNATION AND, IF APPLICABLE, TYPE CLASSIFICATION INDICATED IN TABLE R905.1.1.1 UNDERLAYMENT SHALL BE APPLIED AND ATTACHED IN ACCORDANCE WITH TABLE R905.1.1.1
- OFF RIDGE VENTS MAXIMUM OPENING SIZES:  
- LOMANCO: (2) 9/8" DIA CIRCLES  
- MILLENNIUM METAL: 2 1/2"x46" HOLE



**Roof Framing Plan**  
**"Elev. B"**  
 SCALE 1/4" = 1'-0"

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**MJS**  
 designers group  
 residential-commercial-architecture

**A I D**  
 BUILDERS ASSOCIATION

**GOBA**  
 GOLF BUILDERS ASSOCIATION

**5-Unit: (Paradiso TH)**  
 Models: Nautilus, Latitude  
 Building Per # XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A Division of Park Square Enterprises, Inc.  
 5200 Vineland Rd., Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

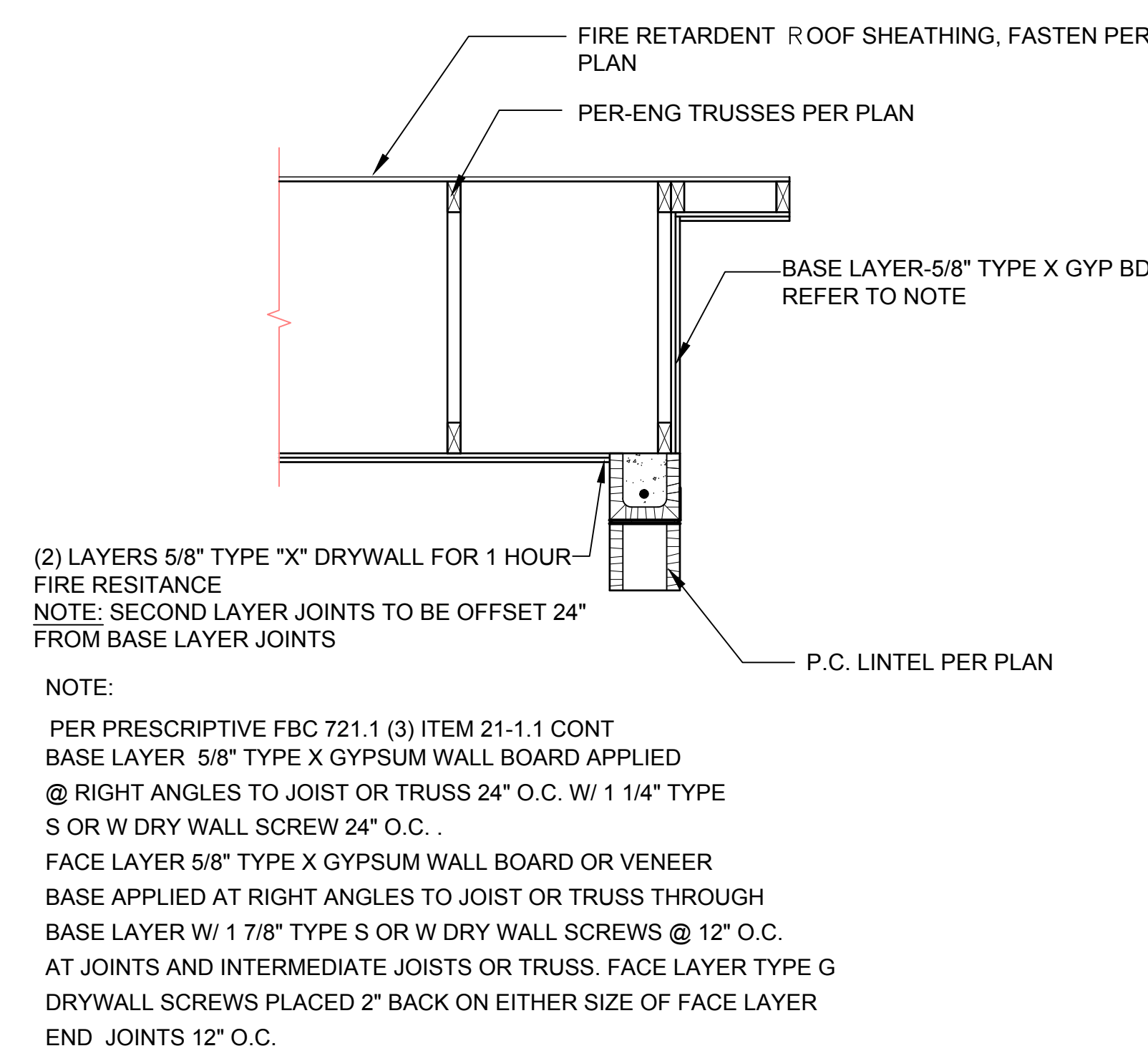
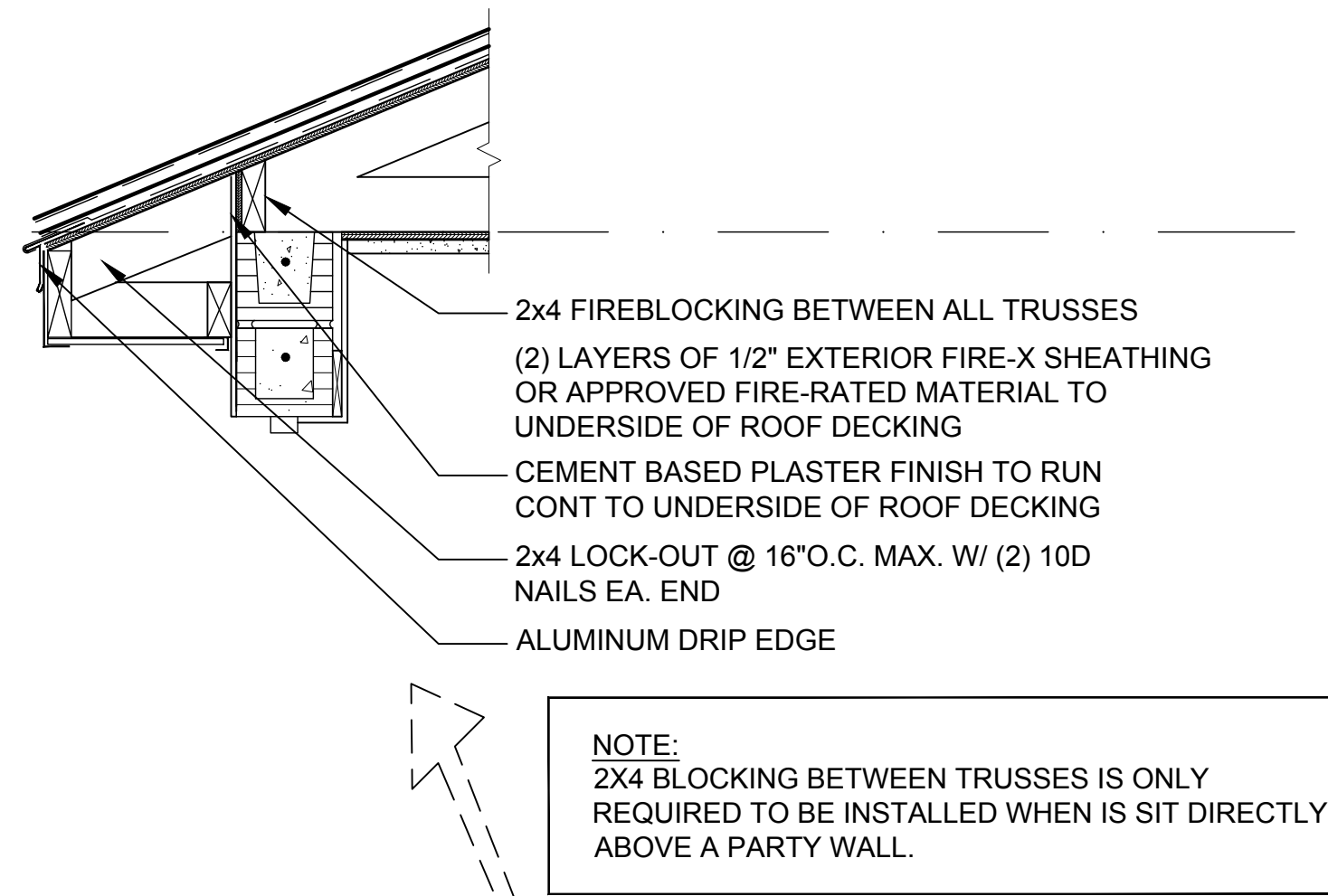
**Park Square HOMES**

PROJECT: 22-1151  
 SCALE: AS NOTED  
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 DESIGNED BY: MJS

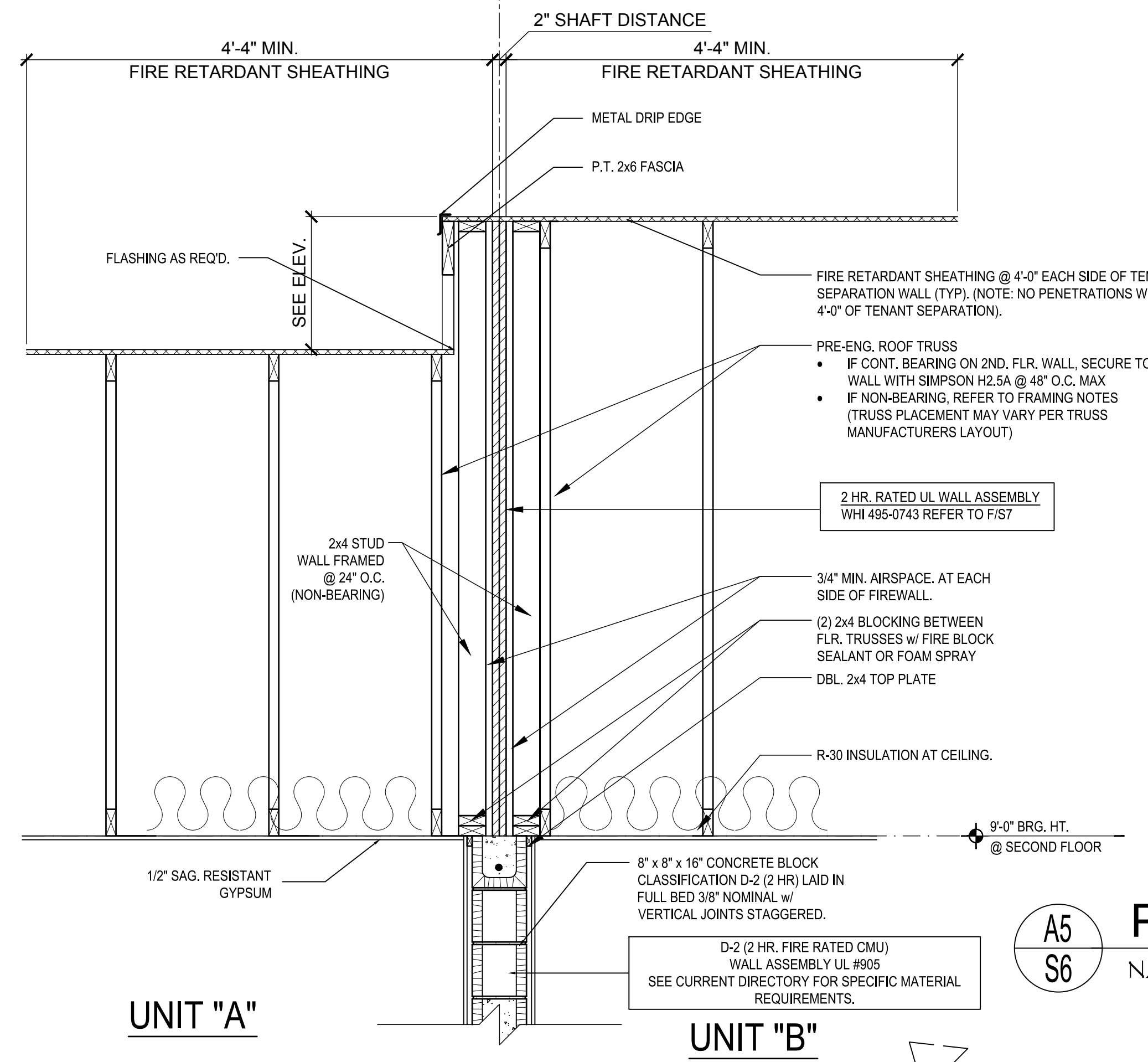
ISSUE DATE: 04/13/2023  
 REVISIONS:

PROJECT: 22-1151  
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 DRAWN BY: M.C.  
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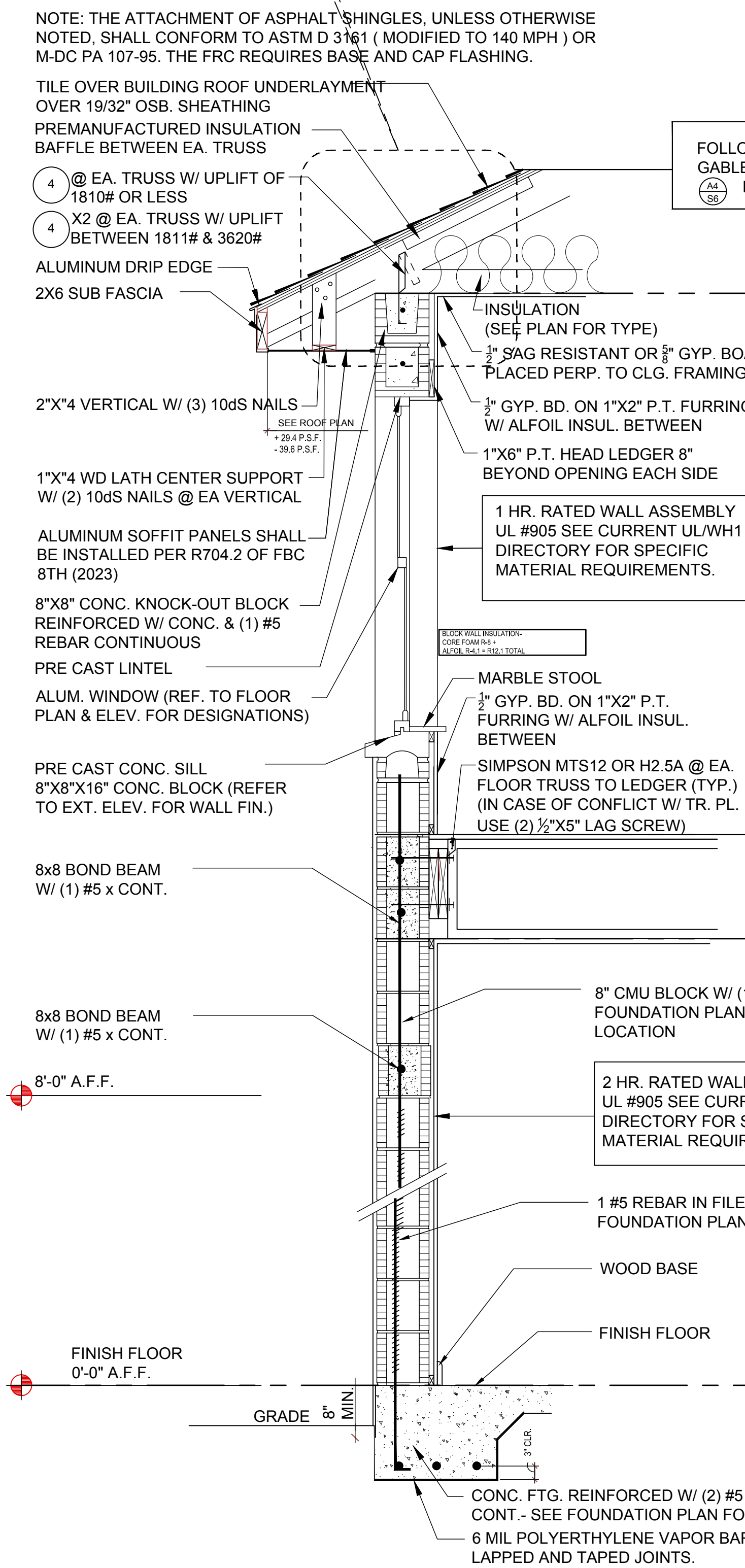
ROOF PLAN ELEV. B  
**S5**



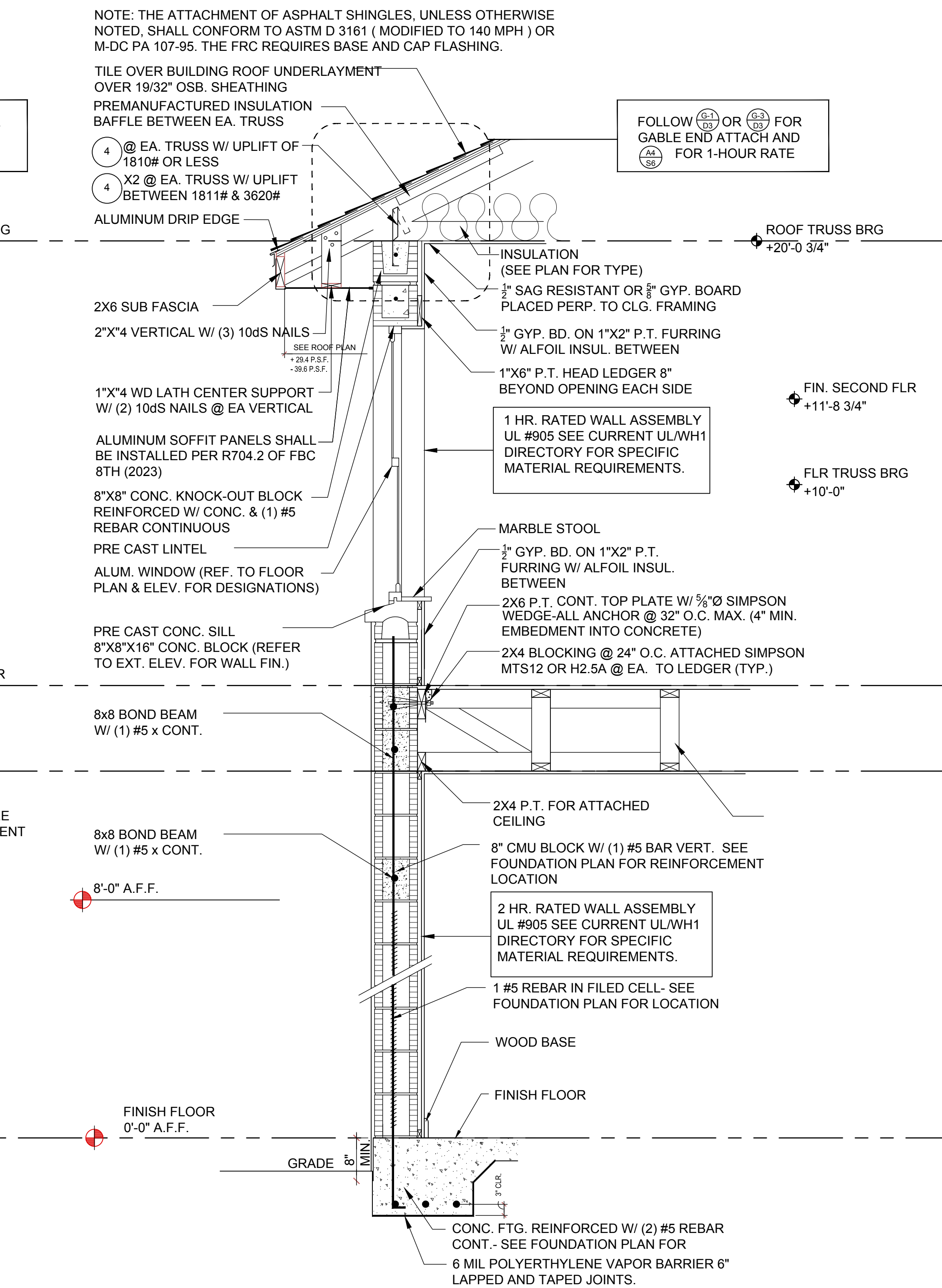
A4 S6 1-HR FIRE RATED @ GABLE N.T.S.



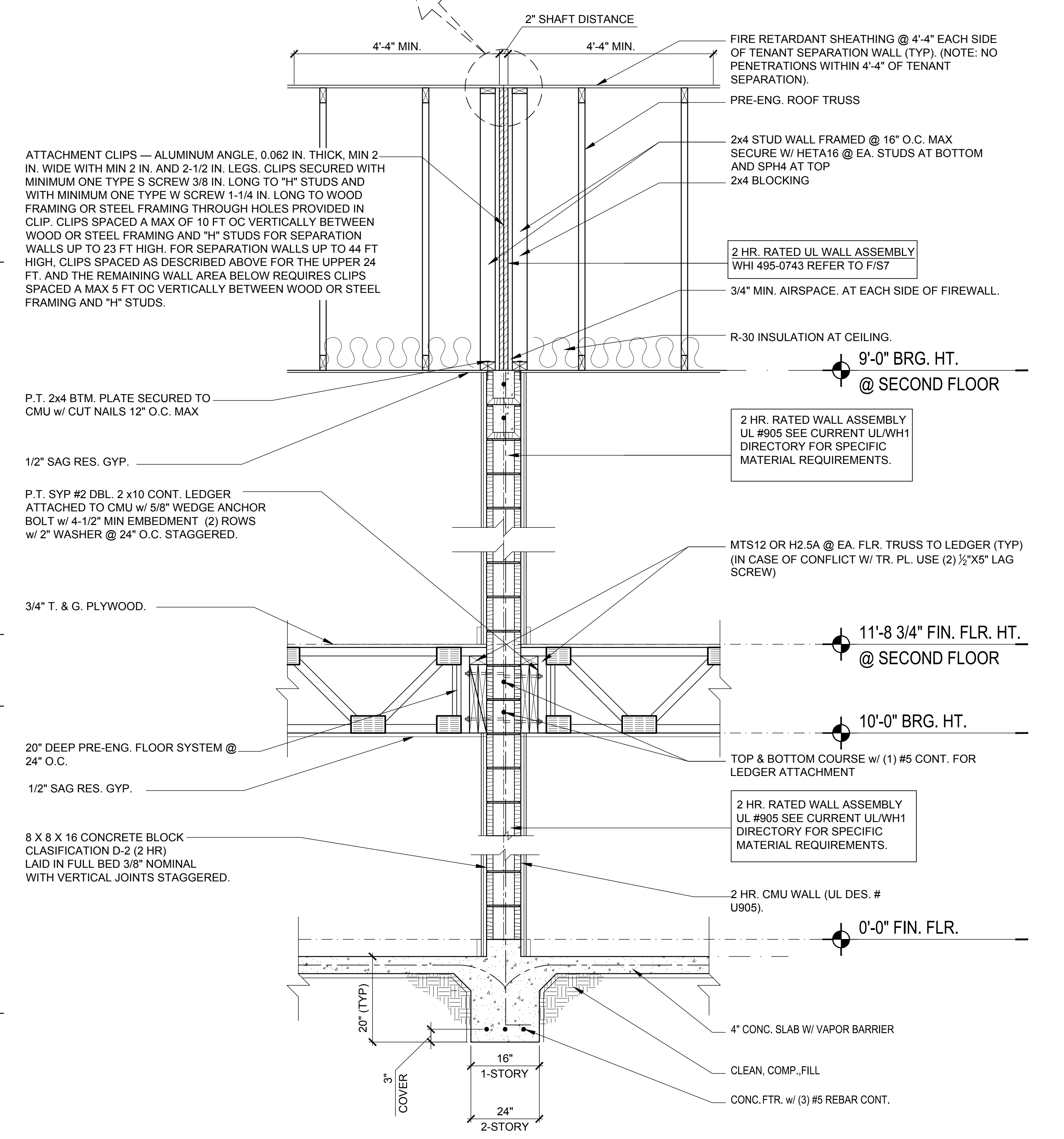
A5 S6 PARAPET WALL FIRE SEPARATION N.T.S.



A3 S6 EXTERIOR WALL SECTION N.T.S.



A2 S6 EXTERIOR WALL SECTION N.T.S.



A1 S6 2-STORY FIRE WALL SECTION N.T.S.

NOTE: FIRE RETARDANT SHEATHING SHALL BE INSTALLED FOR A DISTANCE OF 4'-4" ON EACH SIDE OF THE WALL OR WALLS. THERE SHALL BE NO OPENINGS IN THE ROOF WITHIN 4 FEET OF EITHER SIDE OF PARTY WALL PER FBC 2023, SECTION 705.6 (TYP.)

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MJS designers group residential-commercial-architecture  
 815 Oriole Ave., Suite #1040 Altamonte Springs, FL 32701  
 Ph: (407) 629-6711 Fax: (407) 629-6776 www.mjsdesignsgroup.com

AI BID  
 Goba Group

5-Unit: (Paradiso TH)  
 Models: Paradise, Latitude  
 Building Pair # XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

A Division of Park Square Enterprises Inc.  
 5200 Vineland Rd, Suite #200 Orlando, FL 32811  
 Phone: (407) 529-3000

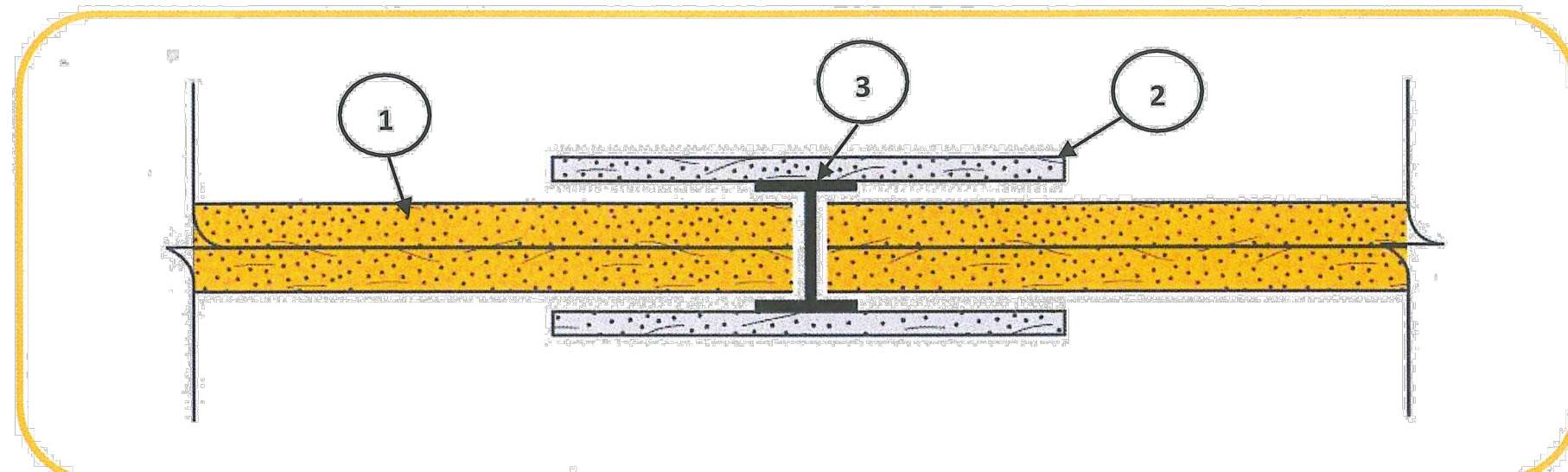
Park Square HOMES

PROJECT: 22-1151 SCALE: AS NOTED DRAWN BY: M.C. DESIGNED BY: MJS  
 ISSUE DATE: 04/13/2023 REVISIONS:  
 Dec 08, 2023, 5:02pm

DESIGN: C:\Users\Design1\OneDrive - Thompson Engineering Group\Desktop\Paradiso Grande (CMU - Raised Heel) 12042023\5-Unit (A1) (Raised Heel) 5-Unit: 12042023.S6 Details.dwg

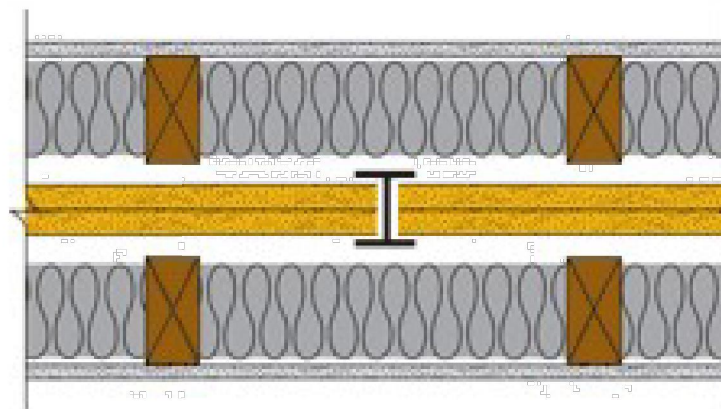
DETAILS S6

Georgia-Pacific Gypsum, LLC  
Design No. GP/WA 120-05  
Non-Bearing Wall Assembly  
Area Separation Wall  
ASTM E119  
Rating: 2 hours



- CERTIFIED MANUFACTURER:** Georgia-Pacific Gypsum, LLC  
**CERTIFIED PRODUCT:** Gypsum Shaftliner  
**CERTIFIED MODEL:** ToughRock Shaftliner or DensGlass Shaftliner  
**Gypsum Shaftliner:** Two layers 1-in. (25.4 mm) ToughRock Shaftliner or DensGlass Shaftliner inserted in H-Studs 24-in. (610 mm) o.c.
- Gypsum Board:** Metal covered using 6-in. (152 mm) wide 1/2-in. (12.7 mm) DensArmor Plus Fireguard C Interior Panels or 1/2-in. (12.7 mm) ToughRock Fireguard C gypsum board.
- Steel Studs:** 'H' shaped Studs, 1-1/2-in. (38.1 mm) wide x 2-in. (50.8 mm) deep, roll-formed from minimum 0.018-in. thick galvanized steel. Cut to length 1/2-in. less than the openings height and spaced a maximum of 24-in. (610 mm) o.c.

Two layers 1" (25.4 mm) ToughRock Shaftliner or DensGlass® Shaftliner inserted in H-Studs 24" (610 mm) o.c. Min. 3/4" (19 mm) air space on both sides must be maintained between liner panels and adjacent framing. Sound Tested with 2"x 4" stud wall with 1/2" (12.7 mm) ToughRock® Fireguard C gypsum wallboard or DensArmor Plus® Fireguard C panels each side of assembly and 3-1/2" (89 mm) fiberglass insulation in stud space both sides. Breakaway clip facings and height of wall differ between UL Design U373 and WHI GP/WA 120-04. Please consult each listing for specific information.



- Approved for Assembly:**  
DensGlass® Shaftliner Panel  
ToughRock Shaftliner  
DensArmor Plus Fireguard C  
ToughRock Fireguard C

Hourly Rating: 2-hour  
STC Rating: 65-69 STC  
Fire Test Reference: UL U373, ULC W312, WHI GP/WA 120-04, cUL U373, GA ASW 0810  
Sound Test Reference: RAL TL10-291

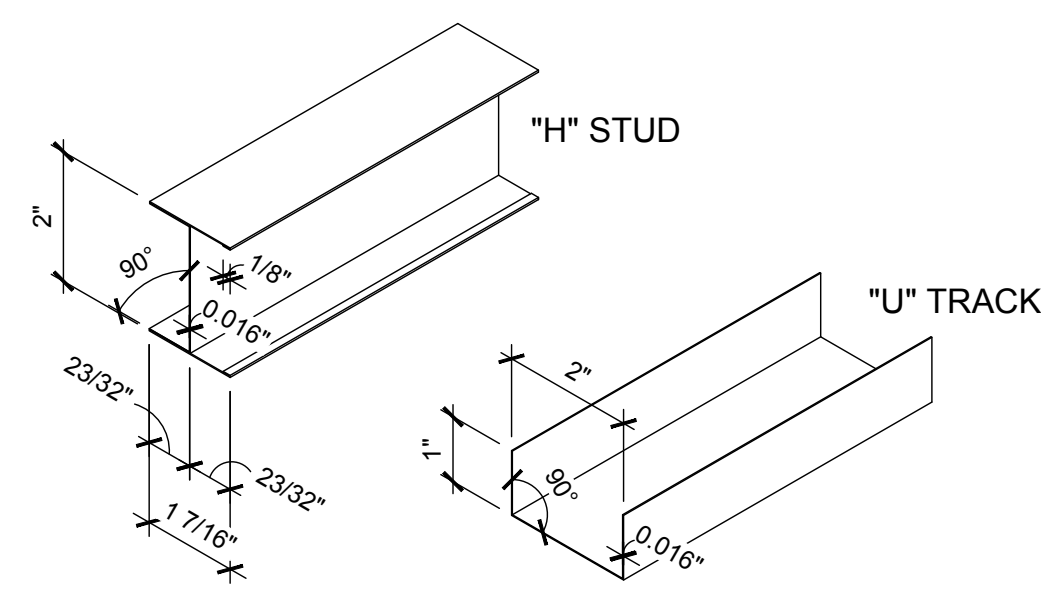
NOTE: 6" STRIPS OVER "H" STUD IS NOT REQUIRED IF 3/4" AIR SPACE IS MAINTAINED WHEN USING GP/WA 120-04

**L | 2HR. EXT. FIREWALL ASSEMBLY GP/WA 120-04**

WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 18 OF 40

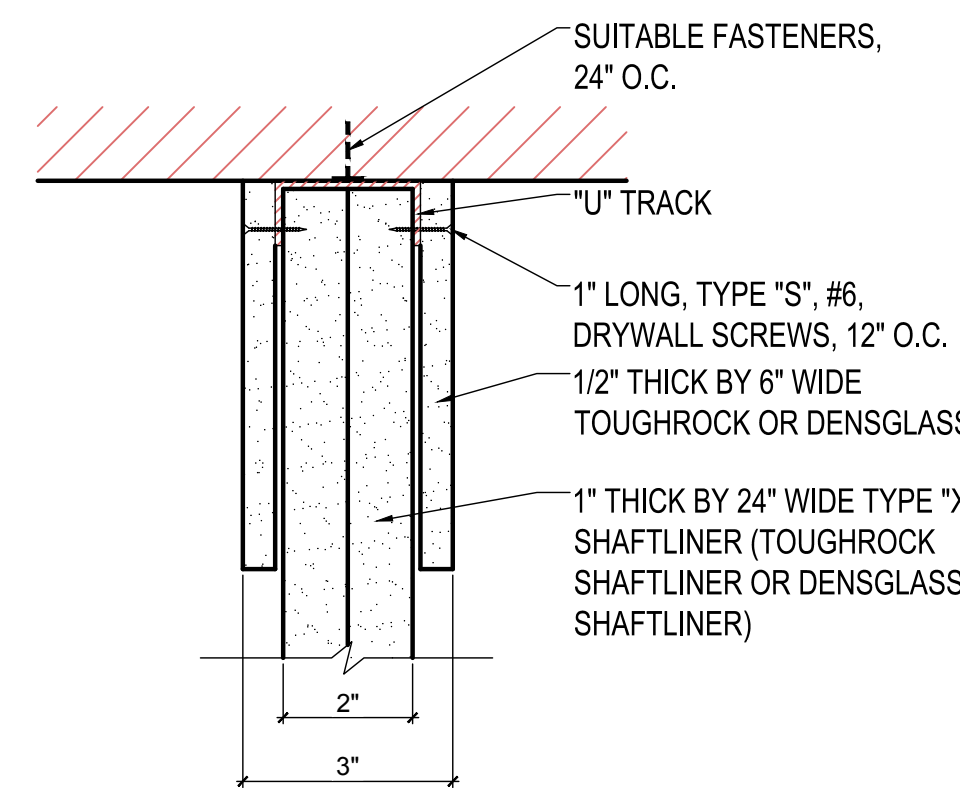
**FIGURE #1**  
"H" STUD AND "U" TRACK

ALL MATERIAL ROLL-FORMED FROM HOT-DIPPED, GALVANIZED STEEL, 0.016" THICK AND DIMENSIONED AS SHOWN.



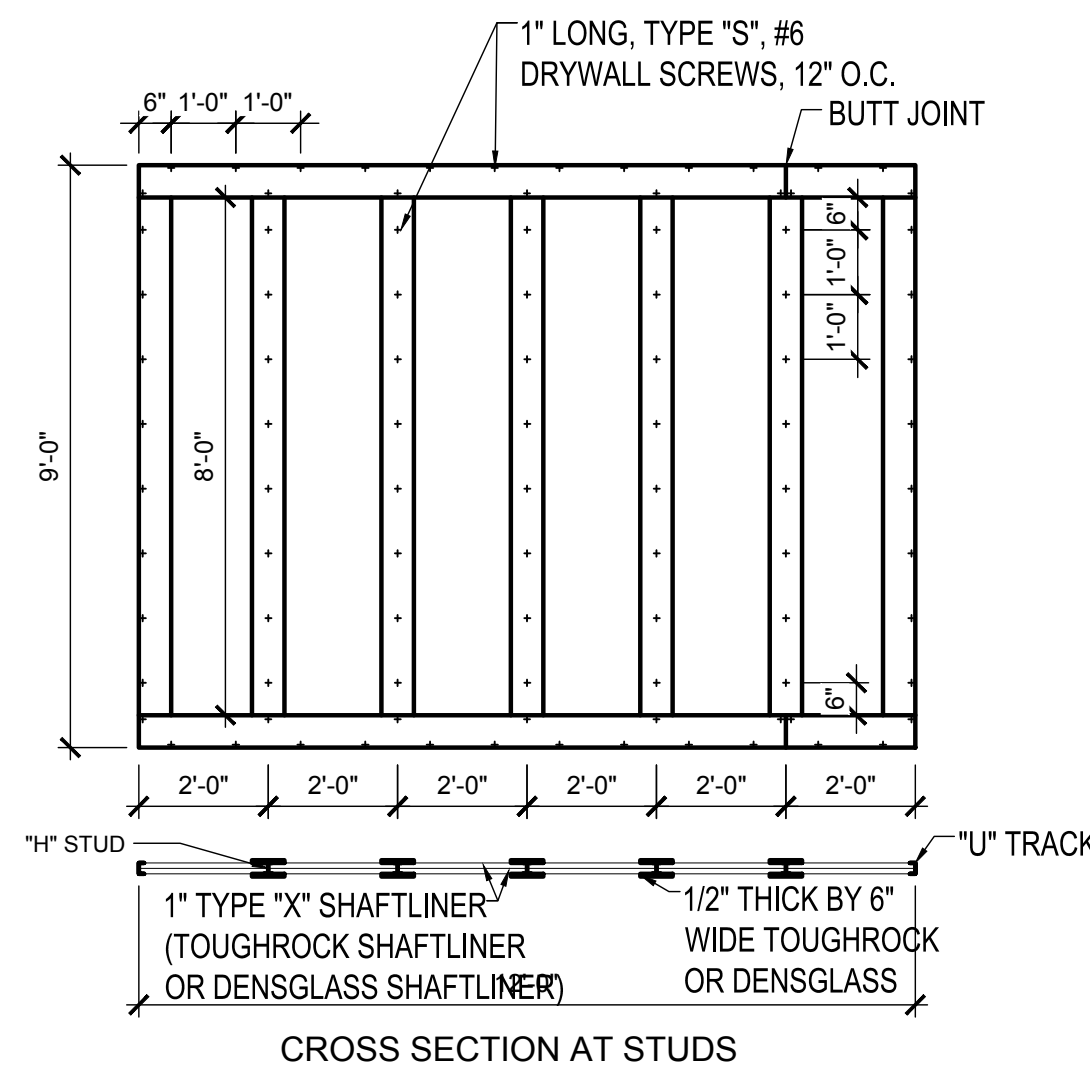
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**FIGURE #4**  
TOP OR BOTTOM DETAIL BETWEEN STUDS OR END DETAIL



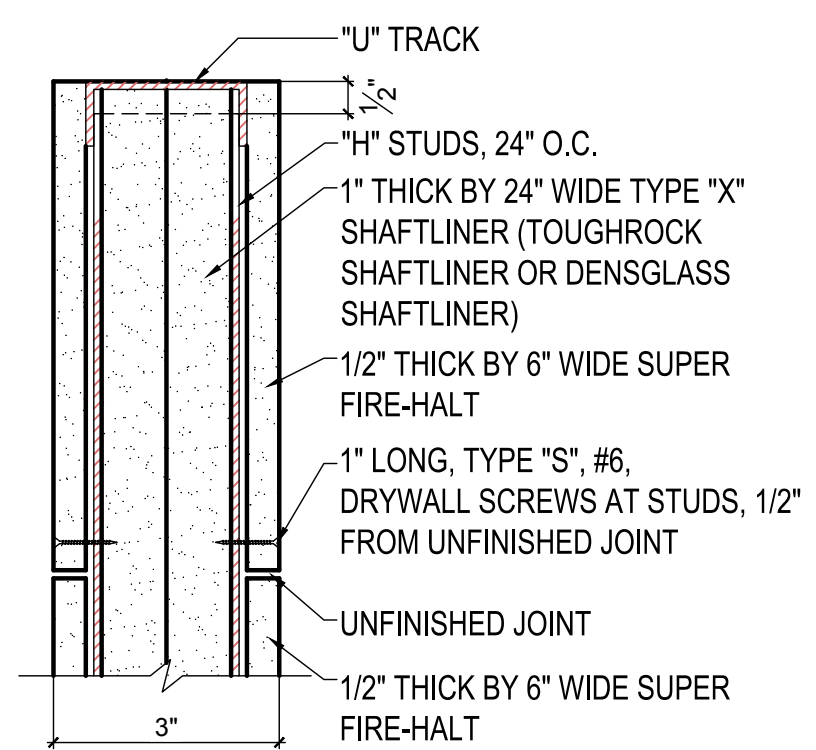
WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 19 OF 40

**FIGURE #2**  
ELEVATION - SCREW LOCATIONS



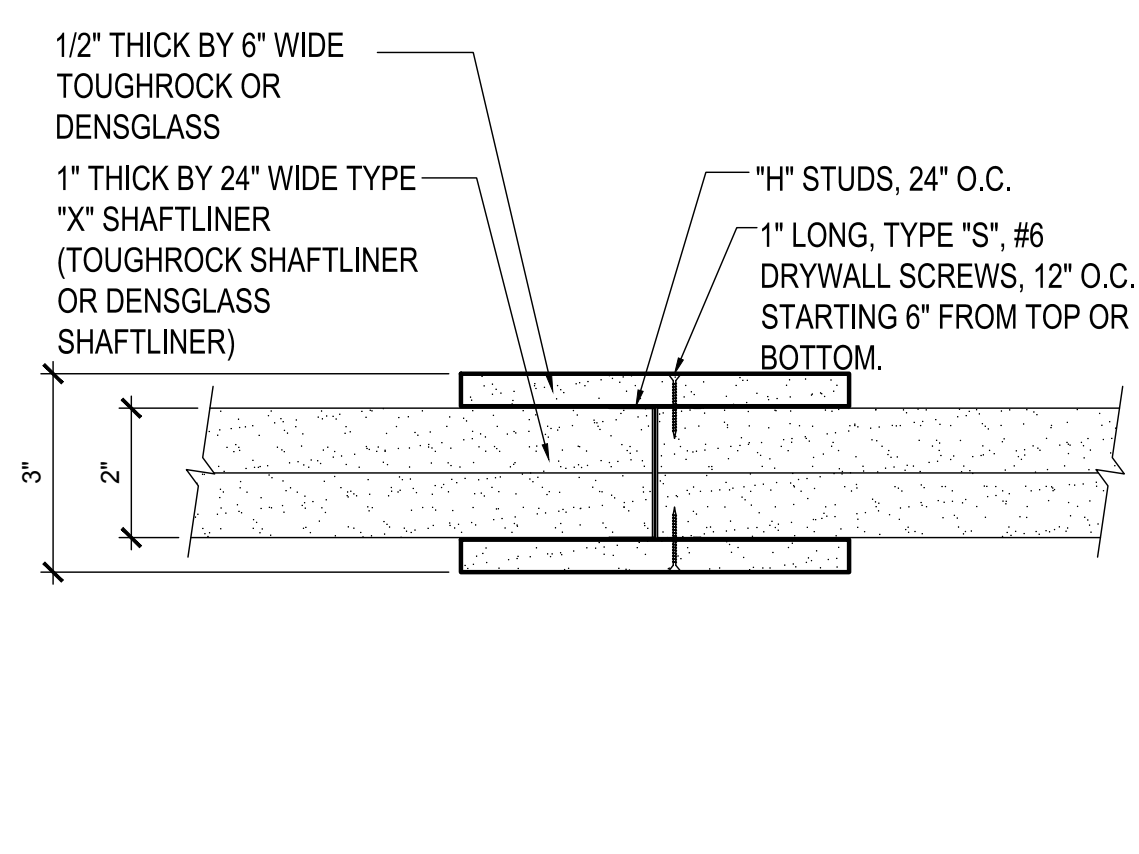
WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 22 OF 40

**FIGURE #5**  
TOP OR BOTTOM DETAIL AT STUDS



WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 20 OF 40

**FIGURE #3**  
CROSS SECTION DETAIL AT STUD

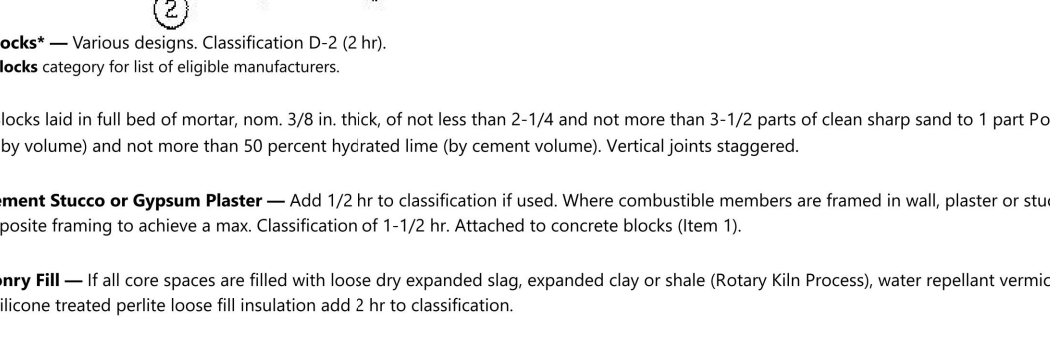


**UL Product IQ®**  
BXUV.U905 - Fire-resistance Ratings - ANSI/UL 263  
Design/Systems/Constructor/Assembly Usage Disclaimer

- Authorities Having Jurisdiction should be consulted in all cases as to the particular requirements covering the installation and use of UL Certified products, equipment, systems, devices, and materials.
- Authorities Having Jurisdiction should be consulted before construction.
- Fire resistance assemblies and products are developed by the design submitter and have been investigated by UL for compliance with applicable requirements. The published information cannot address every construction nuance encountered in the field.
- When field issues arise, it is recommended the first contact for assistance be the technical service staff provided by the product manufacturer noted for the design. Users of the resistance assemblies are advised to consult the general Guide Information for each product category and each group of assemblies. The Guide Information includes specific information concerning alternate materials and alternate methods of construction.
- Only products which bear UL's Mark are considered Certified.

BXUV - Fire Resistance Ratings - ANSI/UL 263 Certified for United States  
BXUV7 - Fire Resistance Ratings - CAN/ULC-S101 Certified for Canada  
See General Information for Fire Resistance Ratings - ANSI/UL 263 Certified for United States and/or CAN/ULC-S101 Certified for Canada. Design Criteria and Allowable Variations.  
**Design No. U905**  
November 09, 2020  
**Bearing Wall Rating — 2 HR**  
**Nonbearing Wall Rating — 2 HR**

**This design was evaluated using a load design method other than the Limit States Design Method (e.g., Working Stress Design Method). For jurisdictions employing the Limit States Design Method, such as Canada, a load restriction factor shall be used — See Guide BXUV or BXUV7**  
**\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**



- Concrete Blocks** — Various designs. Classification D-2 (2 hr). See *Concrete Blocks* category for list of eligible manufacturers.
  - Mortar** — Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
  - Portland Cement Stucco or Gypsum Plaster** — Add 1/2 hr to classification if used. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
  - Loose Masonry Fill** — If all core spaces are filled with loose dry expanded slag, expanded clay or shale (Rotary Kilo Process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to classification.
  - Foamed Plastic** — (Optional Not Shown) — 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).
- ATLAS ROOFING CORP.** — EverShield Pro Wall Insulation; EverShield Pro 2 Wall Insulation; EverShield GSF Pro and EverShield Ply Pro
- CARLISLE COATINGS & WATERPROOFING INC.** — Type R2+ SHEATH
- DUPONT DE NEMOURS, INC.** — Types Thermax Sheathing, Thermax Light Duty Insulation, Thermax Heavy Duty Insulation, Thermax Metal Building Board, Thermax White Finish Insulation, Thermax Exterior Insulation, Thermax KARMAKOR 4 Exterior Insulation, Thermax H Insulation, Thermax Plus Layer Panel, Thermax Heavy Duty Plus (HDP), TUFF-8™ XT Insulation, Thermax Butler SpunMat Insulation Board and Thermax Motion Heavy Duty Insulation Board
- FIRESTONE BUILDING PRODUCTS CO. L.L.C.** — "EverShield" CI Foil Exterior Wall Insulation and "EverShield" CI Glass Exterior Wall Insulation
- HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC** — Types "X2" Class "A", "X2" Full Class "A", "X2" 20"
- IMAX, A BUSINESS UNIT OF SSKA CORPORATION** — Types "TS1-6500", "TECMAKI PT", "TS1-6510", "TECMAKI H" FR Wall, "TECMAKI", "TECMAKI FR Air Barrier", "Thermashield-90", "Thermashield-100", "Thermashield-110", "Thermashield-120", "Thermashield-130", "Thermashield-140"
- JOHNS MANVILLE** — Type "AF" Felt-Faced Fom Sheathing
- SA Building Insulation** — As an alternate to Items 5, min. 1-in. thick polyisocyanurate composite foamed plastic insulation boards, nom. 48 by 48 or 96 in. **HUNTER PANELS, A DIVISION OF CARLISLE CONSTRUCTION MATERIALS, LLC** — "X2" NP, "X2" Pp
- IMAX, A BUSINESS UNIT OF SSKA CORPORATION** — "Thermashield-90", "TECMAKI PT", "TECMAKI H", "TECMAKI FR PT", "TECMAKI FR Pp"

**\* Indicates such products shall bear the UL or cUL Certification Mark for jurisdictions employing the UL or cUL Certification (such as Canada), respectively.**  
Last Updated on 2020-11-09

**F | 2HR. EXT. FIREWALL ASSEMBLY WHI-495-0743**

**ANSI/UL 263 DESIGN U905**

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Fax: (407) 734-1750  
www.iteg.com

**MJS**  
designers group  
residential-commercial-architecture

**AI**  
**BD**

**GOBA**  
Gypsum Board Manufacturers Association

**5-Unit: (Paradiso TH)**  
Models: Paradiso, Latitude  
Building Part # XXX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

A Division of Park Square Enterprises, Inc.  
5200 Vineland Rd., Suite #200  
Orlando, FL 32811  
Phone: (407) 529-3000

**Park Square HOMES**

Dec 08, 2023, 5:03pm

PROJECT: 22-1151  
SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

ISSUE DATE: 04/13/2023

REVISIONS

FIRE SEPARATION

**S7**

Dec 08, 2023, 5:03pm  
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## STRUCTURAL NOTES

- THIS STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE 8TH EDITION, FBCR 2023 (WIND LOAD @ 140 MPH.)  
LIVE LOAD ROOF: 20 PSF.  
FLOOR: 40 PSF, BALCONIES & STAIRS: 40 PSF  
OCCUPANCY= 1.0  
BUILDING CATEGORY R3, WIND EXPOSURE B  
INTERNAL PRESSURE COEFFICIENTS = +0.18 AND -0.18
- WINDOWS, DOORS, AND GARAGE DOORS TO BE DESIGNED TO MEET FBCR SECTION R301
- ALL FLOOR SLABS TO BE OF 2,500 PSI CONC. PLANT MIX MIN. 5" THICK WITH 6x6 10/10 WIRE MESH 6 MIL. POLY. VAPOR-BARRIER OVER TERMITE TREATED COMPACTED CLEAN FILL.
- CONCRETE MASONRY UNITS SHALL MEET: CH. 1-3 OF ACI 530-02/ ASCE 5-02/TMS 402-02 OR BIA BUILDING CODE REQUIREMENTS.
- MORTAR TO BE TYPE "M" OR "S", GROUT - 2,500 PSI @ 28 DAYS.
- MASONRY CLEAN OUTS REQUIRED @ GROUT GREATER THAN FIVE (5) FEET IN HEIGHT AND ALL VERTICALS.
- REBAR TO BE #5'S GRADE 60, W/ MIN. LAP OF 25". USE "L" BARS @ CORNERS AND USE STANDARD HOOKS @ CHANGE IN DIRECTION WITH MIN. LAP 12"
- GYP. BD. CEILING SHALL BE INSTALLED PERP. TO FRAMING & NAILED @ 7" O.C. WITH 5d NAILS. GYP. BD. WALLS SHALL BE NAILED @ 8" O.C. WITH 5d NAILS
- UPLIFT CONNECTOR'S TO PROVIDE CONTINUITY FROM ROOF TRUSSES THRU PLATES TO SLAB AND FOUNDATION PER ENCLOSED DETAILS.
- EPOXY ANCHOR ALTERNATIVE:  
THREADED ANCHOR ROD MAY BE USED IN LIEU OF ANCHOR BOLTS FOR USE AS PLATE ANCHORS OR HURRICANE ANCHORS.  
THE FOLLOWING CRITERIA MUST BE MET:

ANCHOR SIZE	CONC. HOLE SIZE	MIN. HOLE DEPTH
1/2"	-3/4"	7"
-5/8"	-7/8"	7"
-3/4"	1"	8"
-7/8"	1-1/8"	9"

AFTER HOLE IS DRILLED, ALL CONCRETE DUST MUST BE REMOVED PRIOR TO EPOXY INSTALLATION. THREADED ROD TO BE MIN. A36 STEEL AND FREE OF DIRT OR GREASE. LOAD ON ROD CANNOT BE APPLIED UNTIL 12 HOURS AFTER INSTALLATION. 2 COMPONENT EPOXY RESIN MATERIAL TO BE MIXED PER MFG. DIRECTIONS.

- SOIL BEARING CAPACITY 2000 PSF MINIMUM

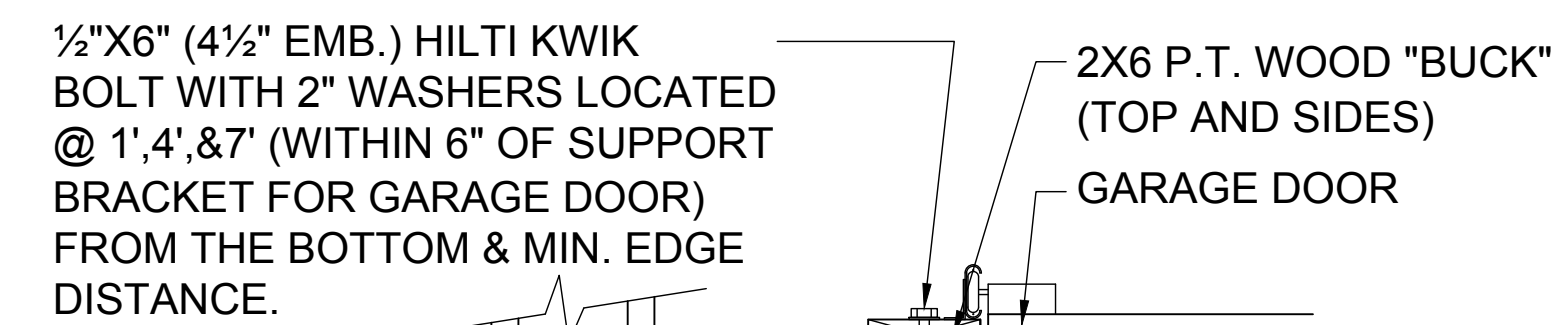
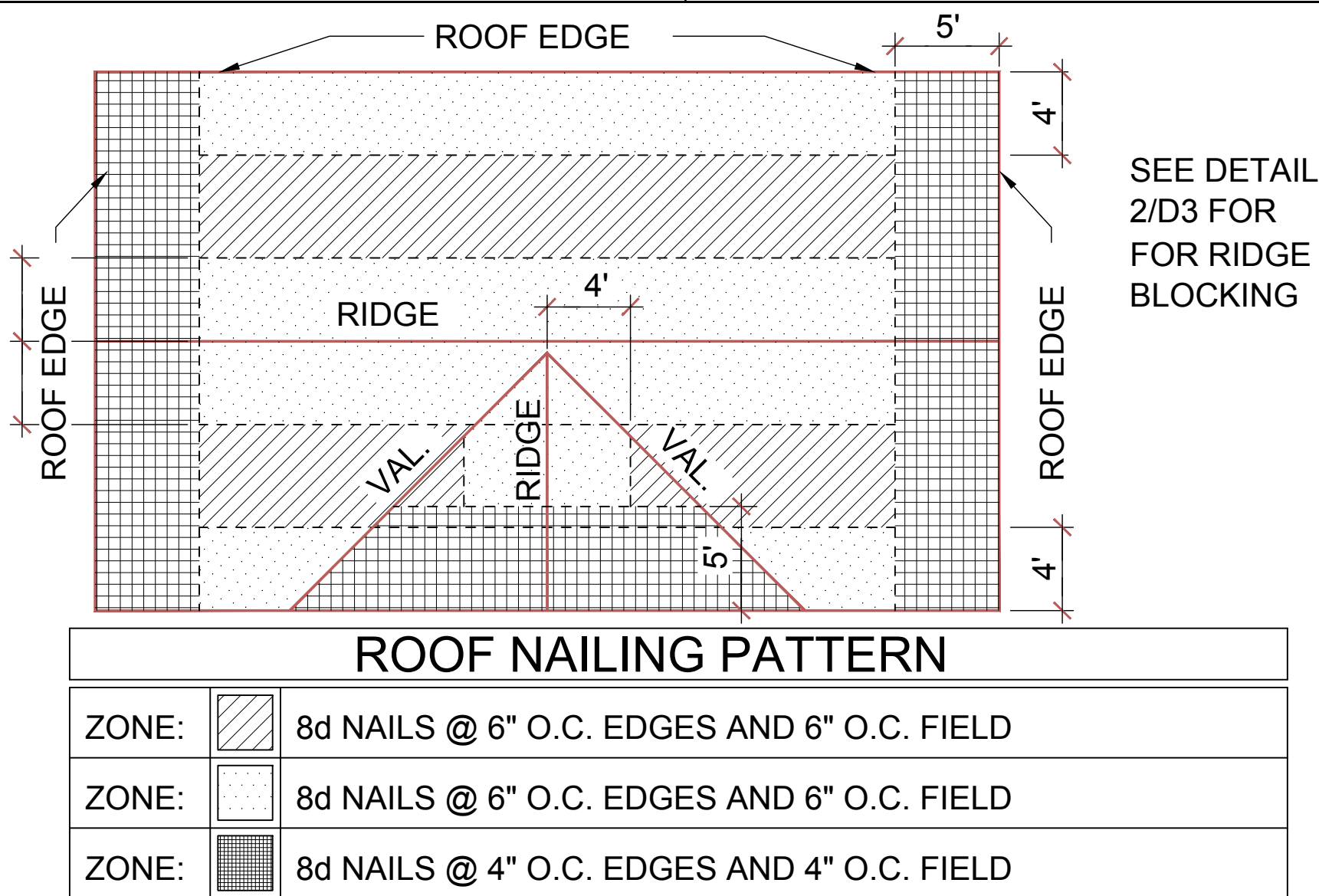
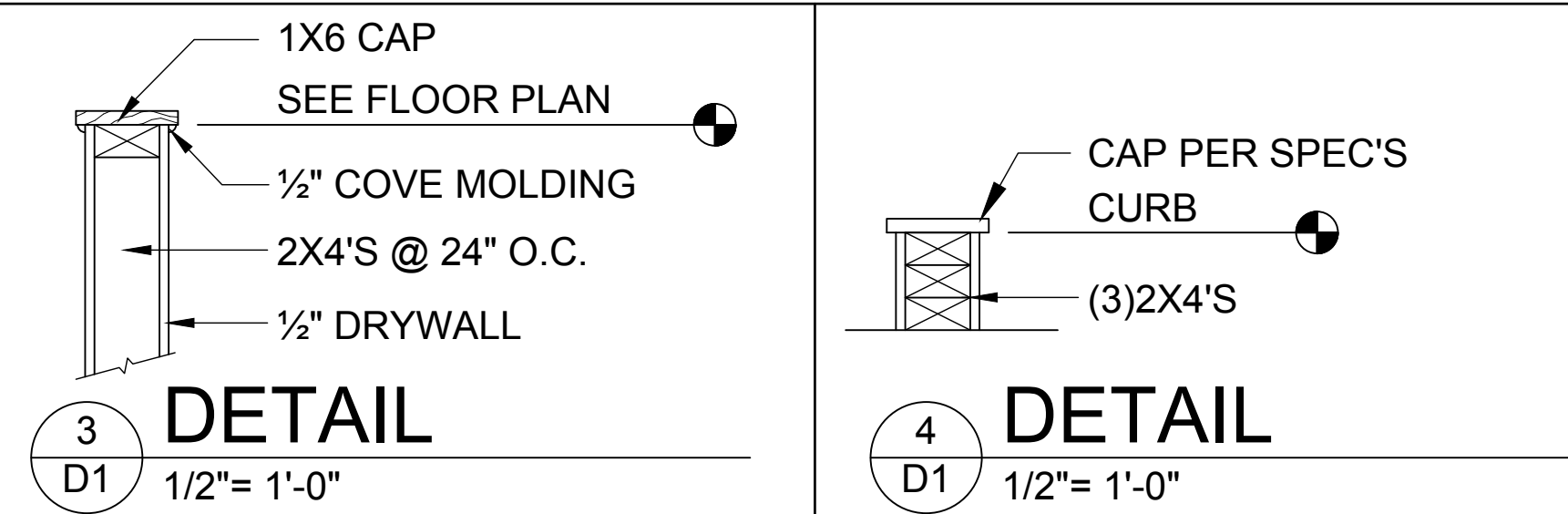
## WOOD STRUCTURAL NOTES

- ALL WOOD TO BE SPECIES, GROUP, AND GRADE AS NOTED BELOW. DAMAGED WOOD NOT TO BE USED.
- ALL STRUCTURAL LUMBER SHALL BE SPF (SPRUCE-PINE-FIR) #2 OR BETTER UNLESS OTHERWISE NOTED. (PRE ENG. TRUSSES EXCLUDED)
- END JOINT IN STRUCTURAL DOUBLE TOP PLATE TO BE OFFSET AT LEAST 4". STRUCTURAL DOUBLE PLATES TO BE NAILED @ 6" O.C..
- PLYWOOD OR OSB. WALL SHEATHING NAIL PATTERN TO BE 10d @ 6" O.C.. UNLESS OTHERWISE NOTED.
- NUMBER OF HEADER STUDS AND ADJACENT FULL LENGTH STUDS PER WALL AND HEADER STUD REQUIREMENT SCHEDULE.
- MAX. 1" HOLE DRILLED INTO EXTERIOR STRUCTURAL STUDS.
- DBL. STUDS @ EA. END OF SHEAR WALL.
- WHEN ANCHORING MULTIPLE WD. ITEMS TOGETHER, THE LENGTH OF HURRICANE STRAP MUST BE CENTERED.
- NAIL PATTERN  
-DOUBLE PLATE 12" O.C.. OUTSIDE SPLICE ZONE (SEE NOTE 4)  
-DOUBLE STUDS @ 12" O.C..  
-DOUBLE OR TRIPLE HEADER @ 6" O.C.. @ EDGE @ 12" O.C.. INTERMEDIATE.  
-HEADER TO STUD @ 4" O.C.. EA. HEADER MEMBER.  
-STUD TO TOP OR BOTTOM PLATE : (2) 16d THRU PLT. OR (2) 16d EA. SIDE TOE NAILED TO PLT.
- ROOF SHEATHING FOR SHINGLE ROOF TO BE MIN. 7/16 OSB, NAILED TO ROOF TRUSSES SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.  
-ROOF SHEATHING FOR TILE ROOF TO BE MIN. 19/32" OSB, 1/2" CDX PLYWOOD OR 1/2" ADVANTECH. NAILED TO ROOF TO ROOF TRUSS SPACED @ 24" O.C. (MAX) WITHOUT BLOCKING.
- FLOOR SHEATHING TO BE MIN. 23/32" PLYWOOD NAILED @ 6" O.C. W/ #8 RING SHANK NAILS AND LIQUID NAIL ADHESIVE.
- ALL FLOOR TRUSSES TO BE END BLOCKED @ BEARING LOCATIONS
- TRUSS BRACING PER TRUSS MANUFACTURE'S DRAWINGS.
- ALL NAILING SPECIFIED TO BE APPLIED BY NAIL GUN OR MANUALLY

- ALL WOOD IN DIRECT CONTACT WITH MASONRY SHALL BE PRESSURE TREATED.
- 2000 PSF MINIMUM SOIL BEARING CAPACITY

## FIELD REPAIR NOTES

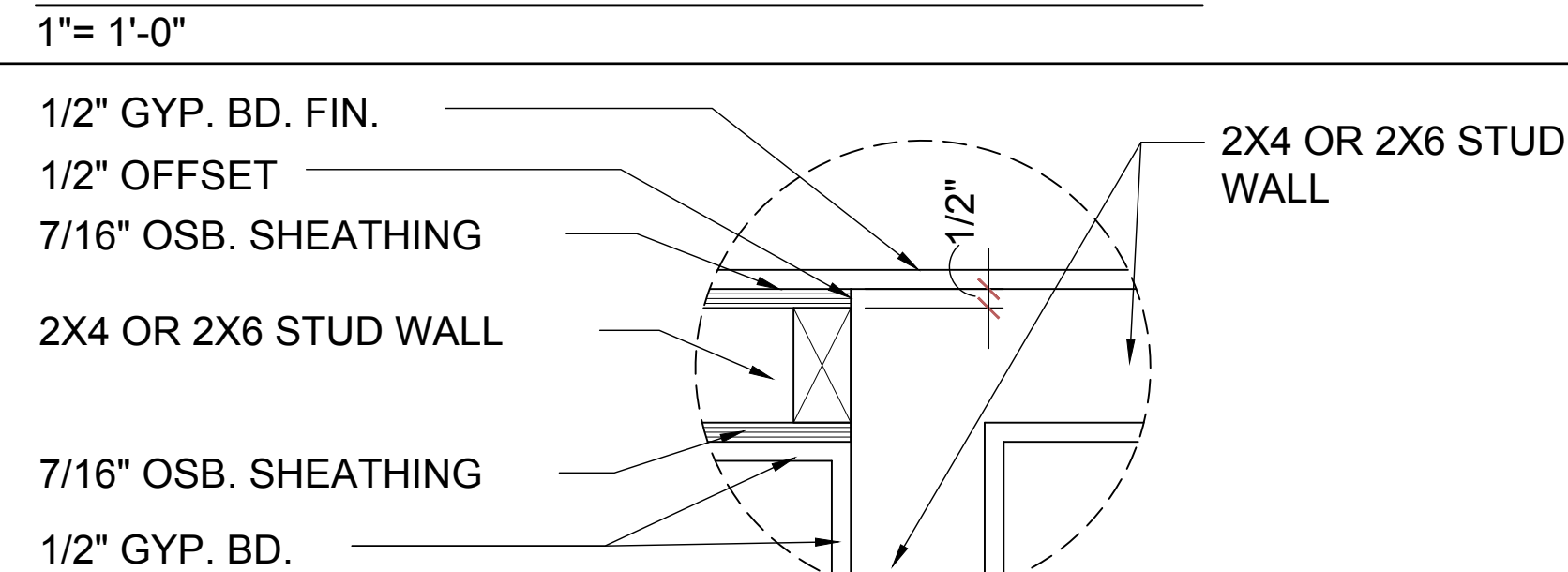
- MISSED LINTEL STRAPS FOR MASONRY CONSTRUCTION MAY BE SUBSTITUTED W/ (1) USP MTW16 OR HC10 OR SIMPSON MTSM16 W/ (4) -1/4" X 2-1/4" TAPCONS TO BOND BEAM AND (7) 10d NAILS TO TRUSS FOR UPLIFTS LESS THAN 860 LBS (USE (2) MTSM16 FOR UPLIFTS LESS THAN 1720#). NO MORE THAN 10 STRAPS MAY BE SUBSTITUTED OR NO MORE THAN 3 IN A ROW. IF GIRGER TRUSS CONNECTIONS ARE MISSED CONTACT ENGINEER FOR SUBSTITUTION
- MISSED J-BOLTS FOR FRAMED EXTERIOR/ BEARING WALLS MAY BE SUBSTITUTED W/ 1/2" DIA. x 7" LONG WEDGE ANCHORS (REDHEADS).
- MISSED FOOTING DOWELS MAY BE SUBSTITUTED W/ A STRAIGHT #5 REBAR SET IN A 3/4" DIA. x 6" DEEP HOLE FILLED W/ UNITEX PROPOXY 300 OR SIMPSON SET OR ETF ADHESIVES.
- BLOCK WALL OVERHANGING SLAB CONDITION:  
UP TO -7/8" - NO REPAIR NECESSARY  
-7/8" TO 1-1/4" - ADD FILLED CELL (NO VERTICAL STEEL) MIDPOINT OF WALL BETWEEN EXISTING FILLED CELLS (WITH STEEL) IN AREAS AFFECTED  
1-1/4"+ - REQUIRE SPECIAL ENGINEERING LETTER
- PENETRATION OF PLUMBING PIPES/DRYER VENTS THRU PLATES OF A LOAD BEARING WALL MAY OCCUR PROVIDED DBL. STUDS ARE ADDED ON EITHER SIDE OF PENETRATION WITHIN 3" AND TRUSS/ FLOOR TRUSS IS NO CLOSER THAN 3" FROM PENETRATION. ADD (1) MTS12 @ TOP AND BOTTOM PLATE



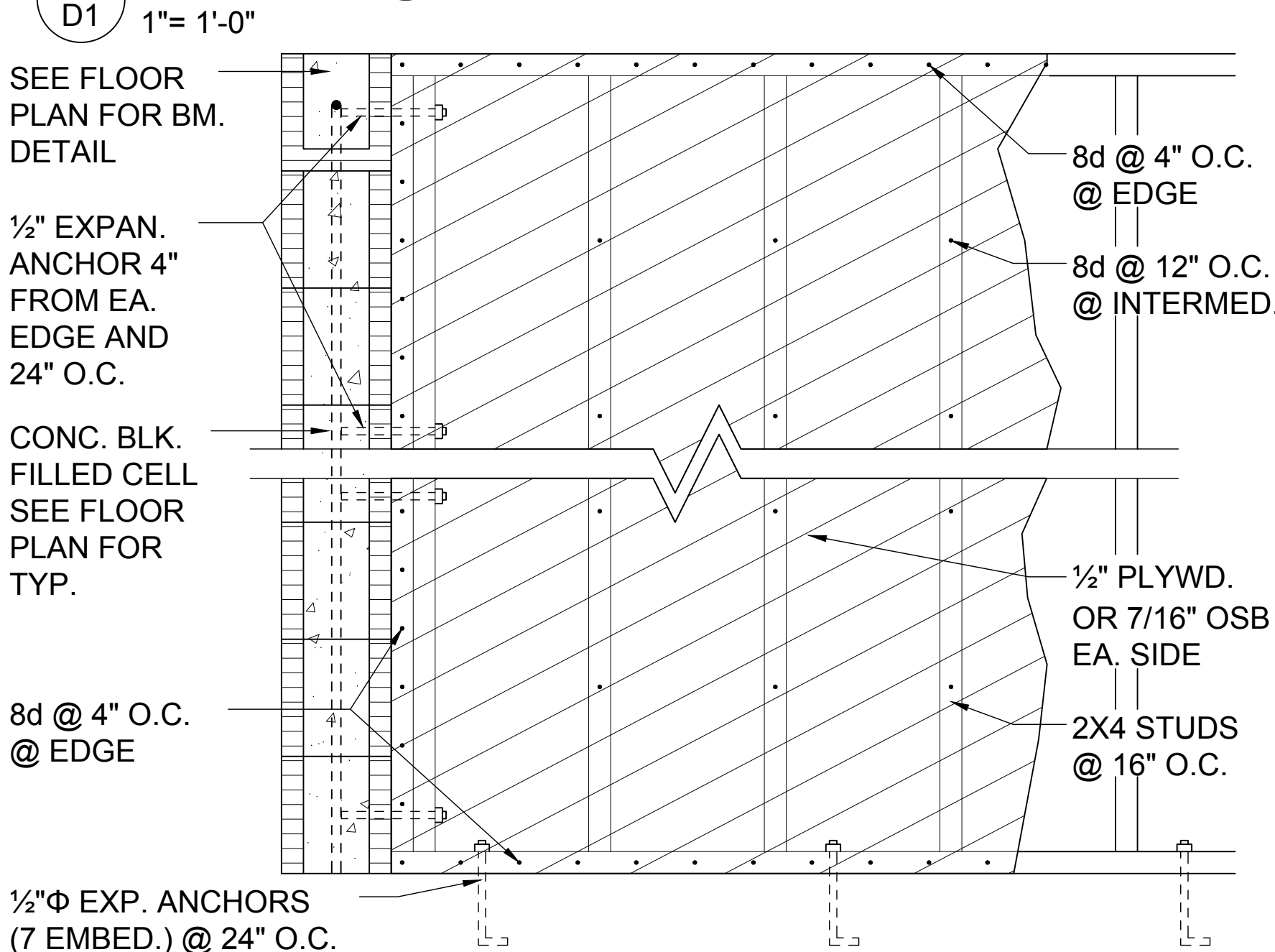
- DETAIL TO SATISFY 150 MPH WIND LOAD
- MASONRY FRAME SHALL BE MIN 8X16 ASTM C-9D
- GROUT FILLED CELL W/ 1/2" ASTM 2 #5 REBAR (GRADE 60) @ EA. SIDE OF GARAGE DOOR OPENING
- MAX. DISTANCE TO CORNER OF C.B.S. WALL REINF. 48"
- REINF. TO BE CONT. FROM FTG. TO TIE BEAM W/ ALL "ACI" DETAILS & DEVELOPMENT LENGTHS ADHERED TO
- GARAGE DOOR MANUF. TO PROVIDE ATTACHMENT TO "BUCK"

- THE GARAGE DOOR ASSEMBLY SHALL BE DESIGNED FOR POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF IN ACCORDANCE WITH SECTION R301 OF THE FLORIDA RESIDENTIAL CODE CERTIFICATION SHALL BE SUBMITTED FROM THE GARAGE DOOR MANUFACTURER TO THE BUILDING DEPARTMENT FOR THE FOLLOWING ITEMS:
  - THE DESIGN OF THE DOOR CAN WITHSTAND POSITIVE AND NEGATIVE WIND PRESSURES OF 25 PSF.
  - THE DESIGN OF THE DOOR COMPLIES WITH THE CRITERIA SPECIFIED IN SECTION R609 OF THE 2023 FLORIDA BUILDING CODE RESIDENTIAL, 8TH EDITION
  - DOOR SIZE, TYPE AND GLAZING
  - TRACK SIZE AND FASTENER DETAILS.
  - TRACK BRACKET QUANTITY, SPACING AND FASTENER DETAILS.
  - REINFORCING MEMBER QUANTITY, LOCATION, SIZE, TYPE AND FASTENER DETAILS. (IF REQUIRED)

## GARAGE BUCK DETAIL



## DETAIL @ CONN. TO REG. WALL

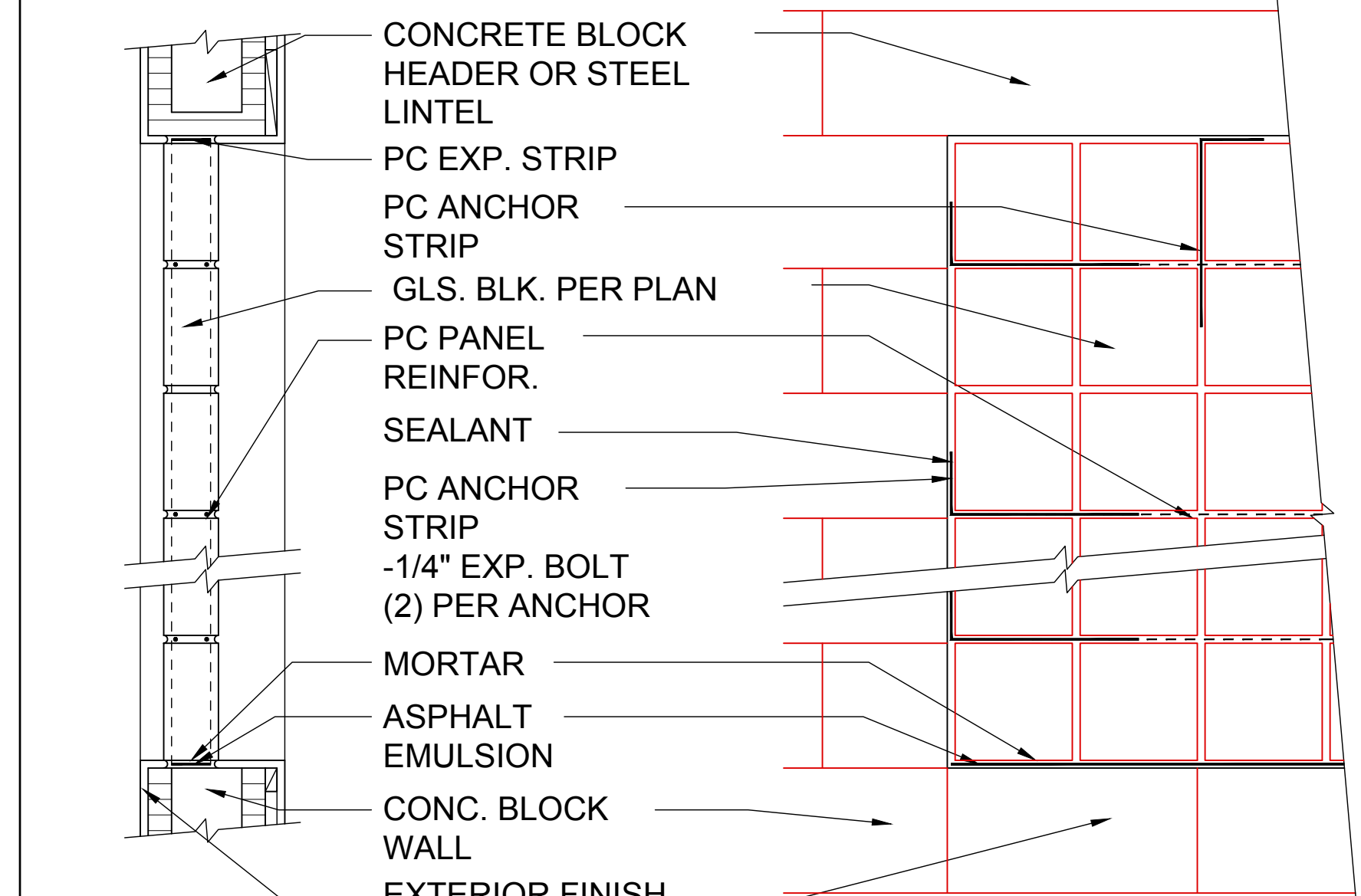
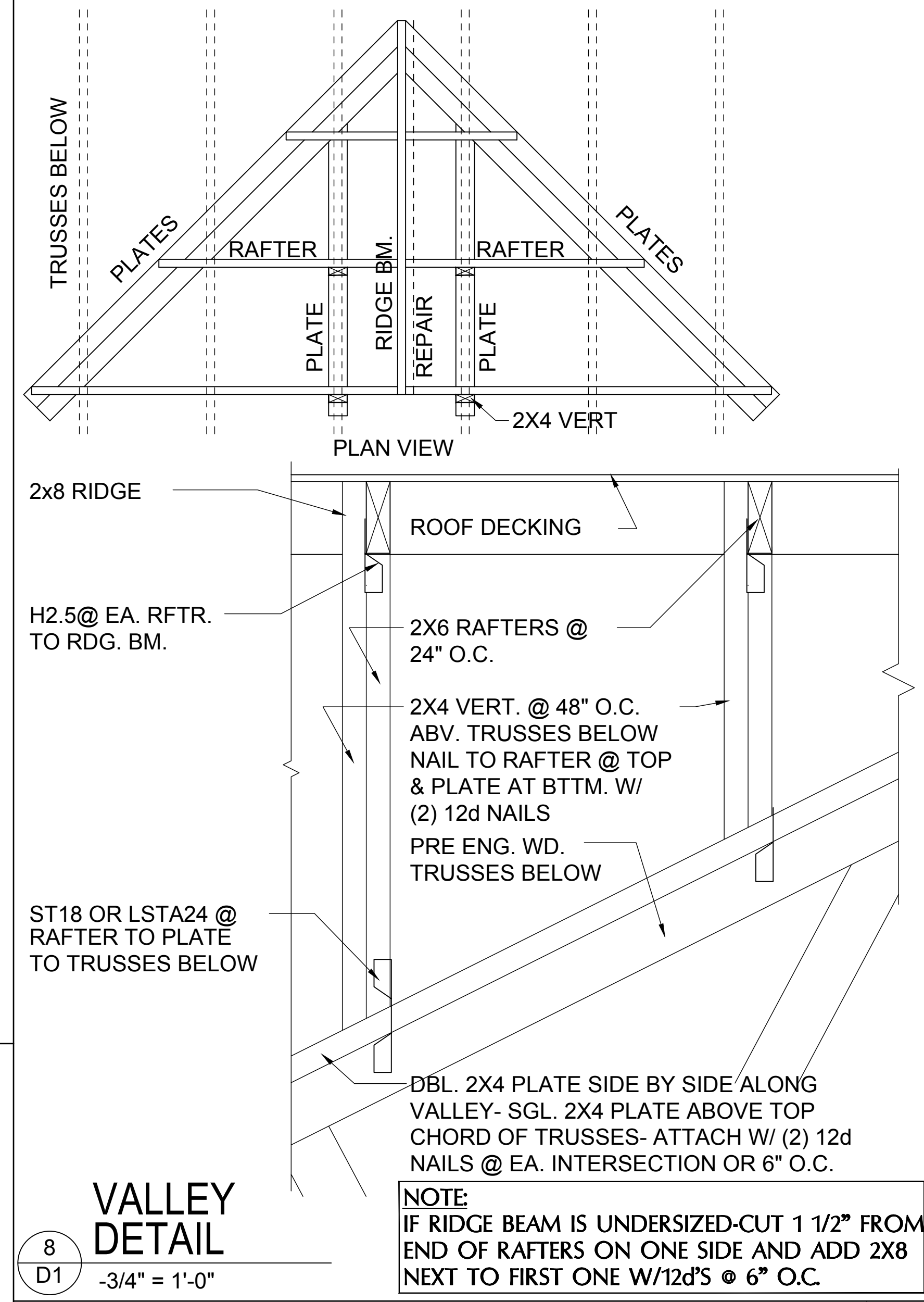


## SHEAR WALL DETAIL

USE ONLY WHEN NOTED AS SHEAR WALL ON PLANS

## MIN. WALL AND HEADER REQUIREMENTS

UNSUPPORTED WALL HEIGHT	STUD SPACING	MAXIMUM HEADER SPAN (ft.)					
		3'	6'	9'	12'	15'	18'
		NUMBER OF HEADER STUDS SUPPORTING END OF HEADER					
10' OR LESS		2	2	3	3	3	3
GREATER THAN 10'		2	2	3	4	5	5
		NUMBER OF FULL-LENGTH STUDS @ EACH END OF HEADER					
		1	1	2	2	2	2



## PANEL ANCHOR CONSTRUCTION

PC PANEL REINFORCING (TOP):  
USED IN PANELS OVER 25" S.F. IN AREA IS EMBEDDED HORIZONTALLY IN THE MORTAR JOINTS BETWEEN EVERY OTHER COURSE. PANEL REINFORCING IS FORMED OF TWO PARALLEL WIRES, EITHER 1-5/8" O.C. (FOR USE WITH "THINLINE" SERIES GLS. BLK.) OR 2" O.C. (FOR USE W/ "PREMIERE" SERIES GLS. BLK.), W/ BUTT WELDED CROSSWIRES AT REGULAR INTERVALS. 4" AND 10" LENGTHS AVAILABLE.

PC PANEL ANCHORS (MIDDLE):  
ARE USED TO TIE PITTSBURGH CORNING GLASS BLOCK PANELS INTO THE SURROUNDING FRAMEWORK WHEN CHANNELS ARE NOT USED. FORMED FROM 20 GAUGE PERFORATED- THEN GALVANIZED STEEL STRIPS, PANEL ANCHORS ARE AVAIL. IN 1-3/4" WIDTHS X 24" LENGTHS.

PC EXPANSION STRIPS (BOTTOM):  
MADE OF WHITE POLYETHYLENE, ARE INSERTED AT THE HEAD AND THE STRIPS REPLACE MORTAR AT THESE POINTS TO CUSHION THE GLASS BLOCK AND ALLOW THE PANEL TO EXPAND & CONTRACT FREELY. FOR METAL CHANNEL OR MASONRY CHASE CONSTRUCTION, PC EXPANSION STRIPS ARE AVAILABLE 3/8" THICK X 4" WIDE X 24" LONG. FOR PANEL ANCHOR CONSTRUCTION, STD. 4" WIDE STRIPS ARE EASILY CUT TO 3" WIDTH, FOR 3-7/8" "PREMIERE" SERIES BLK., AND TO 2-1/4" WIDTH, FOR 3-1/8" "THINLINE" SERIES BLOCK.

## GLASS BLOCK DETAIL



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**AI**  
**BD**

**GOBA**  
GLASS BLOCK ANCHORS

**5-Unit: (Paradiso TH)**  
Models: Nambus, Latitude  
Building Pad #XX  
Lot# XX-XX, Subdivision  
Street Address  
City, State, Zip Code

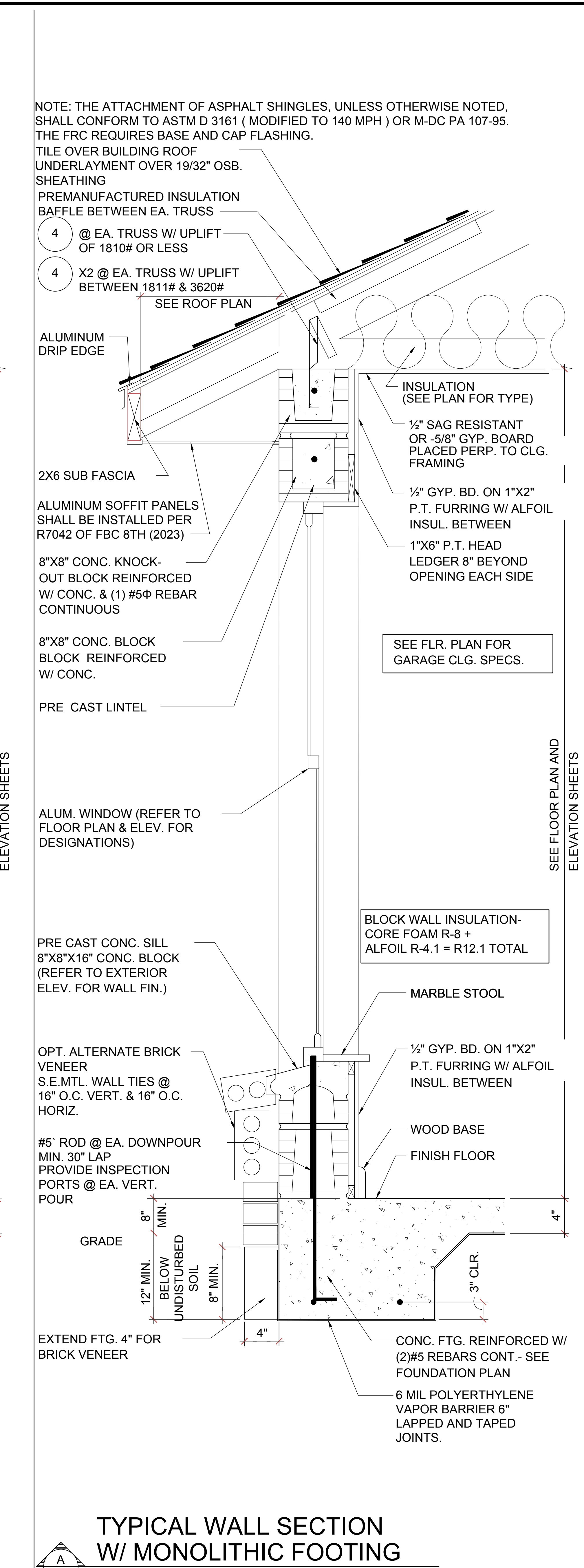
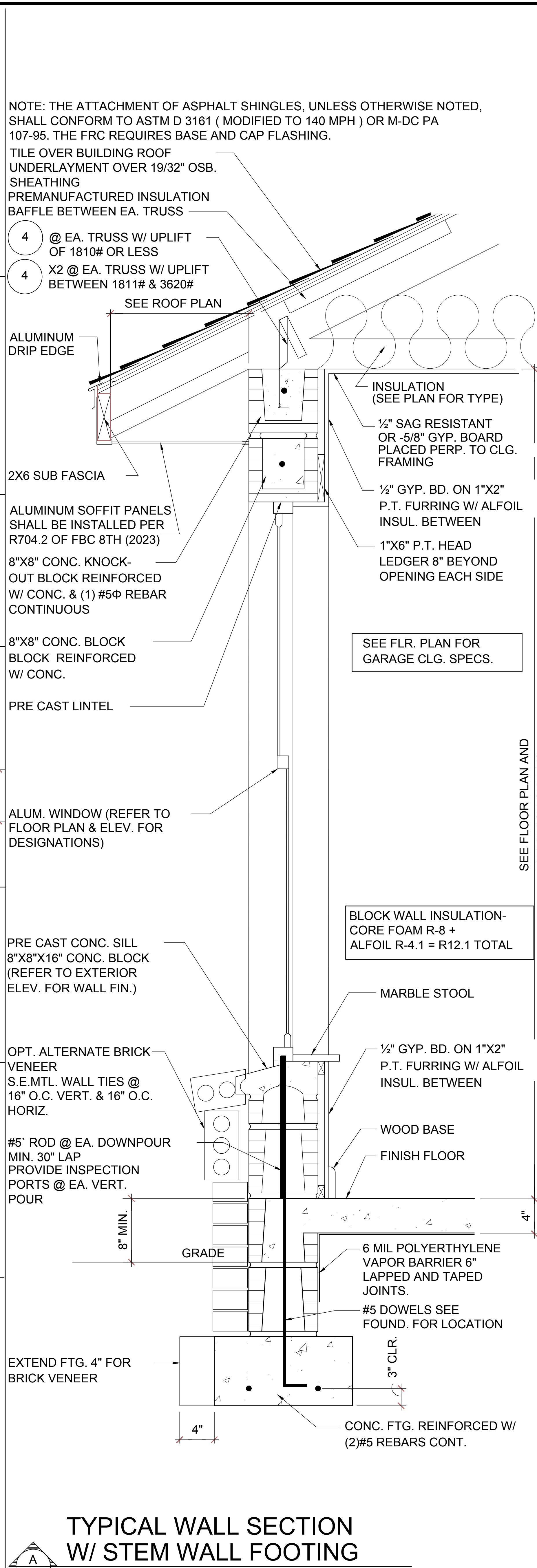
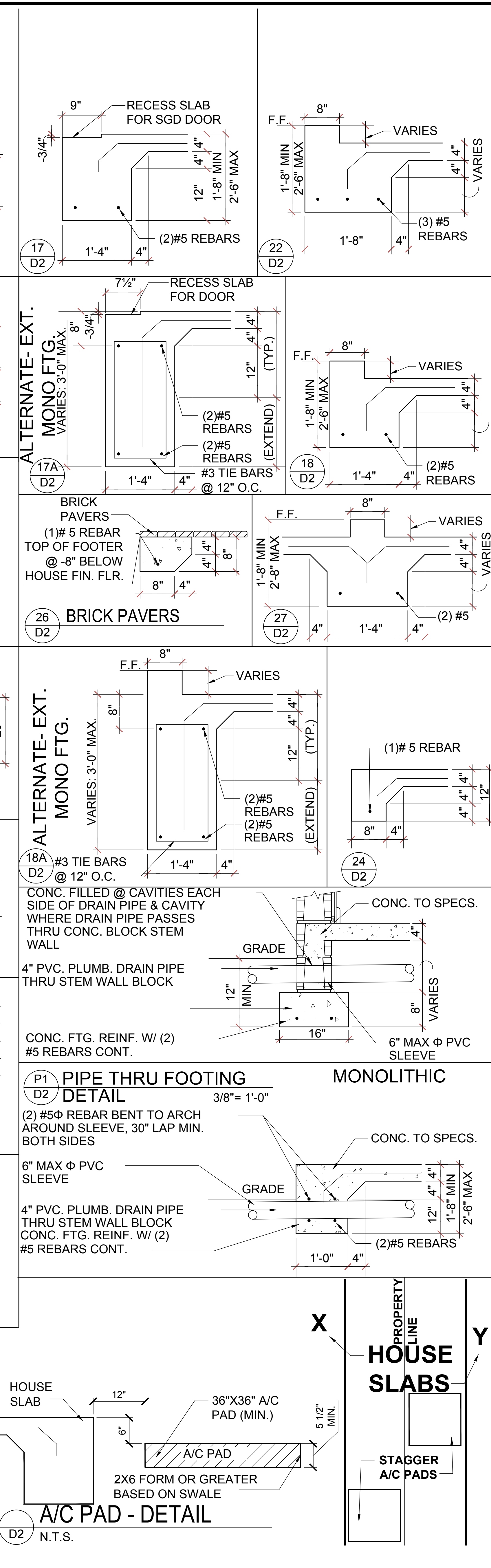
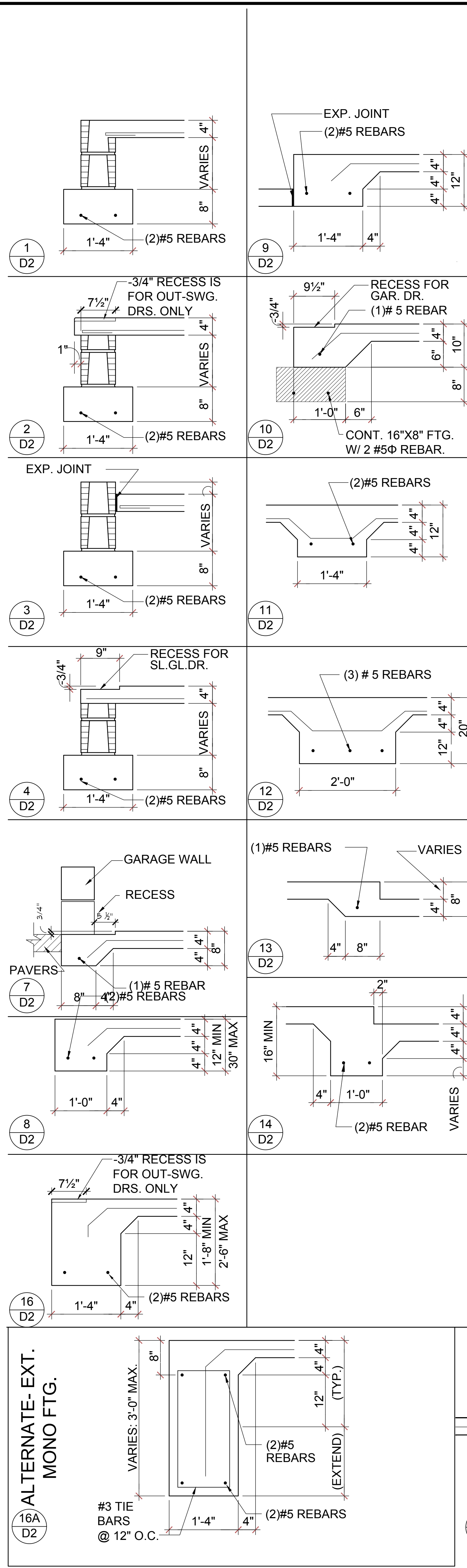
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SCALE: AS NOTED  
DRAWN BY: M.C.  
DESIGNED BY: MJS

STRUCTURAL NOTES & DETAILS  
D1

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**TYPICAL WALL SECTION W/ STEM WALL FOOTING**  
 SCALE: 3/4" = 1'-0"

**TYPICAL WALL SECTION W/ MONOLITHIC FOOTING**  
 SCALE: 3/4" = 1'-0"

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**5-Unit: (Paradiso TH)**  
 Models: Nautilus, Latitude  
 Building Pad #XX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

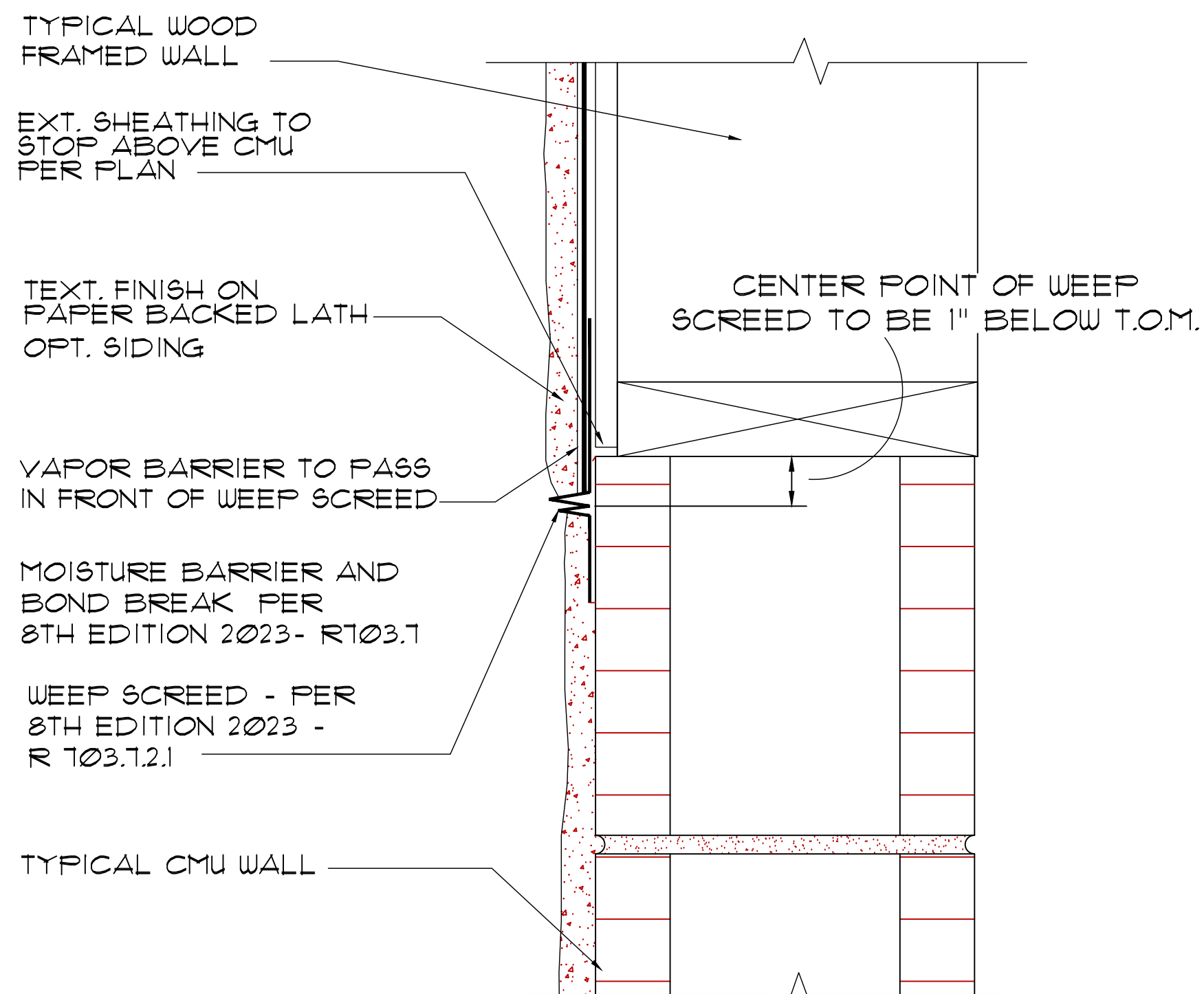
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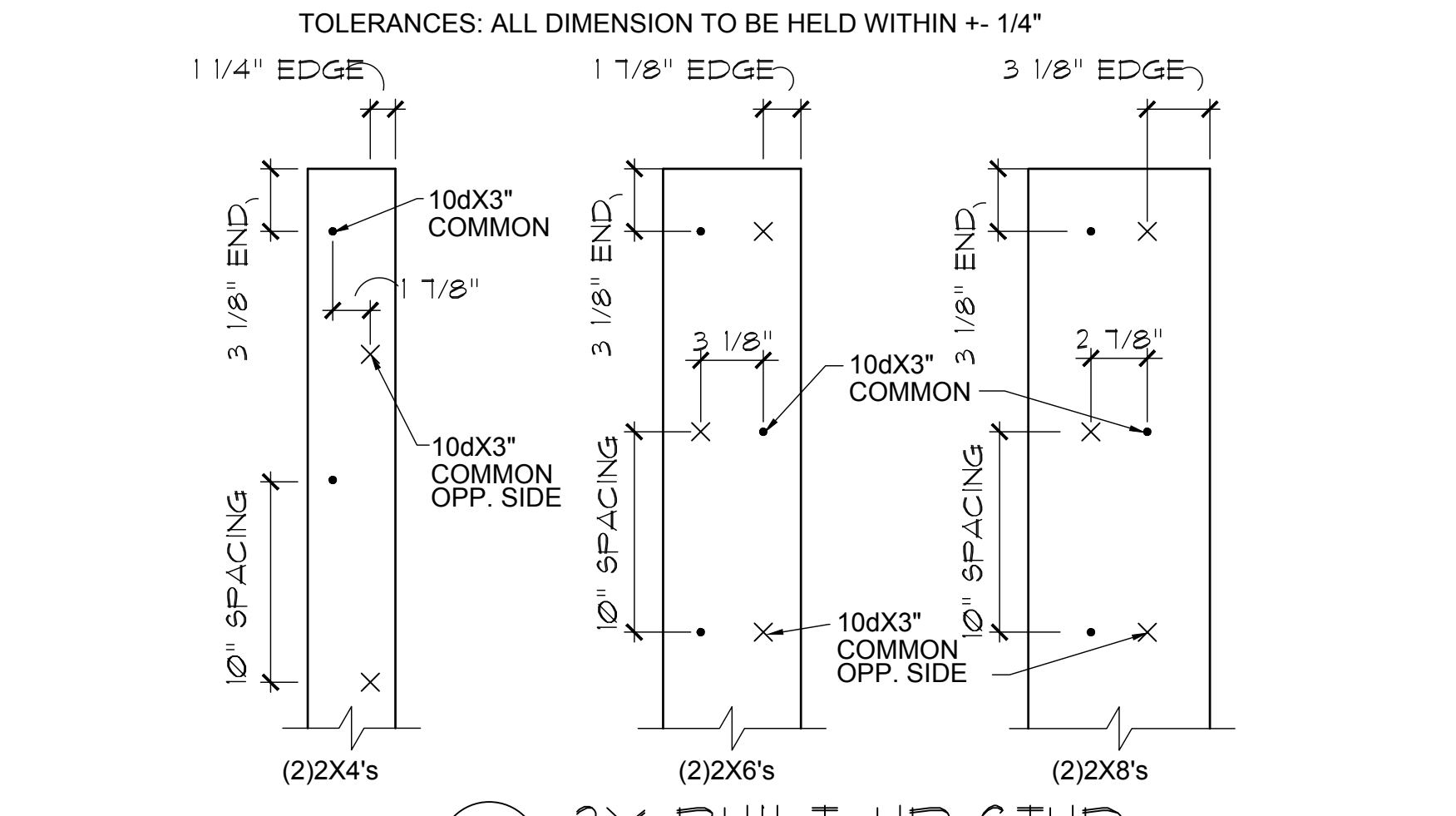
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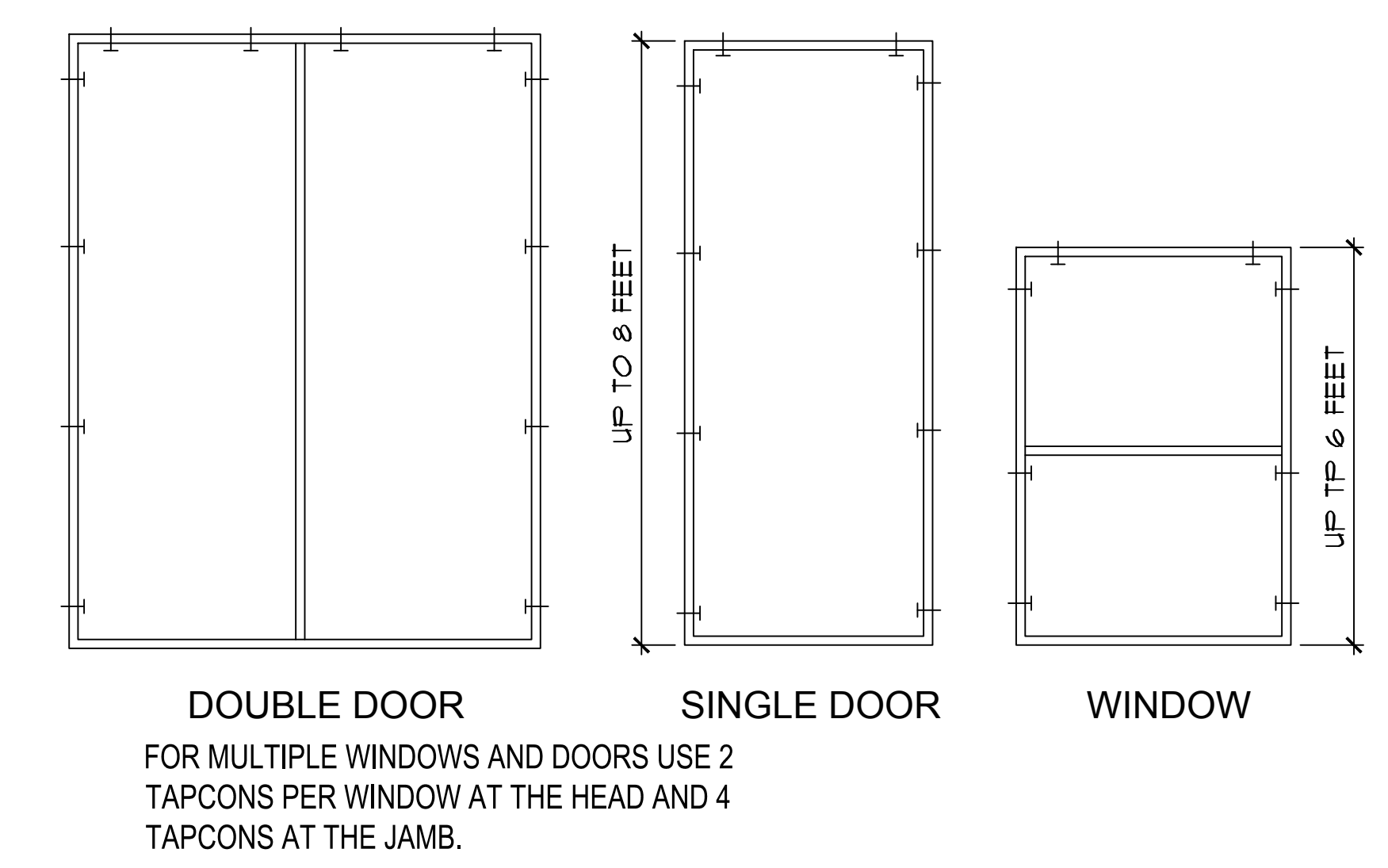
**FLASHING DETAIL**

A  
D3



**2X BUILT-UP STUD COLUMN DETAILS**

17" = 1" - 0"



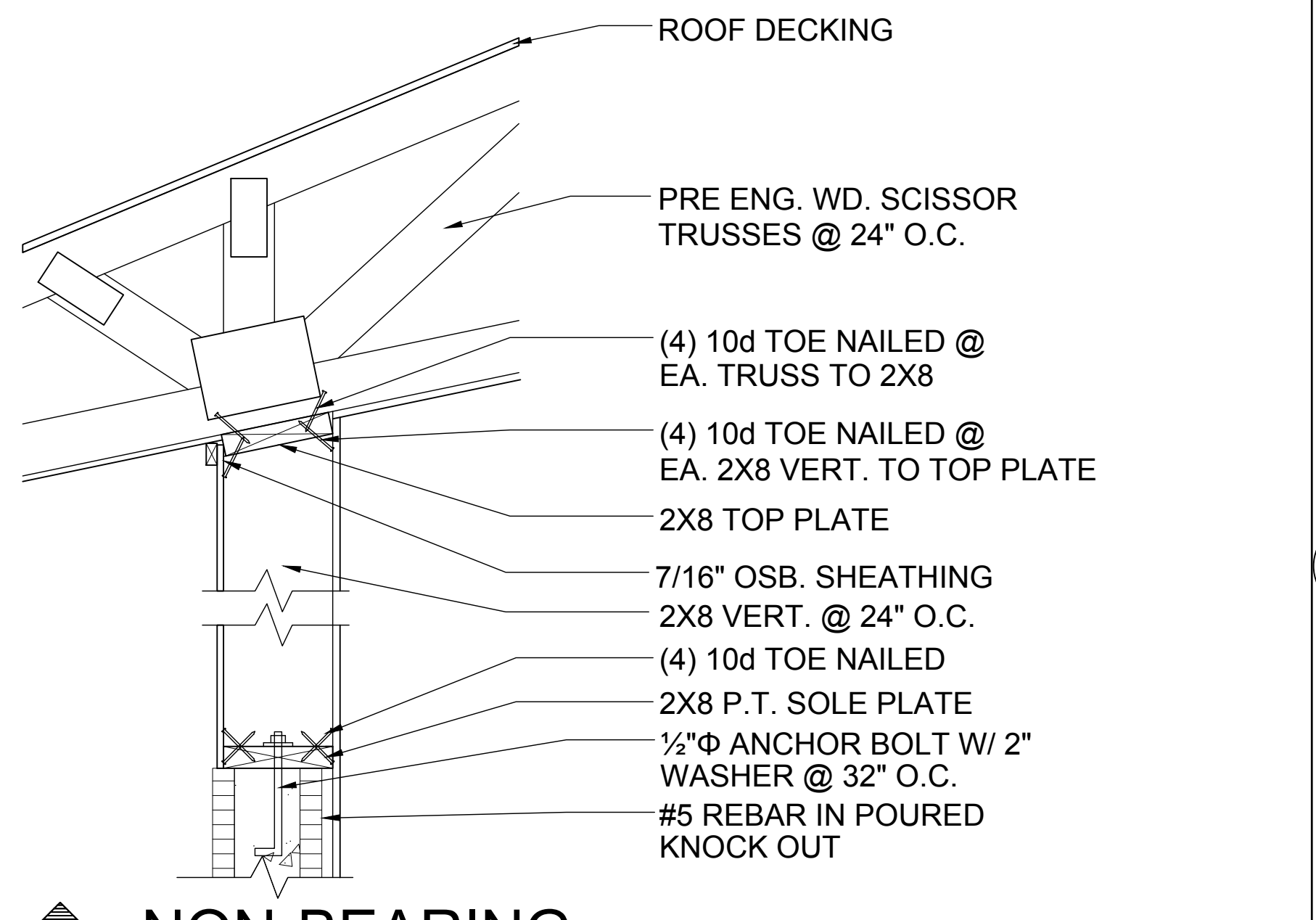
**BUCK ATTACHMENT DATA**

BUCKS SHALL BE 1x4 OR 2x8 PT AT WINDOWS OR 2x8 PT AT DOORS IN PINE OR SPRUCE. AT WINDOWS ATTACH BUCKS TO BLOCK WITH COMMON T-NAILS AND PLACEMENT SIMILAR TO TAPCONS SHOWN. AT DOORS OR FIN WINDOWS IN BLOCK, ATTACH BUCKS W/ 2 T-NAILS TOP AND BOTTOM AND 8" O.C. STAGGERED IN THE FIELD.

USE MIN. 2-1/4" T-NAILS W/ 1x BUCK. USE MIN. -1/4" x 3" TAPCONS W/ 2x BUCK. START ALL END TAPCONS WITHIN 6" OF CORNERS AND 30" ON CENTER MAXIMUM.

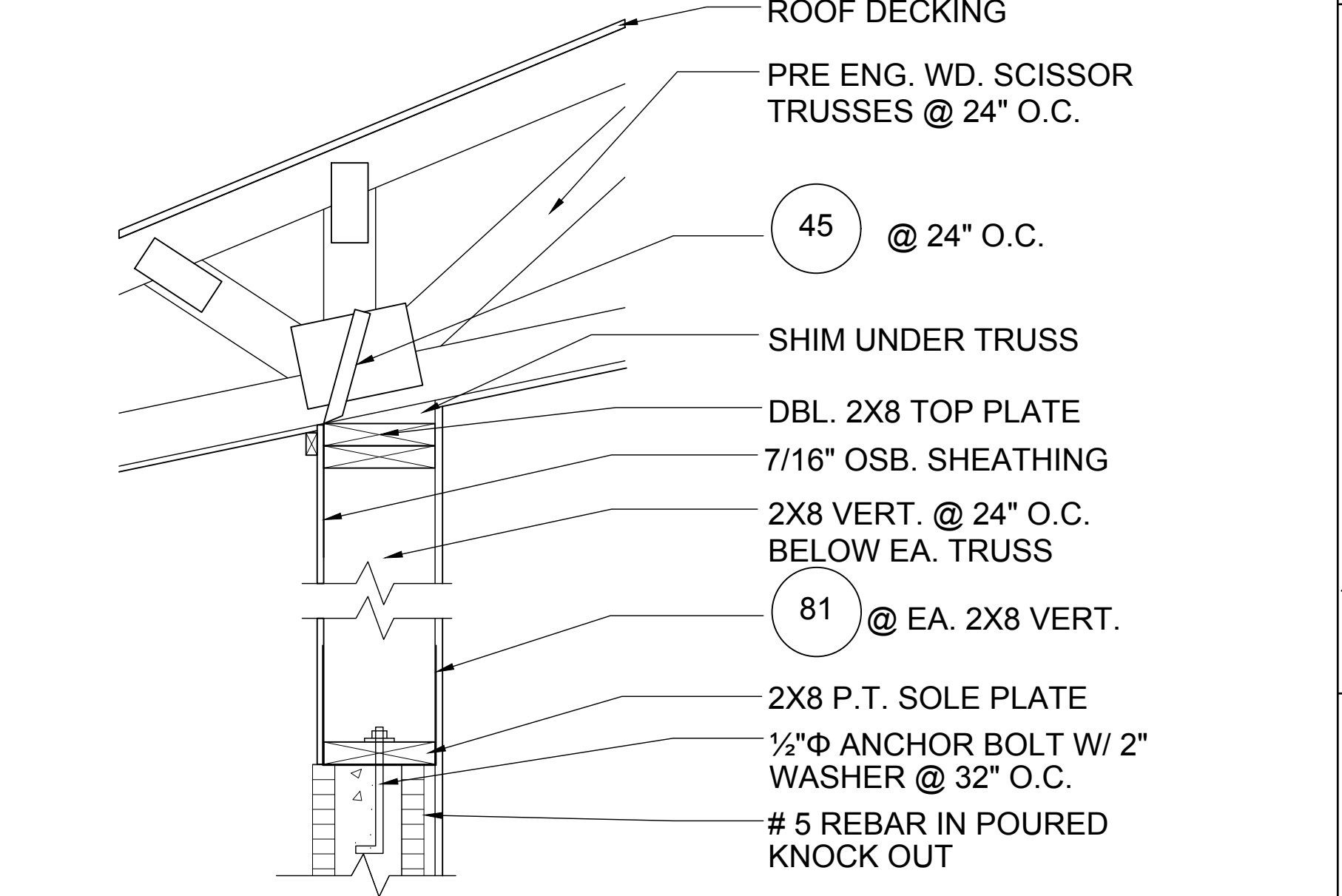
**NOTE**

IN CASE OF BLOCK OPENINGS LARGER THAN DOOR FRAMING: ATTACH ADDITIONAL 2X FRAMING TO THE BLOCK WALL USING 1/4" x 4" TAPCONS AT 3" FROM END AND 12" O.C. IN THE CENTER. ATTACH TOP FRAMING TO HEADER USING 1/4"x1-3/4" TAPCONS W/ (1) 6" FROM END TO END AND 12" O.C. IN THE CENTER.



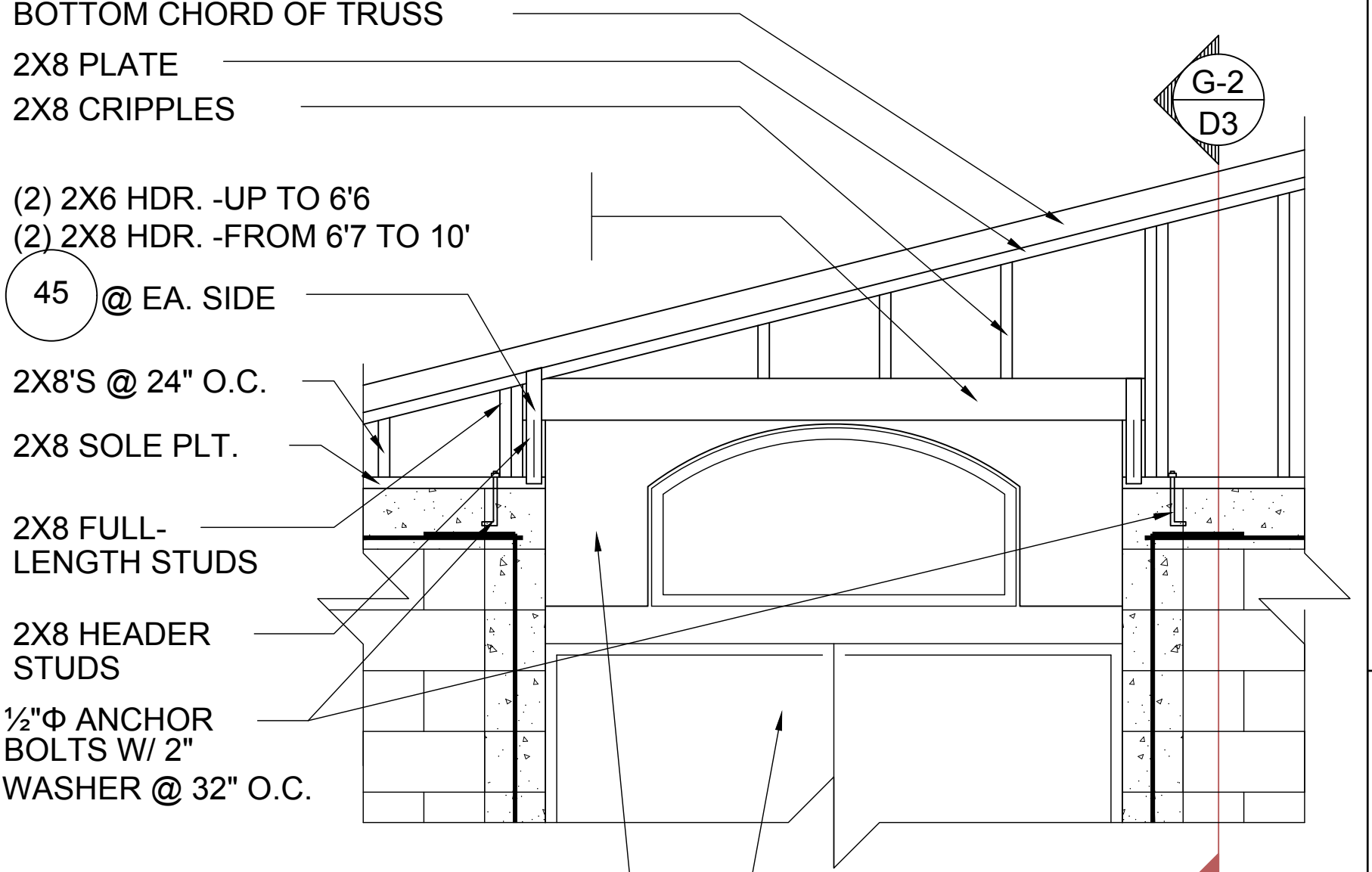
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D3



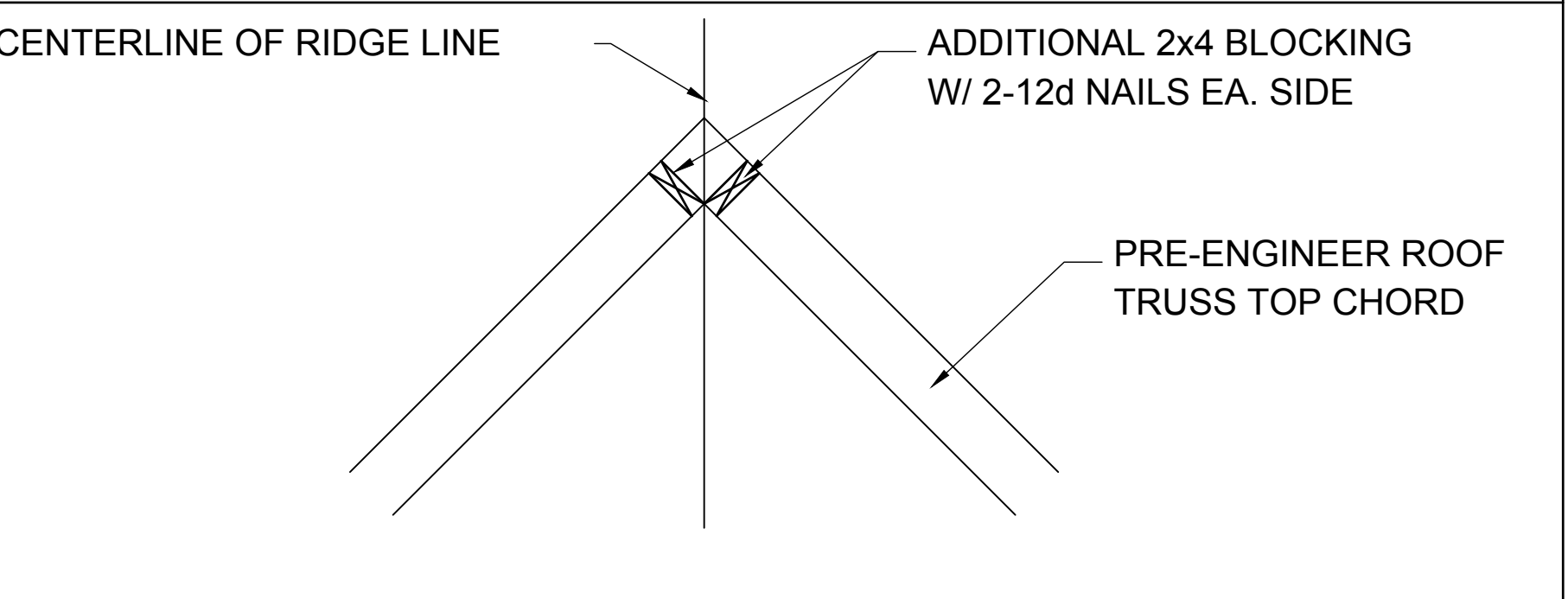
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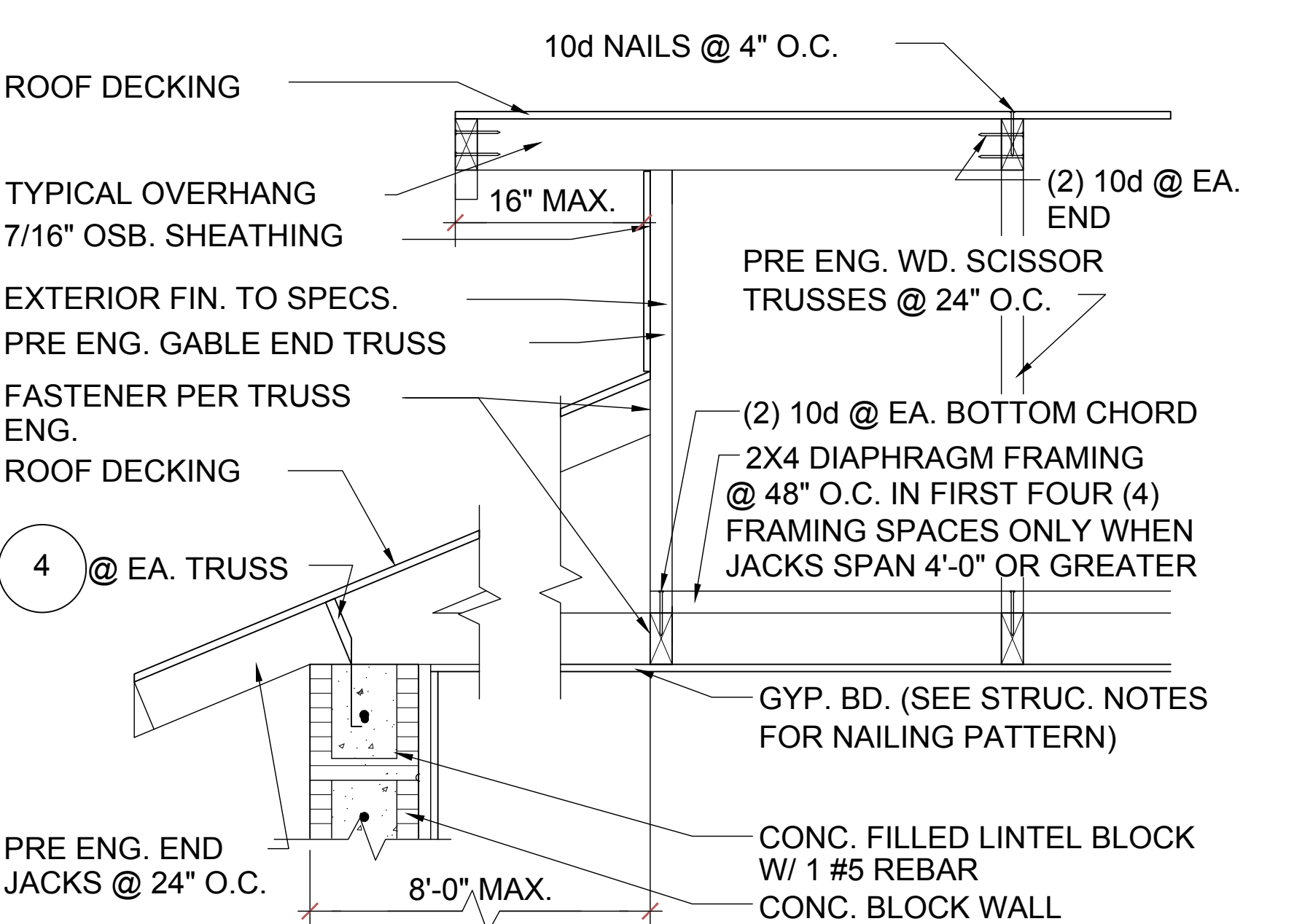
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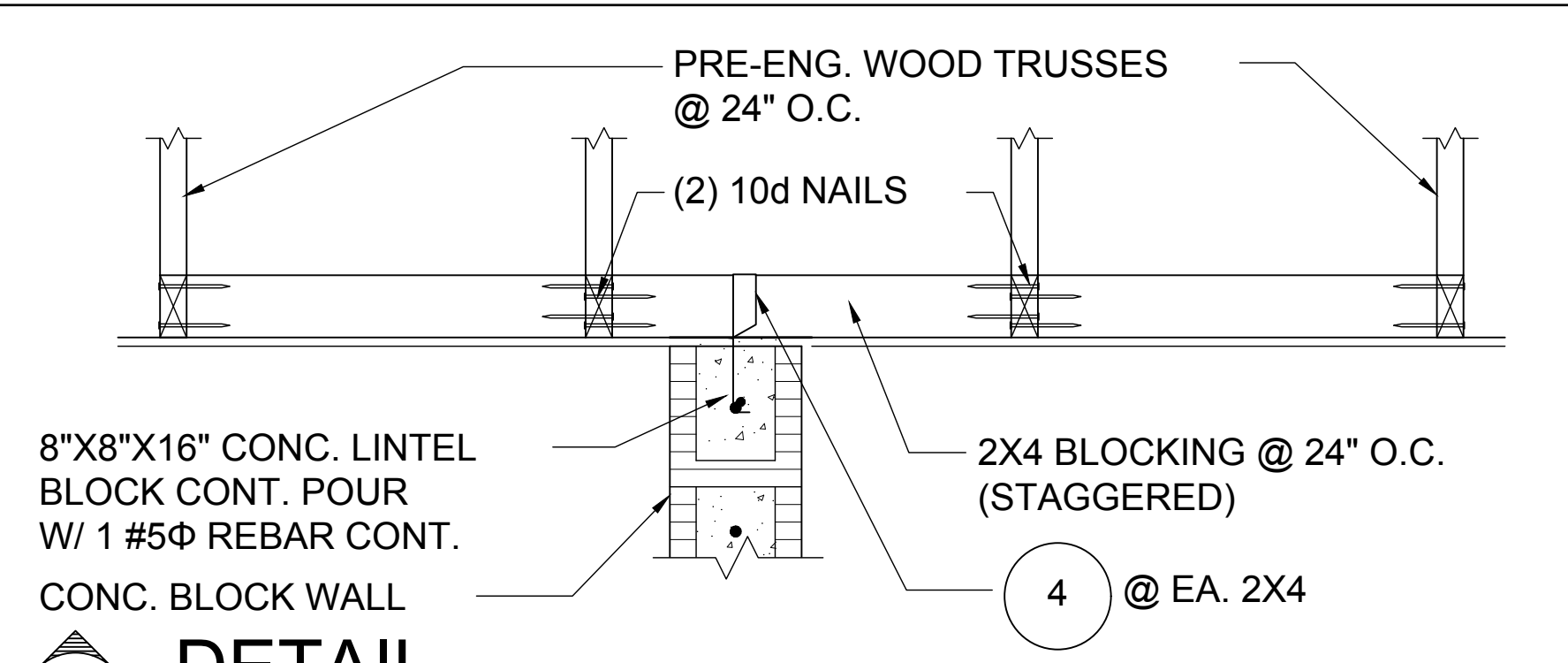
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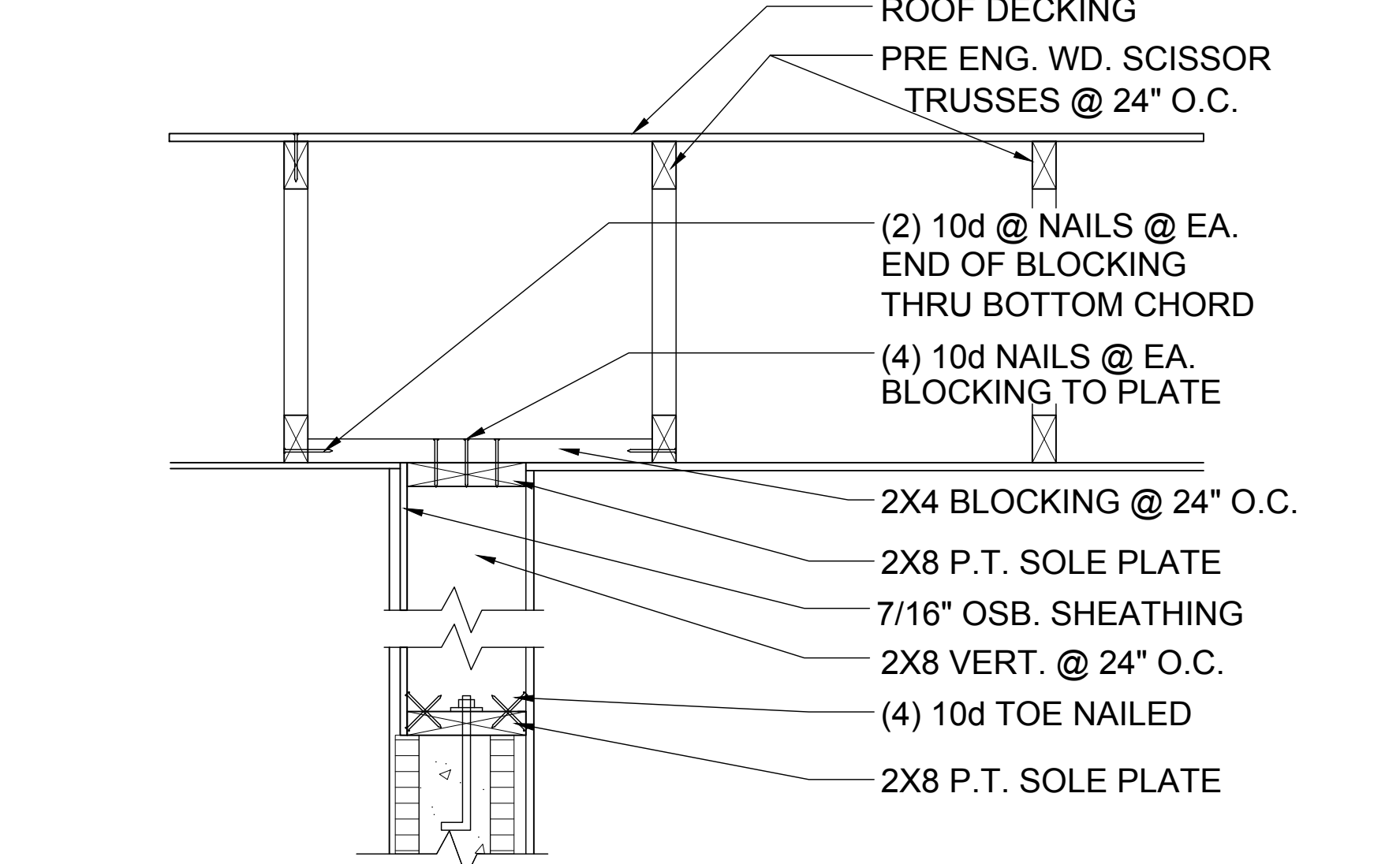
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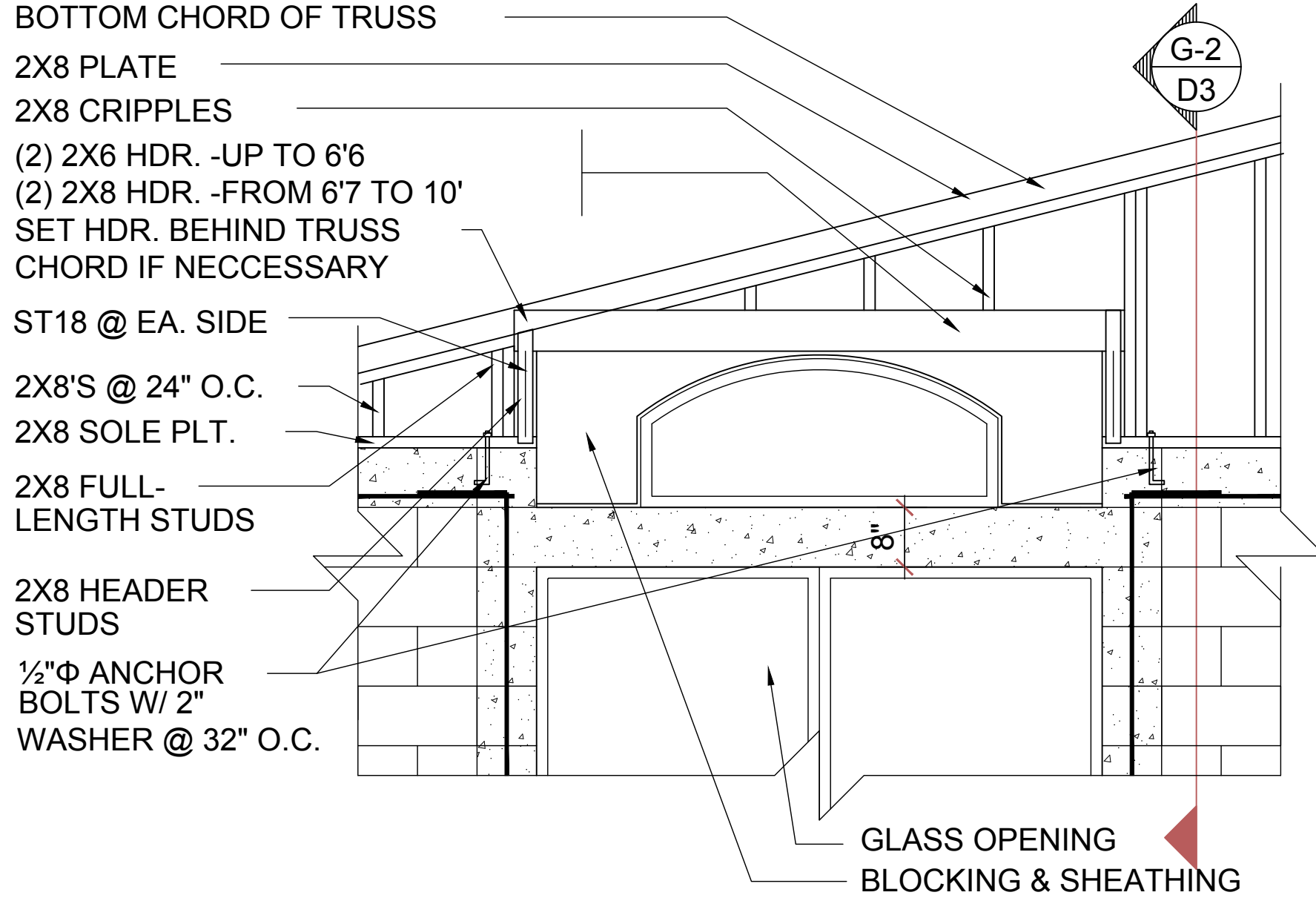
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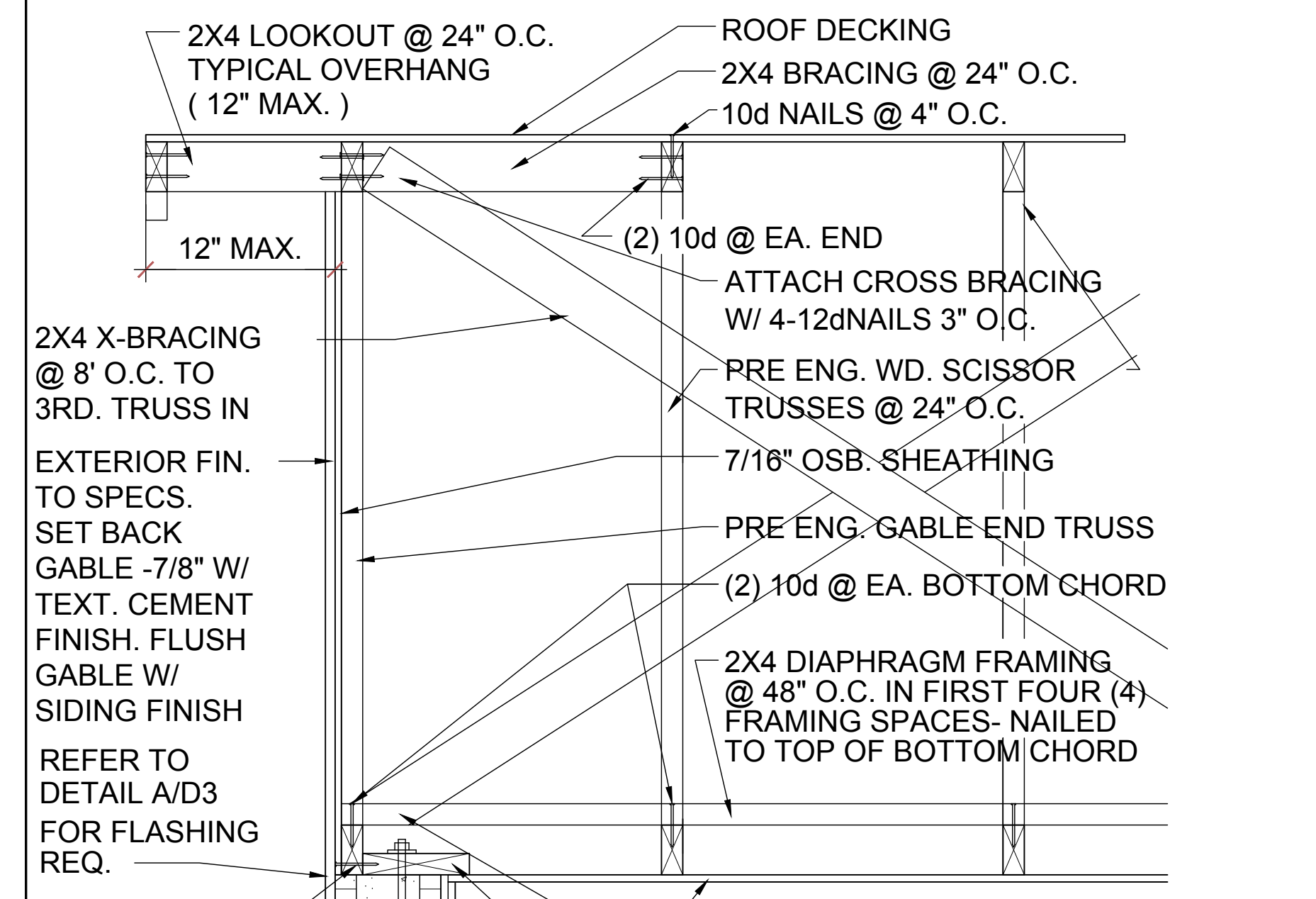
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**DETAIL**

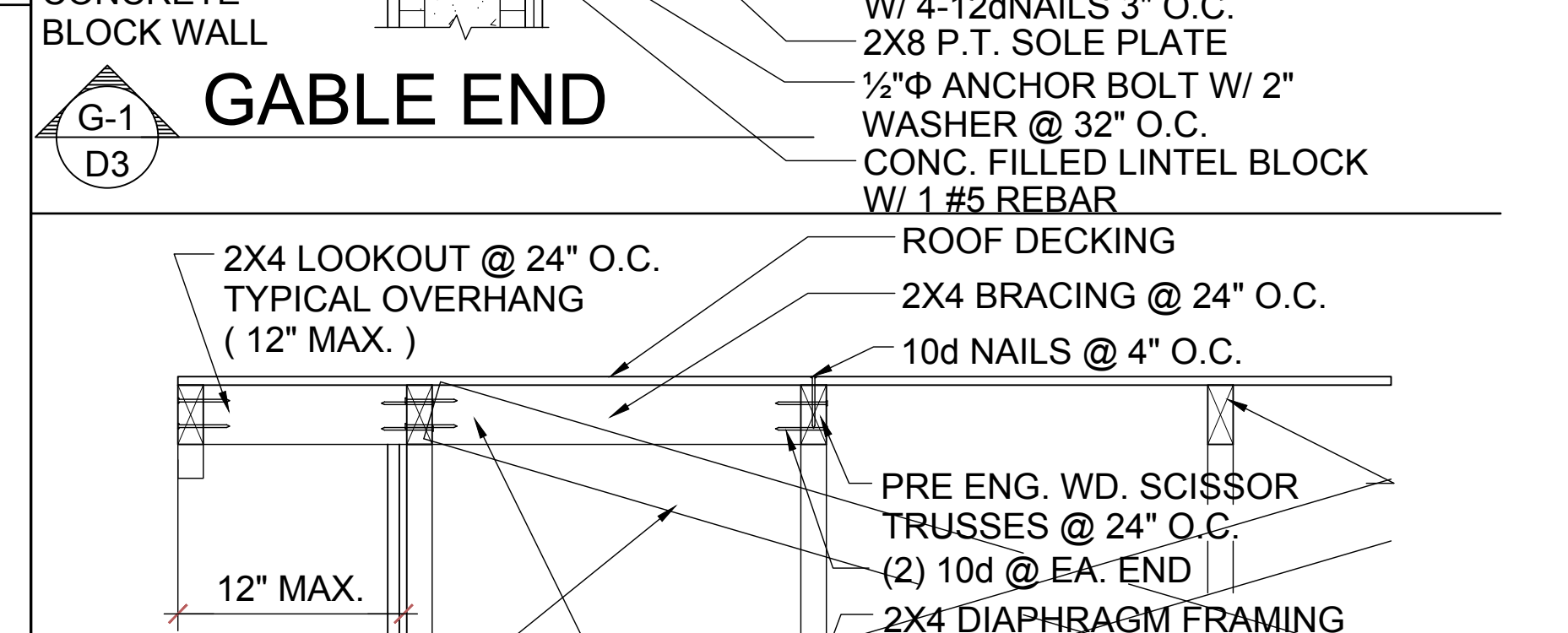
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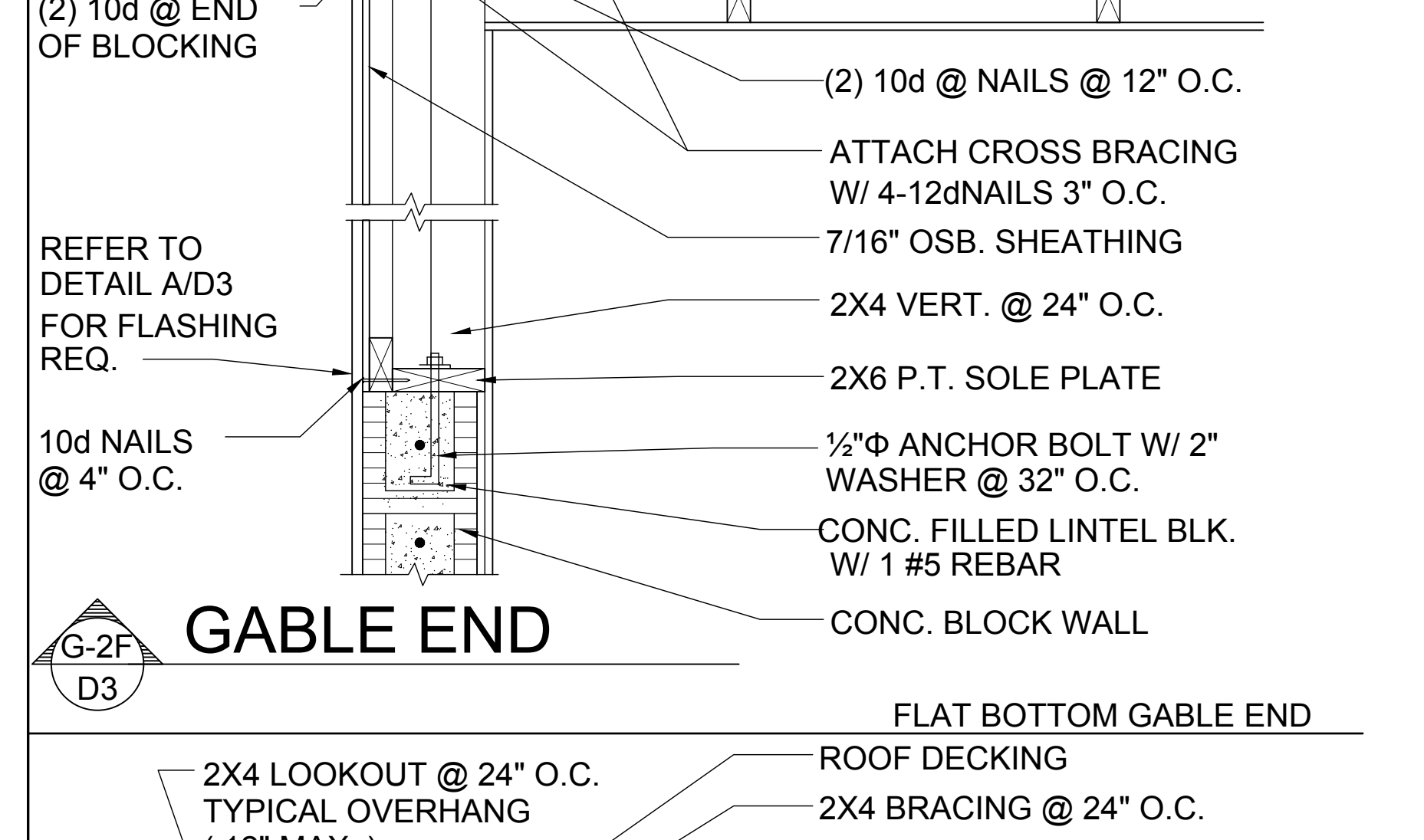
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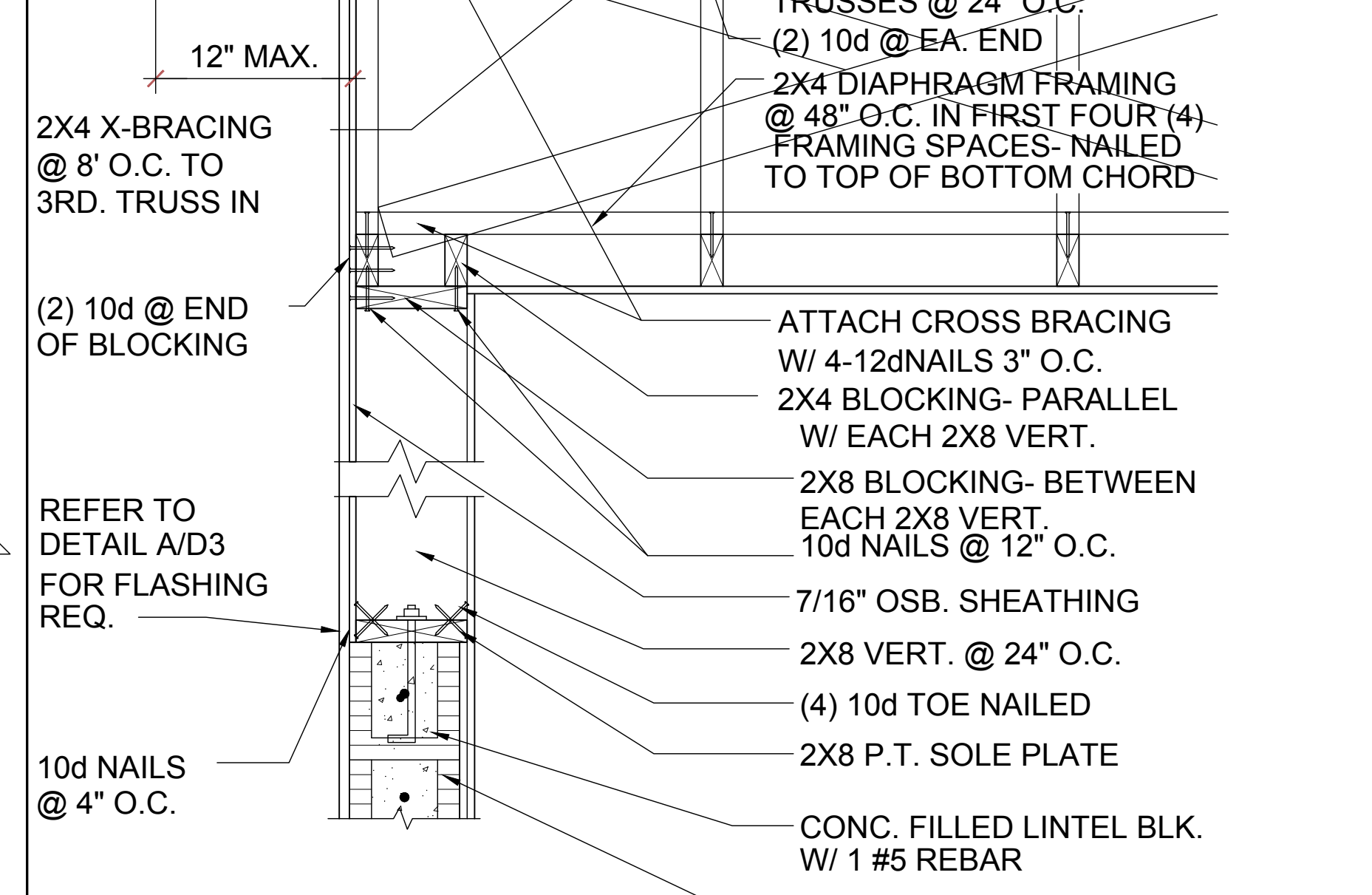
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**GABLE END**

G-2  
D3



**GABLE END**

G-2  
D3

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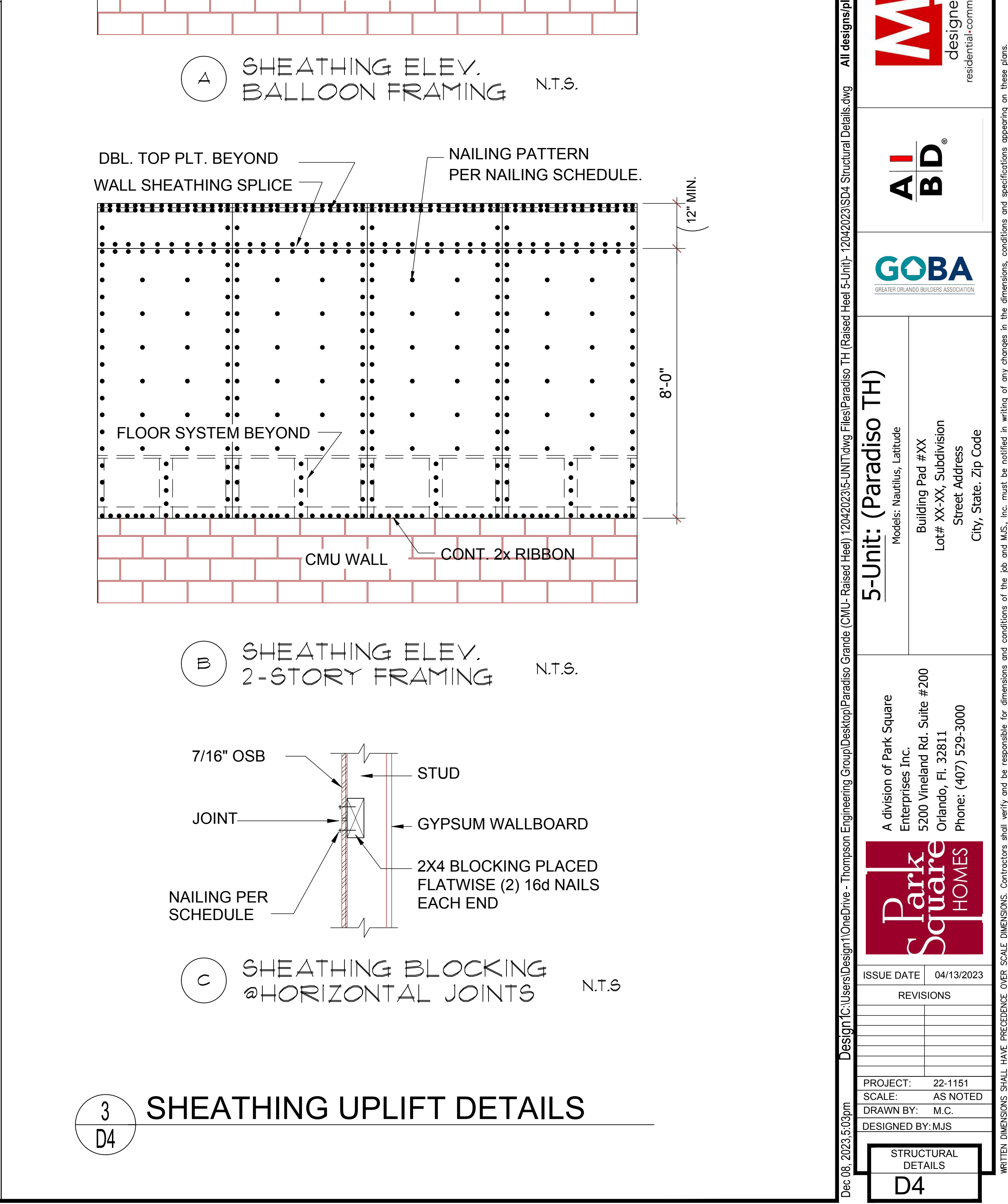
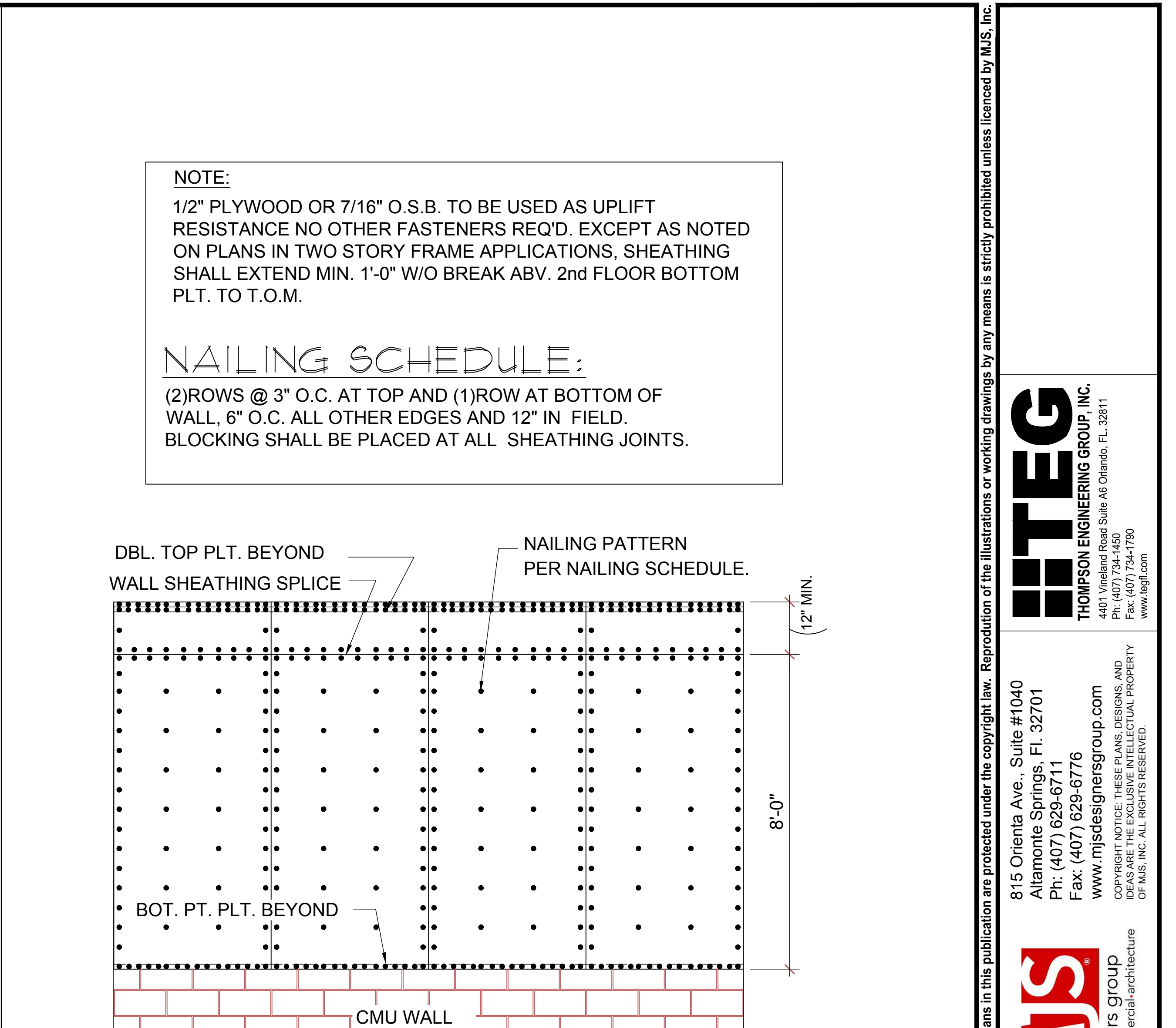
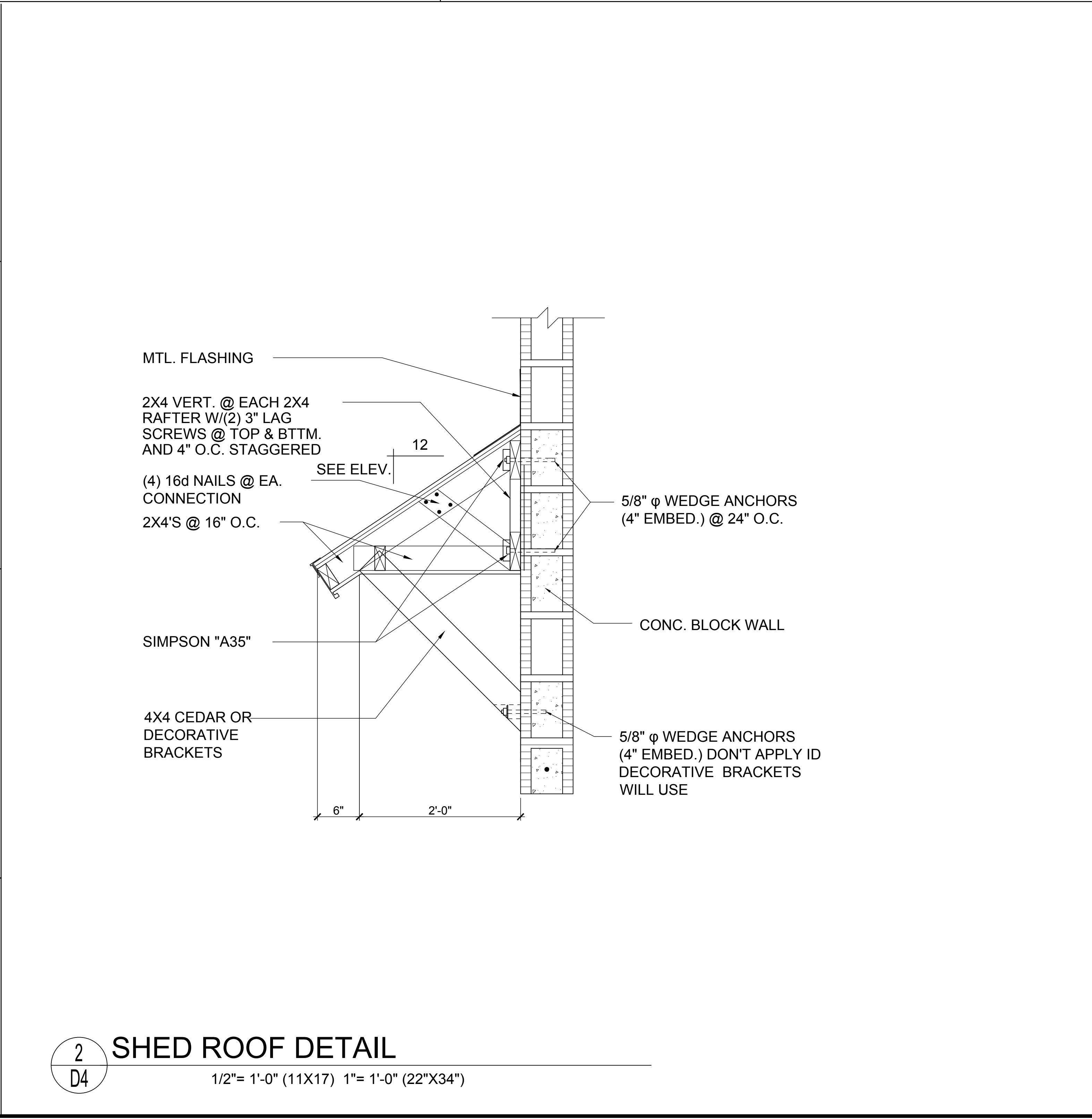
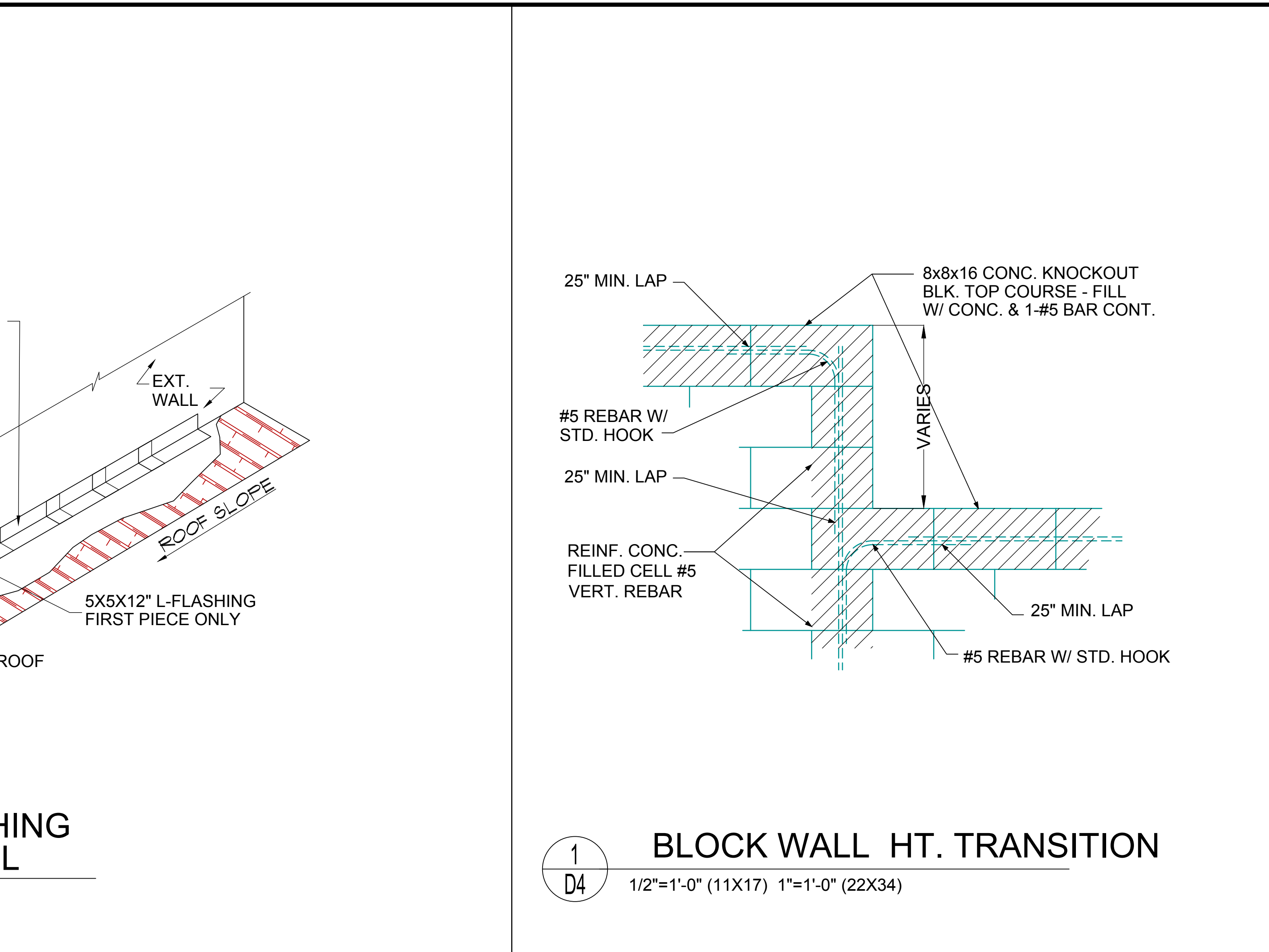
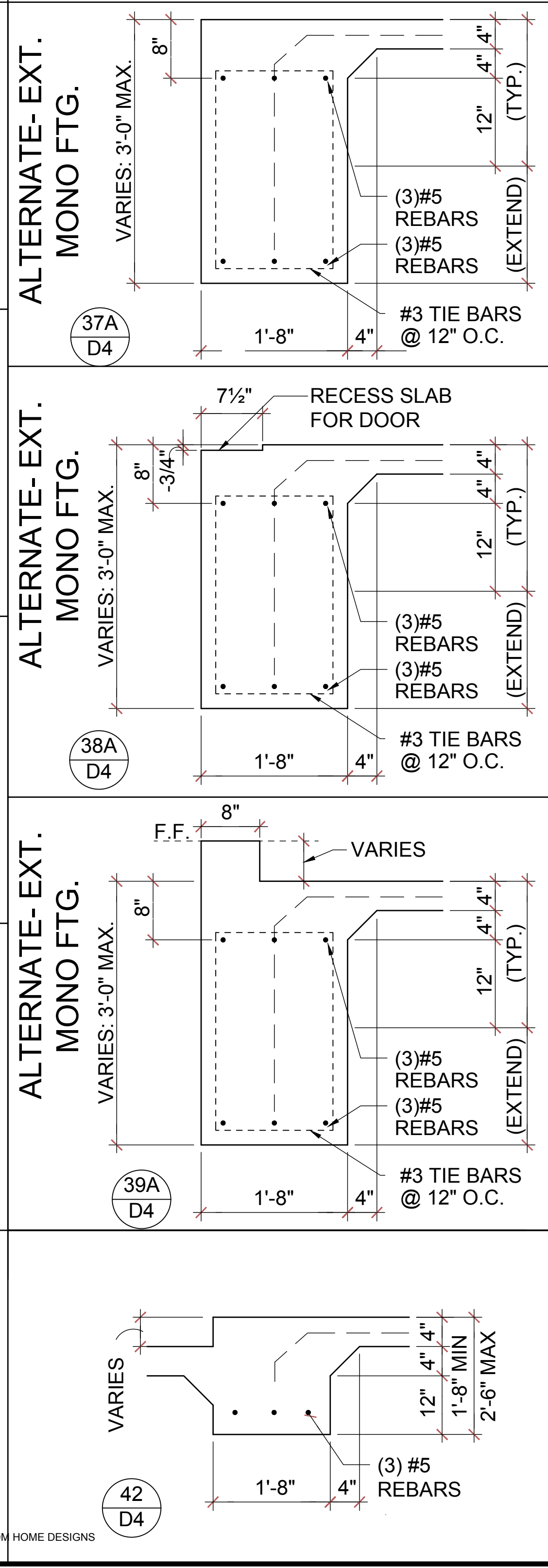
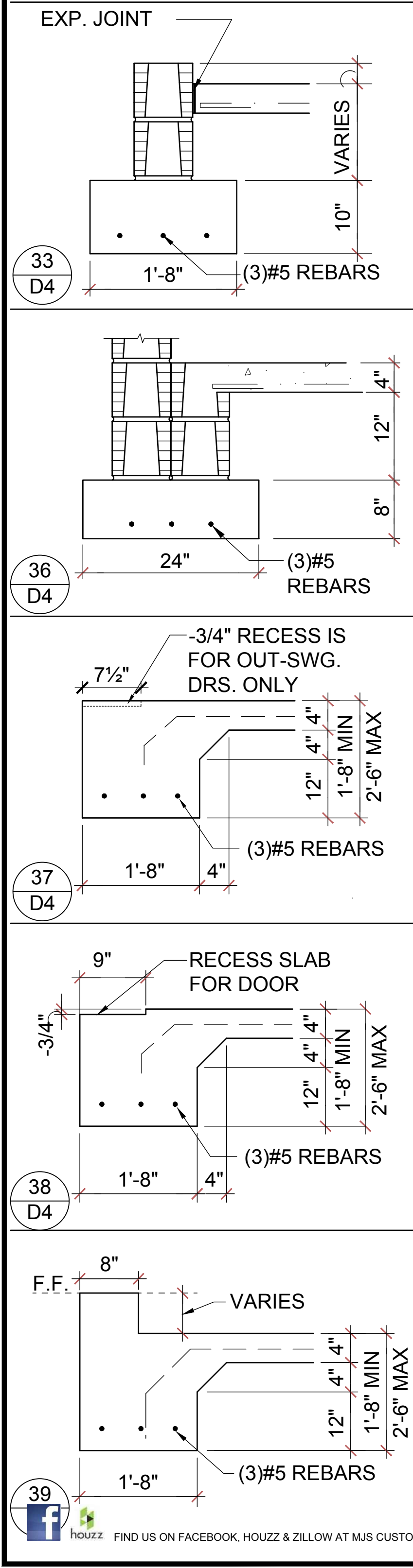
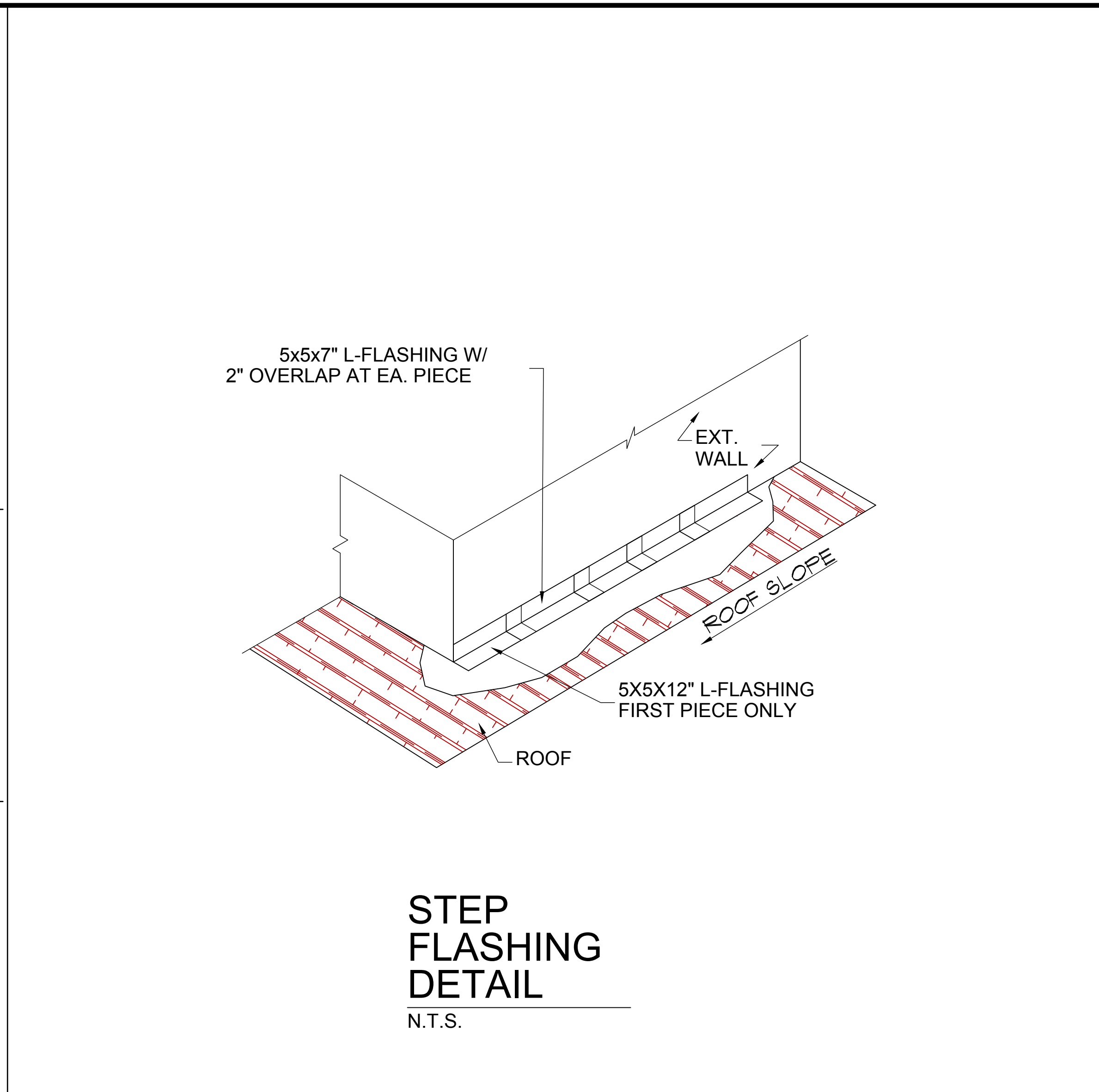
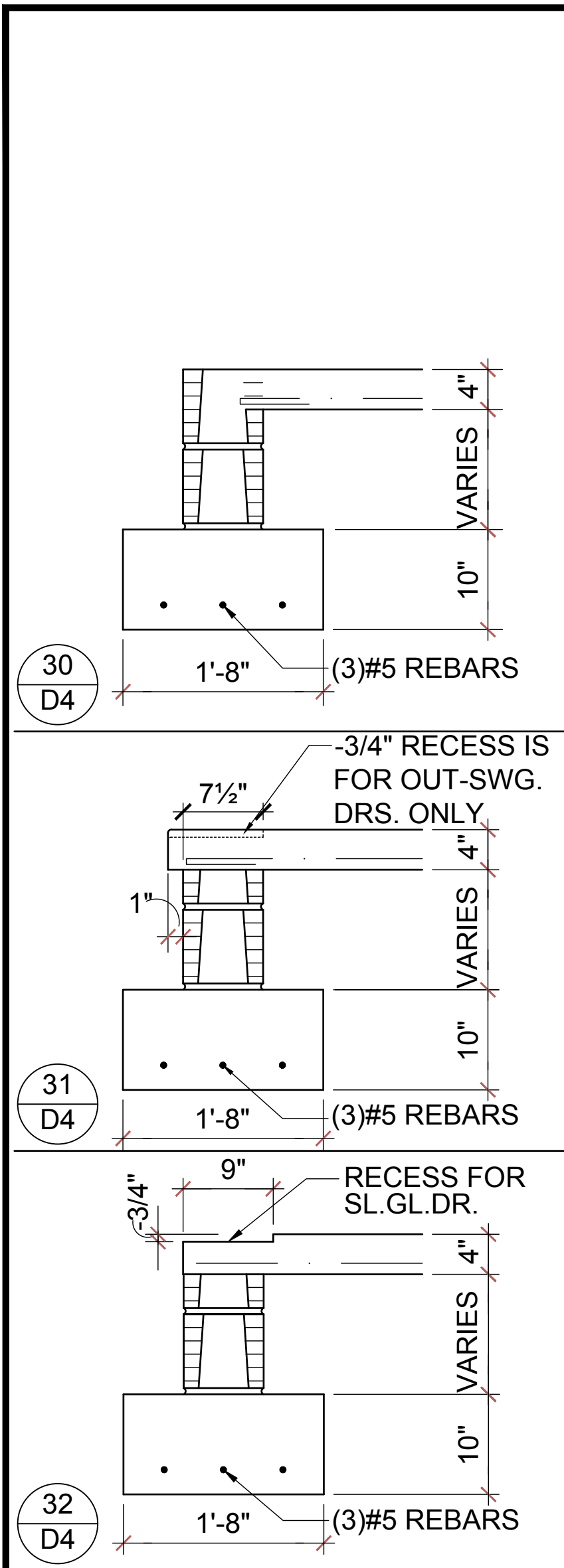
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STRUCTURAL DETAILS  
D3

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**NOTE:**  
 1/2" PLYWOOD OR 7/16" O.S.B. TO BE USED AS UPLIFT RESISTANCE NO OTHER FASTENERS REQ'D. EXCEPT AS NOTED ON PLANS IN TWO STORY FRAME APPLICATIONS, SHEATHING SHALL EXTEND MIN. 1'-0" W/O BREAK ABV. 2nd FLOOR BOTTOM P.L.T. TO T.O.M.

**NAILING SCHEDULE:**  
 (2) ROWS @ 3" O.C. AT TOP AND (1) ROW AT BOTTOM OF WALL, 6" O.C. ALL OTHER EDGES AND 12" IN FIELD. BLOCKING SHALL BE PLACED AT ALL SHEATHING JOINTS.

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 Orlando, FL 32811  
 Phone: (407) 529-3000

**Park Square HOMES**

ISSUE DATE: 04/13/2023  
 REVISIONS:  
 PROJECT: 22-1151  
 SCALE: AS NOTED  
 DRAWN BY: M.C.  
 DESIGNED BY: MJS

STRUCTURAL DETAILS  
**D4**

WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR DIMENSIONS AND CONDITIONS OF THE JOB AND MJS, INC. SHALL BE NOTIFIED IN WRITING OF ANY CHANGES TO THE DIMENSIONS, CONDITIONS AND SPECIFICATIONS APPEARING ON THESE PLANS.

**STRUCTURAL ALUMINUM:**

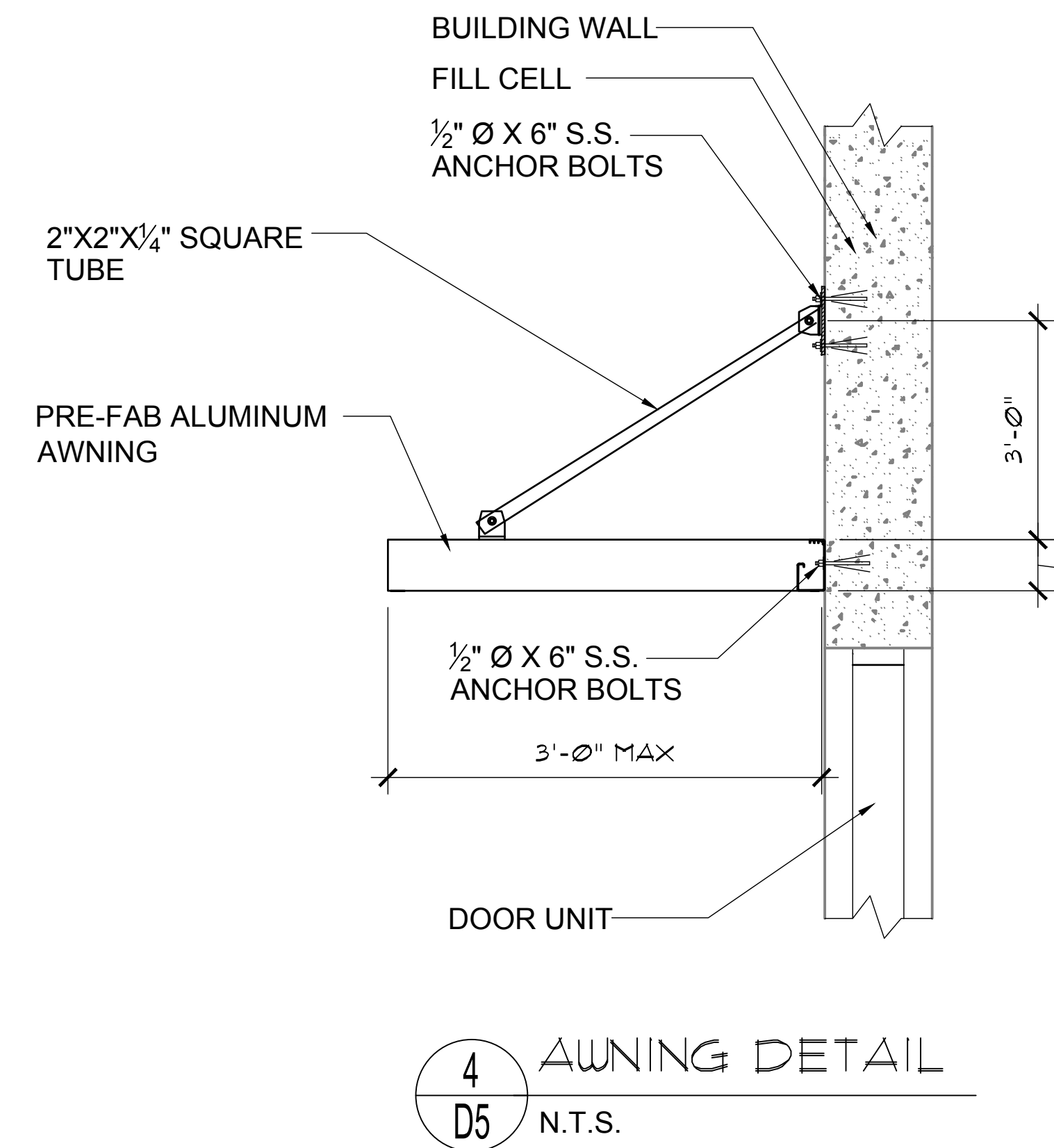
1. Conform to latest edition of Aluminum Association of Florida standard practice for aluminum design.
2. All aluminum shall be 6061-T6 (E= 10,000 ksi; Fy = 35 ksi)

**STRUCTURAL STEEL:**

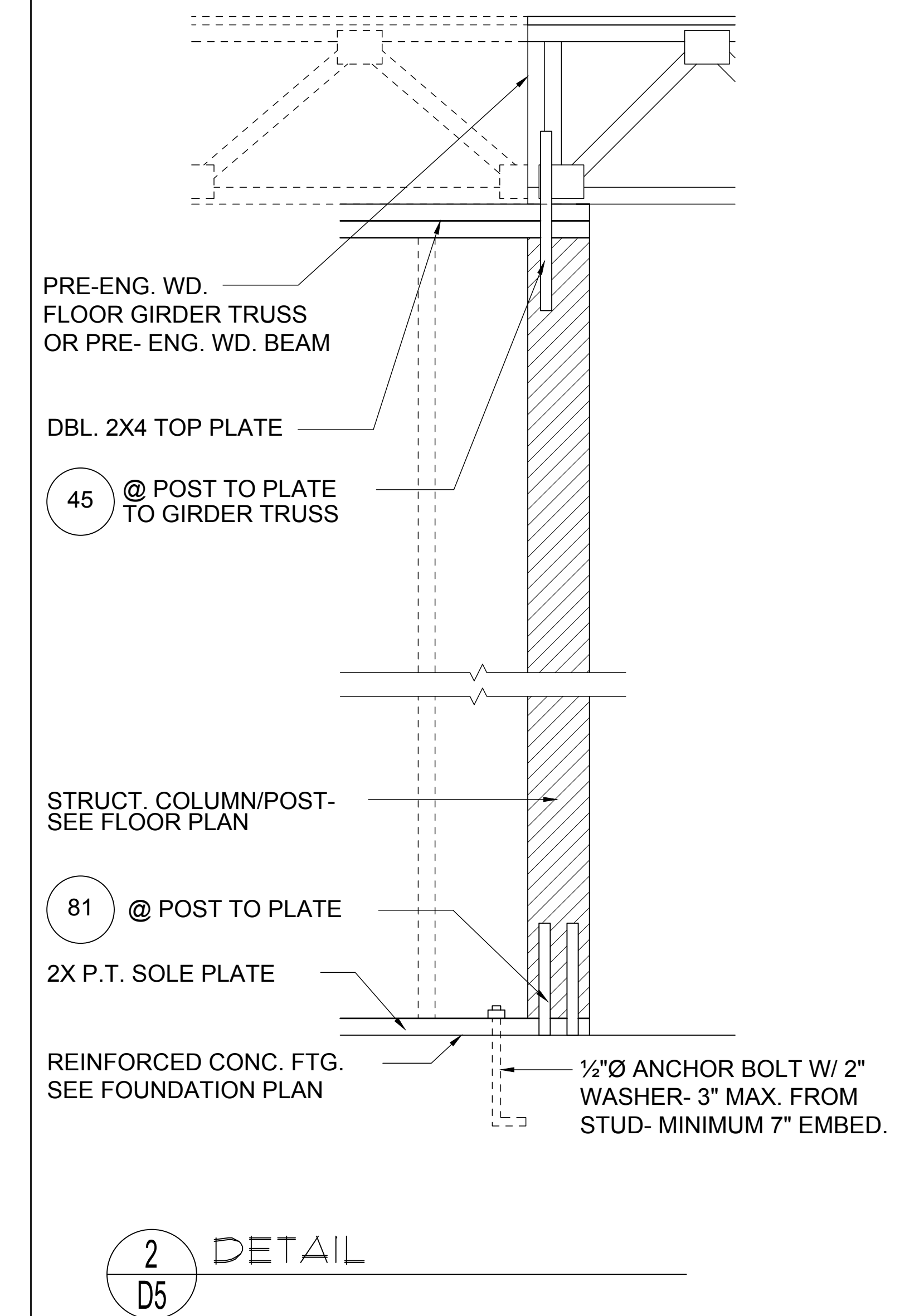
1. Conform to latest edition of AISC "Specification for structural steel building" and AISC "Code of standard practice for steel buildings and bridges".
2. All structural steel shall be ASTM A36, (E= 29,000 ksi; Fy = 36 ksi)
3. Splicing prohibited without prior approval as to location and type.
4. Burning of holes in steel members is prohibited. Any member with burned holes must be replaced.

**WELDING:**

1. Conformed to "Code for welding in building construction" by the American Welding Society, latest edition.
2. Steel Weld IAW AWS D1.1 (latest edition) -E70XX electrodes
3. Aluminum Weld IAW AWS D1.2 (latest edition)-Filler Alloy 5356 or equal.
4. Connection welds to be sized for forces and reactions indicated.
5. All steel welds shall be E70XX low hydrogen, 250 degrees min. oven temp.
6. Welds shall be full penetration welds at all points of contact (3/16" min. unless otherwise noted).

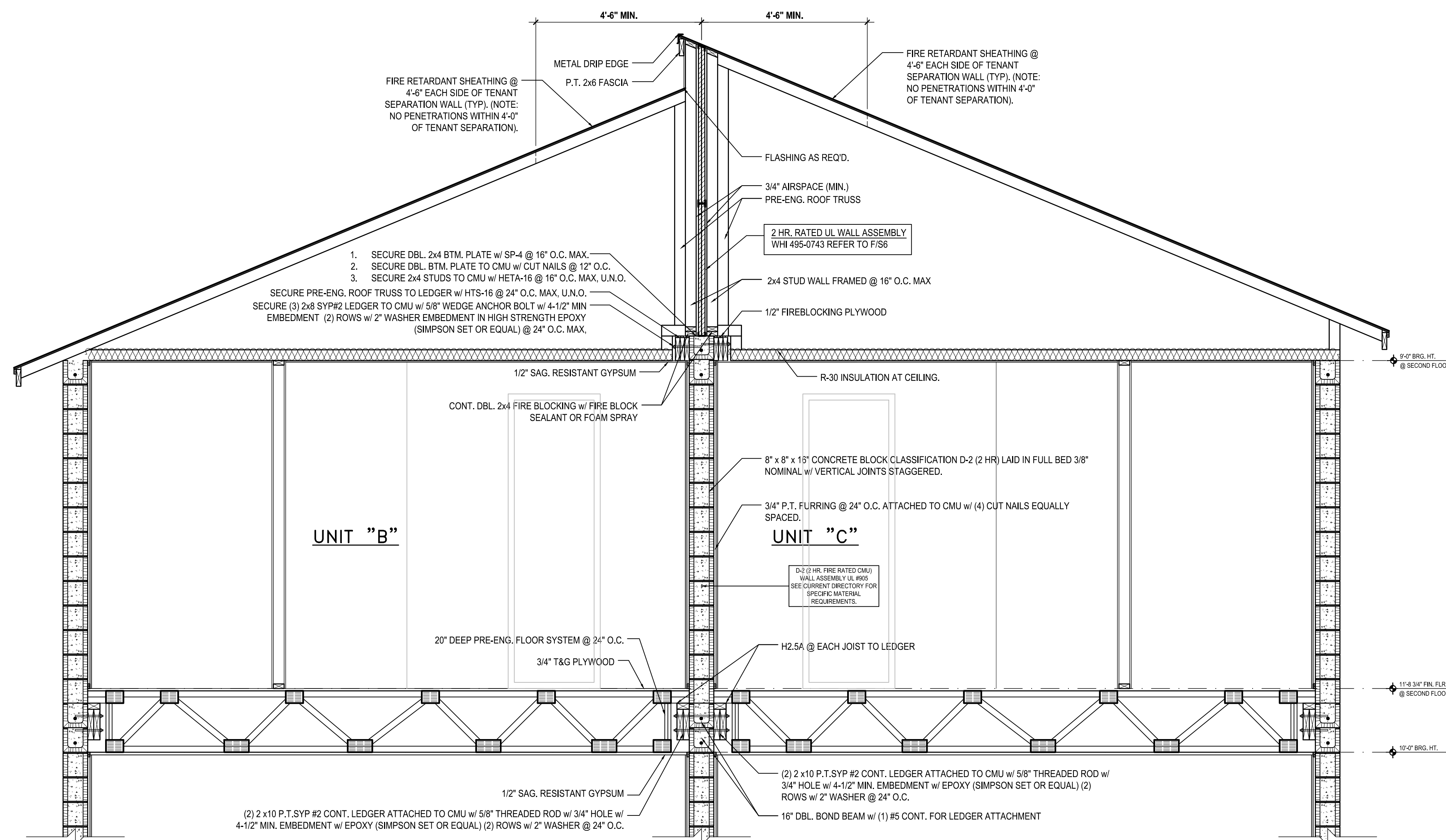


**4 AWNING DETAIL**  
D5 N.T.S.

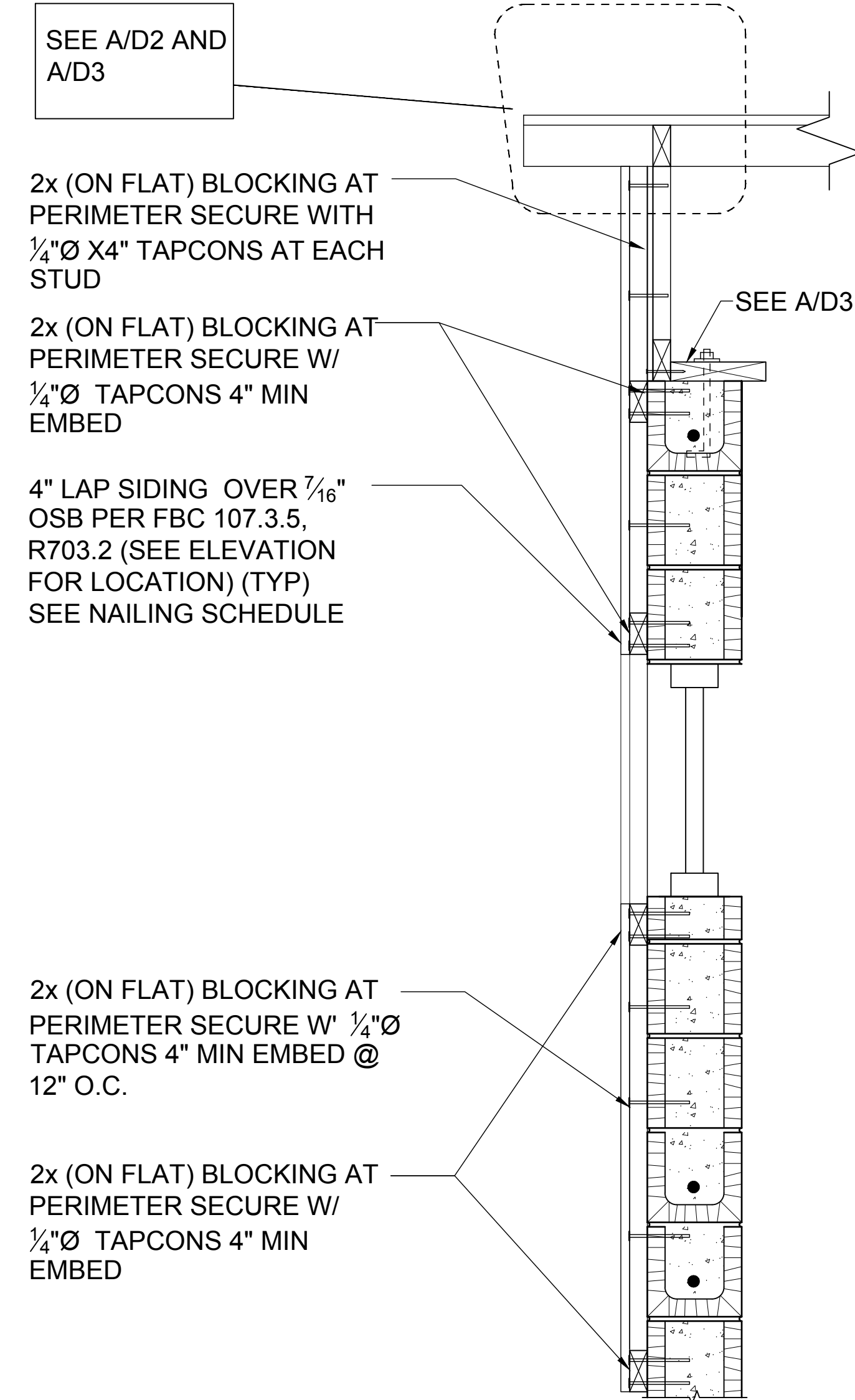


**2 DETAIL**  
D5

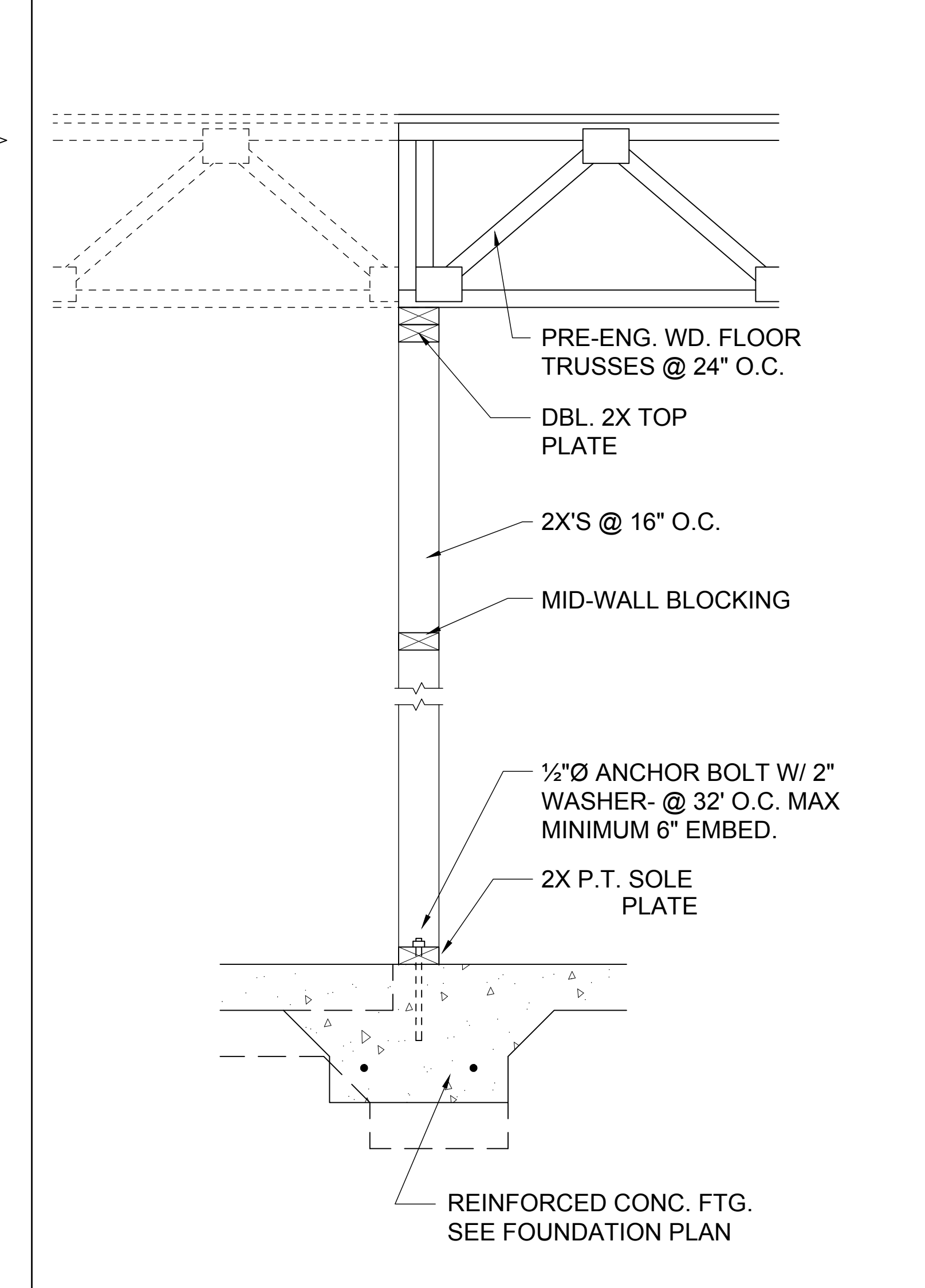
1/2"=1'-0" (11X17) 1"=1'-0" (22"X34")



**A BUILDING SECTION**  
D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**3 FRAME BUMP OUT DETAIL**  
D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)



**1 DETAIL**  
D5 1/2"=1'-0" (11X17) 1"=1'-0" (22X34)

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**MJS DESIGNERS GROUP**  
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 Altamonte Springs, FL 32701  
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 www.mjsdesignersgroup.com  
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**AITD**  
 ARCHITECTS IN TRAINING DESIGN ASSOCIATION

**GOBA**  
 GEOTECHNICAL OBSERVATION BOARD

**5-Unit: (Paradiso TH)**  
 Models: Paradiso, Latitude  
 Building Part # XXX  
 Lot# XX-XX, Subdivision  
 Street Address  
 City, State, Zip Code

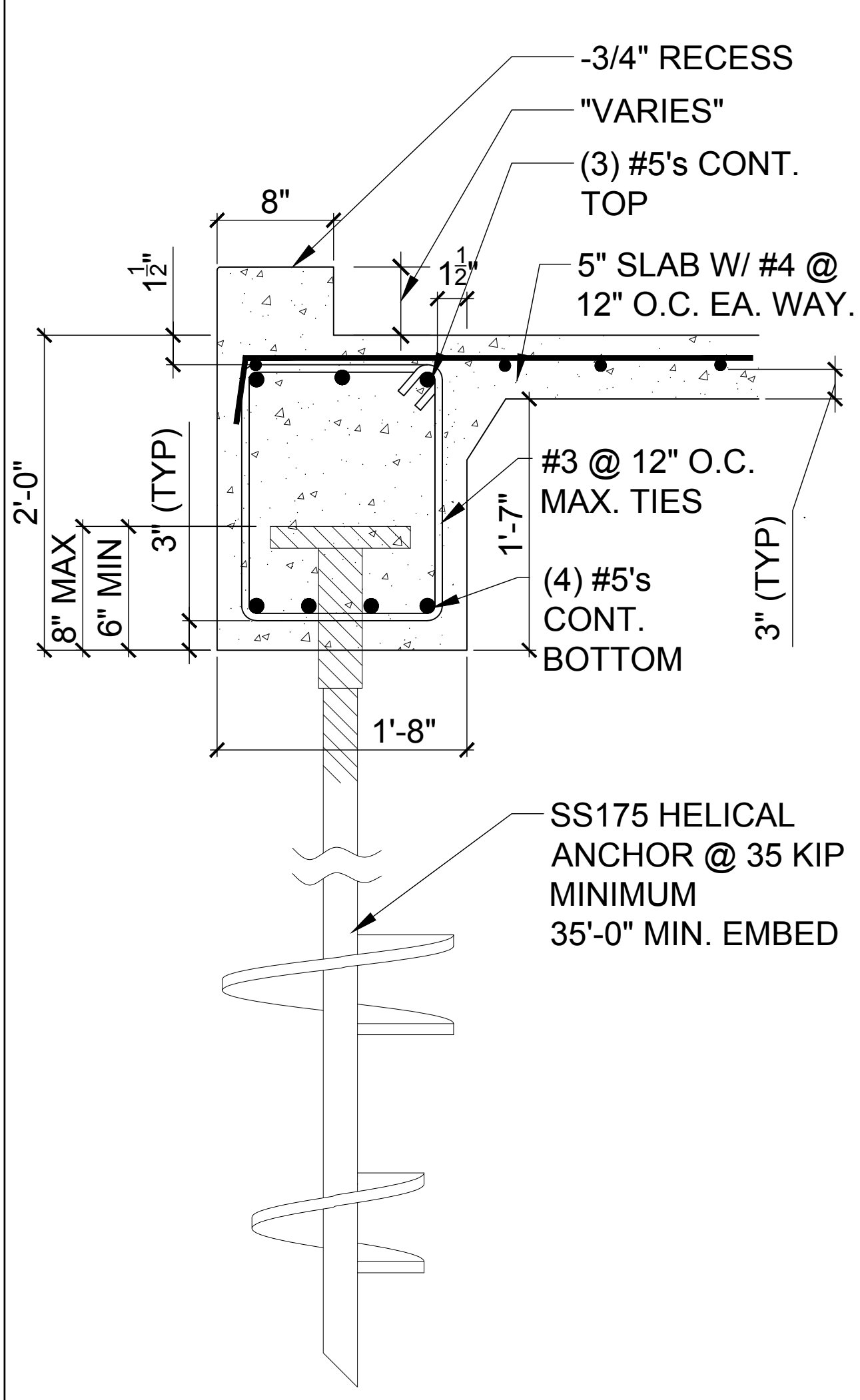
A Division of Park Square Enterprises Inc.  
 5200 Vineland Rd. Suite #200  
 Orlando, FL 32811  
 Phone: (407) 529-3000

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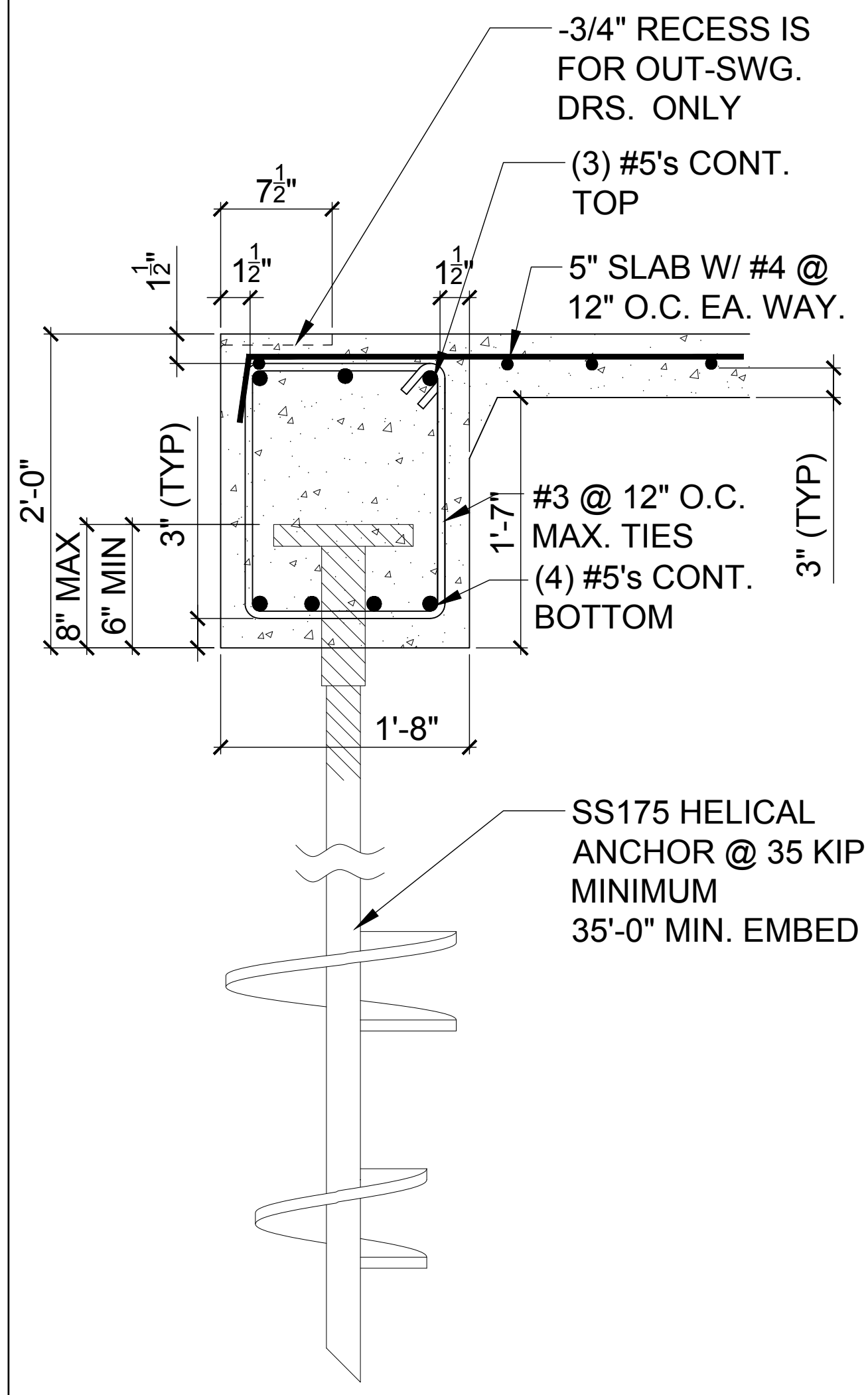
STRUCTURAL DETAILS  
**D5**





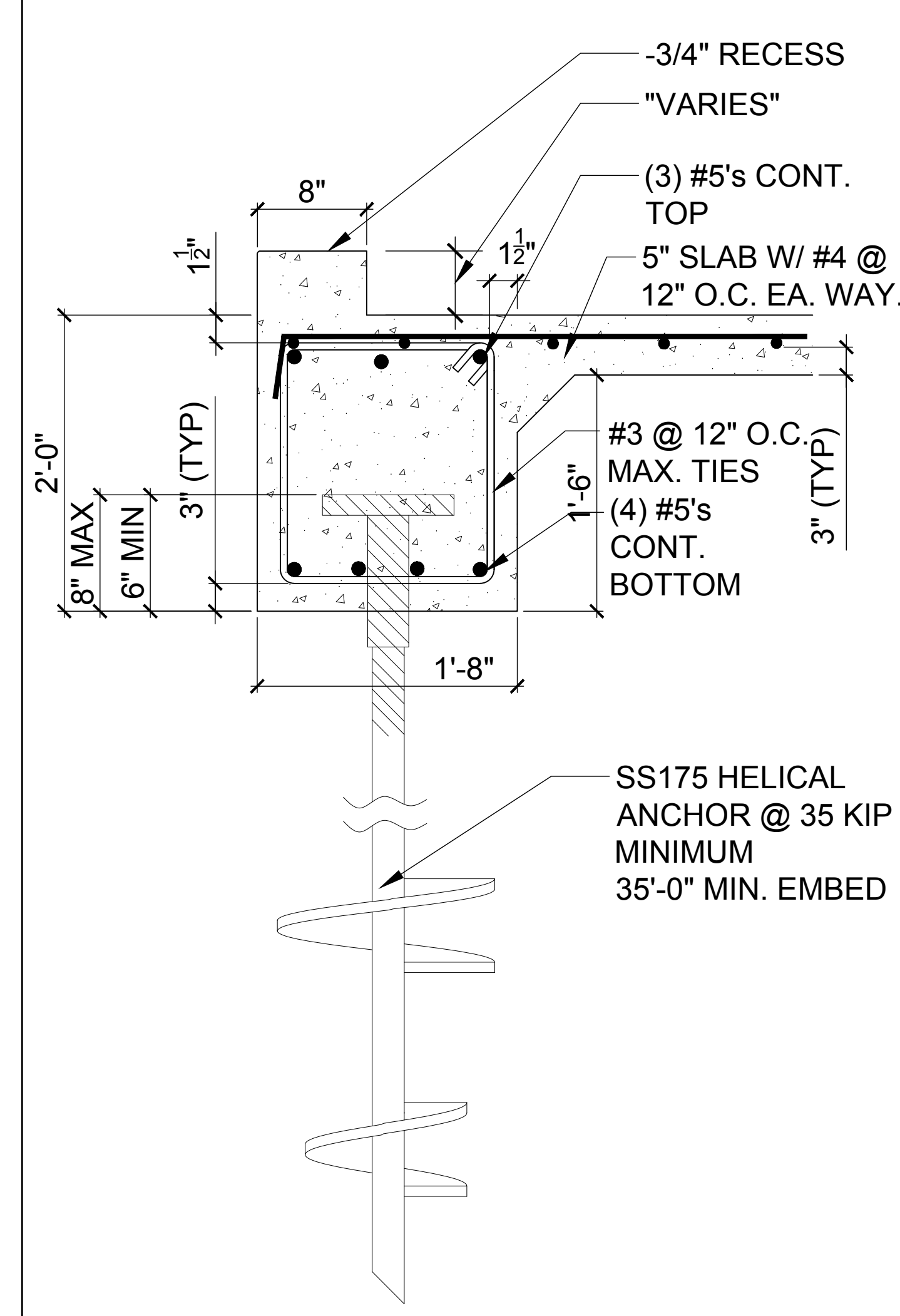
**BEARING FOOTER @  
CONCRETE CURB  
SECTION TWO-STORY**

8  
D6  
N.T.S.



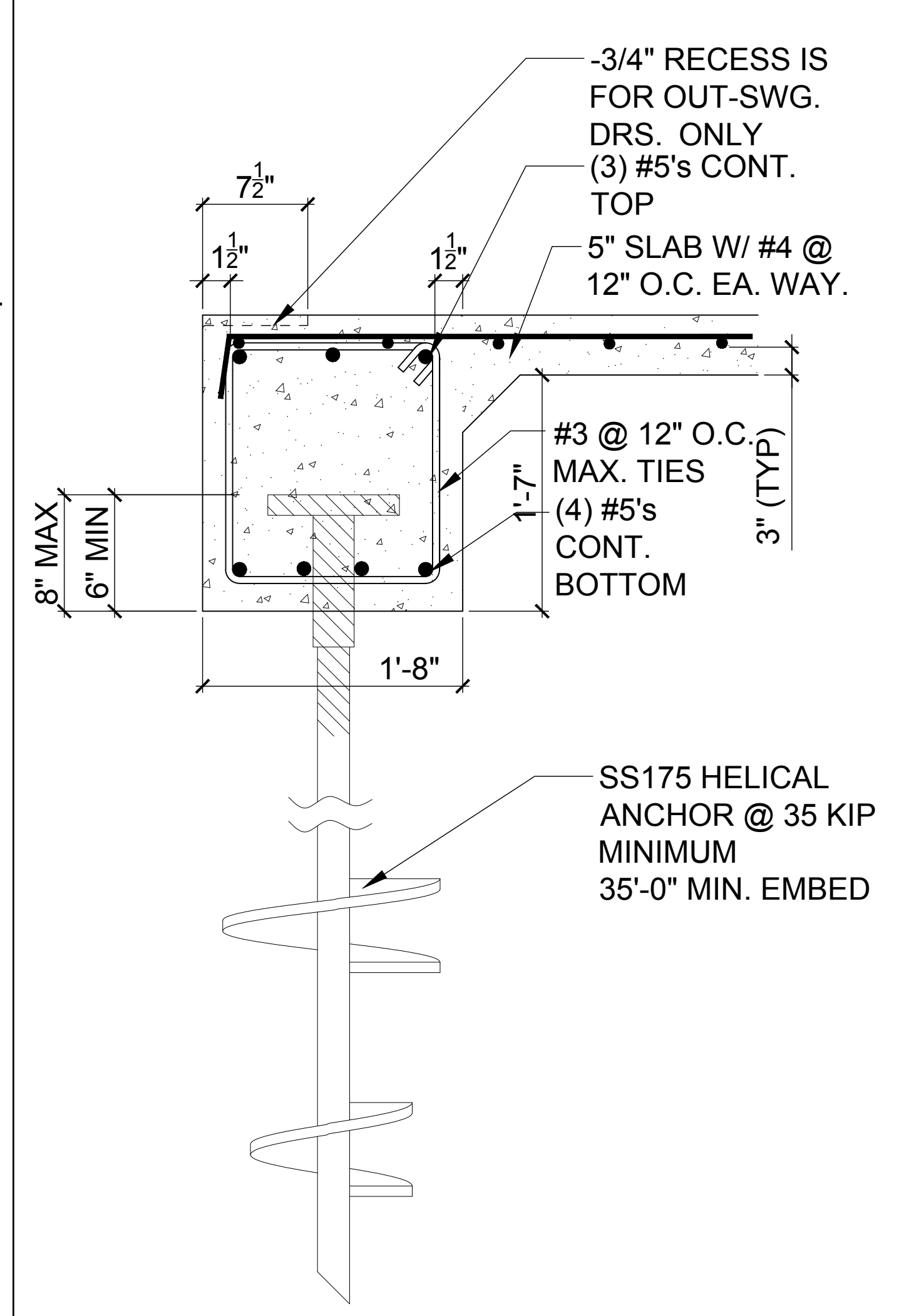
**CONT. BEARING FOOTER  
TWO-STORY DETAIL**

6  
D6  
N.T.S.



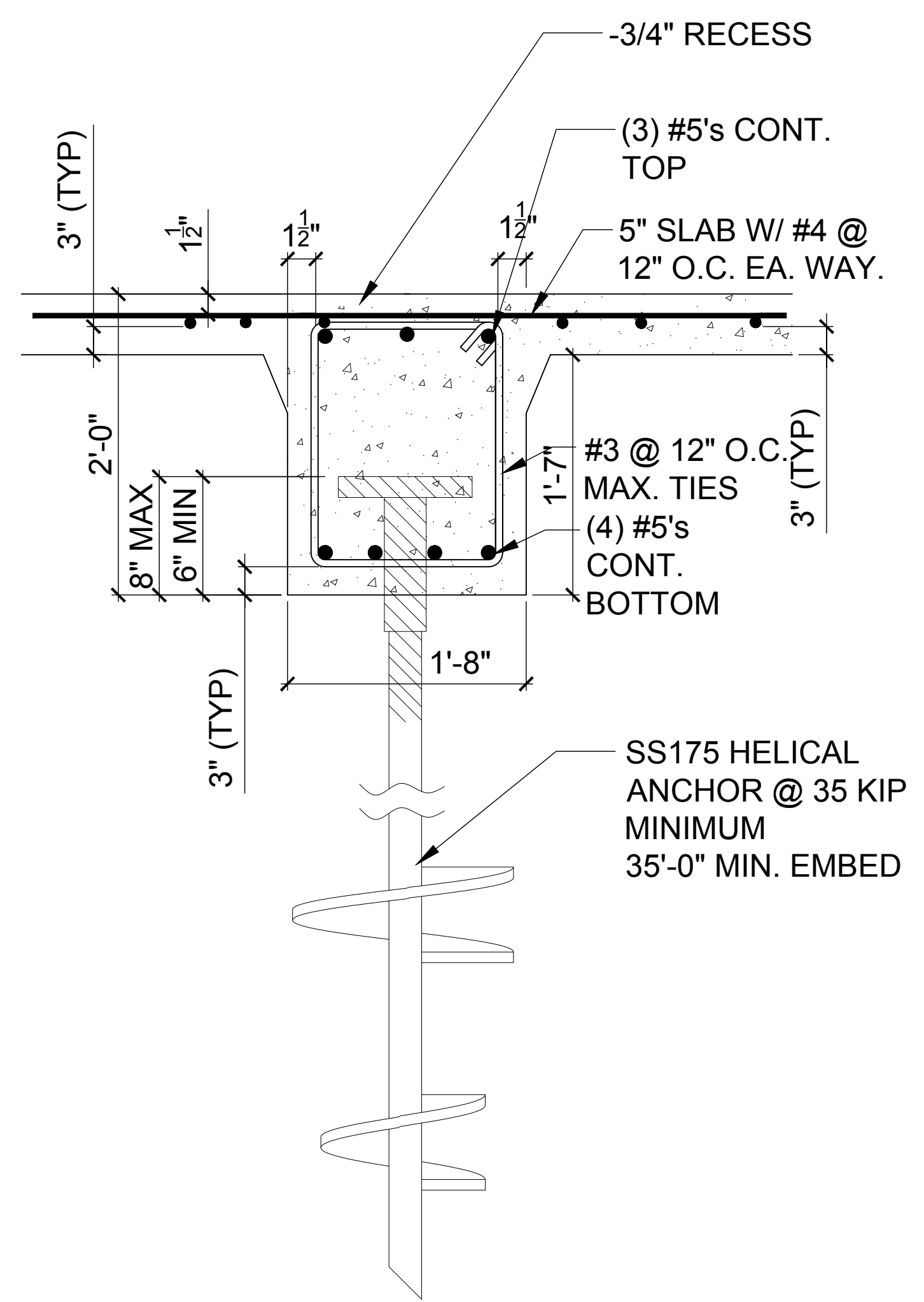
**BEARING FOOTER @  
CONCRETE CURB  
SECTION ONE-STORY**

4  
D6  
N.T.S.



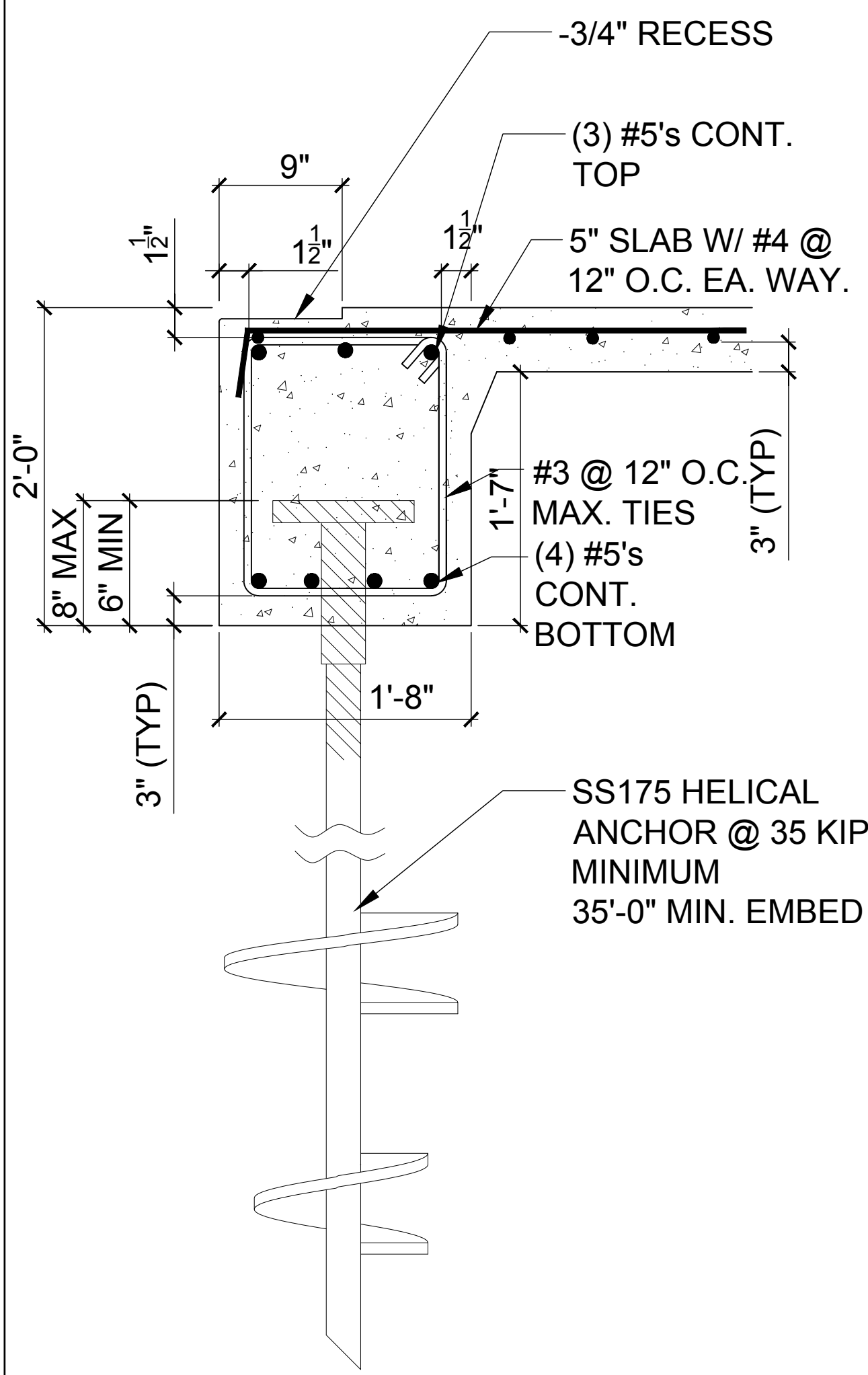
**CONT. BEARING FOOTER  
ONE-STORY DETAIL**

2  
D6  
N.T.S.



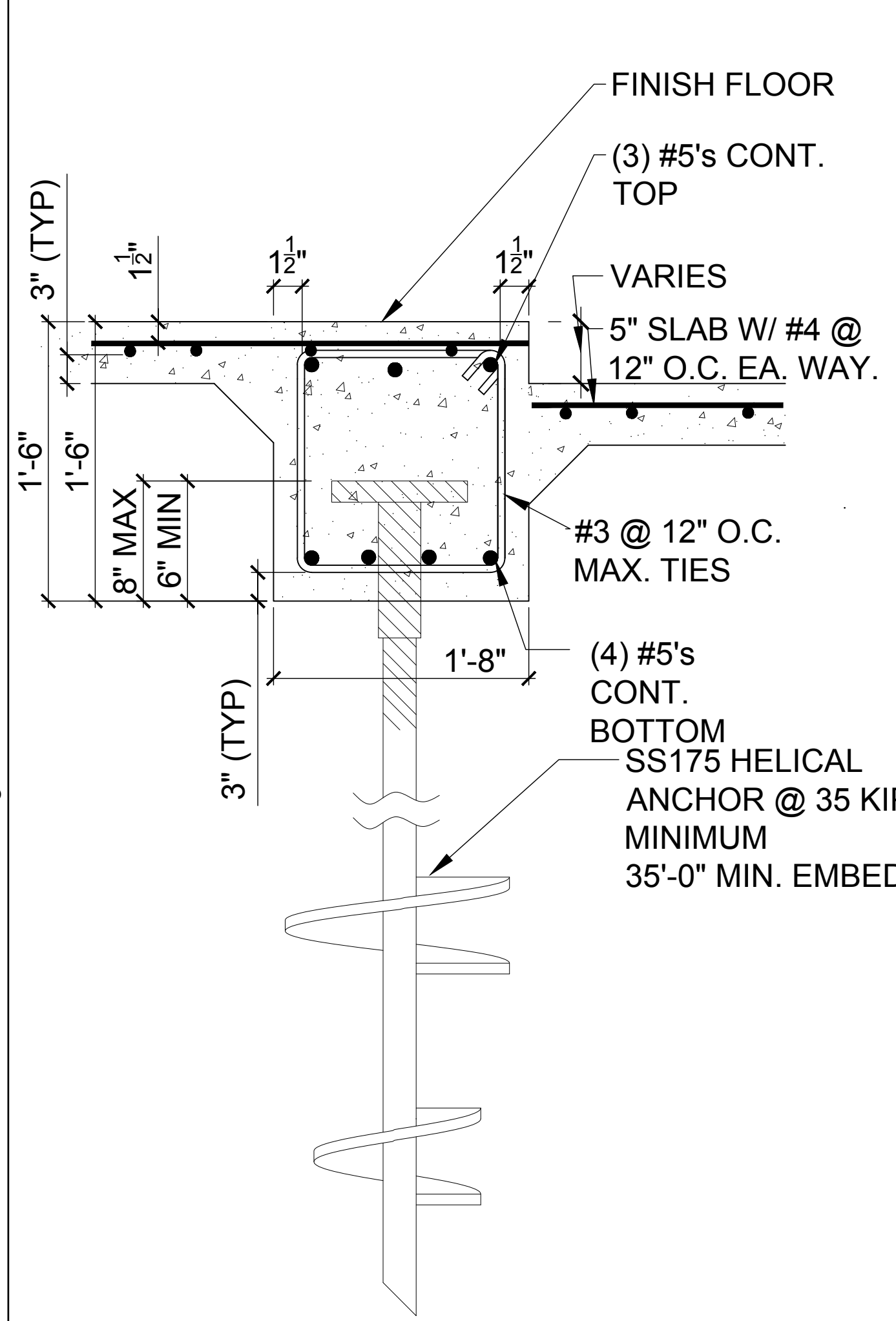
**INTERIOR BEARING  
FOOTER @ TWO-STORY**

9  
D6  
N.T.S.



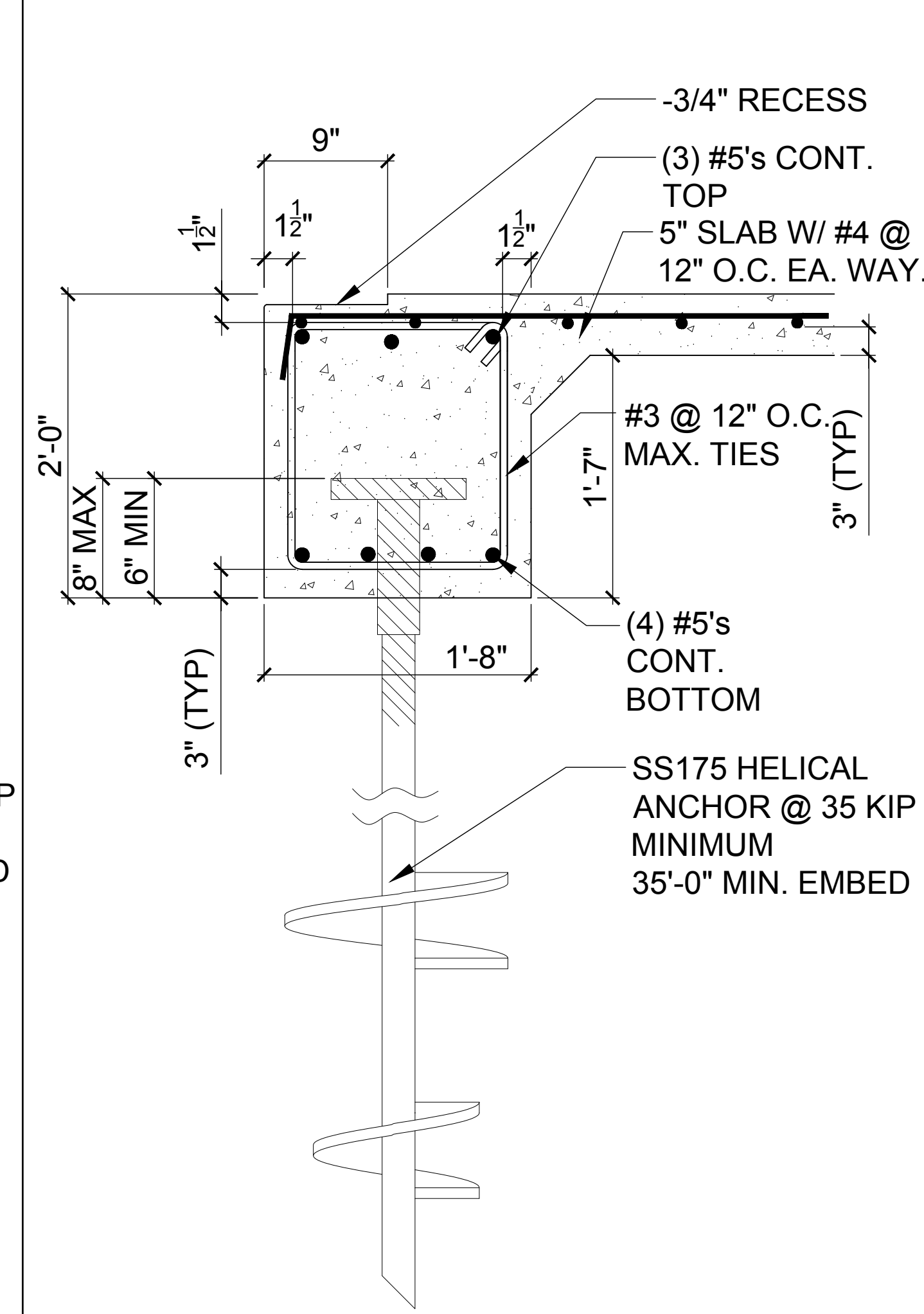
**BEARING FOOTER @  
CONCRETE RECESS  
SECTION TWO-STORY**

7  
D6  
N.T.S.



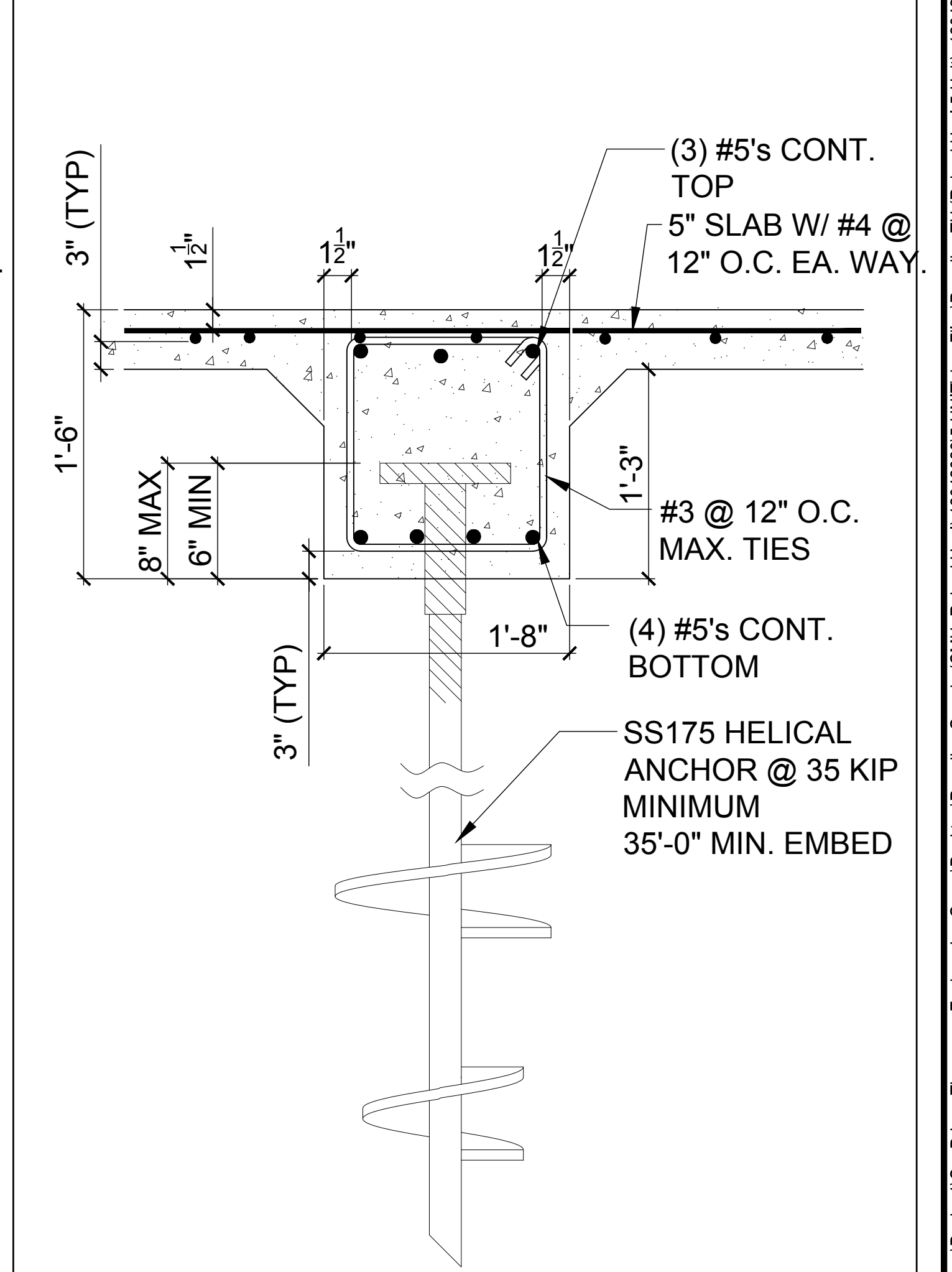
**BEARING FOOTER @  
STEPPED SLAB SECTION**

5  
D6  
N.T.S.



**BEARING FOOTER @  
CONCRETE RECESS  
SECTION ONE-STORY DET.**

3  
D6  
N.T.S.



**GRADE BEAM  
GB-20"X18" SECTION**

1  
D6  
N.T.S.

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MJS designers group
   
 residential-commercial-architecture

AIBD

GOBA

**5-Unit: (Paradiso TH)**
  
 Models: Nautilus, Latitude
   
 Building Pad #XXX
   
 Lot# XX-XX, Subdivision
   
 Street Address
   
 City, State, Zip Code

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