### CONTRACTOR NOTE:

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. GUTHERMAN STRUCTURAL, INC. IS NOT RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION OR FOR RELATED SAFETY PRECAUTIONS AND PROGRAMS.

### CODES AND STANDARDS

### 1. WIND LOADS AS PER:

- FLORIDA BUILDING CODE 7TH EDITION (2020) WITH AN ULTIMATE DESIGN WIND SPEED OF 135 MPH, EXPOSURE C, NOMINAL DESIGN WIND SPEED OF 104 MPH, +/-0.18 INTERNAL PRESSURE COEFFICIENT, AND BUILDING RISK CATEGORY II.
- B. THIS BUILDING IS DESIGNED AS AN ENCLOSED BUILDING

### 2. SEISMIC SITE CLASS = E SEISMIC DESIGN CATEGORY = B GROUND SNOW LOAD, Pg = 0 PSF

FLOOD ZONE = XRAIN INTENSITY = 4.5 INCHES PER HOUR (100 YEAR)

- 3. THE PROJECT WAS DESIGNED IN ACCORDANCE WITH THE:
- A. FLORIDA BUILDING CODE 7TH EDITION (2020).
- B. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318/ 2014 EDITION).
- MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI 315/ LATEST EDITION).
- NATIONAL DESIGN SPECIFICATION, WOOD CONSTRUCTION NDS/2018 EDITION. DESIGN USING ASD (ALLOWABLE STRESS DESIGN) METHOD.

### 4. ARCHITECTURAL AND MECHANICAL DRAWINGS:

- THE STRUCTURAL DRAWINGS ARE PART OF THE CONTRACT DOCUMENTS AND DO NOT BY THEMSELVES PROVIDE ALL THE INFORMATION REQUIRED TO PROPERLY COMPLETE THE PROJECT STRUCTURE. THE GENERAL CONTRACTOR SHALL CONSULT THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND COORDINATE THE INFORMATION CONTAINED IN THESE DRAWINGS WITH THE STRUCTURAL DRAWINGS TO PROPERLY CONSTRUCT THE PROJECT.
- B. REFER TO ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR ADDITIONAL OPENINGS, DEPRESSIONS, FINISHES, INSERTS, BOLTS SETTINGS, DRAINS, REGLETS, ETC.
- BEFORE ORDERING ANY MATERIALS OR DOING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS TO PROPERLY SIZE OR FIT THE WORK. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED BY THE OWNER RESULTING FROM THE CONTRACTOR'S FAILURE TO COMPLY WITH THIS REQUIREMENT.
- D. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY WORK.
- ALL STRUCTURES HAVE BEEN DESIGNED TO RESIST THE DESIGN LOADS LISTED ONLY AS COMPLETED STRUCTURES. THE GENERAL CONTRACTOR SHALL FULLY BRACE AND OTHERWISE PROTECT WORK IN PROGRESS UNTIL THE STRUCTURES ARE COMPLETED. THE GENERAL CONTRACTOR SHALL ALSO INSURE THAT ITS OPERATIONS AND PROCEDURES PROVIDE NO LOADING GREATER THAN THE DESIGN LOADS LISTED ON ANY MEMBER.

### 5. SECTIONS AND DETAILS:

ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SHOWN.

### 6. MATERIALS AND ASSEMBLY TEST AS FOLLOWS:

EXTERIOR WINDOWS, SLIDING AND PATIO GLASS DOORS SHALL BE TESTED BY AN APPROVED INDEPENDENT TESTING LABORATORY, AND SHALL BE LABELED WITH AN APPROVED LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT CERTIFICATION AGENCY, TESTING LABORATORY, EVALUATION ENTITY OR FLORIDA STATE WIDE PRODUCT APPROVAL NUMBER TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF ONE OF THE FOLLOWING SPECIFICATIONS:

### ANSI/AAMA/NWWDA 101/I.S. 2-97 OR TAS 202 (HVHZ SHALL COMPLY WITH TAS 202)

- B. EXTERIOR DOOR ASSEMBLIES SHALL BE TESTED FOR STRUCTURAL INTEGRITY IN ACCORDANCE WITH ASTM E330 AT A LOAD OF 1.5 TIMES THE REQUIRED DESIGN PRESSURE LOAD. THE LOAD SHALL BE SUSTAINED FOR 10 SECONDS WITH NO PERMANENT DEFORMATION OF ANY MAIN FRAME OR PANEL MEMBER IN EXCESS OF 0.4 PERCENT OF ITS SPAN AFTER THE LOAD IS REMOVED. HVHZ SHALL COMPLY WITH TAS 202. AFTER EACH SPECIFIED LOADING. THERE SHALL BE NO GLASS BREAKAGE, PERMANENT DAMAGE TO FASTENERS HARDWARE PARTS, OR ANY OTHER DAMAGE, WHICH CAUSES THE DOOR TO BE
- WINDOW AND DOOR ASSEMBLIES SHALL BE ANCHORED IN ACCORDANCE WITH THE PUBLISHED MANUFACTURER'S RECOMMENDATIONS TO ACHIEVE THE DESIGN PRESSURE SPECIFIED. SUBSTITUTE ANCHORING SYSTEM USED FOR SUBSTRATES NOT SPECIFIED BY THE FENSTRATION MANUFACTURER SHALL PROVIDE EQUAL OR GREATER ANCHORING PERFORMANCE AS DEMONSTRATED BY ACCEPTED ENGINEERING

# SPECIALTY ENGINEERED PRODUCTS

- 1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE THE PROPER SUBMISSION OF SPECIALTY ENGINEERED SHOP DRAWINGS WHICH SHALL BE SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THE SPECIALTY ENGINEERED SHOP DRAWINGS ARE SUBMITTED IN A TIMELY MANNER SO AS TO ALLOW REVIEWS AND RESUBMISSIONS AS REQUIRED. ALL SPECIALTY ENGINEERED PRODUCTS SHALL BE DESIGNED FOR THE APPROPRIATE GRAVITY LOADS AND WIND LOADS INCLUDING UPLIFT AND LATERAL LOADS. INTERIOR SPECIALTY PRODUCTS SHALL BE DESIGNED FOR LATERAL LOADS TO ASSURE STABILITY. SPECIALTY ENGINEERED PRODUCTS SHALL BE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
  - A. LIGHT GAUGE METAL, INCLUDING BUT NOT LIMITED TO, SOFFITS, CLADDING, CEILINGS, ETC.
  - MISCELLANEOUS METALS INCLUDING STEEL STAIRS, MECHANICAL EQUIPMENT SUPPORTS, FRAMES THAT SUPPORT MACHINES, PIPES OR OTHER STRUCTURAL METAL USED FOR SUPPORT OF MECHANICAL SYSTEMS.
- MISCELLANEOUS HANGERS, CHANDELIERS, CABINETS, METAL FRAMES, LADDERS, RIGGING, HANGING WALLS, RAILINGS, GLAZING FRAMES, CLADDING SUCH AS STONE, PRECAST, ALUMINUM, METAL PANELS, CABLE BARRIER SYSTEMS, ETC. OR ANY OTHER MISCELLANEOUS PRODUCT REQUIRED BY ANY OF THE CONSTRUCTION
- D. IN ADDITION TO THE LOADS SHOWN IN THE DESIGN LOAD SCHEDULE, THE SPECIALTY ENGINEER SHALL DESIGN FOR THE WEIGHT OF ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT AND FIXTURES, AS WELL AS CHANDELIER FIXTURES, BAR CABINETS, AND ART WORK / MOBILES.
- GENERAL CONTRACTOR TO INCLUDE IN THEIR BID THE COST OF THE ABOVE NOTED SPECIALTY ENGINEERING.

### FOUNDATION ALL SITE PREPARATION AND EXCAVATION WORK IS TO BE PERFORMED IN

- STRICT ACCORDANCE WITH THE REPORT ON SOILS AND FOUNDATION INVESTIGATION RECOMMENDATIONS ON SOILS AND FOUNDATIONS INVESTIGATION PREPARED BY AN APPROVED TESTING LABORATORY PRIOR TO FOUNDATION WORK.
- BOTTOM OF FOOTINGS ASSUMED TO BEAR ON SOIL CAPABLE OF SAFELY SUPPORTING 2000 PSF.
- SOILS SUPPORTING ALL FOOTINGS MUST BE INSPECTED AND APPROVED BY A REGISTERED SOILS ENGINEER BEFORE COMMENCING WORK. APPROVAL IN WRITING MUST INDICATE THE SOIL IS ADEQUATE TO SAFELY SUSTAIN SPECIFIED SOIL BEARING PRESSURE.
- 4. ALL MONOLITHIC EDGE FOOTINGS SHALL BEAR A MINIMUM 1'-0" BELOW EXTERIOR GRADE TYP. MAKE ADJUSTMENTS AS NEEDED.
- EXCAVATION & BACKFILL:
  - A. ALL EXCAVATION SHALL BE KEPT DRY. EXCAVATE TO DEPTHS AND DIMENSIONS INDICATED. TAKE EVERY PRECAUTION TO GUARD AGAINST ANY MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES, UTILITIES,
- PROVIDE ANY BRACING OR SHORING NECESSARY TO AVOID SETTLEMENT OR DISPLACEMENT OF EXISTING FOUNDATION OR STRUCTURES.
- DIMENSIONS: ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS MUST BE VERIFIED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS BY THE CONTRACTOR BEFORE PROCEEDING WITH THE CONSTRUCTION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER IN WRITING BEFORE PROCEEDING WITH ANY WORK.

- ALL CONCRETE SHALL BE 3000 PSI READY MIX AND MEET THE FOLLOWING REQUIREMENTS:
- SLUMPS SHALL BE 4-INCHES MINIMUM AND 6-INCHES MAXIMUM.
- CONCRETE SHALL HAVE 3 PERCENT AIR ENTRAINMENT. ALL CONCRETE TO HAVE MAXIMUM WATER/CEMENT RATIO OF 0.55. JOBSITE WATER SHALL NOT BE ADDED.
- CEMENT SHALL CONFORM WITH ASTM C150 TYPE 1. SLAG, ASTM C989 SHALL BE LIMITED TO 50% (BY WEIGHT OF CEMENTITIOUS MATERIAL AND FLY ASH, ASTM C618, CLASS F, SHALL BE LIMITED TO 25% (BY WEIGHT) OF CEMENTITIOUS MATERIAL.
- 2. ALL CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI BUILDING CODE (ACI 318/ 2014 EDITION), THE ACI DETAILING MANUAL (ACI 315/ 2004 EDITION), AND THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301/ LATEST EDITION).
- 3. SUBMIT ALL REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL PRIOR TO ANY FABRICATION.
- CONCRETE COVER FOR REINFORCING STEEL SHALL BE AS REQUIRED BY ACI SPECIFICATIONS.
- 5. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A 1064, UNLESS OTHERWISE SPECIFIED. PLACE FABRIC 2" CLEAR FROM TOP OF THE SLAB IN SLAB ON GRADE AND SUPPORT ON SLAB BOLSTERS SPACED AT 3'-0" O.C.
- LAP ALL BARS WITH CLASS B TENSION LAP SPLICE UNLESS OTHERWISE NOTED ON DRAWINGS. LAP ALL WWF A MINIMUM OF 12 INCHES (UNLESS OTHERWISE NOTED).

### 7. REINFORCING BARS:

- ALL REINFORCING STEEL SHALL BE MANUFACTURED FROM HIGH STRENGTH BILLET STEEL CONFORMING TO ASTM DESIGNATION A 615
- B. AT CORNERS OF CONCRETE WALLS, BEAMS AND CONTINUOUS WALL FOOTINGS, PROVIDE (1-#5 OR MATCHING) HORIZONTAL BARS X 5'-0' BENT BAR FOR EACH HÖRIZONTAL BAR SCHEDULED AT EACH FACE.
- C. ALL HOOKS SHOWN IN REINFORCEMENT SHALL BE ACI RECOMMENDED HOOKS UNLESS OTHERWISE NOTED.

- MASONRY UNITS SHALL BE LOAD BEARING ASTM C90, NORMAL WEIGHT LAID IN A FULL BED OF MORTAR IN RUNNING BOND.
- 2. THE COMPRESSIVE STRENGTH OF MASONRY (F'M) SHALL BE 2,000 PSI AS CALCULATED IN ACCORDANCE WITH ASTM C-140.
- ALL MORTAR SHALL BE IN ACCORDANCE WITH ASTM SPECIFICATION C270 HAVING A MINIMUM COMPRESSIVE STRENGTH OF (S) 1,800 PSI OR (M) 2,500 PSI
- GROUT SHALL BE A HIGH SLUMP MIX IN ACCORDANCE WITH ASTM SPECIFICATION C476, HAVING A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
- 5. ALL CONCRETE MASONRY BEARING AND SHEAR WALLS SHALL BE INSPECTED BY A CERTIFIED INSPECTION COMPANY AND CONSTRUCTED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENT FOR MASONRY STRUCTURES TMS602/ACI530.1/ASCE 6.
- 6. PROVIDE 8" X 8" MASONRY BEAM WITH 1 #5 CONT. AT EVERY WINDOW SILL. EXTEND BEAM 8" BEYOND EDGE OF OPENING.
- ALL VERTICAL REINFORCING SHALL BE HOOKED AT TOP AND BOTTOM AT ALL VERTICAL REINFORCED CELL RUNS. THIS INCLUDES IN BEAMS AND LINTELS OVER OPENINGS
- THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL BRACING FOR ALL MASONRY WALLS AS REQUIRED TO ENSURE STABILITY DURING CONSTRUCTION.
- PROVIDE HOT DIPPED GALVANIZED LADDER TYPE HORIZONTAL JOINT REINFORCEMENT (9 GA.) AT 16" ON CENTER VERTICAL IN ALL MASONRY WALLS. PROVIDE DOVE TAIL SLOT ANCHORS AT CONCRETE COLUMNS. FOR JOINT REINFORCEMENT, WALL TIES, ANCHORS AND INSERTS, APPLY A MINIMUM COAT OF 1.5 OUNCES PER SQUARE FOOT (PSF) (458/G/M2) COMPLY WITH THE REQUIREMENTS OF ASTM A153, CLASS B.
- 10. PROVIDE CONTROL JOINTS IN MASONRY WALLS AT A SPACING OF 25' + O.C. AND ALIGN WITH ARCHITECTURAL CONTROL JOINTS.
- MINIMUM LAP SPLICES FOR REINFORCED MASONRY:

# BAR SIZE

- A. LAP SPLICES SHALL OCCUR DIRECTLY ABOVE FOOTINGS AND SLABS. NO SPLICES ARE ALLOWED AT MID-HEIGHT OF WALL.
- B. LAP SPLICES THAT OCCURE AT CANTILEVERED WALLS SUCH AS: PARAPETS, RETAIING WALLS, ETC. SHALL HAVE LAP SPLICE LENGTHS INCREASED BY 50%.

# 12. MASONRY LINTELS:

- A. A PRECAST CONCRETE LINTEL BY PRE-CAST MANUF. SHALL BE PROVIDED OVER ALL MASONRY WALL OPENINGS. THE LINTEL SHALL BE FULLY GROUTED.
- B. LINTELS TO HAVE 4" MINIMUM BEARING AT EACH END.
- C. SHORE PRECAST LINTEL PER MANUFACTURE'S INSTRUCTIONS.

- ALL STRUCTURAL WOOD MEMBERS ARE DESIGNED AS "DRY-USE". MOISTURE CONTENT MUST BE 19% OR LESS. STORE WOOD FRAMING ABOVE GROUND AND UNDER TARPS WITH PROPER AIR CIRCULATION.
- 2. ALL LUMBER SHALL BE SOUTHERN PINE SPECIES #2 GRADE OR APPROVED EQUAL. ALLOWABLE DESIGN STRESSES SHALL FOLLOW NATIONAL DESIGN SPECIFICATION (NDS) (LATEST EDITION).
- 3. HEADERS AT NON BEARING CONDITIONS SHALL BE AS FOLLOWS:
  - OPENING SIZE HEADER UP TO 4' -0" (2) 2" X 6" 4'- 0" TO 6'- 0" (2) 2" X 8"
- PROVIDE SP ACQ PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE/MASONRY OR OUTSIDE OF BUILDING. ALL METAL CONNECTORS IN CONTACT WITH PRESSURE TREADED LUMBER SHALL BE GALVANIZED WITH A RATING OF G-185 AND CONFORM TO ASTM A653. ALL NAILS AND SCREWS USED WITH PRESSURE TREATED LUMBER ARE TO BE HOT-DIPPED GALVANIZED AND TO CONFORM TO ASTM A153 CLASS D. ELECTROGALVANIZED FASTENERS SHALL HAVE A CLASS RATING PER ASTM B695 NO LESS THAN 55. ALUMINUM NOT TO BE USED IN DIRECT CONTACT WITH ACQ TREATED LUMBER.
- A. FLOOR: USE 3/4" T&G APA 24oc STURD-I-FLOOR, EXP. 1. PLYWOOD SUB-FLOOR SHEATHING, HUBER BLUE PLUS OSB, OR EQUAL.
- WALL: Use 19/32" APA 32/16 MIN. RATED, EXP. 1, PLYWOOD SHEATHING. FIRST 48" OF WALL FROM GRADE SHALL HAVE PRESSURE TREATED PLYWOOD, OR ZIP SHEATHING. ATTACH TO STUDS WITH 8d NAILS AT 6" O.C. IN FIELD OF PANEL, AND 12" O.C. ALL OTHER SUPPORTS. FOR SHEAR WALLS, REFER TO THE SHEAR WALL SCHEDULE FOR FASTENER REQUIREMENTS.
- C. ROOF: Use 19/32"-40/20 RATED, EXP. 1, PLYWOOD SHEATHING. ATTACH TO TRUSSES WITH 10d RING SHANK NAILS AT 6" O.C. IN FIELD OF PANEL, AND 12" O.C. ALL OTHER SUPPORTS.
- D. SEE FRAMING PLANS FOR NAILING AND/OR BLOCKING REQUIREMENTS. USE 8'- 0" LONG X 4'-0" WIDE SHEETS WITH LENGTH ACROSS FRAMING. STAGGER PANEL END JOINTS 4'-0" TYP., ALLOW 1/8" SPACE ALONG PANEL EDGES AND END JOINTS.
- E. FLOOR SHEATHING TO BE NAILED WITH 10d NAILS AT 6" O.C. AND GLUED FOR PARTIAL COMPOSITE ACTION. SELECT ADHESIVE WITH APA AFG-01 SPECIFICATION AND FOLLOW APA RECOMMENDATIONS.
- WOOD CONNECTIONS ALL NAILS USED FOR STRUCTURAL FRAMING MEMBERS SHALL BE COMMON WIRE, U.N.O. ALL NAILS, TRUSS HANGERS, TRUSS ANCHORS AND STRAPS SHALL BE GALVANIZED FOR CORROSIVE RESISTANCE. ALL METAL STRAPS MUST BE INSTALLED WITH EQUAL LENGTHS ABOUT THE JOINT LINE. USE SIMPSON STRONG-TIE CONNECTOR PRODUCTS OR APPROVED EQUAL. TOE NAILING WILL NOT BE PERMITTED.
- ALL WOOD WALL SILL PLATES SHALL BE ATTACHED TO THE FOUNDATIONS WITH 1/2" DIAMETER TITEN HD BOLTS (5" EMBED) AT 48" O.C. OR J-BOLTS (5" EMBED) AT 48"

# ALL MICROLLAM LVL BEAMS TO

- A. BE ENGINEERED AND MANUFACTURED BY TRUS JOIST WEYERHAEUSER (TJW) OR APPROVED EQUAL. TEMPORARY BRACING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE CONTINUOUS SUPPORT OF THE COMPRESSION EDGE AND PROVIDE LATERAL SUPPORT AT ALL BEARINGS. THE MINIMUM ALLOWABLE STRESSES FOR MICROLLAM BEAMS ARE AS FOLLOWS:
- Fb = 2,600 PSI Fv = 285 PSI E = 1,900,000 PSI
- B. CONNECT: (2) PLY LVL W/ (3) ROWS OF 16d COMMON NAILS AT 12" O/C;
- C. CONNECT: (3) PLY LVL W/ (3) ROWS STAGGERED OF 1/2" DIAMETER A307 GRADE OR BETTER THRU-BOLTS SPACED AT 24" O/C, STARTING THE TOP AND BOTTOM ROWS 2" FROM BEAM ENDS TYP.

### ALL PARALLAM PSL BEAMS TO

- A. BE ENGINEERED AND MANUFACTURED BY TRUS JOIST WEYERHAEUSER (TJW) OR APPROVED EQUAL. TEMPORARY BRACING TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE CONTINUOUS SUPPORT OF THE COMPRESSION EDGE AND PROVIDE LATERAL SUPPORT AT ALL BEARINGS. THE MINIMUM ALLOWABLE STRESSES FOR PARALLAM BEAMS ARE AS FOLLOWS:
- Fb = 2,900 PSI Fv = 290 PSI E = 2,000,000 PSI
- B. ALL EXPOSED EXTERIOR PARALLAM BEAMS ARE TO BE WOLMANIZED PRESSURE TREATED FOR A SERVICE LEVEL 2 EXPOSURE. ALL OTHER PARALLAM BEAMS ARE TO BE WOLMANIZED PRESSURE TREATED FOR A SERVICE LEVEL 1 EXPOSURE.

# ALL STRUCTURAL TIMBER TO

- A. BE DOUGLAS FIR SPECIES, #2 GRADE (MINIMUM) OR APPROVED EQUAL.
- B. SOUTHERN PINE SPECIES, #2 GRADE (MINIMUM) OR APPROVED EQUAL.
- C. SOUTHERN YELLOW PINE STRUCTURAL SELECT Fb=2100 E=1,800,000 D. BE DESIGNED PER THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION'S (AITC)"TIMBER CONSTRUCTION MANUAL" AND AMERICAN FOREST & PAPER

ASSOCIATION'S (AFPA) NATIONAL DESIGN SPECIFICATION".

E. PROVIDE SP ACQ PRESSURE TREATED LUMBER IN ACCORDANCE WITH AWPA STANDARDS TO A MINIMUM 0.40 PCF RETENTION WHERE LUMBER IS IN CONTACT WITH CONCRETE/MASONRY OR OUTSIDE OF BUILDING. ALL METAL CONNECTORS IN CONTACT WITH PRESSURE TREADED LUMBER SHALL BE GALVANIZED WITH A RATING OF G-185 AND CONFORM TO ASTM A653. ALL NAILS AND SCREWS USED WITH PRESSURE TREATED LUMBER ARE TO BE HOT-DIPPED GALVANIZED AND TO CONFORM TO ASTM A153 CLASS D. ELECTROGALVANIZED FASTENERS SHALL HAVE A CLASS RATING PER ASTM B695 NO LESS THAN 55. ALUMINUM NOT TO BE USED IN DIRECT CONTACT WITH ACQ TREATED LUMBER.

# CONCRETE COVER SCHEDULE

- CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: CONCRETE EXPOSED TO EARTH OR WEATHER: #6 OR LARGER #5 OR SMALLER
- 1 1/2" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS (#11 AND SMALLER) BEAMS, COLUMNS (PRIMARY REINF., TIES, STIRRUPS, SPIRALS) 1 1/2" CONCRETE FOR COASTAL EXPOSURES EXPOSED TO WEATHER:
  - WALL & SLABS OTHER MEMBERS

### (UPLIFT LOADING SHALL USE COMPONENTS & CLADDING WIND FORCES.) WOOD TRUSSES SHALL BE BRACED AND ERECTED IN ACCORDANCE WITH THE 2008 EDITION OF THE BUILDING COMPONENT SAFETY INFORMATION GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING & WEB MEMBERS:

WOOD ROOF TRUSSES, AND FLOOR TRUSSES

BRACING OF METAL PLATE CONNECTED WOOD TRUSSES, JOINTLY PRODUCED BY WTCA AND TRUSS PLATE INSTITUTE. BRACING IN THE PLANE OF THE

ARE TO BE DESIGNED FOR THE WOOD FABRICATOR BY A PROFESSIONAL

SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA. SEALED

CALCULATIONS AND LAYOUT DRAWINGS ARE TO BE SUBMITTED FOR

APPROVAL. TRUSS FABRICATOR TO PROVIDE ALL TRUSS-TO-TRUSS

HANGERS AS REQUIRED TO RESIST GRAVITY AND UPLIFT REACTION.

- A. THE TRUSS FABRICATOR SHALL PROVIDE AND LOCATE CONTINUOUS LATERAL BRACING FOR EACH TRUSS WEB MEMBER AS REQUIRED.
- B. LATERAL BRACING SHALL BE RESTRAINED BY DIAGONAL BRACING (MIN. 2" THICK NOMINAL LUMBER). THIS BRACING IS TO BE CONTINUOUS.
- C. A MINIMUM OF TWO ROWS OF DIAGONAL BRACING IS REQUIRED, ONE AT EACH VERTICAL WEB MEMBER CLOSEST TO BEARING LOCATIONS.
- 3. THE BOTTOM CHORDS SHALL BE BRACED BY CONTINUOUS LATERAL BRACING SPACED AT 8'-0" ON CENTER WITH A CEILING ATTACHED TO BOTTOM OF TRUSSES. IF NO CEILING IS ATTACHED TO BOTTOM OF TRUSSES, BRACING SHALL BE MINIMUM 2X4 @ 36" ON CENTER NAILED TO THE TOP OF THE BOTTOM CHORD.  $\,$  DIAGONALS PLACED AT 45 DEGREES TO THE LATERAL BRACES SHALL BE LOCATED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20 FOOT INTERVALS.

### 4. TOP CHORD BRACING:

WOOD TRUSSES

- A. IF PLYWOOD DECKING IS APPLIED DIRECTLY TO TOP CHORD, PROPERLY LAPPED AND NAILED TO DEVELOP DIAPHRAGM ACTION, BRACING IS NOT
- B. IF PURLINS ARE USED, DIAGONAL TOP CHORD BRACING IS REQUIRED AT EACH END. IF BUILDING EXCEEDS 60 FEET IN LENGTH, DIAGONAL BRACING SHOULD BE REPEATED AT 20-FOOT INTERVALS.
- DO NOT CUT, DRILL OR NOTCH ROOF OR FLOOR TRUSSES WITHOUT WRITTEN APPROVAL FROM TRUSS ENGINEER. COORDINATE MECHANICAL, ELECTRICAL, PLUMBING, ETC. SIZES AND LOCATIONS WITH TRUSS LAYOUT PRIOR TO
- TRUSSES SHALL BE MANUFACTURED & DESIGNED IN ACCORDANCE WITH NATIONAL DESIGN SPECIFICATION(S) FOR WOOD CONSTRUCTION, AF & PA, AND NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI 1-2007, AND THE LOCAL CODE JURISDICTIONS.
- DO NOT OVERLOAD FLOOR OR ROOF TRUSSES WITH BUILDING MATERIALS.
- CONNECTOR PLATES SHALL BE MANUFACTURED BY A WTCA MEMBER PLATE SUPPLIER AND SHALL MEET OR EXCEED ASTM A653/A653M REQUIREMENTS FOR STRUCTURAL STEEL. ALL TRUSS TO TRUSS CONNECTIONS SHALL BE DESIGNED BY THE TRUSS MANUFACTURER, AND INCLUDED IN THE DESIGN

### SHOP DRAWINGS

- THE SHOP DRAWINGS SHALL BE SUBMITTED IN COMPLETE PACKAGES FOR THE FOLLOWING:
- CONCRETE REINFORCING STEEL AND WELDED WIRE FABRIC
- LUMBER FRAMING PRODUCTS
- PRE-ENGINEERED WOOD TRUSSES
- PRE-ENGINEERED CONTINUOUS ROD HOLD DOWN SYSTEM FOR SHEAR WALLS AND UNIFORM ROOF UPLIFT RODS
- PRE-ENGINEERED ITEMS SHALL BE SUBMITTED SIGNED AND SEALED BY A SPECIALTY ENGINEER REGISTERED IN THE STATE OF FLORIDA.

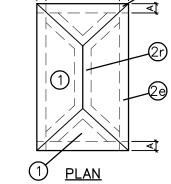
ROOF WIND PRESSURE (PSF)					
ROOF AREA					
1	2e	2r	3		
+17.2/-33.4	+17.2/-41.1	+17.2/-52.5	+17.2/-41.1		

- 1. +: INDICATES WIND PRESSURE
- -: INDICATES WIND SUCTION 2. WALL DISTANCE A = 4.8 FT

EFFECTIVE WIND AREA

(COMPONENTS AND CLADDING) 3. FOR EFFECTIVE WIND AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED, OTHERWISE USE THE

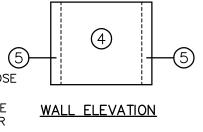
LOAD ASSOCIATED WITH THE LOWER



### DOOR & WINDOW WIND PRESSURE (PSF) Vasd COMPONENTS AND CLADDING-EXPOSURE B WALL AREA SIZE OF WALL OPENING (SQ. FT.) 4 +26.7/-28.9 +26.7/-35.7 20 +25.5/-27.7 +25.5/-33.3 50 +23.9/-26.1 +23.9/-30.1 100 +22.7/-24.9 +22.7/-27.7

# NOTES:

- 1. +: INDICATES WIND PRESSURE -: INDICATES WIND SUCTION
- 2. WALL DISTANCE A = 4.8 FT(COMPONENTS AND CLADDING)
- 3. FOR WALL OPENINGS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED, OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER WALL OPENING AREA.



# DESIGN LOAD SCHEEPS SHOWN ARE O GOOD COMPHANO TTOM CHORD DEAD 911 - Nancy Cancell- Approved - 11/ Building - Bruce Warwick - Approved -[2/1 THETAL DEAD CONDUCT OTAL LIVE LOAD (TOP CHORD) 40 20 100

Zoning - Darci Dmitrenko-Wood - Approved Conditional

WALL FRAMING SCHEDULE					
LOCATION	SYP #2 TYP.				
GROUND FLOOR (INT)	2x6 @ 16" O.C.				
GROUND FLOOR (INT)	2x4 @ 16" O.C.				
SECOND FLOOR	2x4 @ 16" O.C.				

\* FINGER JOINTED STUDS ARE NOT ALLOWED.

### FOOTING SCHEDULE REINFORCING WxDxL 18" x 20" DEEP x CON (2)#5 CONT. BOTTOM 24" x 16" DEEP x CON (3)#5 CONT. BOTTOM (2)#5 CONT. BOTTOM |18" × 16" DEEP × CON TS25 2'-6"x 20"x 2'-6" (3)#5 EACH WAY BOTTOM

1. FOOTING SIZES SHOWN SHALL BE USED FOR CONVENTIONAL MONOLITHC FOUNDATIONS AND FOR POST TENSION SLAB FOUNDATIONS

	MASONRY	WALL	SCHEDULE		
MARK	THICKNES	SS	REINFORCING		
MW1	8" CMU		#5 @ 40" O.C.		
MW2	8" CMU		#5 @ 8" O.C.		

# MASONRY WALL NOTES:

- WALL SEGMENTS SHALL BE REINFORCED WITH 9 GA. GALVANIZED LATERAL REINFORCING @ 16" O.C. HORIZ. EXTEND REINFORCING
- 6" INTO POURED ELEMENTS AND AROUND ENCASED STEEL ADJACENT TO ANY EXTERIOR/INTERIOR 8" WALL OPENING, PLACE 1 #6 VERTICAL IN CELL GROUTED SOLID, FULL HEIGHT. U.N.O. ON PLAN. 3. ALL MASONRY REINFORCED CELLS SHALL BE FILLED WITH

	HEADER SCHEDULE					
MARK	SIZE (IN.)	BEARING STUDS				
H-1	(2) 2 X 6	(1.5") B & (2) FULL HEIGHT				
H-2	(3) 2 X 6	(1.5") B & (2) FULL HEIGHT				
H-3	(3) 2 X 10	(3") B & (2) FULL HEIGHT				
H-4	(2)1.5 X 7.25 MICROLLAM LVL 2.0E-2600Fb	(4.5") B & (2) FULL HEIGHT				
H-5	(2)1.75 X 7.25 PARALLAM PSL	(4.5") B & (2) FULL HEIGHT				

1. B INDICATES BEARING STUDS, TOTAL WIDTH OF SUPPORT 2. PROVIDE 1/2" INSULATION BOARDS OR PLYWOOD BETWEEN EXTERIOR HEADERS TO FLUSH WITH WALL WIDTH.

ZONE

(1)

(5)

(4)

ROOF (2) (3)

ROOF

WALL

WALL

2.2E-2900Fb

PLYWOOD SHEATHING NAILING SCHEDULE

ROOF AND WALL (NOT FOR SHEAR WALLS)

NAIL SPACING

6" @ EDGES, 12" @ INTERMEDIATE SUPPORTS

6" @ EDGES. 12" @ INTERMEDIATE SUPPORTS

### "SIMPSON" TRUSS TIE DOWN (U.N.O.) ALLOWABLE ANCHOR LOAD LOAD TYPE TO TRUSS TO PLATE TO STUD UPLIFT PARALLEL PERPEND TO WALL 110 # H2.5A 5-8d 5-8d 5-8d 600 # H10A\*\* 9-10dx1 1/2" 9-10dx1 1/2 -10dx1 1, 1340 # 285 # 1340 # 2-10dx1 1/2" 0-10dx1 1/2-10dx1 1, 285 # 3965 # 22-10d 26-16d 26-16d 12-SDS x 2 1/2" \*WHEN G.T. IS ABOVE HEADER, PROVIDE AN ST2215 A EACH SIDE OF HEADER TO BEARING STUDS. PROVIDE (2) CS18 ACROSS FLOORS AND AN HDU2 AT FOUNDATION FOR EACH SIDE 985 # H7Z 1810 # 9-10dx1 1/2" | 9-10dx1 1/2"| 9-10dx1 1/3

\*\*WHEN CONNECTOR  $\langle \mathbf{B} \rangle$  DOES NOT FIT DUE TO TRUSS PRESS PLATE INTERFERENCE, SUBSTITUTE  $\langle \mathbf{C} \rangle$  CONNECTOR

6" @ EDGES, 12" @ INTERMEDIATE SUPPORTS 6" @ EDGES, 12" @ INTERMEDIATE SUPPORTS CORNER DISTANCE, A = 4.8 FEET

NAIL SIZE

10d (RING SHANK)

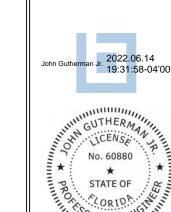
10d (RING SHANK)

STRUCTURAL **GUTHERMAN STRUCTURAL INC.** 130 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 P: 407.951.8065 LIC. # 28863

**ELEVEN** 220 SANDLEWOOD TR WINTER PARK, FL. 32789 407.519.9157

PLAN REVISION

DATES:



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HIS ITEM HAS BEEN

**ELECTRONICALLY SIGNED AND** 

9 34 7 <u>\_</u> S ownhome: Reserve  $\Phi$ SSe( arcoo

CONSTRUCTION SHALL BE PER NOTES ONLY, ANY DISCREPENCIES FOR CLARIFICATION!

lhermar

MARK	LOCATION	INTERIOR TENANT WALL		AIR-GAP. NO SHEATHING			BASE CONNECTION AT B.O. SHEAR WALL			
		SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	UPLIFT ANCHOR	BOTTOM SILL PLATE ATTACHMENT	# OF STUDS AT WALL ENDS
	GROUND TO 2ND	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	-	-	-	HDU4	1/2"ø ANCHOR BOLTS 6" EMBED AT 48" O.C.	(3)2X4
SW-1	2ND TO ROOF	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	-	-	-	(2) CS20	(2) 0.131ø NAILS AT 48" O.C.	(3)2X4
MARK	LOCATION	EXTERIOR WALL			INTERIOR SIDE			BASE CONNECTION AT B.O. SHEAR WALL		
		SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	UPLIFT ANCHOR	BOTTOM SILL PLATE ATTACHMENT	# OF STUDS AT WALL ENDS
	СМИ	_	_	-	_	-	_	_	-	_
SW-2	2ND TO ROOF	7/16" PLYWOOD	8d AT 6" O.C.	8d AT 12" O.C.	5/8" TYPE <u>"</u> X" GYPSUM SHEATHING BOARD	6d COO <u>L</u> ER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	SIMPSON HDU4	PER TYP. WALL FRAMING ELEVATION S4.1	(3)2X4
MARK	LOCATION	EXTERIOR SIDE			INTERIOR UNIT SIDE			BASE CONNECTION AT B.O. SHEAR WALL		
MARK		SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	UPLIFT ANCHOR	BOTTOM SILL PLATE ATTACHMENT	# OF STUDS AT WALL ENDS
	СМИ	_	_	-	_	-	_	_	-	-
SW-3	2ND TO ROOF	7/16" PLYWOOD	8d AT 6" O.C.	8d AT 12" O.C.	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	SIMPSON HDU4	PER TYP. WALL FRAMING ELEVATION S4.1	(3)2X4
MARK	LOCATION	TION INTERIOR WALL (BOTH SIDES OF WALL)					BASE CONNECTION AT B.O. SHEAR WALL			
MARK		SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	SHEATHING MATERIAL	EDGE NAILING	FIELD NAILING	UPLIFT ANCHOR	BOTTOM SILL PLATE ATTACHMENT	# OF STUDS AT WALL ENDS
	GROUND TO 2ND	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	SIMPSON HDU4	1/2"ø ANCHOR BOLTS 6" EMBED AT 16" O.C.	(3)2X4
SW-4	2ND TO ROOF	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	5/8" TYPE "X" GYPSUM SHEATHING BOARD	6d COOLER OR WALLBOARD NAIL @ 4" O.C.	6d COOLER OR WALLBOARD NAIL @ 7" O.C.	SIMPSON HDU2	(2) 0.131ø NAILS AT 16" O.C.	(3)2X4



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P23-011490 4/16/2024

**Building Office** 

911 - Nancy Cancel - Approved - 11/21/2023 Building - Bruce Warwick - Approved - 2/15/2024

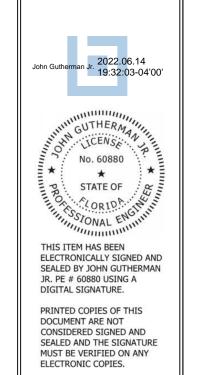
Development - Alexander Menna - Approved Conditionally - 2/14/2024

Electrical - Bradley Smith - Approved Conditionally - 1/16/2024

Zoning - Darci Dmitrenko-Wood - Approved Conditionally - 1/16/2024

PLAN REVISION DATES:

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WINTER PARK, FL. 32789
407.519.9157



Narcoossee Reserve - SDP 20-0025

Townhomes

Thompkins Dr, Osceola County, FL 34771

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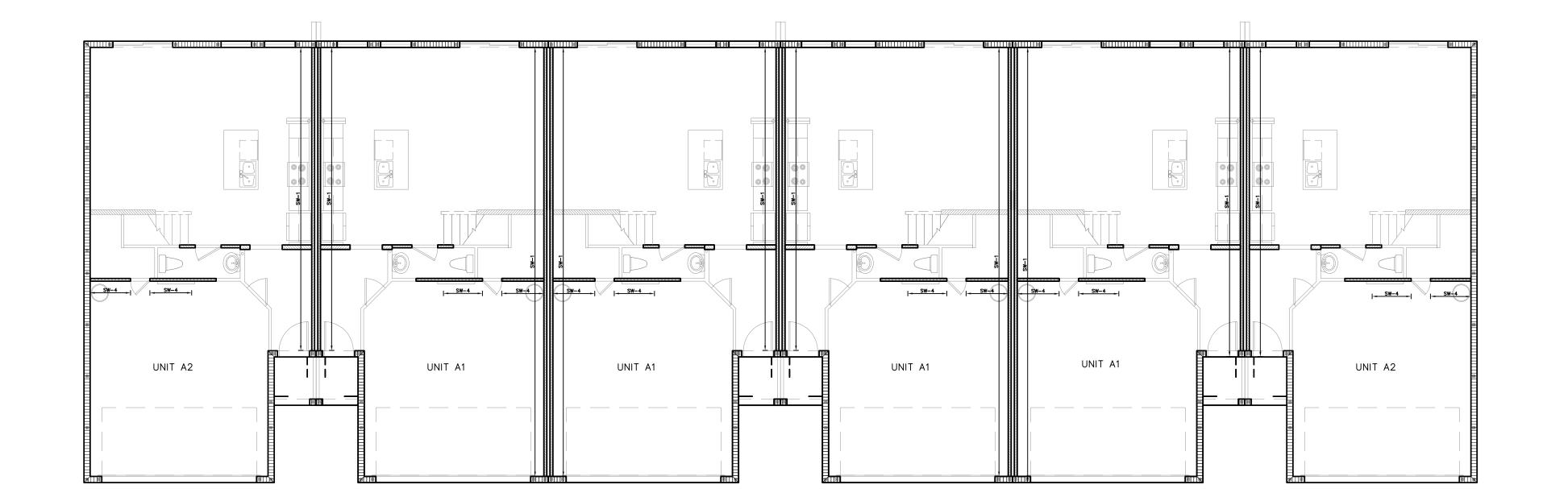
Zoning - Darci Dmitrenko-Wood - Approved Conditionally - 1/16/2024

LES LEVEL ELEVEN STUDIO 220 SANDLEWOOD TRL WINTER PARK, FL. 32789 407.519.9157

PLAN REVISION DATES:

BLDG 1 OVERALL SECOND FLOOR FRAMING PLAN

1/8" = 1'-0"



BLDG 1 OVERALL GROUND FLOOR PLAN

OVERALL PLAN NOTES:

1. SEE SO.2 FOR SHEAR WALL SCHEDULE.



GUTHERMAN STRUCTURAL INC. 130 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 P: 407.951.8065 LIC. # 28863

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Building - Bruce Warwick - Approved - 2/15/2024

UNIT A1 UNIT A1 UNIT A1 UNIT A2 UNIT A2

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> > 20-0025

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**Townhomes** Dr, Osceola County, <sup>F</sup>

4/16/2024

Building Office

911 - Nancy Carcel - Approved - 11/21/2023 Building - Bruce Warwick - Approved - 2/15/2024 velopment - Alexander Menia - Approved Conditionally - 2/14/2024 1/16/2024 

UNIT A1 UNIT A1 UNIT A1 UNIT A1 UNIT A2

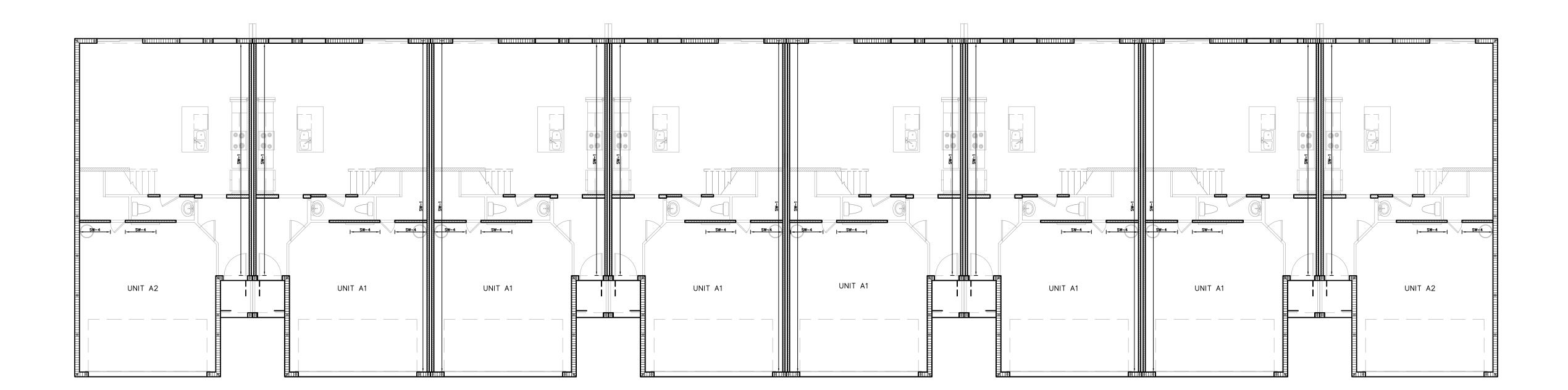
BLDG 2 OVERALL SECOND FLOOR FRAMING PLAN

1/8" = 1'-0"

UNIT A2

UNIT A1

UNIT A1



BLDG 2 OVERALL GROUND FLOOR PLAN

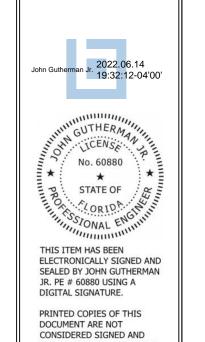
OVERALL PLAN NOTES:

1. SEE SO.2 FOR SHEAR WALL SCHEDULE.

DATES:

PLAN REVISION

LEVEL ELEVEN STUDIO 220 SANDLEWOOD TRL WINTER PARK, FL. 32789 407.519.9157



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20-0025 34771 -SDP Townhomes

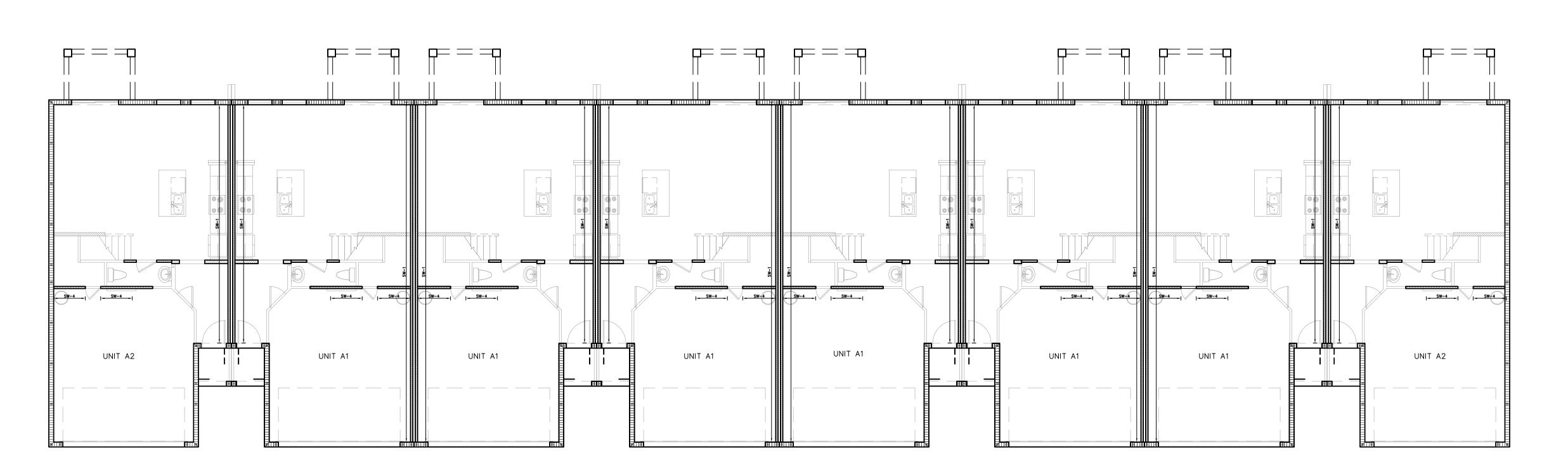
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GUTHERMAN STRUCTURAL INC. 130 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 P: 407.951.8065 LIC. # 28863

BLDG 3 OVERALL SECOND FLOOR FRAMING PLAN

1/8" = 1'-0"



BLDG 3 OVERALL GROUND FLOOR PLAN

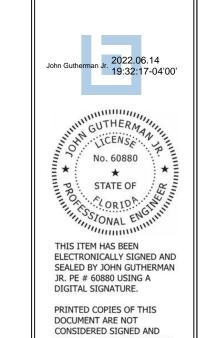
1/8" = 1'-0"

OVERALL PLAN NOTES:

1. SEE SO.2 FOR SHEAR WALL SCHEDULE.



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P23-011490 4/16/2024

911 - Nancy Cancel - Approved - 11/21/2023

mitrenko-Wood - Approved Conditionally

Development - Alexander Menna - Approved Conditionally

4" CONC SLAB ON GRADE
W/ 6x6, W1.4 x W1.4 WWF
ON TO MIL VAPOR BARRIER
ON COMPACTED TREATED
SUB-SOIL (TYPICAL)

◆ EL. 0'-0"

T.O. SLAB

Electrical - Bradley Smith - Approved Conditionally

MW-2

**Building Office** 

1/16/2024





PLAN REVISION

DATES:

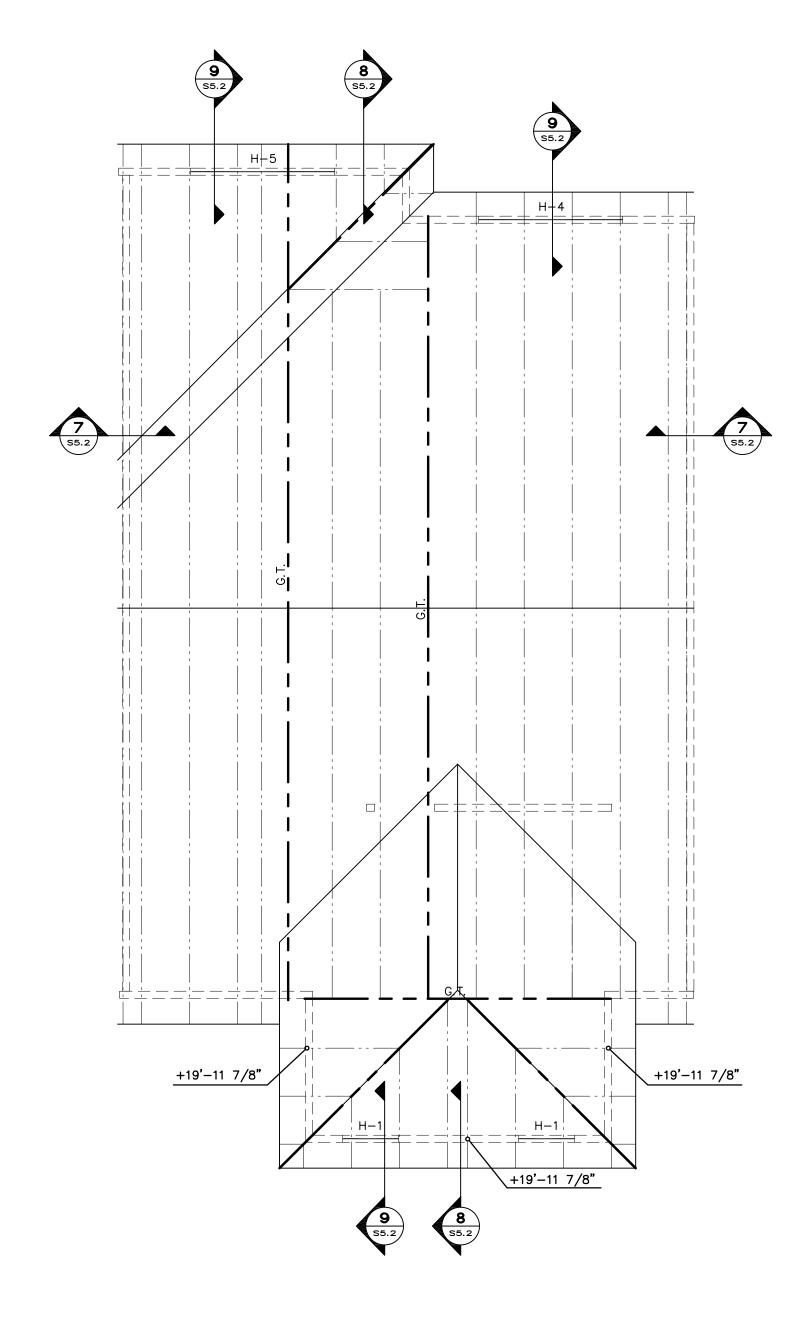


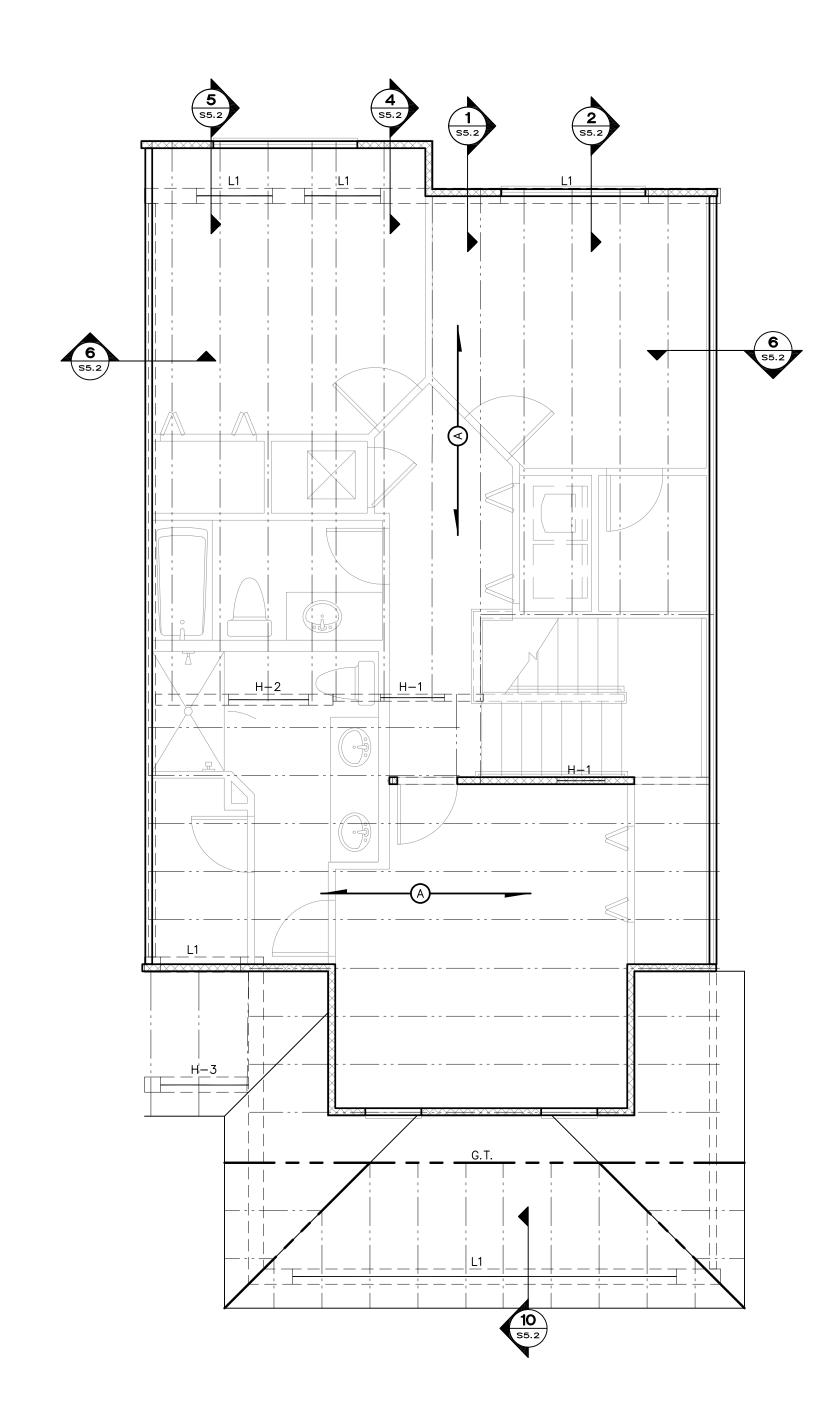
20-002  $\Box$ SD **Townhomes** or, Osceola Coun Reserve Narcoossee

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Matt Phelps

FI. License No. AR98401





# UNIT A1 2ND FLOOR FRAMING PLAN

# **ROOF FRAMING NOTES:**

- 1. ROOF BEARING ELEVATION IS +18'-11 7/8" U.N.O.
- 2. ROOF WOOD TRUSSES SHALL BE SPACED 2'-0" O.C. MAX.
- 3. G.T. INDICATES ROOF GIRDER TRUSS BY TRUSS MANUFACTURER.
- 4. H-# INDICATES WOOD HEADER, SEE SCHEDULE ON SHEET SO.1.
- 5. RUNS FOR MECH'L, ELECTRICAL AND PLUMBING (MEP) THROUGH PRE-FABRICATED TRUSSES MUST BE COORDINATED WITH THE TRUSS DESIGNER AND MEP DWGS. (PIPING, DUCT RUNS, ETC.) FIRE SPRINKLER RUNS MUST ALSO BE COORDINATED.
- 6. ALL ROOF TRUSS UPLIFT CONNECTORS SHALL BE H10A U.N.O. ALL OVER FRAMED TRUSSES SHALL HAVE SIMPSON VTC 6" FROM EACH END, AND 48"O.C. TO TRUSSES BELOW

# 2ND FLOOR FRAMING PLAN NOTES:

- 1. TRUSS BEARING ELEVATION IS + 9'-4" U.N.O.
- 2. H-# INDICATES WOOD HEADER, SEE SCHEDULE ON SHEET SO.1
- 3. SEE SO.1 FOR WALL FRAMING SCHEDULE.
- 4. RUNS FOR MECH'L, ELECTRICAL AND PLUMBING (MEP) THROUGH PRE-FABRICATED TRUSSES MUST BE COORDINATED WITH THE TRUSS DESIGNER AND MEP DWGS. (PIPING, DUCT RUNS, ETC.) FIRE SPRINKLER RUNS MUST ALSO BE COORDINATED.
- 5. ————— DENOTES 18" FLOOR FRAMING AT 24" O.C. (TRUSS SPAN DIRECTION)
- 6. L# INDICATES MASONRY LINTEL, SEE SCHEDULE

# FOUNDATION PLAN NOTES:

MW-2

- 1. ELEV.  $\pm 0'-0"$  IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- 2. VERIFY SLOPES AND STEPS WITH ARCH'L PRIOR TO CONSTRUCTION. SEE TYPICAL STEP DETAIL ON S4.1
- 2. G.C. TO PROVIDE SLAB ON GRADE CONTROL JOINTS (C.J.) FOR ALL SLAB AT 12'-0" O.C. MAX. TYP. FOR WALL AND SLAB CONTROL JOINTS. SEE S4.1 FOR DETAILS AND MORE INFO.
- 3. T.E. INDICATES THICKENED EDGE SEE S4.1 FOR DETAILS.
- 4. TS#, WF# INDICATE MONOLITHIC CONCRETE FOOTINGS, SEE SCHEDULE ON SO.1
- 5. ALL CMU WALLS TO BE MW-1 U.N.O.

**Reviewed for** 

**Code Compliance** 

P23-011490

4/16/2024

**Building Office** 

1/16/2024

911 - Nancy Cancel - Approved - 11/21/2023

mitrenko-Wood - Approved Conditionally

MW-2

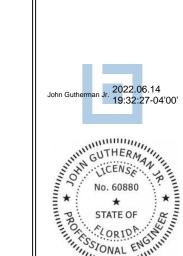
Development - Alexander Menna - Approved Conditionally - 2/14/2024

4" CONC SLAB ON GRADE W/6x6, W1.4 x W1.4 WWF ON TO MIL VAPOR BARRIER ON COMPACTED TREATED SUB-SOIL (TYPICAL)

◆ EL. 0'-0"
T.O. SLAB

Electrical - Bradley Smith - Approved Conditionally

LEVEL ELEVEN STUDIO 220 SANDLEWOOD TRL WINTER PARK, FL. 32789 407.519.9157



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# **ROOF FRAMING NOTES:**

+19'-11 7/8"

- 1. ROOF BEARING ELEVATION IS +18'-11 7/8" U.N.O.
- 2. ROOF WOOD TRUSSES SHALL BE SPACED 2'-0" O.C. MAX.
- 3. G.T. INDICATES ROOF GIRDER TRUSS BY TRUSS MANUFACTURER.
- 4. H-# INDICATES WOOD HEADER, SEE SCHEDULE ON SHEET SO.1.
- 5. RUNS FOR MECH'L, ELECTRICAL AND PLUMBING (MEP) THROUGH PRE-FABRICATED TRUSSES MUST BE COORDINATED WITH THE TRUSS DESIGNER AND MEP DWGS. (PIPING, DUCT RUNS, ETC.) FIRE SPRINKLER RUNS MUST ALSO BE COORDINATED.

\ +19'-11 7/8"

+19'-11 7/8"

6. ALL ROOF TRUSS UPLIFT CONNECTORS SHALL BE H10A U.N.O. ALL OVER FRAMED TRUSSES SHALL HAVE SIMPSON VTC 6" FROM EACH END, AND 48"O.C. TO TRUSSES BELOW

# UNIT A2 2ND FLOOR FRAMING PLAN

# 2ND FLOOR FRAMING PLAN NOTES:

- 1. TRUSS BEARING ELEVATION IS + 9'-4" U.N.O.
- 2. H-# INDICATES WOOD HEADER, SEE SCHEDULE ON SHEET SO.1
- 3. SEE SO.1 FOR WALL FRAMING SCHEDULE.
- 4. RUNS FOR MECH'L, ELECTRICAL AND PLUMBING (MEP) THROUGH PRE-FABRICATED TRUSSES MUST BE COORDINATED WITH THE TRUSS DESIGNER AND MEP DWGS. (PIPING, DUCT RUNS, ETC.) FIRE SPRINKLER RUNS MUST ALSO BE COORDINATED.
- 5. (A) DENOTES 18" FLOOR FRAMING AT 24" O.C. (TRUSS SPAN DIRECTION)
- 6. L# INDICATES MASONRY LINTEL, SEE SCHEDULE



# FOUNDATION PLAN NOTES:

MW-2

- 1. ELEV.  $\pm 0$ '-0" IS REFERENCE ONLY. SEE CIVIL FOR TRUE NAVD ELEVATION.
- 2. VERIFY SLOPES AND STEPS WITH ARCH'L PRIOR TO CONSTRUCTION. SEE TYPICAL STEP DETAIL ON S4.1
- 2. G.C. TO PROVIDE SLAB ON GRADE CONTROL JOINTS (C.J.) FOR ALL SLAB AT 12'-0" O.C. MAX. TYP. FOR WALL AND SLAB CONTROL JOINTS. SEE S4.1 FOR DETAILS AND MORE INFO.
- 3. T.E. INDICATES THICKENED EDGE SEE S4.1 FOR DETAILS.
- 4. TS#, WF# INDICATE MONOLITHIC CONCRETE FOOTINGS, SEE SCHEDULE ON SO.1
- 5. ALL CMU WALLS TO BE MW-1 U.N.O.





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P23-011490 4/16/2024

**Building Office** 

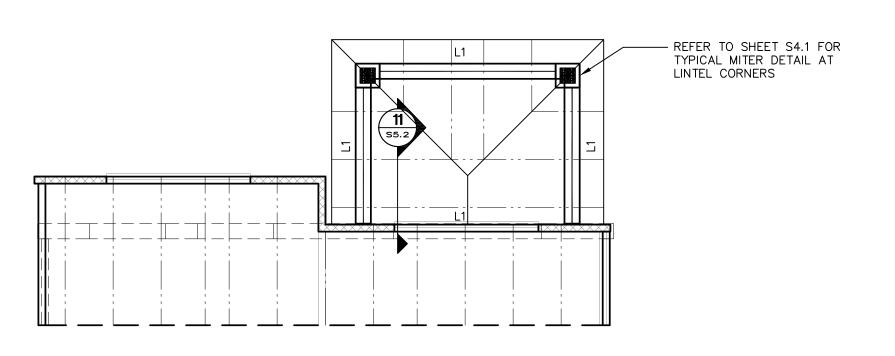
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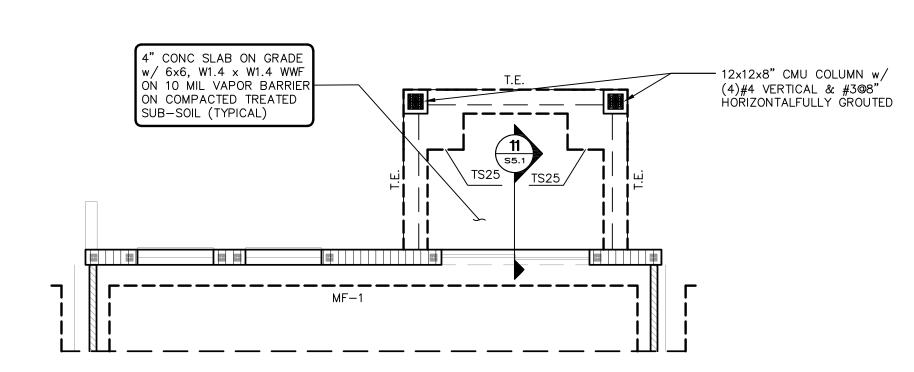
Building - Bruce Warwick - Approved - 2/15/2024

Development - Alexander Menna - Approved Conditionally - 2/14/2024

Electrical - Bradley Smith - Approved Conditionally - 1/16/2024

Zoning - Darci Dmitrenko-Wood - Approved Conditionally - 1/16/2024







# 2ND FLOOR FRAMING PLAN NOTES:

- 1. TRUSS BEARING ELEVATION IS + 9'-4" U.N.O.
- 2. H-# INDICATES WOOD HEADER, SEE SCHEDULE ON SHEET SO.1
- 3. SEE SO.1 FOR WALL FRAMING SCHEDULE.
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- 5. L# INDICATES MASONRY LINTEL, SEE SCHEDULE



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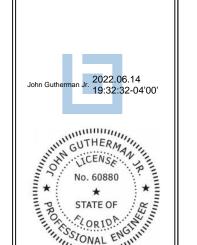


GUTHERMAN STRUCTURAL INC.

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LIC. # 28863

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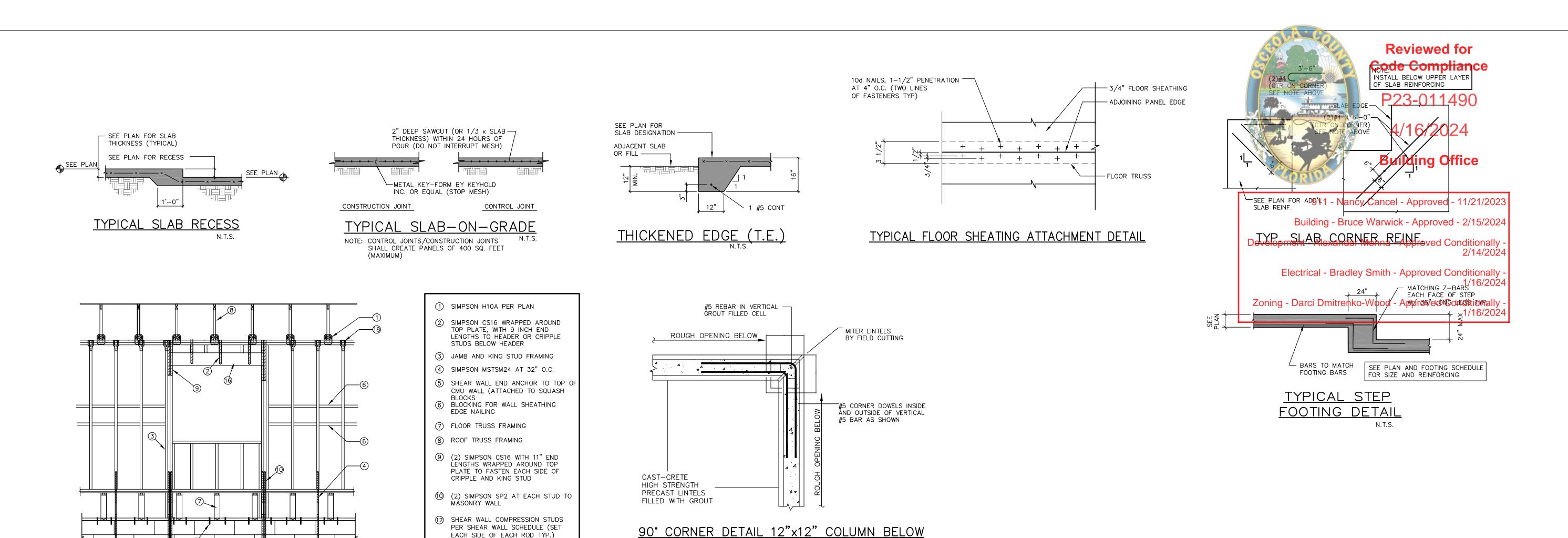
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Narcoossee Reserve - SDP 20-0025
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S3.1



CONSTRUCTION PAPER ON ONE SIDE ONLY

FOAM BACKING ROD

- FILL VOID SOLID WITH

FLOOR TRUSS

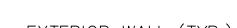
TYPICAL FLOOR SHEATING ATTACHMENT DETAIL

CAULK AND PREMOLDED

TERMINATE HORIZ.

REINF. AT THE JOINT

REINF. CELL OR COL.

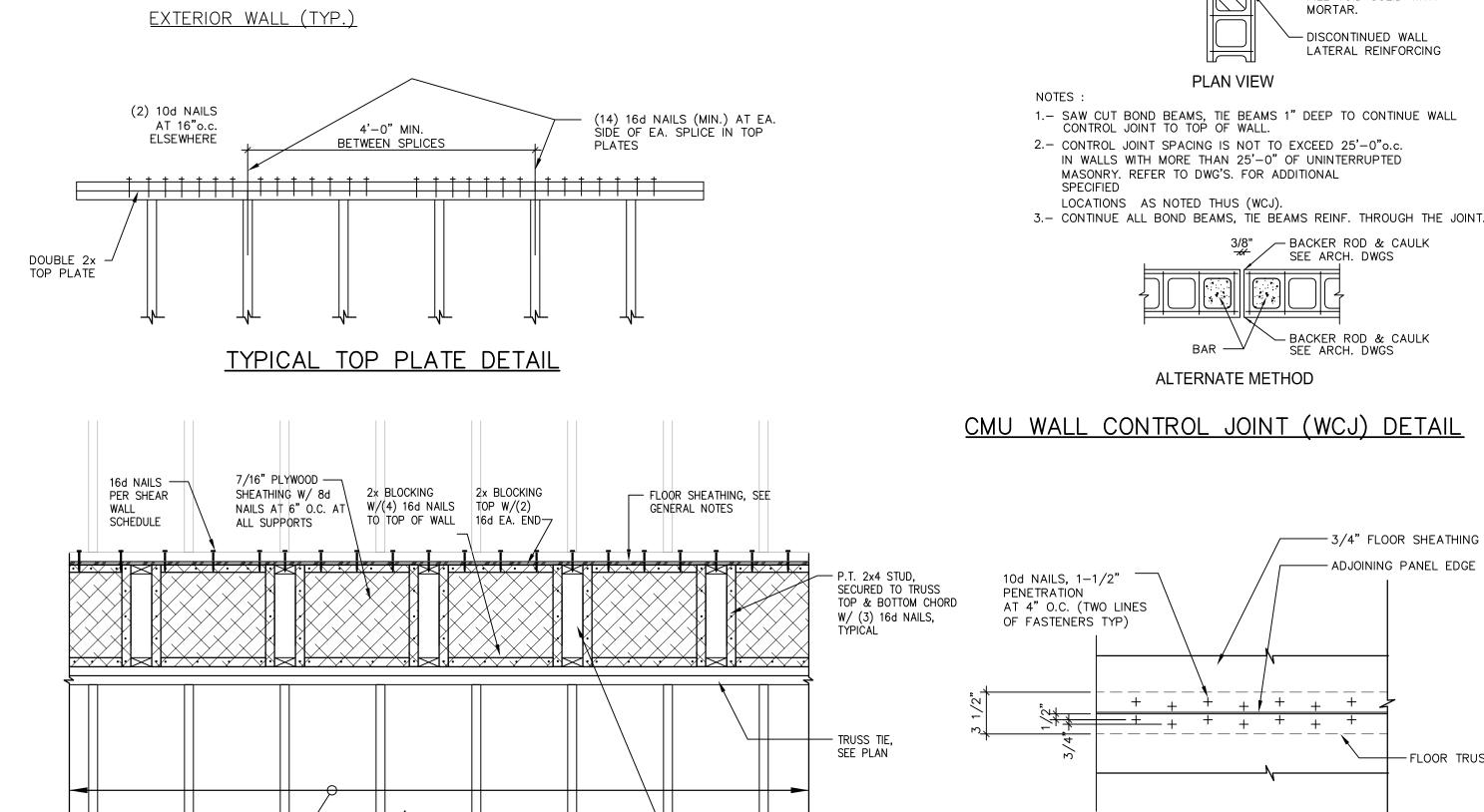


WOOD STUD WALL, SEE -

TYPICAL PLYWOOD FLOOR

BLOCKING AT SHEAR WALL DETAIL

PLAN AND NOTES



-wood roof Truss,

SEE PLAN

EACH SIDE OF EACH ROD TYP.)

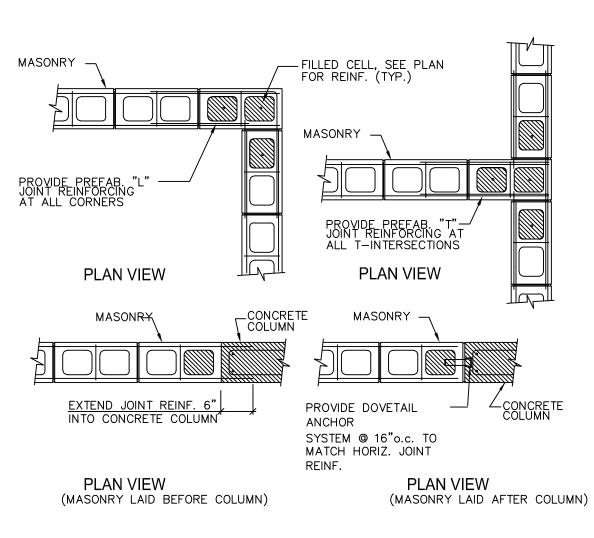
(3) SHEAR WALL COMPRESSION STUD

TITEN HD 1/2"ø TAPCON, (2) PER

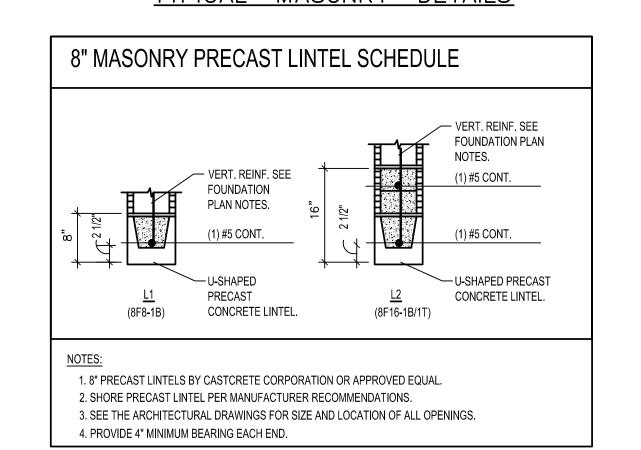
(18) SIMPSON SP2 AT EACH STUD

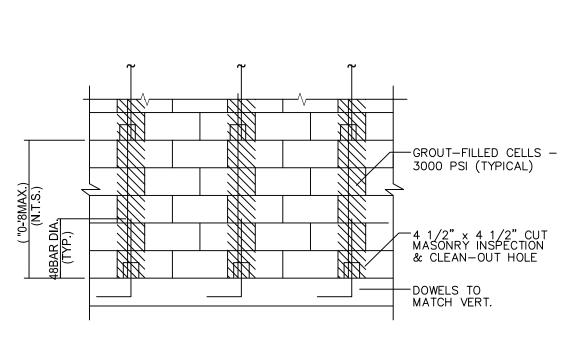
SQUASH BLOCKS

(6) OPENING HEADER



# TYPICAL MASONRY DETAILS





TYPICAL MASONRY FILLED CELL DETAIL

SDP **Fownhomes** Or, Osceola County Reserve Narcoossee I

PLAN REVISION

DATES:

LEVEL

ELEVEN

STUDIO

220 SANDLEWOOD TRL WINTER PARK, FL. 32789 407.519.9157

John Gutherman Jr. 2022.06.14 19:32:37-04'00

No. 60880

STATE OF

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND

JR. PE # 60880 USING A

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND

MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

20-0025

SEALED AND THE SIGNATURE

3477

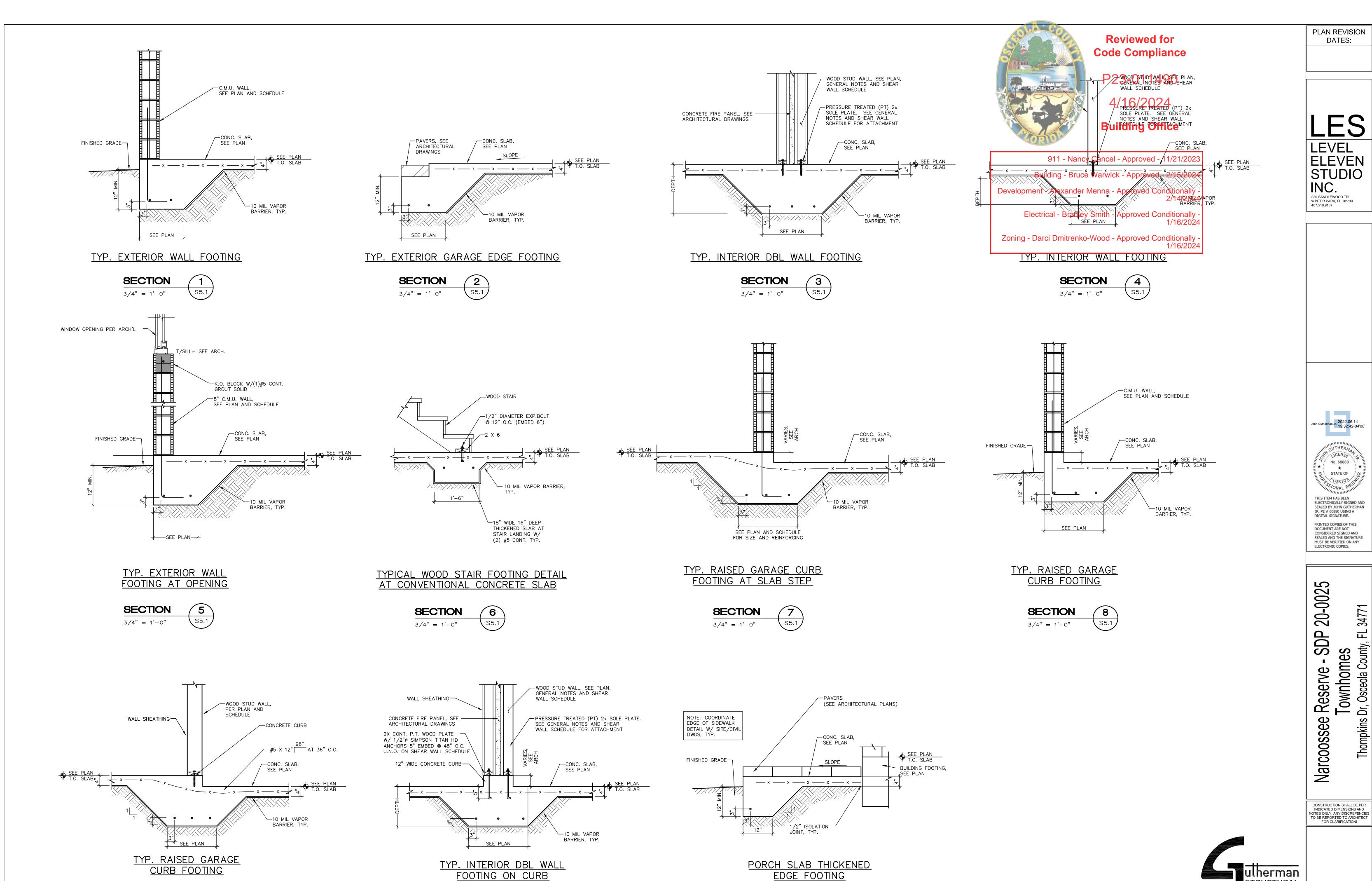
DIGITAL SIGNATURE.

SEALED BY JOHN GUTHERMAN

INC.

CONSTRUCTION SHALL BE PER INDICATED DIMENSIONS AND NOTES ONLY, ANY DISCREPENCIES TO BE REPORTED TO ARCHITECT FOR CLARIFICATION!

GUTHERMAN STRUCTURAL INC. 130 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 P: 407.951.8065 LIC. # 28863



SECTION

3/4"=1'-0"

10

S5.1

SECTION

3/4" = 1'-0"

S5.1

**SECTION** 

3/4"=1'-0"

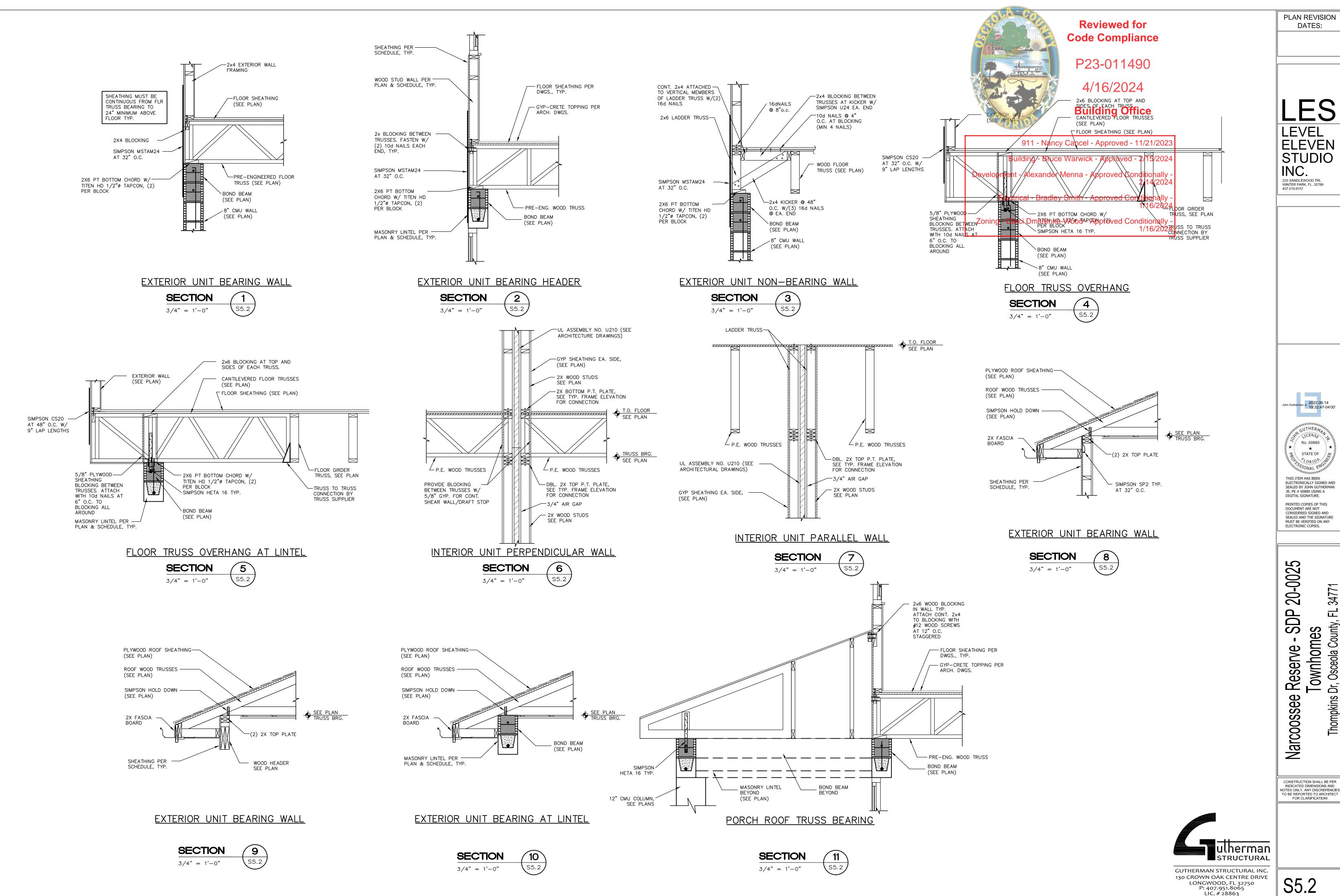
S5.1

GUTHERMAN STRUCTURAL INC. 130 CROWN OAK CENTRE DRIVE LONGWOOD, FL 32750 P: 407.951.8065

LIC. # 28863

S5.1

34771



Townhomes
Dr, Osceola County