

# DRAWING INDEX

CO COVER AND INDEX SHEET

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Code references are summaries of code sections See FBCR (Current Version) for complete information.

Scan QR Code for the complete FBCR



## TERMITE PROTECTION:

1. PENETRATION PROTECTIVE SLEEVES AROUND PIPING PENETRATING CONCRETE SLAB-ON-GRADE FLOORS SHALL NOT BE OF CELLULOSE CONTAINING MATERIALS. IF SOIL TREATMENT IS USED FOR SUBTERRANEAN TERMITE PROTECTION, THE SLEEVE SHALL HAVE A MAXIMUM WALL THICKNESS OF 0.010 INCH, AND BE SEALED WITHIN THE SLAB USING A NON-CORROSIVE CLAMPING DEVICE TO ELIMINATE THE ANNULAR SPACE BETWEEN THE PIPE AND THE SLEEVE. NO TERMITICIDES SHALL BE APPLIED INSIDE THE SLEEVE.
2. PROTECTION AGAINST DECAY AND TERMITES - CONDENSATE LINES, IRRIGATION SPRINKLER SYSTEM RISERS FOR SPRAY HEADS, AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1 FOOT (305 mm) AWAY FROM THE STRUCTURE SIDEWALL, WHETHER BY UNDERGROUND PIPING, TAIL EXTENSIONS, OR SPLASH BLOCKS. GUTTERS WITH DOWNSPOUTS ARE REQUIRED ON ALL BUILDINGS WITH EAVES OF LESS THAN 6 INCHES (152 mm) HORIZONTAL PROJECTION EXCEPT FOR GABLE END RAKES OR ON A ROOF ABOVE ANOTHER ROOF.

## EXTERIOR PLASTER

**R703.7 EXTERIOR PLASTER.** INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 OR ASTM C1787 AND THE PROVISIONS OF THIS CODE.

### R703.7.1 LATH.

LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 1/2-INCH-LONG (38 MM), 11 GAGE WALS HAVING A 7/16-INCH (11.1 MM) HEAD, OR 1 1/2-INCH-LONG (22.2 MM), 16 GAGE STAPLES, SPACED IN ACCORDANCE WITH ASTM C1063 OR C1787, OR AS OTHERWISE APPROVED. (Refer to sheet SN1 for the engineered method for Lath attachment.)

### Lathing Accessories

Attachments shall be of corrosion-resistant materials. Wood Application: 16 Ga. x 1/2" long (34" x 1" crown) staples @ 6" O.C. vertically/horizontally into the framing members. Masonry Application: Concrete stud nail, 3/8" (10 mm) head dia. min. @ 6" O.C. vertically/horizontally or compatible adhesives, exterior gun-grade, construction adhesive with 1" dabs @ 6" O.C. or in a semi-continuous bead between the solid plaster base and the solid portion of the key attachment flange. Control Joints: Install control joint lathing accessories in conformance with ASTM C1063. Lath shall not be continuous through control joints, but shall be stopped and tied at each side. All accessories shall be in accordance with the latest ASTM C1063 & ASTM C1861.

### R703.7.2 PLASTER.

PLASTERING WITH CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHERE APPLIED OVER ANY TYPE OF CODE-APPROVED LATH AND SHALL BE NOT LESS THAN TWO COATS WHERE DIRECTLY APPLIED OVER MASONRY, CONCRETE, CLAY, BRICK, STONE OR TILE. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL, OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1(1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED. CEMENT PLASTER SHALL BE IN ACCORDANCE WITH ASTM C926. CEMENT MATERIALS SHALL BE IN ACCORDANCE WITH ONE OF THE FOLLOWING:

1. MASONRY CEMENT CONFORMING TO ASTM C91 TYPE M, S OR N.
  2. PORTLAND CEMENT CONFORMING TO ASTM C150 TYPE I, II OR III.
  3. BLENDED HYDRAULIC CEMENT CONFORMING TO ASTM C595 TYPE IP, IS(S<70), II, OR IT(S<70).
  4. HYDRAULIC CEMENT CONFORMING TO ASTM C1157 TYPE GU, HE, MS, HS OR MH.
  5. PLASTER (STUCCO) CEMENT CONFORMING TO ASTM C1328.
- THE PROPORTION OF AGGREGATE TO CEMENTITIOUS MATERIALS SHALL BE AS SET FORTH IN TABLE R702.1(3).

### R703.7.2.1 WEEP SCREEDS.

A MINIMUM 0.019-INCH (0.5 MM), (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED NOT LESS THAN 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

### R703.7.3 WATER-RESISTIVE BARRIERS.

WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.4) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS.

**NOTE:**  
FIRE SPRINKLERS ARE NOT REQUIRED FOR THIS BUILDING

## ROOF CRITERIA

12" OVERHANG U.N.O. / PLUMB CUT FASCIA / ROOF PITCH PER ELEVATION / SHINGLES U.N.O.

ROOF PITCH VARIES PER SUBDIVISIONS IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ROOF SLOPE REQUIREMENTS WITH TRUSS MANUFACTURER.

FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, AT GUTTERS, AT ALL CHANGES IN ROOF SLOPE OR DIRECTION, AND AROUND ROOF OPENINGS.

STEP FLASHING SHALL BE USED ON ALL ROOF TO WALL INTERSECTIONS ON RAKES.

ATTENTION CONTRACTORS ALL PENETRATIONS THROUGH ROOF ARE TO BE LOCATED ON REAR OR IF NECESSARY ON THE SIDE OF THE ROOF BEHIND THE FRONT FACADE ZONE.

## ASPHALT SHINGLES (IF APPLICABLE):

1. WIND RESISTANCE OF ASPHALT SHINGLES - ASPHALT SHINGLES SHALL BE INSTALLED IN ACCORDANCE WITH 2023 FBCR (8TH EDITION), SECTION R905.2.6 AND R905.2.6.1.
2. ASPHALT SHINGLES SHALL ONLY BE USED ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) AND LESS THAN FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12). TWO LAYERS OF UNDERLAYMENT COMPLYING WITH ASTM D226, TYPE II, ASTM D4869, TYPE III OR TYPE IV OR ASTM D8257 IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.
- FOR ROOF SLOPES FROM FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) AND GREATER, ONE LAYER OF UNDERLAYMENT COMPLYING WITH ASTM D226, TYPE II, ASTM D4869, TYPE III OR TYPE IV OR ASTM D8257 IS REQUIRED IN ACCORDANCE WITH SECTION R905.1.1.
3. AS AN ALTERNATIVE, THE ENTIRE ROOF DECK SHALL BE COVERED WITH AN APPROVED SELF-ADHERING POLYMER MODIFIED BITUMEN UNDERLAYMENT COMPLYING WITH ASTM D1970 INSTALLED IN ACCORDANCE WITH BOTH THE UNDERLAYMENT MANUFACTURER'S AND ROOF COVERING MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR THE DECK MATERIAL, ROOF VENTILATION CONFIGURATION AND CLIMATE EXPOSURE FOR THE ROOF COVERING TO BE INSTALLED. REFER TO R905.1.1.1.

## CLAY AND CONCRETE TILE (IF APPLICABLE):

1. PER SECTION R905.2.6 AND R905.2.6.1, THE INSTALLATION OF CLAY AND CONCRETE TILE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, OR RECOMMENDATIONS OF FRSA/TRI FLORIDA HIGH WIND CONCRETE AND CLAY ROOF TILE INSTALLATION MANUAL, 7TH EDITION WHERE THE VASD IS DETERMINED IN ACCORDANCE WITH SECTION R301.2.1.3.
- Unless otherwise noted, required underlayment shall comply with the underlayment manufacturer's installation instructions in accordance with the FRSA/TRI Florida High Wind Concrete and Clay Roof Tile Installation Manual, Seventh Edition where the VASD is determined in accordance with Section R301.2.1.3.

## DISCLAIMER

IT IS THE CONTRACTOR/SUB-CONTRACTORS RESPONSIBILITY TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEESEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED TO KEESEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. PRIOR TO CONSTRUCTION. NO EXCEPTIONS.



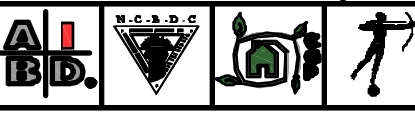
# PARK SQUARE HOMES 5-UNIT - ADAMS END UNITS TOWNHOMES

## REVISION LOG

REV#	DESCRIPTION OF REVISIONS	DATE	DRAWN BY	BROCHURE REQUIRED	ENGINEERING REQUIRED
1	CD'S	5-18-22	MC		
2	CHANGED ALL ENTRY DOORS TO 6 PANEL/OPTIONAL FRENCH DOORS	9-16-22	BA		
3	REVISIONS PER COUNTY COMMENTS	10-6-22	BA		
4	REMOVED +60" NOTE ON ALL ELECTRICAL PLANS	3-13-23	BA		
5	CHANGED BATHROOM NAMES PER CLIENT	3-15-23	KR		
6	REVISED PLANS PER RISK MITIGATION COMMENTS	4-11-23	BA		
7	MOVED ELECTRICAL PANEL INTO MASTER BEDROOM CLOSET	5-19-23	KR		
8	MOVED ELECTRICAL PANEL TO 2ND FLOOR HALL OF ADAMS UNIT	5-23-23	SD		
9	ADDED HEADROOM DIMENSION	6-6-23	MC		
10	UPDATED LATH NOTES PER FDS REQUEST 7-11-23	7-11-23	BA		
11	CHANGED GARAGE DOOR TO 3080	8-1-23	MC		
12	REVISED TRIM, DETAILS & KITCHEN ISLAND WALL	8-21-23	MC		
13	ADDED STORAGE SPACE IN GARAGE ATTIC	9-26-23	MC		
14	REMOVED INTERIOR DOOR HEIGHTS ON FLOOR PLANS	09-28-23	MC		
15	2023 CODE UPDATES	11-15-23	MC		
16	ADDED SIDING AND TRIM TO GABLE ENDS OF GARAGE	11-30-23	MC		
17	CLIENT CHANGES 12-18-23, UPDATED ELECTRICAL RISER 12-21-23	12-21-23	KR		
18	ADDED "ON Q" PANELS TO PLANS AND CHANGED AC PAD NOTES	01-24-24	MC		
19	ADDED OPTIONAL PANTRY FOR EMERSON PARK	01-24-24	MC		
20	CHANGED WALL SIZES AND AC CHASE LOCATIONS	01-29-24	KR		

## GENERAL NOTES

1. MISCELLANEOUS.
  - a. PLANS ARE TO SCALE AS NOTED, UNLESS SPECIFIED N.T.S. DO NOT SCALE PLANS.
  - b. ALL DIMENSIONS AND SITUATIONS PERTAINING TO THE BUILDING ARE TO BE VERIFIED PRIOR TO BEGINNING OF CONSTRUCTION. NOTIFY KEESEE ASSOCIATES OF ANY DISCREPANCIES.
  - c. ALL WALL THICKNESS DIMENSIONS AS SHOWN ARE NOMINAL. ACTUAL WALL THICKNESS DIMENSIONS MAY BE + OR -.
2. EXTERIOR WALLS.
  - a. ASSUME ALL EXTERIOR WALLS TO BE LOAD BEARING.
  - b. SEE FOUNDATION PLAN FOR CMU WALL REINFORCEMENT LOCATIONS.
  - c. INTERIOR SURFACE OF CMU WALL TO HAVE 1/2" GPBD APPLIED TO 1x P.T. VERTICAL FURRING BATTS SPACED @ 16" O.C. ATTACH FURRING TO CONCRETE WALL AS REQUIRED.
  - d. SECOND FLOOR EXTERIOR WALLS TO BE WOOD STUDS.
3. INTERIOR WALLS.
  - a. WOOD FRAMING:
    - i. ALL PLATES AND SLEEPERS ON CONCRETE SLAB, WHICH ARE IN DIRECT CONTACT WITH THE EARTH, SHALL BE PRESSURE TREATED.
    - ii. ALL INTERIOR WALL PLATES, OTHER THAN SHEAR WALLS, ON CONCRETE SLAB TO BE ATTACHED WITH POWER ACTUATED FASTENERS, SPACED @ 48" O.C. MAX.
    - iii. ALL WOOD BRG. INTERIOR PARTITIONS SHALL BE 2x4 STUDS SPACED @ 16" O.C. WITH DOUBLE TOP PLATE.
  - b. TOWNHOMES
    - iv. FIREBLOCKING/ DRAFTSTOPPING TO BE PROVIDED IN THE FLOOR/CEILING ASSEMBLIES ABOVE AND IN LINE WITH THE TENANT SEPARATION, WHEN TENANT SEPARATION WALLS DO NOT EXTEND TO THE FLOOR SHEATHING ABOVE AND IN OTHER LOCATIONS PER SECTION R302.11 OF THE 2023 FBCR 8TH EDITION. COMBUSTIBLE CONSTRUCTION.
    - v. FIREBLOCKING/ DRAFTSTOPPING TO BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE PER FBC R302.11, 8TH EDITION.
4. WOOD.
  - a. WOOD CONSTRUCTION SHALL CONFORM TO THE AMERICAN FOREST & PAPER ASSOCIATION (AF&PA) "NATIONAL SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION.
  - b. ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK IS TO BE PRESSURE TREATED.
  - c. SEE STRUCTURAL GENERAL NOTES.
5. FINISHES:
  - a. ACCESSIBLE SPACE UNDER STAIRS SHALL BE PROTECTED BY 1/2" GYPSUM BOARD.
  - b. ALL INTERIOR WALLS SHALL HAVE STANDARD 1/2" GYP BD, EXCEPT IN HIGH HUMIDITY AND WET AREAS.
  - c. HIGH HUMIDITY AND WET AREAS SHALL HAVE 1/2" DENSISHIELD TILE BACKER GYPSUM BOARD.
  - d. ALL INTERIOR CEILINGS SHALL HAVE 1/2" SAG- RESISTANT GYP BD. INSTALL PERPENDICULAR TO FRAMING PER FBCR 702.5.
  - e. ALL EXTERIOR CEILINGS (PORCH & PATIOS) SHALL HAVE 1/2" SAG- RESISTANT GYP SOFFIT BOARD.
  - f. STUCCO SURFACES TO HAVE STOPS, WEEP SCREEDS, AND EXPANSION JOINTS PER CODE.
  - g. TILE IN TUBS, SHOWERS, AND WALL PANELS IN SHOWER AREAS ARE TO HAVE CEMENT, FIBER-CEMENT, OR GLASS MAT GYPSUM BACKERS R702.3.7 / R702.4.2 2023 FBCR 8TH EDITION.
  - h. 2023 FBCR 8TH EDITION TABLE R302.6, 5/8" TYPE "X" GYPSUM BOARD OR EQUIVALENT IS REQUIRED FOR A GARAGE CEILING WITH HABITABLE ROOMS ABOVE. 1/2" MINIMUM GYPSUM BOARD IS REQUIRED ON GARAGE SIDE OF INTERIOR WALLS.
6. CABINETS.
  - a. CABINET MANUFACTURE'S SHOP DRAWINGS TAKE PRECEDENCE OVER THE INTERIOR CABINET ELEVATIONS SHOWN ON THESE DRAWINGS.
  - b. SEE SUPPLIER / MFR'S DRAWINGS FOR KITCHEN, CABINETS/WORK, AND RESTROOM LAYOUTS.
7. HARDWARE.
  - a. ALL LOCKING ARRANGEMENTS SHALL COMPLY WITH NFPA 101.
8. WINDOW & DOORS.
  - a. MISCELLANEOUS.
    - i. WINDOW AND DOOR SUPPLIERS SHALL PROVIDE CURRENT ROUGH OPENING INFORMATION WHICH SHALL HAVE PRECEDENCE OVER THE WINDOW AND DOOR SCHEDULES ON PLAN.
    - ii. CONTRACTOR AND SUPPLIER TO VERIFY WINDOW LOCATION, TYPE (FIN vs. FLANGE), HEADER HEIGHTS, AND ROUGH OPENINGS PRIOR TO DELIVERY.
    - iii. WINDOW ROUGH OPENING INCLUDES 1x P.T. FRAME ATTACHED TO CMU'S.
    - iv. DOOR ROUGH OPENING INCLUDES 2x P.T. FRAME ATTACHED TO CMU'S.
    - v. ALL GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL COMPLY WITH SECTION R308 OF THE 2023 FBCR 8TH EDITION.
    - vi. WINDOW CONTRACTOR TO VERIFY ROUGH OPENINGS OF ALL FIELD ASSEMBLED FIXED GLASS WINDOW UNITS PRIOR TO INSTALLATION.
    - vii. ALL WINDOWS IN WIND BORN DEBRIS AREAS SHALL BE PROTECTED FROM WIND BORN DEBRIS. PROVIDE SHUTTERS CERTIFIED TO MEET MIAMI-DADE IMPACT TEST. SHUTTERS MUST BE ROLL-DOWN PANEL ACCORDIAN OR OTHER APPROVED DESIGN TYPE. BUILDER TO SUBMIT MANUFACTURER, MODEL NO. INSTALLATION INSTRUCTIONS, & COPY OF MIAMI-DADE IMPACT TEST DATA FOR PROPOSED SHUTTERS.
    - viii. GARAGE OVERHEAD DOORS SHALL BE LISTED AND TESTED FOR 30 SECONDS AT DESIGN PRESSURE (+/-) TO INCLUDE A 10 SECOND GUST AT 1.5 TIMES THE DESIGN PRESSURE AND BEAR A PERMANENT DESIGN LABEL.
  - b. INSTALLATION:
    - i. WINDOWS & DOORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
    - ii. ALL WINDOW HEADS SHALL BE SET ABOVE FINISH FLOOR AS FOLLOWS:
      1. FIRST FLOOR AT 8'-0"
      2. SECOND FLOOR PER PLAN.
- c. ASSEMBLIES:
  - i. WINDOW AND DOOR ASSEMBLIES TO CONFORM TO 2023 FBCR CHAPTER 6, SECTION 609
  - ii. INTERIOR FACE OF WINDOW, FASTEN BUCK TO MASONRY W/ 1/2"x 3" TAPCONS, 6" FROM EDGES AND 16" O.C. MAX. 2x P.T. BUCKSNAGLERS SHALL EXTEND BEYOND.
  - iii. BUCKS LESS THAN 2x TO BE FASTENED W/ CUT NAILS OR EQUIVALENT. STRUCTURAL CONNECTION OF WINDOW TO STRUCTURE BY OTHERS IN THIS CASE.
  - iv. SEE EXTERIOR ELEVATIONS FOR STYLE AND DIVIDED LITE CONFIGURATIONS.
- d. TESTING:
  - i. EXTERIOR WINDOWS AND SLIDING DOORS SHALL BE TESTED AND COMPLY WITH AAMA/WDMA/CSA 1011.S.2/A440 OR TAS 202 (HVH) SHALL COMPLY WITH TAS 202 AND ASTM E1300. EXTERIOR SIDE HINGED DOORS SHALL COMPLY WITH AAMA/WDMA/CSA 1011.S.2/A440 OR ANSII/WMA100 OR SECTION R609.5 IN THE 2023 FBCR.
  - ii. ALL GARAGE/OVERHEAD DOORS SHALL BE LISTED AND TESTED FOR 30 SECONDS AT DESIGN PRESSURE (+/-) TO INCLUDE A 10 SECOND GUST AT 1.5 TIMES THE DESIGN PRESSURE.
9. INSULATION.
  - a. INSULATE ALL EXTERIOR FRAME WALLS WITH R-13 BATT FIBERGLASS INSULATION.
  - b. INSULATE CONDITIONED ATTIC SPACE WITH R-30 BLOWN FIBERGLASS. INACCESSIBLE ATTIC SPACE SHALL RECEIVE R-30 BATT INSULATION.
  - c. INSULATE ALL CMU WALLS (THAT REQUIRE 1" P.T. FURRING STRIPS) WITH R4.1 FL-FOIL PANELS.
  - d. APPLY HILTI FOAM FILLER AT EXTERIOR WALLS AROUND:
    - i. WINDOW FRAMES
    - ii. EXTERIOR DOOR FRAMES
    - iii. GAPS AROUND PIPES, VENTS, OUTLETS, ETC.
  - e. INSULATE ALL ATTIC KNEE WALLS WITH R-38 BATTS.
  - f. APPLY OWENS CORNING ENERGY COMPLETE TO THE TOP OF ALL CONDITIONED SPACE WALLS THAT INTERACT WITH UNCONDITIONED ATTIC SPACE ABOVE.



**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

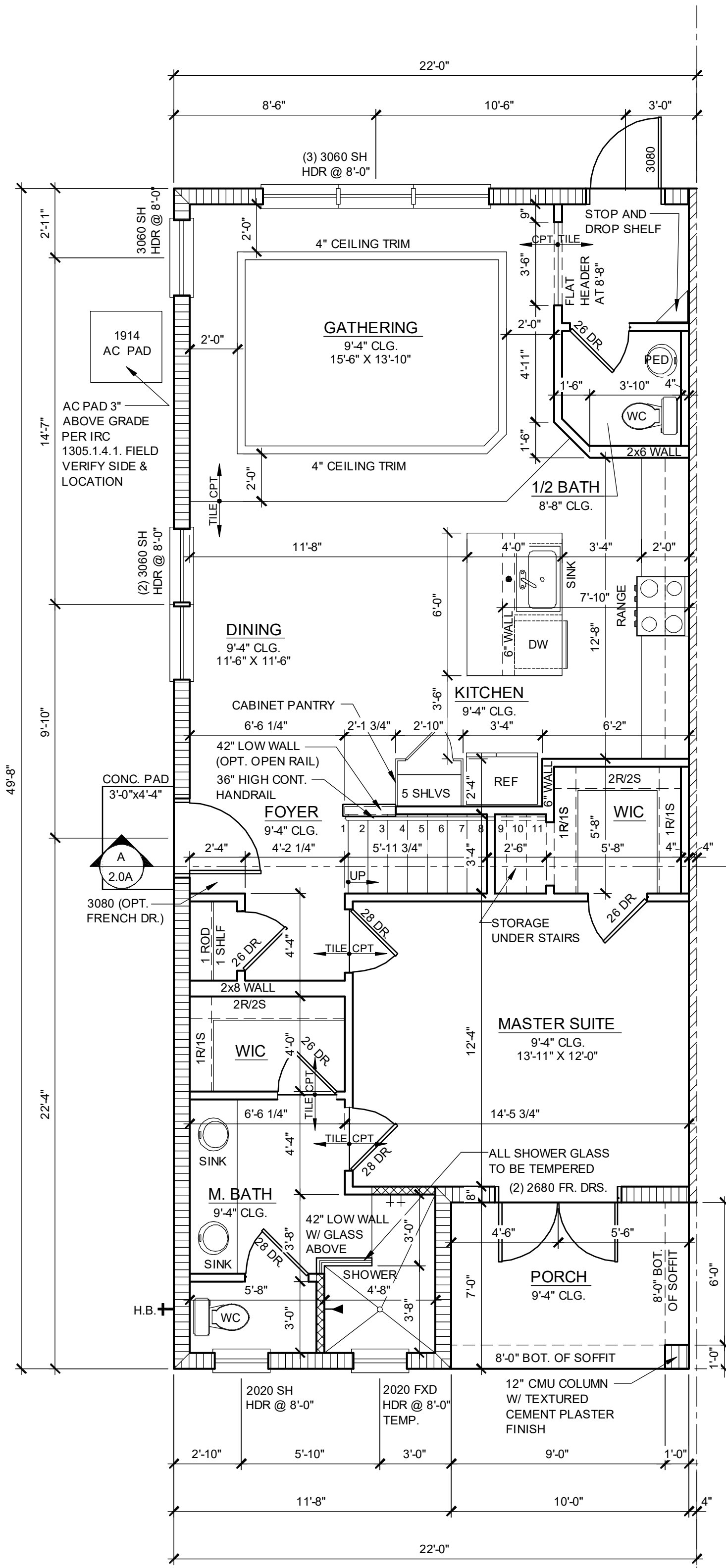
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**COVER  
5-UNIT TOWNHOME**

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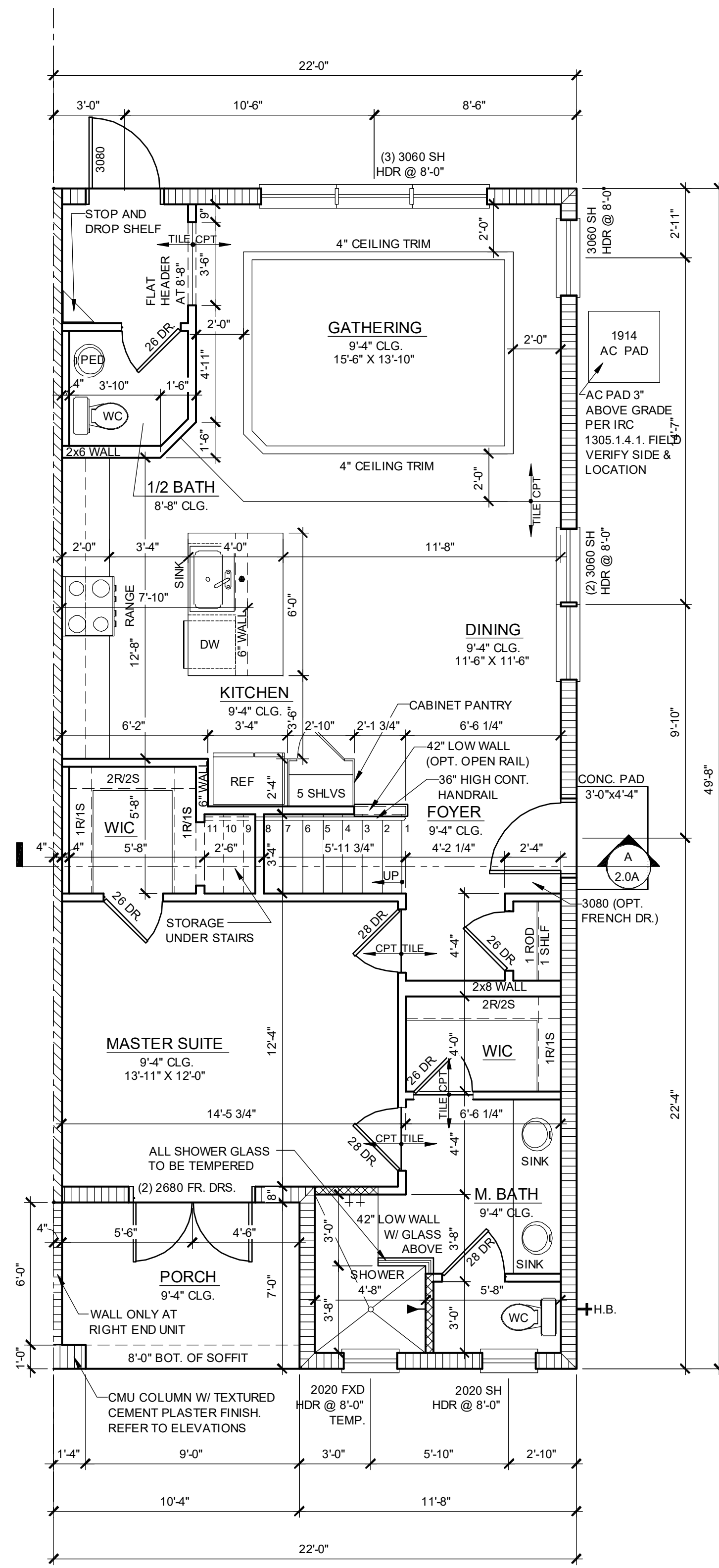


NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

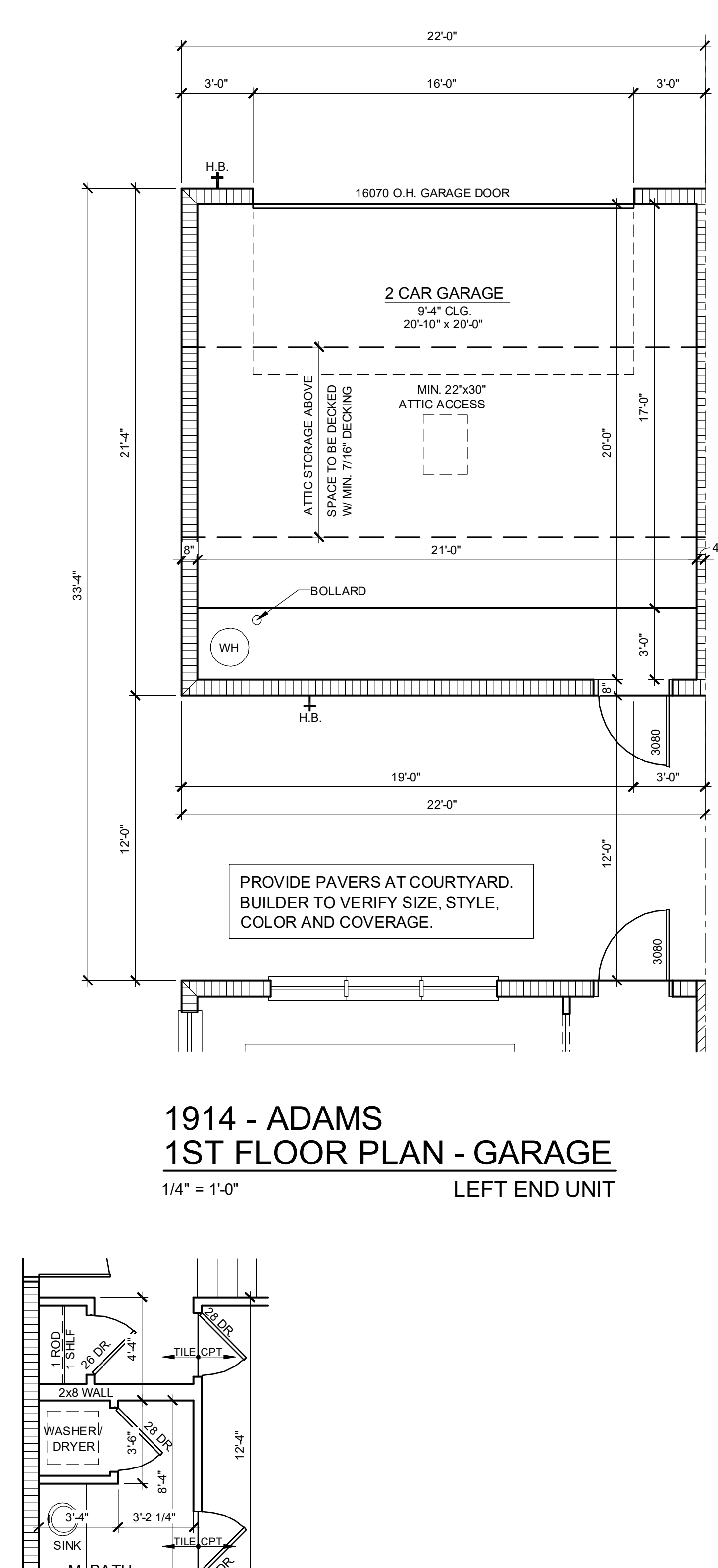




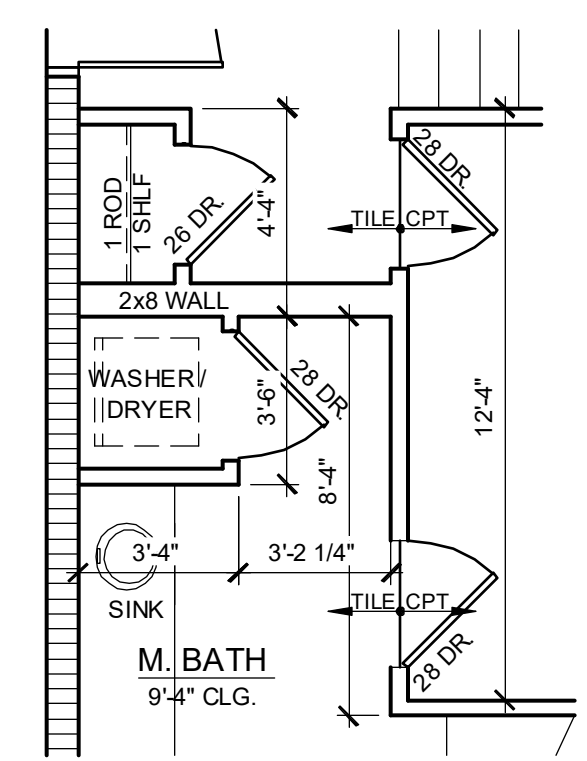
**1914 - ADAMS  
1ST FLOOR PLAN**  
1/4" = 1'-0" LEFT END UNIT



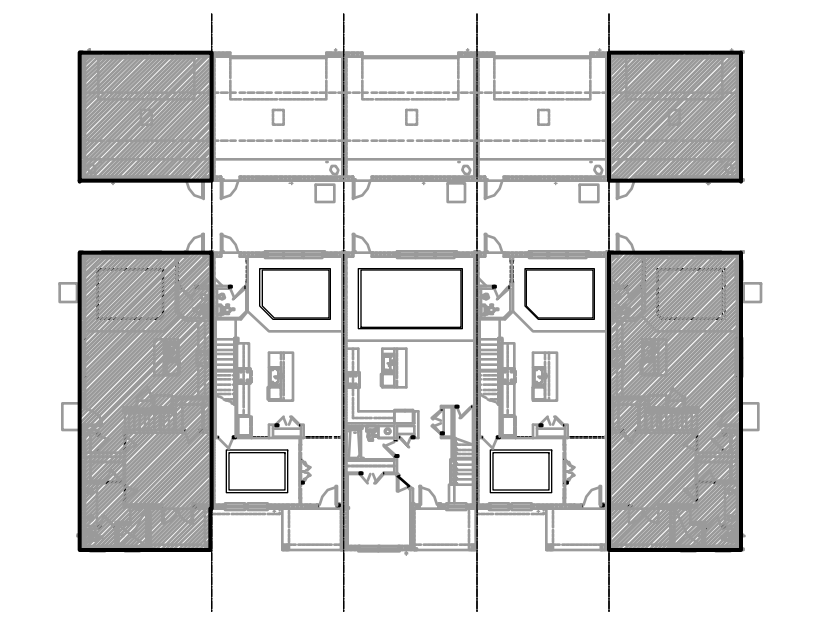
**1914 - ADAMS REVERSED  
1ST FLOOR PLAN**  
1/4" = 1'-0" RIGHT END UNIT



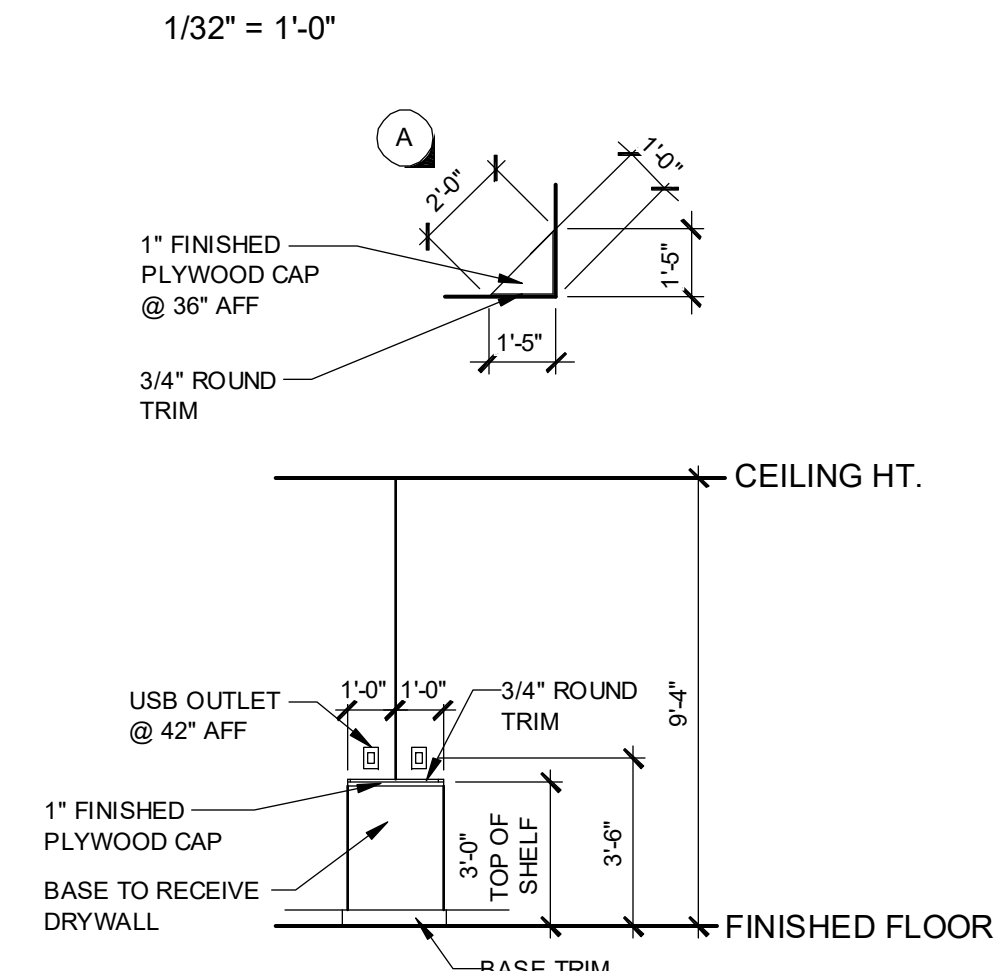
**1914 - ADAMS  
1ST FLOOR PLAN - GARAGE**  
1/4" = 1'-0" LEFT END UNIT



**OPT WASHER/DRYER**  
1/4" = 1'-0"



**1ST FLOOR - KEY PLAN**  
1/32" = 1'-0"



**STOP AND DROP SHELF**  
1/4" = 1'-0"

**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**

**1914 - ADAMS AREA CALCULATIONS**

1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,914 SQ. FT.</b>
<hr/>	
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,454 SQ. FT.</b>

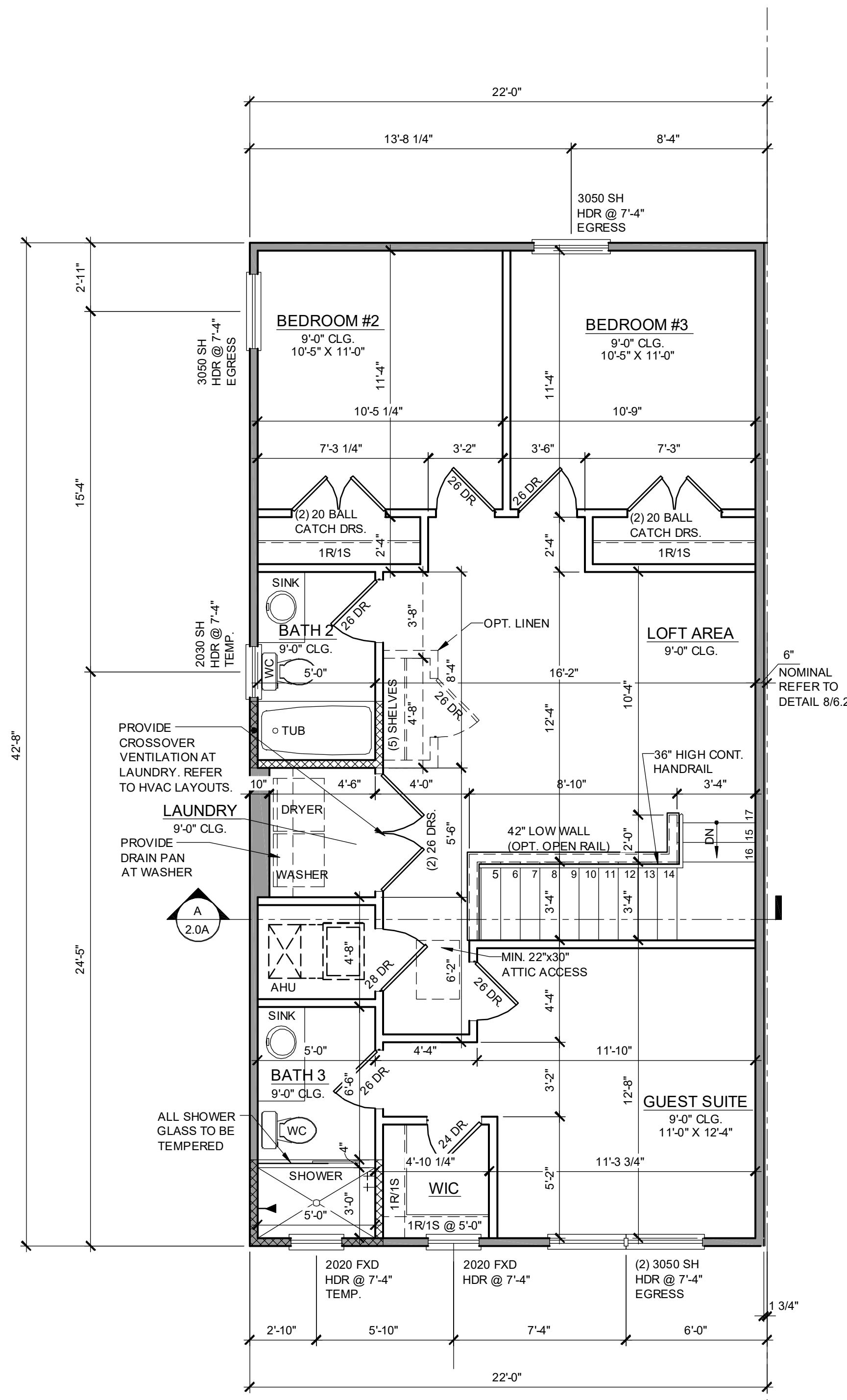
**WALL LEGEND**

INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU	[Symbol]
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	[Symbol]
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	[Symbol]
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.	[Symbol]
INDICATES 2x WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	[Symbol]
INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.	[Symbol]
INDICATES INSULATED WALLS	[Symbol]

**DISCLAIMER**  
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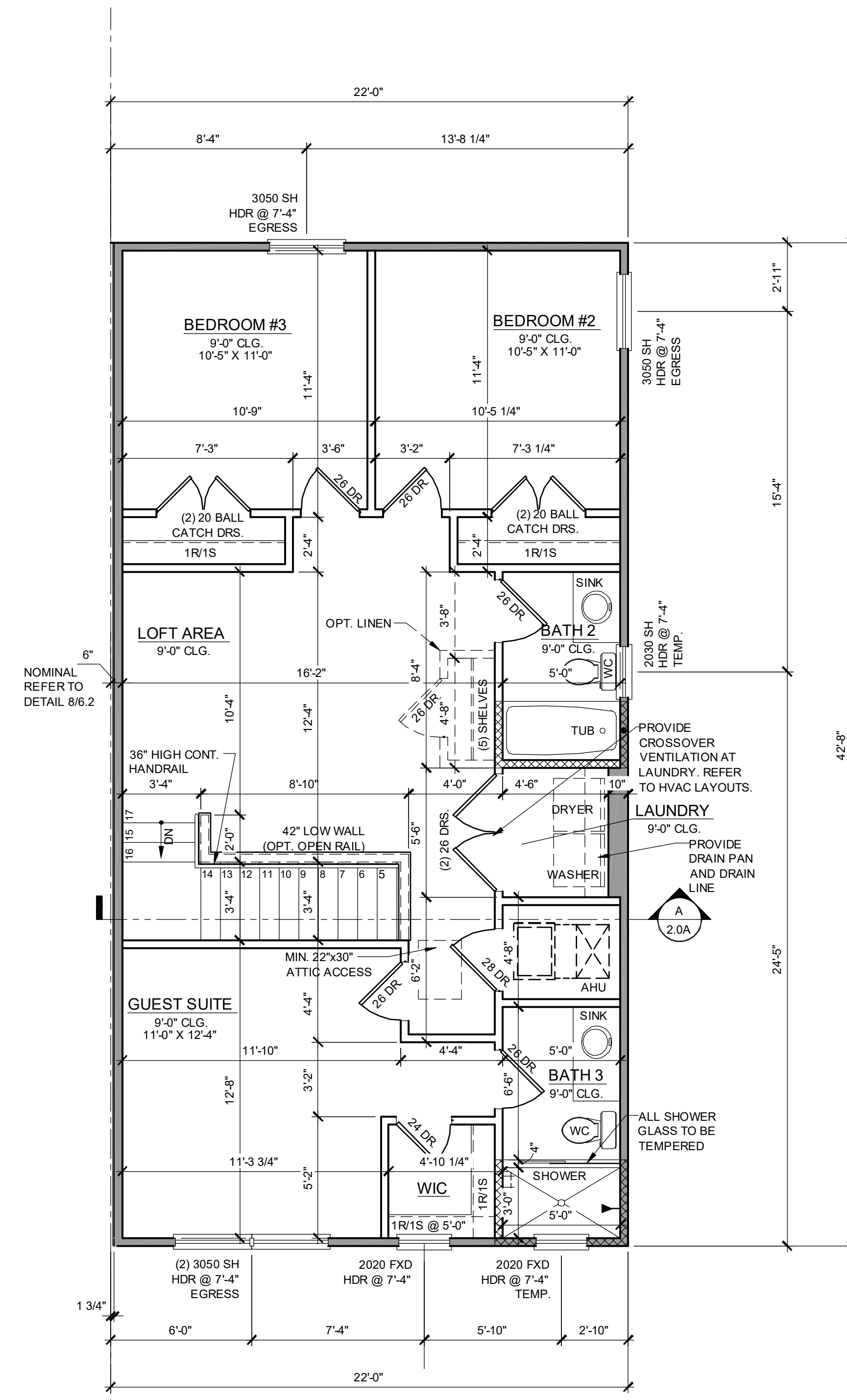
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





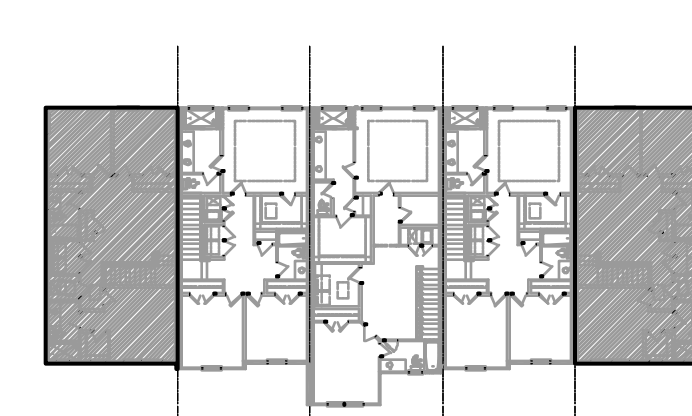
**1914 - ADAMS  
2ND FLOOR PLAN**

1/4" = 1'-0"



**1914 - ADAMS REVERSED  
2ND FLOOR PLAN**

1/4" = 1'-0"



**2ND FLOOR - KEY PLAN**

1/32" = 1'-0"

**DISCLAIMER**

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**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**

**WALL LEGEND**

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- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

**1914 - ADAMS  
AREA CALCULATIONS**

1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,914 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,454 SQ. FT.</b>



**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS  
FLOOR PLAN**

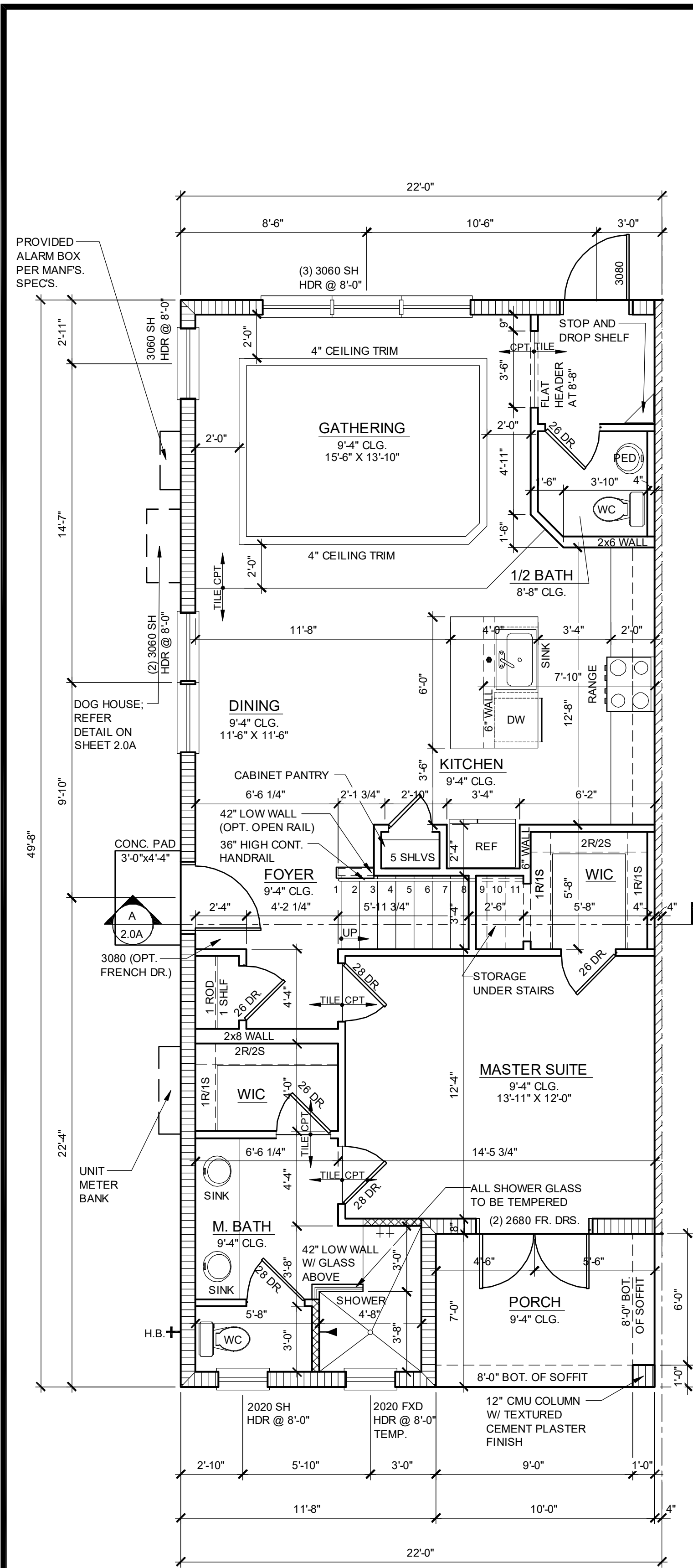
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drawn:  
date: 05-18-22  
scale: AS SHOWN

**1.2A  
ELEV. A**

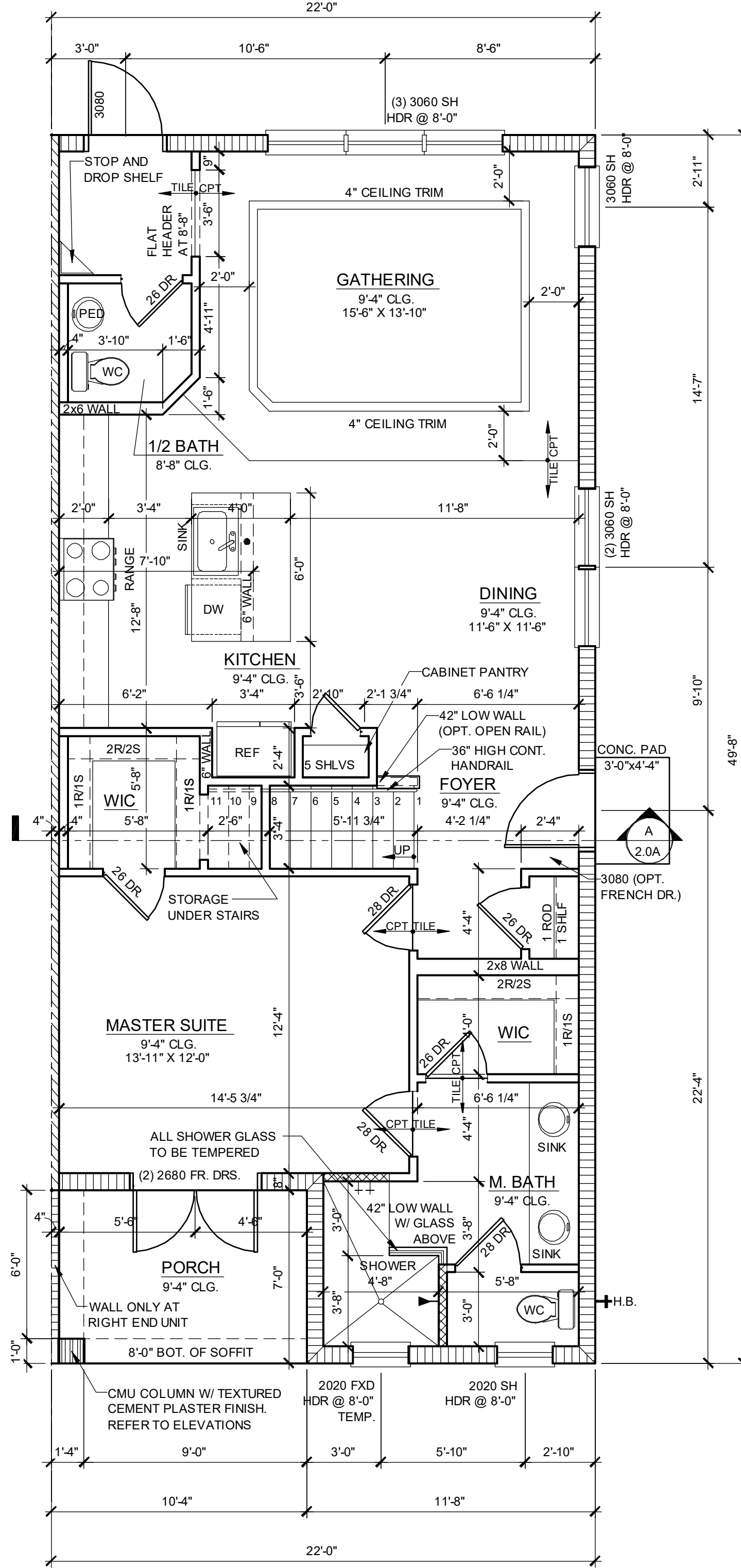
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NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

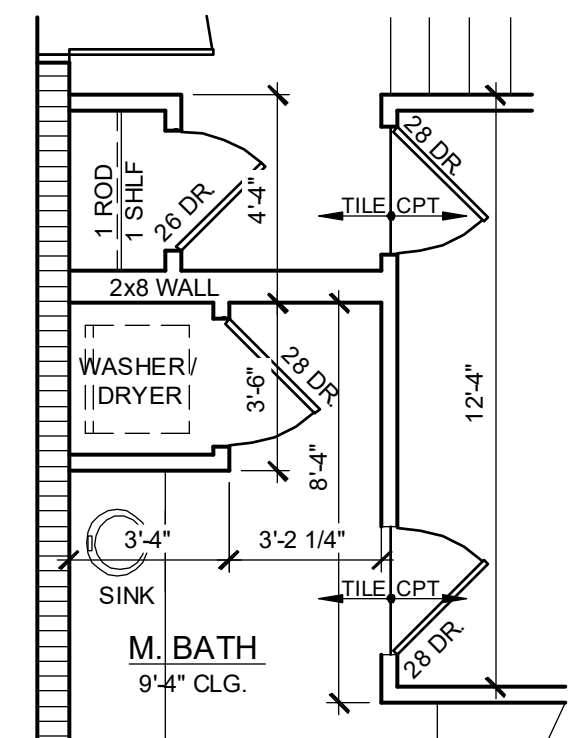




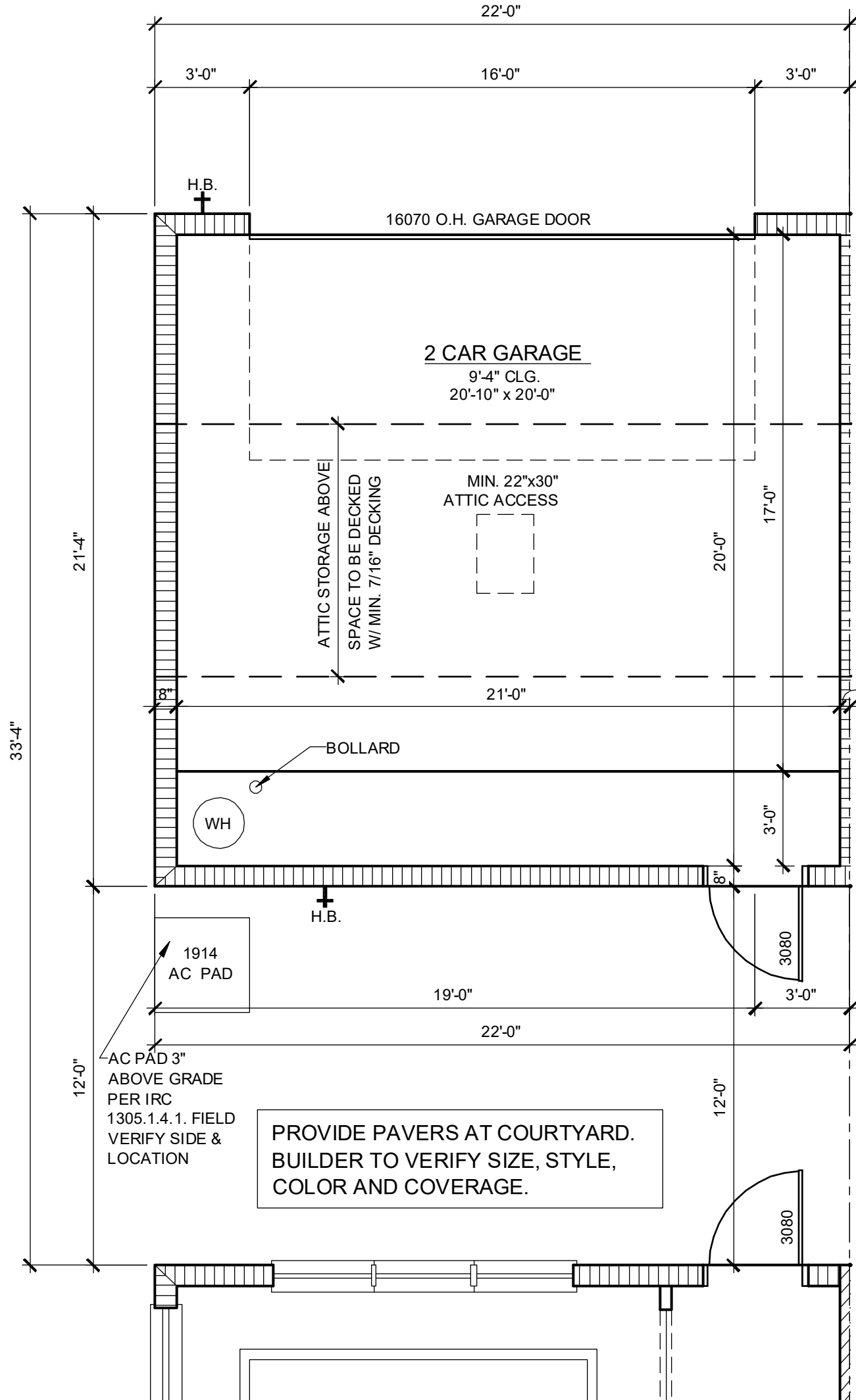
**1914 - ADAMS  
1ST FLOOR PLAN**  
1/4" = 1'-0" LEFT END UNIT



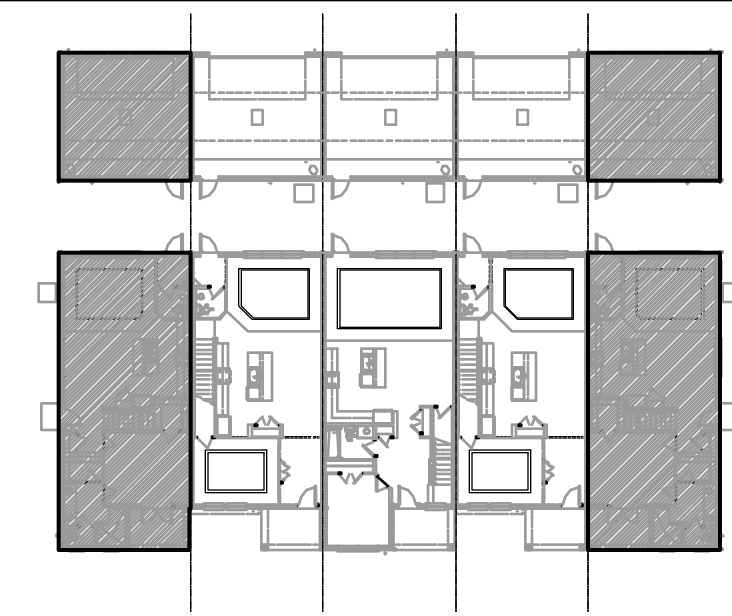
**1914 - ADAMS REVERSED  
1ST FLOOR PLAN**  
1/4" = 1'-0" RIGHT END UNIT



**OPT WASHER/DRYER**  
1/4" = 1'-0"

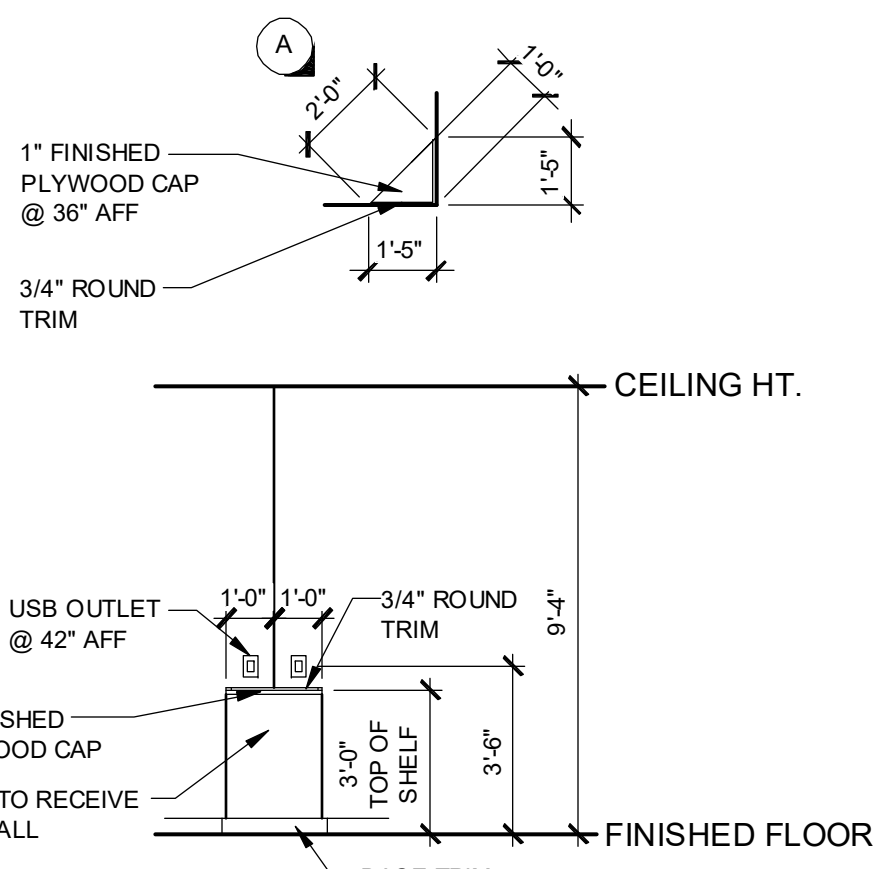


**1914 - ADAMS  
1ST FLOOR PLAN - GARAGE**  
1/4" = 1'-0" LEFT END UNIT



**1ST FLOOR - KEY PLAN**

1/32" = 1'-0"



**STOP AND DROP SHELF**  
1/4" = 1'-0"

**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**

1914 - ADAMS AREA CALCULATIONS	
1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,914 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,454 SQ. FT.</b>

**WALL LEGEND**

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- INDICATES WET WALLS. 2x WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

**Keese Associates**  
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c. (407) 889-2333

**FDS**  
FLORIDA DESIGN SOLUTIONS INC.  
265 South Lake Shore Drive, Suite 200  
Maitland, FL 32751  
Tel: (407) 889-2333 Fax: (407) 889-2334  
Certificate of Authorization No. 8181  
C. A. Brown, P.E., P.L. # 19128  
D. J. Brown, P.L. # 19129  
DATE: June 11, 2024

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS FLOOR PLAN**

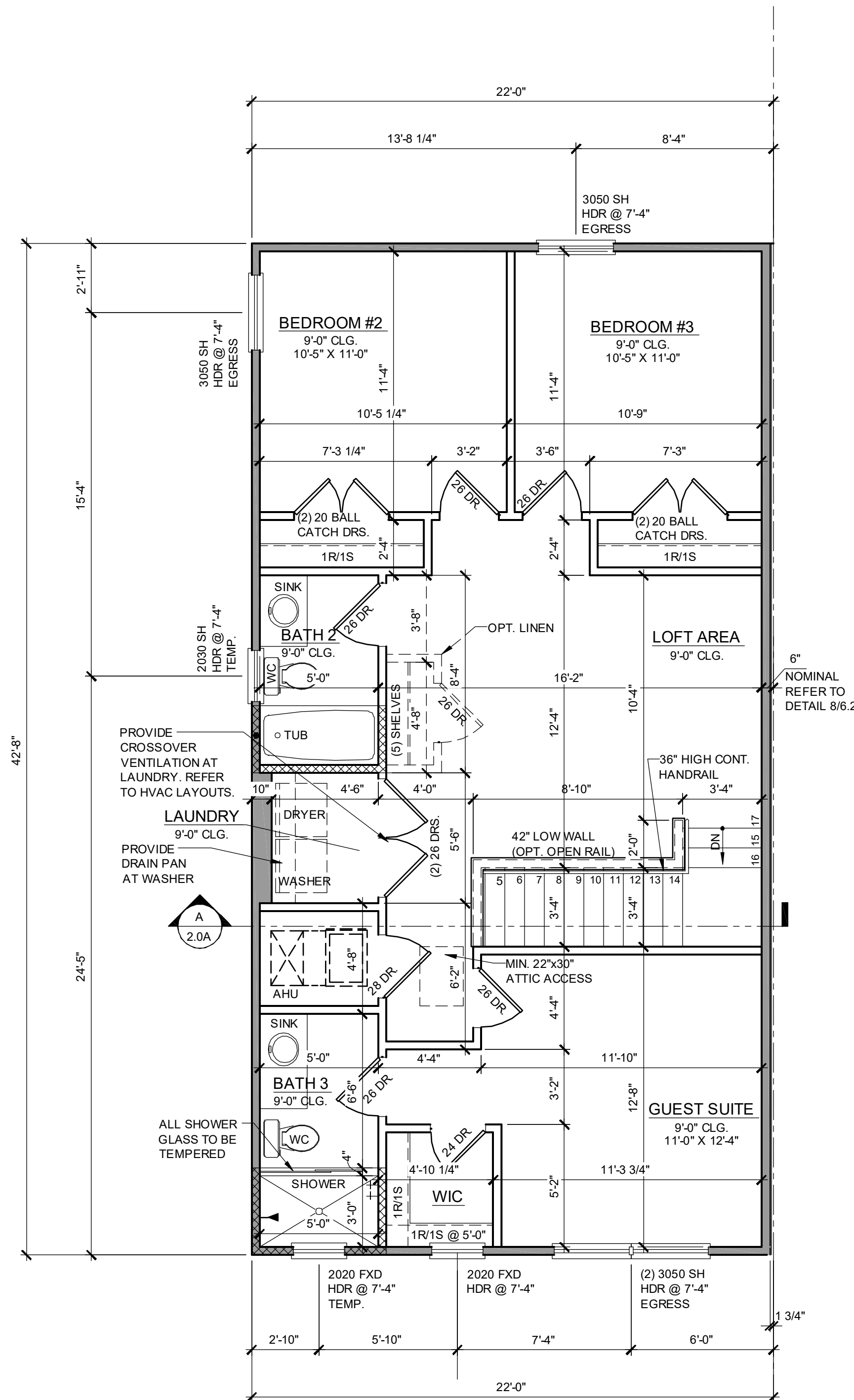
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drawn:  
date: 05-18-22  
scale: AS SHOWN

**1.1A ELEV. A**

**DISCLAIMER**  
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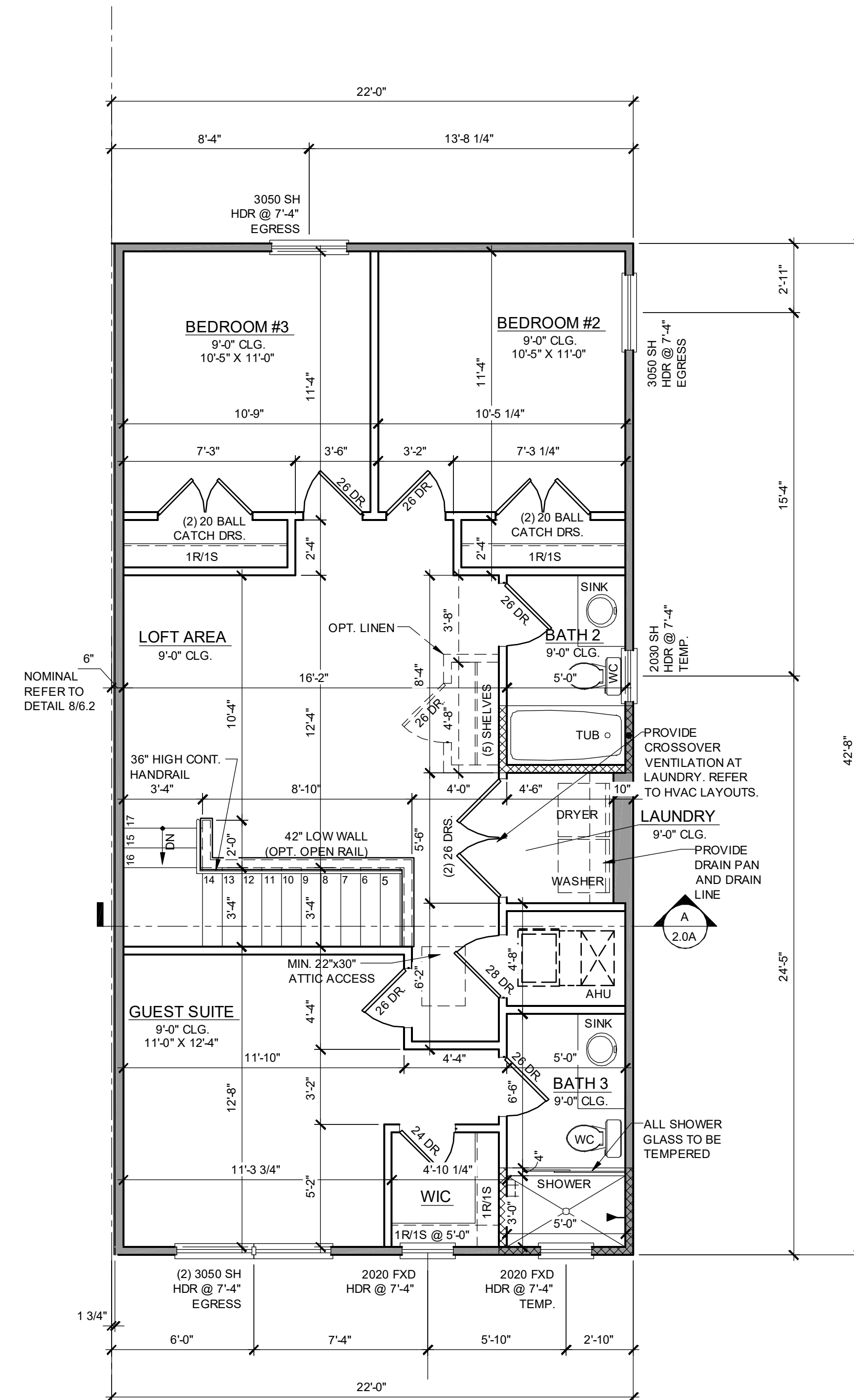
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





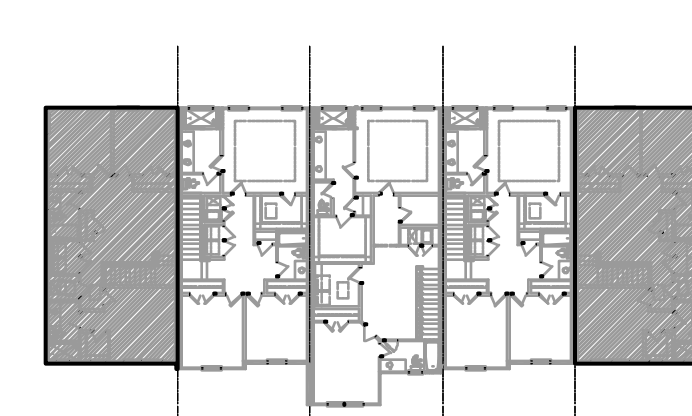
**1914 - ADAMS  
2ND FLOOR PLAN**

1/4" = 1'-0"



**1914 - ADAMS REVERSED  
2ND FLOOR PLAN**

1/4" = 1'-0"



**2ND FLOOR - KEY PLAN**

1/32" = 1'-0"

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**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**

1914 - ADAMS AREA CALCULATIONS	
1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,914 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,454 SQ. FT.</b>

**WALL LEGEND**

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- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS



**FDS** ARCHITECTURE

288 Southhall Lane, Suite 200, Melbourne, FL 32951  
 Phone: (321) 436-1111  
 Certificate of Authorization No. 9191  
 CARLA A. BROWN, P.E. - F.L. # 94128  
 SCOTT L. WOODRUFF, P.E. - F.L. # 97920  
 FLEETWOOD ARCHITECTS, INC. - F.L. # 44402  
 PROJECT NO. 2022143  
 DATE: 05-18-22  
 DRAWN BY: AS SHOWN

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

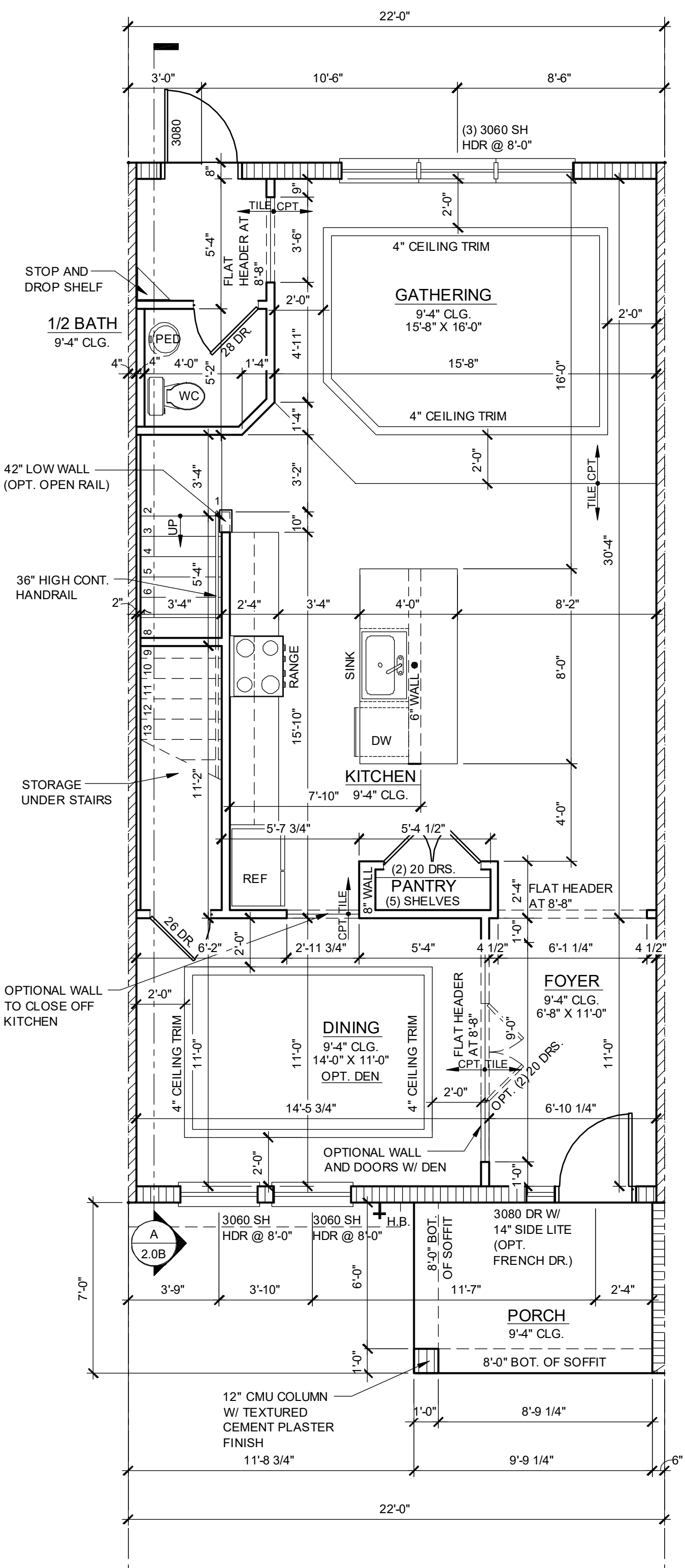
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project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

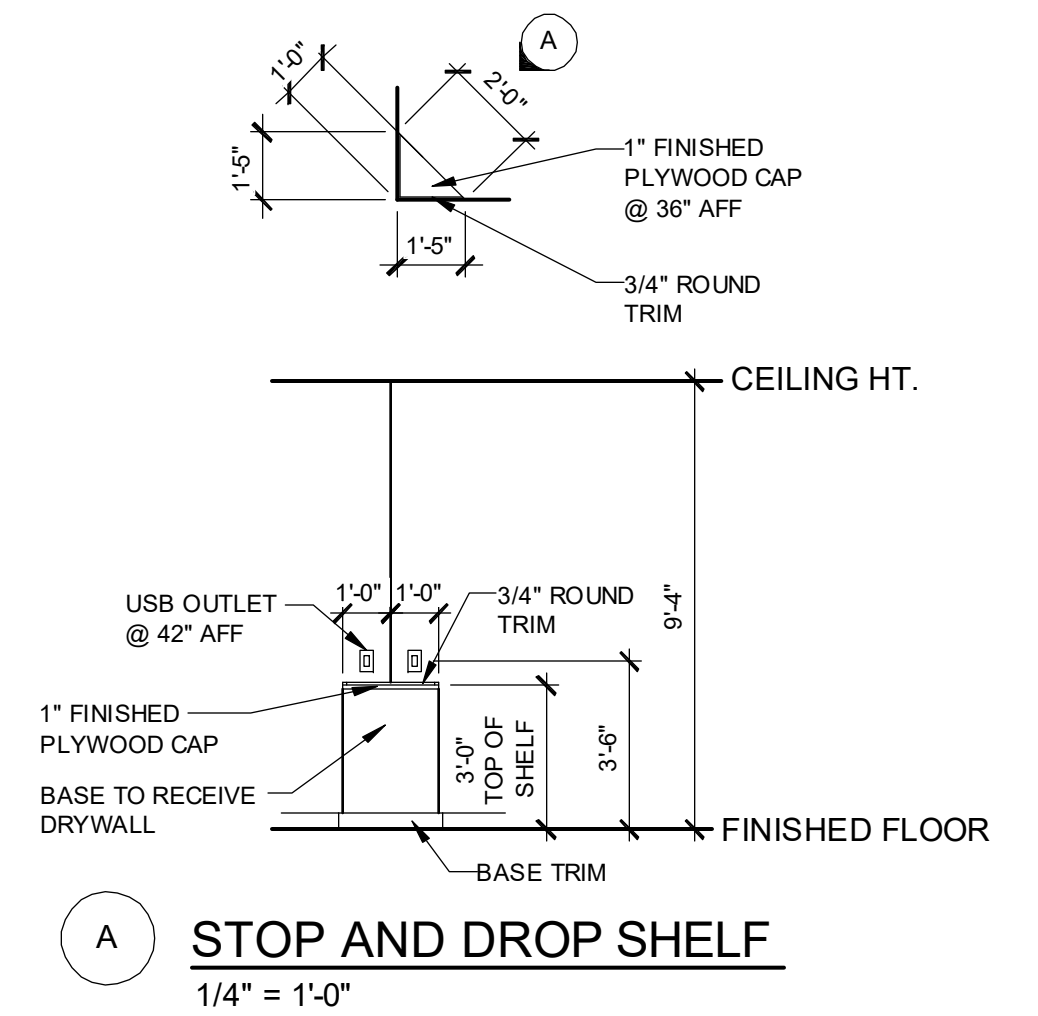
**1.2A  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



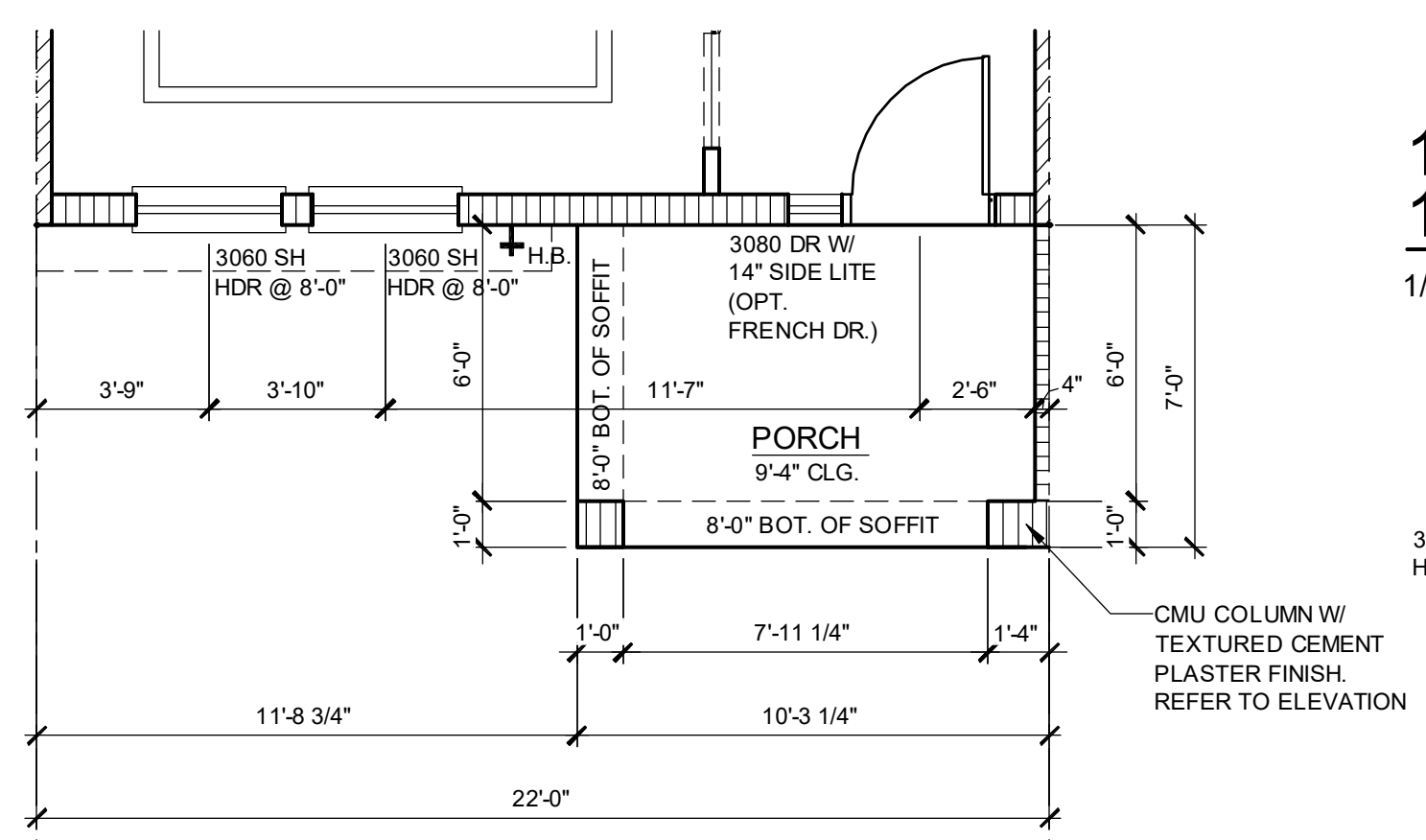


**1840 - JEFFERSON  
1ST FLOOR PLAN**  
1/4" = 1'-0"

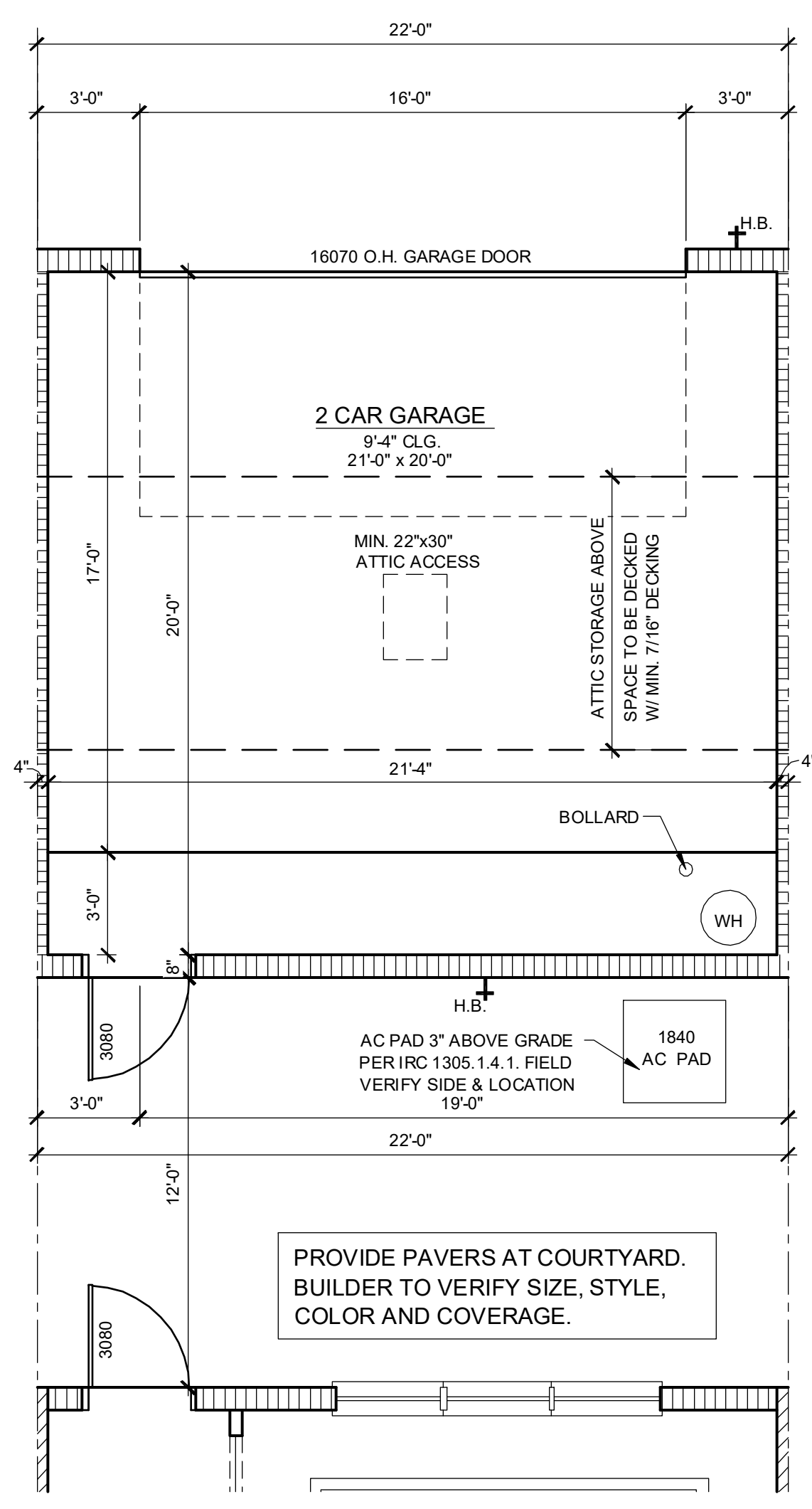


**STOP AND DROP SHELF**  
1/4" = 1'-0"

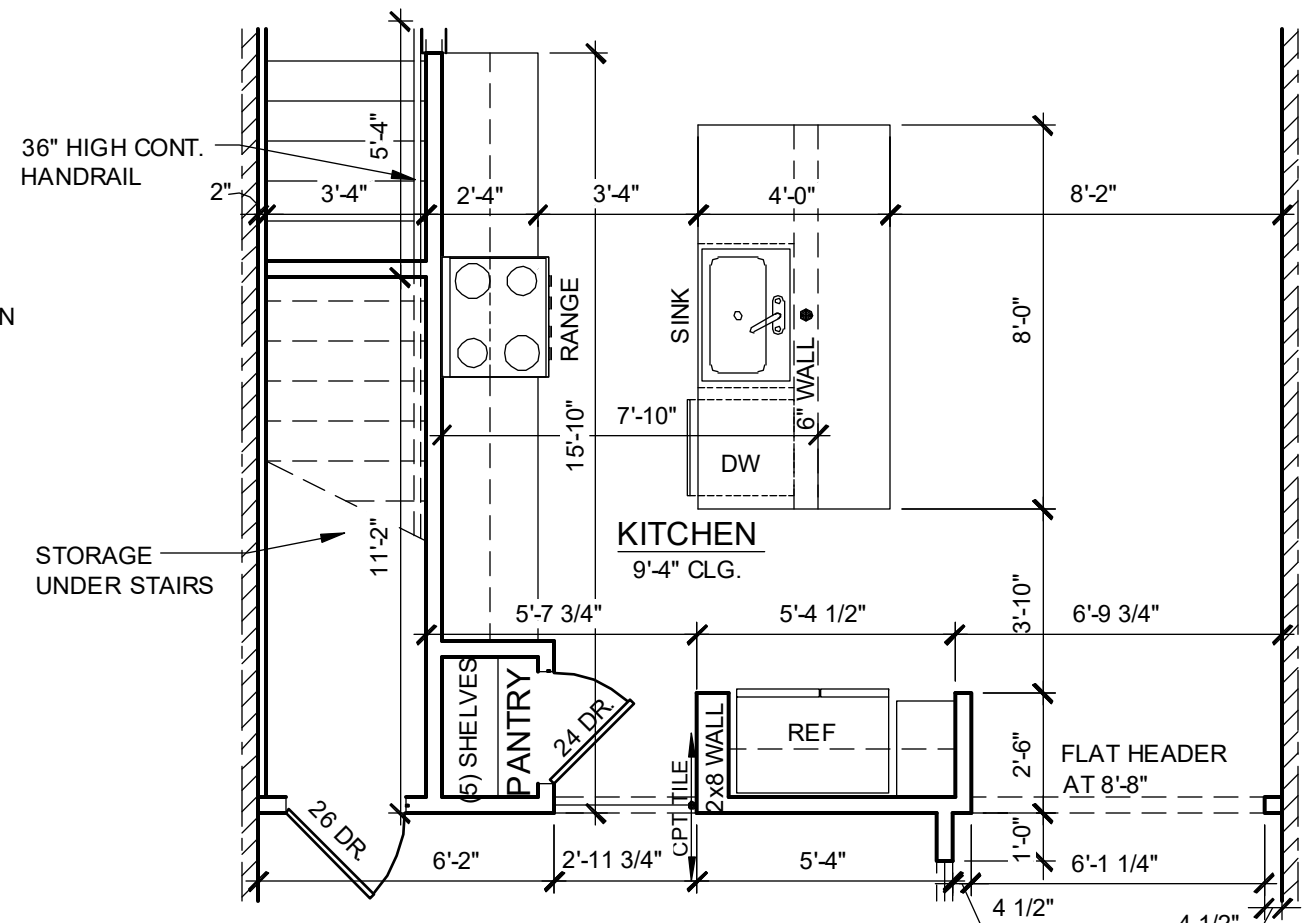
**NOTE: SEE COLOR SHEET  
FOR INTERIOR DOOR  
HEIGHT REQUIREMENTS.**



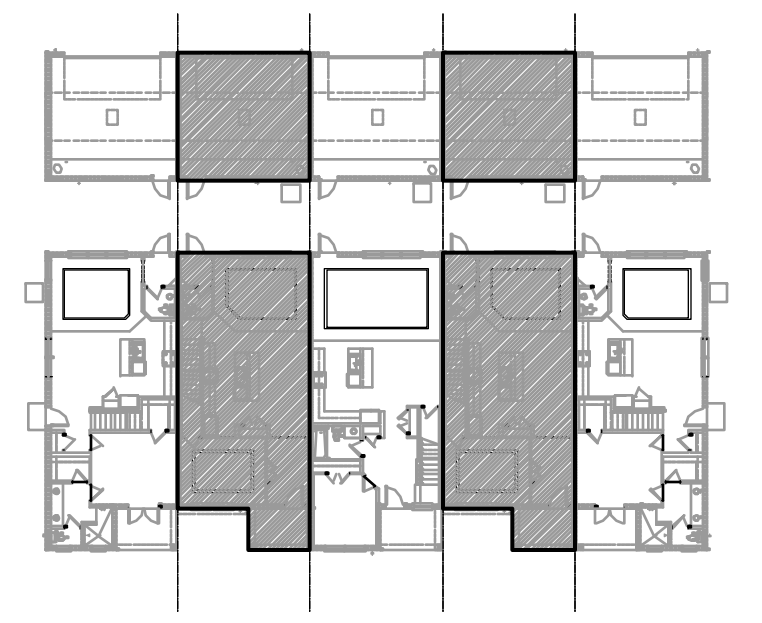
**1840 - JEFFERSON  
NEXT TO ADAMS REVERSED**  
1/4" = 1'-0"



**1840 - JEFFERSON  
1ST FLOOR PLAN - GARAGE**  
1/4" = 1'-0"



**1840 - JEFFERSON  
1ST FLOOR PLAN**  
1/4" = 1'-0" EMERSON PARK ONLY



**1ST FLOOR - KEY PLAN**  
1/32" = 1'-0"

**1840 - JEFFERSON  
AREA CALCULATIONS**

1st FLR. LIVING	940 SQ. FT.
2ND FLR. LIVING	900 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,840 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,380 SQ. FT.</b>

**WALL LEGEND**

- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 9'-4" TOP OF CMU
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- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

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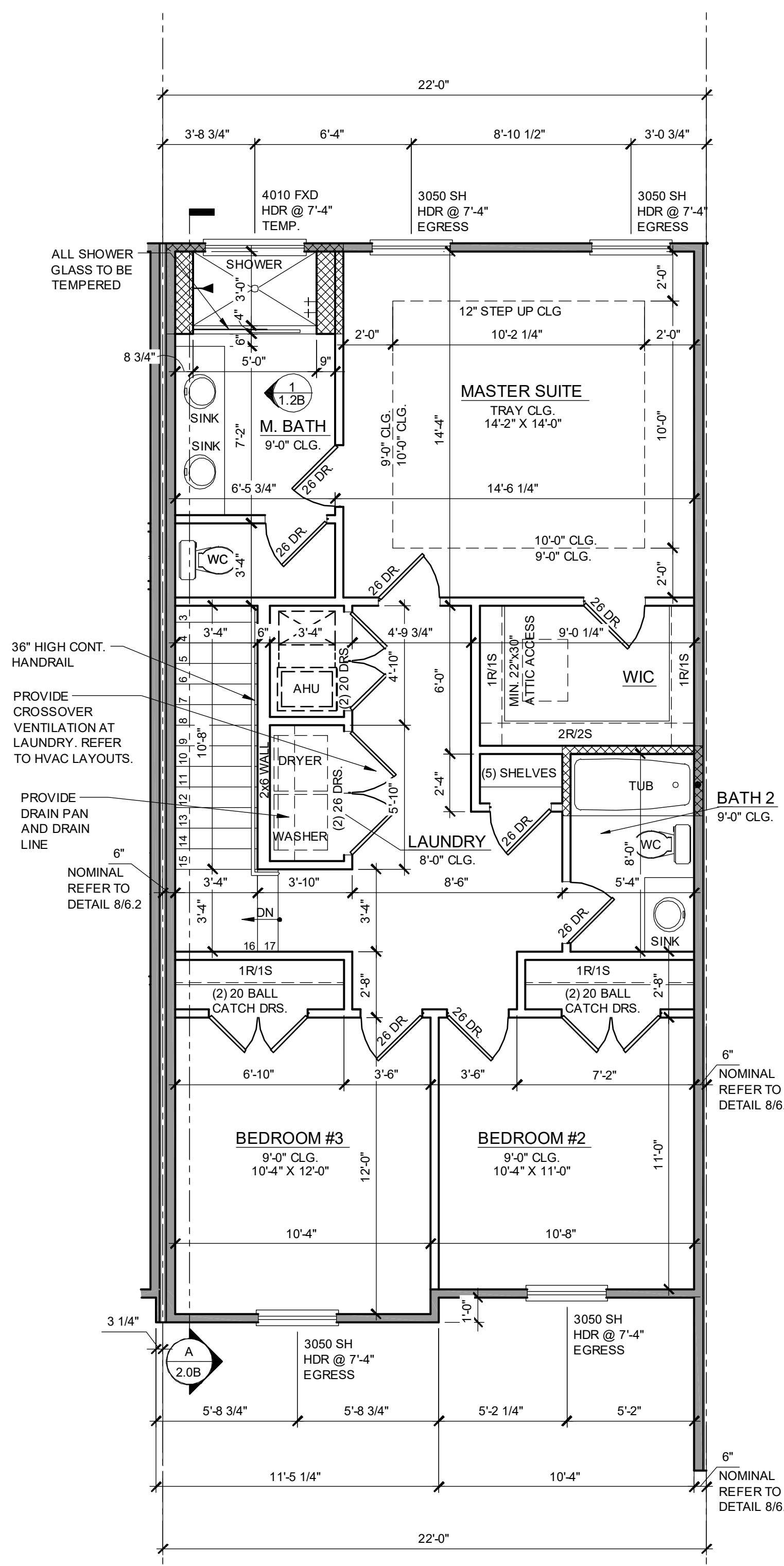
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288 Southhall Lane Suite 200  
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647-780-2333

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288 Southhall Lane, Suite 200, Boca Raton, FL 33433  
305-993-1100  
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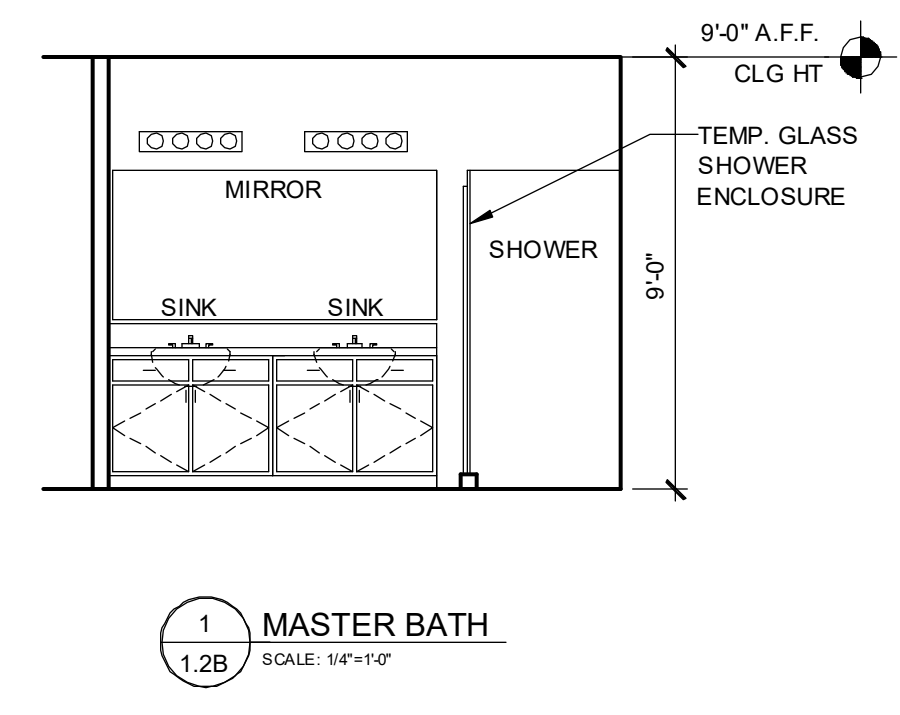
**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title: **1840 - JEFFERSON  
FLOOR PLAN**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN  
**1.1B  
ELEV. A**

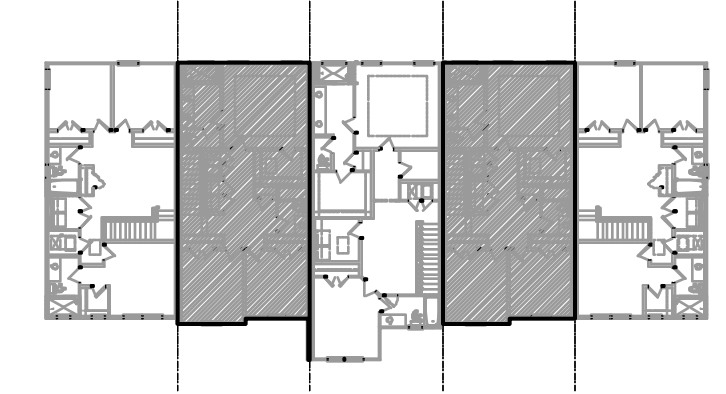




**1840 - JEFFERSON  
2ND FLOOR PLAN**  
1/4" = 1'-0"



**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**



**2ND FLOOR - KEY PLAN**  
1/32" = 1'-0"

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1840 - JEFFERSON AREA CALCULATIONS	
1st FLR. LIVING	940 SQ. FT.
2ND FLR. LIVING	900 SQ. FT.
<b>TOTAL LIVING</b>	<b>1,840 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
<b>TOTAL UR</b>	<b>2,380 SQ. FT.</b>

WALL LEGEND	
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INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
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INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

**Keessee Associates**  
ARCHITECTURE | DESIGN | PLANNING  
288 Southhall Lane Suite 200  
Bartlett, TN 37622  
615.497.1800

**FDS**  
FLORIDA DESIGN SOLUTIONS  
288 Southhall Lane, Suite 200, Bartlett, TN 37622  
317.844.1111  
CARL A. BROWN, PE, F.L.S. # 54128  
SCOTT LEWIS, PE, F.L.S. # 77779  
FREDERICK J. LEWIS, PE, F.L.S. # 44402  
JAMES M. LEWIS, PE, F.L.S. # 2024  
REGISTERED PROFESSIONAL ENGINEERS

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

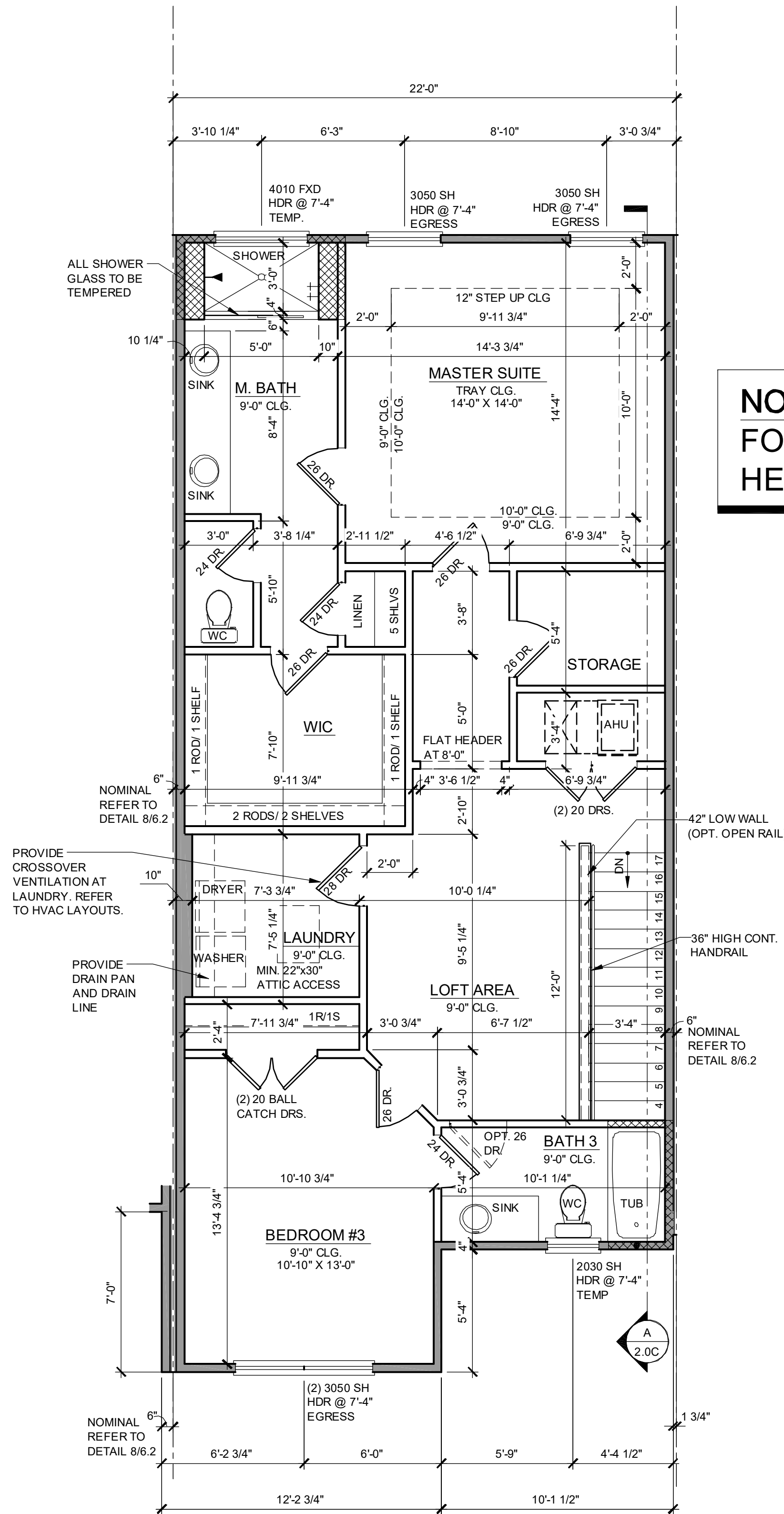
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project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN  
**1.2B  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





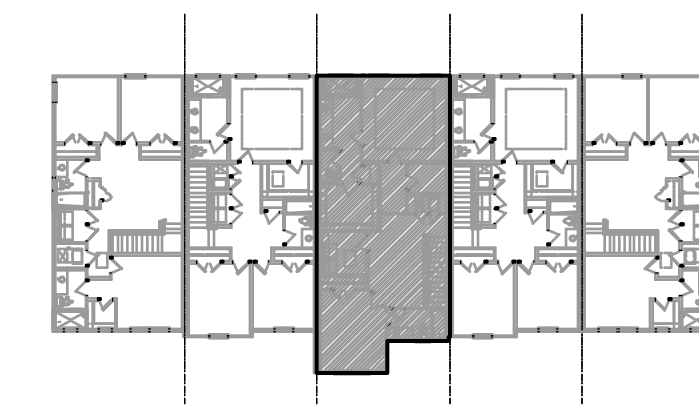




**2024 - MADISON  
2ND FLOOR PLAN**  
1/4" = 1'-0" INTERIOR LEFT UNIT

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**2ND FLOOR - KEY PLAN**  
1/32" = 1'-0"

**NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.**

**2024 - MADISON  
AREA CALCULATIONS**

1st FLR. LIVING	1,023 SQ. FT.
2ND FLR. LIVING	1,001 SQ. FT.
<b>TOTAL LIVING</b>	<b>2,024 SQ. FT.</b>
GARAGE	470 SQ. FT.
FRONT PORCH	71 SQ. FT.
<b>TOTAL UR</b>	<b>2,565 SQ. FT.</b>

**WALL LEGEND**

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- INDICATES INSULATED WALLS



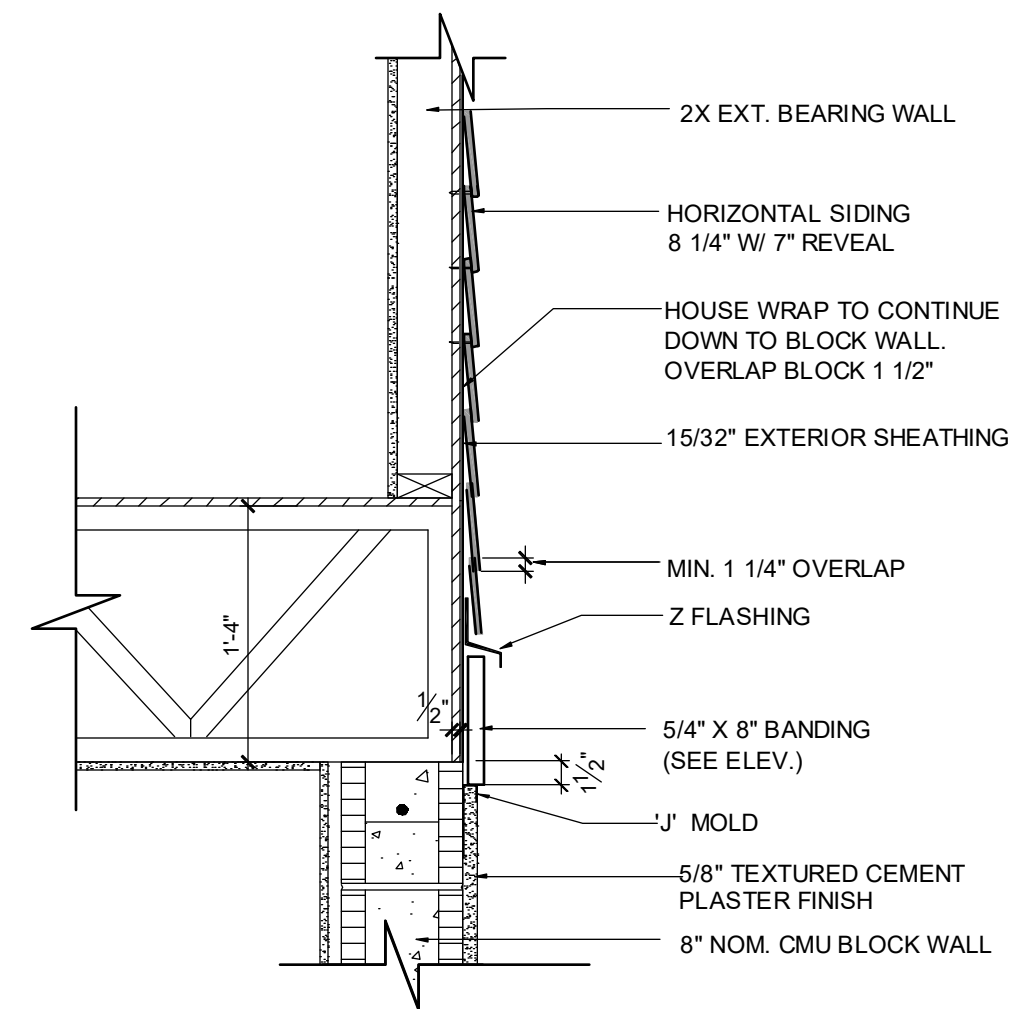
**FDS**  
FLORIDA DESIGN SOLUTIONS  
2024 Borchhall Lane, Suite 200, Gainesville, FL 32608  
Professional Engineer License No. 12118  
Professional Architect License No. 8178  
Professional Engineer License No. 12118  
Professional Engineer License No. 12118  
Professional Engineer License No. 12118

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title: **2024 - MADISON FLOOR PLAN**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN  
**1.2C  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





**B** BELLY BAND TRIM  
DETAIL AT T.O.M.  
ABV. SMOOTH SAND FINISH  
SCALE: 1" = 1'-0"

ALL GUARDRAILS AND  
HANDRAILS TO COMPLY  
WITH R301 AND TABLE  
R301.5 PER FBCR 2023,  
8TH EDITION

**2023 FBCR :**

**R312.1 Guards.**

Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

**R312.1.1 Where required.**

Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

**R312.1.2 Height.**

Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

**Exceptions:**

- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

**R312.1.3 Opening limitations.**

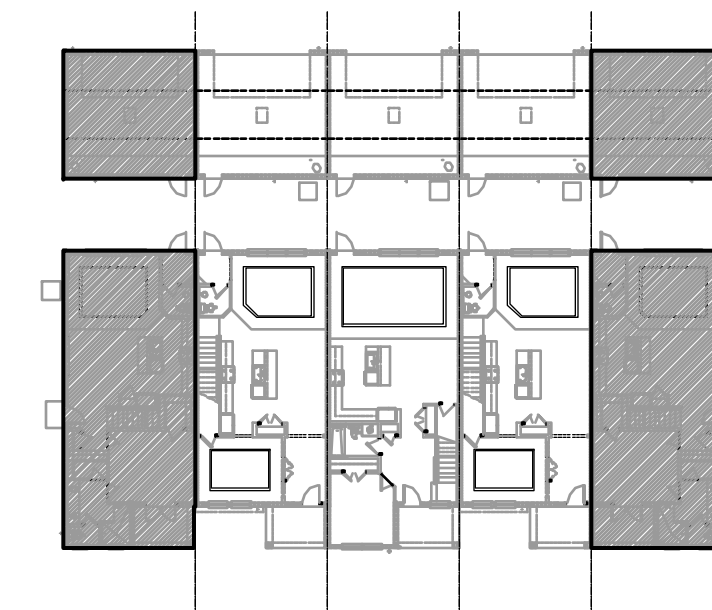
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

**Exceptions:**

- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

**R312.1.4 Exterior plastic composite guards.**

Plastic composite exterior guards shall comply with the requirements of Section R317.4.



SECTION - KEY PLAN  
1/32" = 1'-0"

**2023 FBCR:**

**R311.7.5.1 Risers.**

The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.

**R311.7.5.2 Tread.**

The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

**R311.7.5.2.1 Winder treads.**

Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

**R311.7.5.3 Nosings.**

Nosing of treads, landings and floors of stairways shall have a radius of curvature at the nosing not greater than 9/16 inch (14mm) or a bevel not exceeding 1/2 inch (12.7mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 1 1/4 inches (32 mm) shall be provided on stairways. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) within a stairway.

**R311.7.8 Handrails.**

Handrails shall be provided on not less than one side of each flight with four or more risers.

**R311.7.8.1 Height.**

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

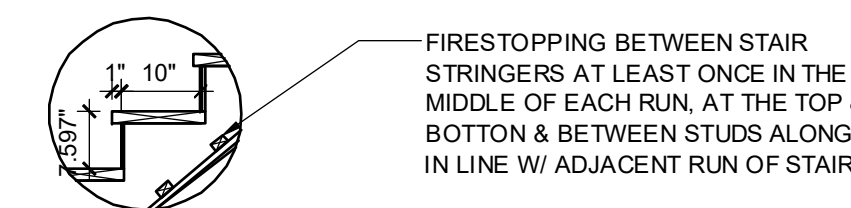
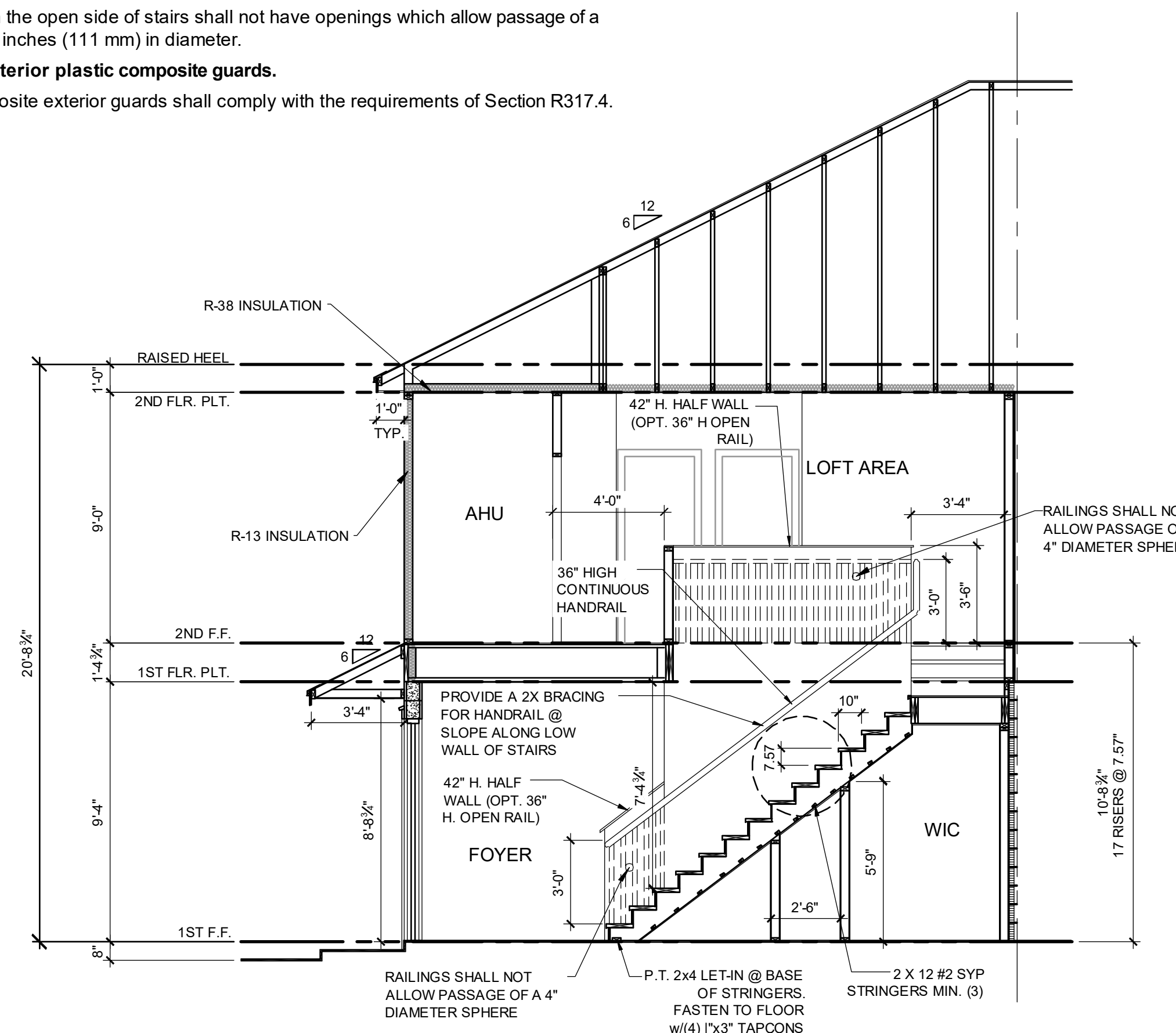
**R311.7.8.2 Continuity.**

Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.

**R311.7.8.3 Grip-size.**

Required handrails shall be one of the following types or provide equivalent graspability.

- Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



**A** 2-STORY STAIR SECTION - 1914  
1/4" = 1'-0"

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**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title: **1914 - ADAMS STAIR SECTION**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

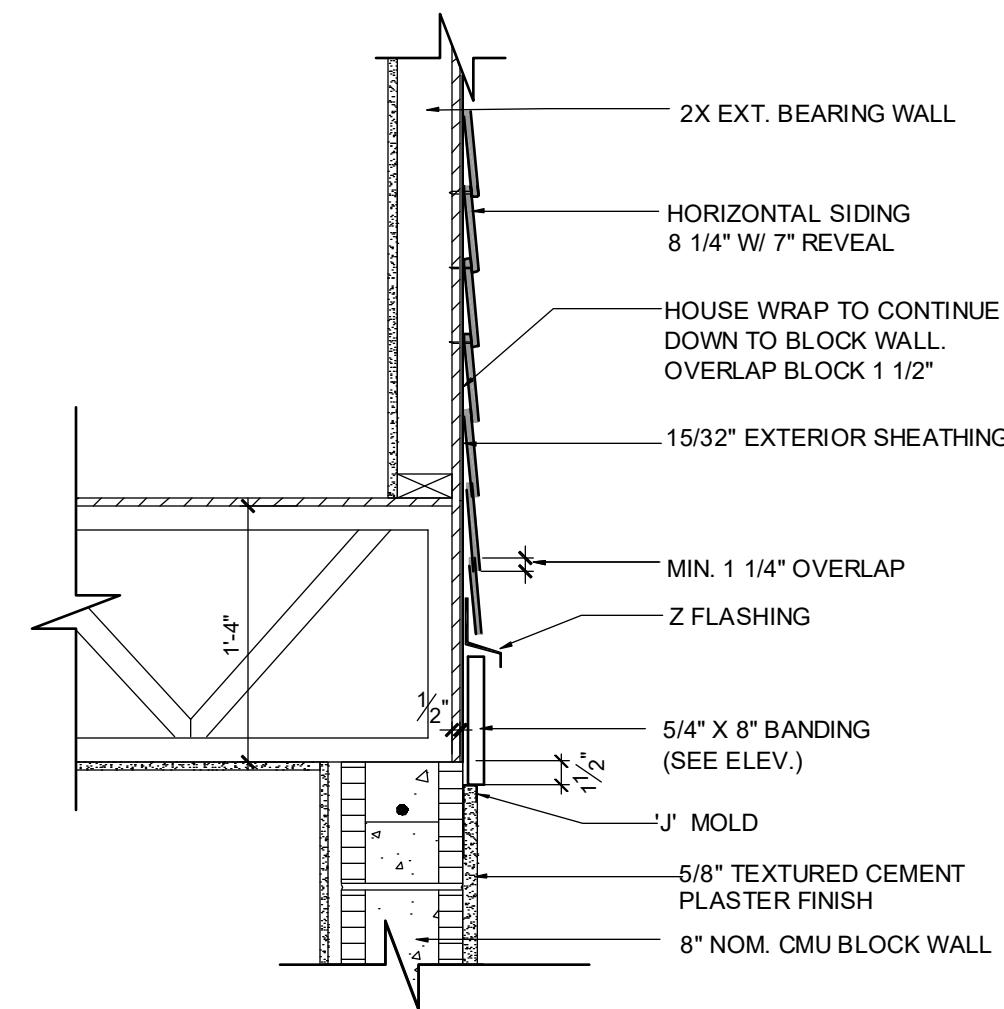
**2.0A  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED









**B** BELLY BAND TRIM  
DETAIL AT T.O.M.  
ABV. SMOOTH SAND FINISH  
SCALE: 1" = 1'-0"

ALL GUARDRAILS AND HANDRAILS TO COMPLY WITH R301 AND TABLE R301.5 PER FBCR 2023, 8TH EDITION

**2023 FBCR :**

**R312.1 Guards.**

Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

**R312.1.1 Where required.**

Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

**R312.1.2 Height.**

Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

**Exceptions:**

- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

**R312.1.3 Opening limitations.**

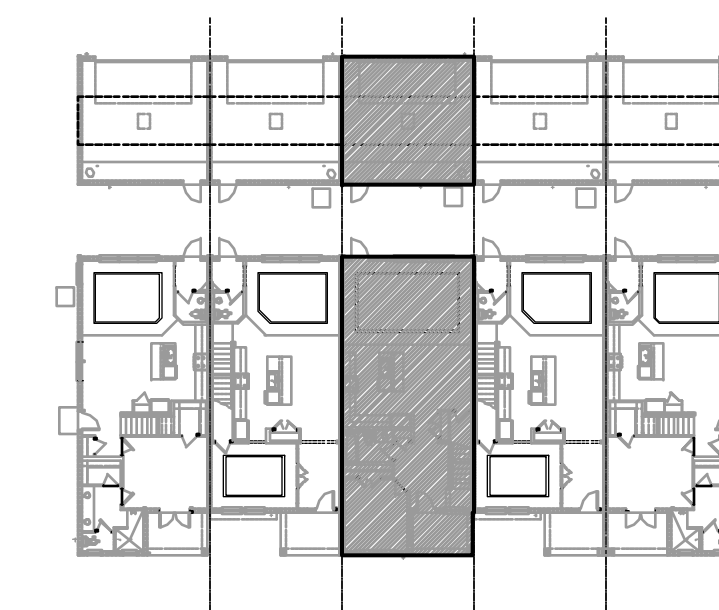
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

**Exceptions:**

- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

**R312.1.4 Exterior plastic composite guards.**

Plastic composite exterior guards shall comply with the requirements of Section R317.4.



**SECTION - KEY PLAN**

1/32" = 1'-0"

**2023 FBCR:**

**R311.7.5.1 Risers.**

The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.

**R311.7.5.2 Tread.**

The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

**R311.7.5.2.1 Winder treads.**

Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

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**R311.7.8 Handrails.**

Handrails shall be provided on not less than one side of each flight with four or more risers.

**R311.7.8.1 Height.**

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

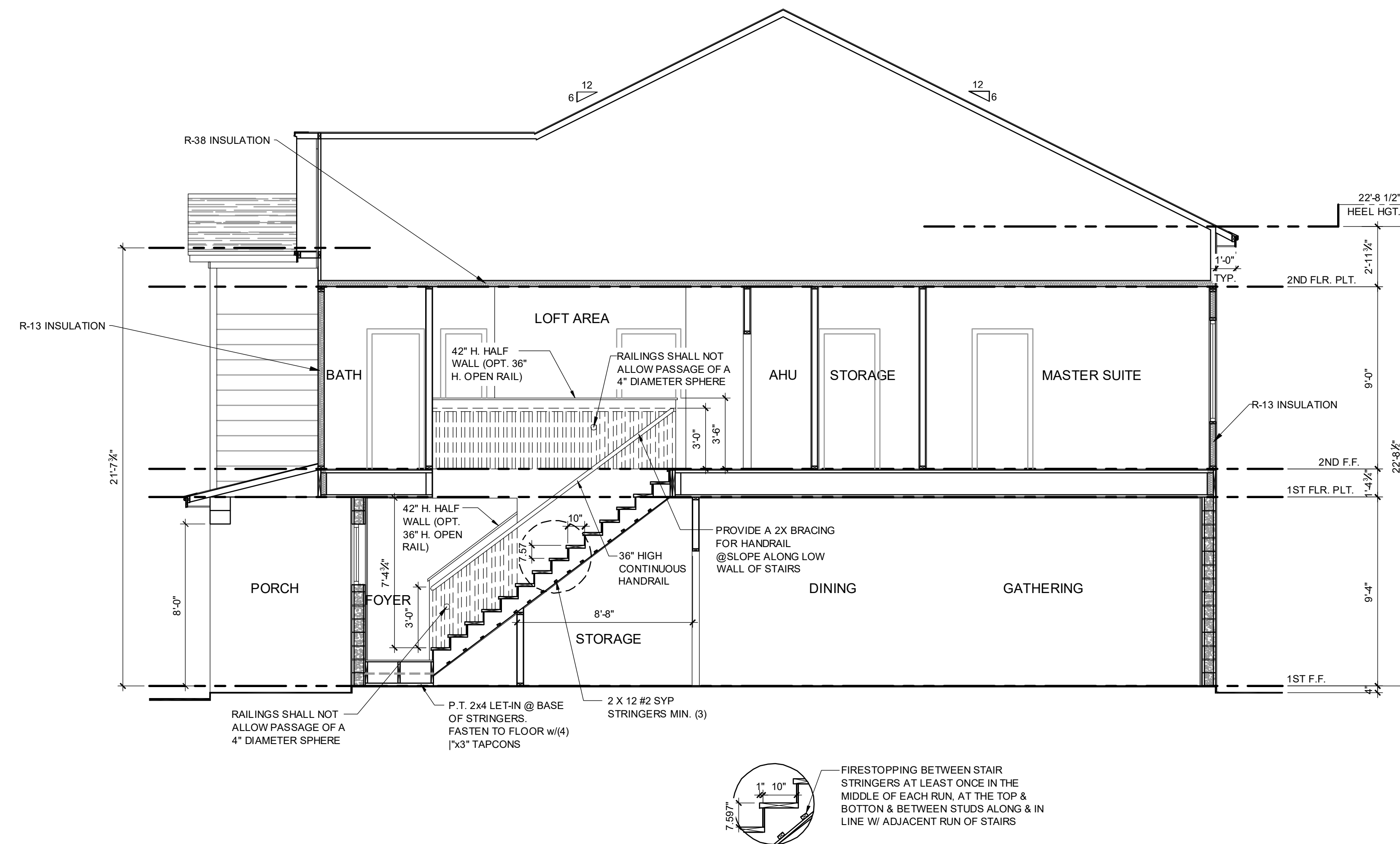
**R311.7.8.2 Continuity.**

Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.

**R311.7.8.3 Grip-size.**

Required handrails shall be one of the following types or provide equivalent graspability.

- Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



**A** 2-STORY STAIR SECTION - 2024  
1/4" = 1'-0"

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**PARK SQUARE**  
5 - UNITS  
83' RL (Rear Load) TOWNS

title: **2024 - MADISON STAIR SECTION**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.0C ELEV. A**

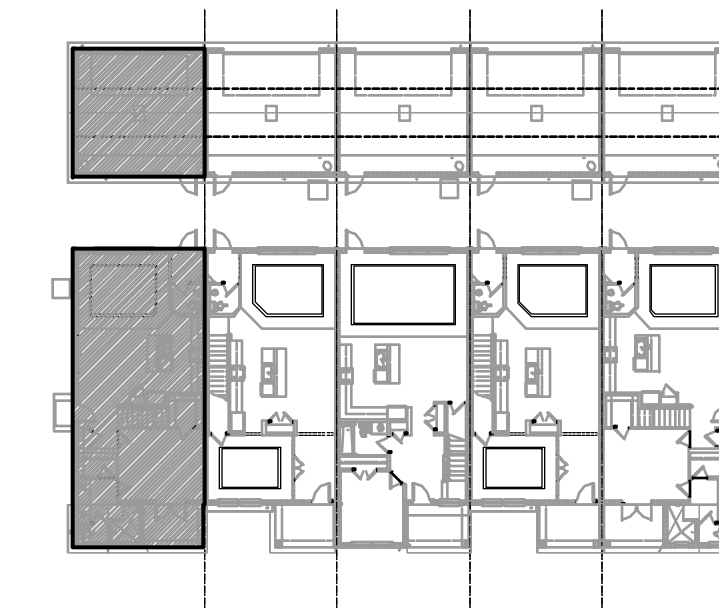
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G.C. TO VERIFY FASCIA CALLOUT



**ELEVATION - KEY PLAN**

1/32" = 1'-0"

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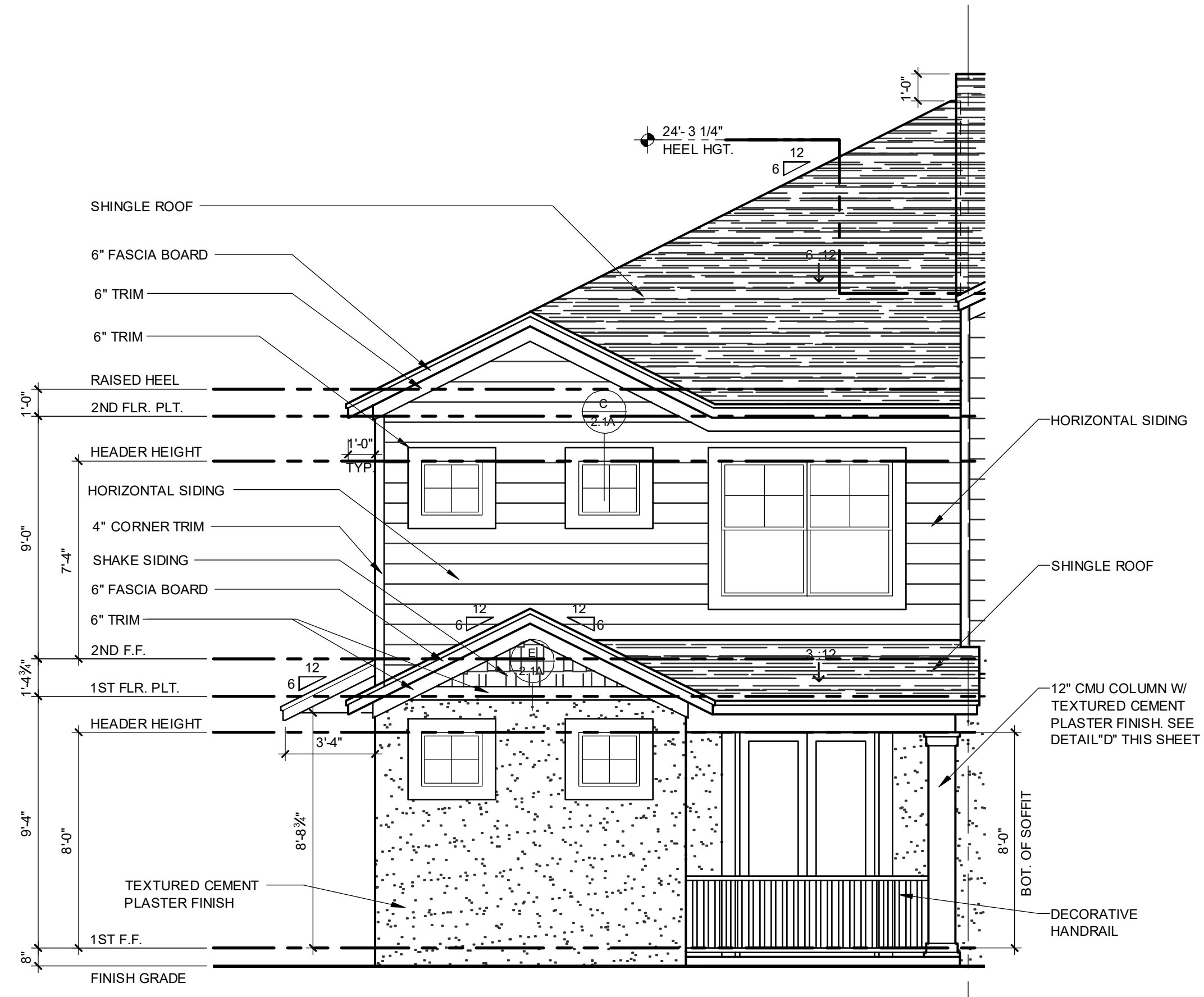


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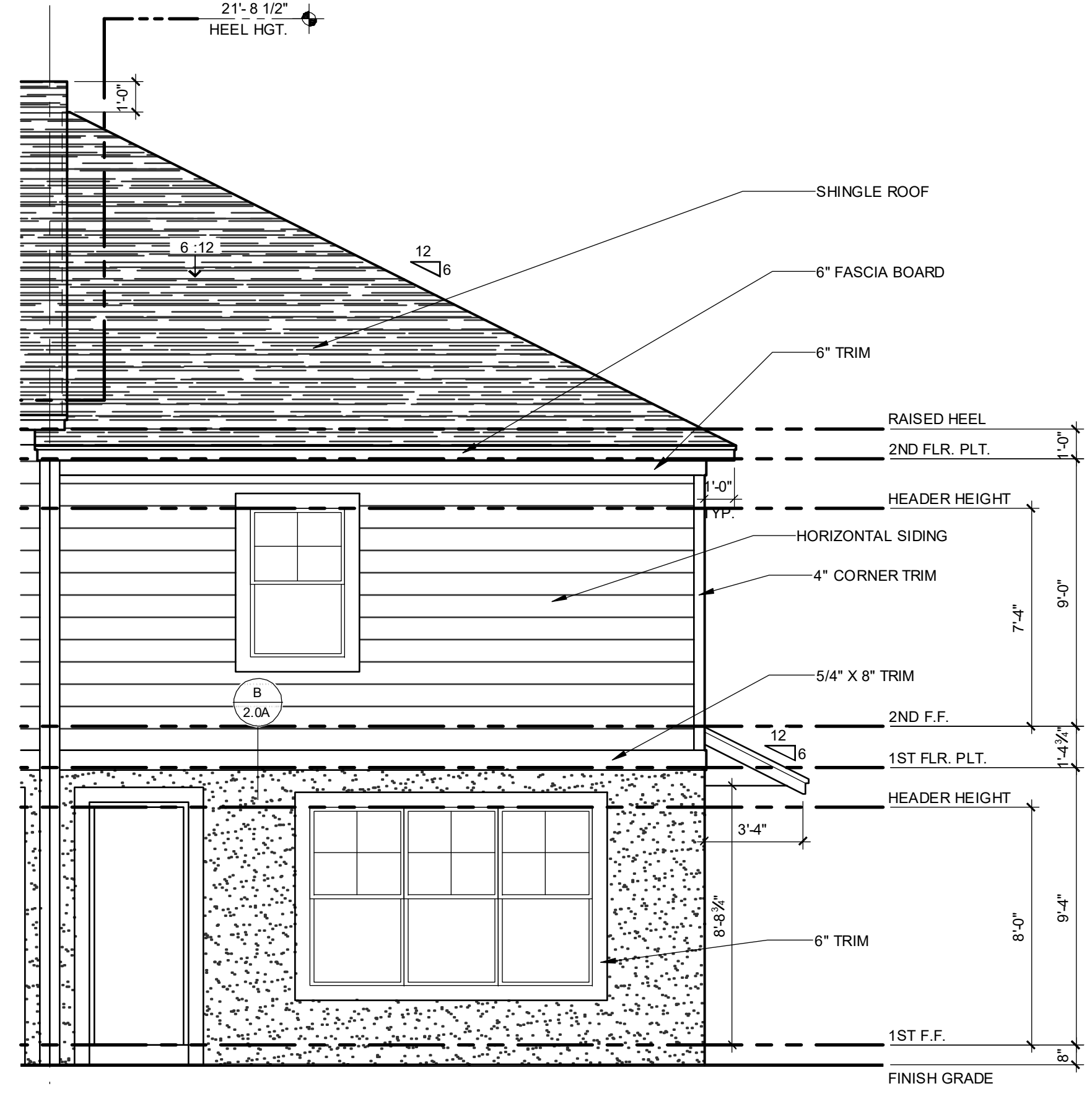
**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

Project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

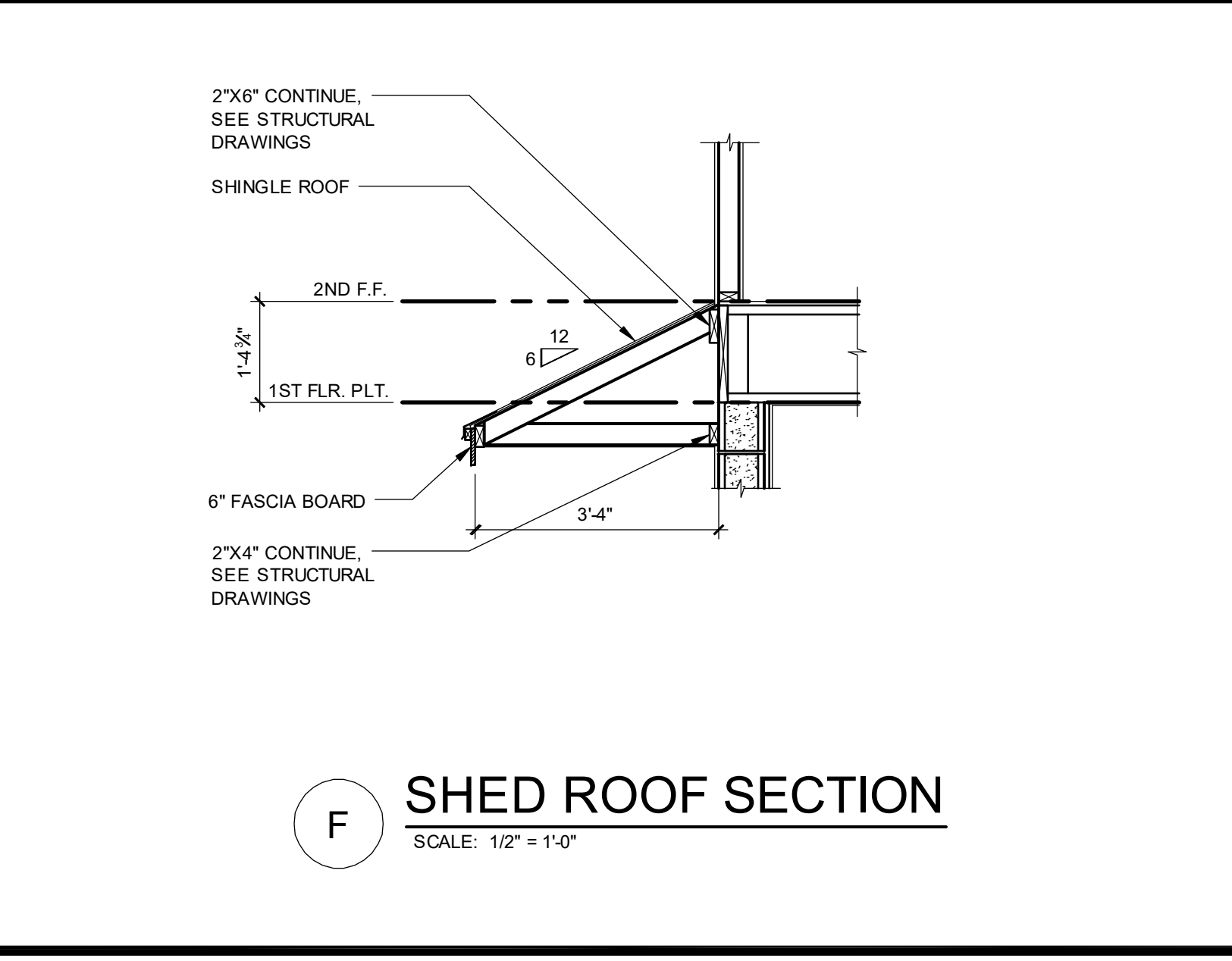
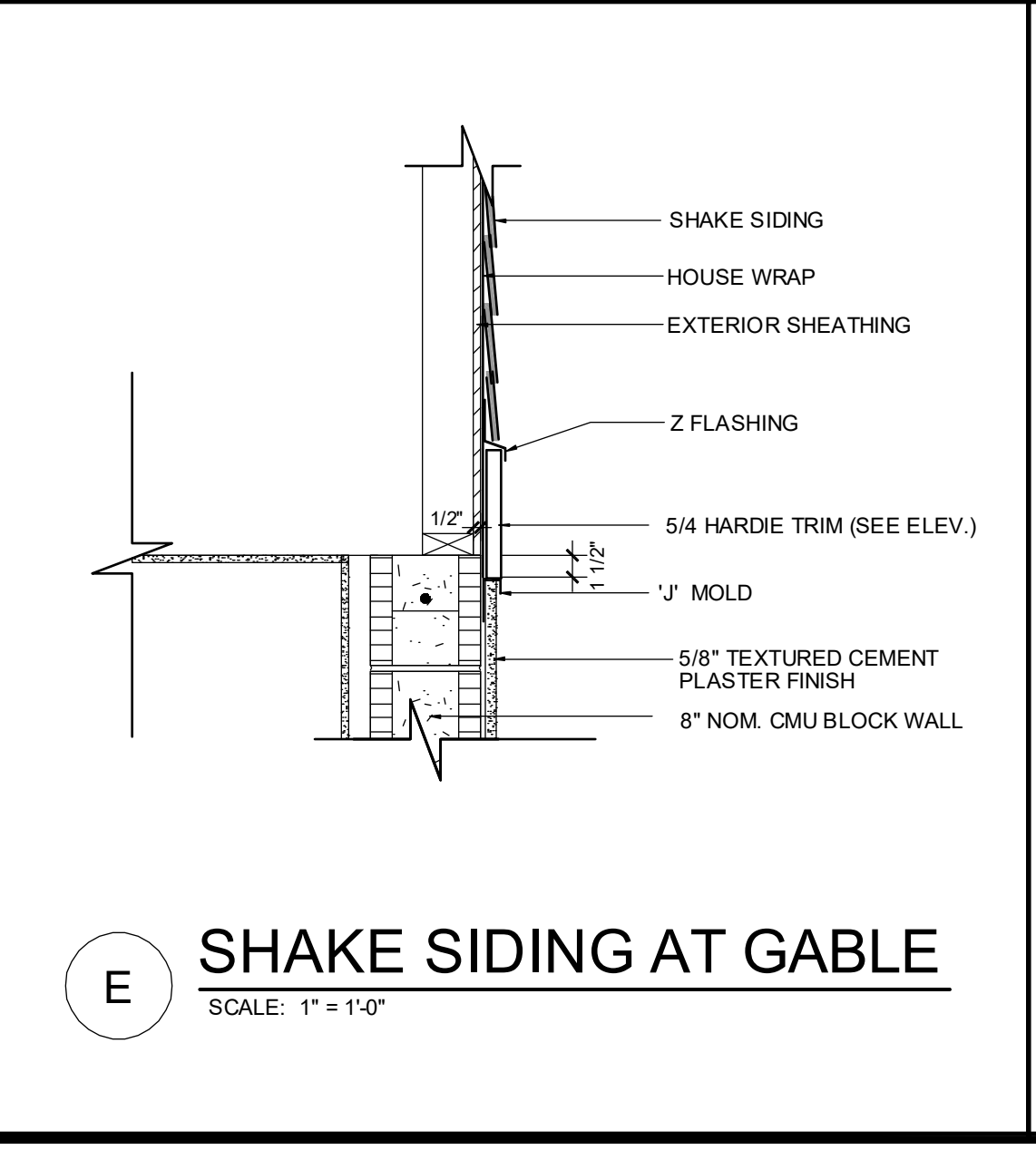
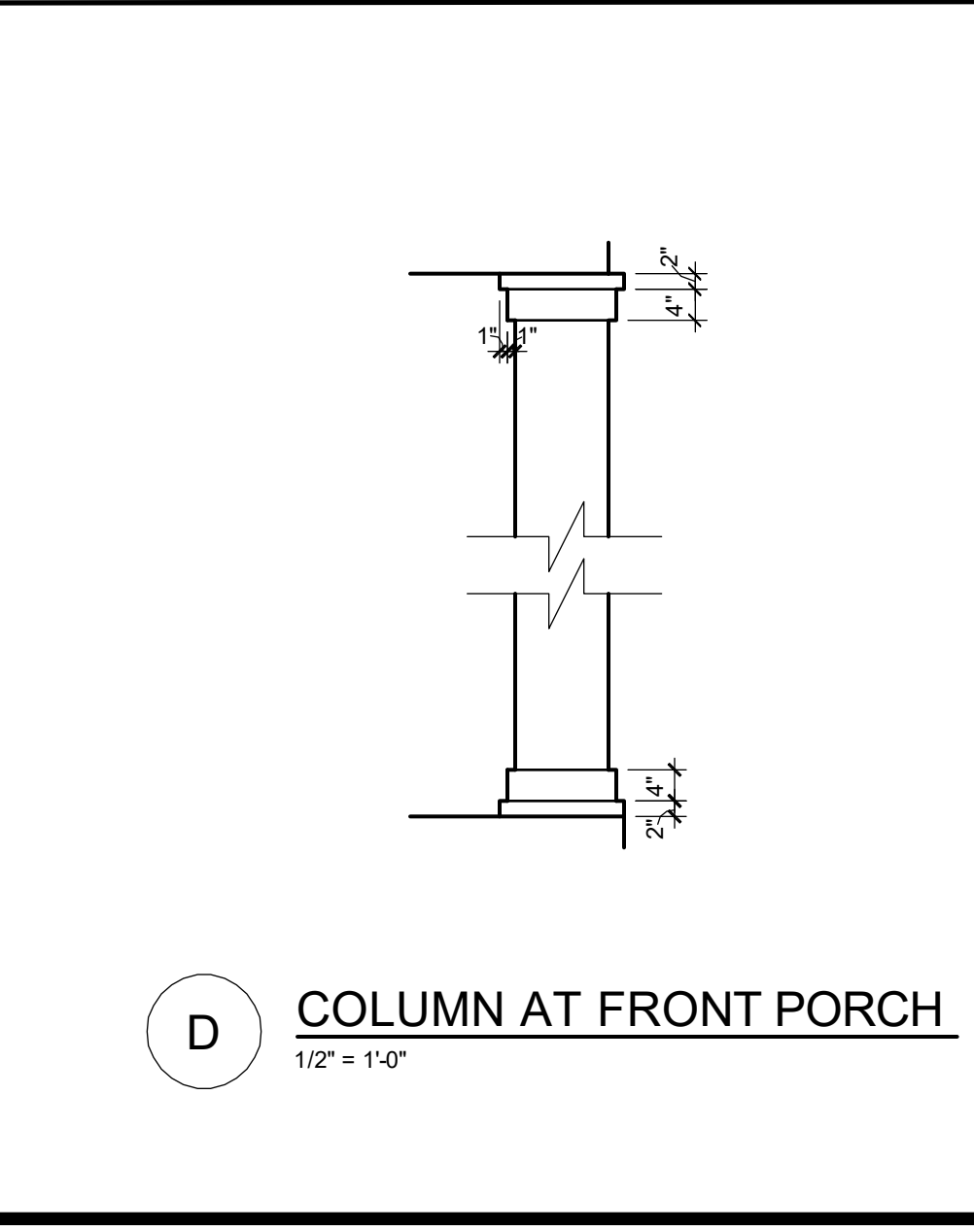
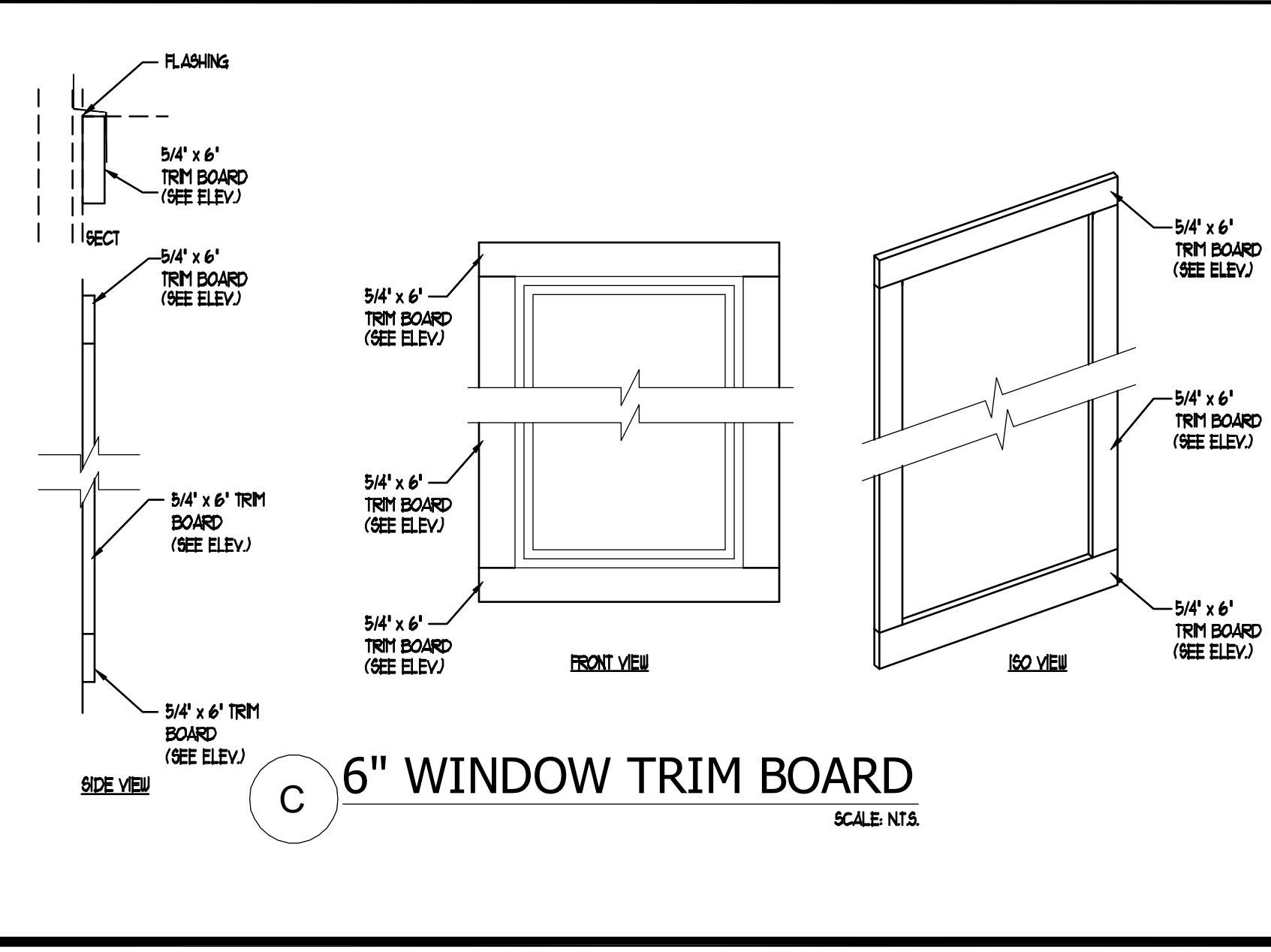
**2.1A**  
**ELEV. A**



**1914 - ADAMS FRONT ELEVATION**  
1/4" = 1'-0"



**1914 - ADAMS REAR ELEVATION**  
1/4" = 1'-0"

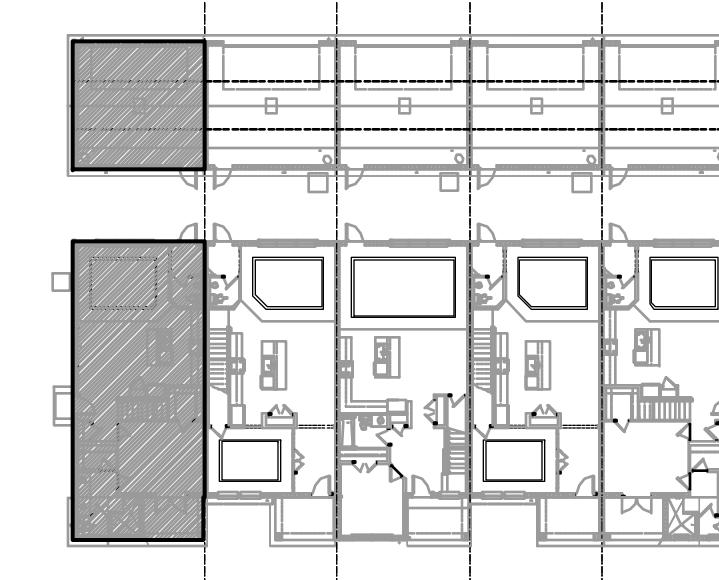


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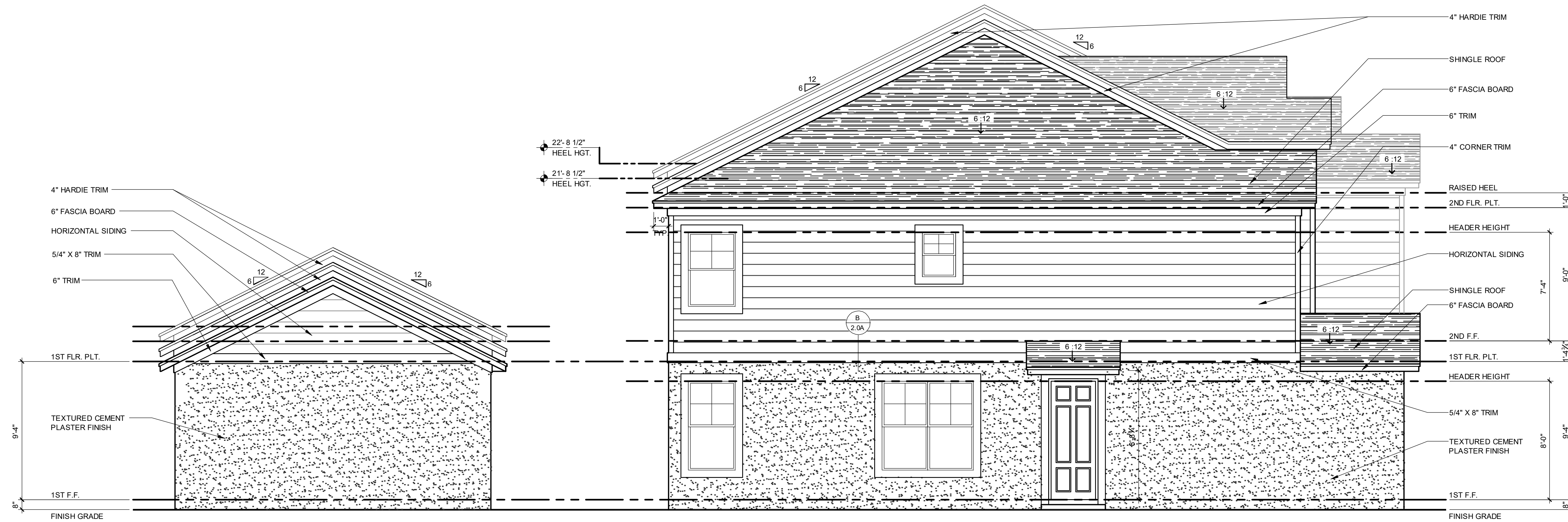
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**ELEVATION - KEY PLAN**

1/32" = 1'-0"



**1914 - ADAMS  
LEFT ELEVATION**

1/4" = 1'-0"

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**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.2A  
ELEV. A**

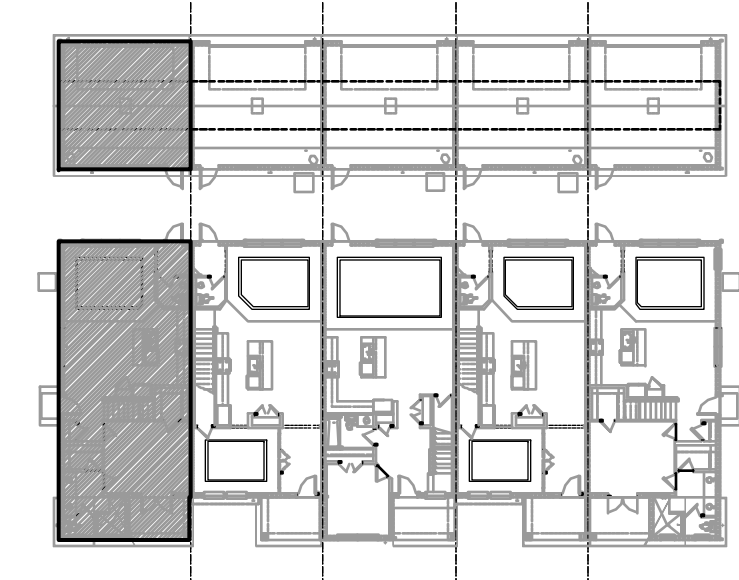
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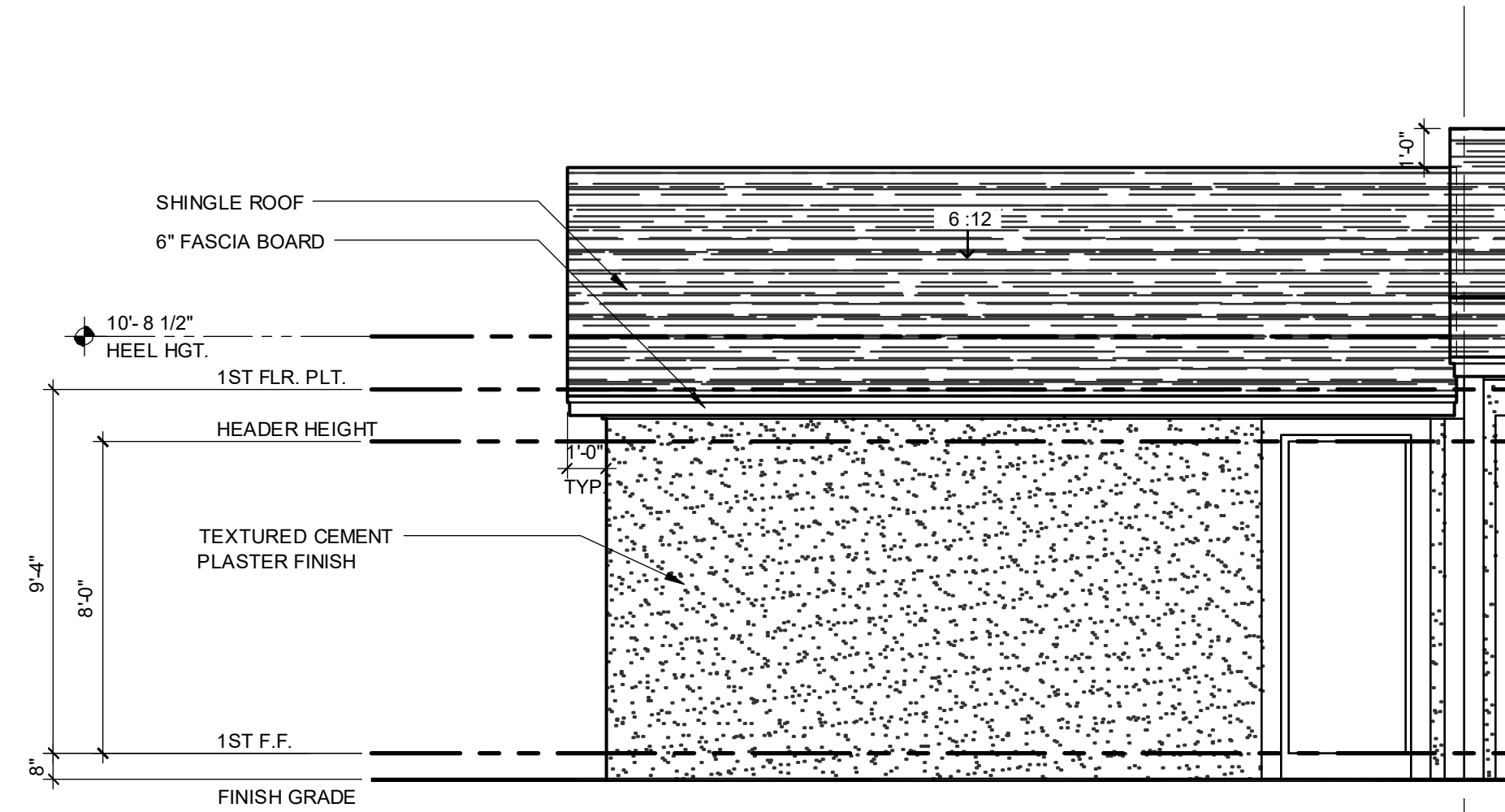
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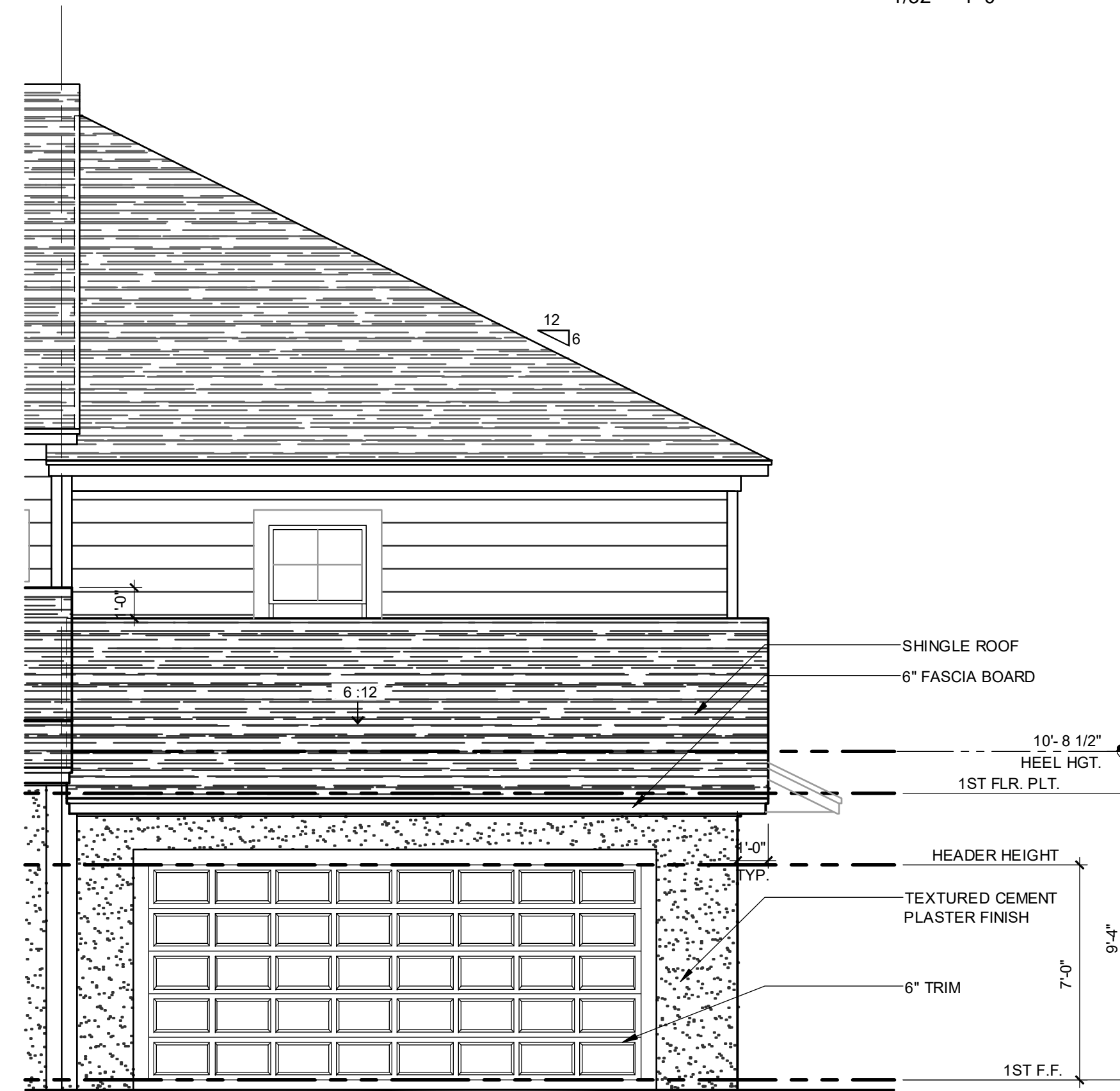
**ELEVATION - KEY PLAN**

1/32" = 1'-0"



**1914 - ADAMS  
FRONT ELEVATION - GARAGE**

1/4" = 1'-0"



**1914 - ADAMS  
REAR ELEVATION - GARAGE**

1/4" = 1'-0"

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Professional Architect: SCOTT LEWONSKI, PE - FL # 77779  
Professional Engineer: JAMES W. BROWN, PE - FL # 44402  
Professional Engineer: JAMES W. BROWN, PE - FL # 44402

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.3A  
ELEV. A**

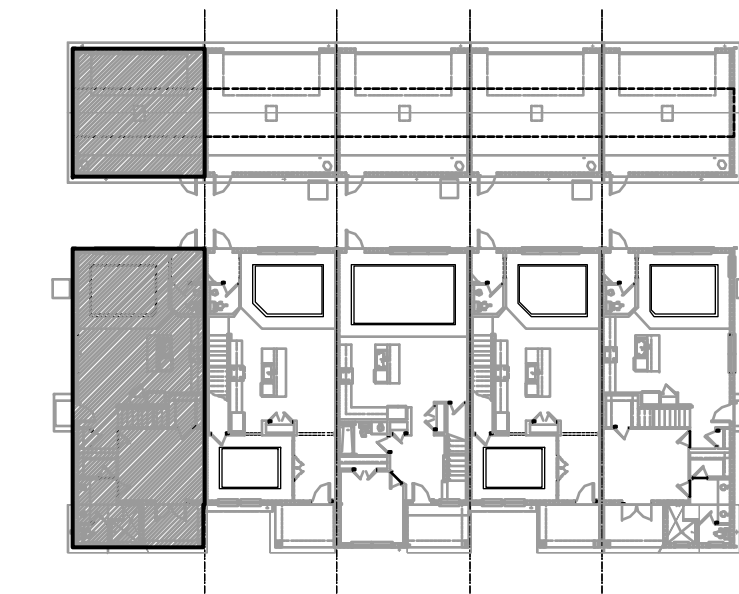
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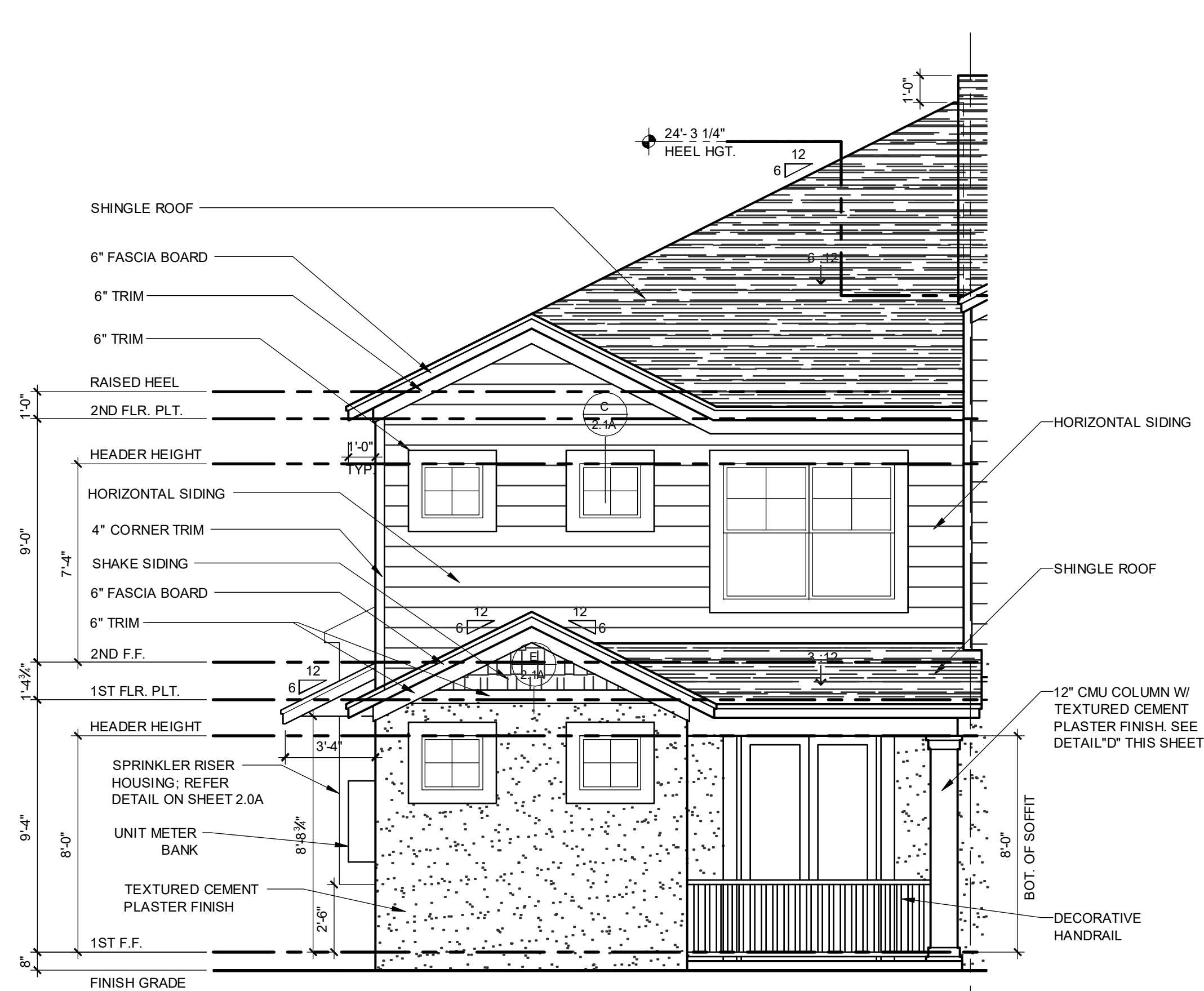
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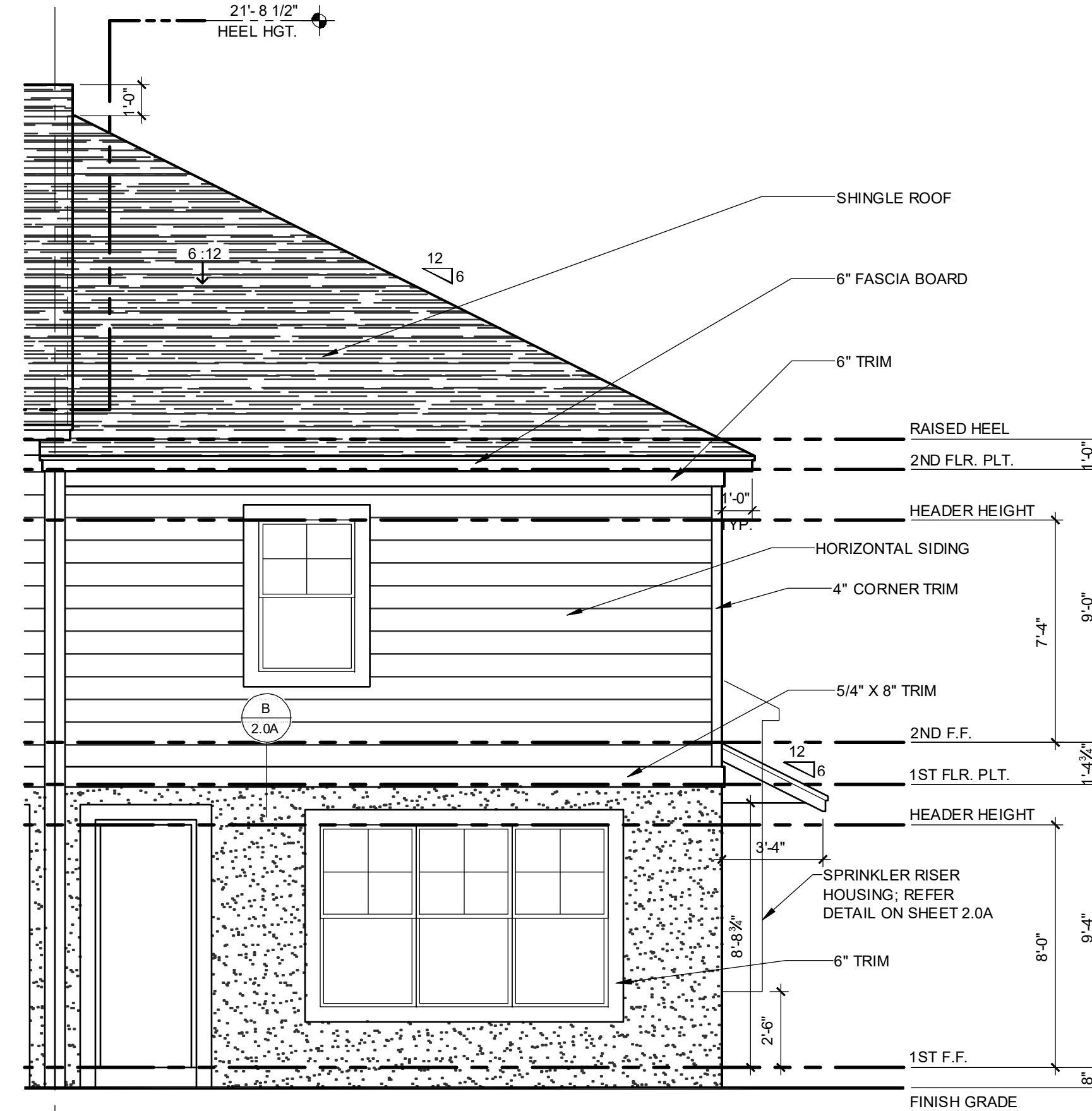
G.C. TO VERIFY FASCIA CALLOUT



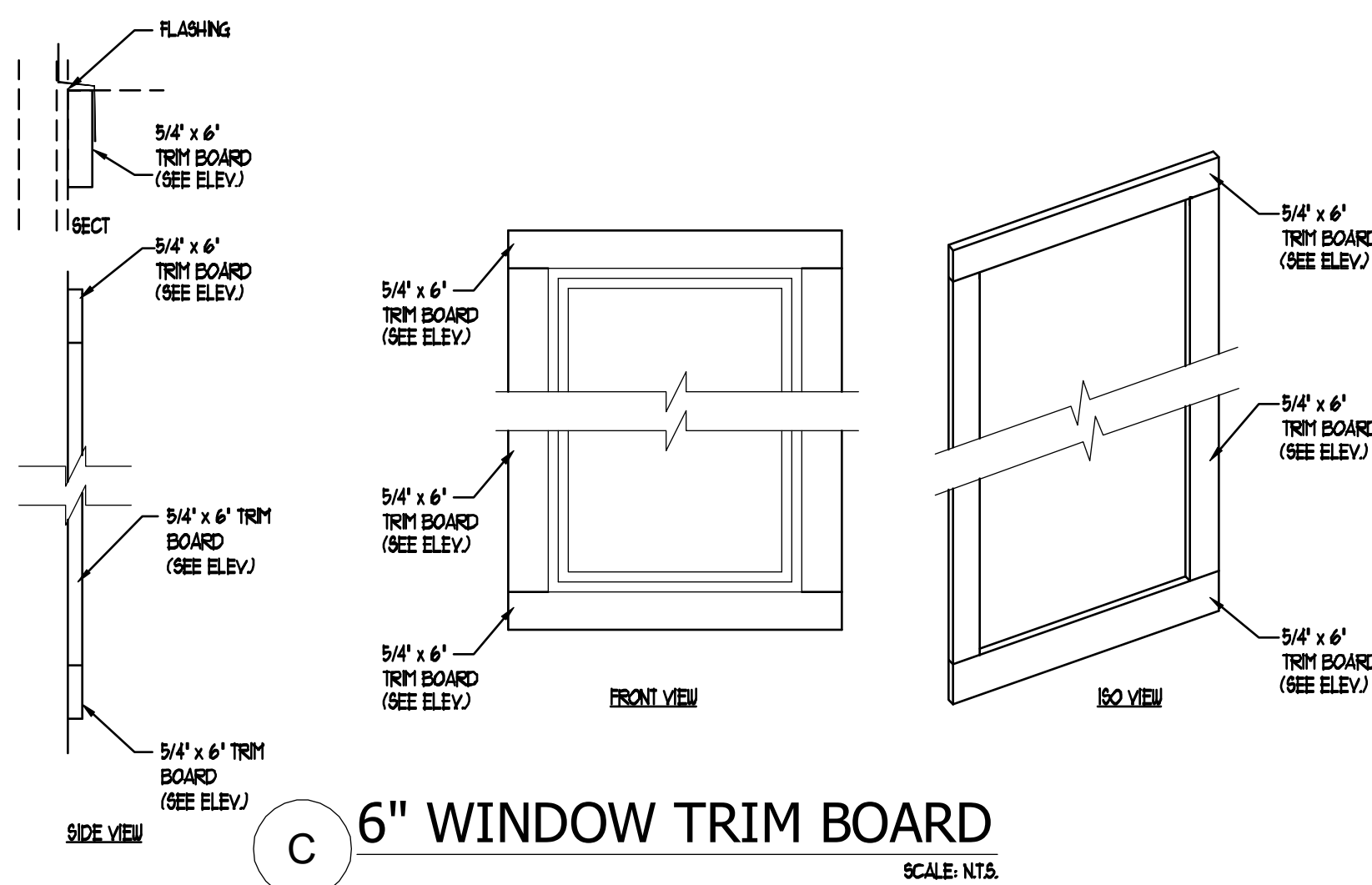
**ELEVATION - KEY PLAN**  
1/32" = 1'-0"



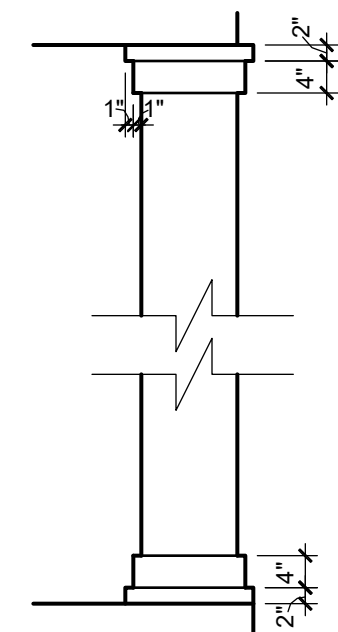
**1914 - ADAMS FRONT ELEVATION**  
1/4" = 1'-0"



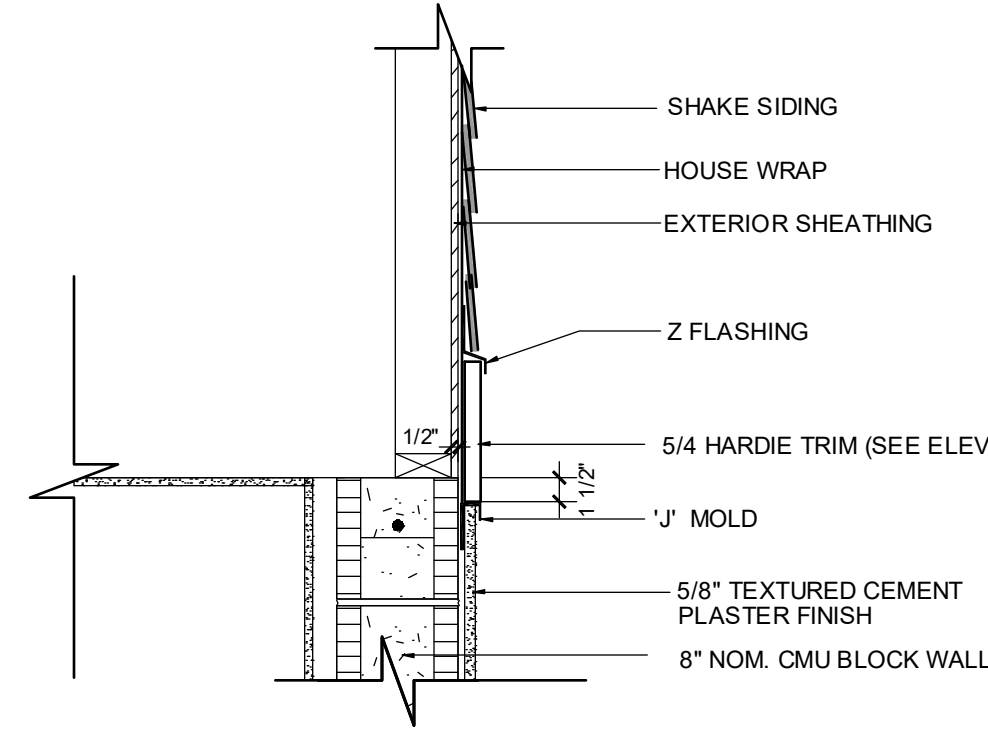
**1914 - ADAMS REAR ELEVATION**  
1/4" = 1'-0"



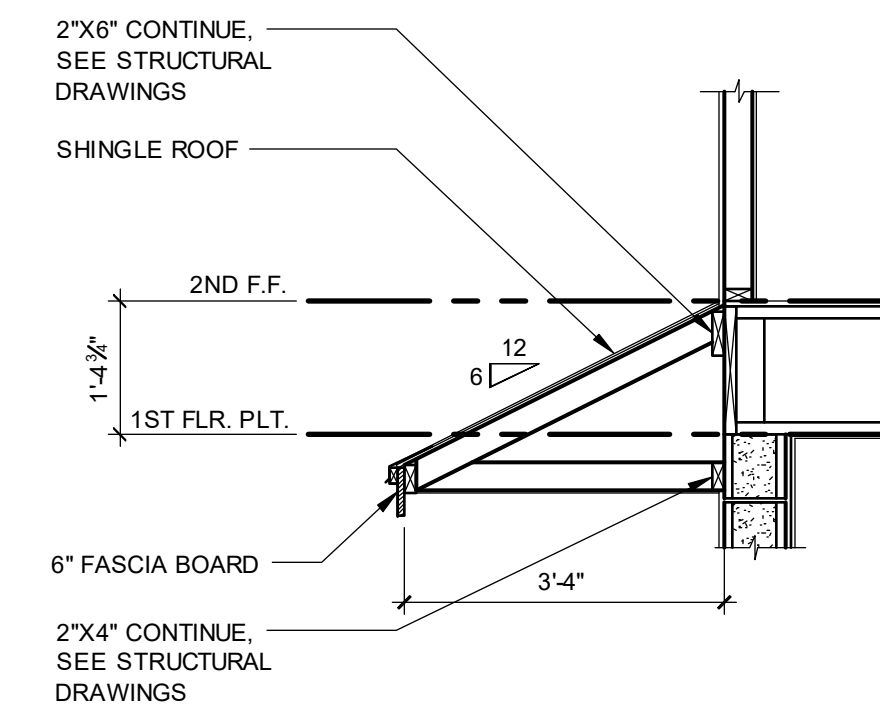
**C 6\"/>**



**D COLUMN AT FRONT PORCH**  
1/2" = 1'-0"



**E SHAKE SIDING AT GABLE**  
SCALE: 1" = 1'-0"



**F SHED ROOF SECTION**  
SCALE: 1/2" = 1'-0"

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CARLA BROWN, PE, F.L. #6128  
BOOTT LEWIS, PE, F.L. #7750  
DATE: JUNE 11, 2024  
DRAWN BY: BOOTT LEWIS  
CHECKED BY: BOOTT LEWIS  
PROJECT NO: 2022143

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

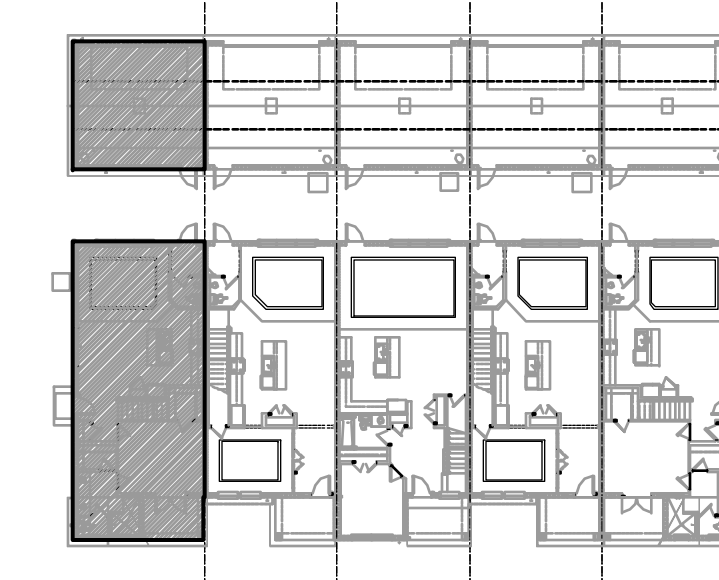
title:  
**1914 - ADAMS EXT. ELEVATIONS**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN  
**2.1A ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



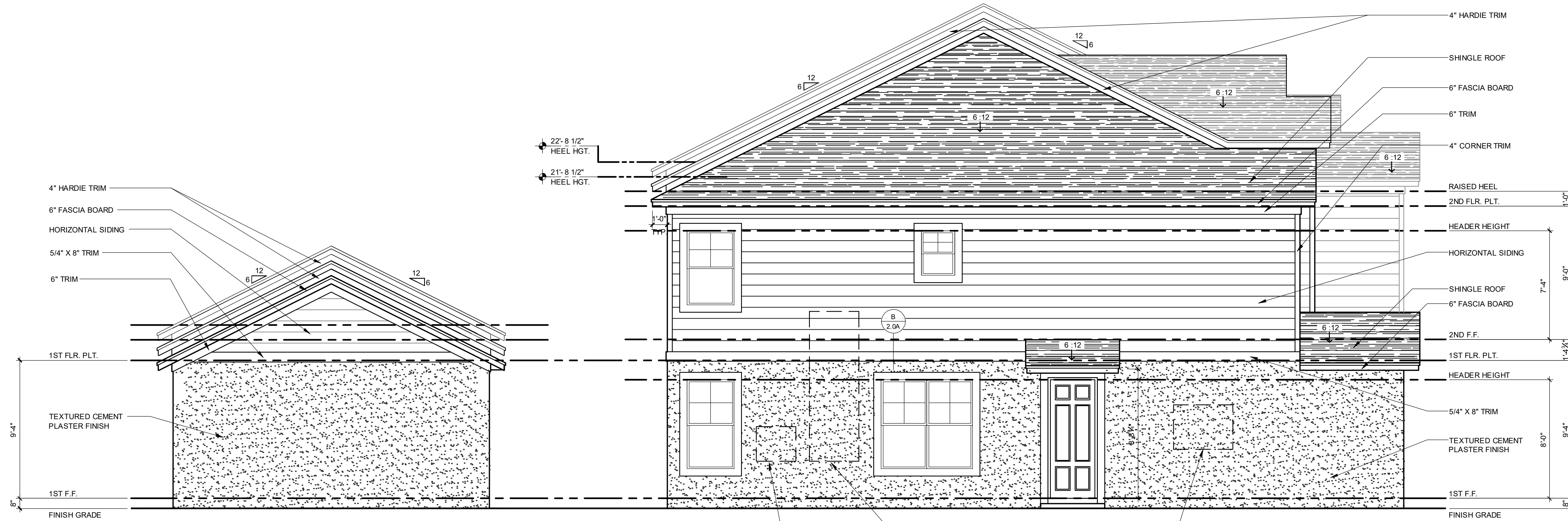
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**ELEVATION - KEY PLAN**

1/32" = 1'-0"

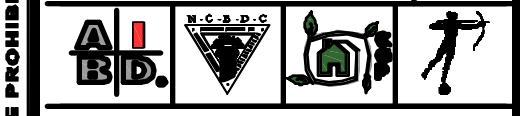


**1914 - ADAMS  
LEFT ELEVATION**

1/4" = 1'-0"

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□ SCOTT LEWIS/OWEN, PE - FL # 27279  
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□ THEODORE J. BROWN, PE - FL # 44432  
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**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.2A  
ELEV. A**

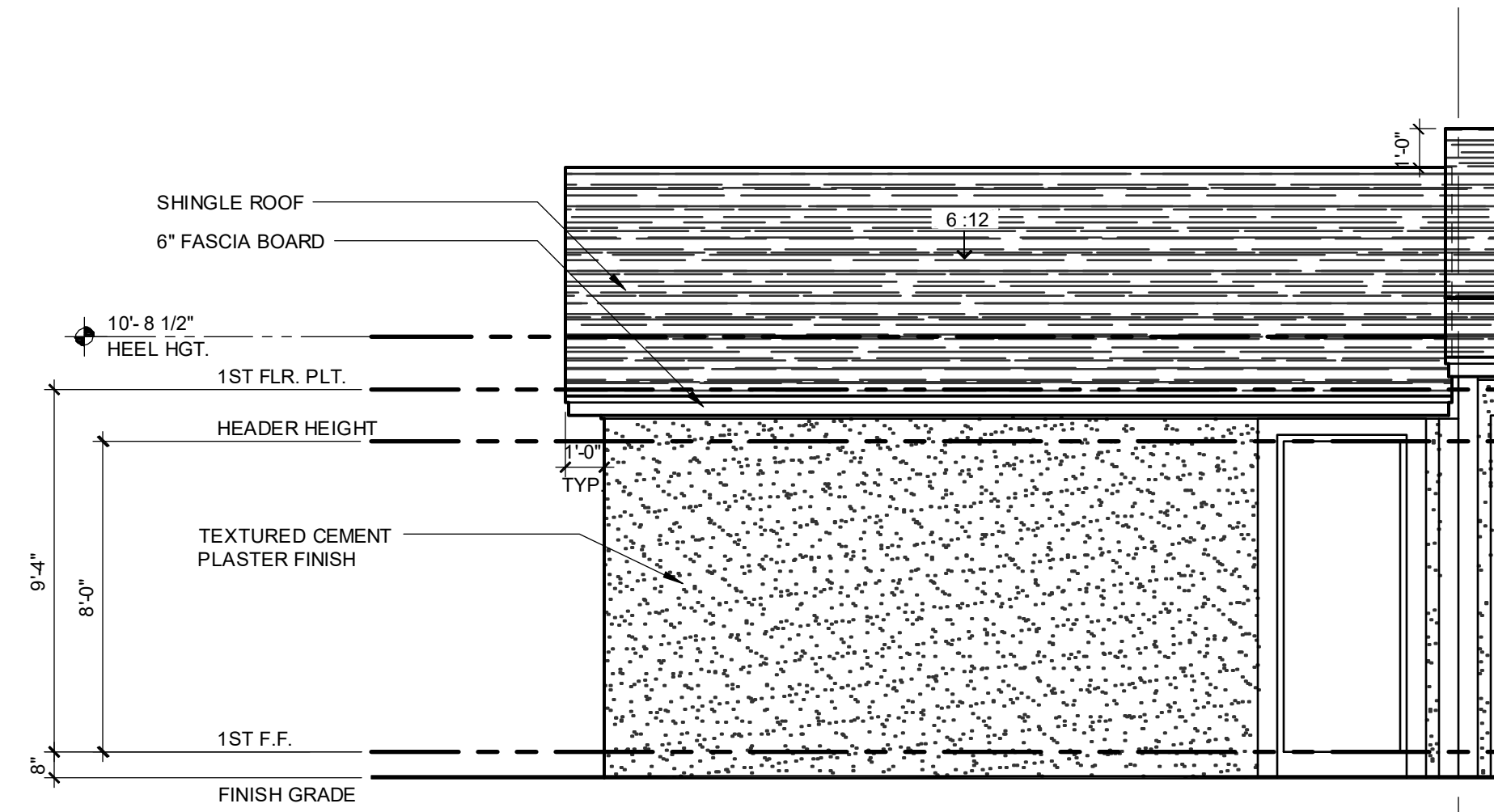
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

The structural design of this building is in accordance with the FLORIDA BUILDING CODE 8TH EDITION (2023) RESIDENTIAL and is certified as such.

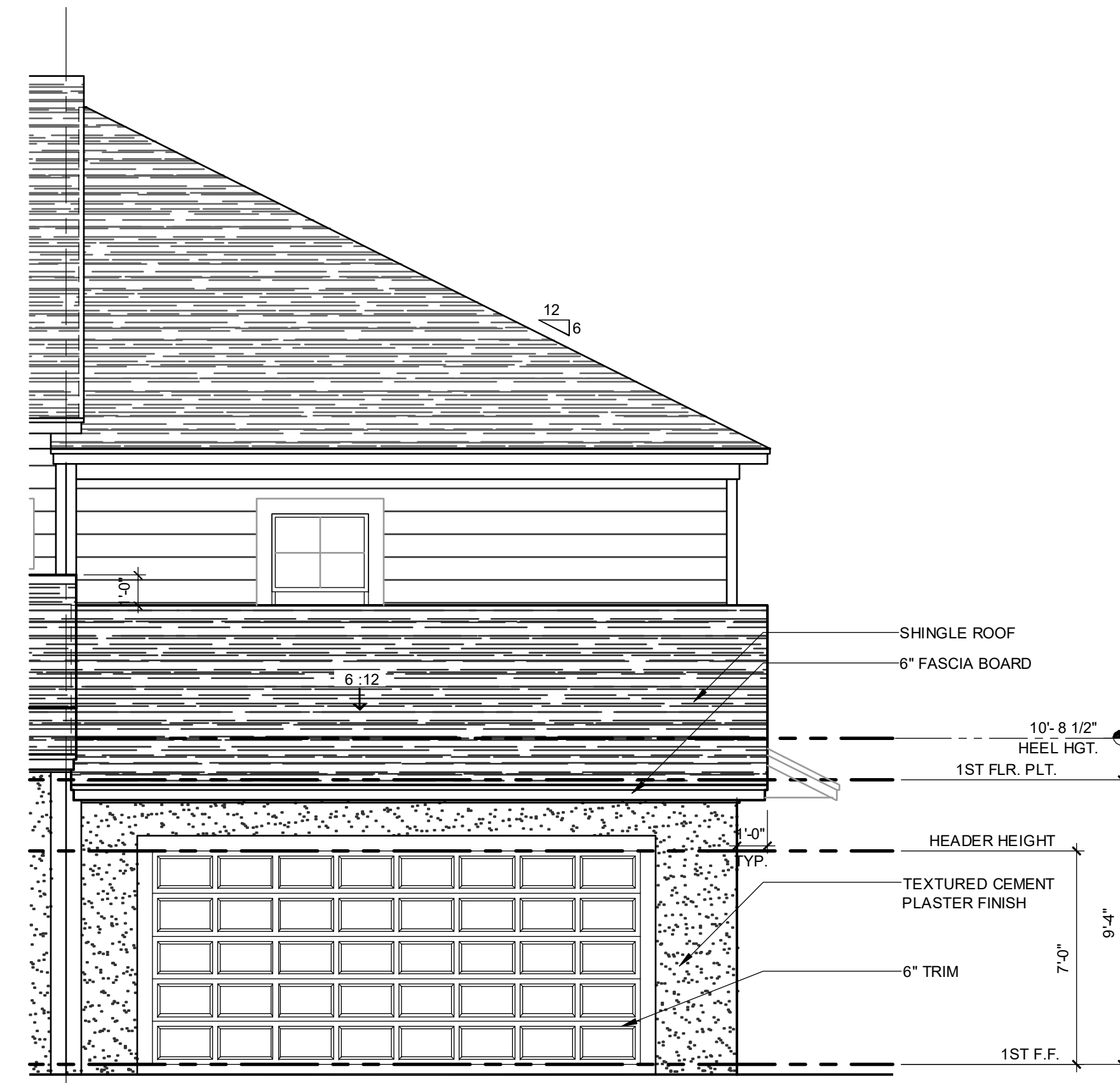


**DISCLAIMER**

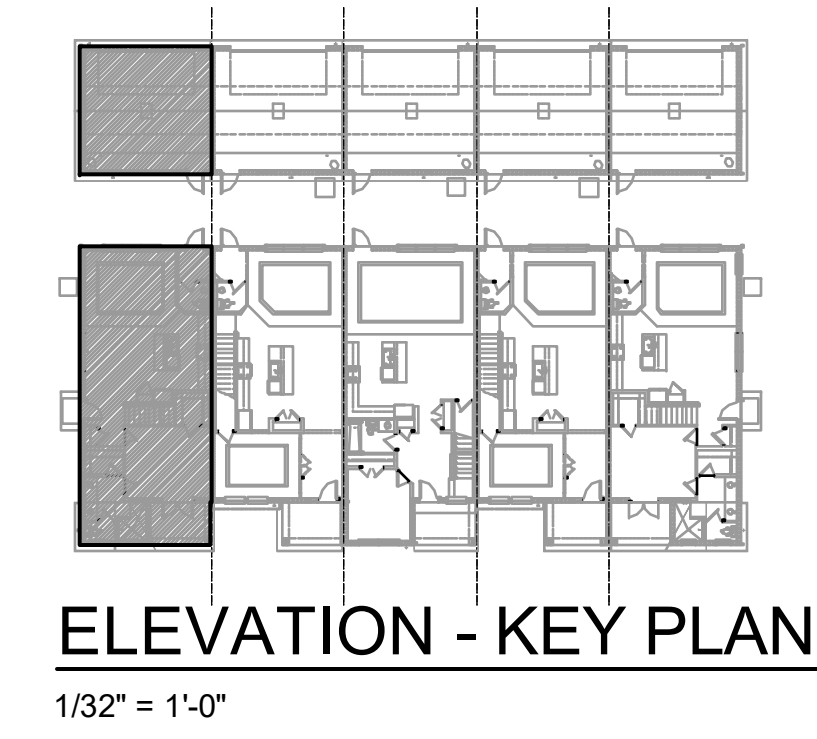
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1914 - ADAMS  
FRONT ELEVATION - GARAGE  
1/4" = 1'-0"



1914 - ADAMS  
REAR ELEVATION - GARAGE  
1/4" = 1'-0"



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SHAWN ANDERSON, P.E., P.E. # 4442  
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**PARK SQUARE**  
5 - UNITS  
83' RL (Rear Load) TOWNS

title:  
**1914 - ADAMS  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.3A  
ELEV. A**

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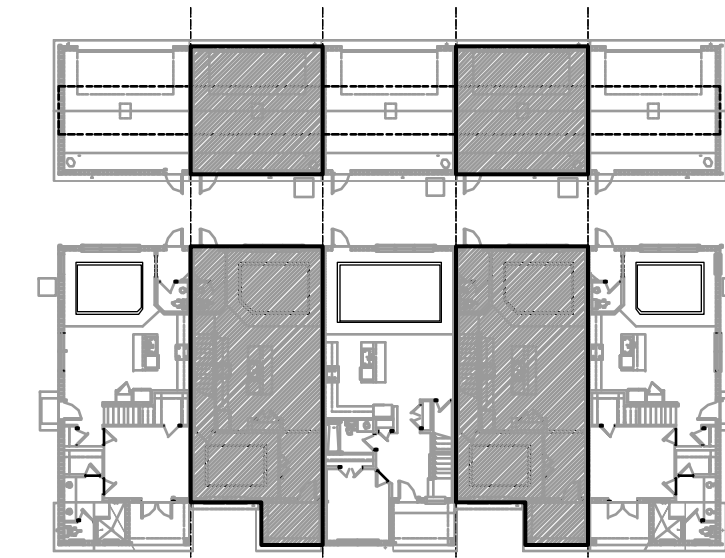






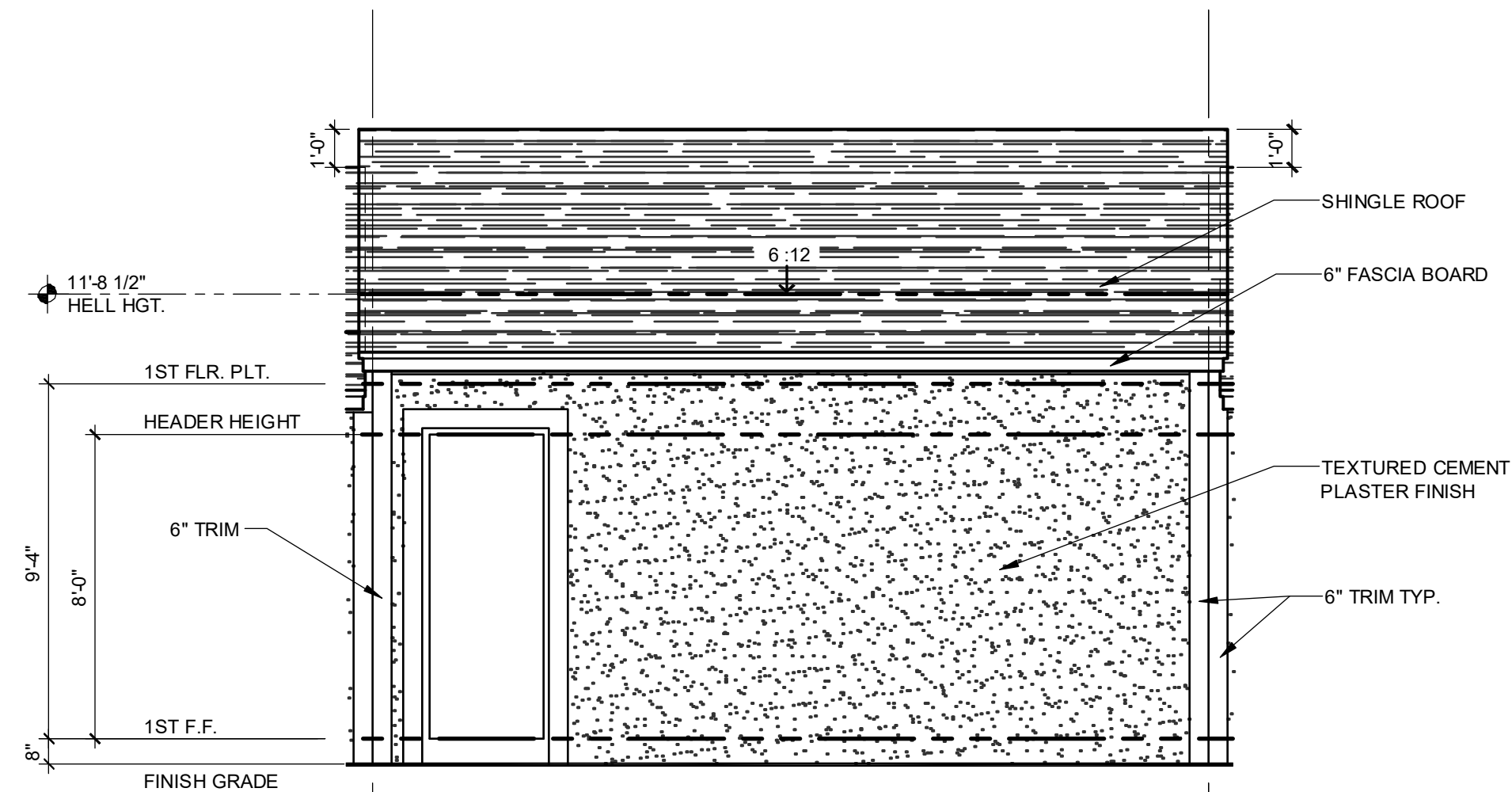
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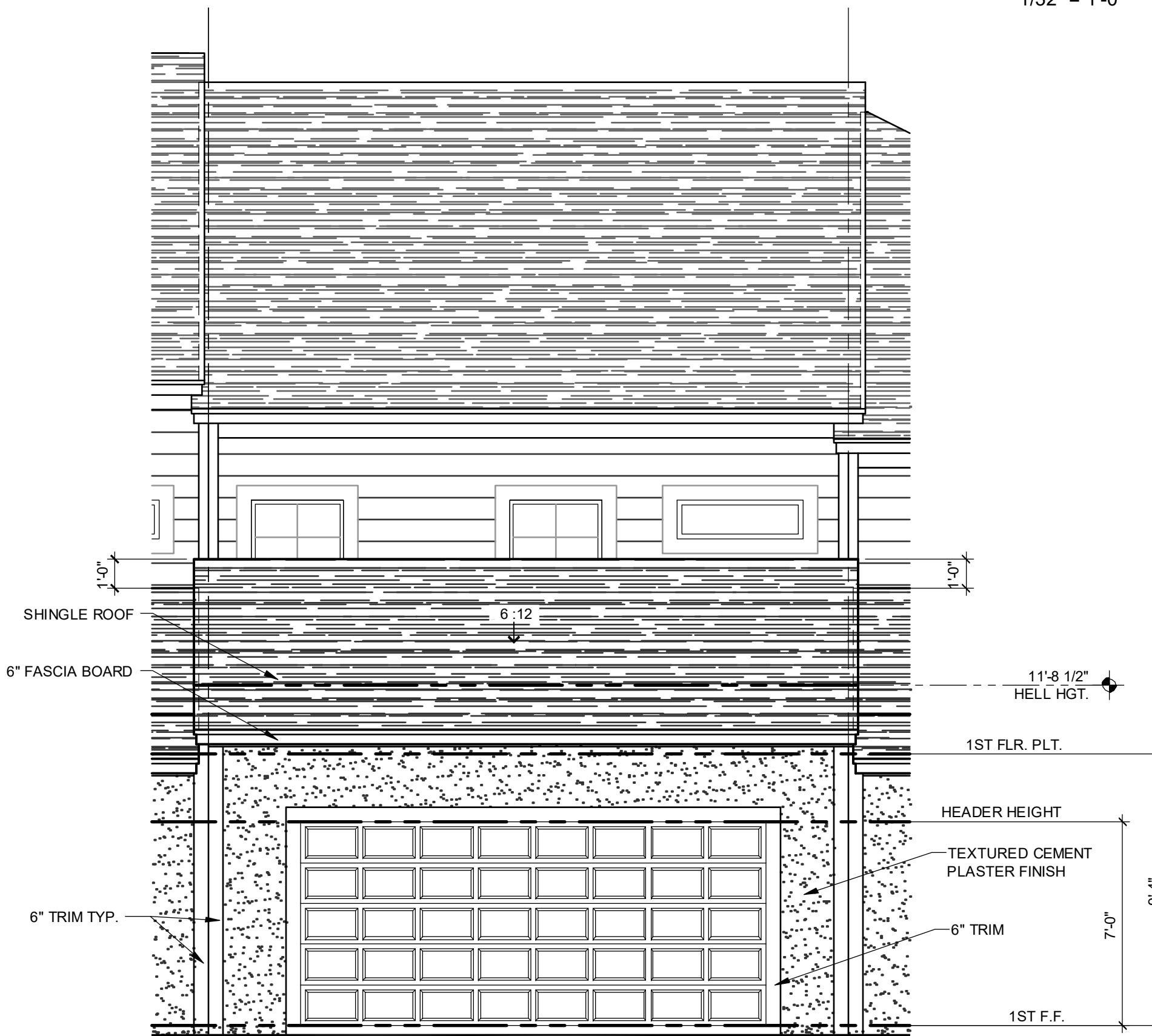
**ELEVATION - KEY PLAN**

1/32" = 1'-0"



**1840 - JEFFERSON  
FRONT ELEVATION - GARAGE**

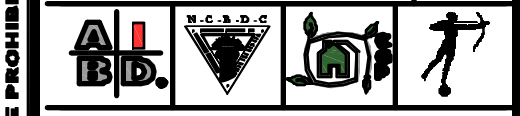
1/4" = 1'-0"



**1840 - JEFFERSON  
REAR ELEVATION - GARAGE**

1/4" = 1'-0"

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□ SCOTT LEWIS, PE - FL # 77779  
□ JESSIE L. HARRIS, PE - FL # 64402  
THIS SEAL IS VALID THROUGH 11/30/24  
I hereby certify that I am a duly licensed professional in the State of Virginia and am authorized to practice in the State of Virginia.

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1840 - JEFFERSON  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

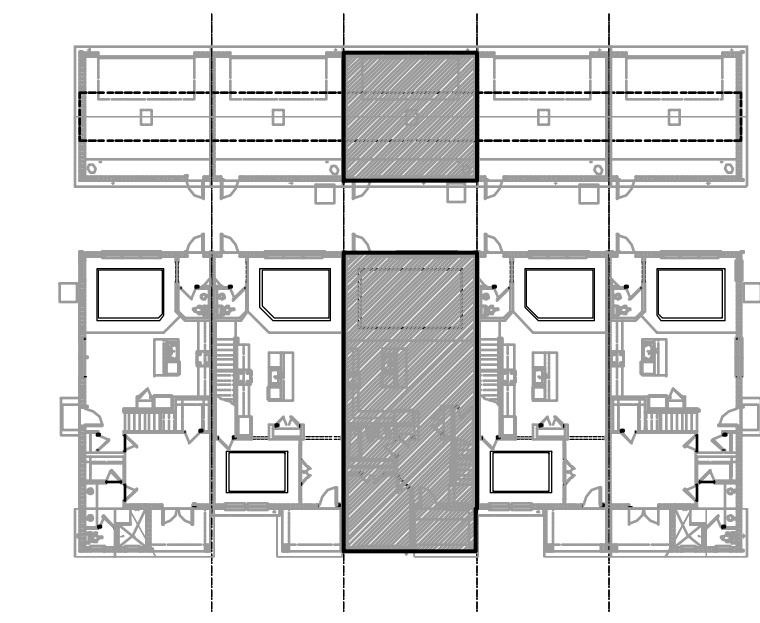
**2.2B  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

**DISCLAIMER**

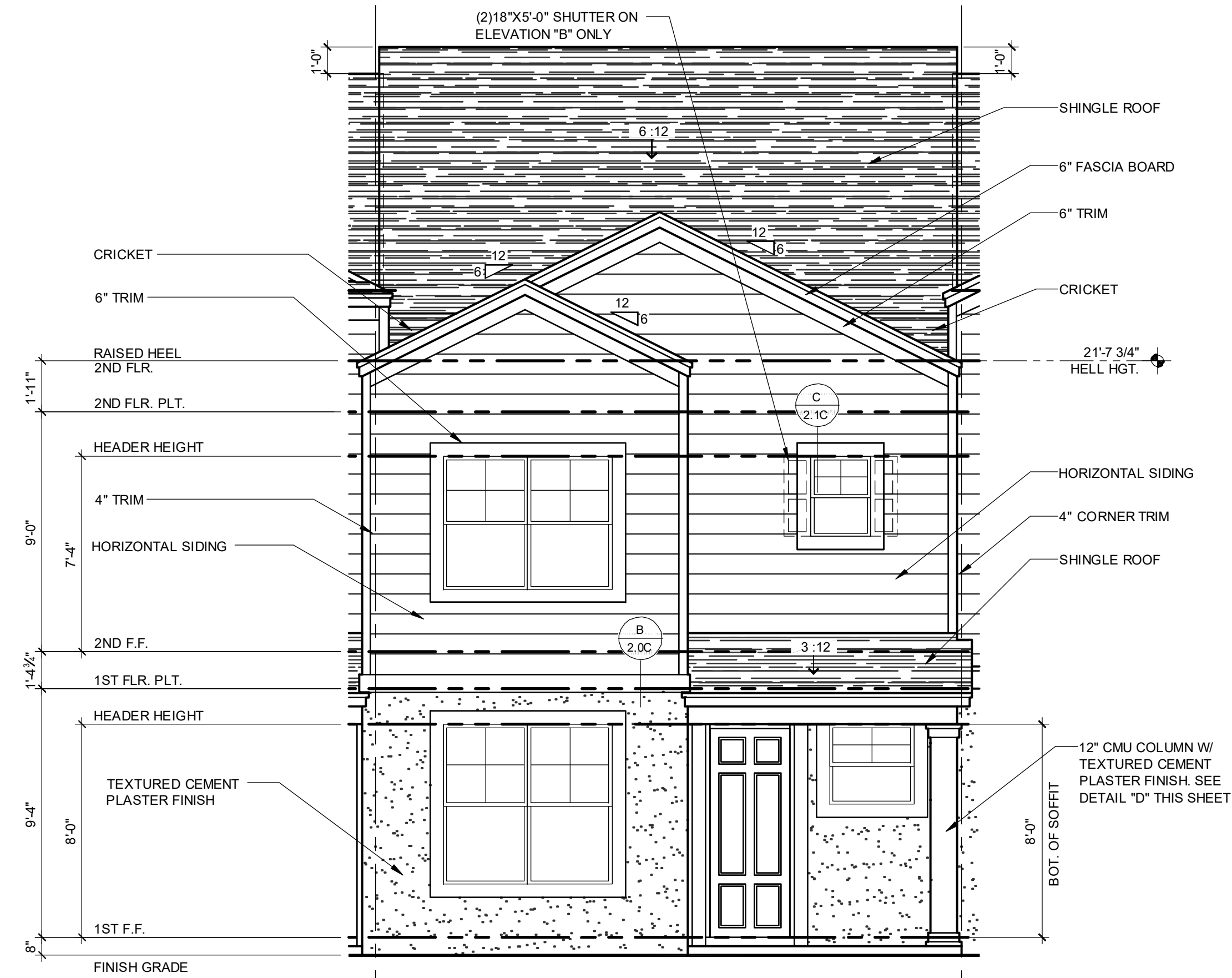
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G.C. TO VERIFY FASCIA CALLOUT



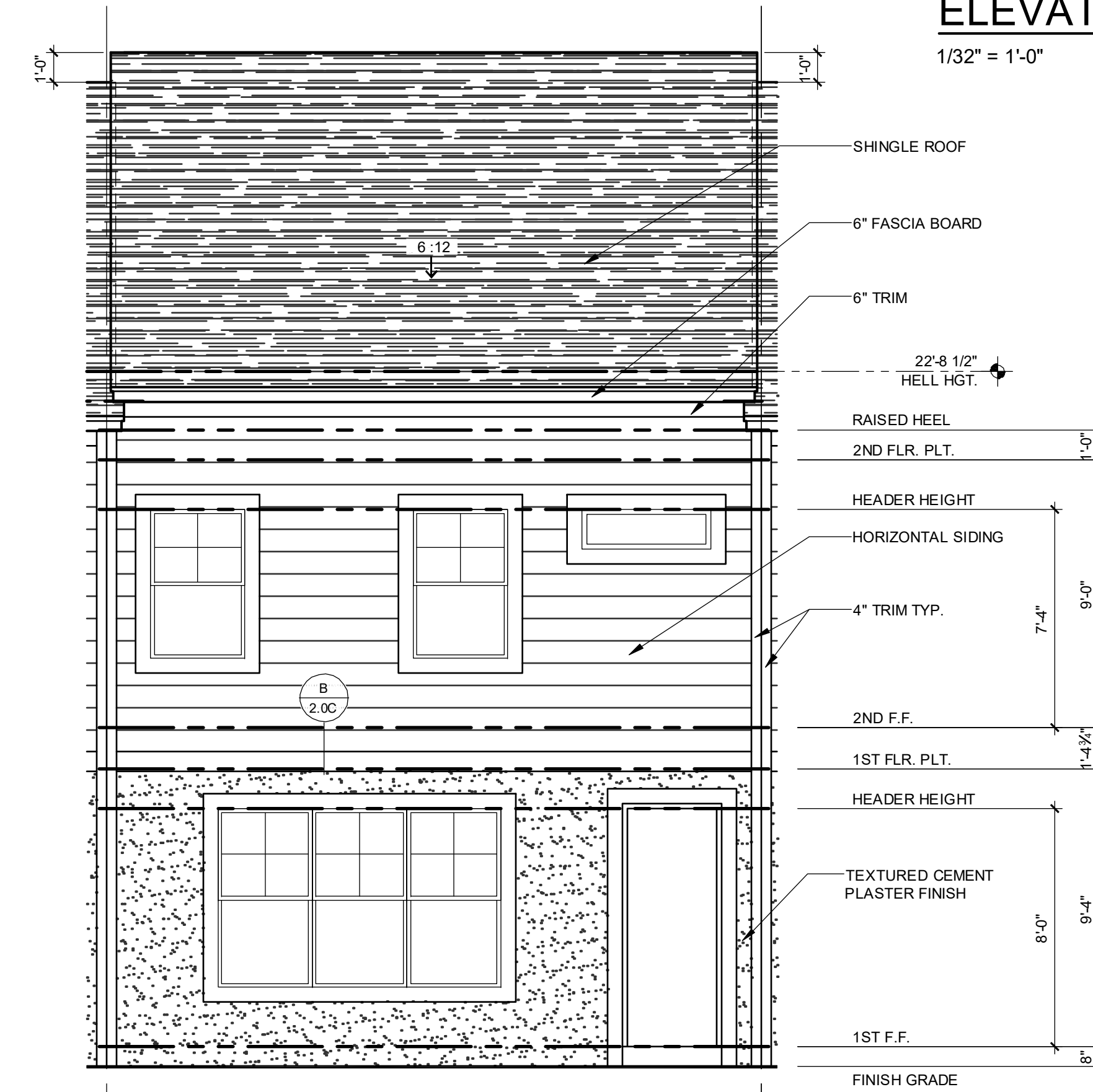
**ELEVATION - KEY PLAN**

1/32" = 1'-0"



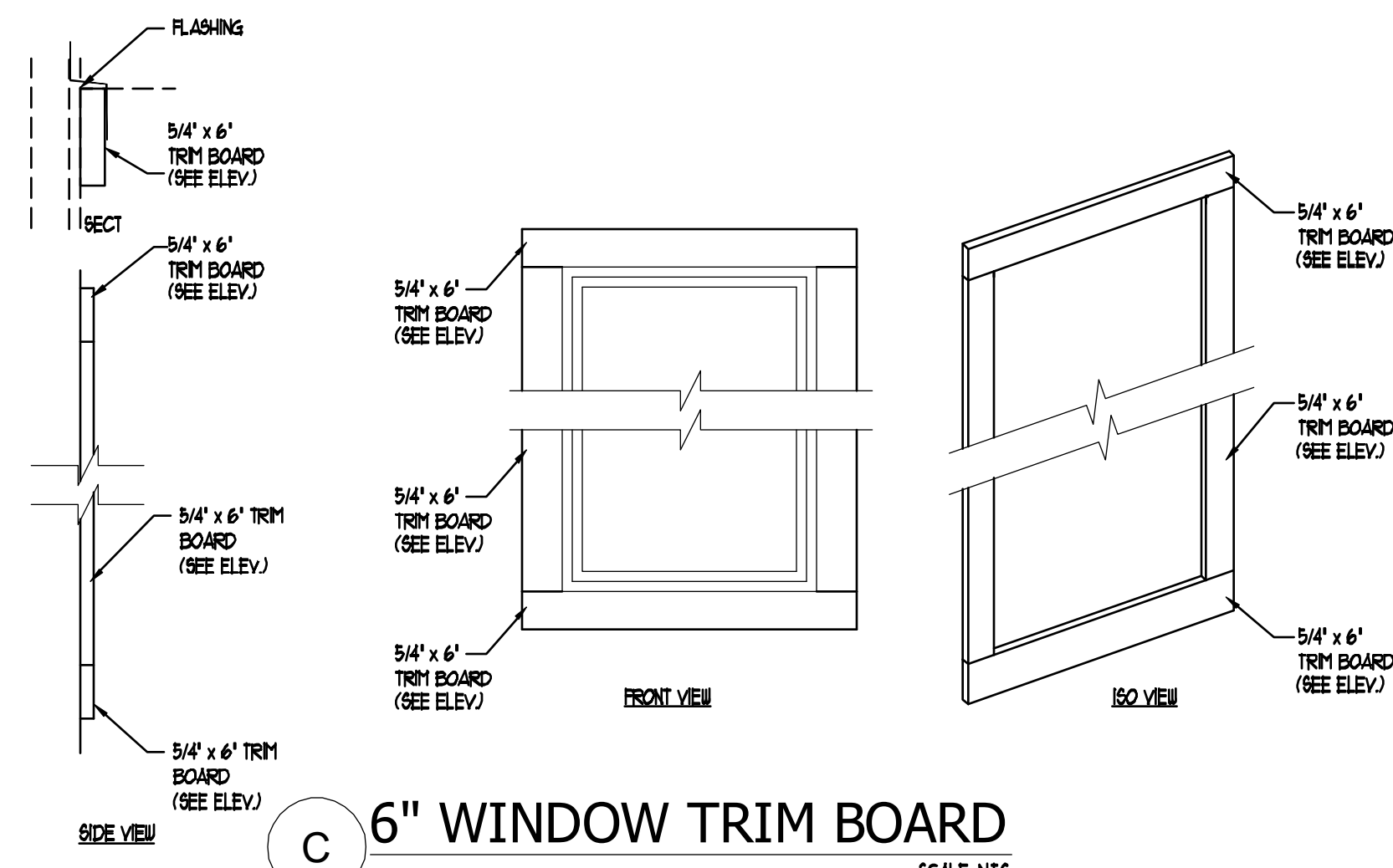
**2024 - MADISON FRONT ELEVATION**

1/4" = 1'-0"



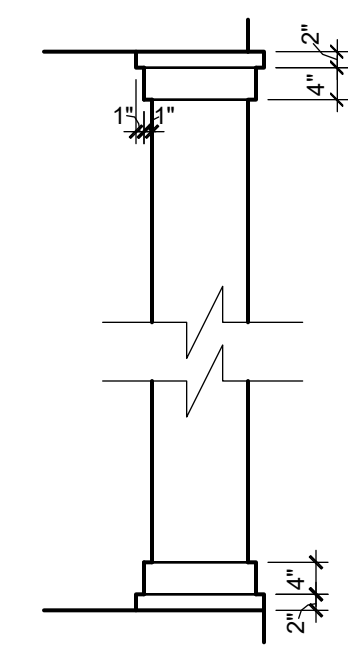
**2024 - MADISON REAR ELEVATION**

1/4" = 1'-0"



**6" WINDOW TRIM BOARD**

SCALE: N.T.S.



**D COLUMN AT FRONT PORCH**

1/2" = 1'-0"

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 F.L. # 44402  
 F.L. # 2024

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**2024 - MADISON EXT. ELEVATIONS**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

**2.1C ELEV. A**

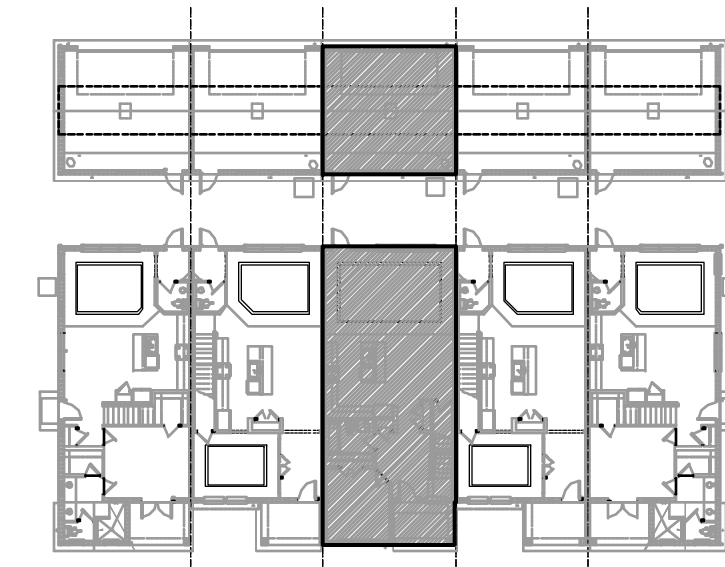
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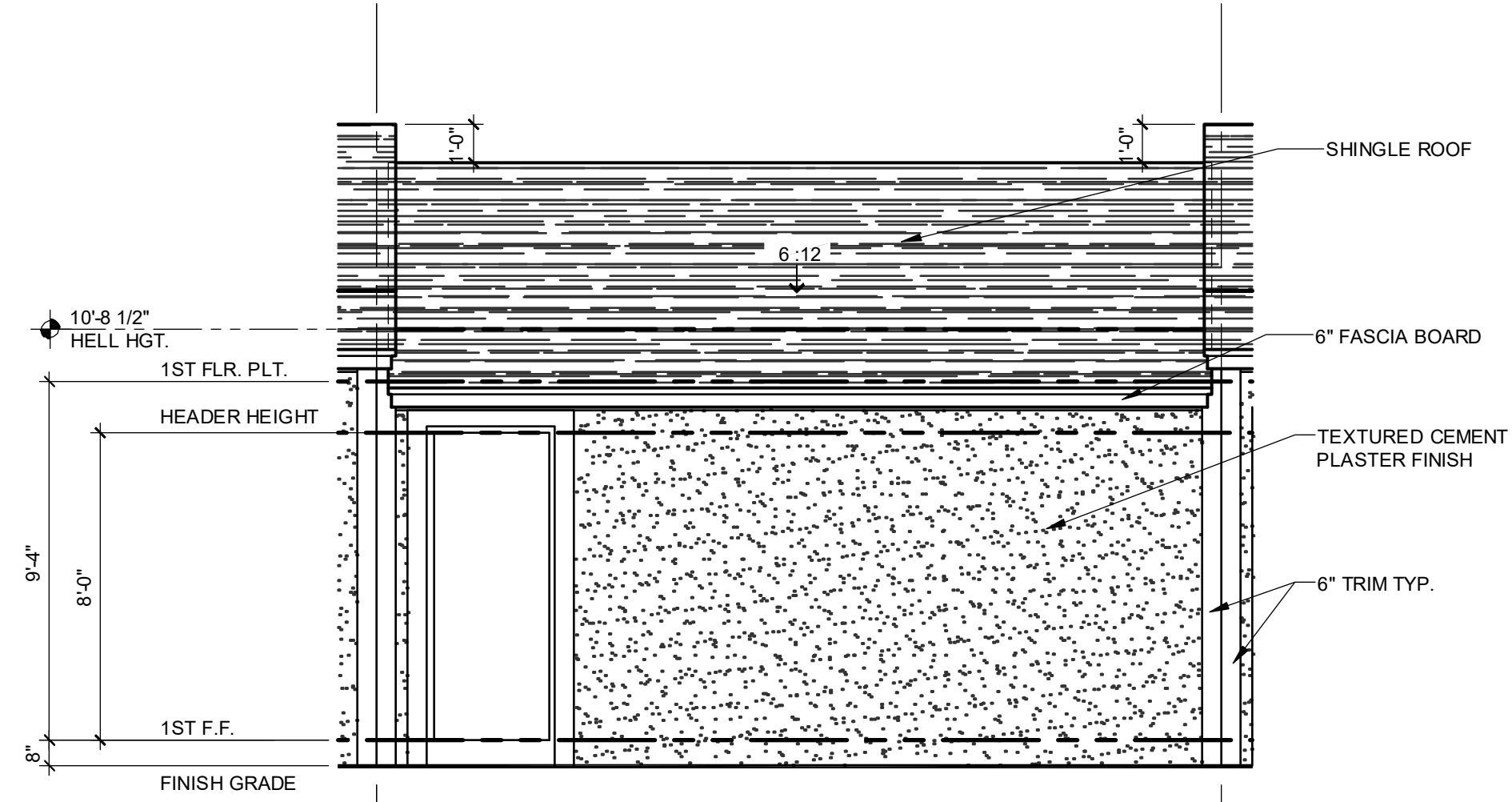
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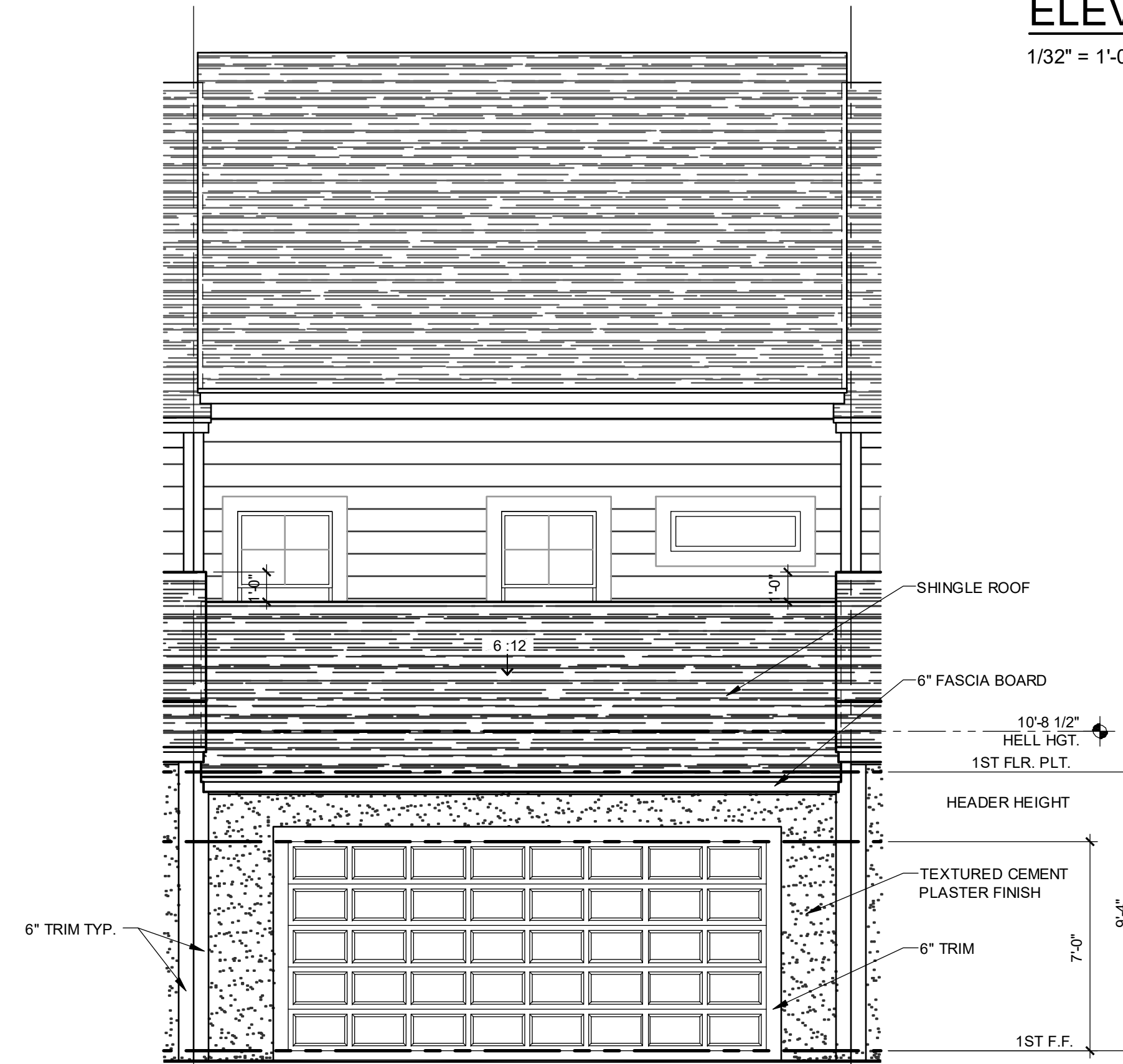
**ELEVATION - KEY PLAN**

1/32" = 1'-0"



**2024 - MADISON  
FRONT ELEVATION - GARAGE**

1/4" = 1'-0"



**2024 - MADISON  
REAR ELEVATION - GARAGE**

1/4" = 1'-0"

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REGISTERED PROFESSIONAL ENGINEER  
SCOTT LEWONSKI, PE - FL # 77779  
REGISTERED PROFESSIONAL ENGINEER  
FREDERICK J. LEE, PE - FL # 64402  
REGISTERED PROFESSIONAL ENGINEER  
WILLIAM J. WATSON, PE - FL # 64402

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**2024 - MADISON  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

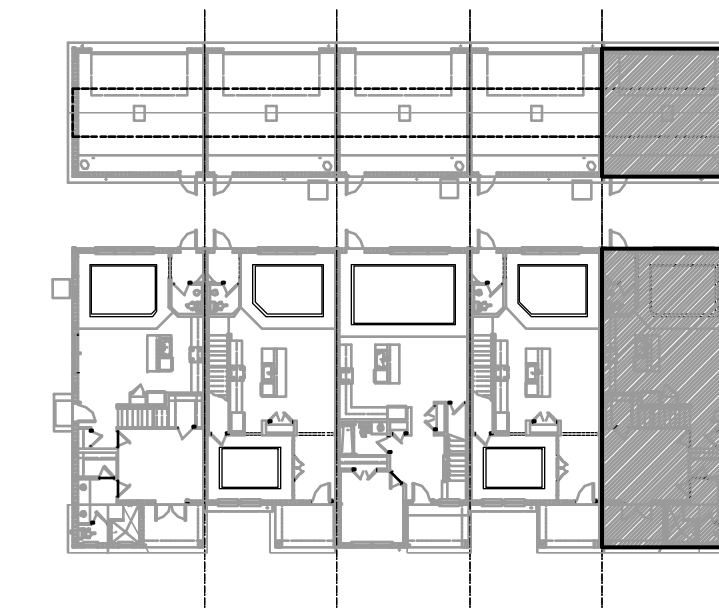
**2.2C  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

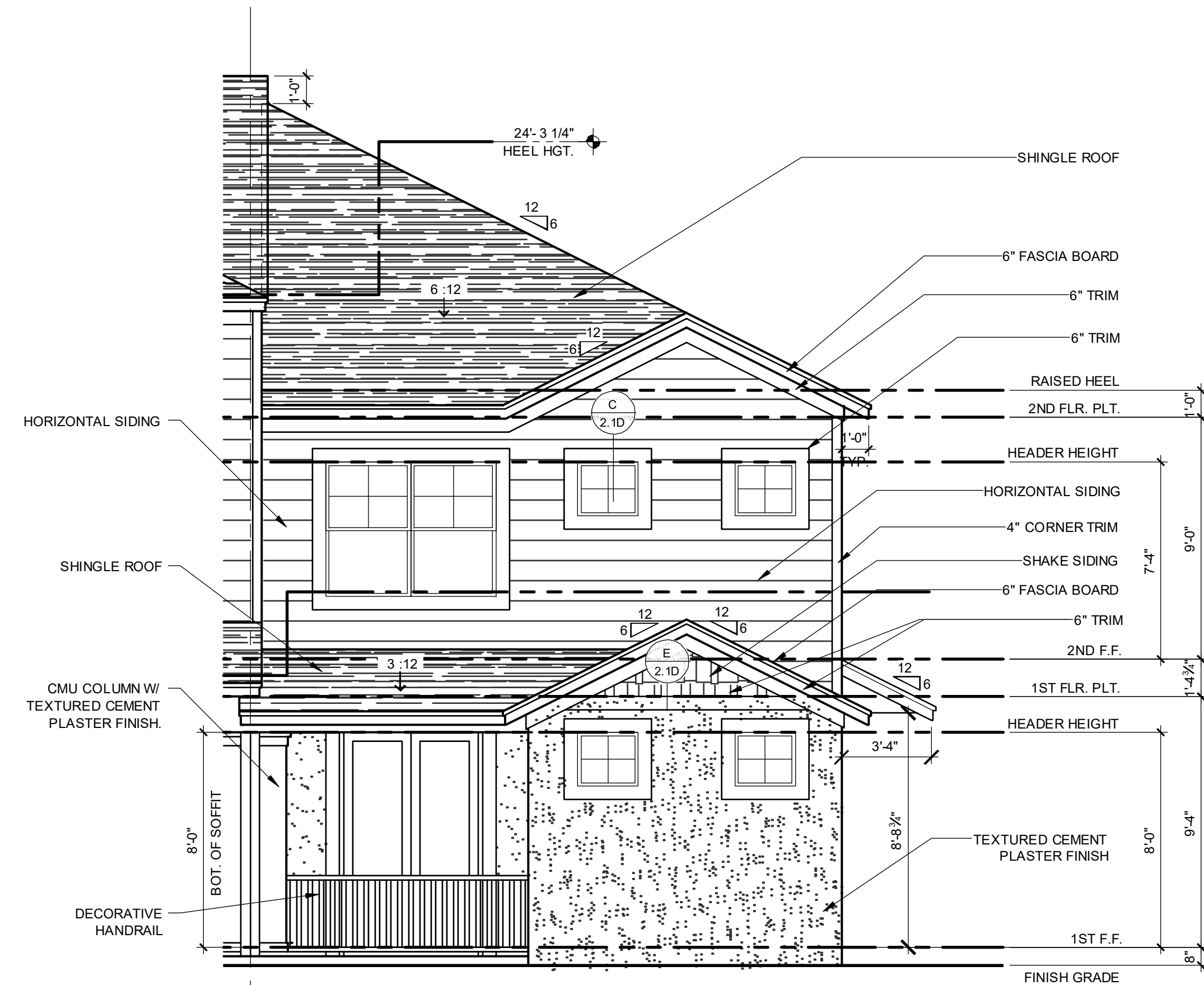
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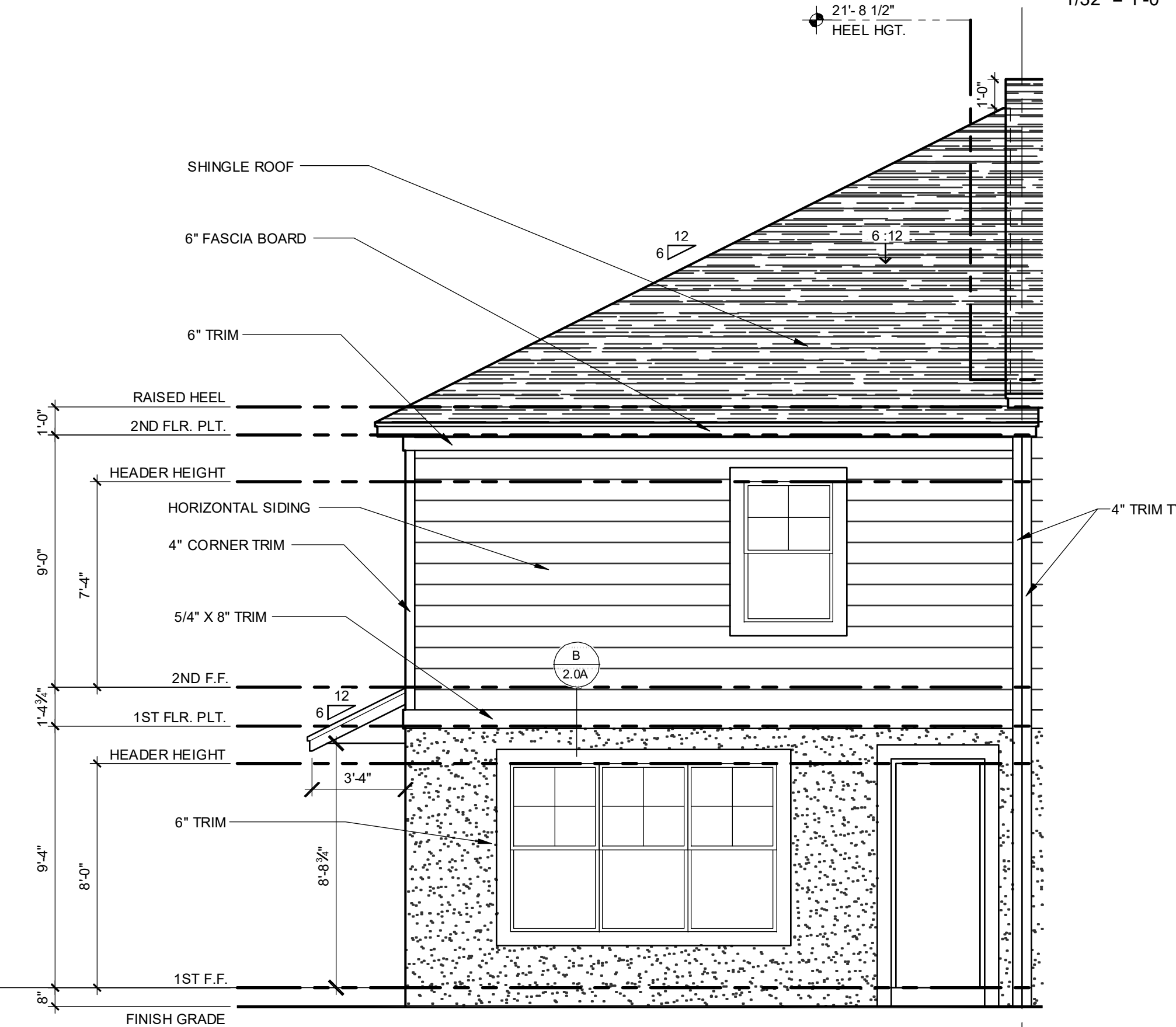
G.C. TO VERIFY FASCIA CALLOUT



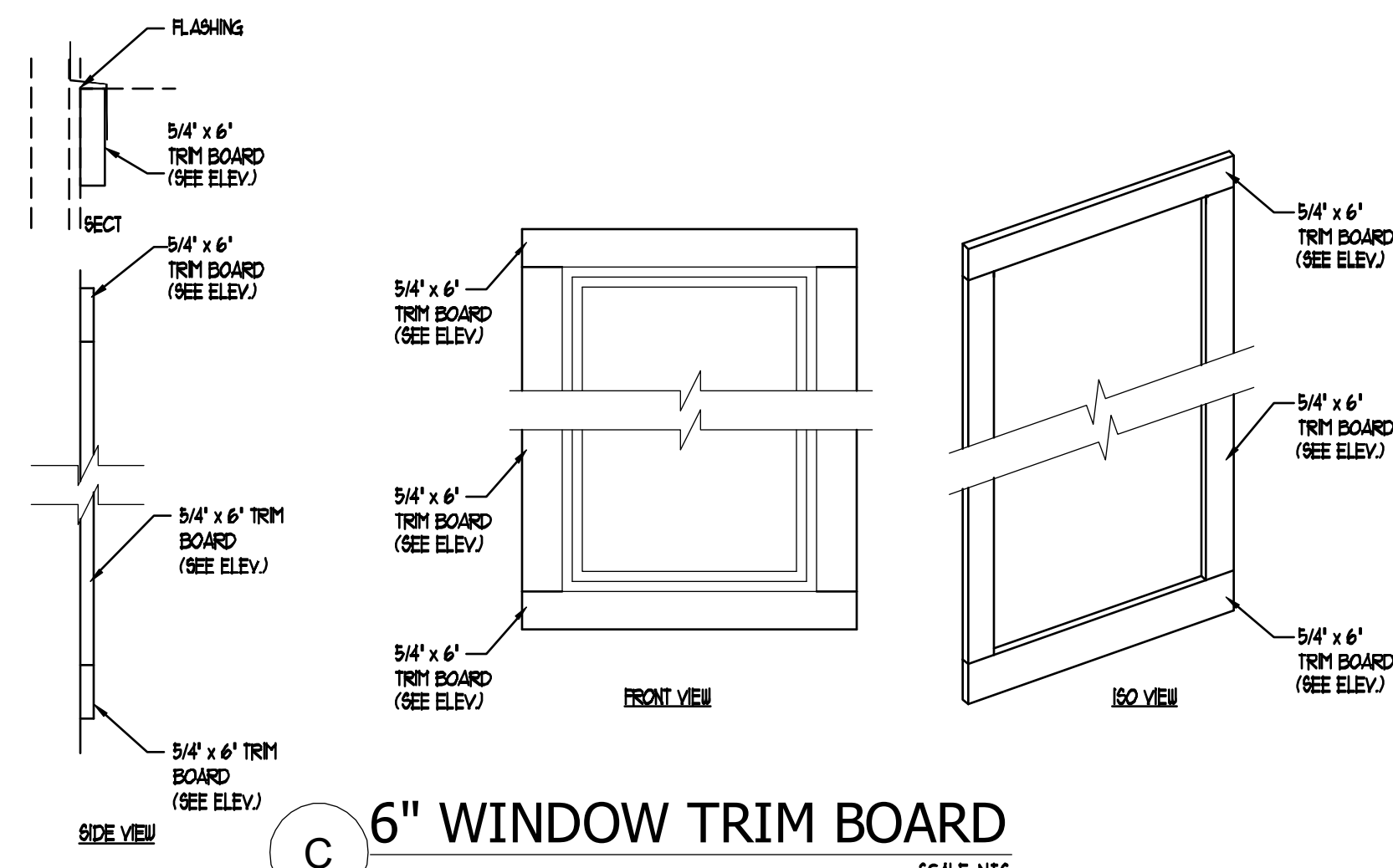
**ELEVATION - KEY PLAN**  
1/32" = 1'-0"



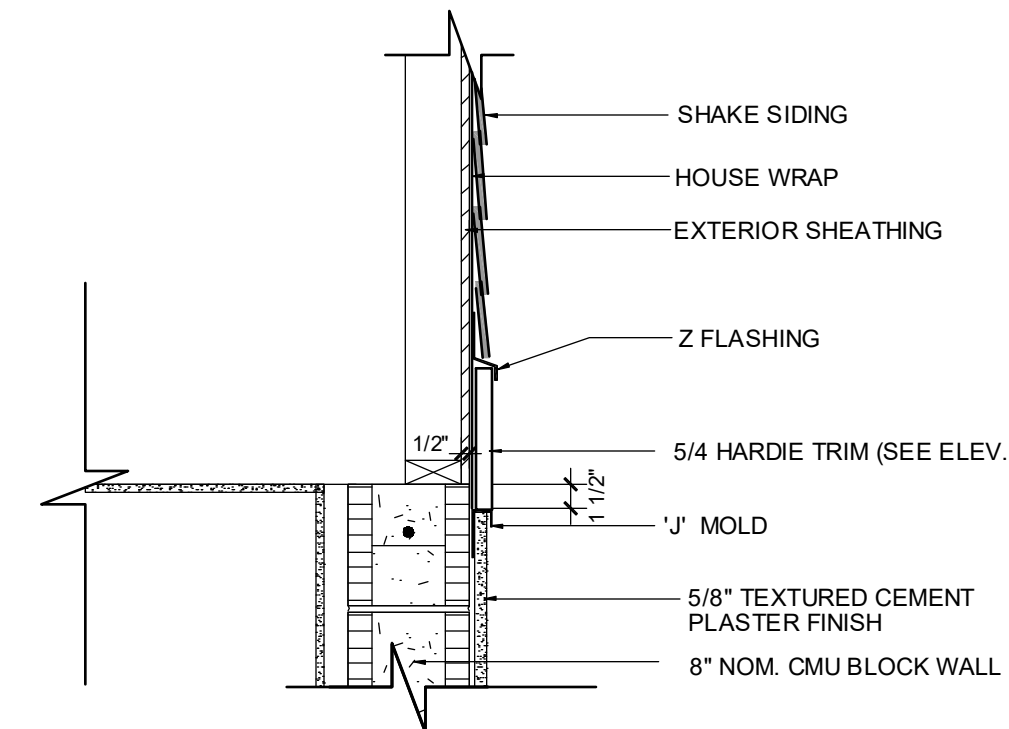
**1914 - ADAMS REVERSED FRONT ELEVATION**  
1/4" = 1'-0"



**1914 - ADAMS REVERSED REAR ELEVATION**  
1/4" = 1'-0"



**6" WINDOW TRIM BOARD**  
SCALE: N.T.S.



**E SHAKE SIDING AT GABLE**  
SCALE: 1" = 1'-0"

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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title: **1914 - ADAMS EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.1D ELEV. A**

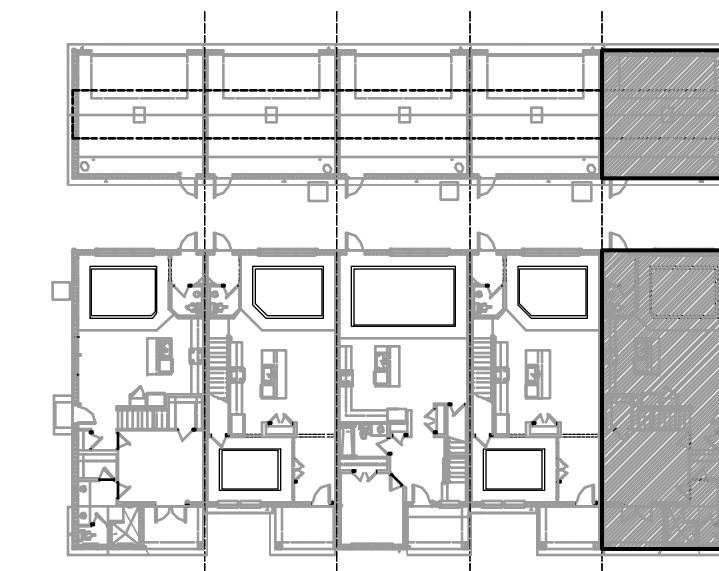
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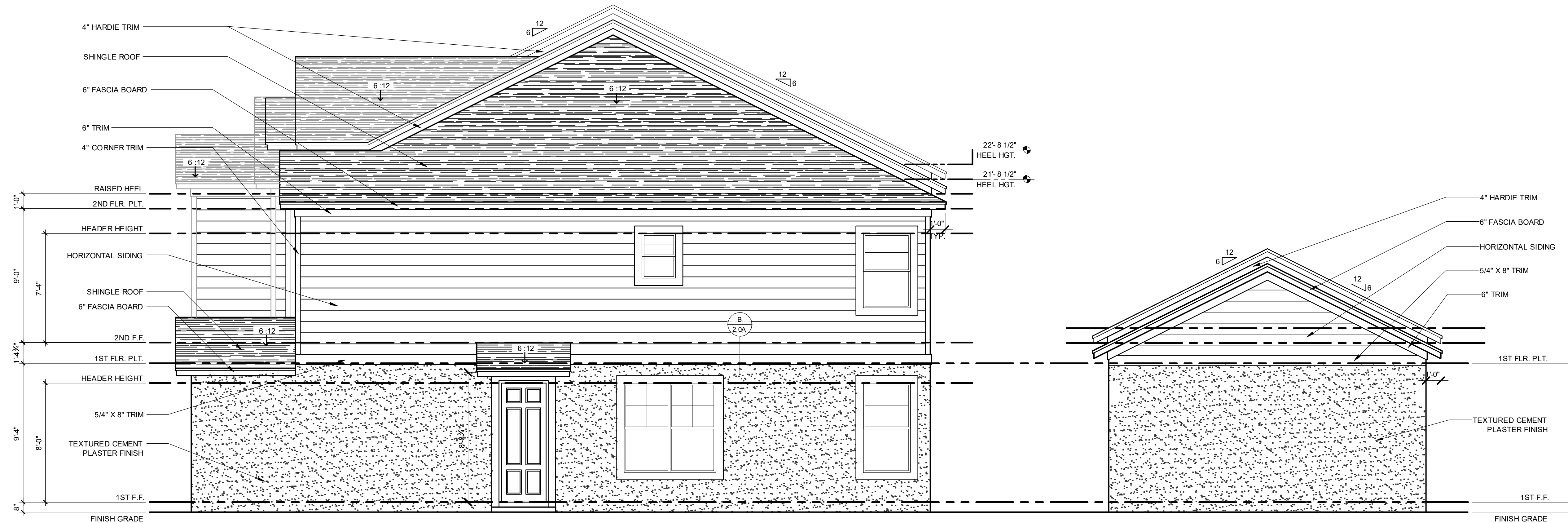
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**ELEVATION - KEY PLAN**

1/32" = 1'-0"



**1914 - ADAMS REVERSED LEFT ELEVATION**  
1/4" = 1'-0"

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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS EXT. ELEVATIONS**

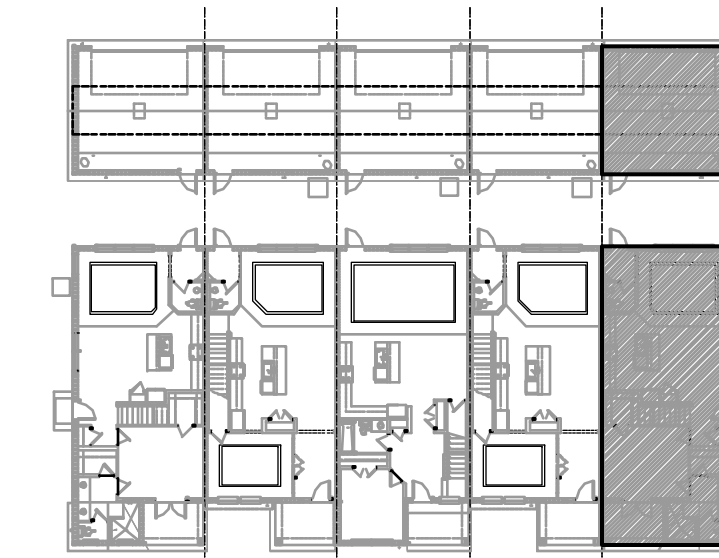
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**2.2D ELEV. A**

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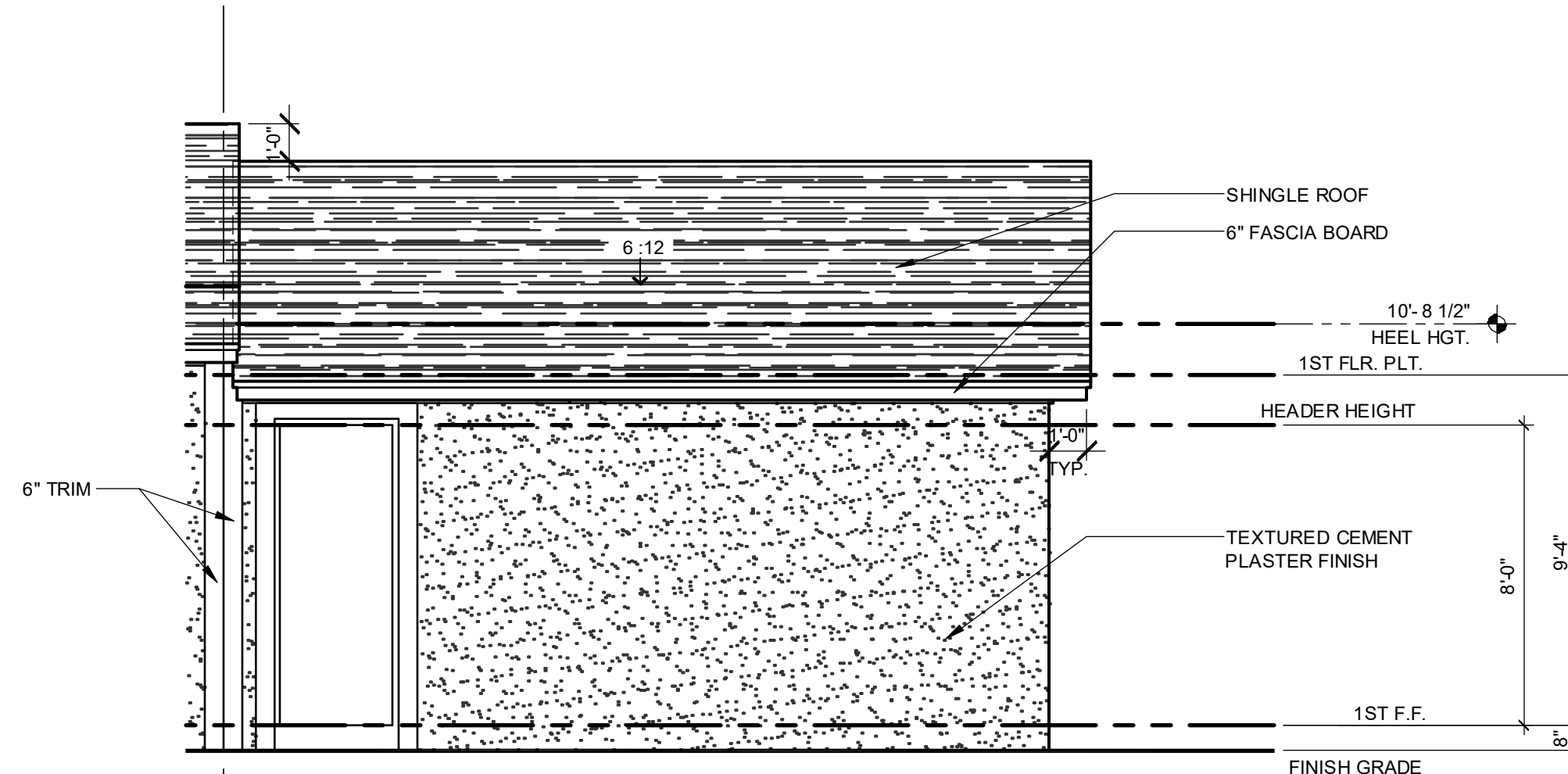
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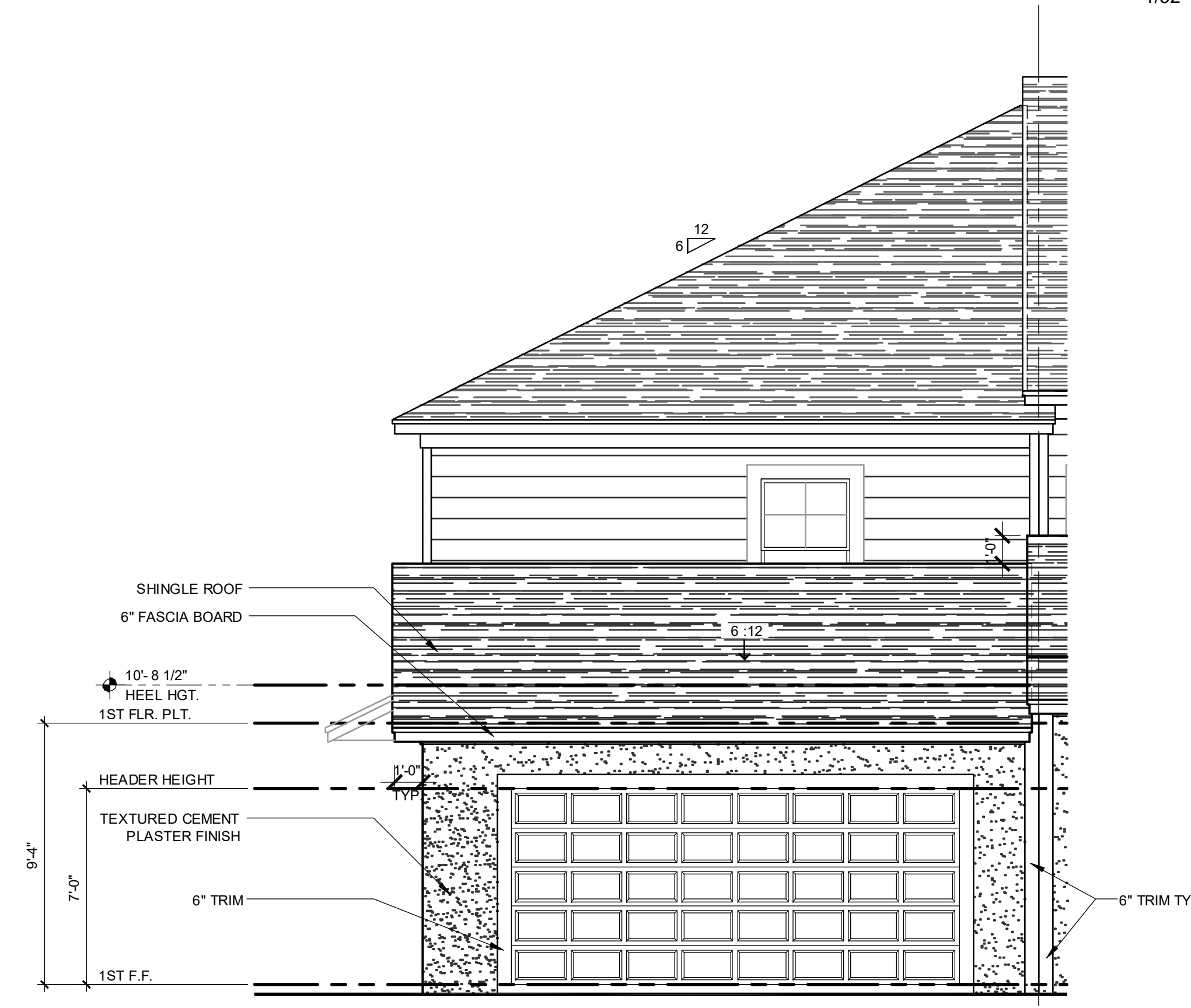


**ELEVATION - KEY PLAN**

1/32" = 1'-0"

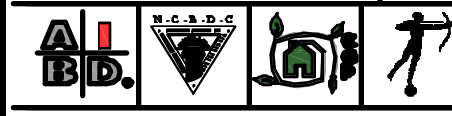


**1914 - ADAMS REVERSED FRONT ELEVATION - GARAGE**  
1/4" = 1'-0"



**1914 - ADAMS REVERSED REAR ELEVATION - GARAGE**  
1/4" = 1'-0"

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Professional Engineer  
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Professional Engineer  
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Professional Engineer  
John J. Bado, PE - FL # 44402  
Professional Engineer  
John J. Bado, PE - FL # 44402

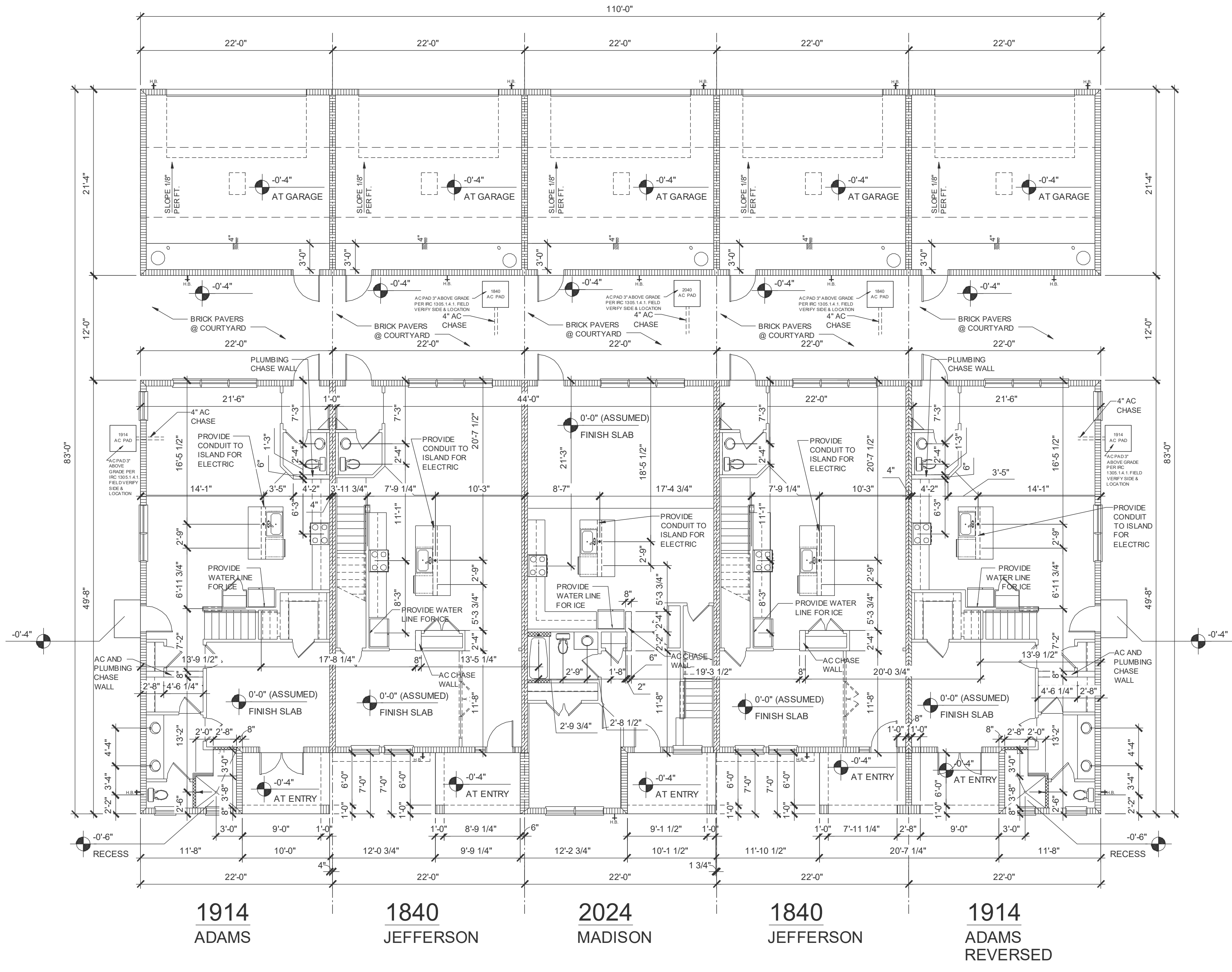
**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**1914 - ADAMS**  
**EXT. ELEVATIONS**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**2.3D**  
**ELEV. A**

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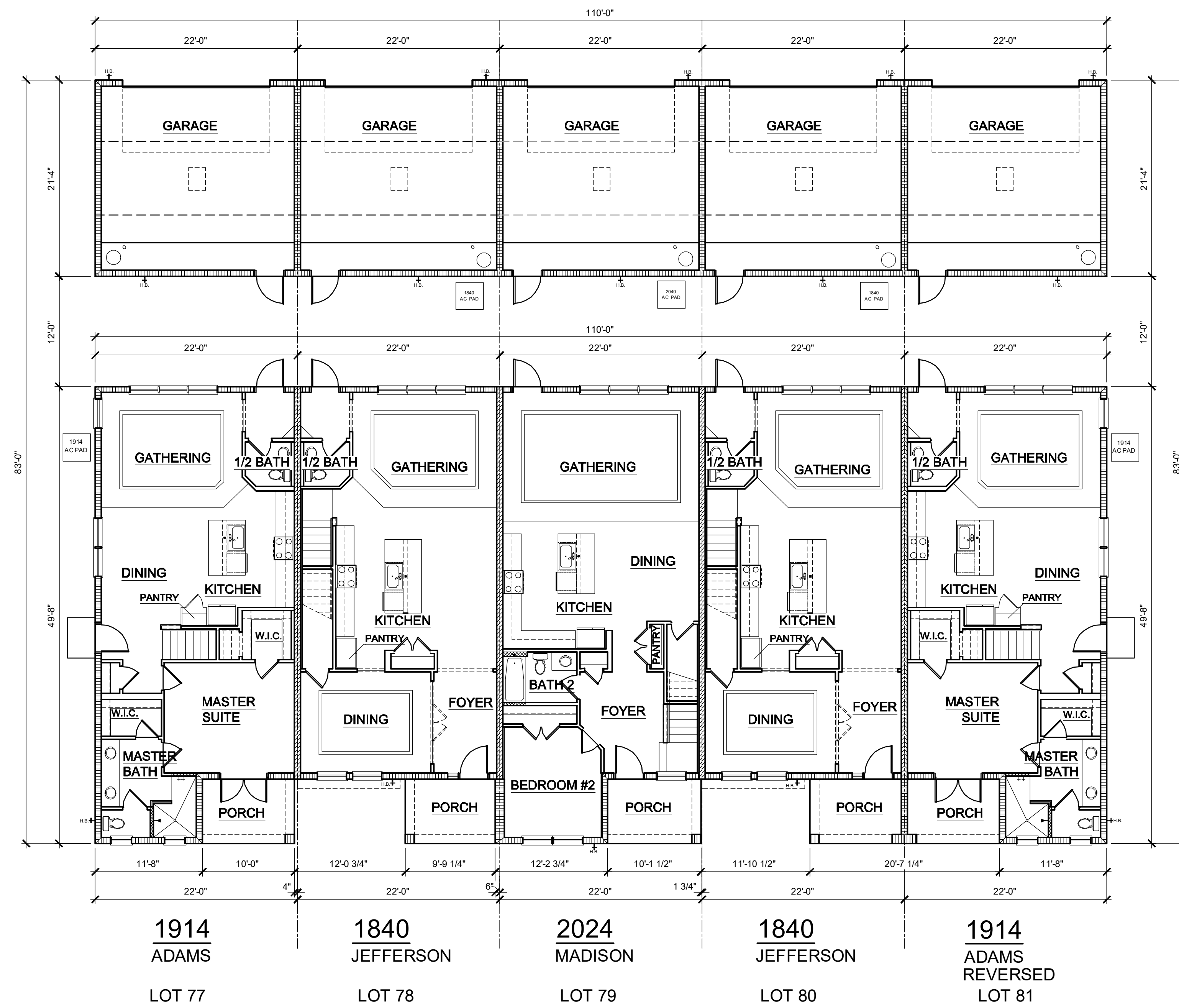


**SLAB INTERFACE PLAN - 5 UNIT**  
1/8" = 1'-0"

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NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914 ADAMS LOT 77  
 1840 JEFFERSON LOT 78  
 2024 MADISON LOT 79  
 1840 JEFFERSON LOT 80  
 1914 ADAMS REVERSED LOT 81

**1ST FLOOR PLAN - 5 UNIT**

1/8" = 1'-0"

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**WALL LEGEND**

- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.
- INDICATES 2X WOOD PARTITIONS, (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

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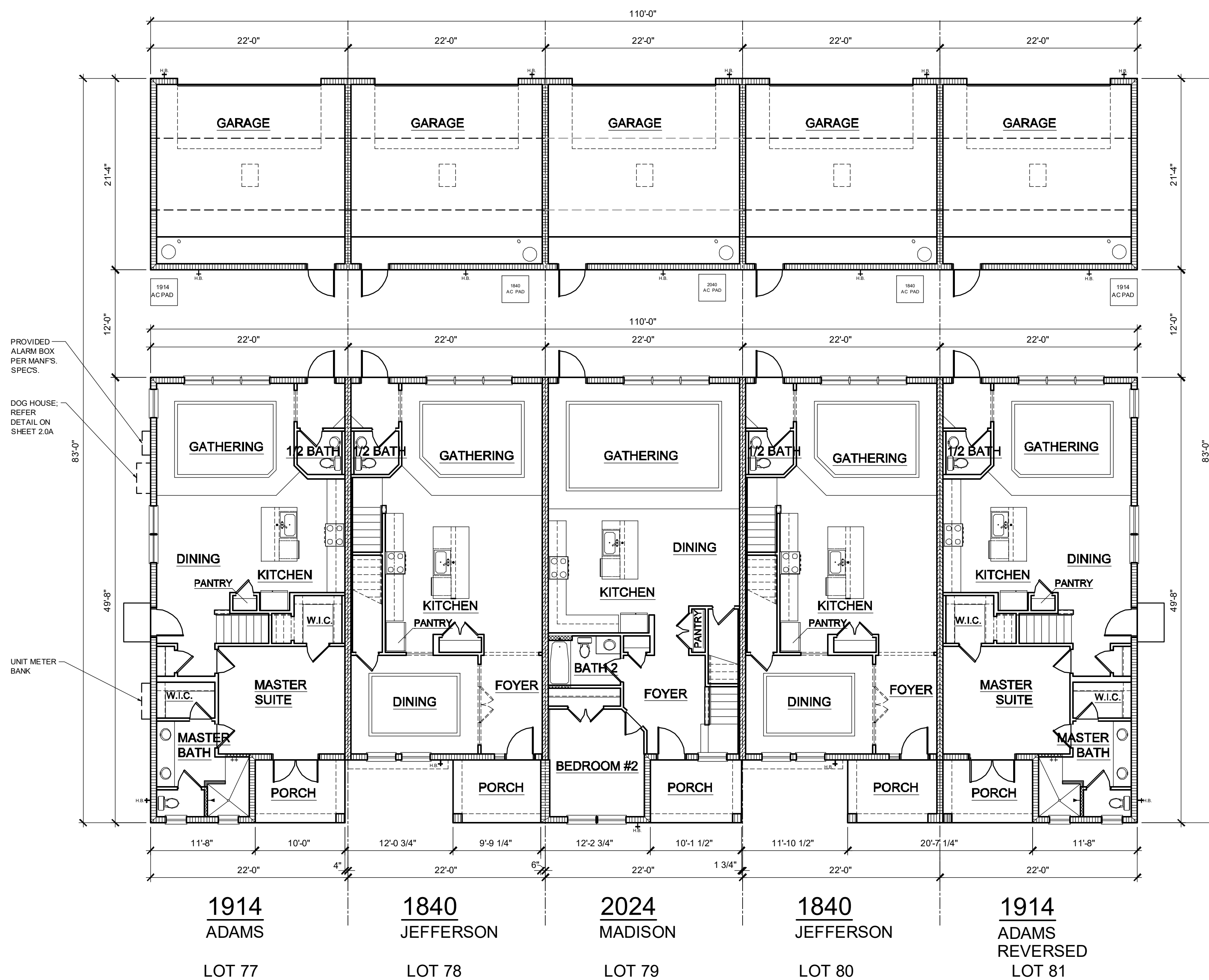
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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title: **5 UNIT / 2-STORY 1ST FLOOR PLAN**  
 project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN  
**3.1 ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





**1ST FLOOR PLAN - 5 UNIT**

1/8" = 1'-0"

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**WALL LEGEND**

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- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING ), 10'-8" TOP OF CMU
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- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

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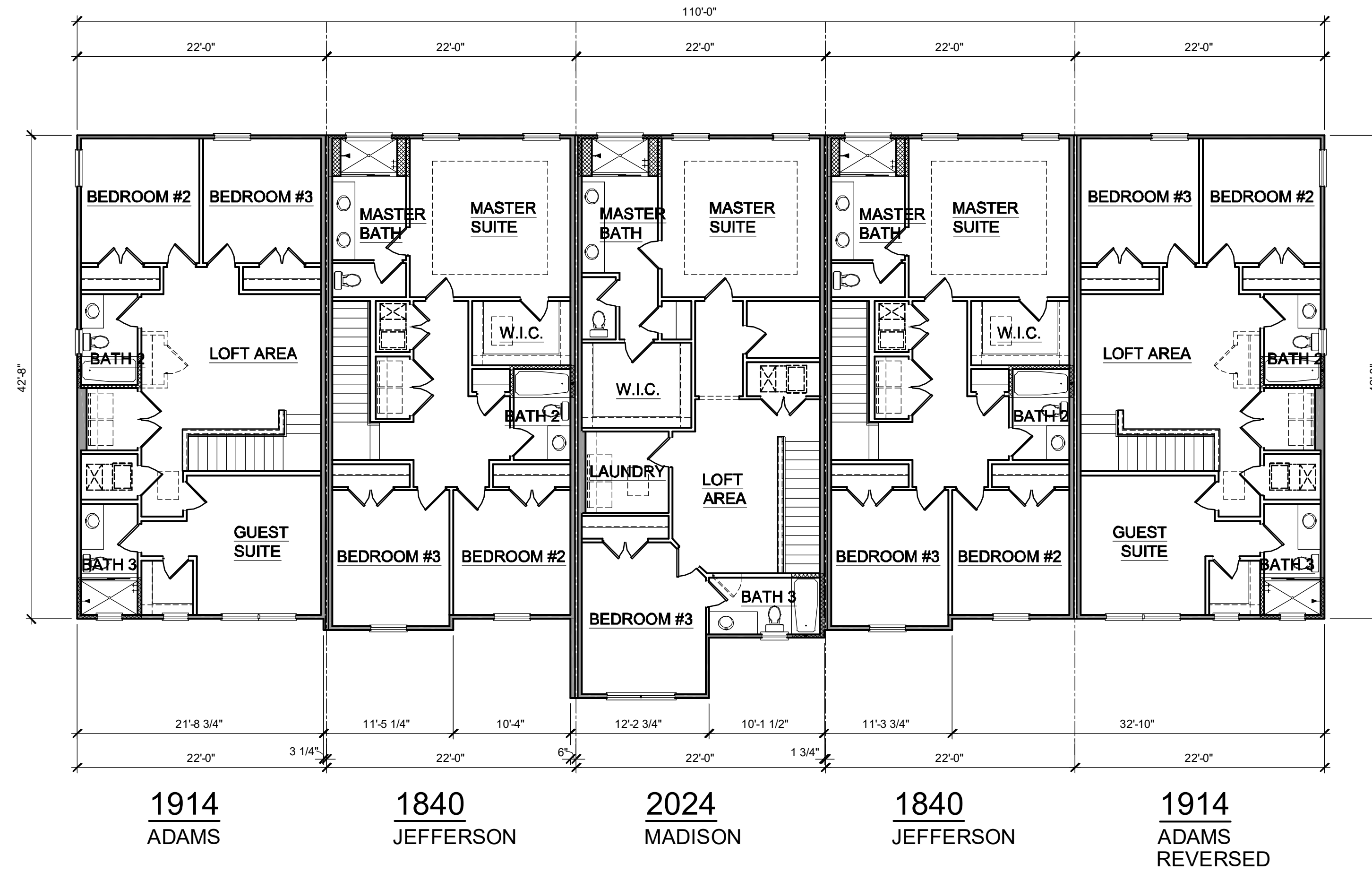
**PARK SQUARE**  
5 - UNITS  
83' RL (Rear Load) TOWNS

title:  
**5 UNIT / 2-STORY  
1ST FLOOR PLAN**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**3.1  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**2ND FLOOR PLAN - 5 UNIT**

1/4" = 1'-0"

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- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

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**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

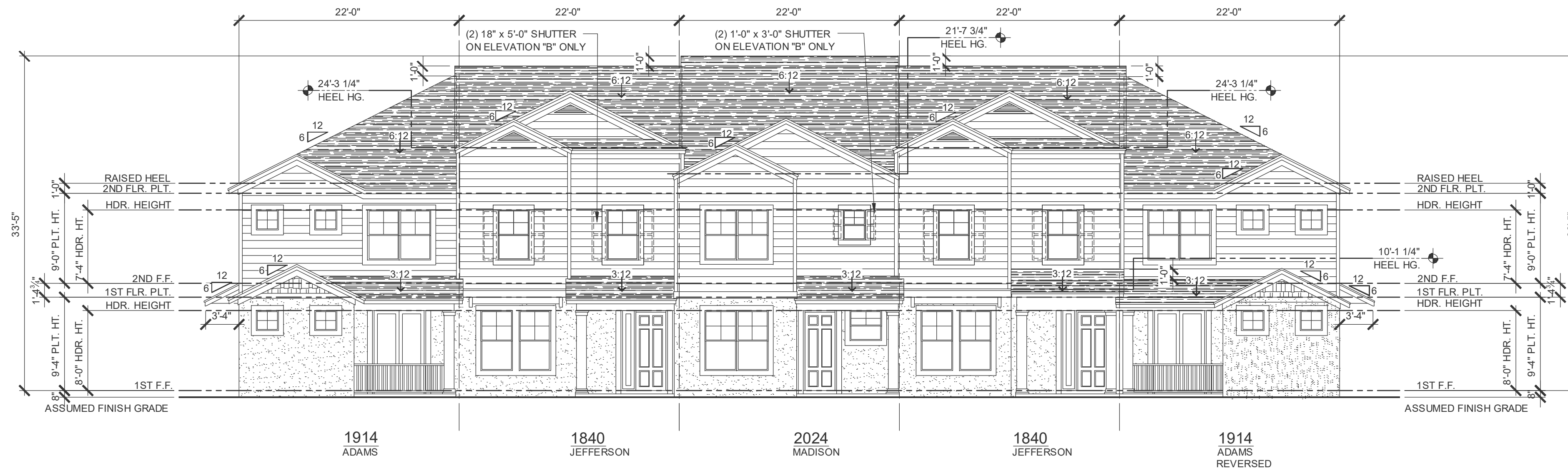
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**5 UNIT / 2-STORY**  
**2ND FLOOR PLAN**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

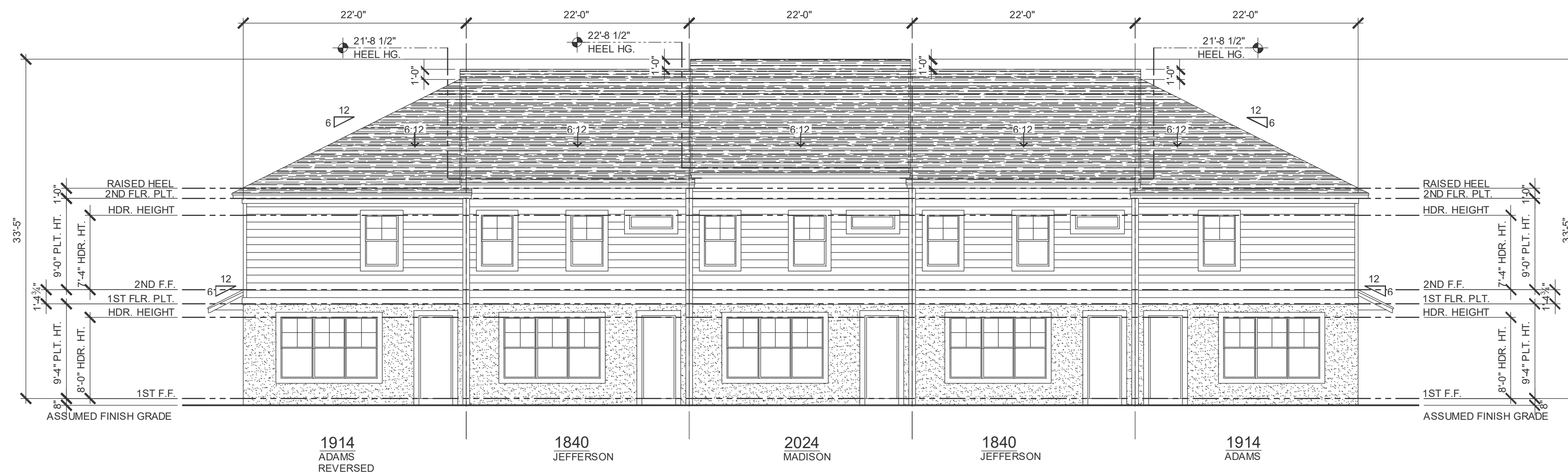
**3.2**  
**ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





FRONT ELEVATION - 5 UNIT  
1/8" = 1'-0"



REAR ELEVATION - 5 UNIT  
1/8" = 1'-0"

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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**5 UNIT**  
**EXT. ELEVATIONS**  
project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN  
**3.3A**  
**ELEV. A**

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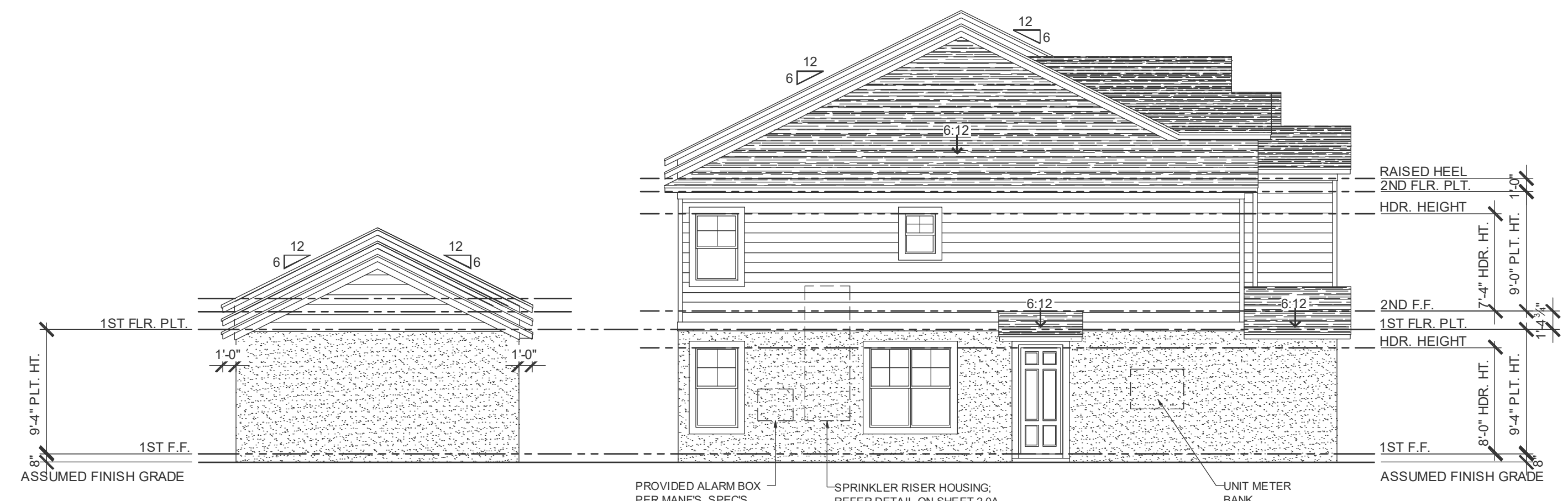




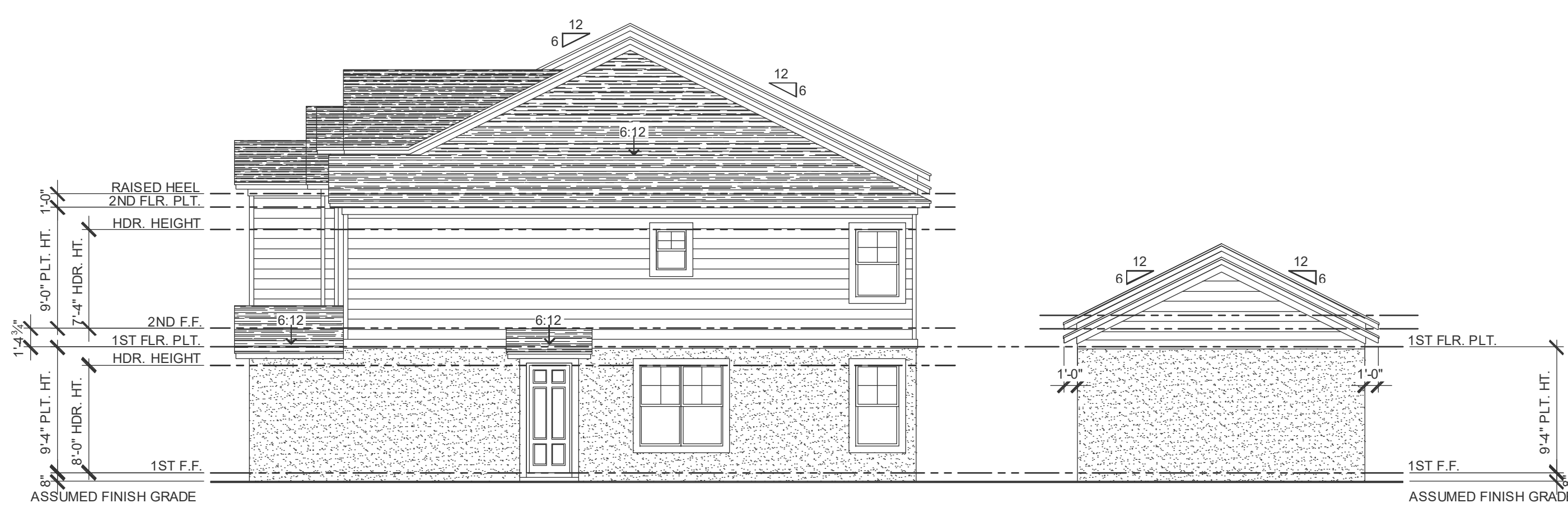








1914  
ADAMS  
**LEFT ELEVATION - 5 UNIT**  
1/8" = 1'-0"



1914  
ADAMS  
REVERSED  
**RIGHT ELEVATION - 5 UNIT**  
1/8" = 1'-0"

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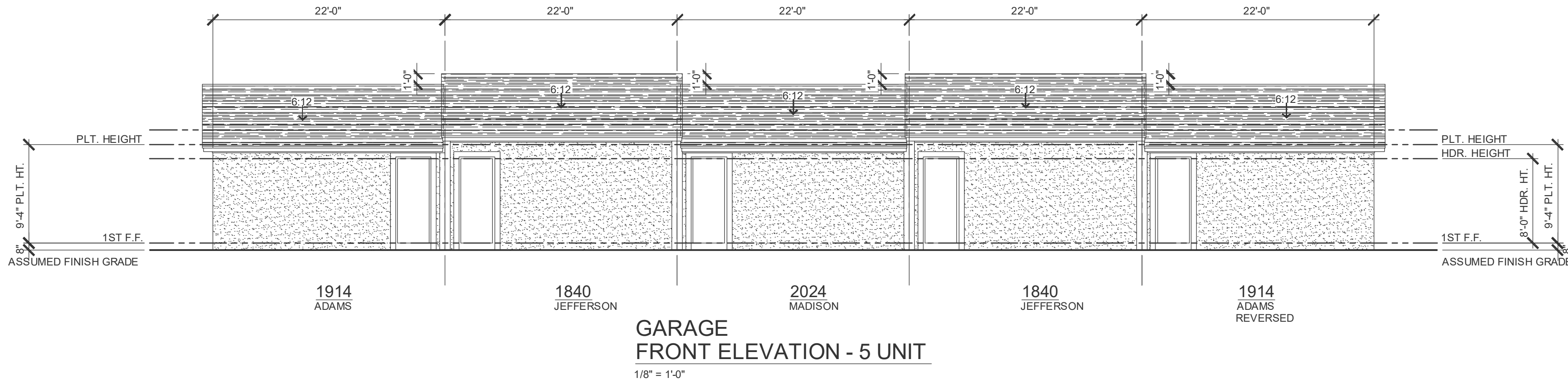
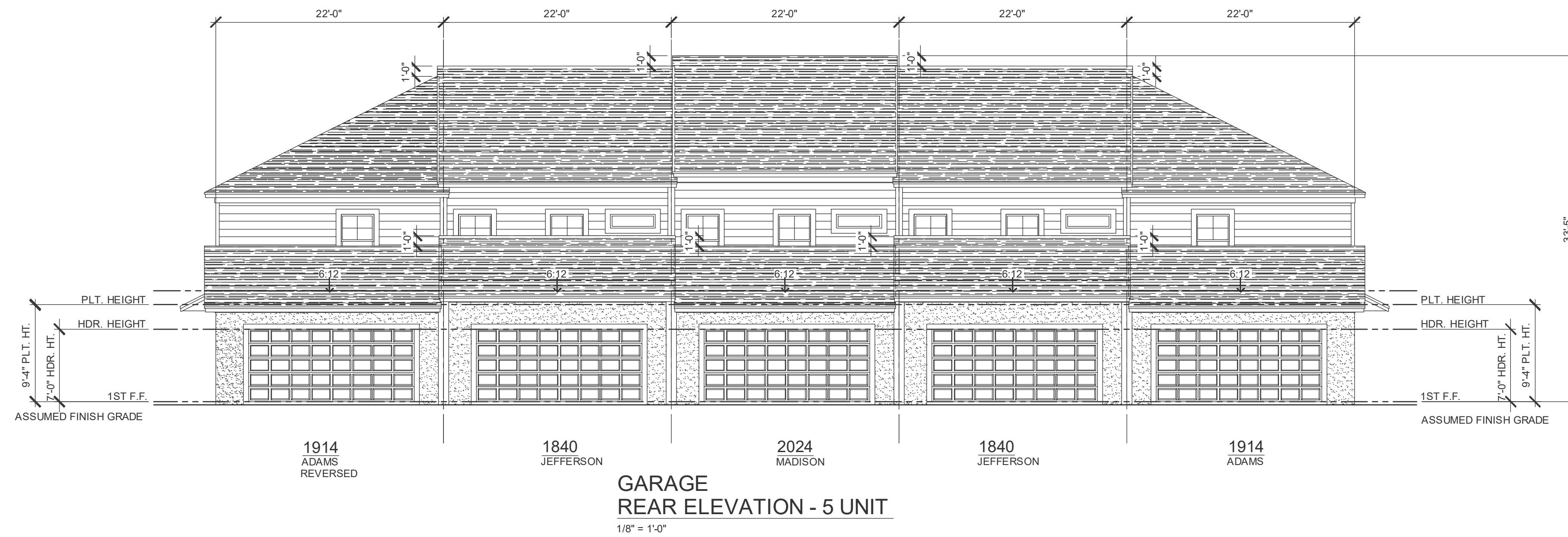
**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**5 UNIT  
EXT. ELEVATIONS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**3.3B  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

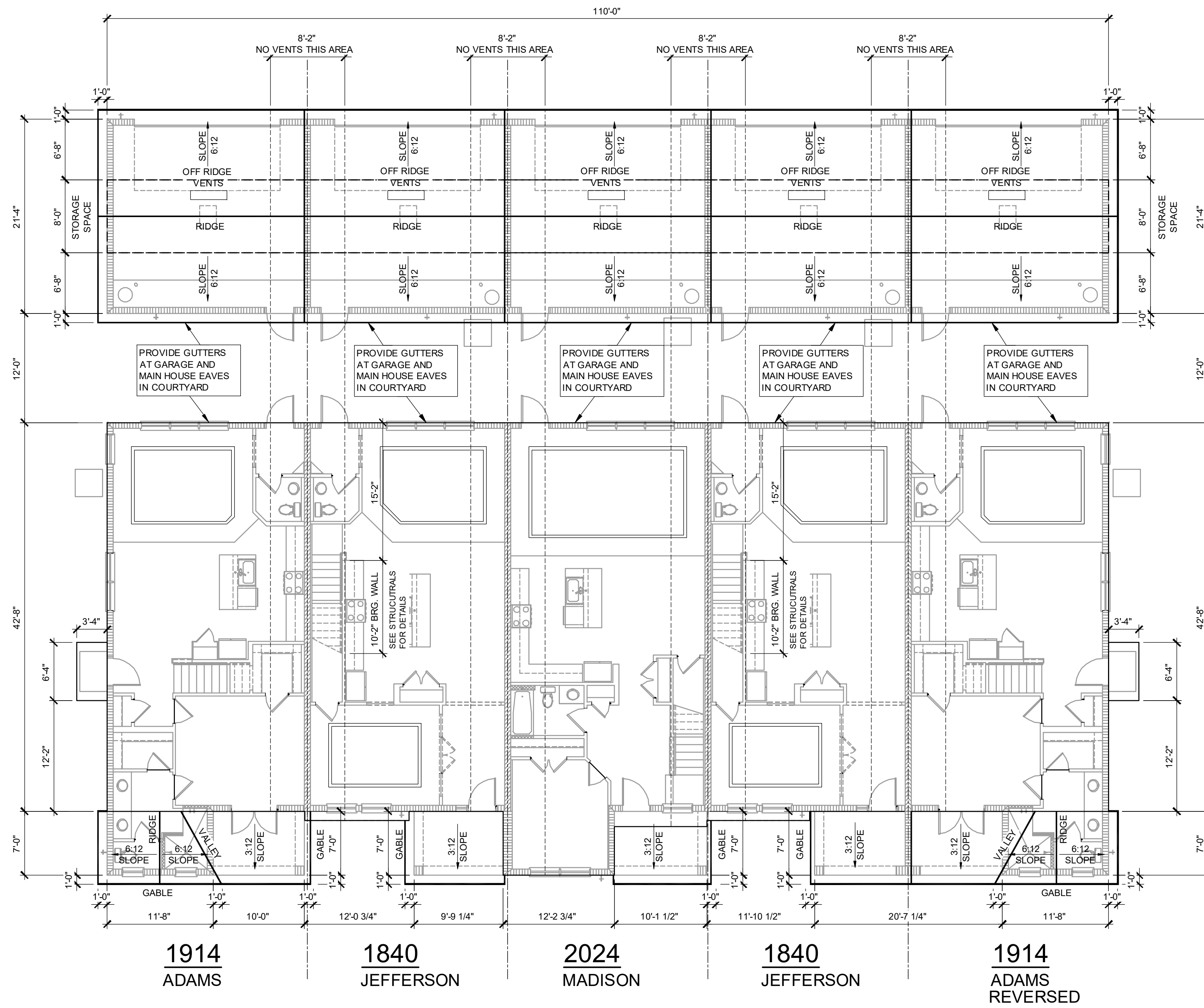
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**5 UNIT**  
**EXT. ELEVATIONS**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

**3.3C**  
**ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





**ROOF PLAN - 5 UNIT**

1/8" = 1'-0"

**1914 - ADAMS**  
**VENTILATION REQUIRED @ GARAGE**  
 469 S.F. / 300 = 1.56  
 1.56 / 2 = 0.78  
 0.78 \*144 = 112.56 SQ. IN.  
 113 SQ. IN. OF VENT REQUIRED

**1840 - JEFFERSON**  
**VENTILATION REQUIRED @ GARAGE**  
 469 S.F. / 300 = 1.56  
 1.56 / 2 = 0.78  
 0.78 \*144 = 112.56 SQ. IN.  
 113 SQ. IN. OF VENT REQUIRED

**2024 - MADISON**  
**VENTILATION REQUIRED @ GARAGE**  
 469 S.F. / 300 = 1.56  
 1.56 / 2 = 0.78  
 0.78 \*144 = 112.56 SQ. IN.  
 113 SQ. IN. OF VENT REQUIRED

**1914 - ADAMS**  
**VENTILATION REQUIRED @ ENTRY**  
 154 S.F. / 300 = .51  
 .51 / 2 = 0.26  
 0.26 \*144 = 36.96 SQ. IN.  
 37 SQ. IN. OF VENT REQUIRED  
 SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION

**1840 - JEFFERSON**  
**VENTILATION REQUIRED @ ENTRY**  
 72 S.F. / 300 = .24  
 .24 / 2 = 0.12  
 0.12 \*144 = 17.28 SQ. IN.  
 18 SQ. IN. OF VENT REQUIRED  
 SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION

**2024 - MADISON**  
**VENTILATION REQUIRED @ ENTRY**  
 72 S.F. / 300 = .24  
 .24 / 2 = 0.12  
 0.12 \*144 = 17.28 SQ. IN.  
 18 SQ. IN. OF VENT REQUIRED  
 SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION

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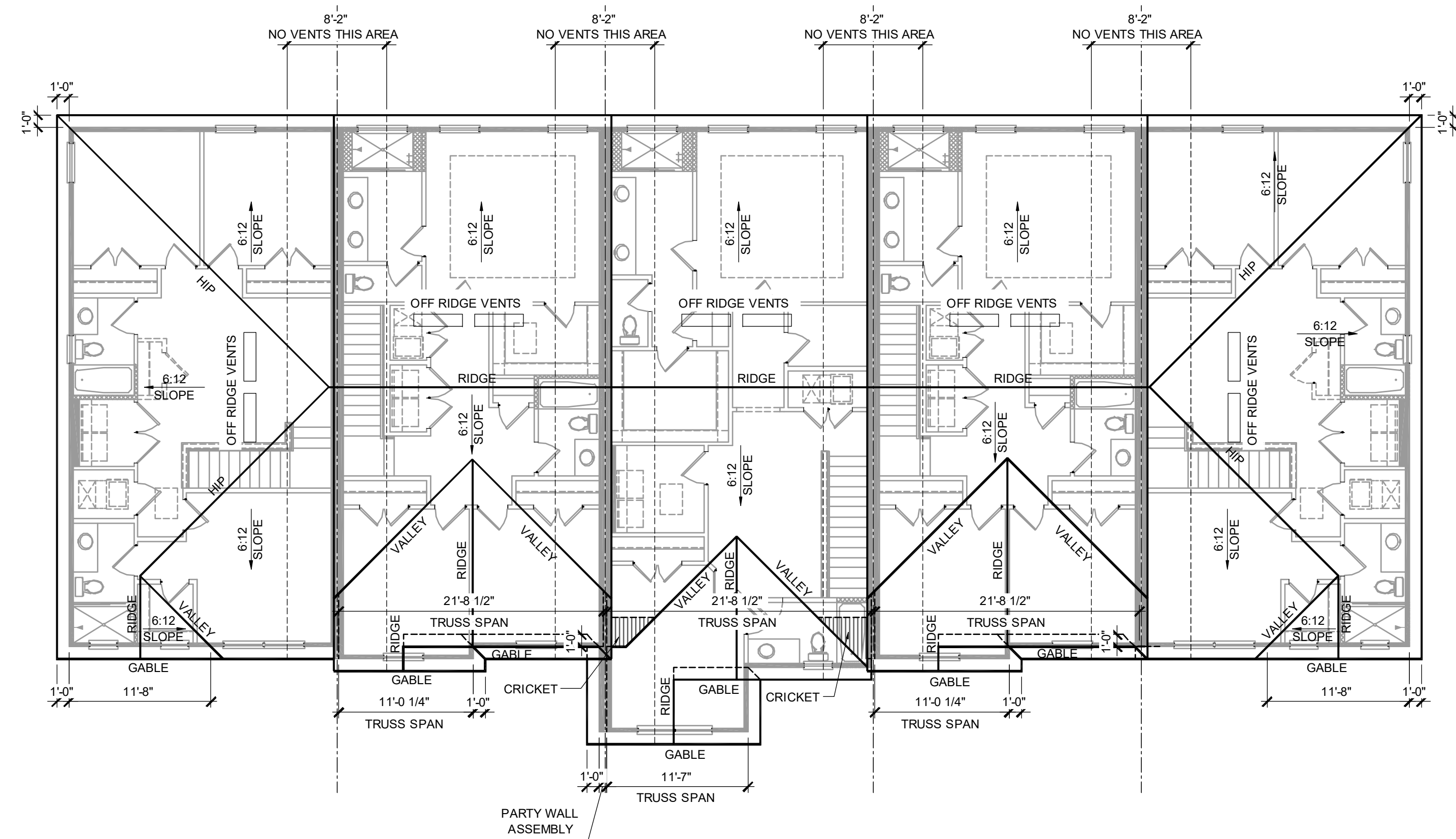
**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**5 UNIT - 2 STORY**  
**1ST FL. ROOF PLAN**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

**3.4**  
**ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914  
ADAMS

1840  
JEFFERSON

2024  
MADISON

1840  
JEFFERSON

1914  
ADAMS  
REVERSED

**ROOF PLAN - 5 UNIT**

1/8" = 1'-0"

1914 - ADAMS  
VENTILATION REQUIRED  
939 S.F. / 300 = 3.13  
3.13 / 2 = 1.565  
1.565 \* 144 = 225.36 SQ. IN.  
226 SQ. IN. OF VENT REQUIRED

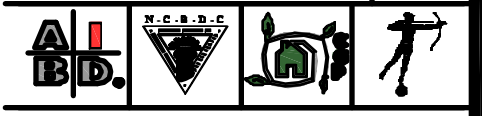
1840 - JEFFERSON  
VENTILATION REQUIRED  
950 S.F. / 300 = 3.17  
3.17 / 2 = 1.585  
1.585 \* 144 = 228.24 SQ. IN.  
229 SQ. IN. OF VENT REQUIRED

2024 - MADISON  
VENTILATION REQUIRED  
1040 S.F. / 300 = 3.47  
3.47 / 2 = 1.735  
1.735 \* 144 = 249.84 SQ. IN.  
250 SQ. IN. OF VENT REQUIRED

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304.977.9800



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Hollywood, FL 33761  
304.977.9800  
Certificate of Authorization No. 5161  
 CARL A. BROWN, PE, FL #19108  
 THOMAS D. DUNN, PE, FL #6462  
DATE: June 11, 2024

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

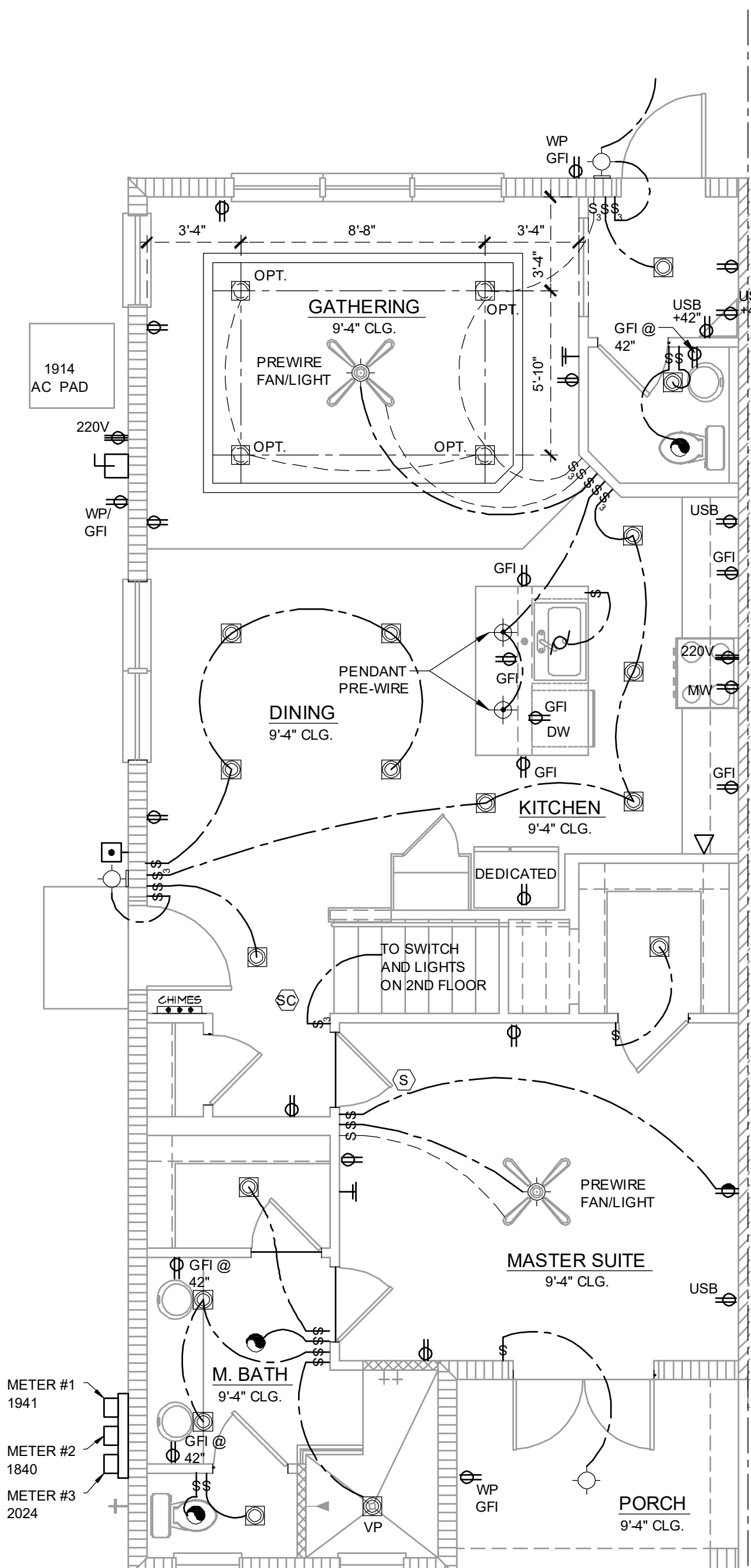
title:  
**5 UNIT - 2 STORY  
2ND FL. ROOF PLAN**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

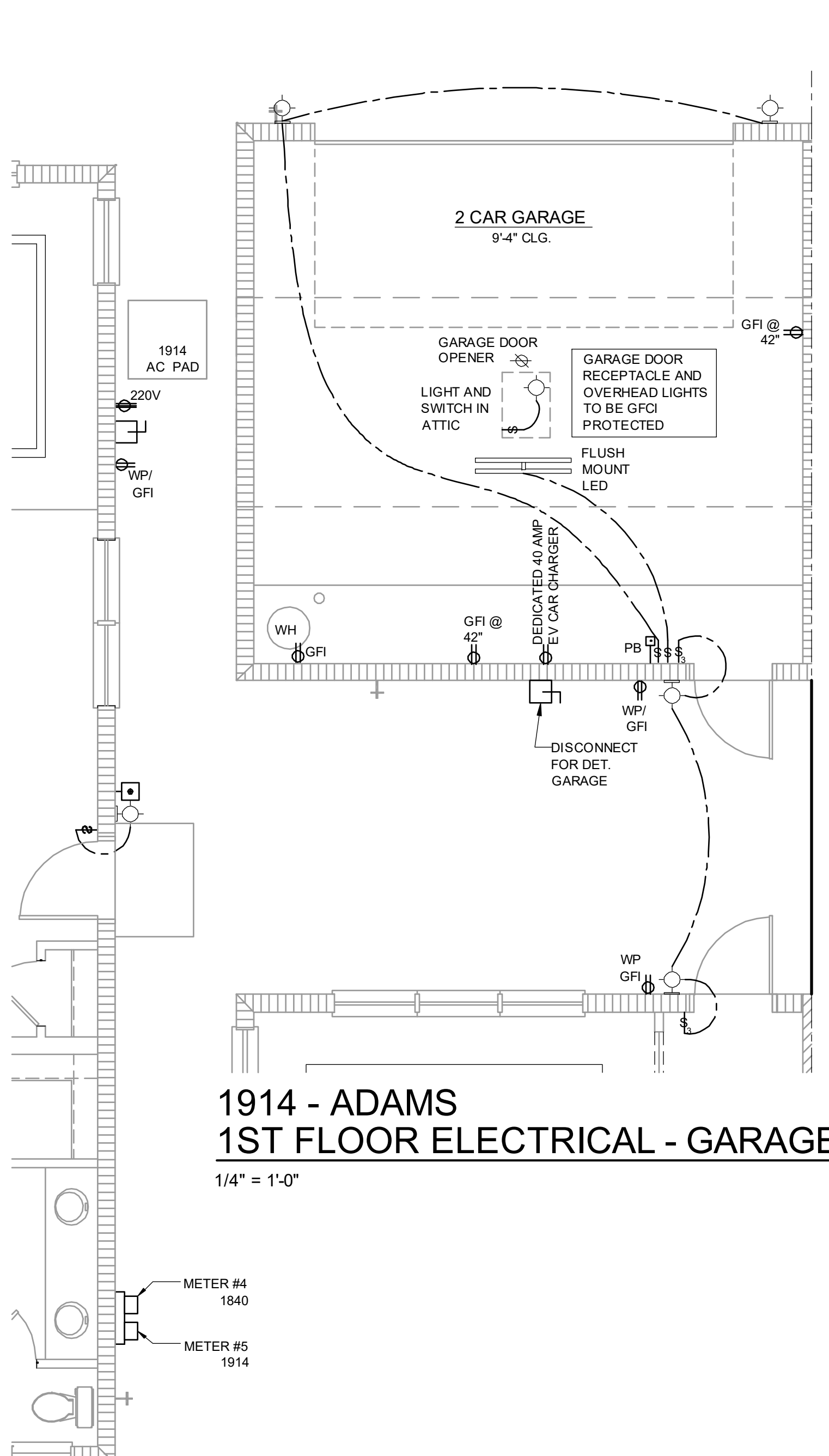
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ELEV. A**

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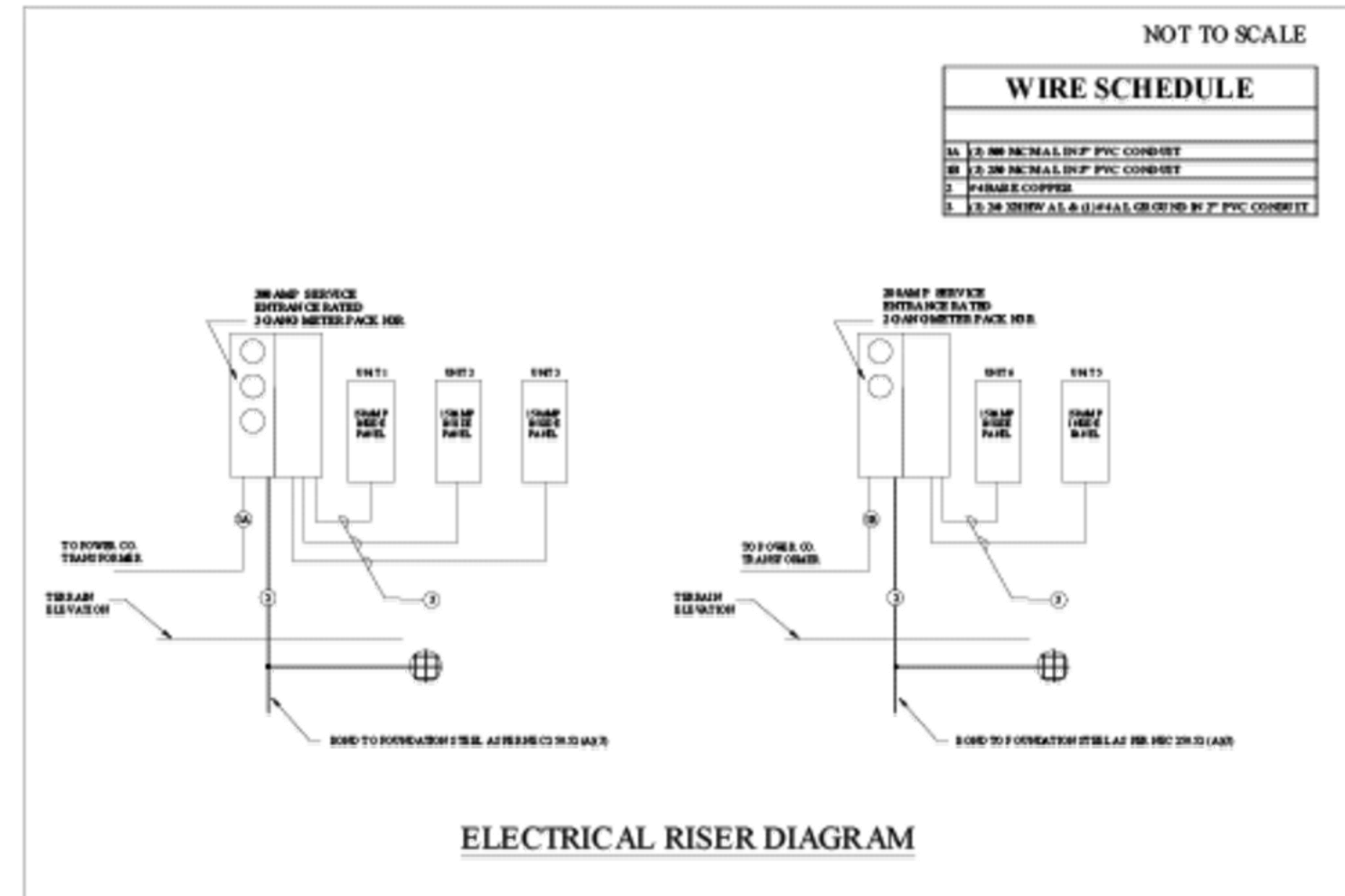




**1914 - ADAMS  
1ST FLOOR ELECTRICAL**  
1/4" = 1'-0"



**1914 - ADAMS REVERSED  
1ST FLOOR ELECTRICAL**  
1/4" = 1'-0"  
\*\*\*FOR FULL ELECTRICAL PLAN, REFER TO  
STANDARD ADAMS PLAN\*\*\*



**Residential Standard Calculation** Version 7.28

**STEP 1 Article 220.42 & 220.52**

General Lighting load	5,742 VA
Small Appliance	3,000 VA
Laundry circuit	1,500 VA
Gen Lgt. Sm App & Laun. Load	10,242 VA
3,000 VA @ 100% =	3,000 VA
7,242 VA @ 35% =	2,535 VA
VA @ 25% =	VA
<b>General Lighting Demand Load</b>	<b>5,535 VA</b>

**STEP 2 Article 220.50 & 220.51**

2.3 VA @ 4,400 VA AHJ 1 Select	5,800 VA
A/C #1 VA AHJ 2 Select	VA
A/C #2 VA AHJ 3 Select	VA
A/C #3 VA AHJ 4 Select	VA
A/C #4 VA AHJ 5 Select	VA
A/C #5 VA AHJ 5 Select	VA

**STEP 3 Article 220.53**

4,500 VA 1 Water Heater	4,500 VA
1,400 VA 1 Refrigerator	1,400 VA
800 VA 1 Freezer	VA
1,000 VA 1 Dishwasher	1,000 VA
600 VA 1 Disposal	600 VA
760 VA 1 Trash Compactor	VA
1,600 VA 1 Microwave	1,600 VA
340 VA 1 Central Vac	VA
340 VA 1 Mini Refrigerator	VA
340 VA 1 Range hood	VA
340 VA 1 Wine Cooler	VA
1,500 VA 1 Heating Center	VA
select Jacuzzi Tub	VA
select Sprinkler Pump	VA
select Well Pump	VA
select Fountain Pump	VA
select Pool Equip. Panel	VA
VA 100% Demand	VA
VA No Demand	VA
VA No Demand	VA
<b>Total Appliance Load</b>	<b>9,280 VA</b>
4 or more demand @ 75% plus 100% demand loads	<b>6,938 VA</b>

**STEP 4 Article 220.54**

Electric Clothes Dryers	5,000 VA
Col C demand	8,000 W
Cooktop	Col B demand
Cooktop	Col B demand
Oven(s)	Col B demand
Oven(s)	Col B demand
Number of appliances	Sum Factor 9%
Cooktop & Oven Demand Load	W

**STEP 5 Article 220.55**

Electric Ranges	1
Col C demand	8,000 W
Cooktop	Col B demand
Cooktop	Col B demand
Oven(s)	Col B demand
Oven(s)	Col B demand
Number of appliances	Sum Factor 9%
Cooktop & Oven Demand Load	W

**1914 - ADAMS  
1ST FLOOR ELECTRICAL - GARAGE**  
1/4" = 1'-0"

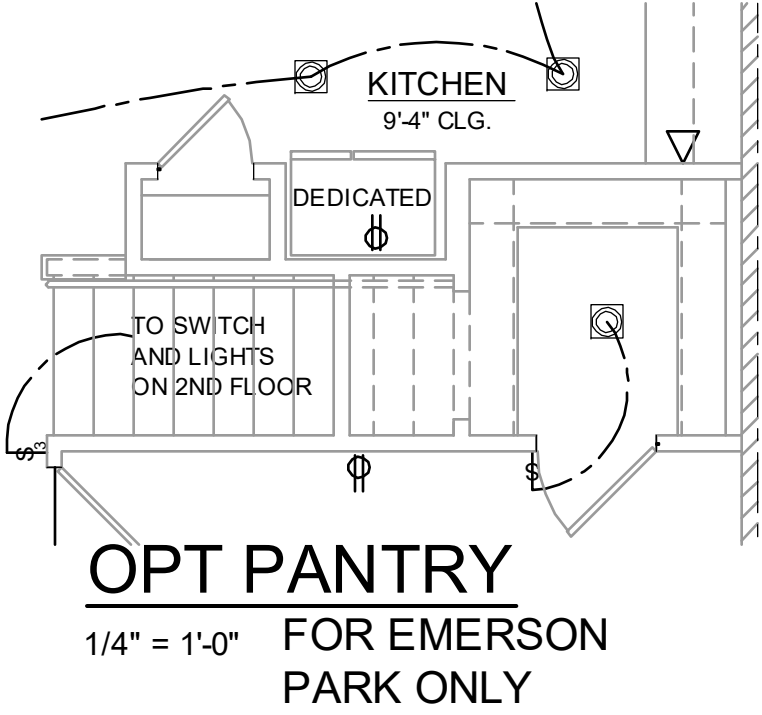
- ### ELECTRICAL KEY
- DUPLEX CONVENIENCE OUTLET
  - WEATHERPROOF DUPLEX OUTLET
  - GROUND FAULT INTERRUPTER DUPLEX OUTLET
  - HALF-SWITCHED DUPLEX OUTLET
  - DUPLEX OUTLET IN FLOOR
  - 220 VOLT OUTLET
  - DISPOSAL
  - WALL SWITCH
  - THREE-WAY SWITCH
  - FOUR-WAY SWITCH
  - DIMMER SWITCH
  - MOTION DETECTOR SWITCH (OPTIONAL)
  - PRE-WIRED SPEAKER
  - FLUSH MOUNT LED LIGHT FIXTURE
  - FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
  - MONO POINT TRACK HEAD (OPTIONAL)
  - PENDANT FIXTURE
  - SURFACE MOUNTED LED LIGHT FIXTURE
  - WALL MOUNTED LIGHT FIXTURE
  - FLUSH MOUNTED LED LIGHT FIXTURE
  - WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
  - UNDERCABINET LIGHTING (OPTIONAL)
  - WALL SCIENCE
  - EXHAUST FAN
  - EXHAUST FAN & LIGHT COMBO
  - OUTLET FOR GARAGE DOOR OPENER
  - SOFFIT OUTLET (OPTIONAL)
  - CHIMES
  - PUSHBUTTON SWITCH
  - SMOKE DETECTOR
  - SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
  - CAT 5 TELEPHONE OUTLET PREWIRE
  - TELEVISION OUTLET PREWIRE
  - THERMOSTAT
  - ELECTRIC METER
  - ELECTRIC PANEL
  - DISCONNECT SWITCH
  - SECURITYSYSTEMKEYPAD
  - PRE-WIRE FOR CEILING FAN
  - PRE-WIRE FOR CEILING FAN / LIGHT COMBO
  - SECURITY/FLOOD LIGHTS
  - GAS METER
  - JUNCTION BOX

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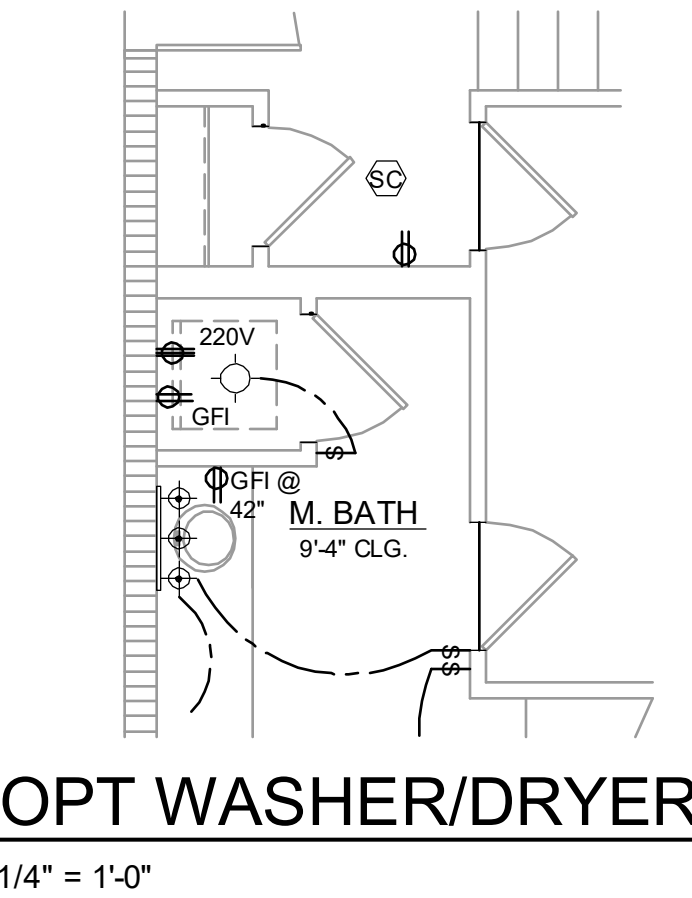
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NFPA 70  
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

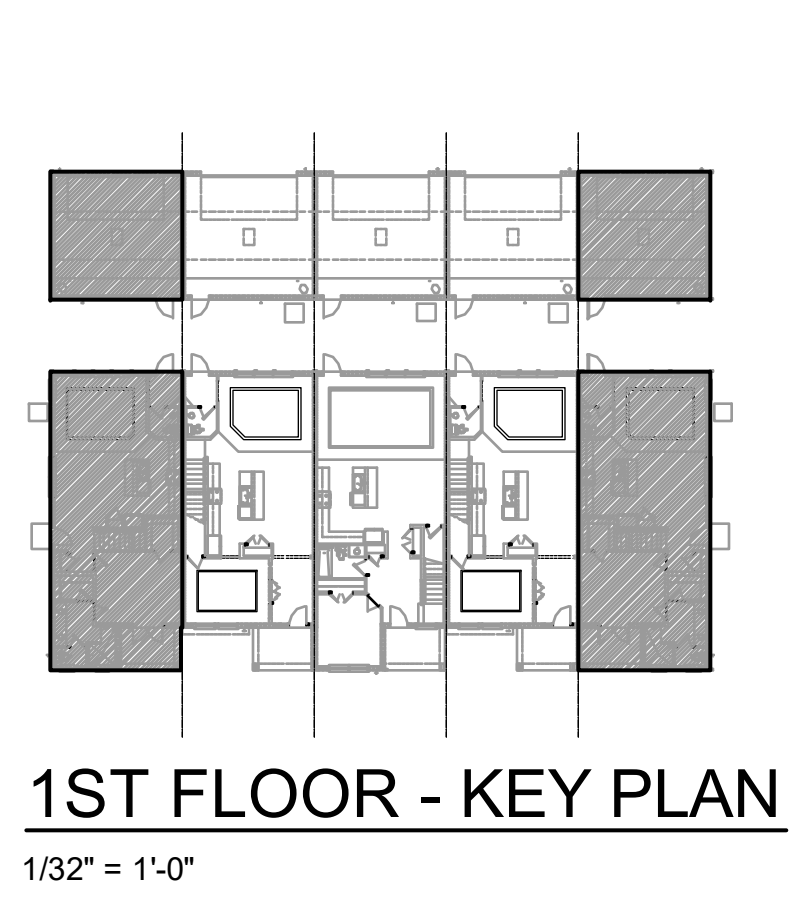
RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT FOR AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.



**OPT PANTRY  
FOR EMERSON  
PARK ONLY**  
1/4" = 1'-0"



**OPT WASHER/DRYER**  
1/4" = 1'-0"



**1ST FLOOR - KEY PLAN**  
1/32" = 1'-0"

- ### GENERAL NOTES
- FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
  - ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
  - ARCH FAULT BREAKERS: ALL BRANCH CIRCUITS SERVING BEDROOMS, FAMILY ROOMS, HALLWAYS, KITCHEN, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, REC. ROOMS, CLOSETS AND LAUNDRY AREAS SHALL BE PROTECTED BY ARCH FAULT BREAKERS, PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
  - NEC 2020 210.52(G)(1) GARAGES: IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY, NOT MORE THAN 1.7M (5-1/2 FT.) ABOVE THE FLOOR.
  - TAMPER-RESISTANT "TR" RECEPTACLES: ALL 125-VOLT, 15 & 20 AMPERE ELECTRICAL OUTLETS (RECEPTACLES) IN LIVING ROOM AREAS, BATHROOMS, KITCHEN, GARAGE, LAUNDRY ROOM, AND EXTERIOR LOCATIONS MUST BE "TAMPER-RESISTANT" PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
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  - EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATION WHERE EXCEPTION IS DESIRED IS ALLOWED PER 2023 FBCR REFERENCED NFPA 70.
  - UNLESS OTHERWISE INDICATED OR GOVERNED BY CODE, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR.

ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO CL.
REMAINING SWITCHES	48" TO CL.
WALL OUTLETS	12" TO CL.
TELEPHONE OUTLETS	12" TO CL.
TELEVISION OUTLETS	12" TO CL.
EXTERIOR GFTS	12" TO CL.
GARAGE GFTS (ABOVE GARAGE FLOOR)	48" TO CL.
THERMOSTAT	54" TO CL.
DOOR BELL CHIMES	84" TO CL.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	LEVEL W/ DOOR HANDLE
KITCHEN DISHWASHER RECEPTACLE	76" TO CL.
KITCHEN RANGE	24" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
CL. = CENTER LINE	

**Keessee Associates**  
ARCHITECTURE | DESIGN | PLANNING  
208 Bonhall Lane Suite 200  
Davenshoe, FL 32715  
(407) 940-2333

**FDS**  
FLORIDA DESIGN SOLUTIONS INC.  
208 Bonhall Lane, Suite 200, Maitland, FL 32751  
Professional Seal: CARLA A. BROWN, PE, F.L.E. #5128  
Professional Seal: SCOTT LEWIS, PE, F.L.E. #7792  
Professional Seal: JAMES H. BROWN, PE, F.L.E. #4452  
Professional Seal: JAMES H. BROWN, PE, F.L.E. #4452  
Professional Seal: JAMES H. BROWN, PE, F.L.E. #4452

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title: **1914 - ADAMS  
ELECTRICAL**

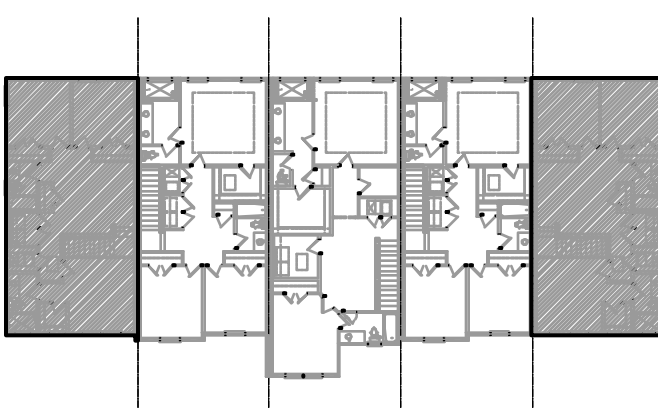
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date: 05-18-22  
scale: AS SHOWN

**4.1A  
ELEV. A**

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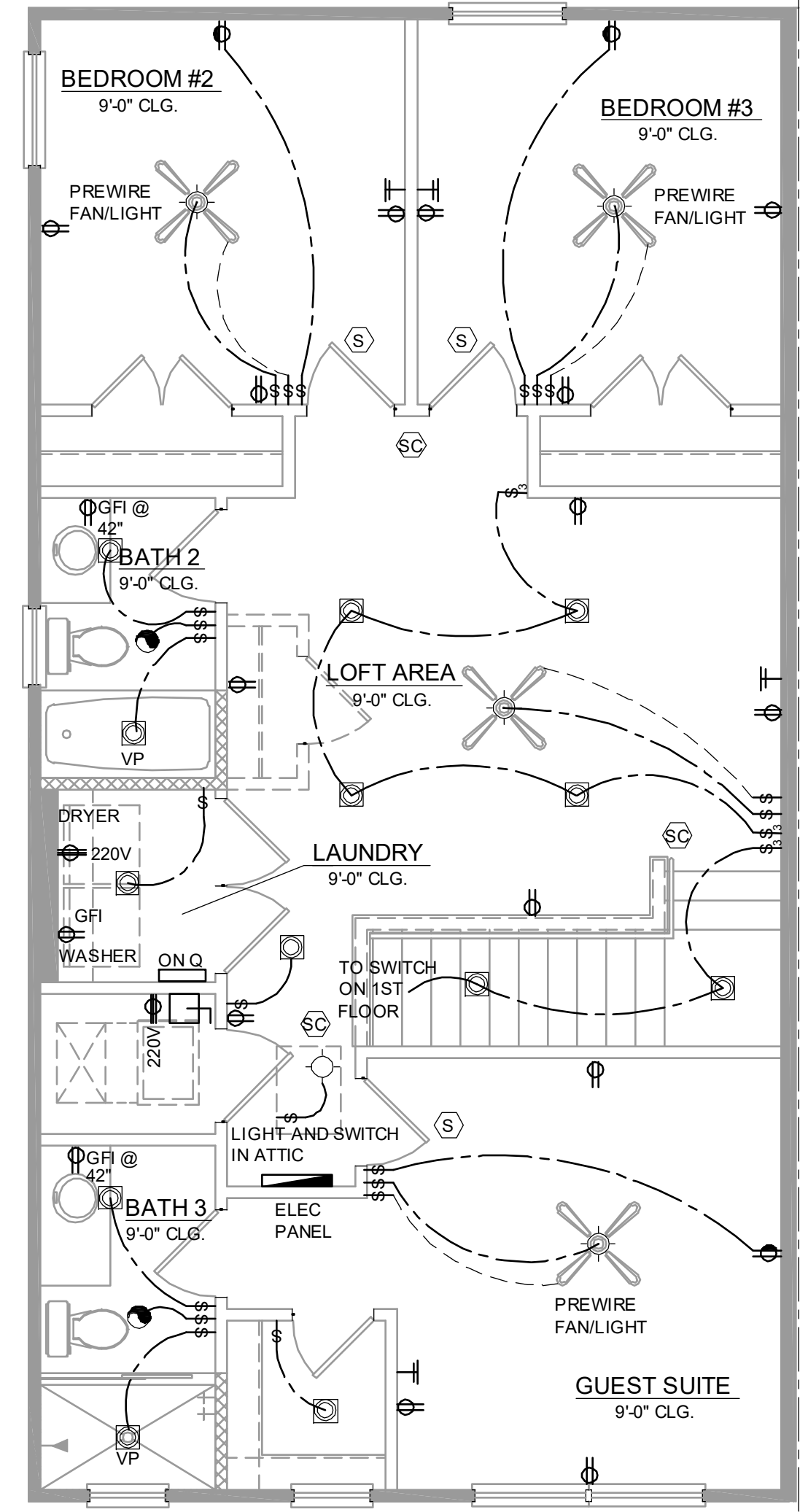
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





### 2ND FLOOR - KEY PLAN

1/32" = 1'-0"



### 1914 - ADAMS 2ND FLOOR ELECTRICAL

1/4" = 1'-0"

NFPA 70  
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT FOR AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.

**DISCLAIMER**

IT IS THE CONTRACTOR/SUB-CONTRACTORS RESPONSIBILITY TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEESSEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED TO KEESSEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

### ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCONCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

### GENERAL NOTES

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THERMOSTAT	54" TO CL.
DOOR BELL CHIMES	84" TO CL.
DOOR BELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	66" TO CL.
KITCHEN HOOD FAN "WHIP"	78" TO CL.
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
C.L. = CENTER LINE	

**Keessee Associates**  
ARCHITECTURE | DESIGN | PLANNING  
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352.380.2333

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FLORIDA REGISTERED PROFESSIONAL ENGINEER  
JAMES H. BROWN, PE - FL # 44442  
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**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

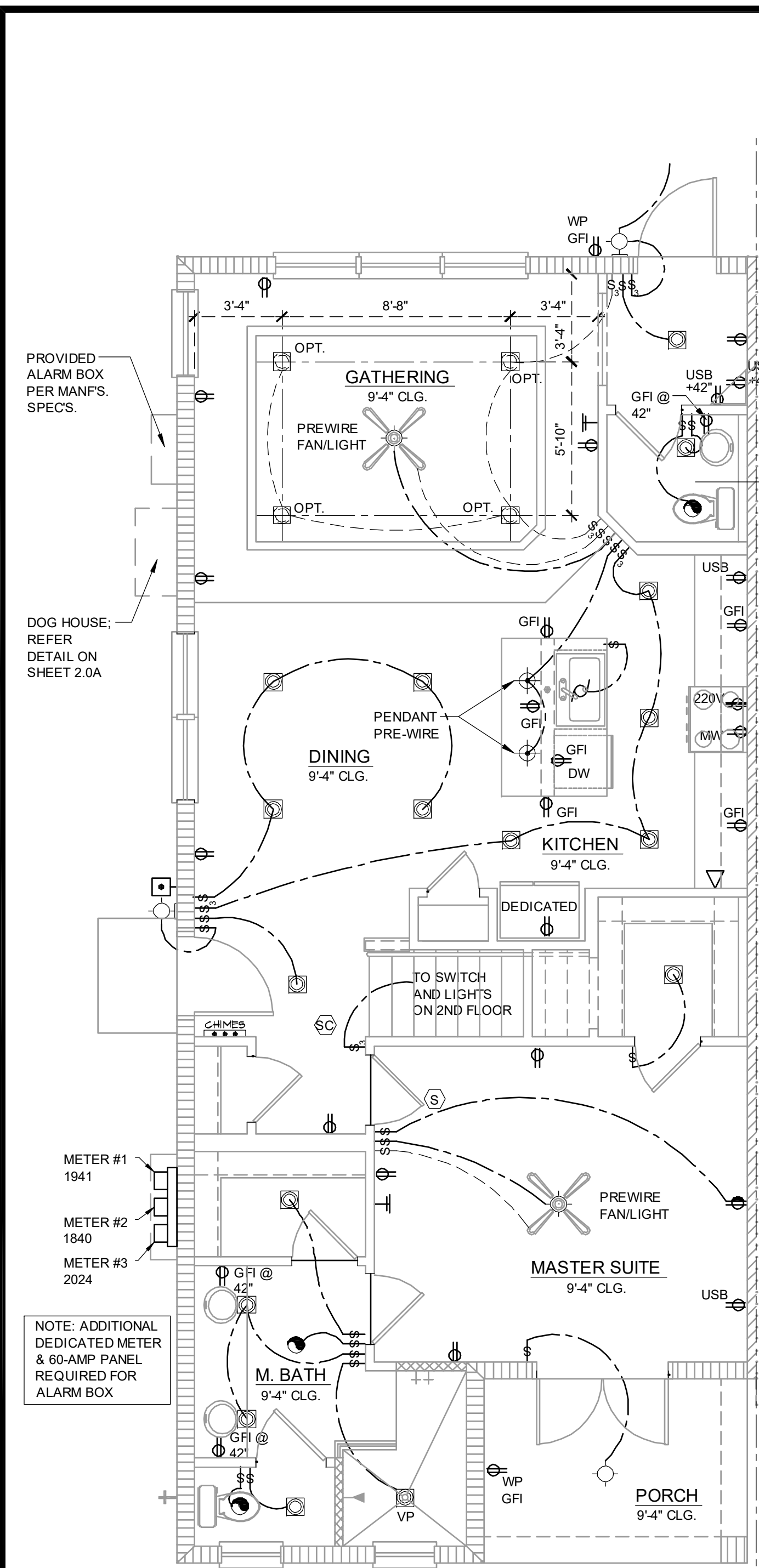
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**1914 - ADAMS  
FLOOR PLAN**

project no. 2022143  
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scale: AS SHOWN

**4.2A  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



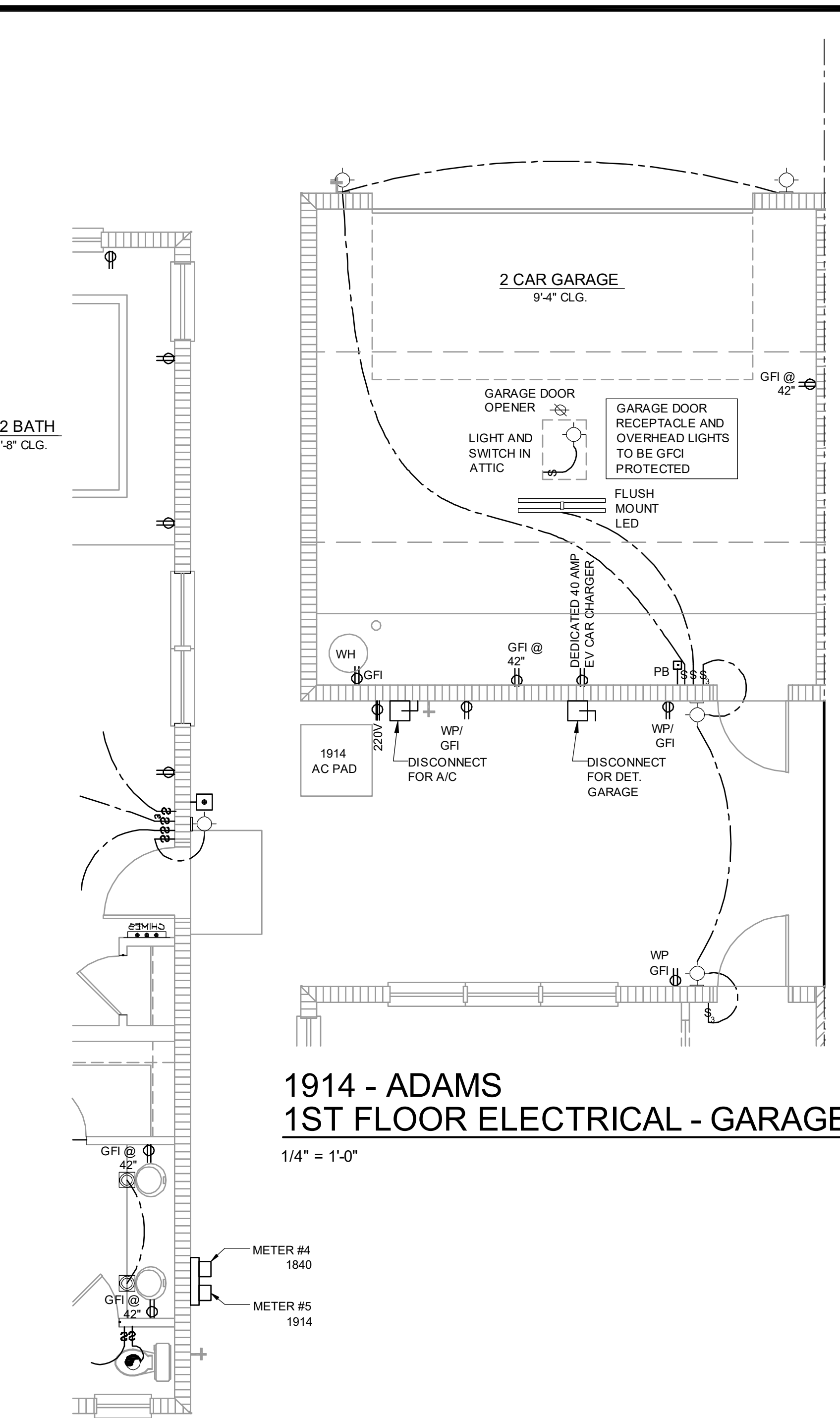


**1914 - ADAMS  
1ST FLOOR ELECTRICAL**

1/4" = 1'-0"

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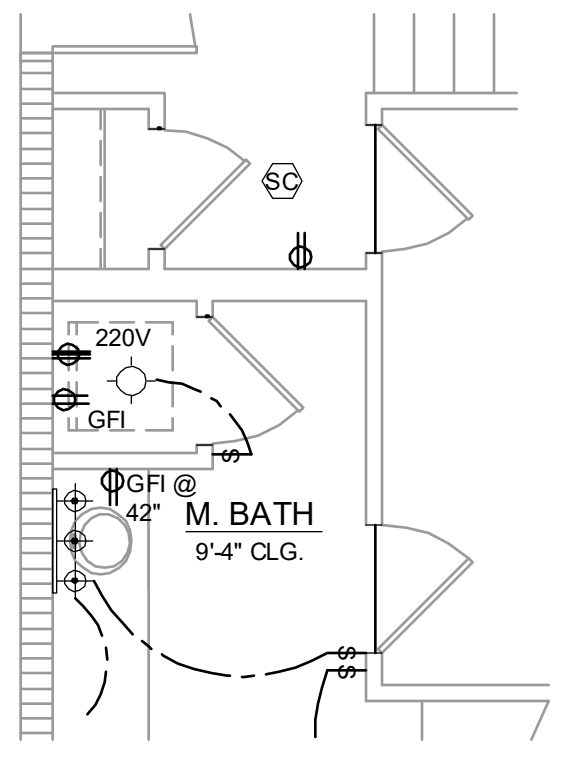
**1914 - ADAMS  
1ST FLOOR ELECTRICAL - GARAGE**

1/4" = 1'-0"

**1914 - ADAMS REVERSED  
1ST FLOOR ELECTRICAL**

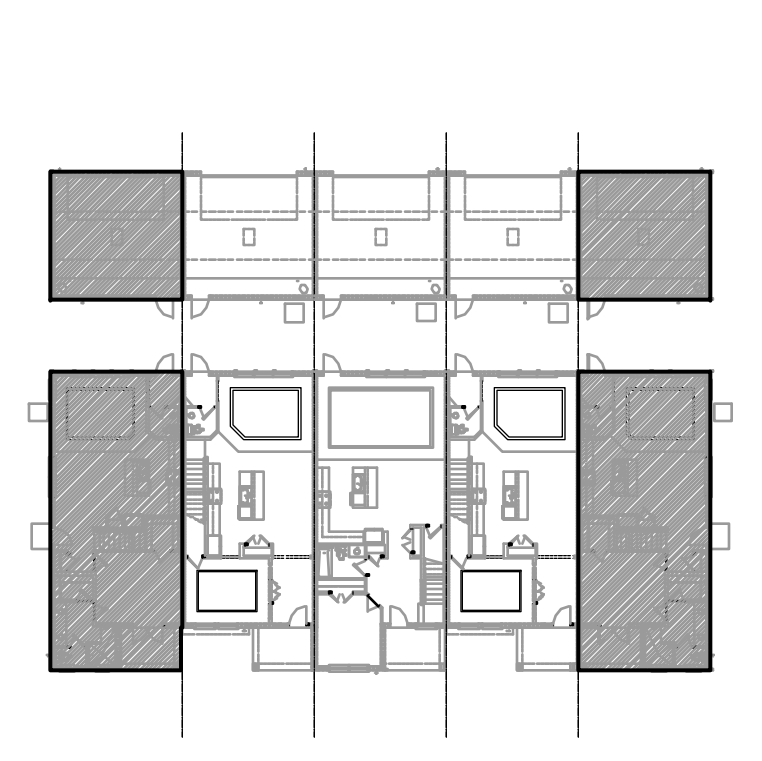
1/4" = 1'-0"

\*\*\*FOR FULL ELECTRICAL PLAN, REFER TO STANDARD ADAMS PLAN\*\*\*



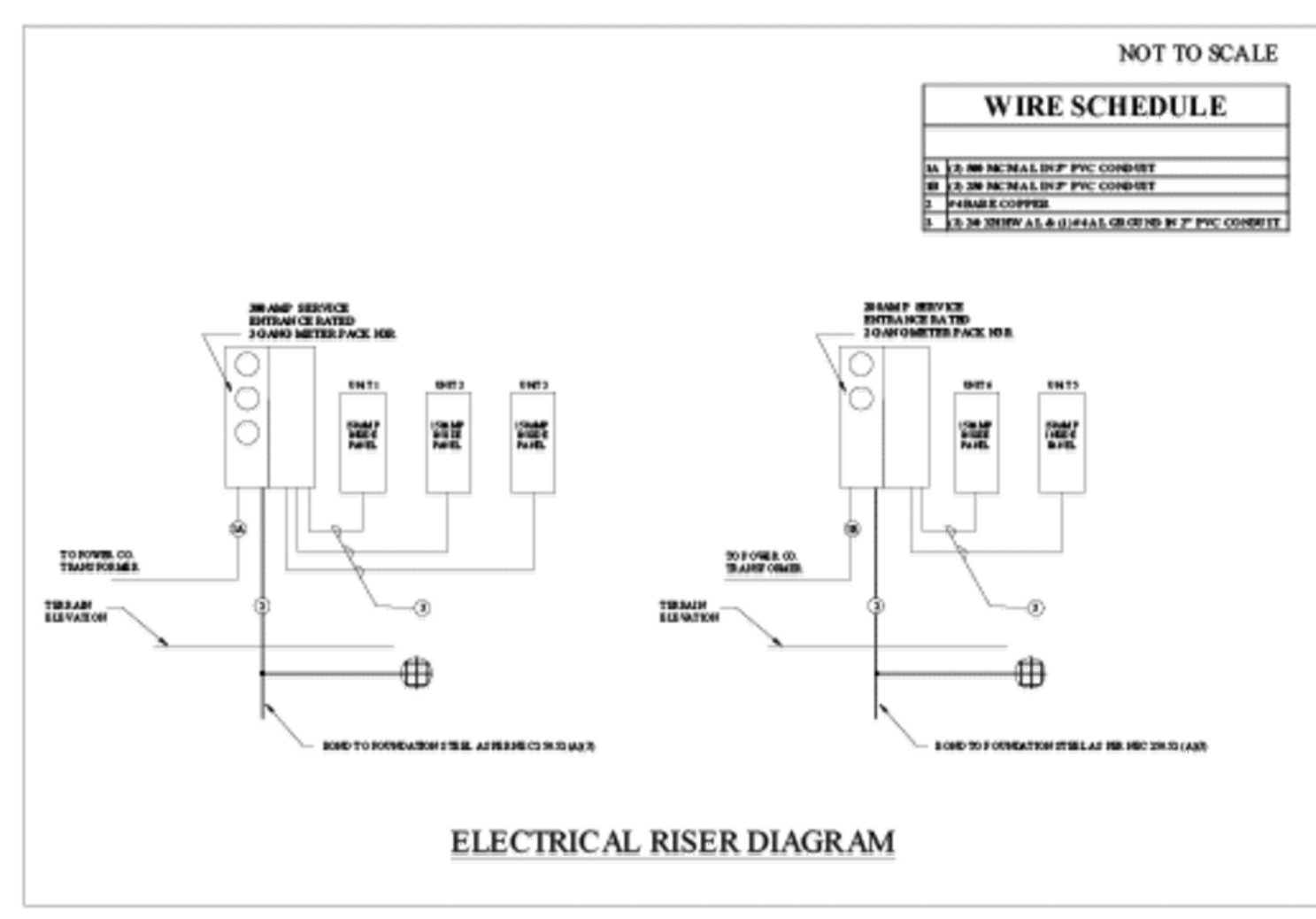
**OPT WASHER/DRYER**

1/4" = 1'-0"



**1ST FLOOR - KEY PLAN**

1/32" = 1'-0"

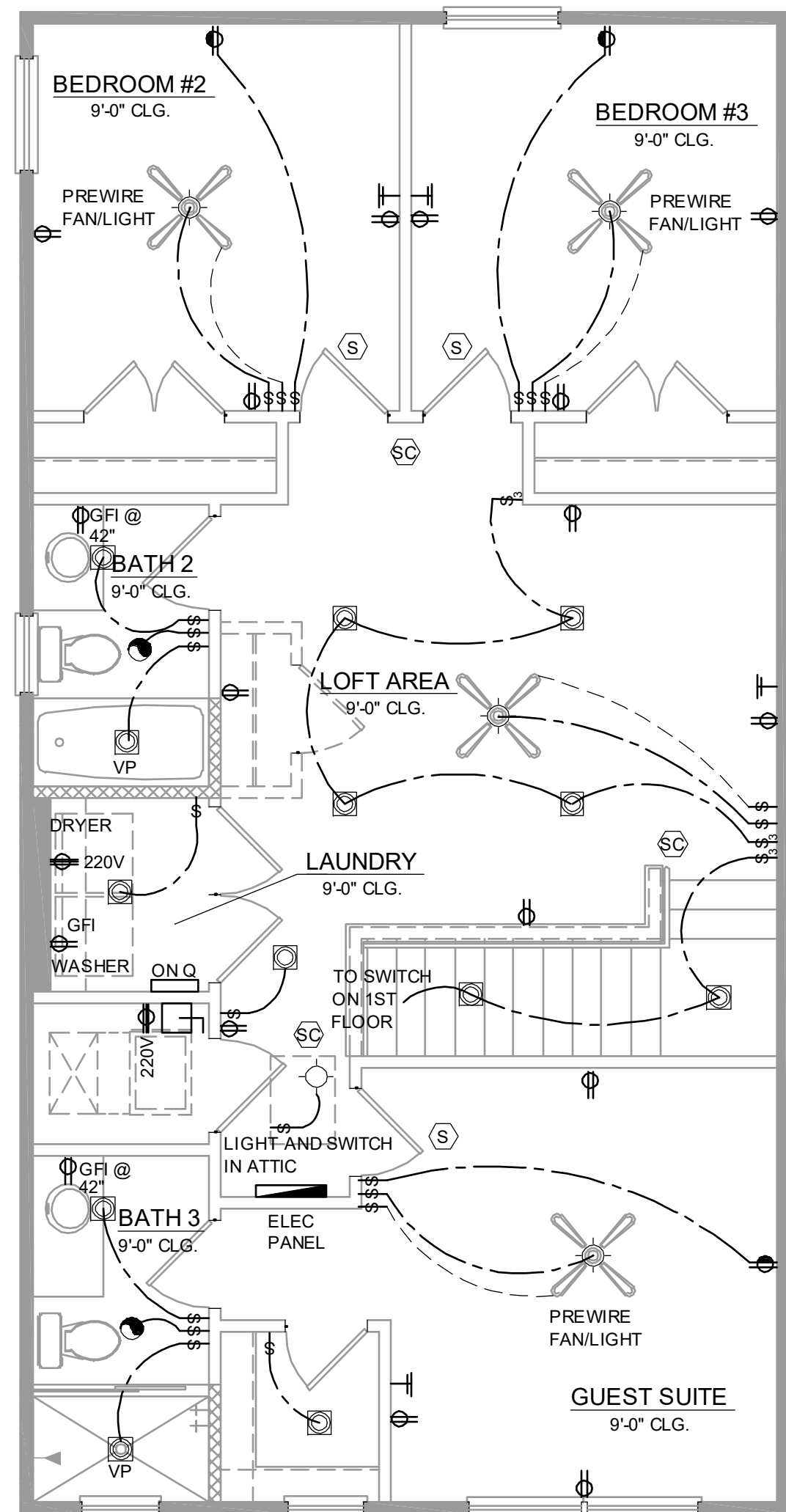


**Residential Standard Calculation** Version 7.28

**Ravenna Townhomes - Adams**  
Synergy Electrical Systems, Inc  
550 Pensacola Pointe Blvd  
Apalachee, FL 32212  
Ph: 407-880-3144 Fax: 407-880-3145  
1/19/2019 9:28

STEP 1	Article 220.42 & 220.52	General Lighting load	5,742 VA
1914	General Lighting load	5,742 VA	
2	Small Appliance	3,000 VA	
1	Laundry circuit	1,500 VA	
	Gen Lgt. Sm App & Laun. Load	10,242 VA	
		3,000 VA @ 100% = 3,000 VA	
		7,242 VA @ 25% = 2,535 VA	
		VA @ 25% =	
		<b>General Lighting Demand Load</b>	<b>5,535 VA</b>
		<b>Total Heat Load</b>	<b>5,800 VA</b>
		<b>Total CU Load</b>	<b>4,420 VA</b>
		<b>Greater of Heat @ 100% vs A/C @ 100%</b>	<b>5,800 VA</b>
		<b>Appliance Demand Load</b>	<b>6,938 VA</b>
		<b>Dryer Demand Load</b>	<b>5,000 VA</b>
		<b>Range Demand Load</b>	<b>5,000 VA</b>
		<b>Service Demand</b>	<b>31,272 VA</b>
		<b>Demand Load</b>	<b>130 A</b>
		<b>Neutral Demand</b>	<b>78 A</b>
		<b>Min. Service Req.</b>	<b>150 A</b>
		<b>Total Appliance Load</b>	<b>9,280 VA</b>
		4 or more demand @ 75% plus 100% demand loads	<b>6,938 VA</b>
		<b>Col C demand</b>	<b>8,000 W</b>
		<b>Col B demand</b>	
		<b>Col A demand</b>	
		<b>Col D demand</b>	
		<b>Col E demand</b>	
		<b>Col F demand</b>	
		<b>Col G demand</b>	
		<b>Col H demand</b>	
		<b>Col I demand</b>	
		<b>Col J demand</b>	
		<b>Col K demand</b>	
		<b>Col L demand</b>	
		<b>Col M demand</b>	
		<b>Col N demand</b>	
		<b>Col O demand</b>	
		<b>Col P demand</b>	
		<b>Col Q demand</b>	
		<b>Col R demand</b>	
		<b>Col S demand</b>	
		<b>Col T demand</b>	
		<b>Col U demand</b>	
		<b>Col V demand</b>	
		<b>Col W demand</b>	
		<b>Col X demand</b>	
		<b>Col Y demand</b>	
		<b>Col Z demand</b>	
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		<b>Col AC demand</b>	
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		<b>Col AE demand</b>	
		<b>Col AF demand</b>	
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		<b>Col AH demand</b>	
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		<b>Col AO demand</b>	
		<b>Col AP demand</b>	
		<b>Col AQ demand</b>	
		<b>Col AR demand</b>	
		<b>Col AS demand</b>	
		<b>Col AT demand</b>	
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		<b>Col AV demand</b>	
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		<b>Col BH demand</b>	
		<b>Col BI demand</b>	
		<b>Col BJ demand</b>	
		<b>Col BK demand</b>	
		<b>Col BL demand</b>	
		<b>Col BM demand</b>	
		<b>Col BN demand</b>	
		<b>Col BO demand</b>	
		<b>Col BP demand</b>	
		<b>Col BQ demand</b>	
		<b>Col BR demand</b>	
		<b>Col BS demand</b>	
		<b>Col BT demand</b>	
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		<b>Col BW demand</b>	
		<b>Col BX demand</b>	
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		<b>Col FI demand</b>	
		<b>Col FJ demand</b>	
		<b>Col FK demand</b>	
		<b>Col FL demand</b>	
		<b>Col FM demand</b>	
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		<b>Col FX demand</b>	
		<b>Col FY demand</b>	
		<b>Col FZ demand</b>	
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		<b>Col GC demand</b>	
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		<b>Col GH demand</b>	
		<b>Col GI demand</b>	
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		<b>Col HC demand</b>	
		<b>Col HD demand</b>	
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		<b>Col IJ demand</b>	
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		<b>Col IL demand</b>	
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		<b>Col IN demand</b>	
		<b>Col IO demand</b>	
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		<b>Col IR demand</b>	
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		<b>Col IV demand</b>	
		<b>Col IW demand</b>	
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		<b>Col IY demand</b>	
		<b>Col IZ demand</b>	
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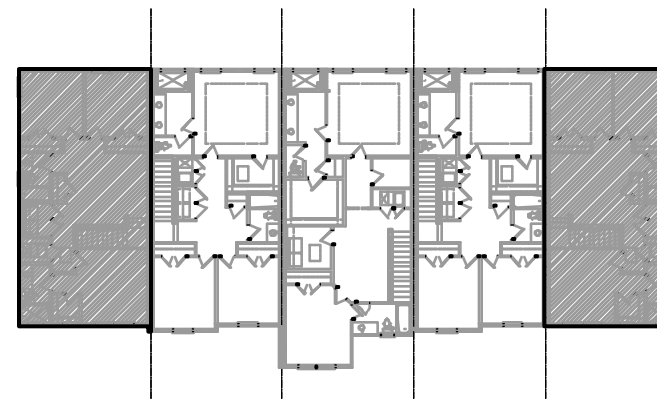


**1914 - ADAMS  
2ND FLOOR ELECTRICAL**

1/4" = 1'-0"

NFPA 70  
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

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**2ND FLOOR - KEY PLAN**

1/32" = 1'-0"

**ELECTRICAL KEY**

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCIENCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JB JUNCTION BOX

**GENERAL NOTES**

- FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
- ARCH FAULT BREAKERS: ALL BRANCH CIRCUITS SERVING BEDROOMS, FAMILY ROOMS, HALLWAYS, KITCHEN, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, REC. ROOMS, CLOSETS AND LAUNDRY AREAS SHALL BE PROTECTED BY ARCH FAULT BREAKERS, PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
- NEC 2020 210.52(G)(1) GARAGES. IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY, NOT MORE THAN 1.7M (5-1/2 FT.) ABOVE THE FLOOR.
- TAMPER-RESISTANT "TR" RECEPTACLES: ALL 125-VOLT, 15 & 20 AMPERE ELECTRICAL OUTLETS (RECEPTACLES) IN LIVING ROOM AREAS, BATHROOMS, KITCHEN, GARAGE, LAUNDRY ROOM, AND EXTERIOR LOCATIONS MUST BE "TAMPER-RESISTANT" PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
- ALL ELECTRICAL WORK AND APPLIANCES SHALL CONFORM TO 2023 FBCR. REFERENCED NFPA 70.
- EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATION WHERE EXCEPTION IS DESIRED IS ALLOWED PER 2023 FBCR REFERENCED NFPA 70.
- UNLESS OTHERWISE INDICATED OR GOVERNED BY CODE, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR.

ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO C.L.
REMAINING SWITCHES	48" TO C.L.
WALL OUTLETS	12" TO C.L.
TELEPHONE OUTLETS	12" TO C.L.
TELEVISION OUTLETS	12" TO C.L.
EXTERIOR GFIS	12" TO C.L.
GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO C.L.
THERMOSTAT	54" TO C.L.
DOOR BELL CHIMES	84" TO C.L.
DOOR BELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN HOOD FAN "WHIP"	68" TO C.L.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	76" TO C.L.
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO C.L.
KITCHEN REFRIGERATOR	48" TO C.L.
WASHER/DRYER OUTLET	36" TO C.L.
HOLLYWOOD LIGHTS	84" TO C.L.
C.L. = CENTER LINE	

**DISCLAIMER**

IT IS THE CONTRACTOR/SUB-CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL INFORMATION CONTAINED HEREIN PRIOR TO COMMENCEMENT OF CONSTRUCTION. KEESSEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. IS NOT RESPONSIBLE FOR ANY MISINTERPRETATIONS, ERRORS, OMISSIONS OR CUSTOM CHANGES MISSED AND NOT REPORTED TO KEESSEE ASSOCIATES & FLORIDA DESIGN SOLUTIONS INC. PRIOR TO CONSTRUCTION. NO EXCEPTIONS.

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(407) 960-2331

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208 S. BOYD BLVD., SUITE 200  
ORLANDO, FL 32837  
Tel: 407-882-2333 Fax: 407-882-2304  
Certificate of Authorization No. 9161  
SCOTT L. BINKOWSKI, P.E., FL #18790  
THOMAS B. DUNN, P.E., FL #4462  
DATE: June 11, 2024

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

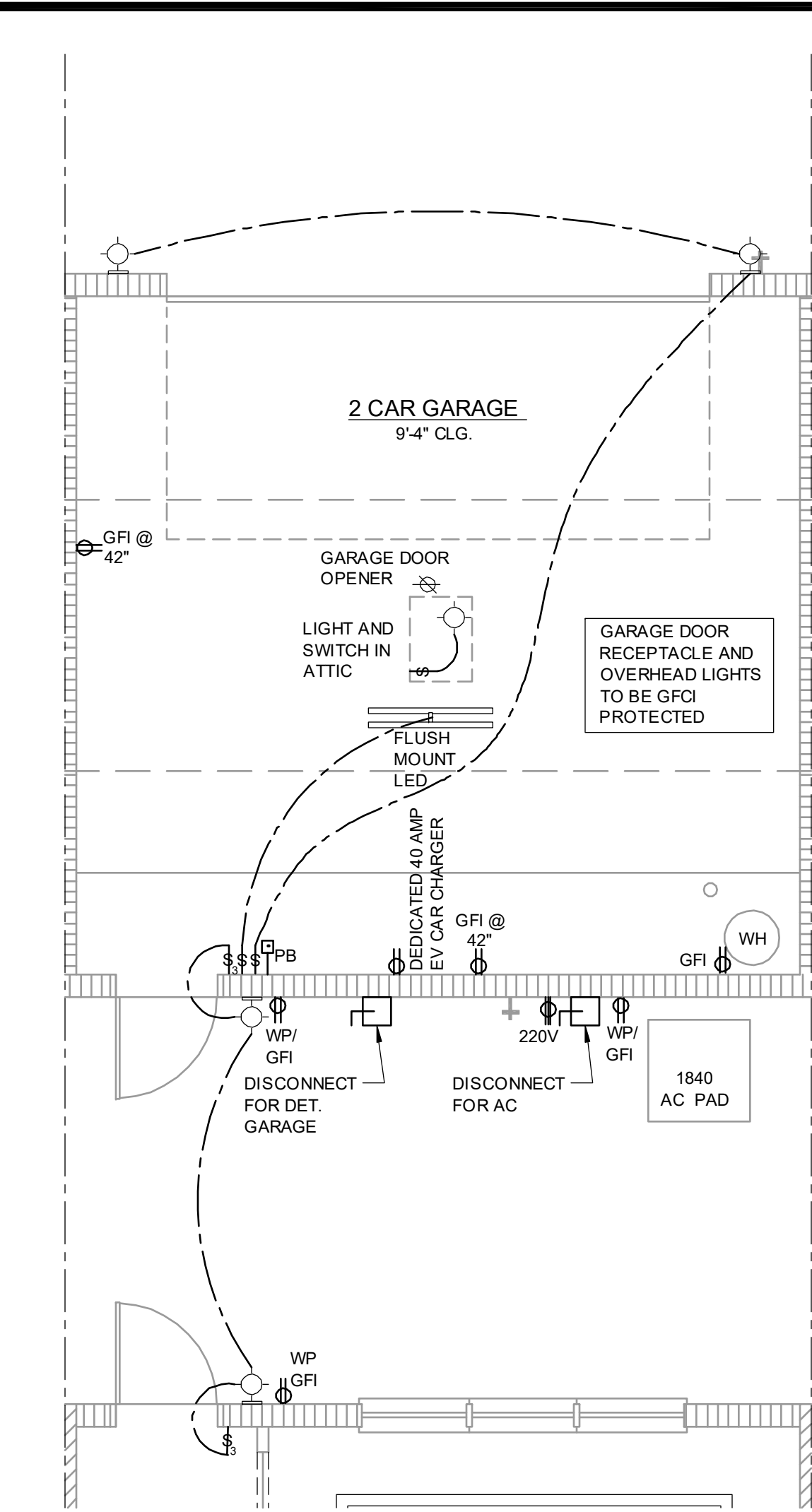
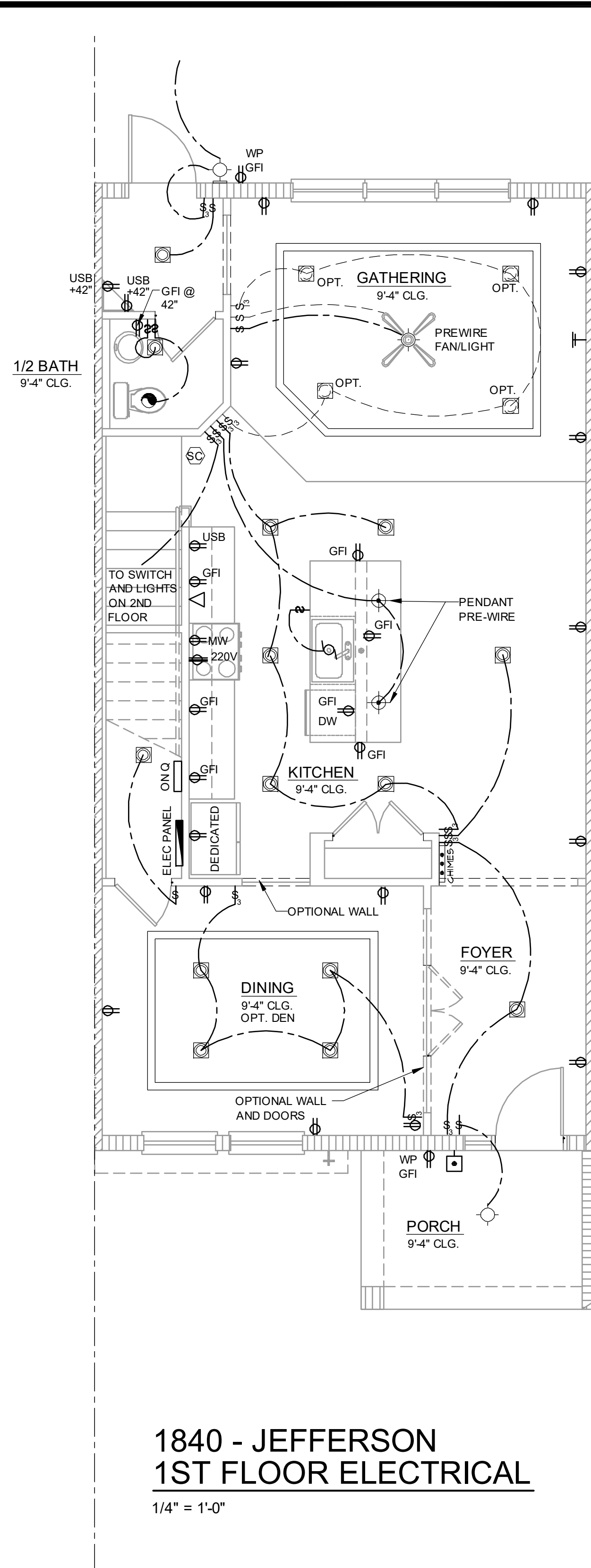
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**1914 - ADAMS  
FLOOR PLAN**

project no. 2022143  
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drawn:  
date: 05-18-22  
scale: AS SHOWN

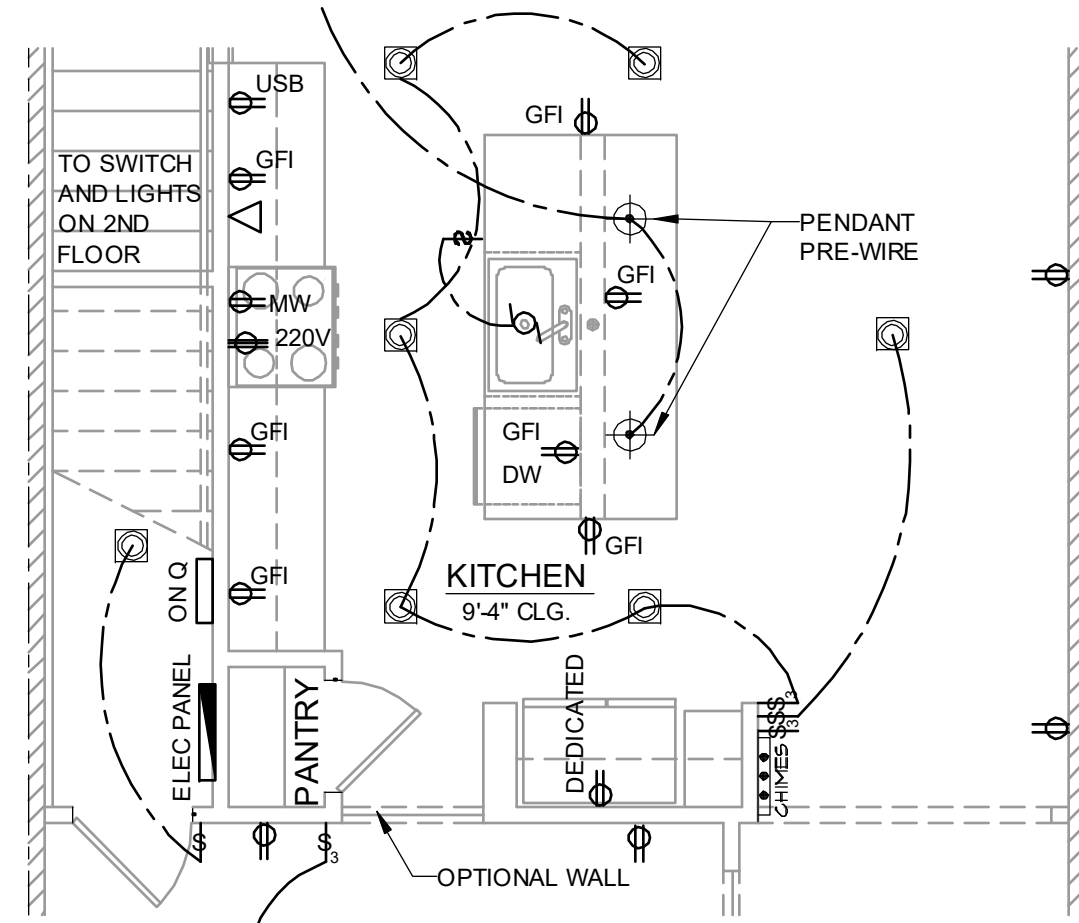
**4.2A  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





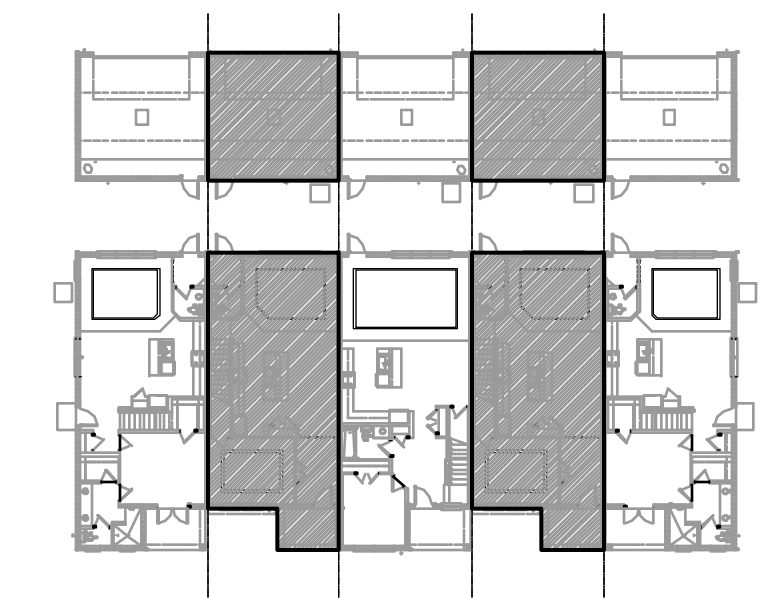
**1840 - JEFFERSON  
1ST FLOOR ELECTRICAL - GARAGE**  
1/4" = 1'-0"



**1840 - JEFFERSON  
1ST FLOOR PLAN**  
1/4" = 1'-0" EMERSON PARK ONLY

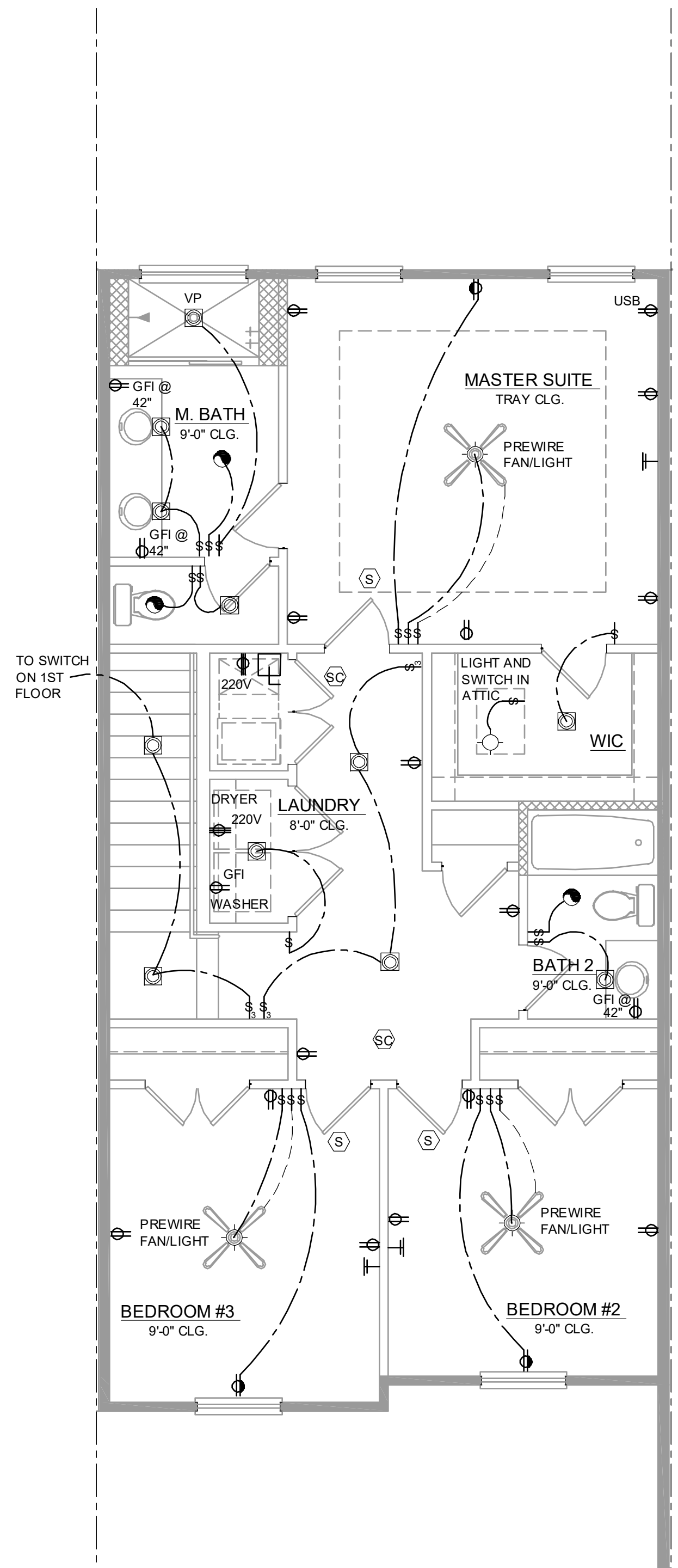
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Residential Standard Calculation		Version 7.28		9/25/1987		Reverna Townhomes - Jefferson	
<b>STEP 1 Article 220.42 &amp; 220.52</b>				Synergy Electrical Systems, Inc			
1840 General Lighting load				850 Parkside Pointe Blvd			
2 Small Appliance				Apopka, FL 32712			
1 Laundry circuit				Ph: 407-880-3144 Fax: 407-880-3145			
Gen Lgt. Sm App & Laun. Load				11/30/2018 8:27			
5,520 VA		3,000 VA		General Lighting Demand Load		5,487 VA	
1,500 VA		1,500 VA		Total Heat Load		5,930 VA	
10,020 VA		3,000 VA @ 100% =		Total CU Load		4,400 VA	
3,000 VA @ 35% =		2,457 VA		Greater of Heat @ 100% vs. AC @ 100%		5,900 VA	
7,020 VA @ 25% =		1,755 VA		Appliance Demand Load		6,936 VA	
				Dryer Demand Load		6,000 VA	
				Range Demand Load		8,000 VA	
				Service Demand		31,186 VA	
				Demand Load		130 A	
				Neutral Demand		75 A	
				Min. Service Req.		150 A	
				Min. Feeder size		1	
				Min. Neutral size		4	
				Eq. Grdng. Cond.		6	
				Copper			
				Total Appliance Load		8,250 VA	
				4 or more demand @ 75% plus 100% demand loads		6,936 VA	
				Number of appliances		9%	
				Cooktop & Oven Demand Load		W	
				Number of appliances		9%	
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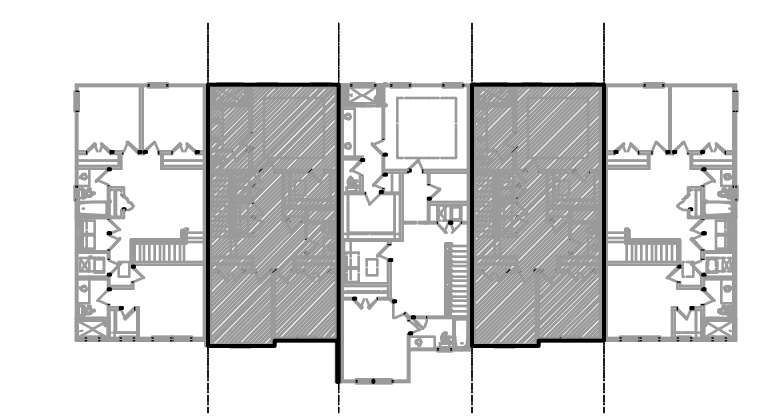


**1840 - JEFFERSON  
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- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCONCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

**GENERAL NOTES**

1. FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
2. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
3. ARCH FAULT BREAKERS: ALL BRANCH CIRCUITS SERVING BEDROOMS, FAMILY ROOMS, HALLWAYS, KITCHEN, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, REC. ROOMS, CLOSETS AND LAUNDRY AREAS SHALL BE PROTECTED BY ARCH FAULT BREAKERS, PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
4. NEC 2020 210.52(G)(1) GARAGES. IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY, NOT MORE THAN 1.7M (5-1/2 FT.) ABOVE THE FLOOR.
5. TAMPER-RESISTANT "TR" RECEPTACLES: ALL 125-VOLT, 15 & 20 AMPERE ELECTRICAL OUTLETS (RECEPTACLES) IN LIVING ROOM AREAS, BATHROOMS, KITCHEN, GARAGE, LAUNDRY ROOM, AND EXTERIOR LOCATIONS MUST BE "TAMPER-RESISTANT" PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
6. ALL ELECTRICAL WORK AND APPLIANCES SHALL CONFORM TO 2023 FBCR. REFERENCED NFPA 70.
7. EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATION WHERE EXCEPTION IS DESIRED IS ALLOWED PER 2023 FBCR REFERENCED NFPA 70.
8. UNLESS OTHERWISE INDICATED OR GOVERNED BY CODE, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR.

ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO CL.
REMAINING SWITCHES	48" TO CL.
WALL OUTLETS	12" TO CL.
TELEPHONE OUTLETS	12" TO CL.
TELEVISION OUTLETS	12" TO CL.
EXTERIOR GFIS	12" TO CL.
GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO CL.
THERMOSTAT	54" TO CL.
DOOR BELL CHIMES	84" TO CL.
DOOR BELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	66" TO CL.
KITCHEN HOOD FAN "WHIP"	78" TO CL.
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
C.L. = CENTER LINE	

**DISCLAIMER**

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Certificate of Authorization No. 0191  
CARLA A. BROWN, PE - FL # 54128  
SCOTT LEWIS, PE - FL # 77779  
FLORIDA LICENSE # 11-2704  
REGISTERED PROFESSIONAL ELECTRICAL ENGINEER

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

title:  
**1840 - JEFFERSON  
FLOOR PLAN**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**4.2B  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





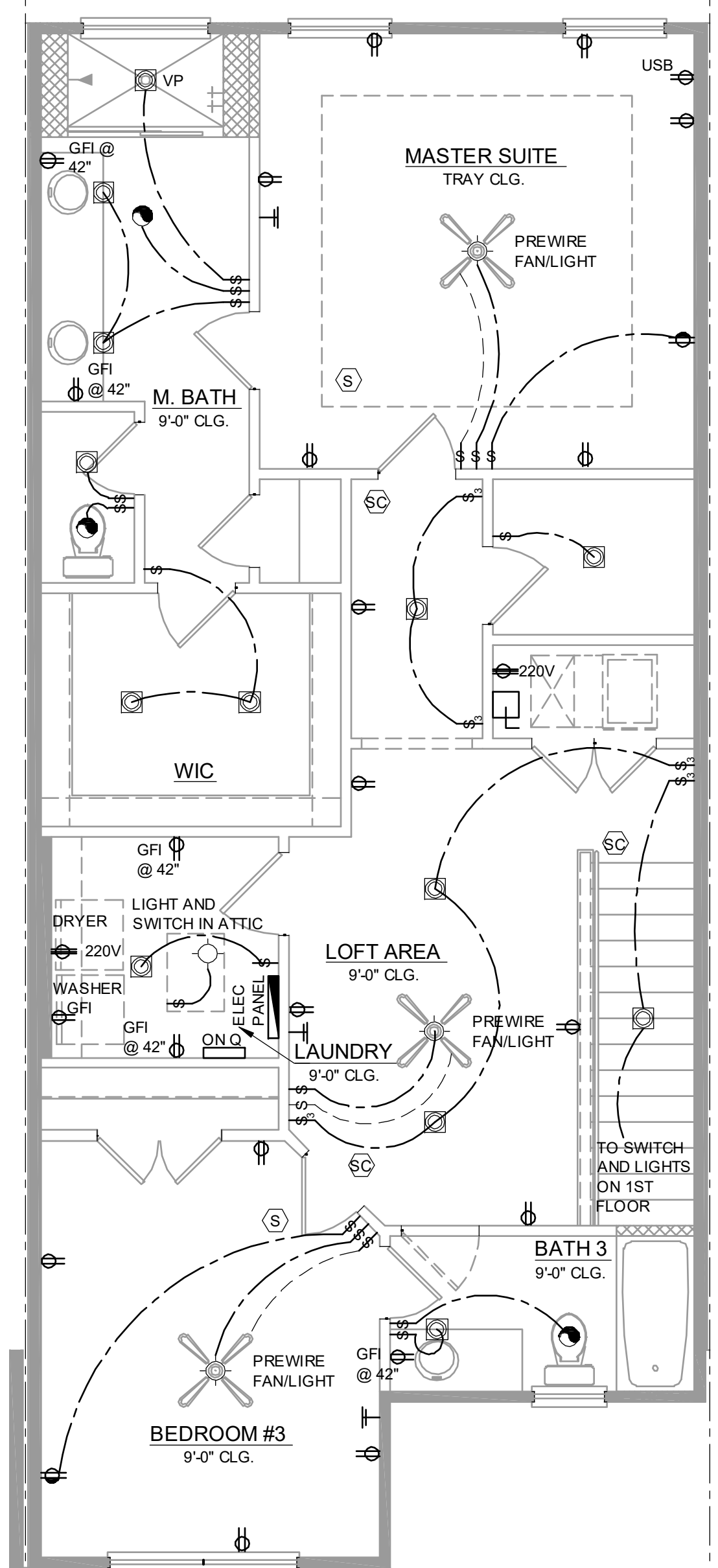


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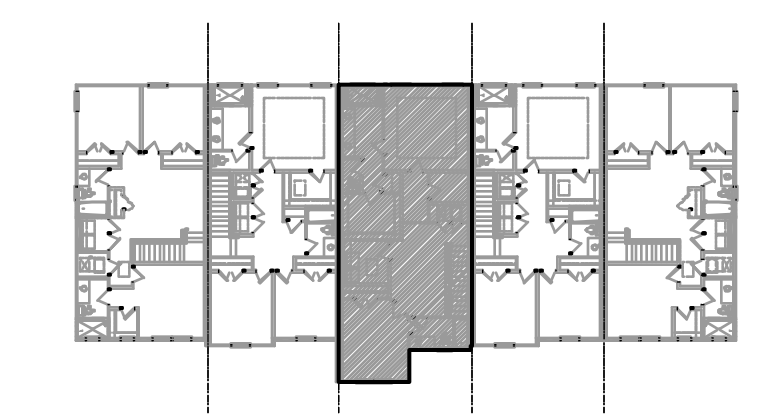
NFPA 70  
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT FOR AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.



**2024 - MADISON  
2ND FLOOR ELECTRICAL**

1/4" = 1'-0"



**2ND FLOOR - KEY PLAN**

1/32" = 1'-0"

**ELECTRICAL KEY**

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCONCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
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HOLLYWOOD LIGHTS	84" TO CL.
C.L. = CENTER LINE	

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CARL A. BROWN, PE - FL # 54128  
SCOTT LEWIS, PE - FL # 77779  
FREDERICK J. HARRIS, PE - FL # 44442  
10/23/2024

**PARK SQUARE  
5 - UNITS  
83' RL (Rear Load) TOWNS**

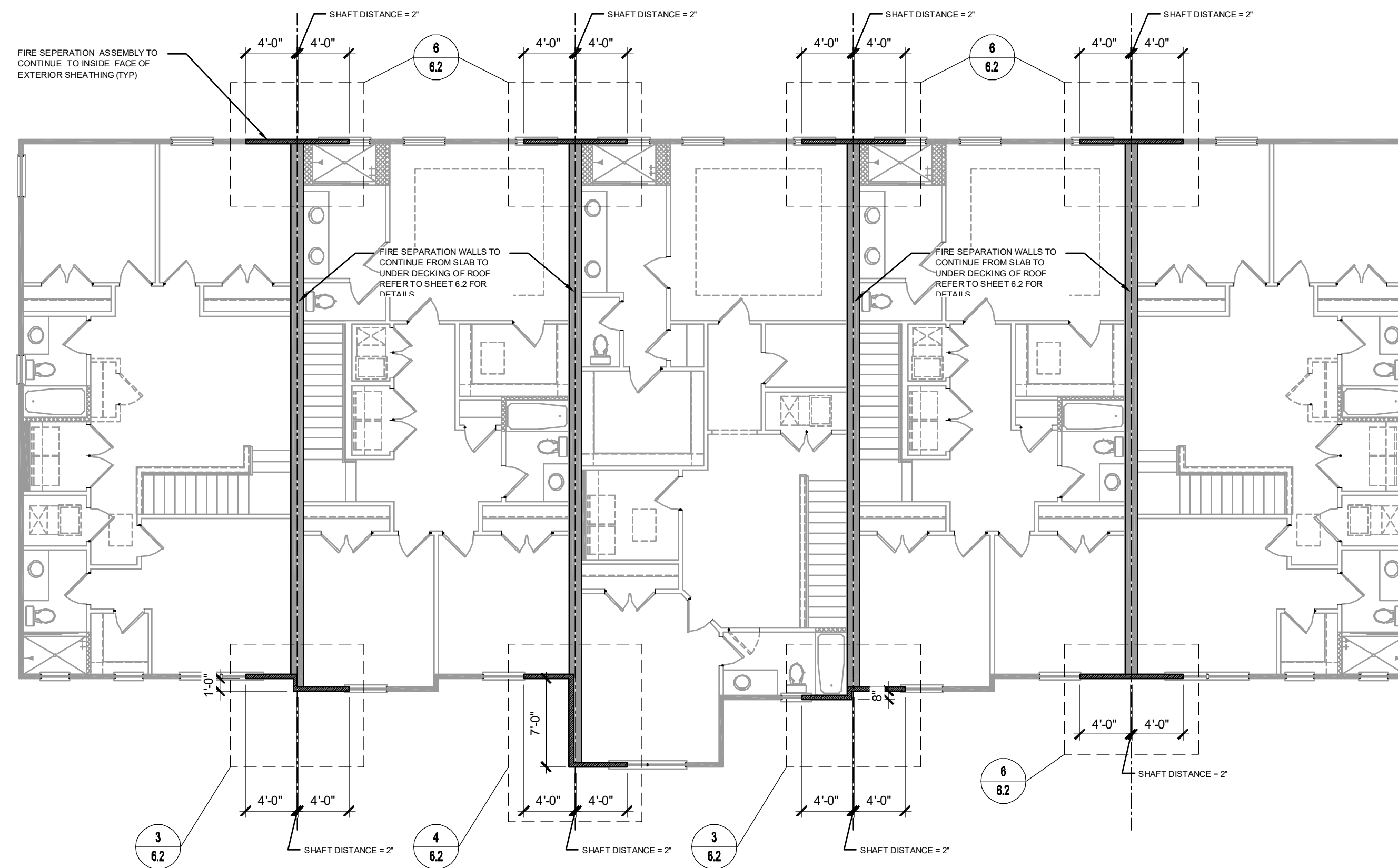
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**2024 - MADISON  
FLOOR PLAN**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**4.2C  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





1914  
ADAMS

1840  
JEFFERSON

2024  
MADISON

1840  
JEFFERSON

1914  
ADAMS  
REVERSED

**ROOF - FIRE SEPERATION**

1/8" = 1'-0"

**DISCLAIMER**

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Professional Engineer  
Certificate of Authorization No. 0191

□ CARL A. BROWN, PE - FL # 54128  
□ SCOTT LEWIS, PE - FL # 77799  
□ JAMES H. HARRIS, PE - FL # 44432  
□ JAMES H. HARRIS, PE - FL # 44432

10% SHIP OF THE BUILDING SHALL BE SUBMITTED TO THE FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION FOR REVIEW AND APPROVAL.

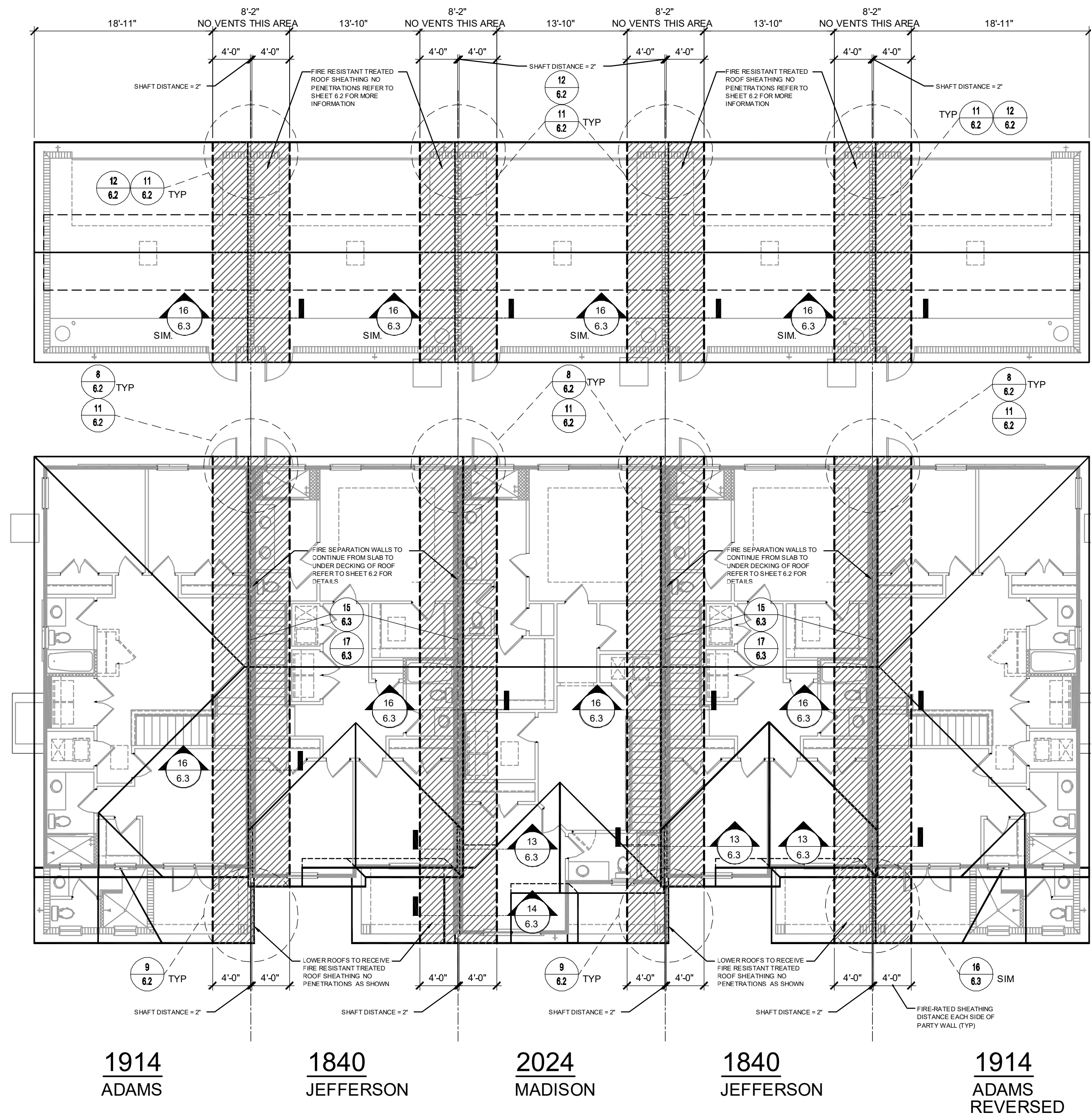
**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**5 UNIT - 2ND FLOOR  
FIRE SEPERATION**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**5.1  
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**ROOF - FIRE SEPERATION**

1/8" = 1'-0"

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 CARL A. BROWN, PE - FL # 54128  
 SCOTT LEWIS, PE - FL # 77779  
 FREDERICK J. LEWIS, PE - FL # 44402  
 License No. 11-2024  
 ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**5 UNIT - ROOF**  
**FIRE SEPERATION**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

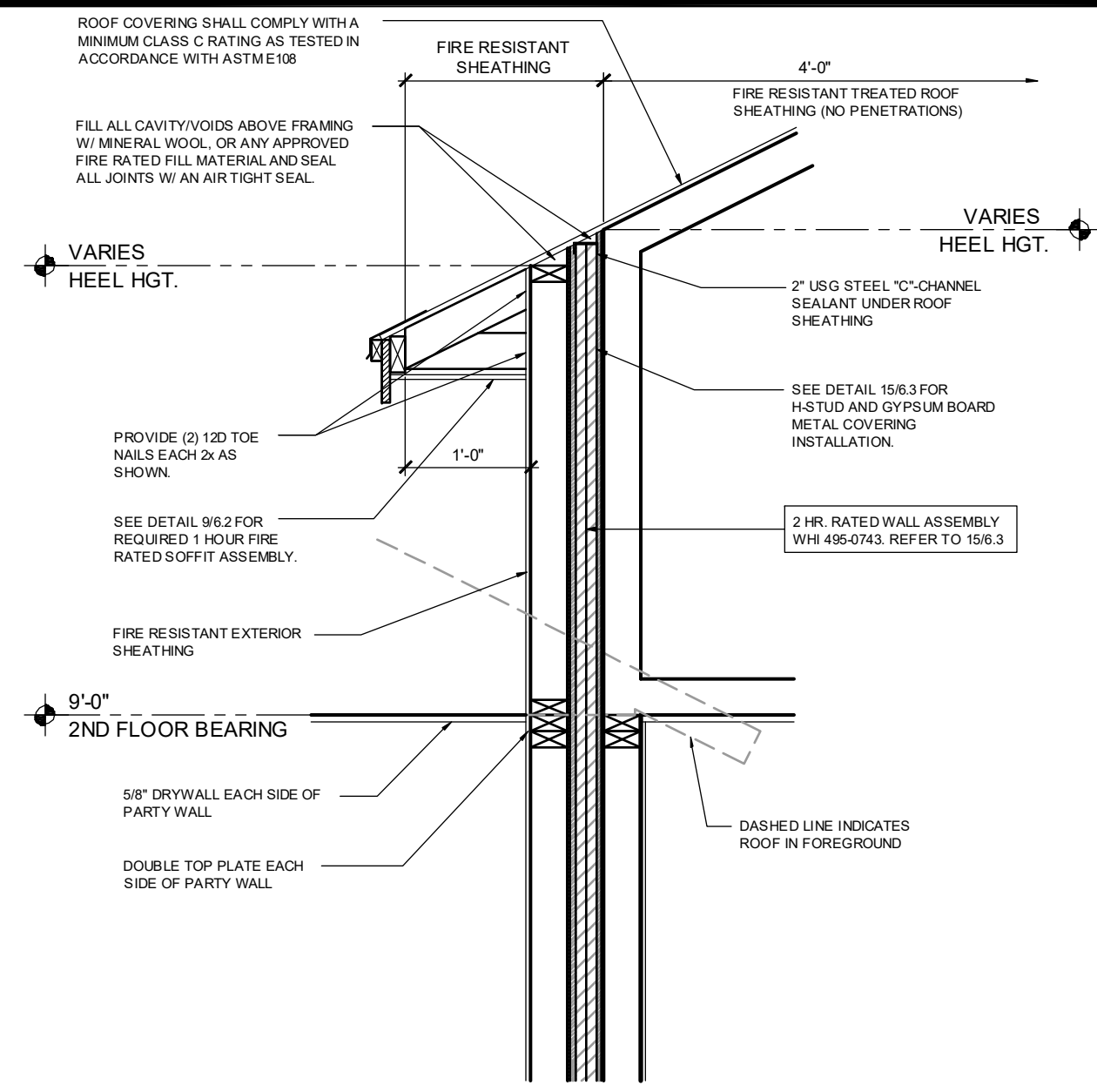
**6.1**  
**ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

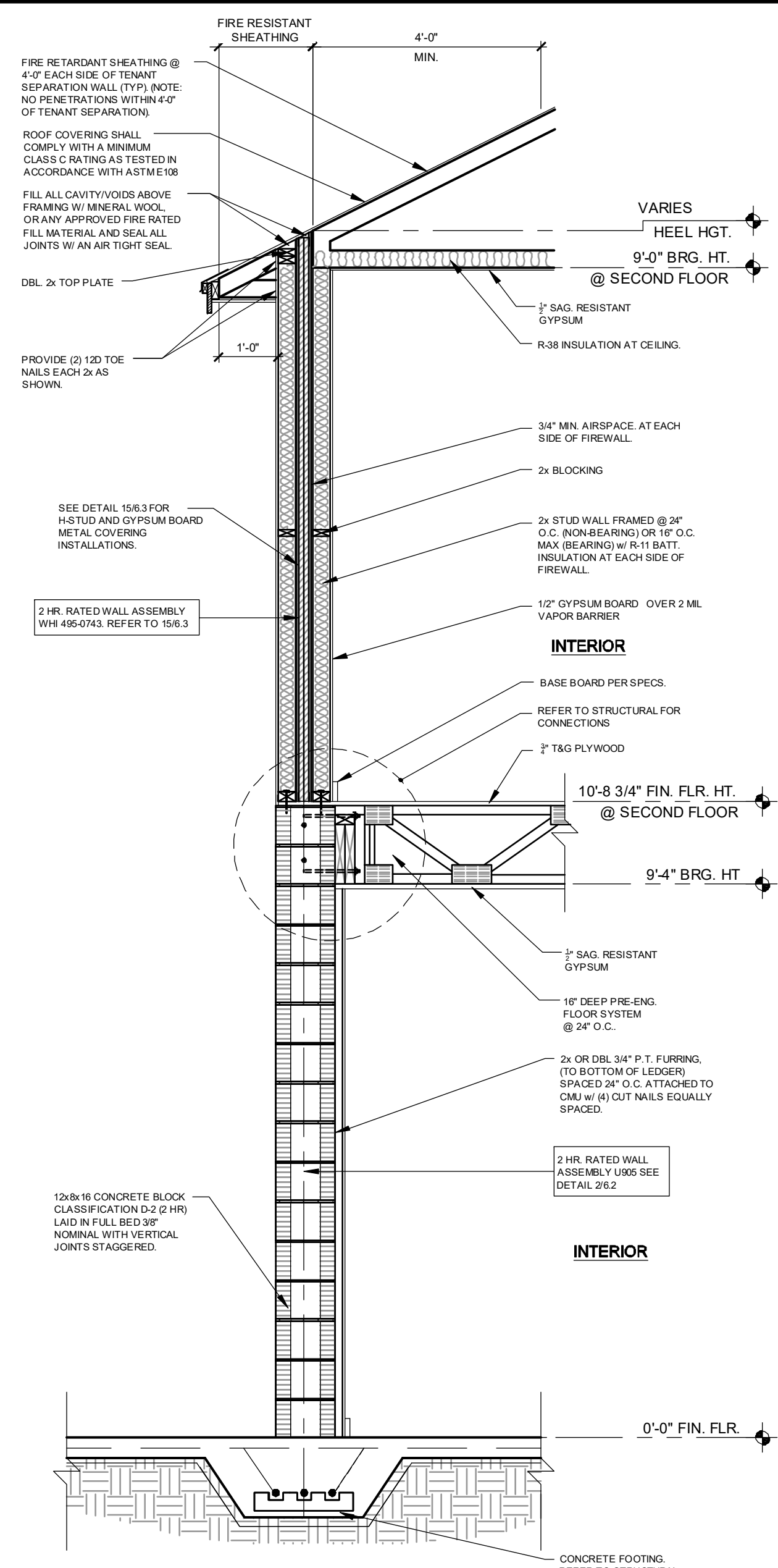








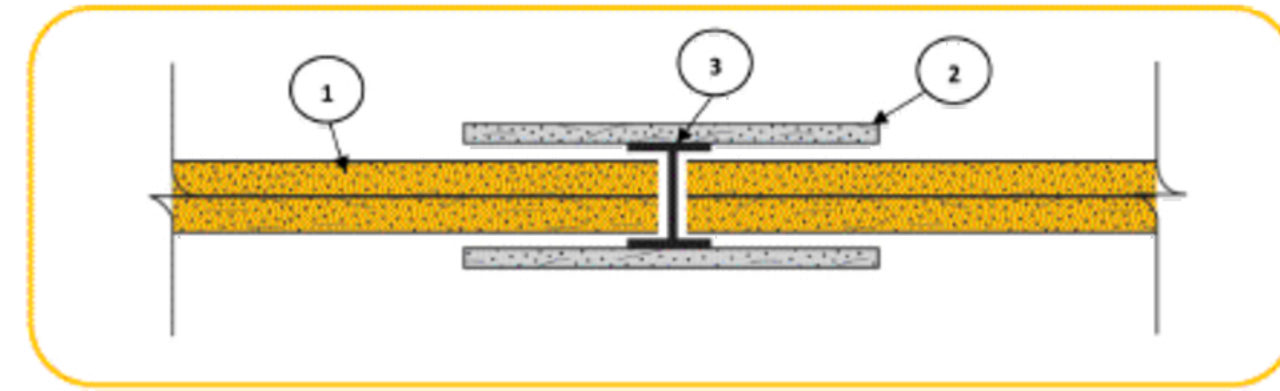
13 FIRE SEPARATION DETAIL AT OVERHANG  
3/4" = 1'-0"



14 2 HR. RATED WALL ASSEMBLY @ PARTY WALL  
1/2" = 1'-0"

**intertek**  
Total Quality Assured.  
Assemblies

Georgia-Pacific Gypsum, LLC  
Design No. GP/WA 120-05  
Non-Bearing Wall Assembly  
Area Separation Wall  
ASTM E119  
Rating: 2 hours



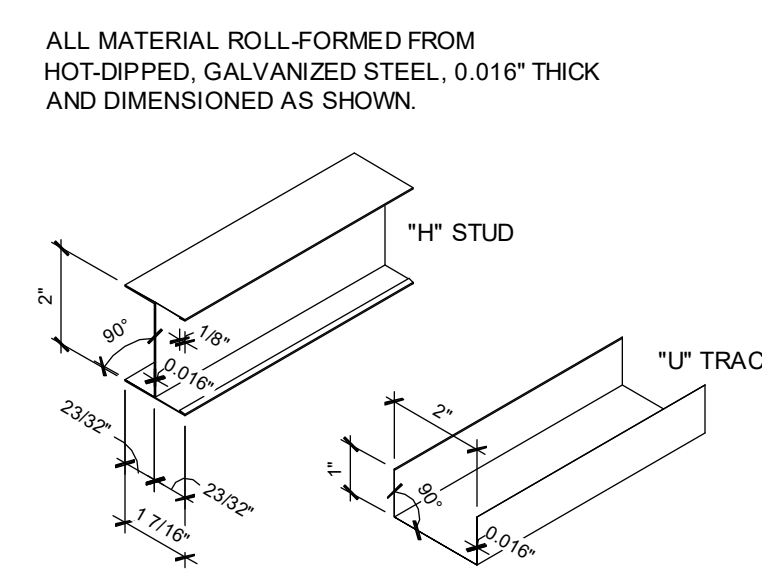
- CERTIFIED MANUFACTURER:** Georgia-Pacific Gypsum, LLC  
**CERTIFIED PRODUCT:** Gypsum Shaftliner
- Gypsum Board:** Metal covered using 6-in. (152 mm) wide 1/2-in. (12.7 mm) DensArmor Plus Fireguard C Interior Panels or 1/2-in. (12.7 mm) ToughRock Fireguard C gypsum board.
- Steel Studs:** 1" shaped Studs, 1-1/2-in. (38.1 mm) wide x 2-in. (50.8 mm) deep, roll-formed from minimum 0.018-in. thick galvanized steel. Cut to length 1/2-in. less than the openings height and spaced a maximum of 24-in. (610 mm) o.c.

Date Issued: June 5, 2019 Page 1 of 1 Project No. WHI-495-0743

15 TYPICAL OVERHANG ELEVATED ROOF  
SCALE: 1/2" = 1'-0"

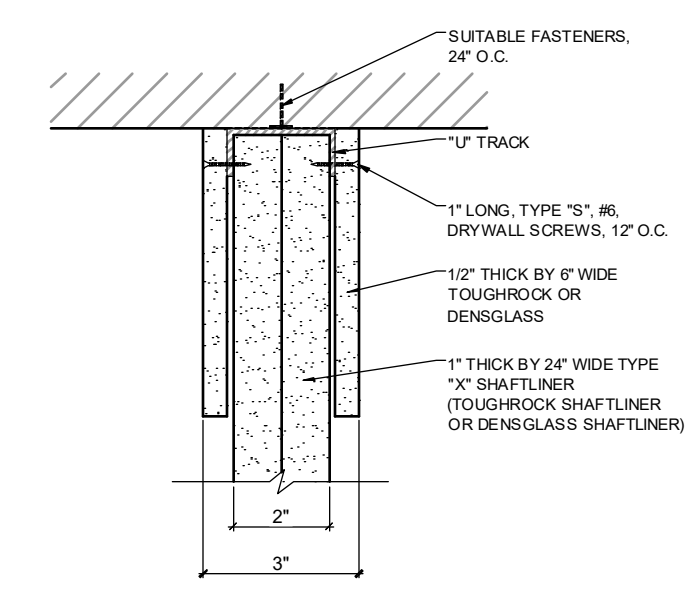
WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 18 OF 40

FIGURE #1  
"H" STUD AND "U" TRACK



WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 21 OF 40

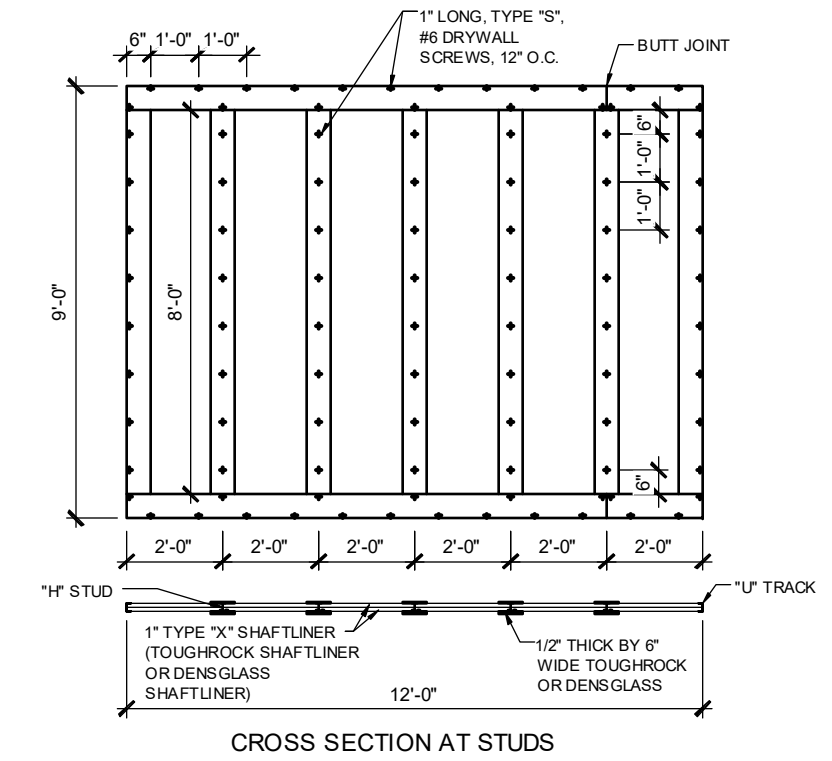
FIGURE #4  
TOP OR BOTTOM DETAIL BETWEEN STUDS OR END DETAIL



15 WHI-495-0743  
SCALES VARY.

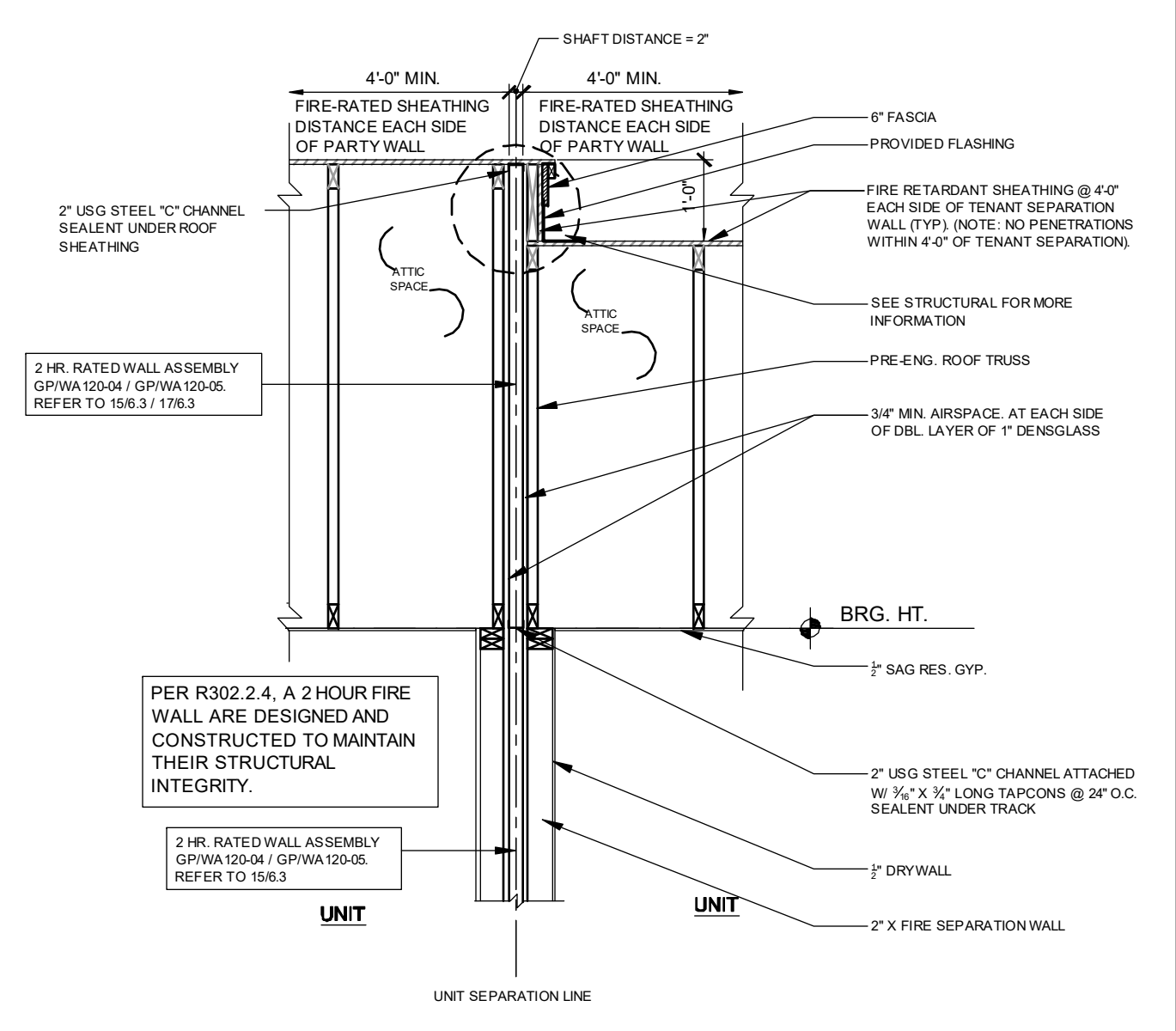
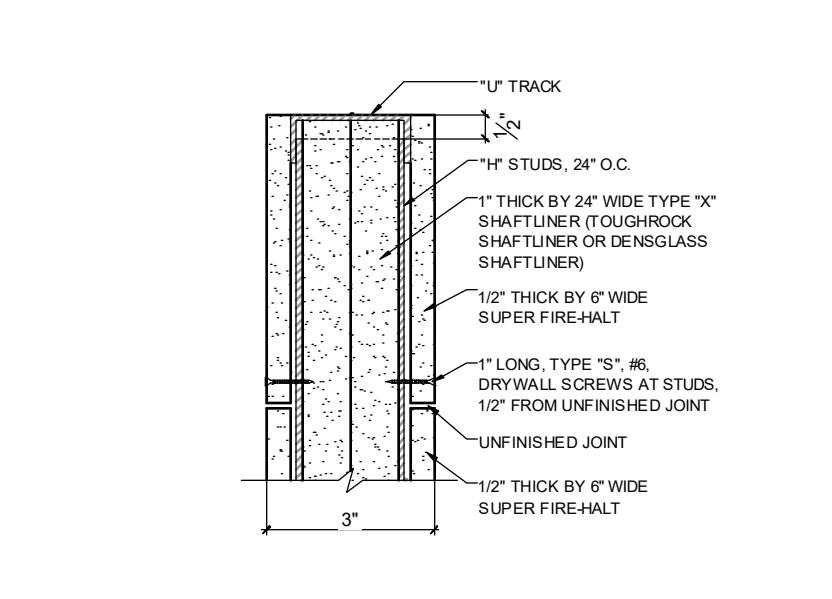
WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 19 OF 40

FIGURE #2  
ELEVATION - SCREW LOCATIONS



WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 22 OF 40

FIGURE #5  
TOP OR BOTTOM DETAIL AT STUDS



16 TYPICAL OVERHANG ELEVATED ROOF  
SCALE: 1/2" = 1'-0"

Two layers 1" (25.4 mm) ToughRock Shaftliner or DensArmor Plus Shaftliner inserted in H-Studs 24" (610 mm) o.c. Min. 3/16" (1.9 mm) air space on both sides must be maintained between liner panels and adjacent framing. Sound Tested with 2' x 4' stud wall with 1/2" (12.7 mm) ToughRock Fireguard C gypsum wallboard or DensArmor Plus Fireguard C panels each side of assembly and 3-1/2" (89 mm) fiberglass insulation in stud space both sides. Breakaway clip ratings and height of wall differ between UL Design U8373 and WHI GP/WA 120-04. Please consult each Listing for specific information.

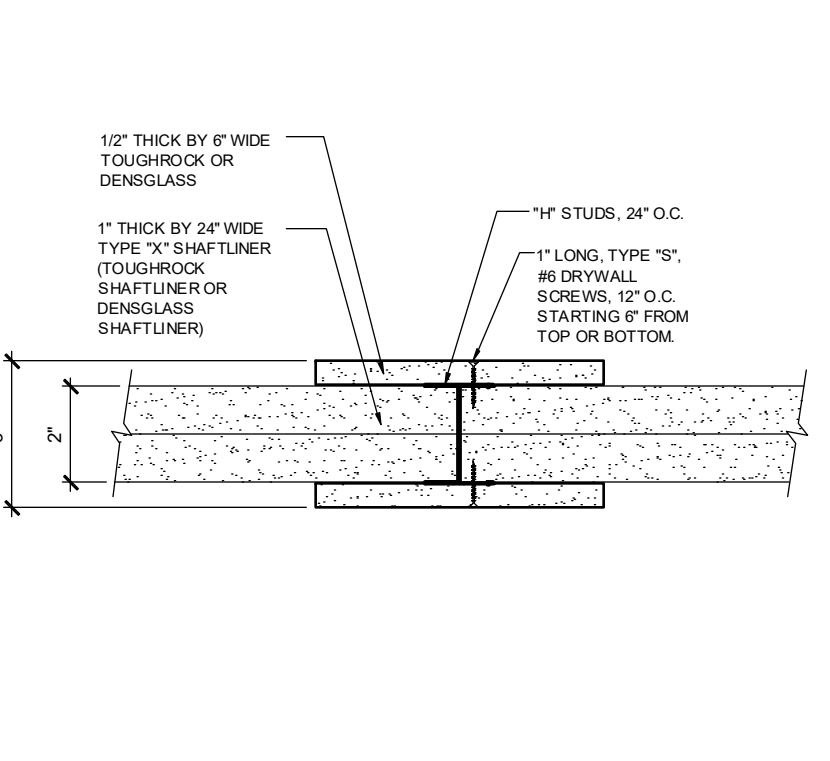
**Approved for Assembly:**  
DensArmor Plus Shaftliner Panel  
ToughRock Shaftliner  
DensArmor Plus Fireguard C  
ToughRock Fireguard C

**Hourly Rating: 2-hour**  
**ETC Rating: 40-60 ETC**  
**Fire Test Reference: UL 1875, UL 1013, WHI GP/WA 120-04, UL 1013, UL 1013**  
**UL 1013**  
**Sound Test Reference: RAL TL10-291**

17 GP/WA 120-04  
SCALES VARY.

WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 20 OF 40

FIGURE #3  
CROSS SECTION DETAIL AT STUD



WARNOCK HERSEY INTERNATIONAL INC. WHI-495-0743/0744 PAGE 21 OF 40

FIGURE #4  
TOP OR BOTTOM DETAIL BETWEEN STUDS OR END DETAIL



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Fax: (407) 480-2333

**FDS**  
INTERNATIONAL ASSOCIATION OF FIRE DETECTOR SUPPLIERS  
288 Southhall Lane, Suite 200, Millbrook, FL 32151  
www.fds.com  
Tel: (407) 480-2333  
Fax: (407) 480-2333

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

Title: **2-STORY FIRE SEPERATION**

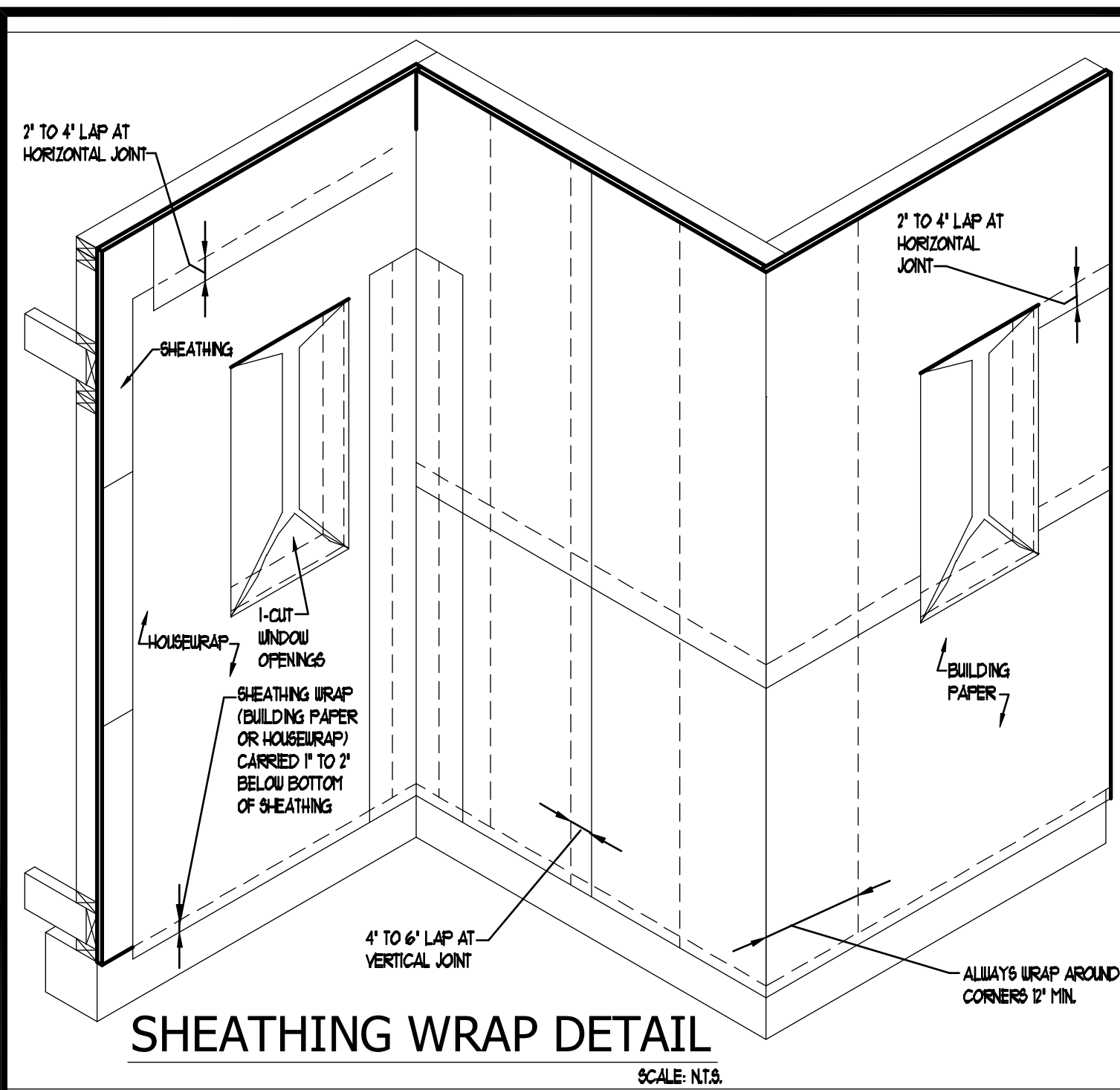
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**6.3**

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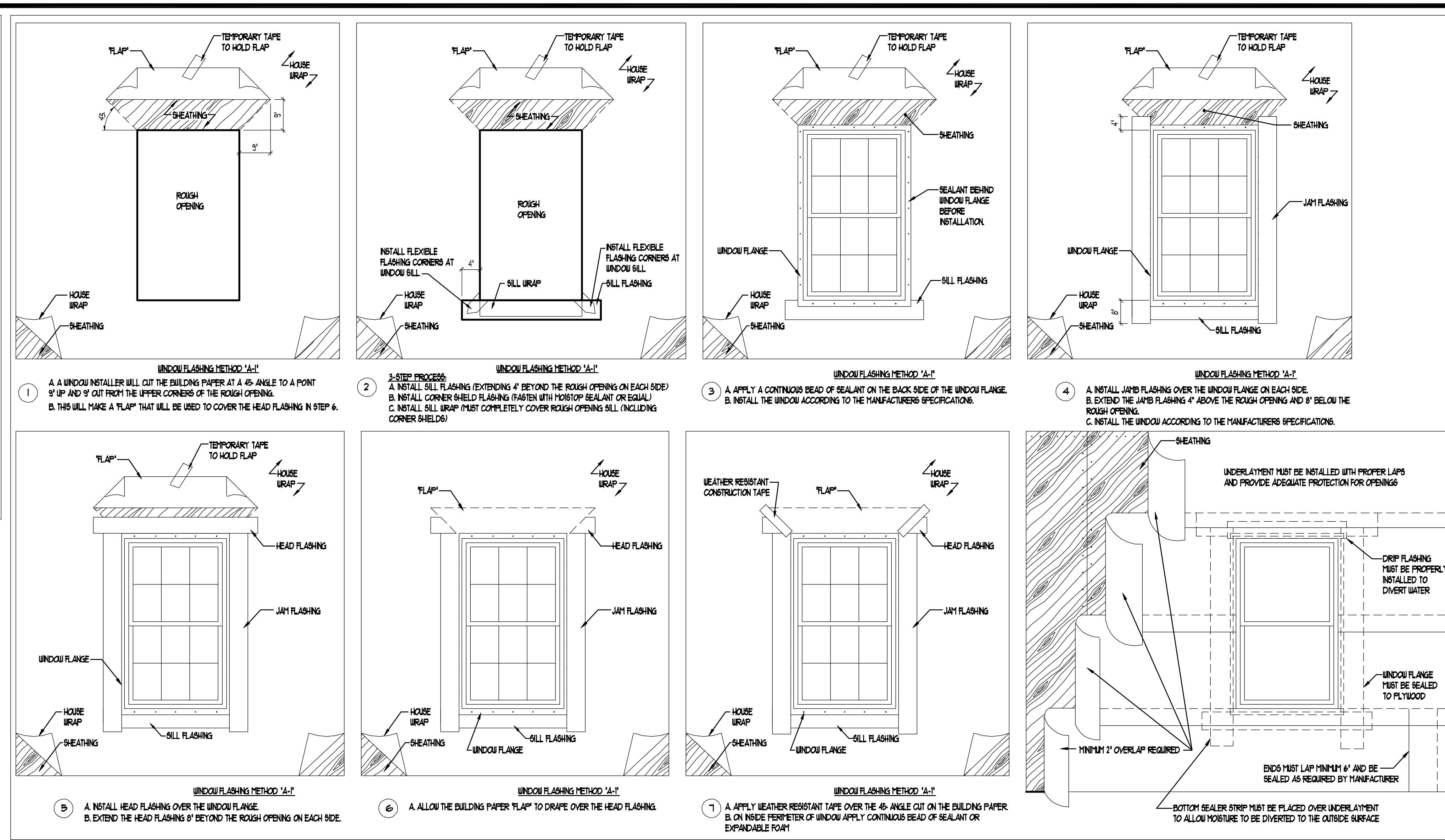
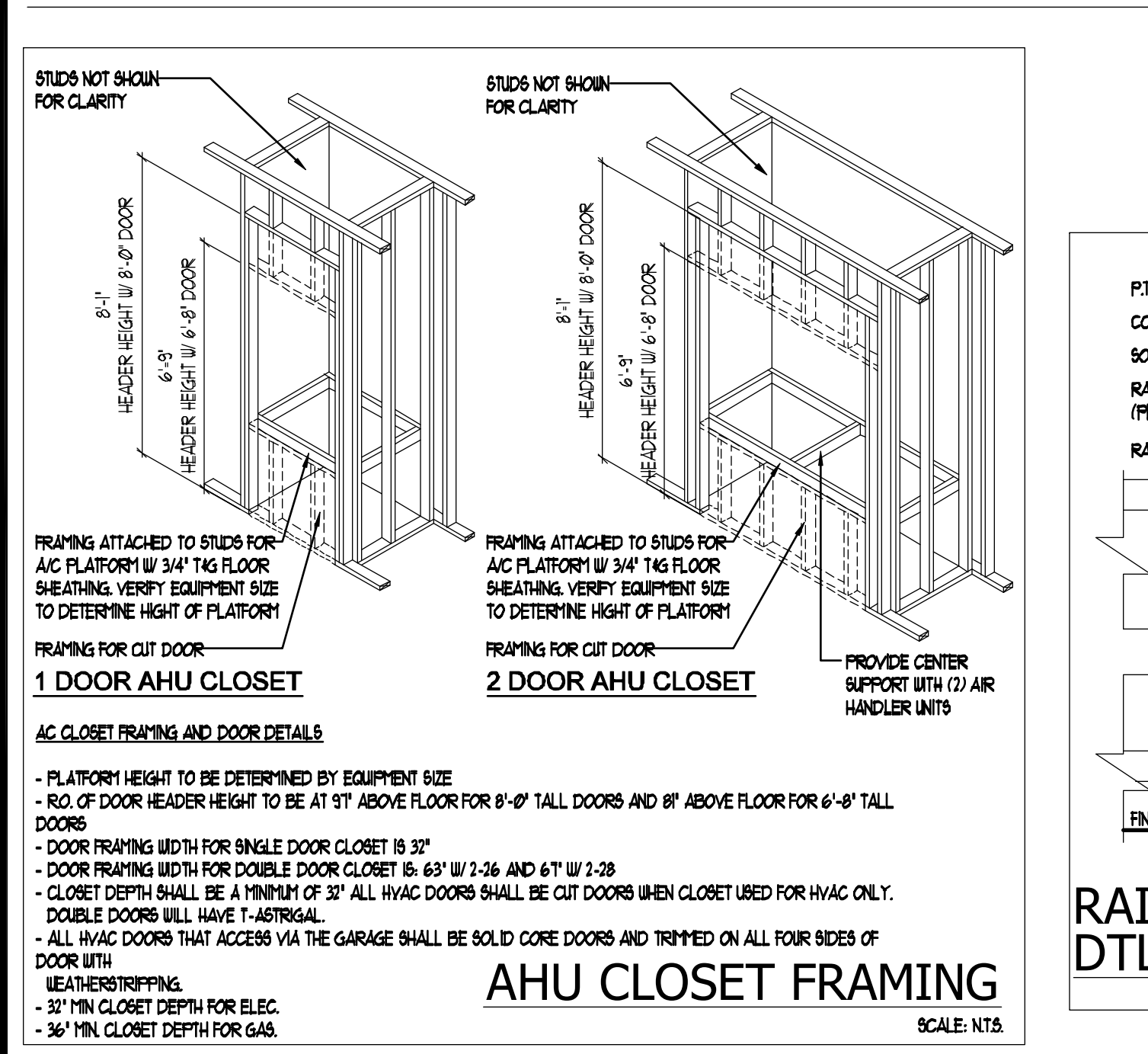




INTERIOR DOOR ROUGH OPENING SIZING CHART

DOOR TYPE	DOOR CALL SIZE ON FRONT	ROUGH OPENING WIDTH DETERMINED BY	ROUGH OPENING HEIGHT DETERMINED BY	6'-8" DOOR RO. HEIGHT	8'-0" DOOR RO. HEIGHT
SINGLE DOOR	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 2 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"
DOUBLE BI-PASS	WIDTH x 6-8 OR WIDTH x 8-0	WIDTH EQUALS THE CALL SIZE WIDTH	ADDING 3 INCHES TO THE HEIGHT OF THE CALL SIZE	89"	99"
DOUBLE BALL CATCH	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 2 1/2 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"
DOUBLE WITH T-ASTRAGAL	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 3 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"

INTERIOR DOOR ROUGH-OPENING SIZING CHART



WINDOW FLASHING AND WRAP DETAILS



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**CONSTRUCTION DETAILS**  
09-23-22

**Keessee Associates**  
ARCHITECTURE | DESIGN | PLANNING  
258 Southwall Lane, Suite 200, Melbourne, FL 32951  
(407) 840-7333

---

**FDS**  
FLORIDA DESIGN SOLUTIONS  
258 Southwall Lane, Suite 200, Melbourne, FL 32951  
CARLA A. BROWN, PE, FL #18128  
SCOTT LEWONSKI, PE, FL #9790  
DATE: 11/11/2022  
BY: [Signature]

---

**PARK SQUARE**  
5 - UNITS  
83' RL (Rear Load) TOWNS

---

title:  
**FLASHING DTLs**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

**DT1**

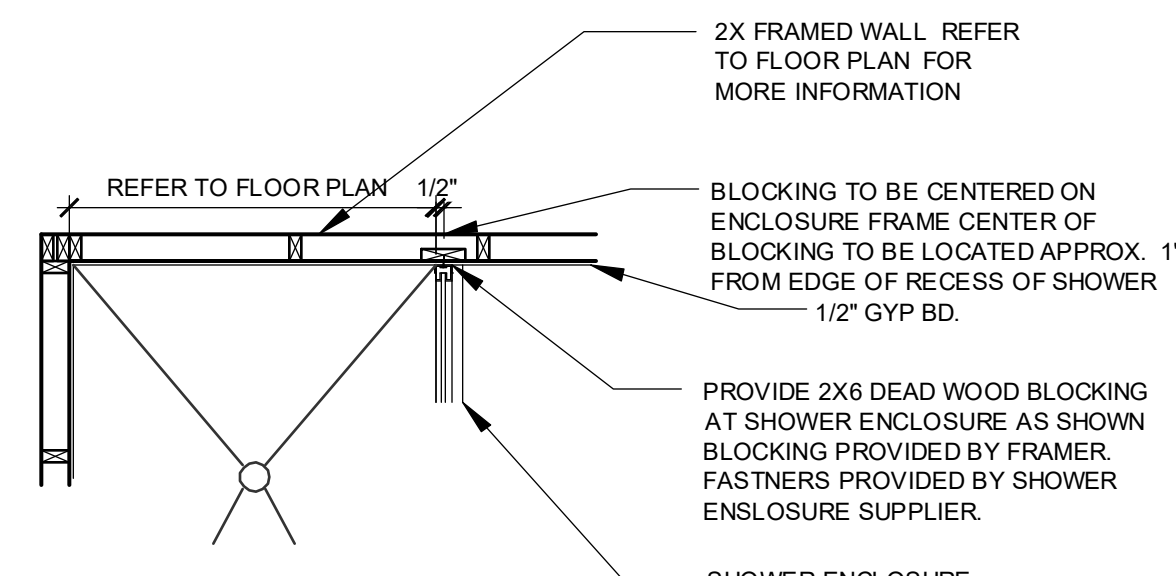
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2X FRAMED WALL REFER TO FLOOR PLAN FOR MORE INFORMATION

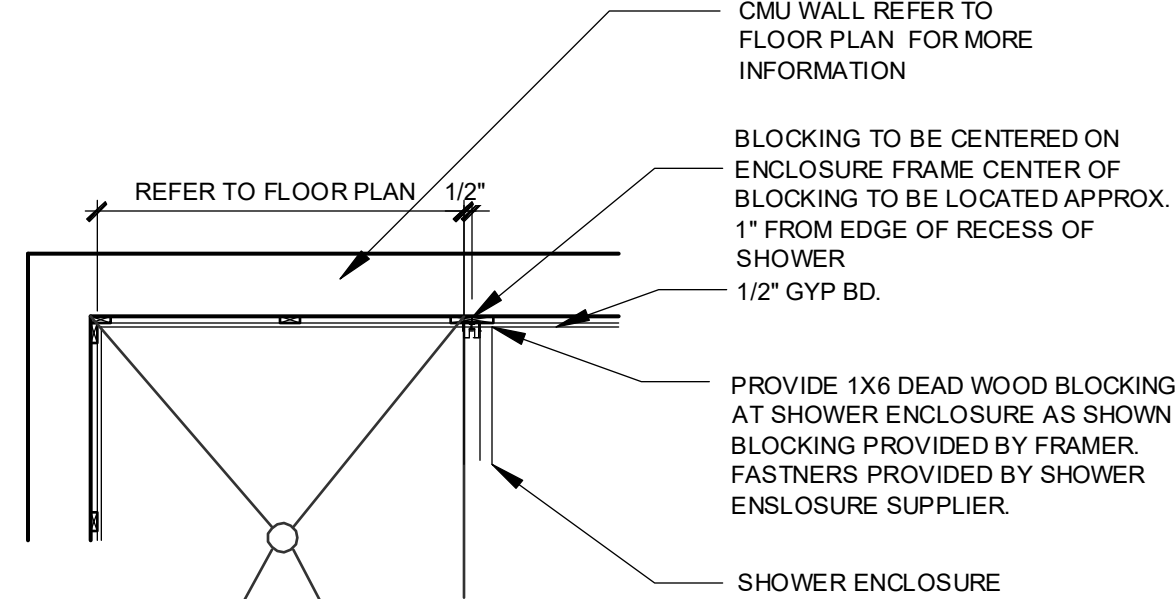
REFER TO FLOOR PLAN 1/2"

BLOCKING TO BE CENTERED ON ENCLOSURE FRAME CENTER OF BLOCKING TO BE LOCATED APPROX. 1" FROM EDGE OF RECESS OF SHOWER 1/2" GYP BD.

PROVIDE 2X6 DEAD WOOD BLOCKING AT SHOWER ENCLOSURE AS SHOWN BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCLOSURE SUPPLIER.

SHOWER ENCLOSURE

### SHOWER ENCLOSURE AT FRAME WALL



CMU WALL REFER TO FLOOR PLAN FOR MORE INFORMATION

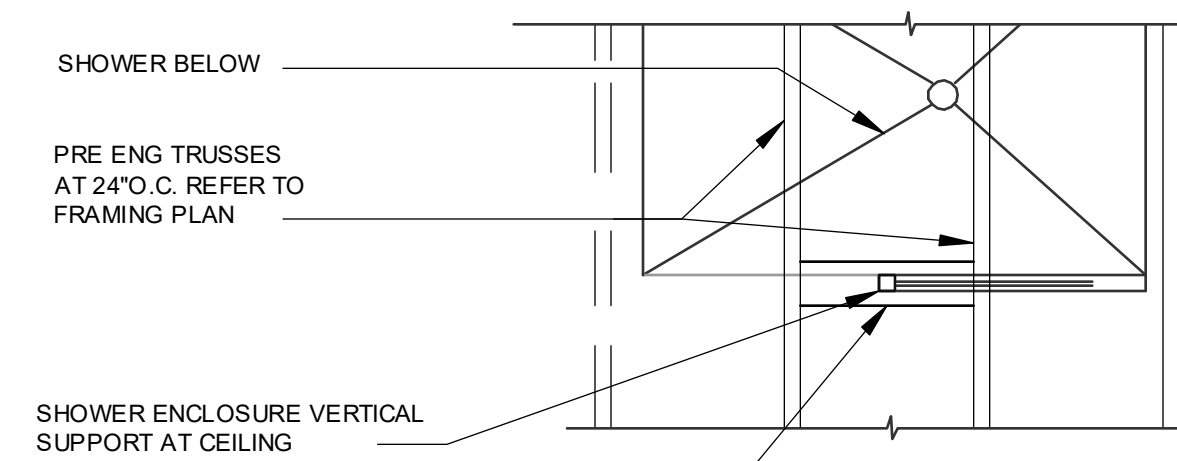
REFER TO FLOOR PLAN 1/2"

BLOCKING TO BE CENTERED ON ENCLOSURE FRAME CENTER OF BLOCKING TO BE LOCATED APPROX. 1" FROM EDGE OF RECESS OF SHOWER 1/2" GYP BD.

PROVIDE 1X6 DEAD WOOD BLOCKING AT SHOWER ENCLOSURE AS SHOWN BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCLOSURE SUPPLIER.

SHOWER ENCLOSURE

### SHOWER ENCLOSURE AT CMU WALL



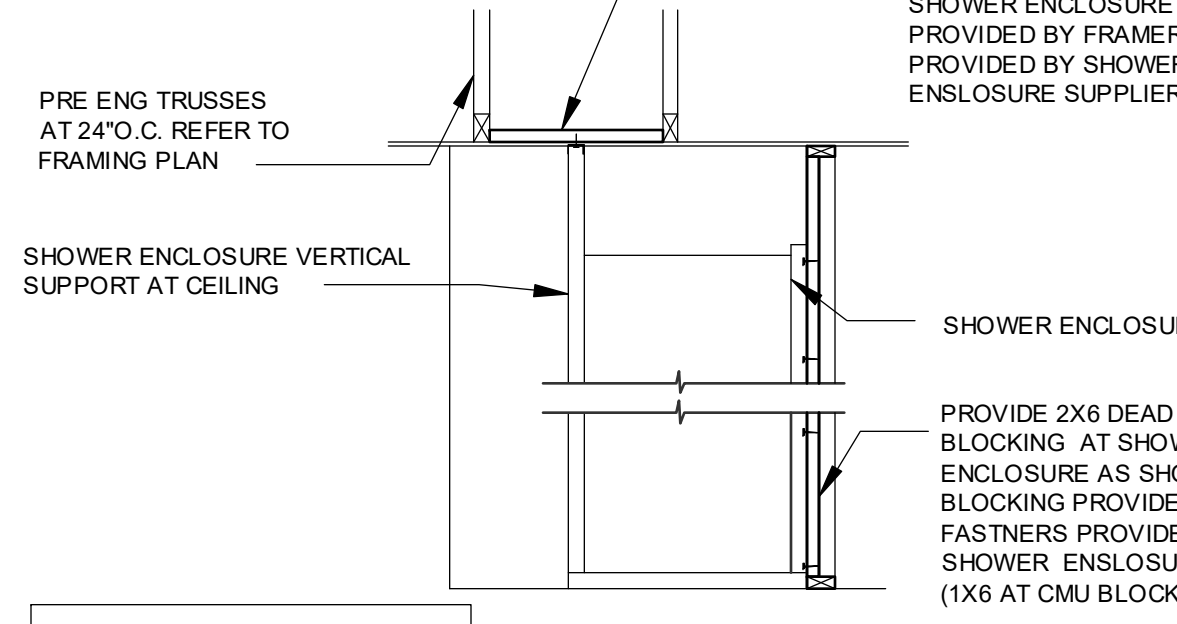
SHOWER BELOW

PRE ENG TRUSSES AT 24" O.C. REFER TO FRAMING PLAN

SHOWER ENCLOSURE VERTICAL SUPPORT AT CEILING

PROVIDE 2X6 DEAD WOOD BLOCKING BETWEEN TRUSSES AS SHOWN AT VERTICAL SUPPORT OF SHOWER ENCLOSURE BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCLOSURE SUPPLIER.

### PLAN VIEW



PRE ENG TRUSSES AT 24" O.C. REFER TO FRAMING PLAN

SHOWER ENCLOSURE VERTICAL SUPPORT AT CEILING

SHOWER ENCLOSURE

PROVIDE 2X6 DEAD WOOD BLOCKING BETWEEN TRUSSES AS SHOWN AT VERTICAL SUPPORT OF SHOWER ENCLOSURE BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCLOSURE SUPPLIER.

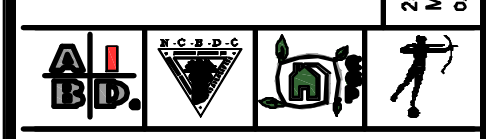
PROVIDE 2X6 DEAD WOOD BLOCKING AT SHOWER ENCLOSURE AS SHOWN BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCLOSURE SUPPLIER. (1X6 AT CMU BLOCK WALL)

### ELEVATION SHOWER ENCLOSURE AT VERTICAL SUPPORT

DO NOT FASTEN SHOWER ENCLOSURE DIRECTLY TO DRYWALL WITHOUT DEADWOOD BLOCKING

DO NOT FASTEN SHOWER ENCLOSURE DIRECTLY TO DRYWALL WITHOUT DEADWOOD BLOCKING

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CARL S. BROWN, P.E., P.F. #18750  
THIENBAO DUONG, P.E., P.F. #1452  
DATE: June 11, 2024  
PROPOSED FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED IN THE TITLE.

**PARK SQUARE**  
5 - UNITS  
83' RL (Rear Load) TOWNS

title:  
**TUB ENCLOSURE DTLS**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

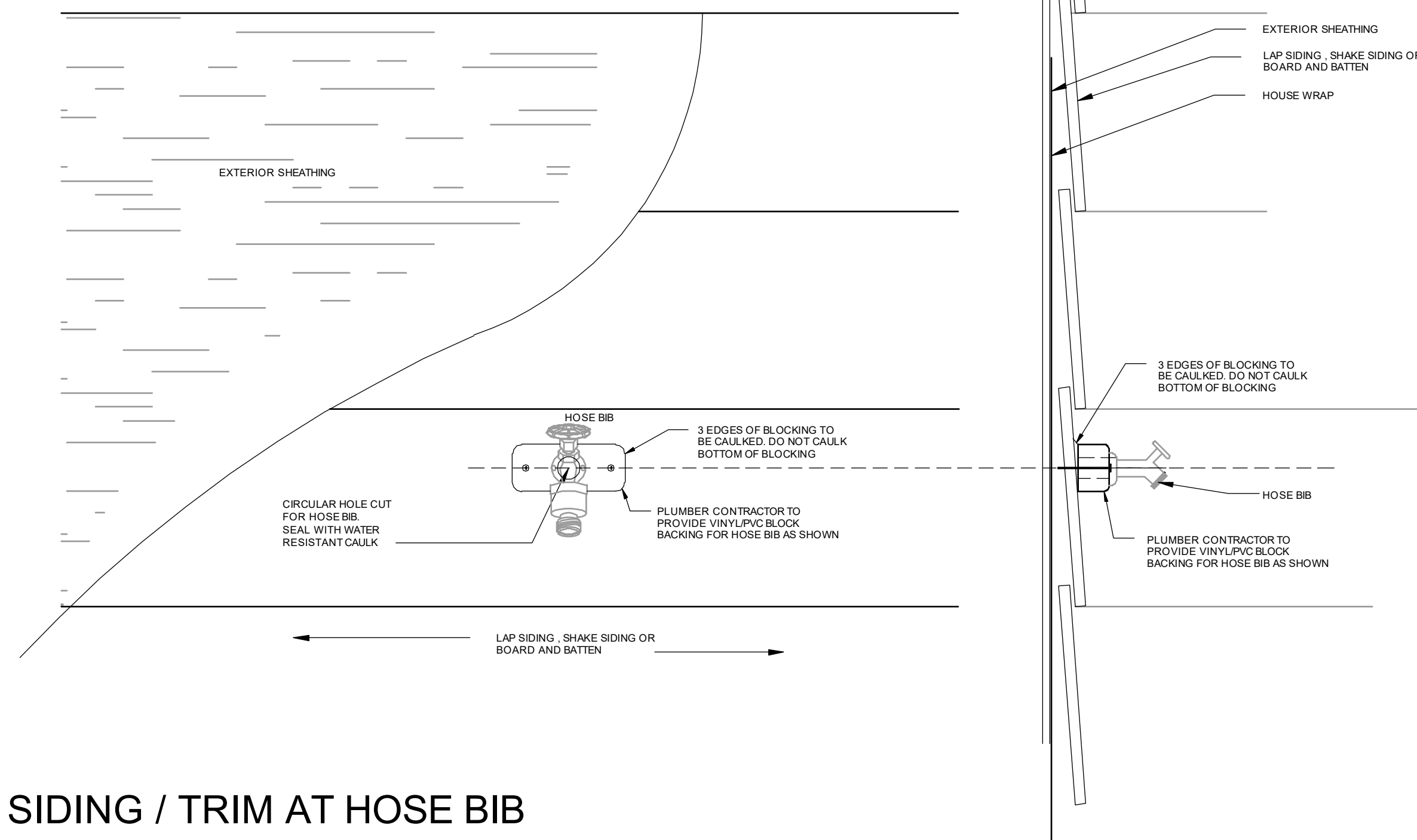
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**DISCLAIMER**

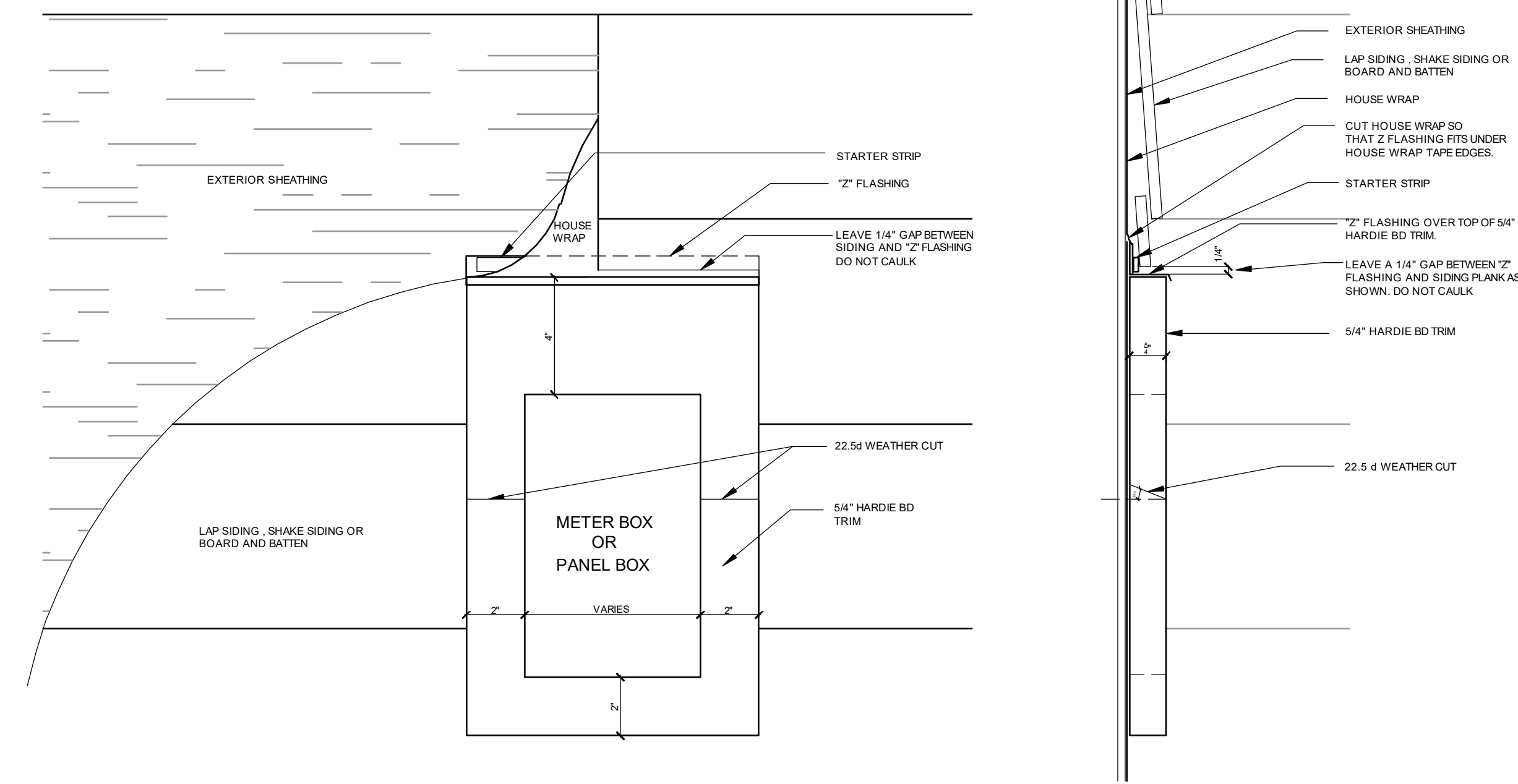
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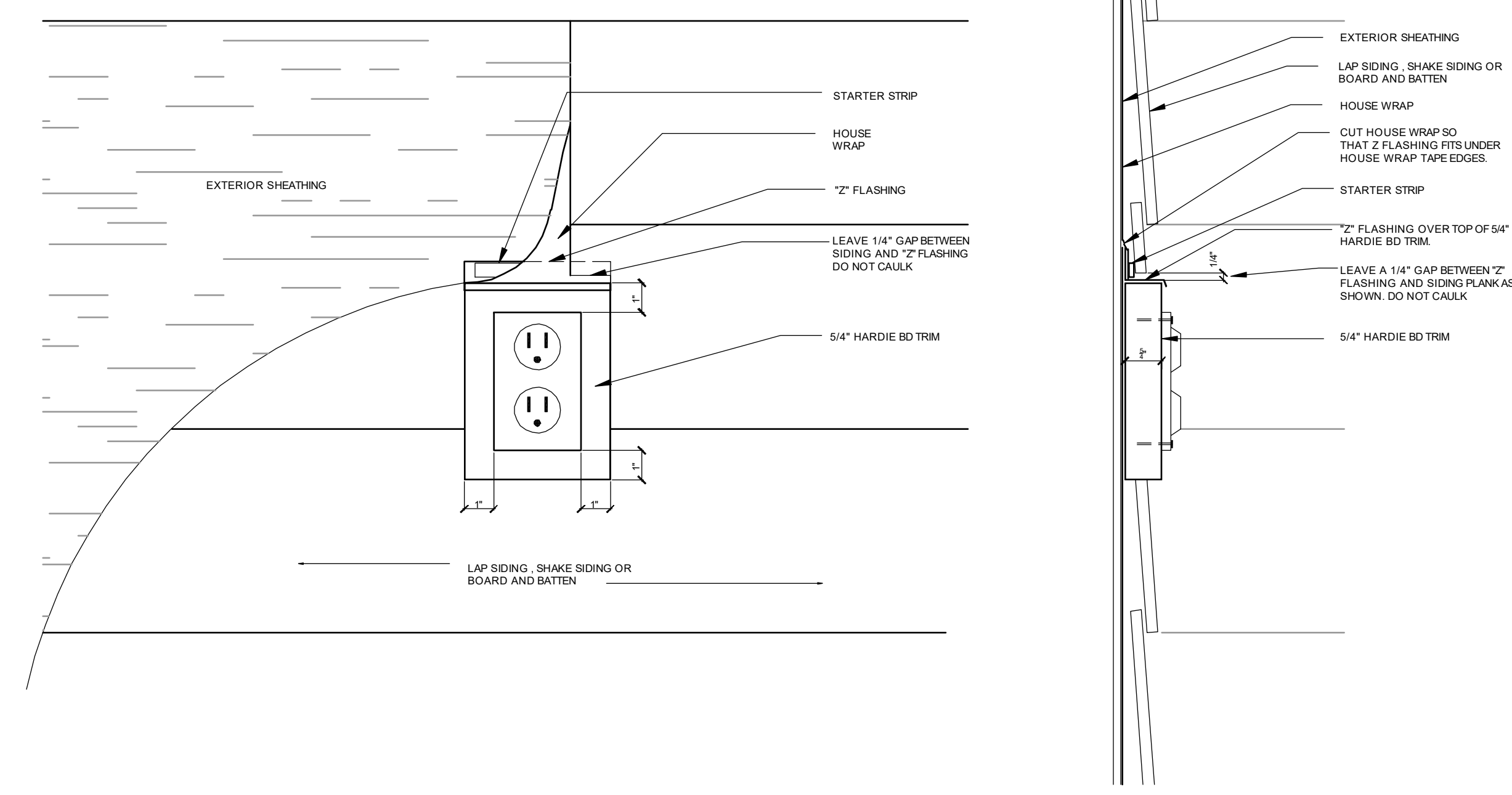
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SIDING / TRIM AT HOSE BIB



SIDING / TRIM AT ELECTRIC METER BOX



SIDING / TRIM AT ELECTRICAL OUTLET

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ENGINEERING ASSOCIATES  
258 South Hill Street, Suite 200  
Melbourne, FL 32751  
Certificate of Authorization No. 0161  
□ CARLA A. BROWN, PE - FL # 18198  
□ TRINA M. DUNN, PE - FL # 46482  
DATE: JULY 11, 2024  
FOR THE BEST OF THE QUALITY OF THE WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE ORIGINAL DOCUMENTS.

**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

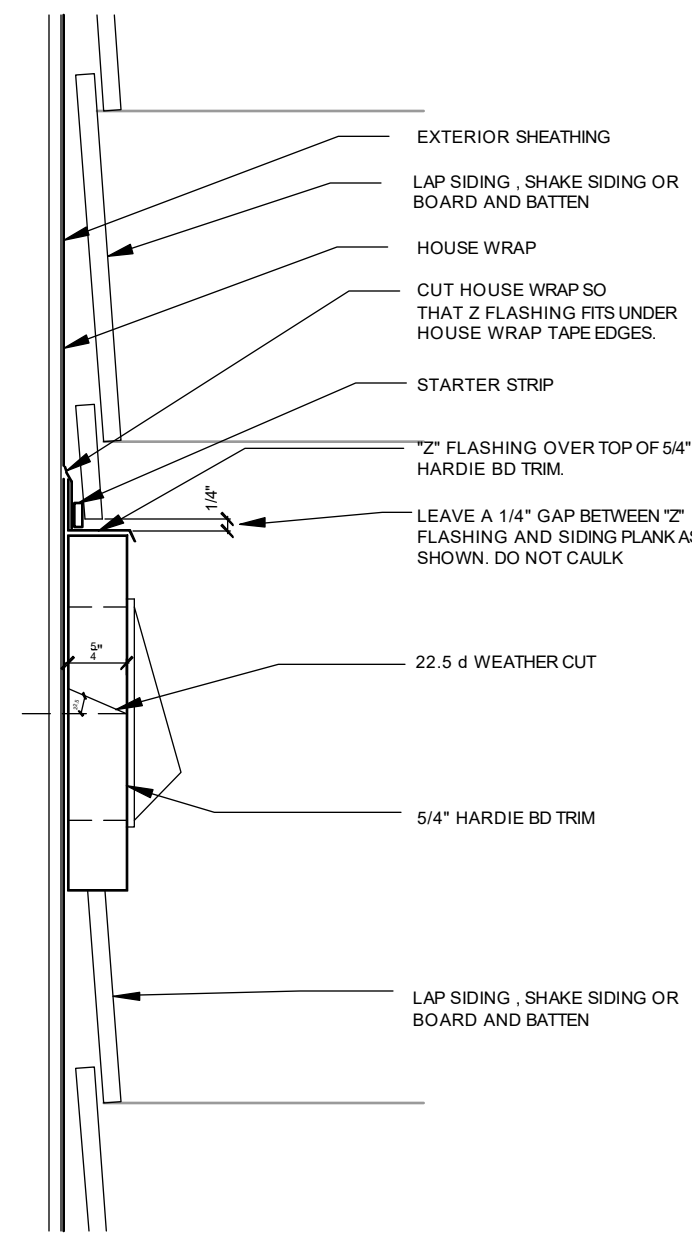
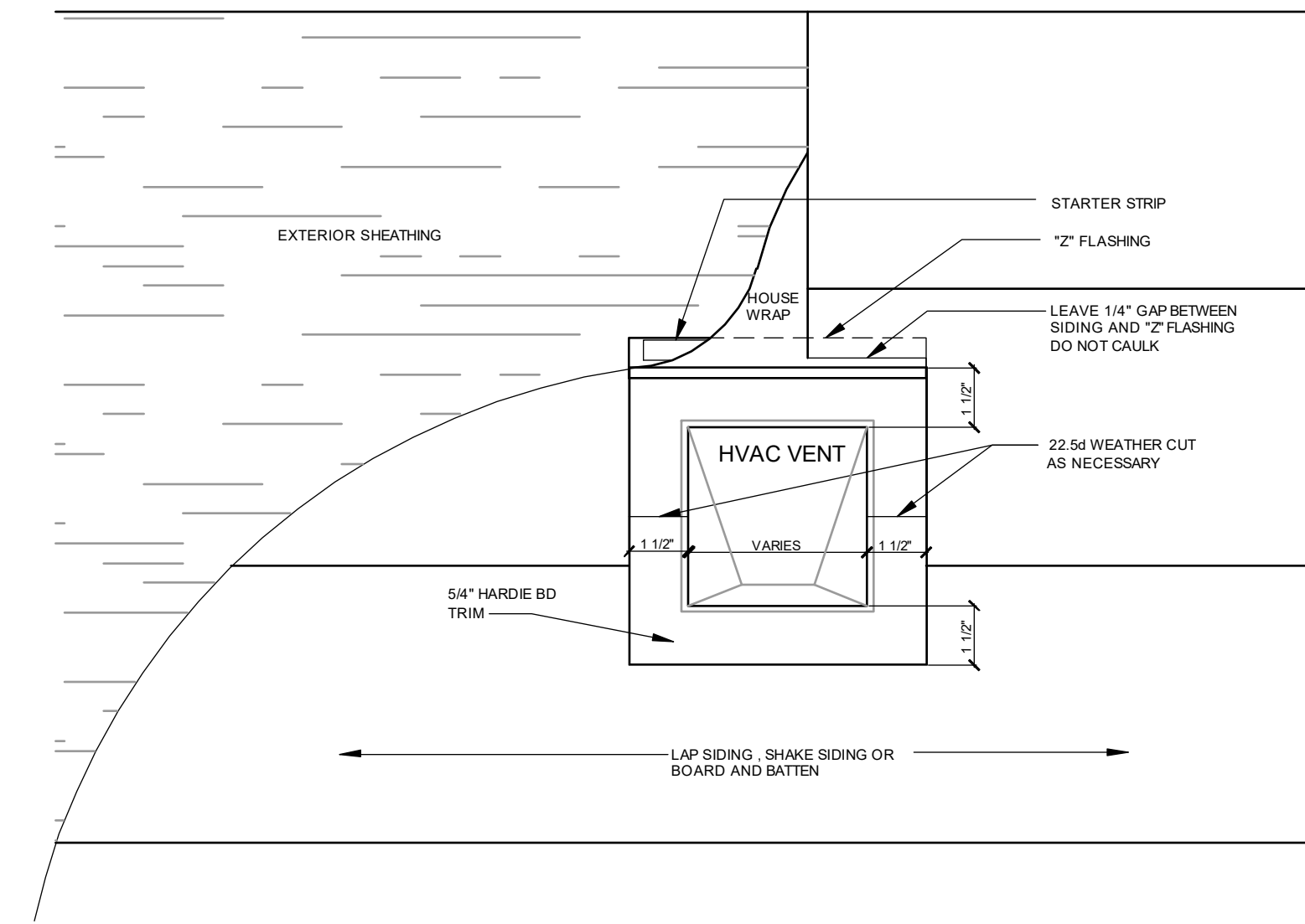
title:  
**TRIM DETAILS, HB  
METER, HVAC, ELEC**

project no. 2022143  
checked: AB  
drawn:  
date: 05-18-22  
scale: AS SHOWN

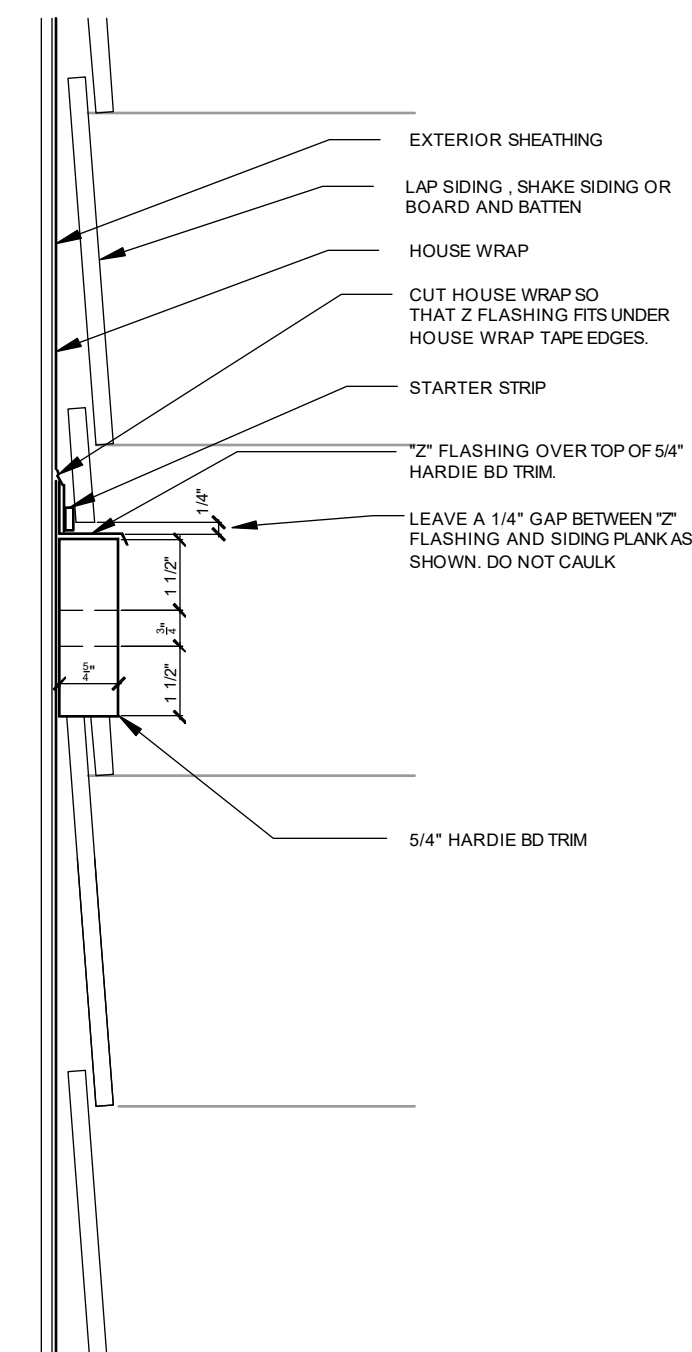
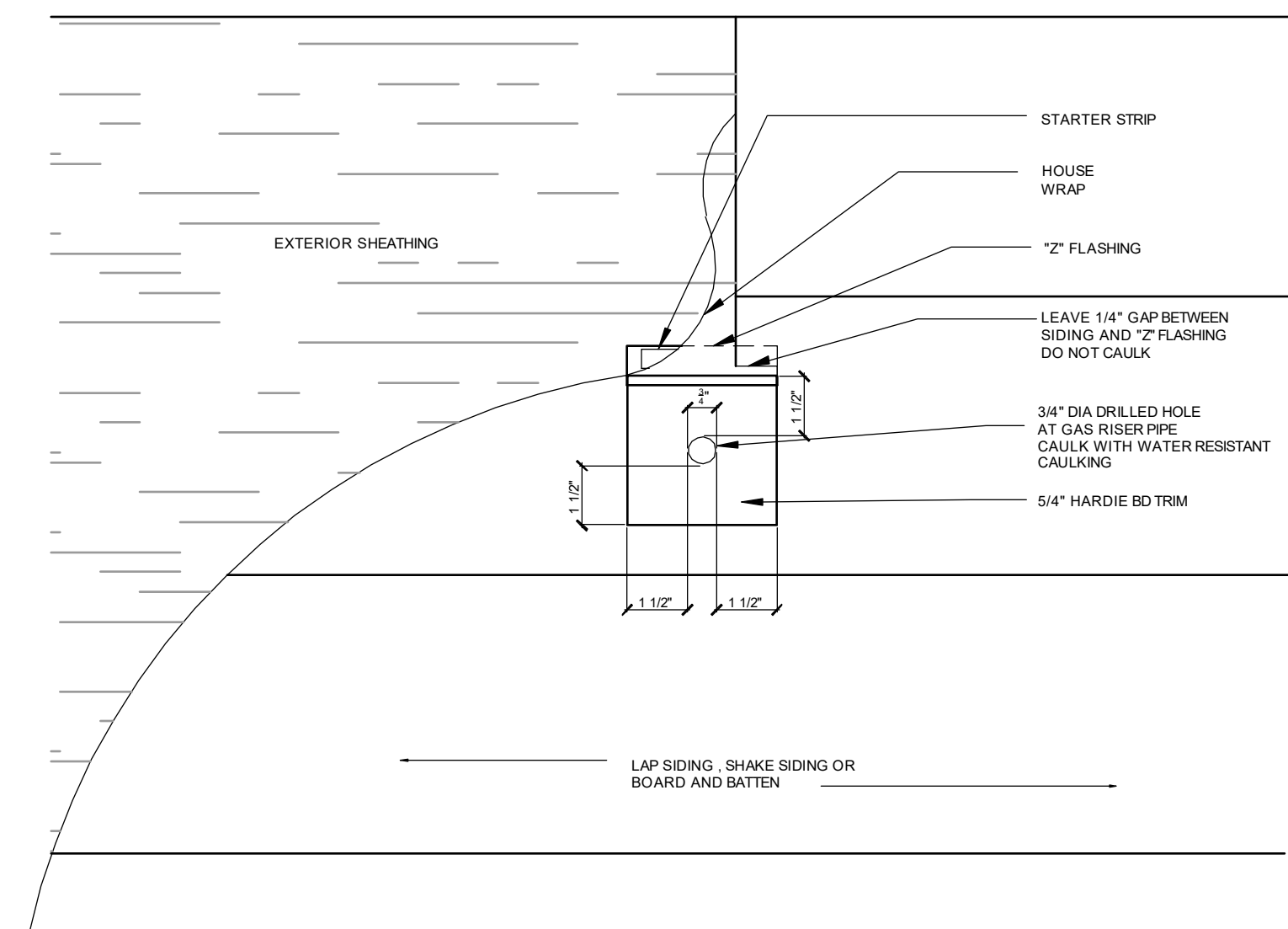
**DT4**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED





SIDING / TRIM AT HVAC OPENINGS

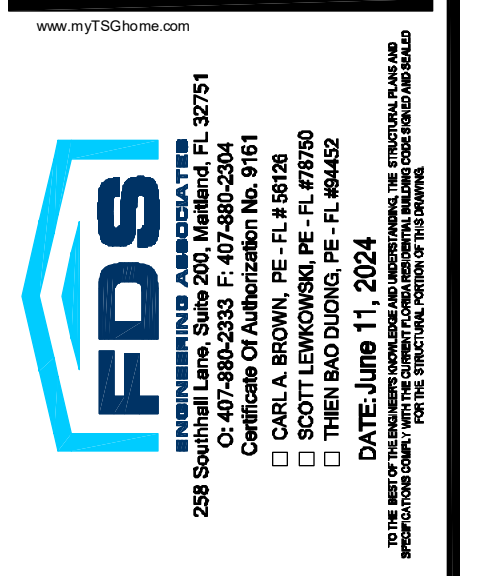


SIDING / TRIM AT GAS RISER

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**PARK SQUARE**  
**5 - UNITS**  
**83' RL (Rear Load) TOWNS**

title:  
**TRIM DETAILS, HB**  
**METER, HVAC, ELEC**

project no. 2022143  
 checked: AB  
 drawn:  
 date: 05-18-22  
 scale: AS SHOWN

**DT5**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED