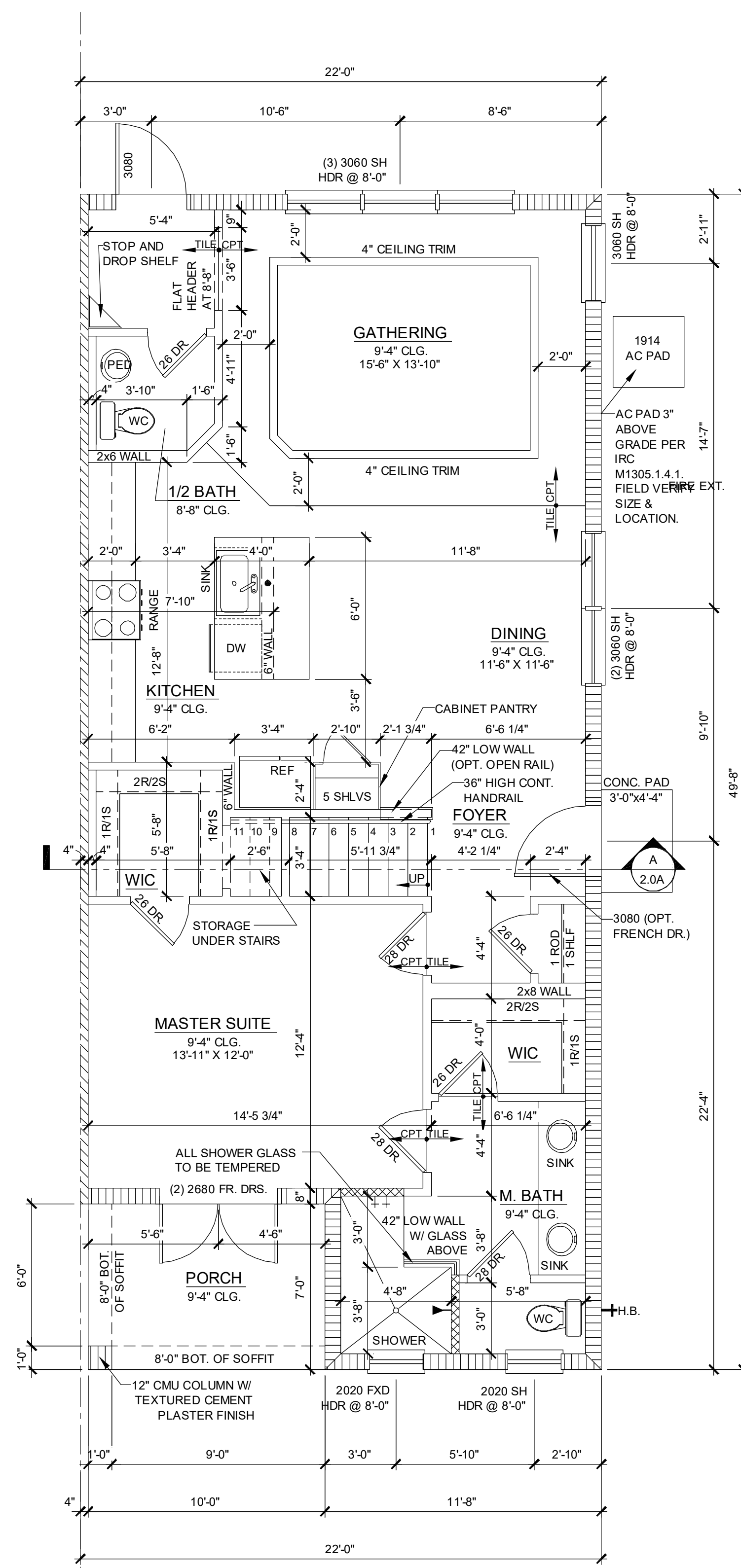


**1914 - ADAMS REVERSED
1ST FLOOR PLAN ELEVATION "A"**

1/4" = 1'-0"

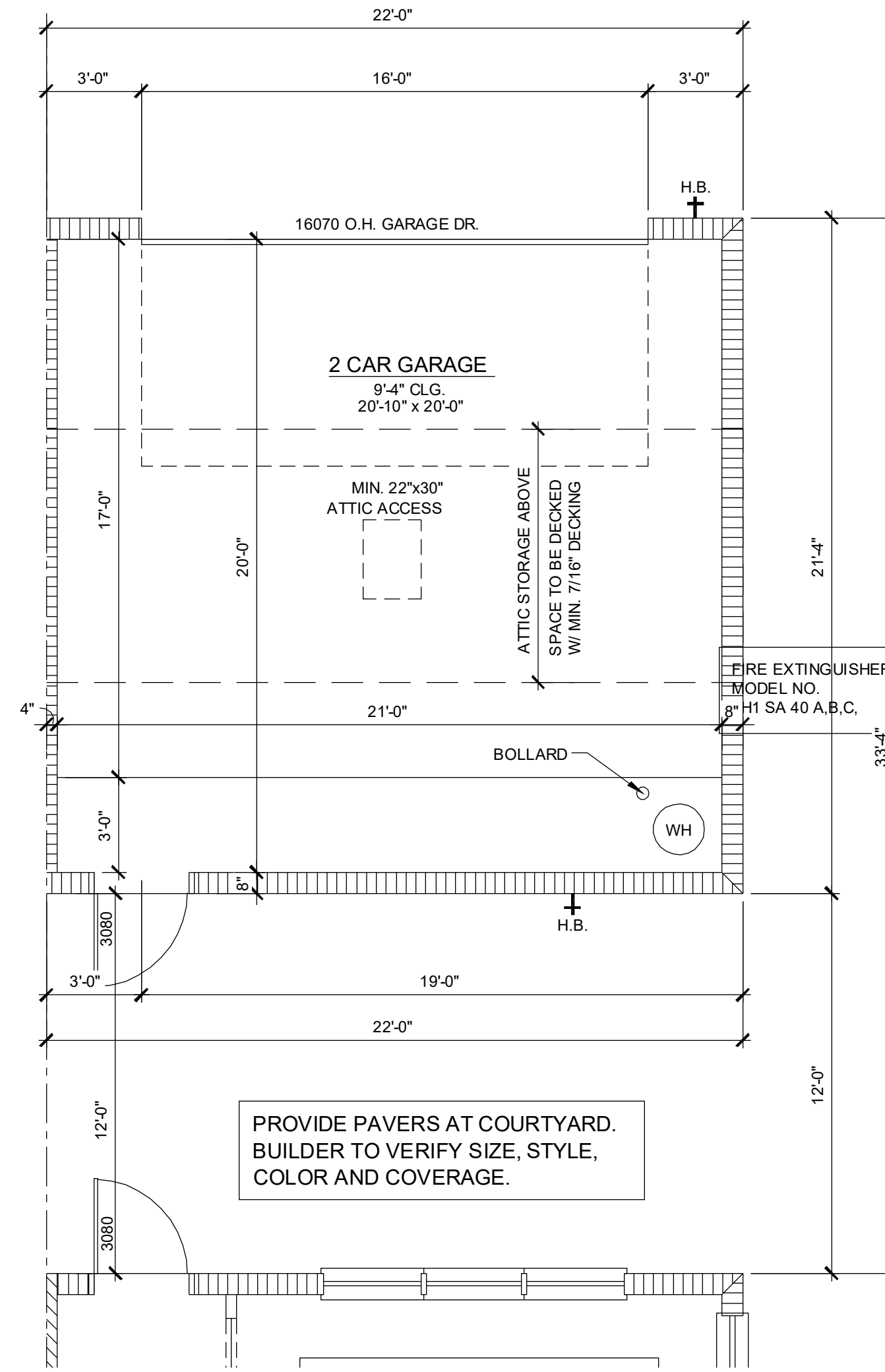
LEFT END UNIT



**1914 - ADAMS
1ST FLOOR PLAN ELEVATION "A"**

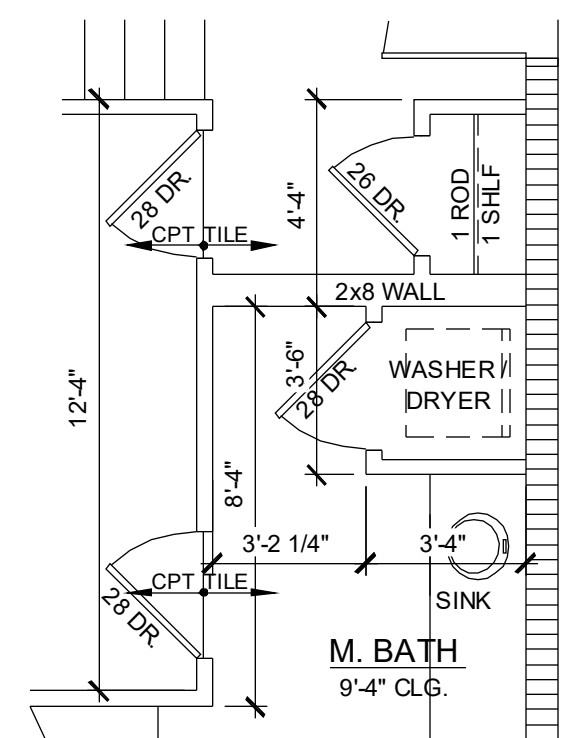
1/4" = 1'-0"

RIGHT END UNIT



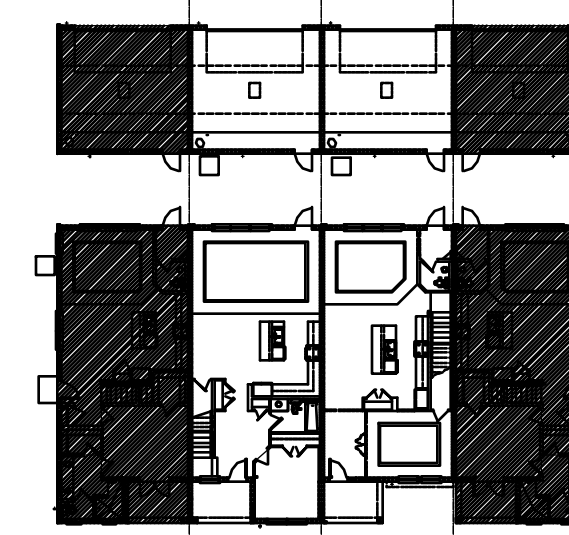
**1914 - ADAMS
1ST FLOOR PLAN - GARAGE**

1/4" = 1'-0"



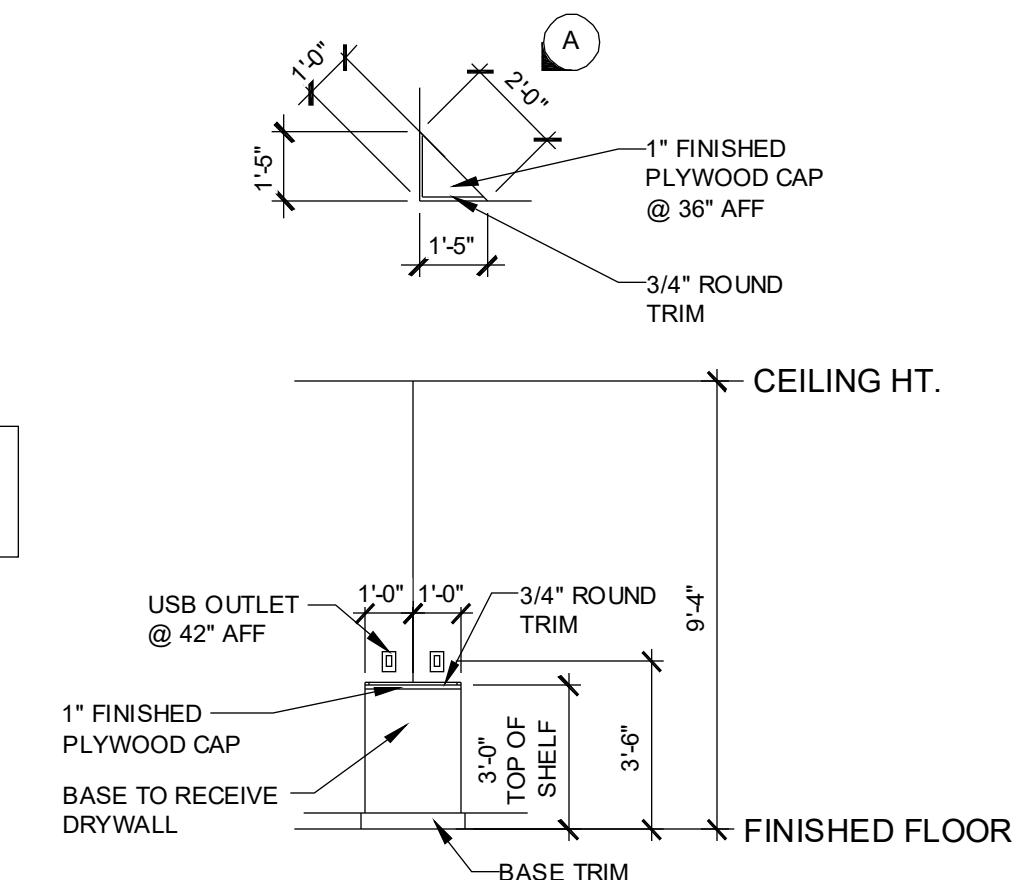
OPT WASHER/DRYER

1/4" = 1'-0"



1ST FLOOR - KEY PLAN

1/32" = 1'-0"



STOP AND DROP SHELF

1/4" = 1'-0"

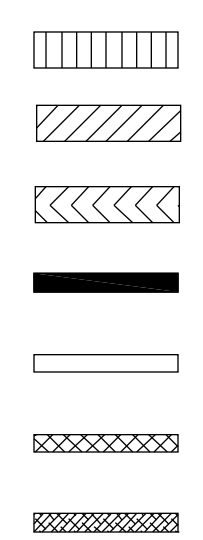
**NOTE: SEE COLOR SHEET
FOR INTERIOR DOOR
HEIGHT REQUIREMENTS.**

**1914 - ADAMS
AREA CALCULATIONS**

1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
TOTAL LIVING	1,914 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,454 SQ. FT.

WALL LEGEND

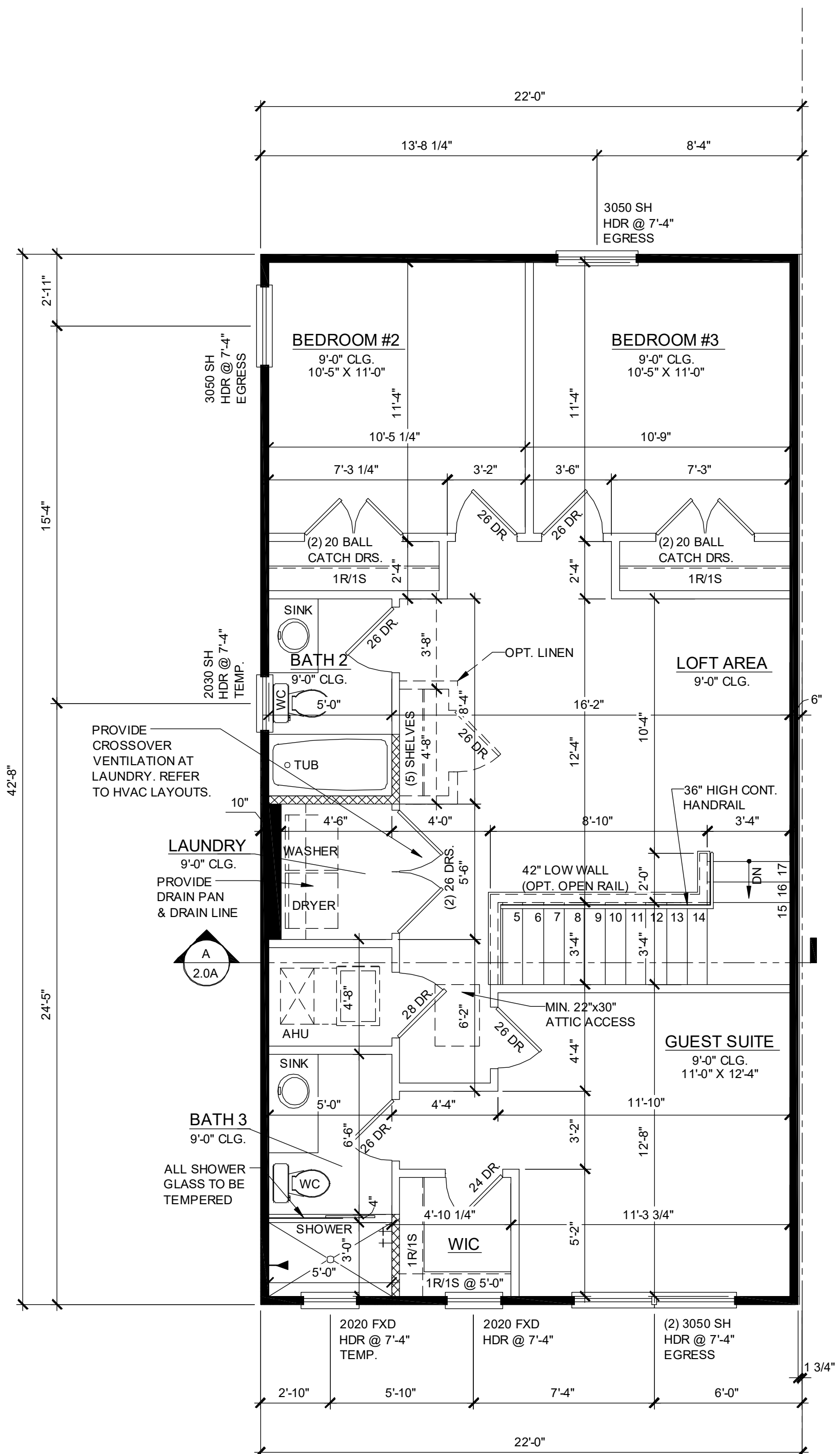
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.
- INDICATES 2X WOOD PARTITIONS, (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS



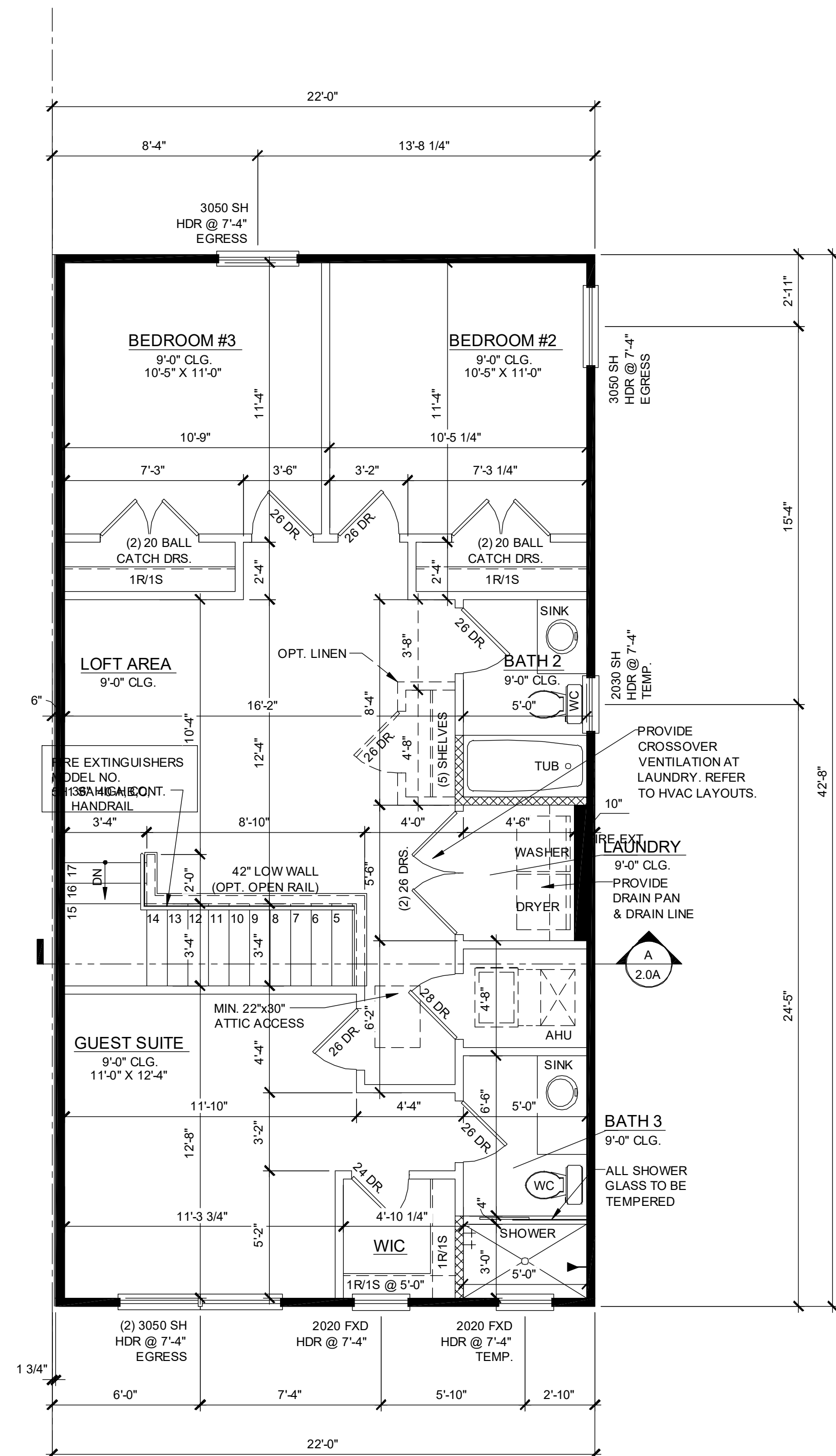
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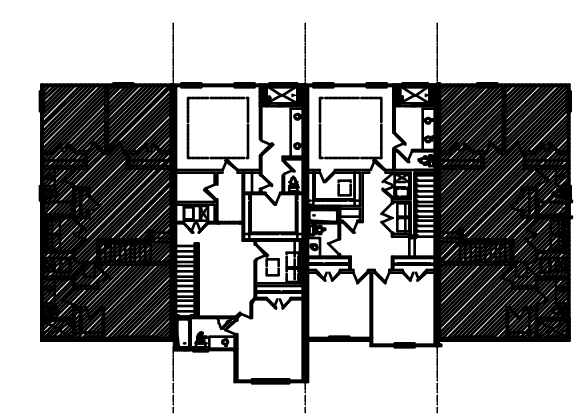
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914 - ADAMS REVERSED
2ND FLOOR PLAN ELEVATION "A"
1/4" = 1'-0"



1914 - ADAMS
2ND FLOOR PLAN ELEVATION "A"
1/4" = 1'-0"



2ND FLOOR - KEY PLAN
1/32" = 1'-0"

1914 - ADAMS AREA CALCULATIONS	
1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
TOTAL LIVING	1,914 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,454 SQ. FT.

WALL LEGEND

- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 9'-4" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU
- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.
- INDICATES 2x WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

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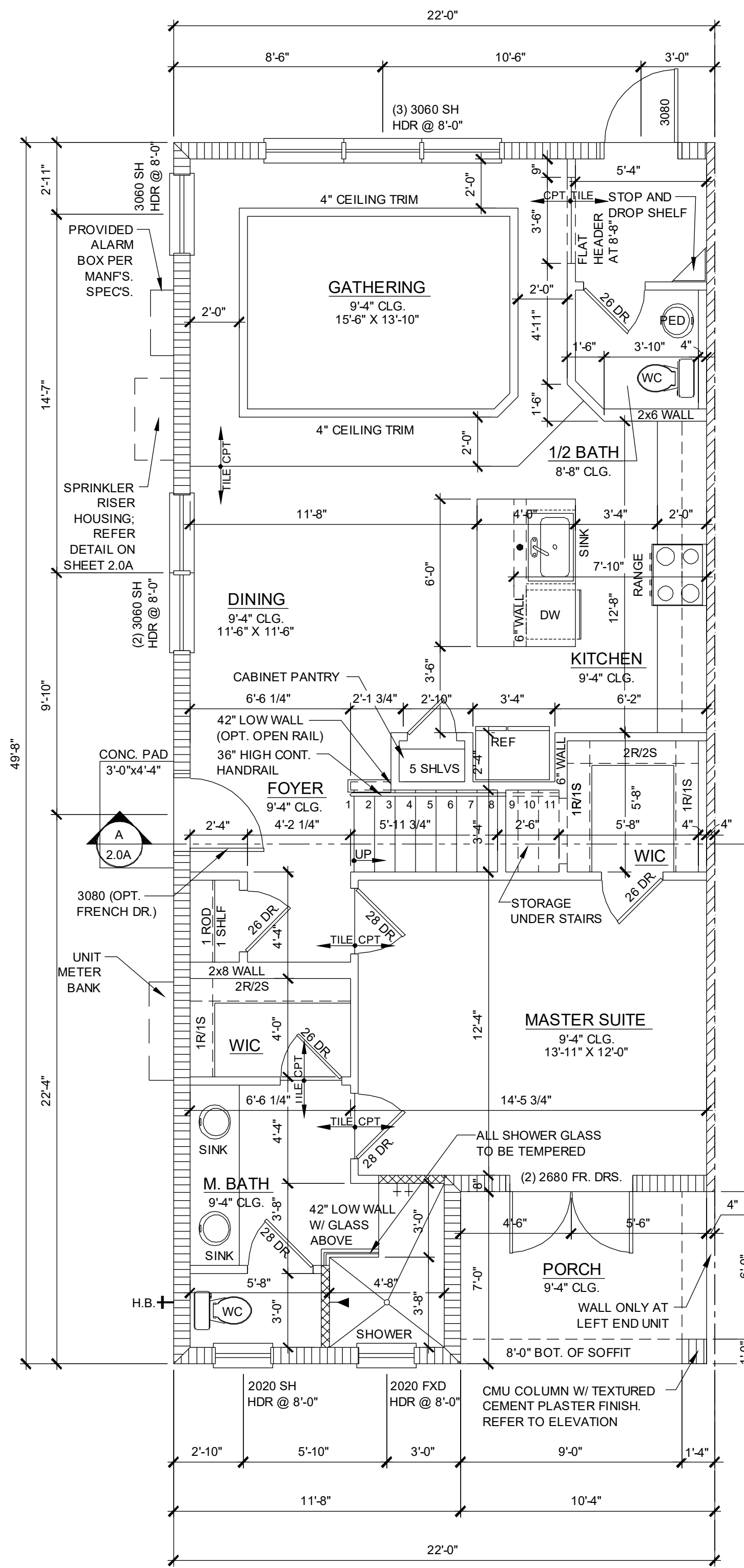
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288 Southhall Lane Suite 200
Borlase, FL 32715
352.407.2333

FDS
FLORIDA DESIGN SOLUTIONS
288 Southhall Lane, Suite 200, Maitland, FL 32751
352.407.2333
CARLA A. BROWN, P.E., F.L. # 54128
SCOTT LEWONOWSKI, P.E., F.L. # 79789
DATE: JULY 11, 2024

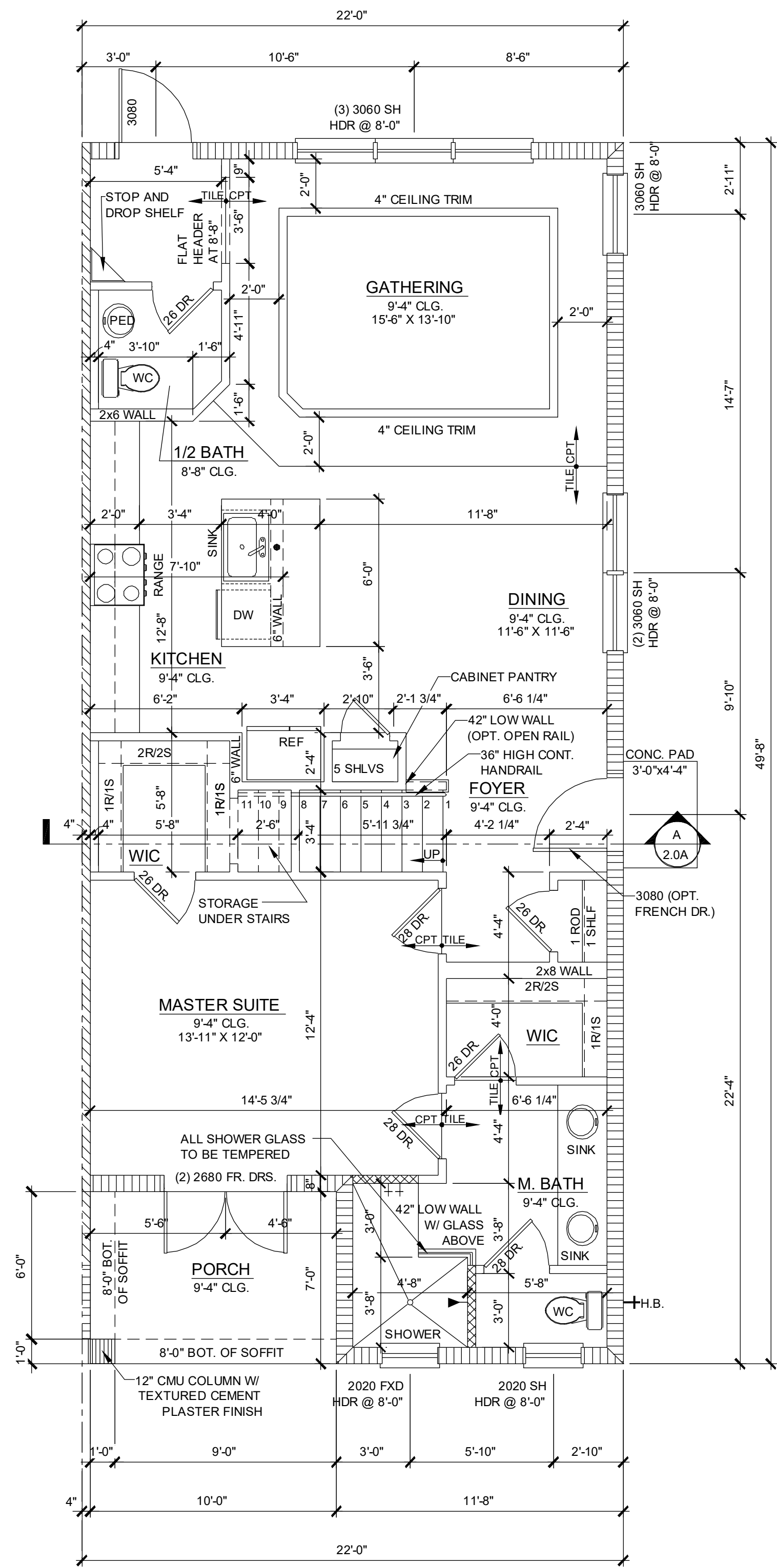
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title: **1914 - ADAMS FLOOR PLAN**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
1.2A ELEV. A

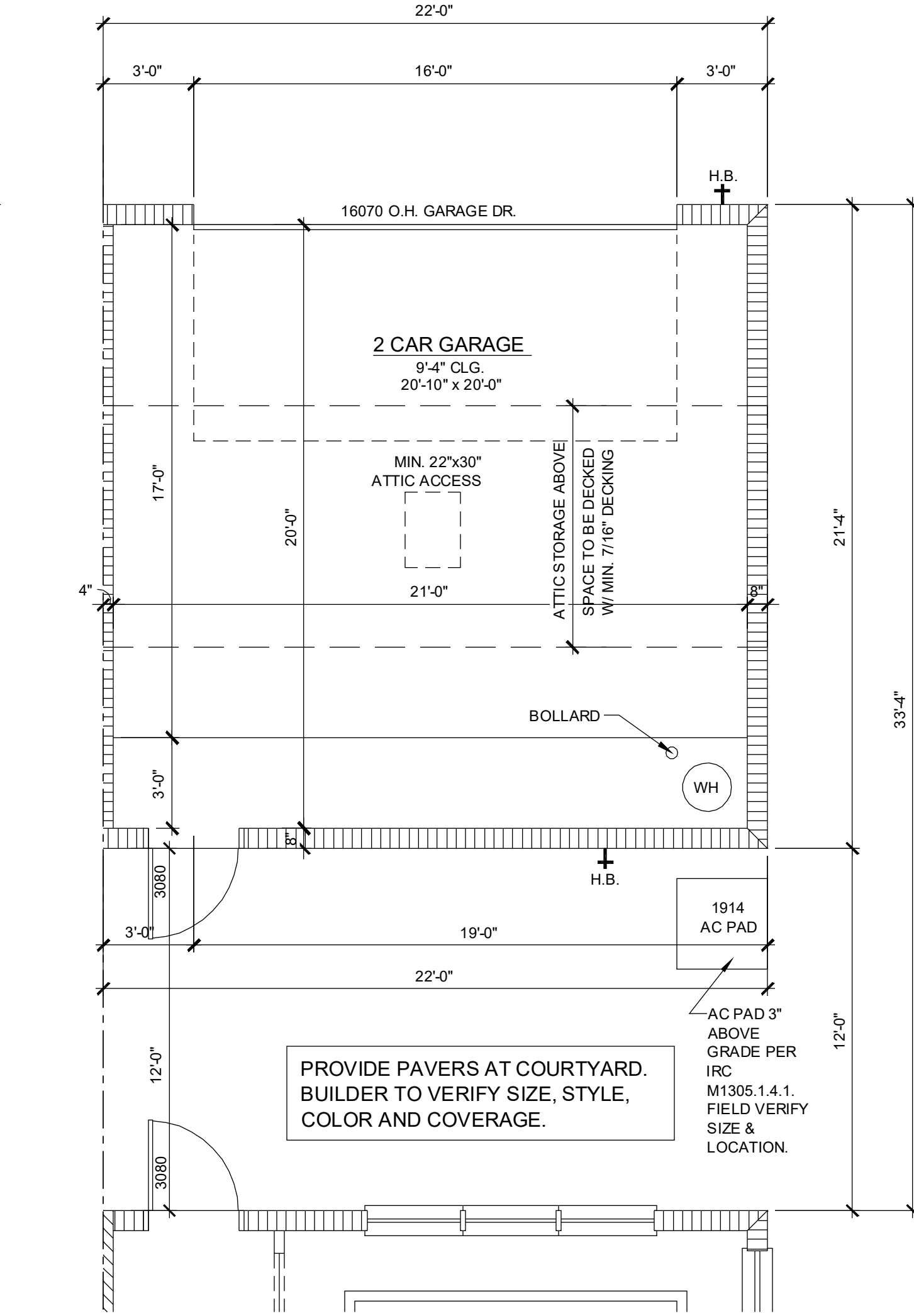
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



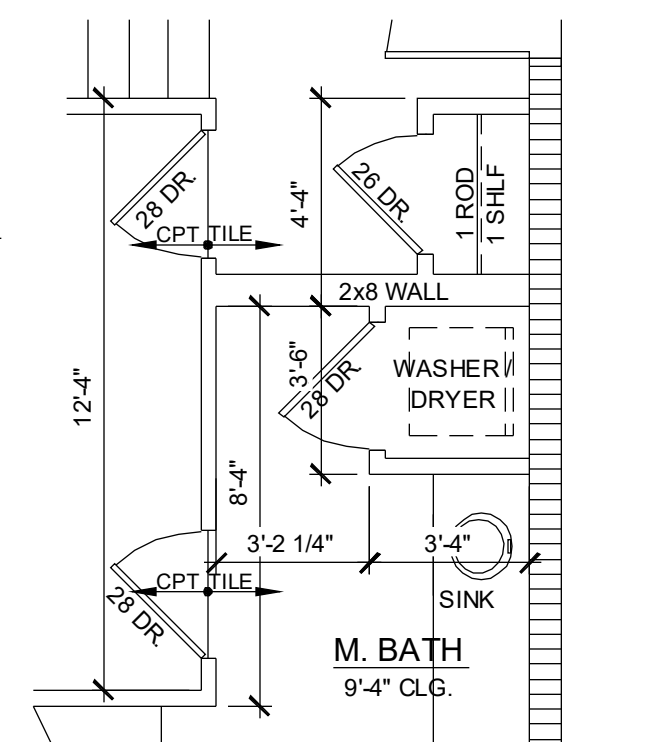
**1914 - ADAMS REVERSED
1ST FLOOR PLAN ELEVATION "A"**
1/4" = 1'-0" LEFT END UNIT



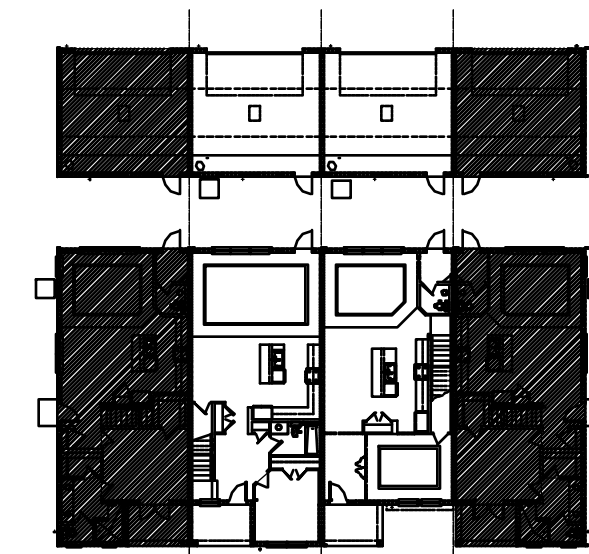
**1914 - ADAMS
1ST FLOOR PLAN ELEVATION "A"**
1/4" = 1'-0" RIGHT END UNIT



**1914 - ADAMS
1ST FLOOR PLAN - GARAGE**
1/4" = 1'-0"

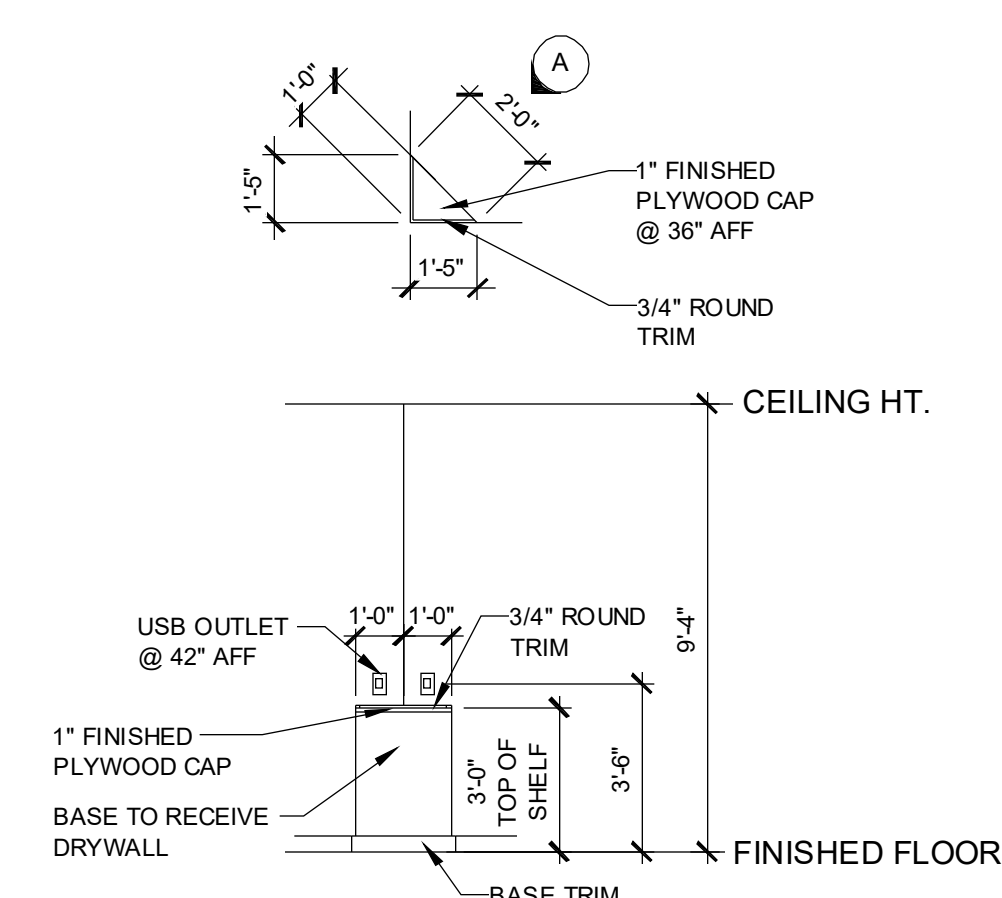


OPT WASHER/DRYER
1/4" = 1'-0"



1ST FLOOR - KEY PLAN

1/32" = 1'-0"



STOP AND DROP SHELF
1/4" = 1'-0"

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

1914 - ADAMS AREA CALCULATIONS

1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
TOTAL LIVING	1,914 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,454 SQ. FT.

WALL LEGEND

INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 9'-4" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU	
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.O.	
INDICATES 2x WOOD PARTITIONS (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	
INDICATES WET WALLS. 2x WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

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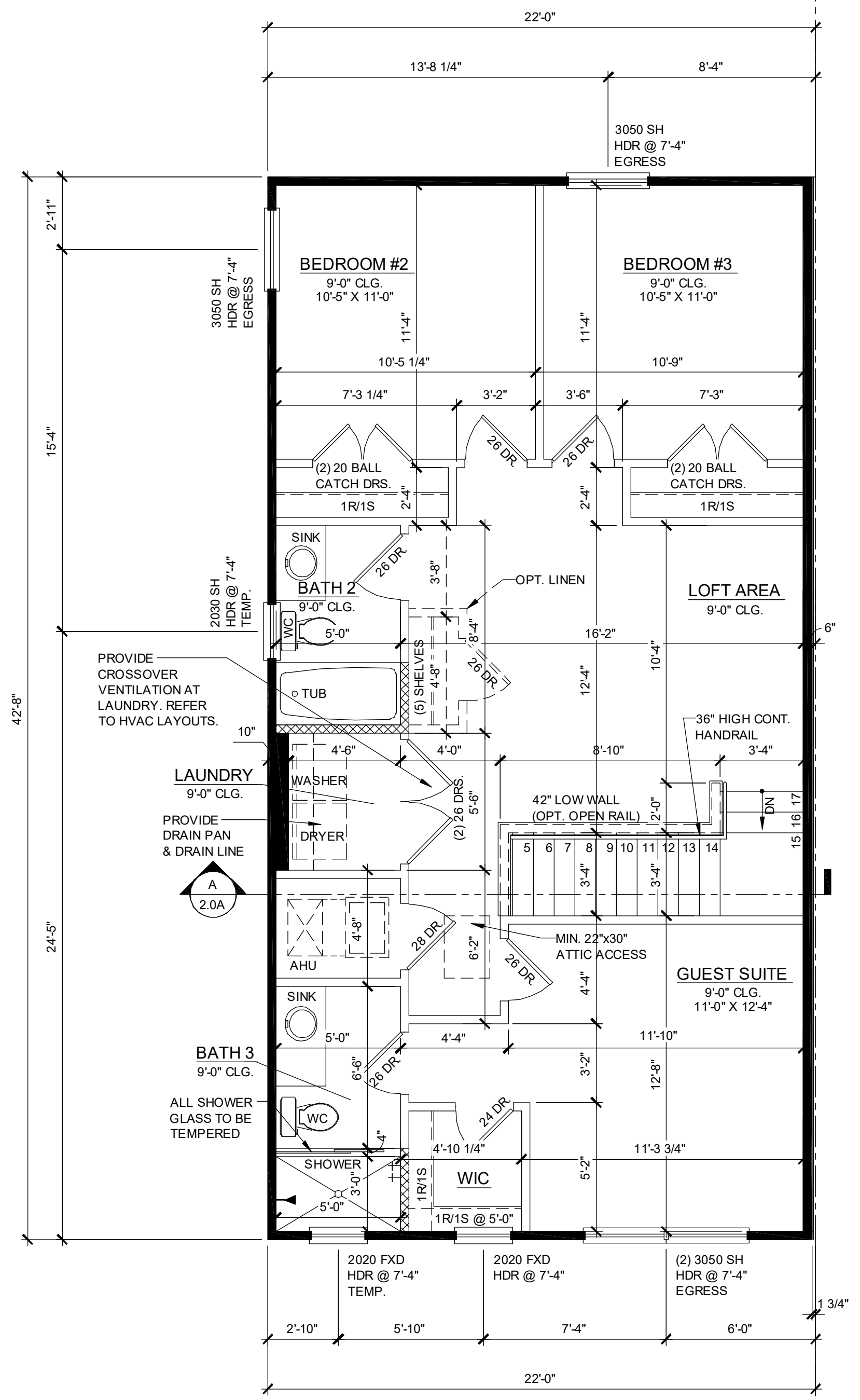
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407.880.2333
CARLA BROWN, P.E., P.E. #19138
THOMAS DUONG, P.E., P.E. #19482
DATE: June 11, 2024
FOR THE ARCHITECT'S REVIEW AND APPROVAL

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

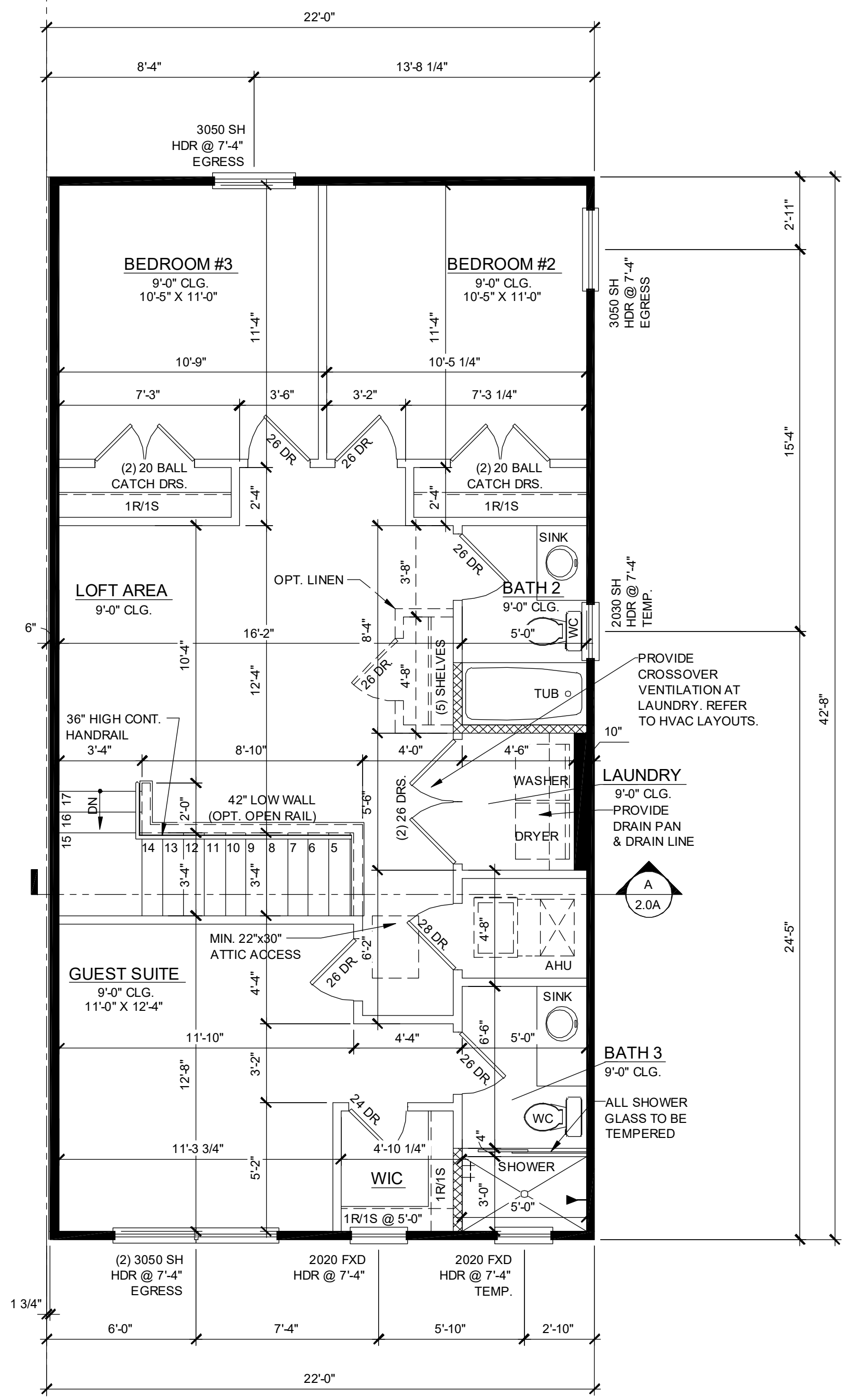
title:
1914 - ADAMS FLOOR PLAN
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
1.1A ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



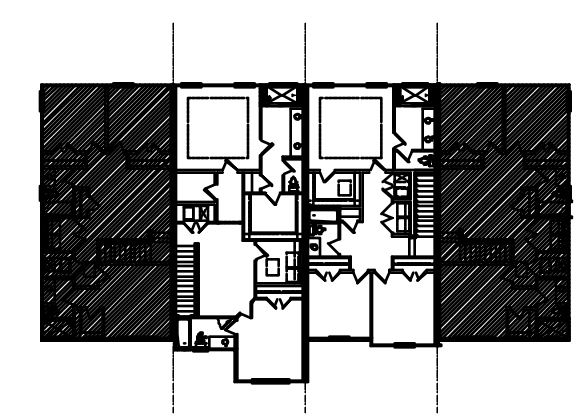
1914 - ADAMS REVERSED
2ND FLOOR PLAN ELEVATION "A"

1/4" = 1'-0"



1914 - ADAMS
2ND FLOOR PLAN ELEVATION "A"

1/4" = 1'-0"



2ND FLOOR - KEY PLAN

1/32" = 1'-0"

1914 - ADAMS AREA CALCULATIONS	
1st FLR. LIVING	1,021 SQ. FT.
2ND FLR. LIVING	893 SQ. FT.
TOTAL LIVING	1,914 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,454 SQ. FT.

WALL LEGEND	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 9'-4" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU	
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.	
INDICATES 2X WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	
INDICATES WET WALLS. 2X WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

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FDS
FLORIDA DESIGN SOLUTIONS INC.
288 Southwell Lane, Suite 200
Maitland, FL 32751
C: 407-980-2333 F: 407-980-2304
Certificate of Authorization No. 9151
CAROL A. BROWN, P.E., P.L. #15728
THOMAS B. DUNN, P.E., P.L. #9442
DATE: June 11, 2024
FOR THE EXCLUSIVE USE OF THE CLIENT

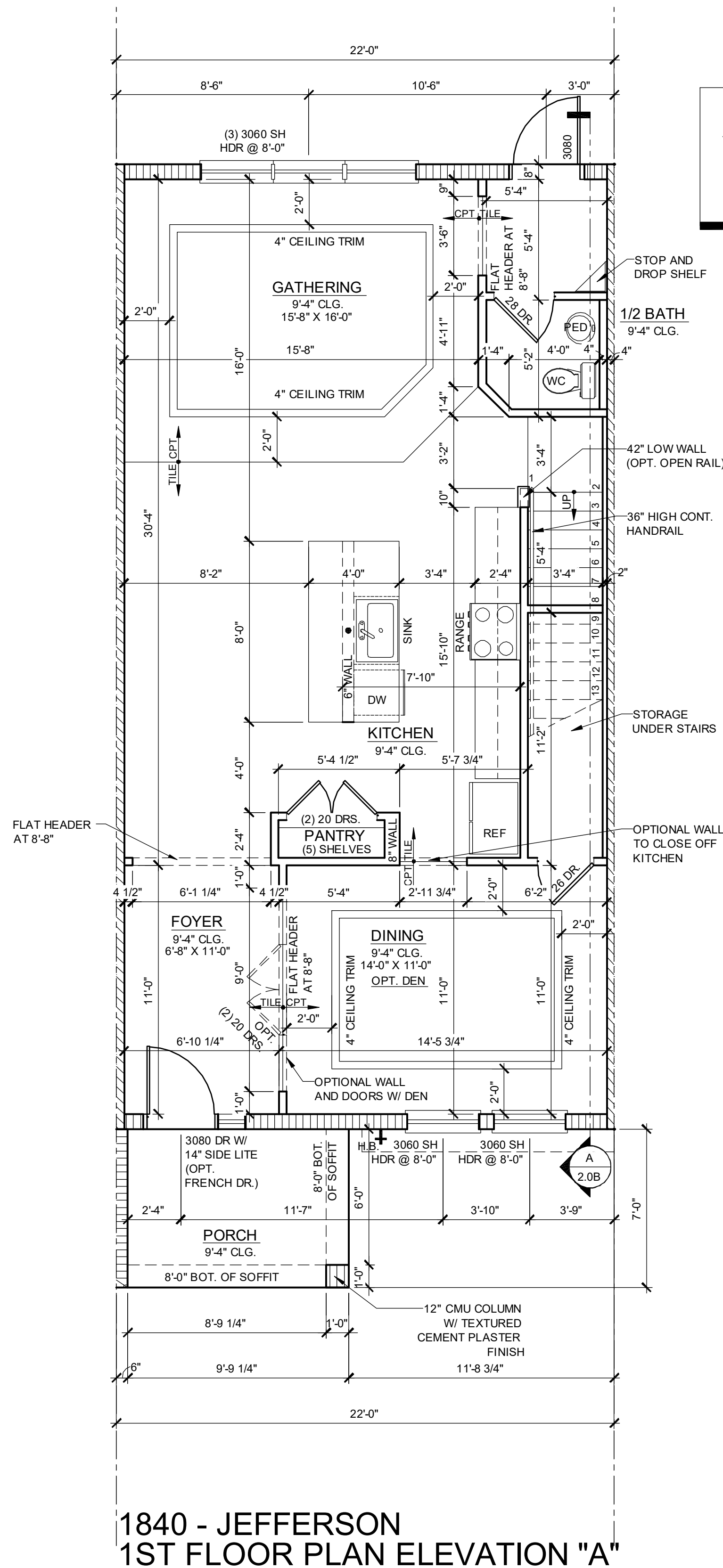
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
**1914 - ADAMS
FLOOR PLAN**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**1.2A
ELEV. A**

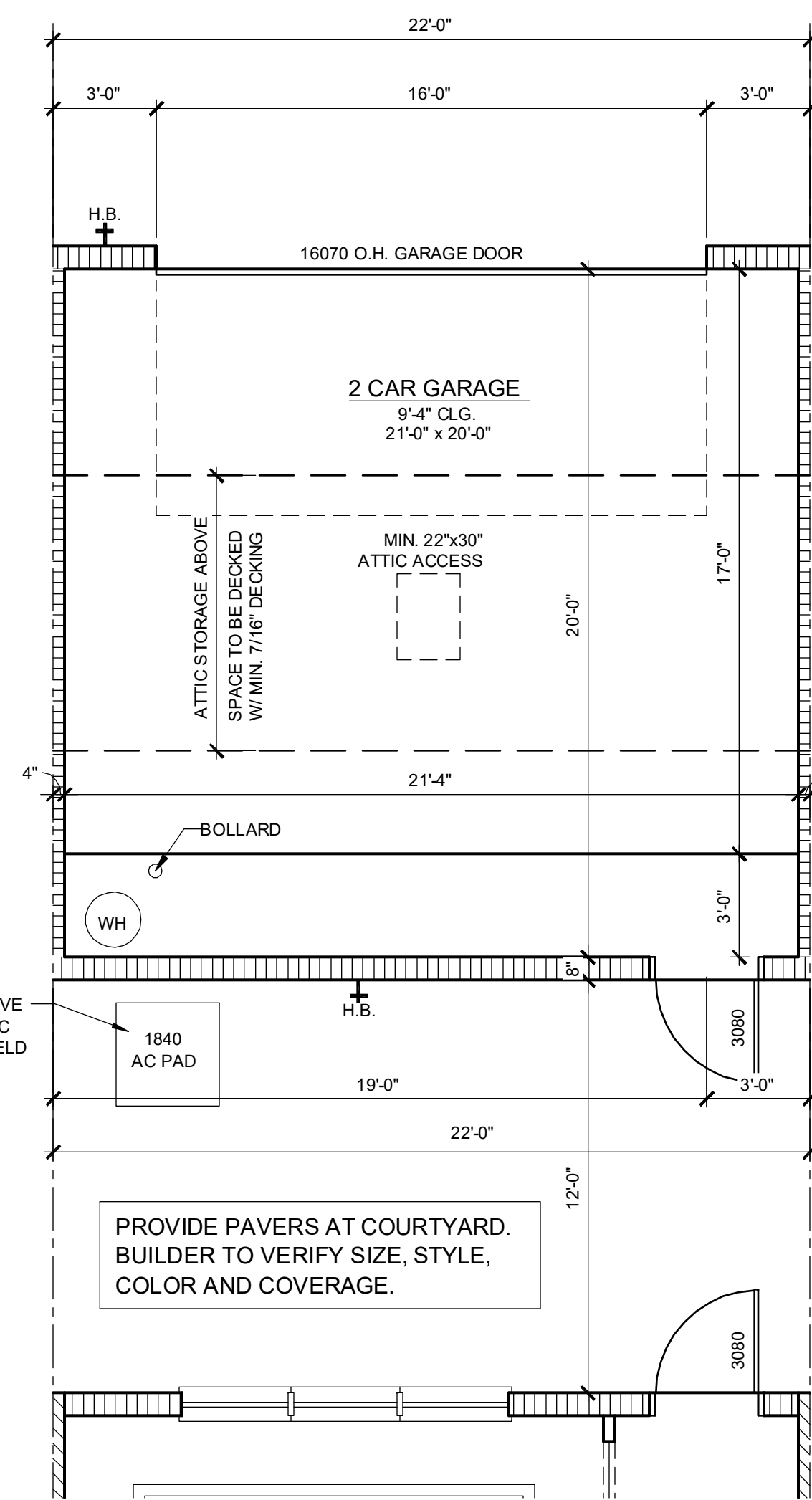
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**1840 - JEFFERSON
1ST FLOOR PLAN ELEVATION "A"**

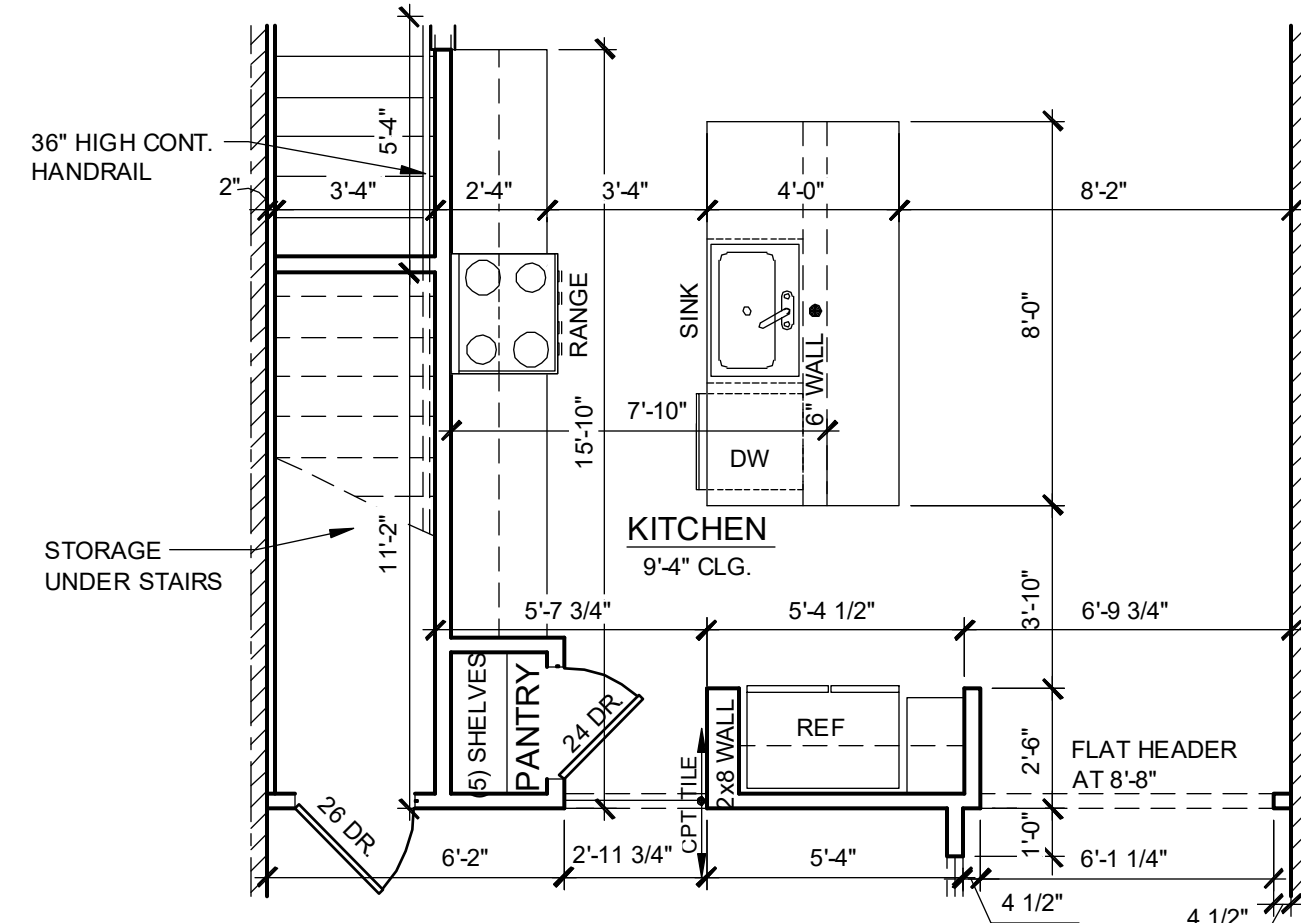
1/4" = 1'-0"

NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.



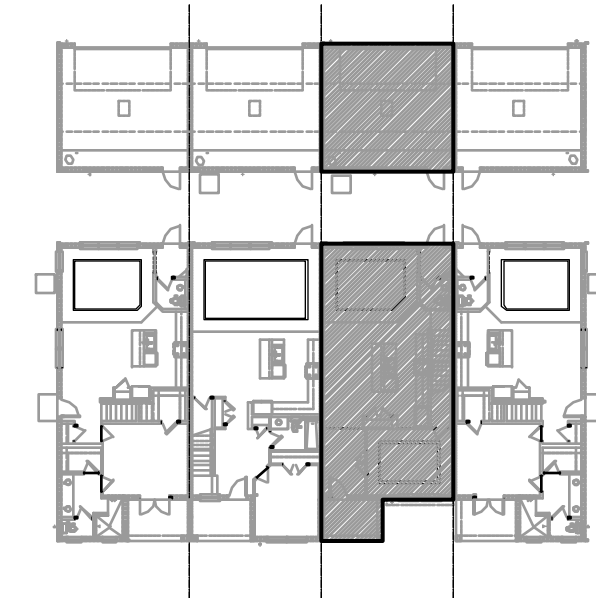
**1840 - JEFFERSON
1ST FLOOR PLAN - GARAGE**

1/4" = 1'-0"



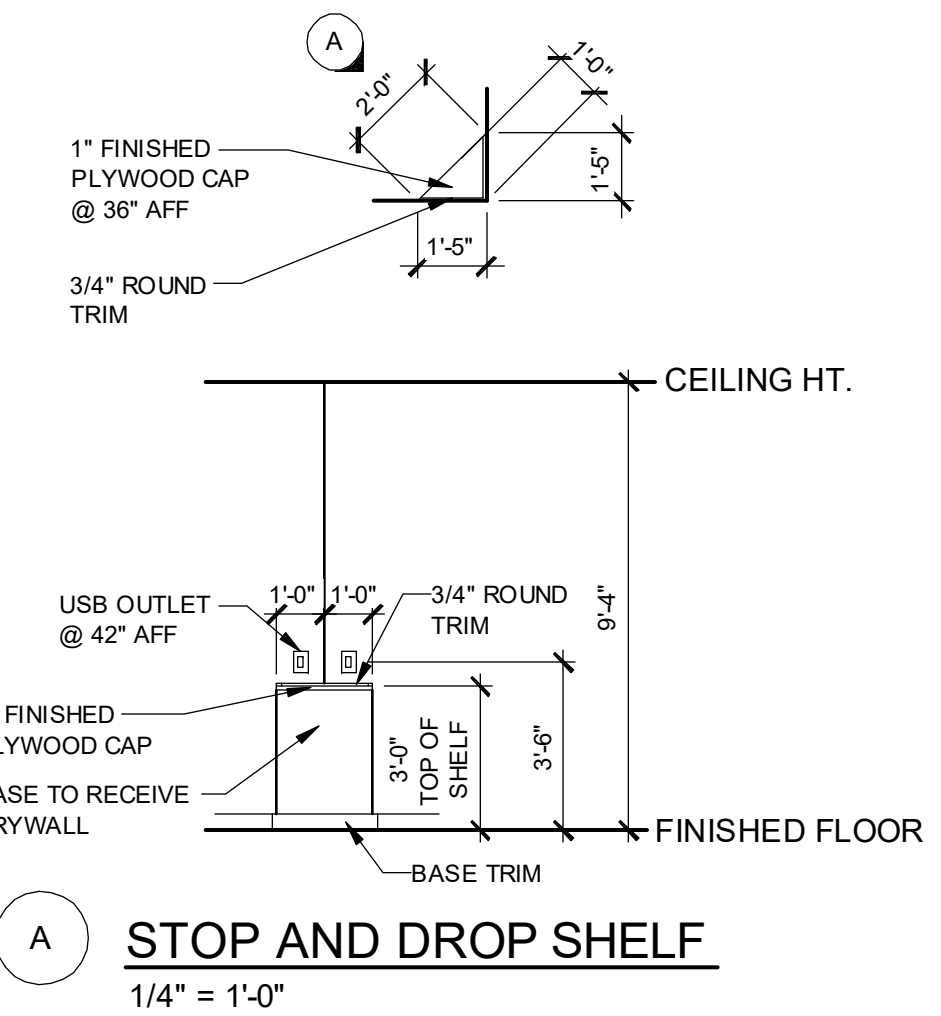
**1840 - JEFFERSON
1ST FLOOR PLAN**

1/4" = 1'-0" EMERSON PARK ONLY



1ST FLOOR - KEY PLAN

1/32" = 1'-0"



STOP AND DROP SHELF

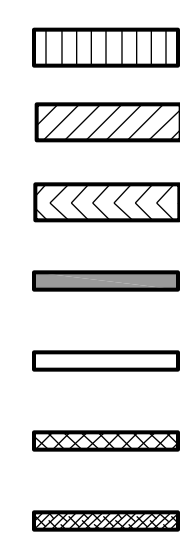
1/4" = 1'-0"

**1840 - JEFFERSON
AREA CALCULATIONS**

1st FLR. LIVING	940 SQ. FT.
2ND FLR. LIVING	900 SQ. FT.
TOTAL LIVING	1,840 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,380 SQ. FT.

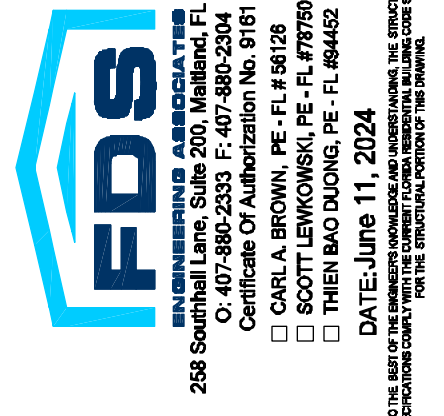
WALL LEGEND

- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
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- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.
- INDICATES 2x WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS



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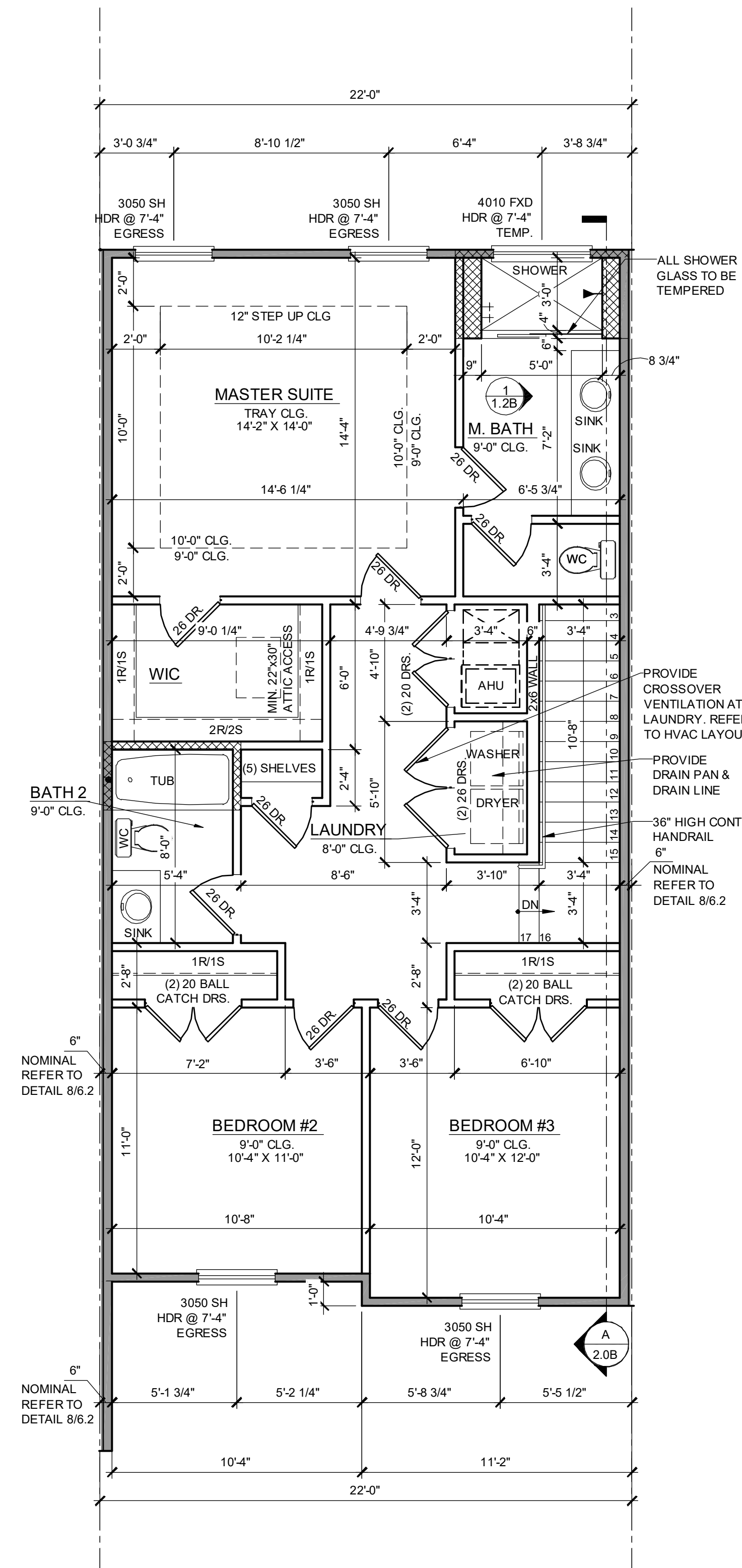
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1840 - JEFFERSON
FLOOR PLAN**

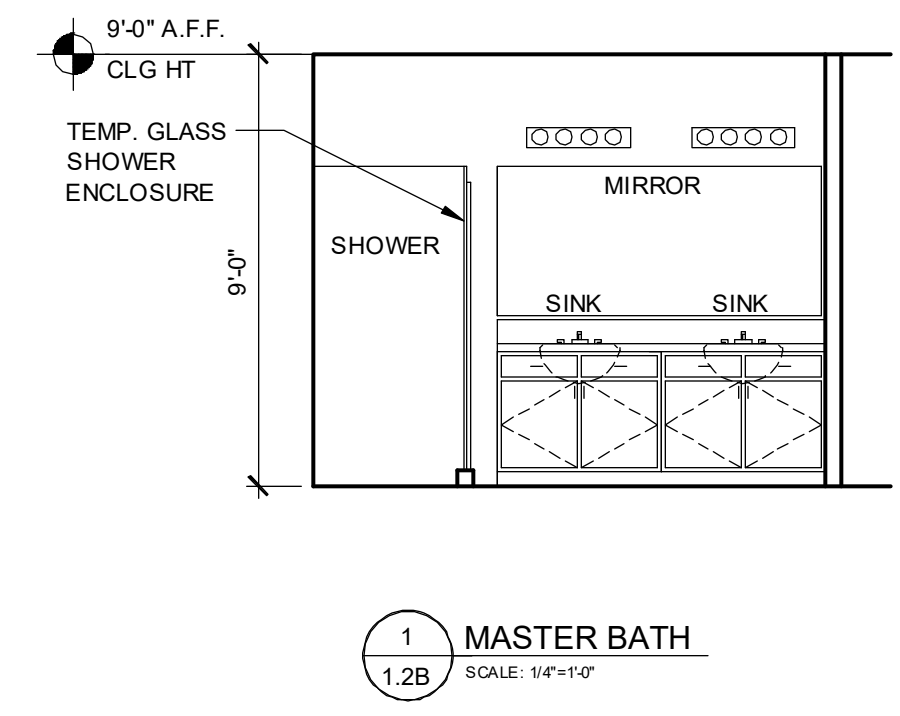
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**1.1B
ELEV. A**

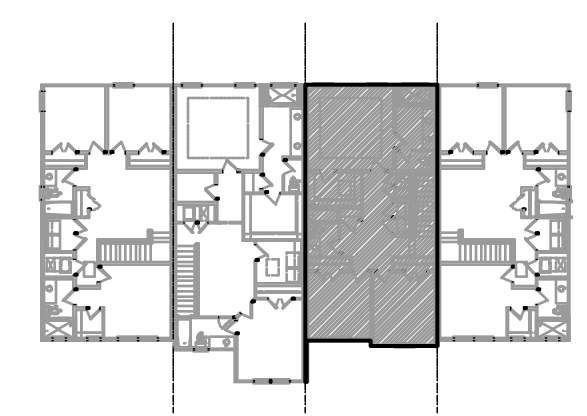
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**1840 - JEFFERSON
2ND FLOOR PLAN ELEVATION "A"**
1/4" = 1'-0"



NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.



2ND FLOOR - KEY PLAN
1/32" = 1'-0"

1840 - JEFFERSON AREA CALCULATIONS	
1st FLR. LIVING	940 SQ. FT.
2ND FLR. LIVING	900 SQ. FT.
TOTAL LIVING	1,840 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	70 SQ. FT.
TOTAL UR	2,380 SQ. FT.

WALL LEGEND	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.	
INDICATES 2x WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	
INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

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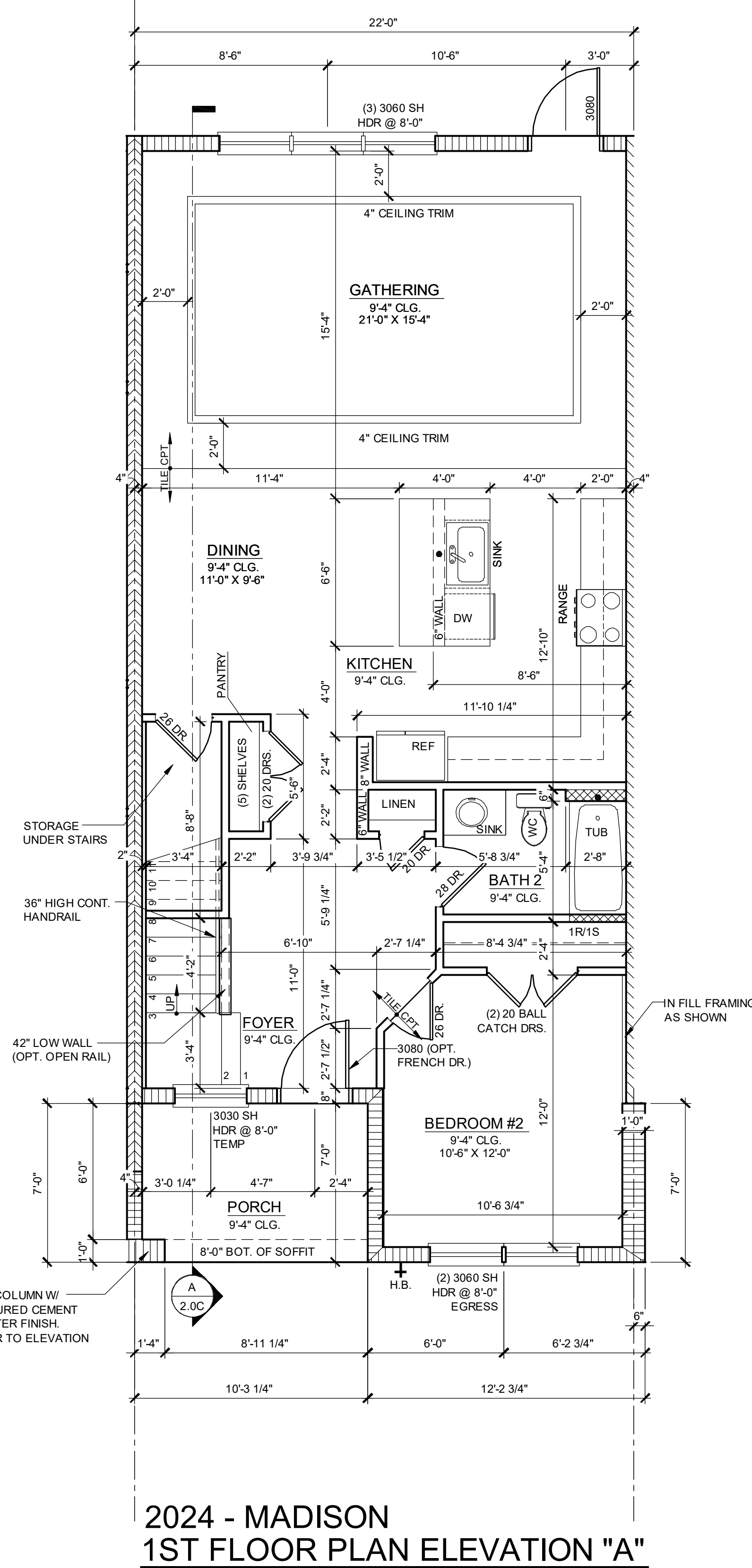
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Boca Raton, FL 33433
954.977.2333

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www.fdsinc.com

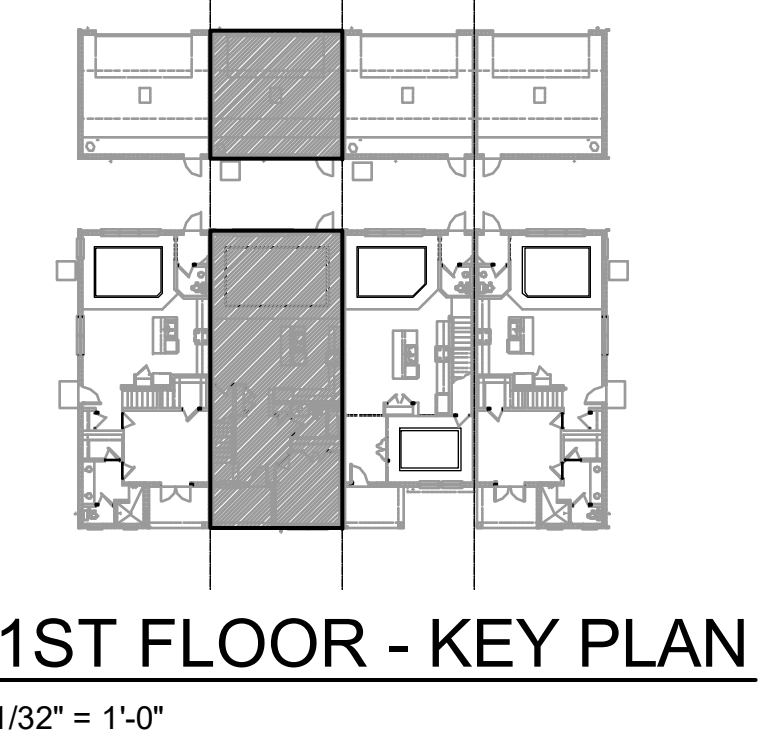
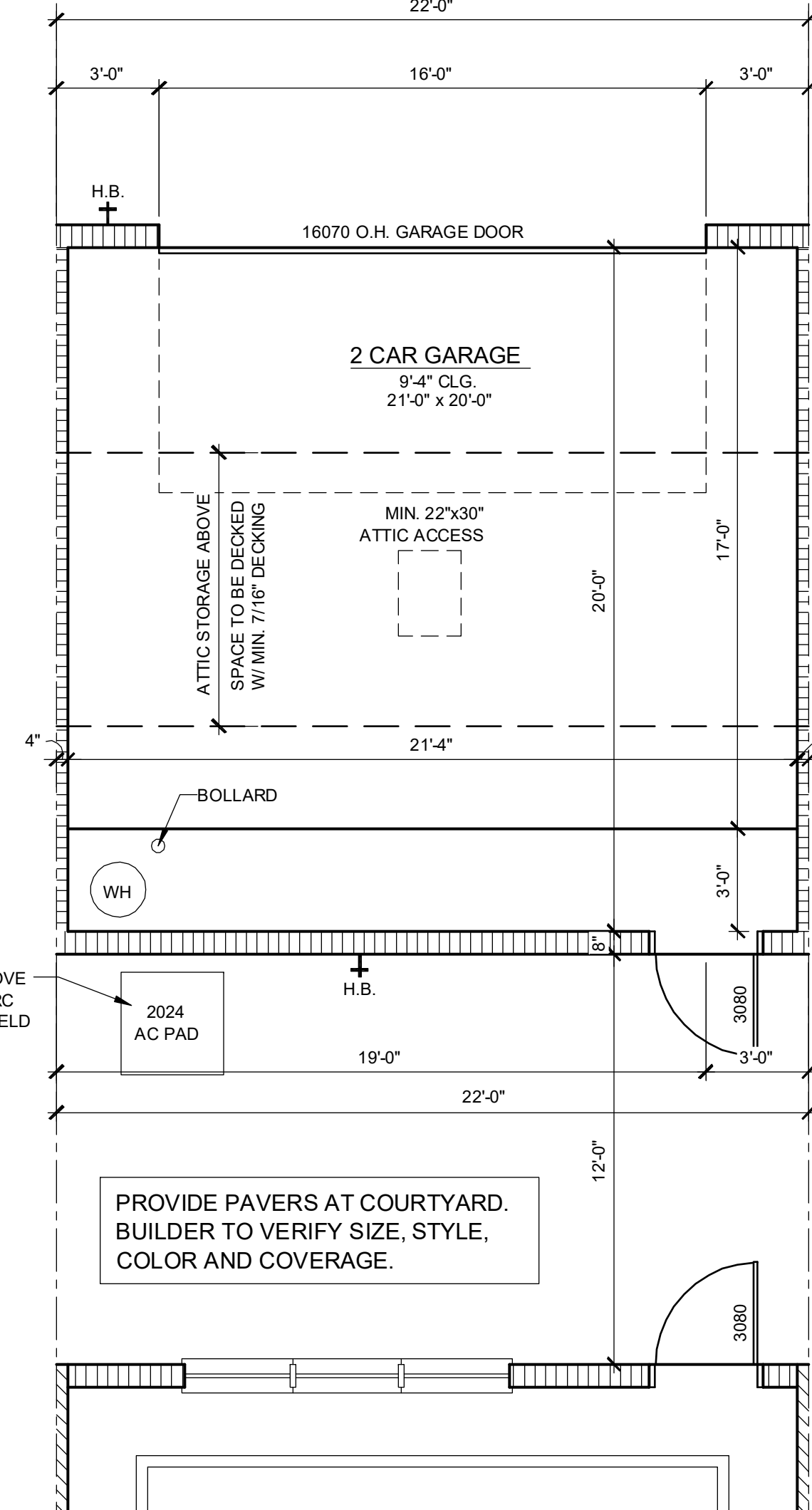
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title: **1840 - JEFFERSON FLOOR PLAN**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
**1.2B
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.



2024 - MADISON AREA CALCULATIONS

1st FLR. LIVING	1,023 SQ. FT.
2ND FLR. LIVING	1,001 SQ. FT.
TOTAL LIVING	2,024 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	71 SQ. FT.
TOTAL UR	2,565 SQ. FT.

WALL LEGEND

INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.	
INDICATES 2x WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	
INDICATES WET WALLS, 2x WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

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Professional Engineer
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Professional Engineer
Scott Lewonowicz, P.E., P.L. #14442
Professional Engineer
Carl A. Brown, P.E., P.L. #5128
Professional Engineer
Scott Lewonowicz, P.E., P.L. #14442
Professional Engineer
Carl A. Brown, P.E., P.L. #5128

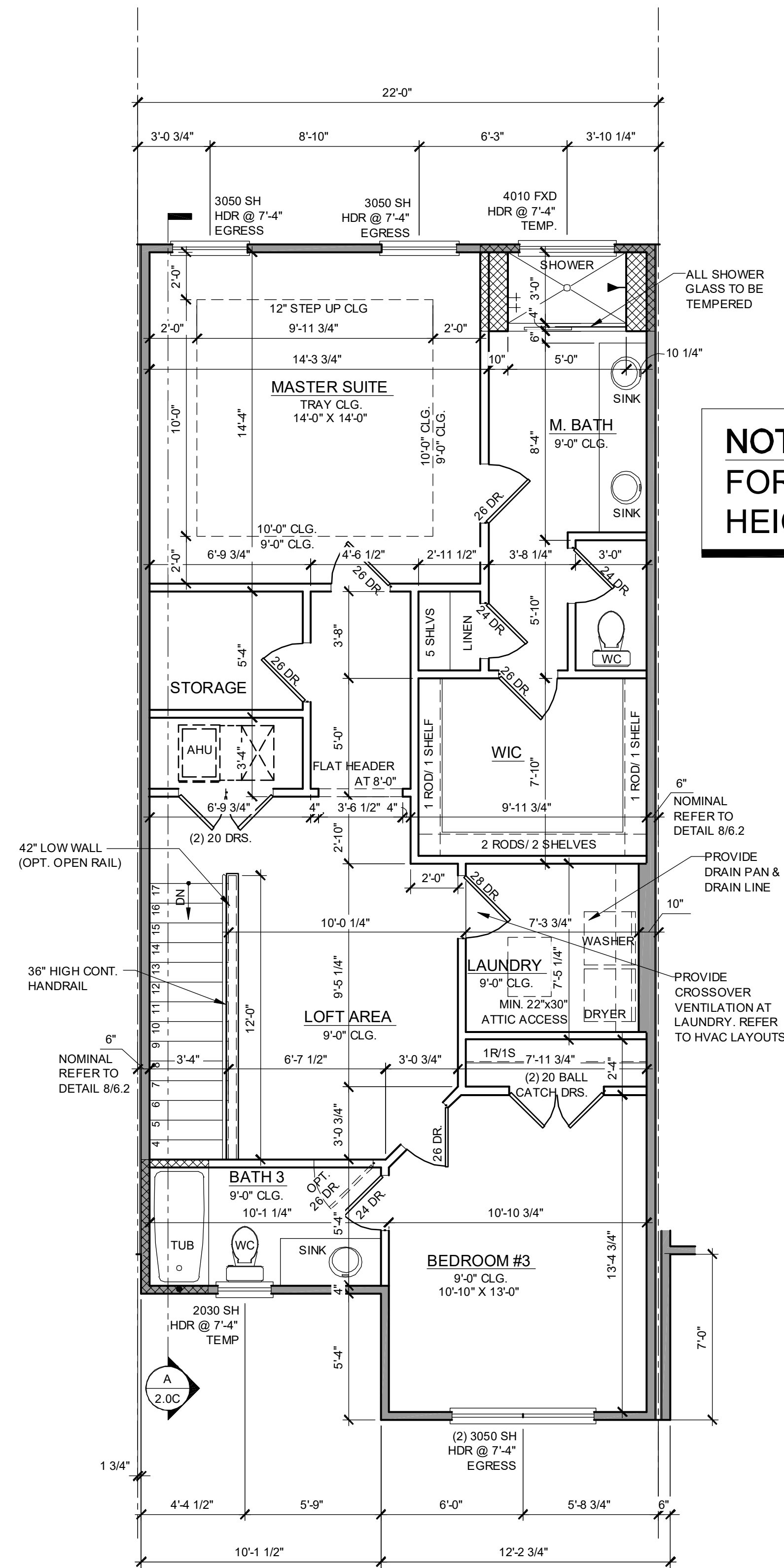
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title: **2024 - MADISON FLOOR PLAN**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

1.1C ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



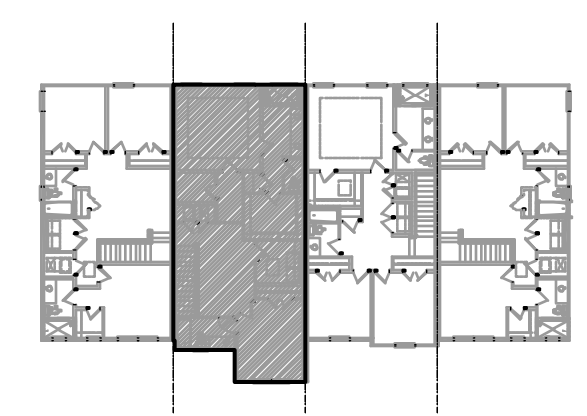
NOTE: SEE COLOR SHEET FOR INTERIOR DOOR HEIGHT REQUIREMENTS.

**2024 - MADISON
2ND FLOOR PLAN ELEVATION "A"**

1/4" = 1'-0"

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2ND FLOOR - KEY PLAN

1/32" = 1'-0"

2024 - MADISON AREA CALCULATIONS	
1st FLR. LIVING	1,023 SQ. FT.
2ND FLR. LIVING	1,001 SQ. FT.
TOTAL LIVING	2,024 SQ. FT.
GARAGE	470 SQ. FT.
FRONT PORCH	71 SQ. FT.
TOTAL UR	2,565 SQ. FT.

WALL LEGEND

- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING, INTERIOR PARTITIONS ONLY. (I.U.N.O.)
- INDICATES 2X WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (I.U.N.O.)
- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

Keese Associates
ARCHITECTURE | DESIGN | PLANNING
288 Southhall Lane Suite 200
Bartlett, TN 37613
(615) 480-2333



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DATE: JUN 11, 2024

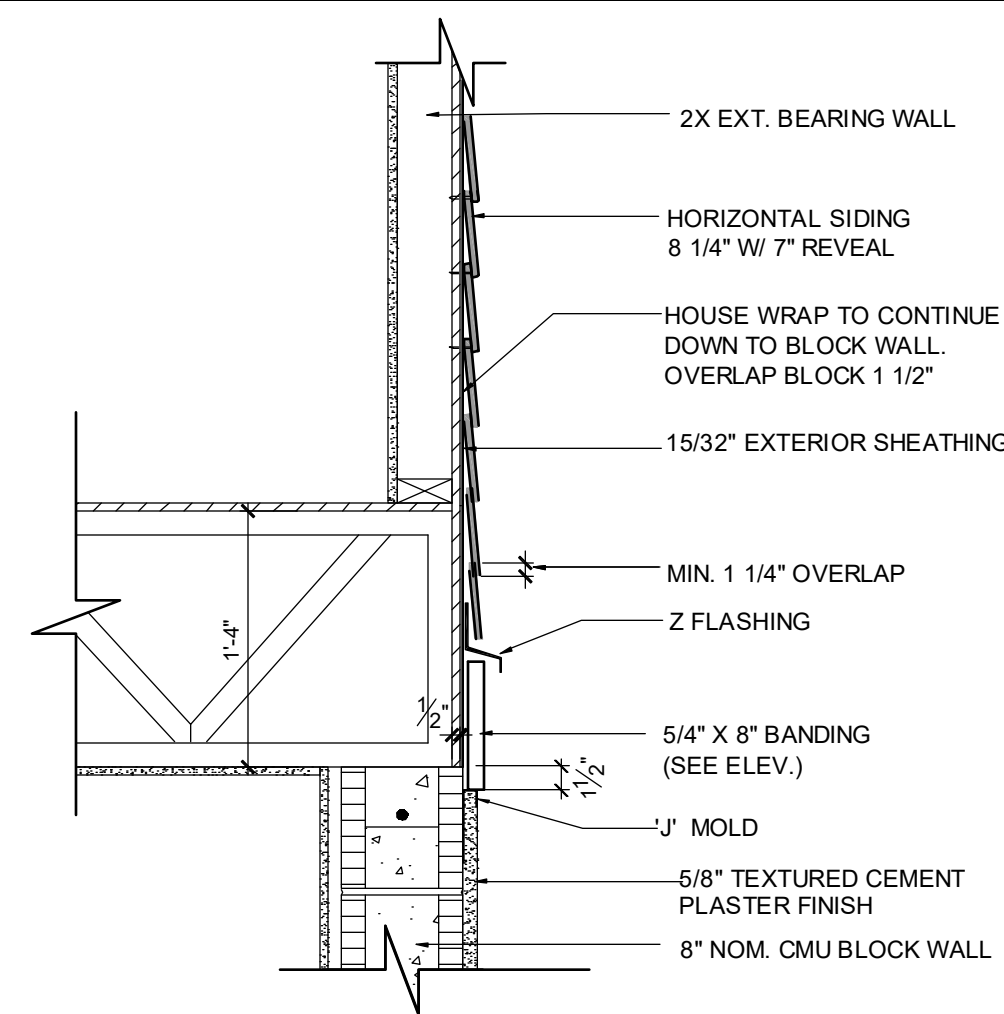
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**2024 - MADISON
FLOOR PLAN**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**1.2C
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**B BELLY BAND TRIM
DETAIL AT T.O.M.**
ABV. SMOOTH SAND FINISH SCALE: 1" = 1'-0"

ALL GUARDRAILS AND HANDRAILS TO COMPLY WITH R301 AND TABLE R301.5 PER FBCR 2023, 8TH EDITION

2023 FBCR :

R312.1 Guards.

Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

R312.1.1 Where required.

Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

R312.1.2 Height.

Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

Exceptions:

- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

R312.1.3 Opening limitations.

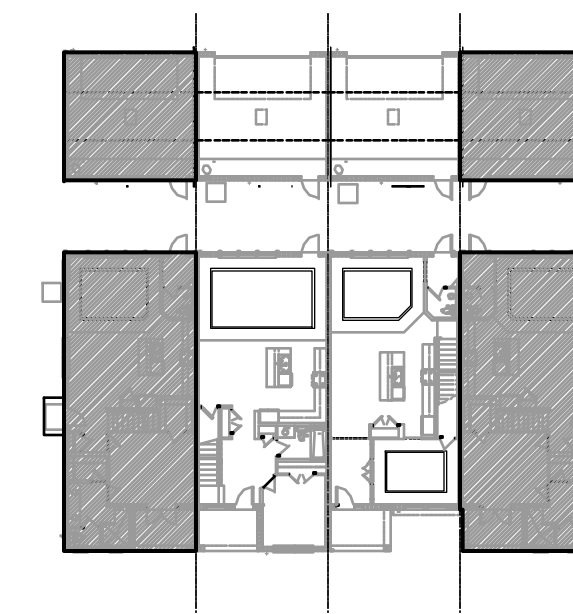
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

R312.1.4 Exterior plastic composite guards.

Plastic composite exterior guards shall comply with the requirements of Section R317.4.



SECTION - KEY PLAN

1/32" = 1'-0"

2023 FBCR:

R311.7.5.1 Risers.

The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.

R311.7.5.2 Tread.

The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

R311.7.5.2.1 Winder treads.

Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

R311.7.5.3 Nosings .

Nosing of treads, landings and floors of stairways shall have a radius of curvature at the nosing not greater than 9/16 inch (14mm) or a bevel not exceeding 1/2 inch (12.7mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 1 1/4 inches (32 mm) shall be provided on stairways. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) within a stairway.

R311.7.8 Handrails.

Handrails shall be provided on not less than one side of each flight with four or more risers.

R311.7.8.1 Height.

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

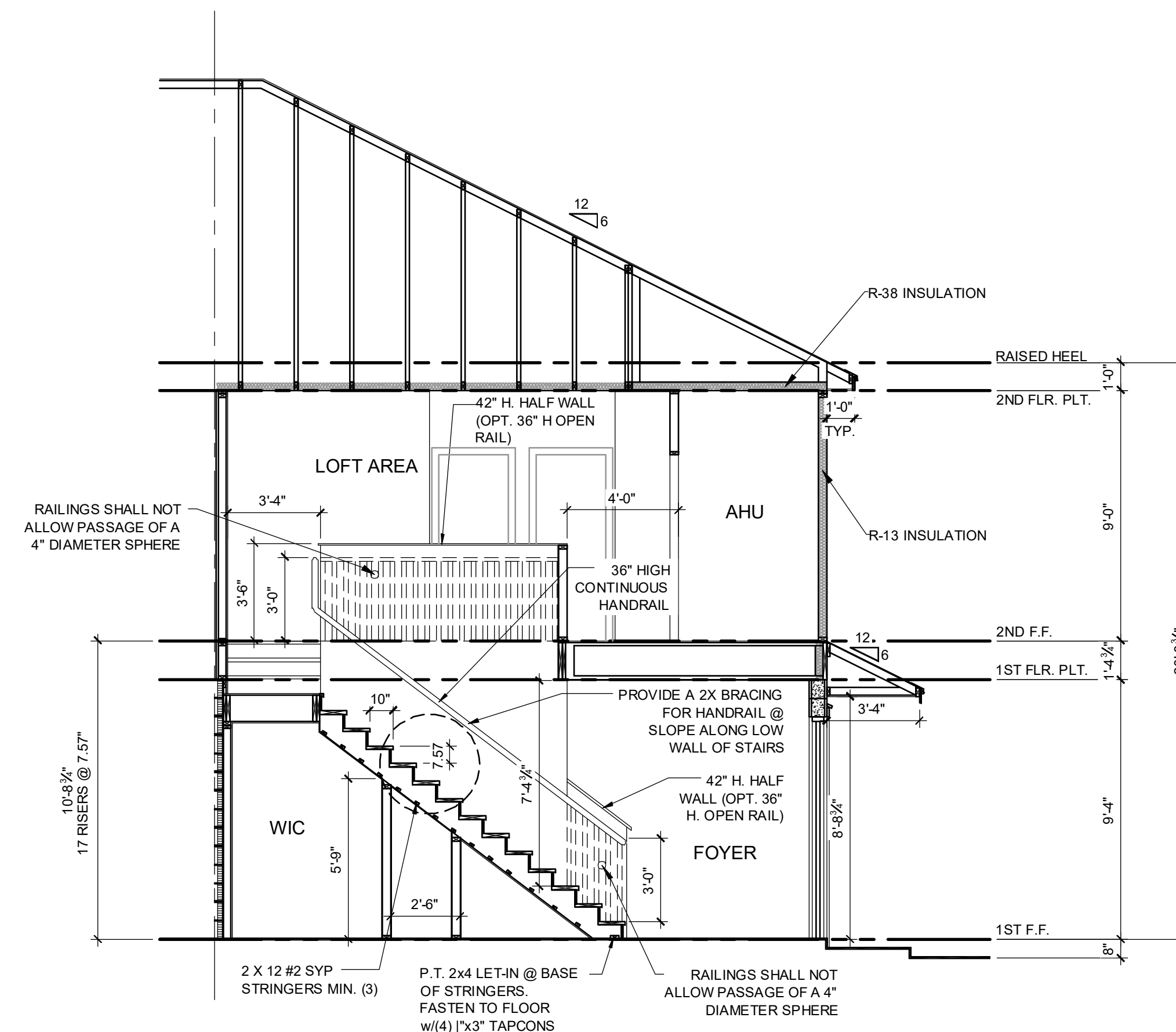
R311.7.8.2 Continuity.

Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.

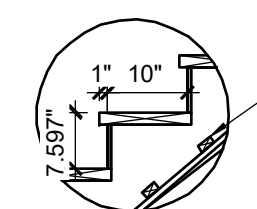
R311.7.8.3 Grip-size.

Required handrails shall be one of the following types or provide equivalent graspability.

- Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



A 2-STORY STAIR SECTION - 1914
1/4" = 1'-0"



FIRESTOPPING BETWEEN STAIR STRINGERS AT LEAST ONCE IN THE MIDDLE OF EACH RUN, AT THE TOP & BOTTOM & BETWEEN STUDS ALONG & IN LINE W/ ADJACENT RUN OF STAIRS

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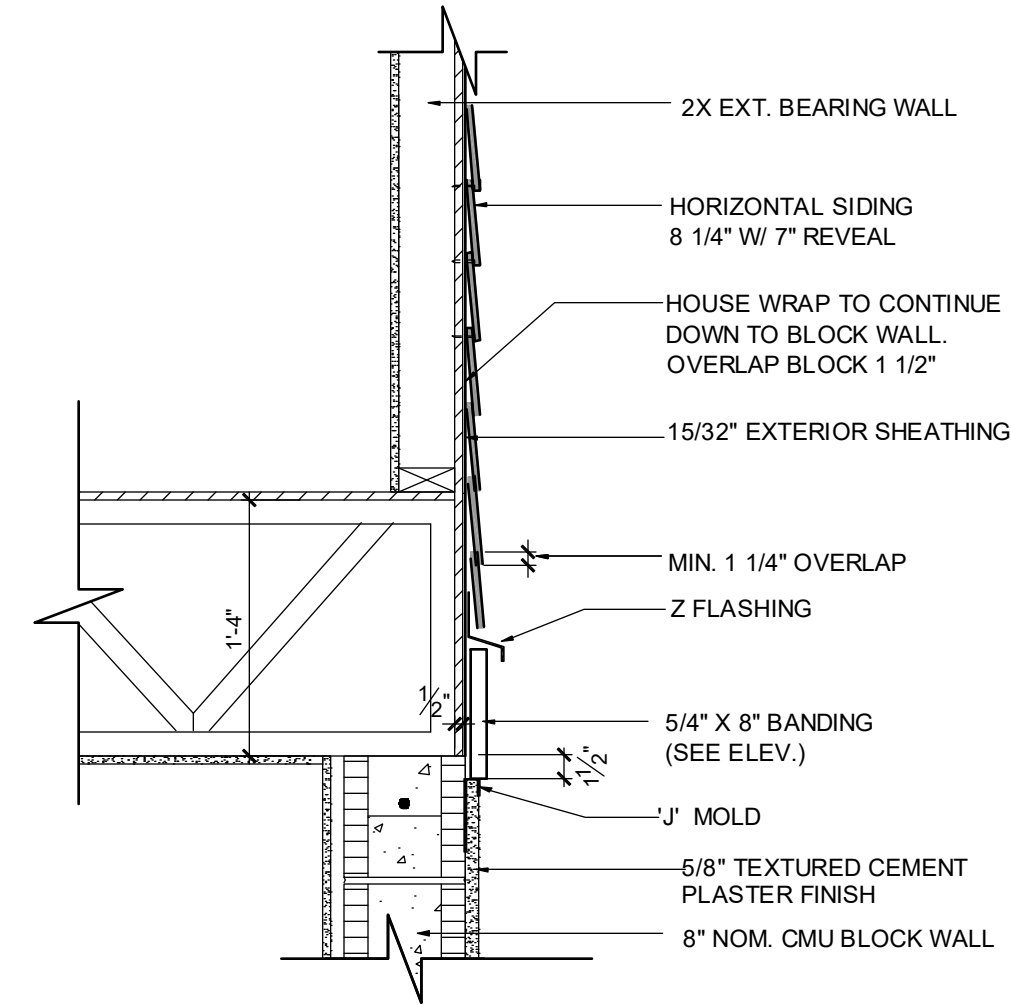
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

Title:
**1914 - ADAMS
STAIR SECTION**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**2.0A
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**B BELLY BAND TRIM
DETAIL AT T.O.M.**
SCALE: 1" = 1'-0"

ALL GUARDRAILS AND HANDRAILS TO COMPLY WITH R301 AND TABLE R301.5 PER FBCR 2023, 8TH EDITION

2023 FBCR :

R312.1 Guards.

Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

R312.1.1 Where required.

Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

R312.1.2 Height.

Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

Exceptions:

- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

R312.1.3 Opening limitations.

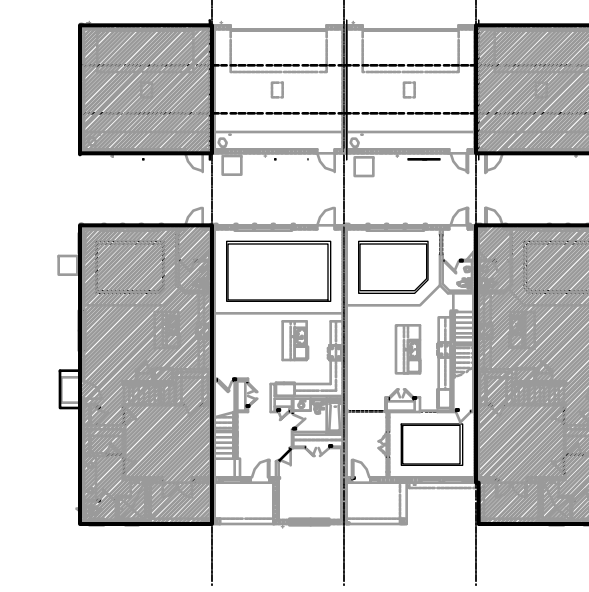
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

R312.1.4 Exterior plastic composite guards.

Plastic composite exterior guards shall comply with the requirements of Section R317.4.



SECTION - KEY PLAN

1/32" = 1'-0"

2023 FBCR:

R311.7.5.1 Risers.

The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.

R311.7.5.2 Tread.

The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

R311.7.5.2.1 Winder treads.

Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

R311.7.5.3 Nosings.

Nosing of treads, landings and floors of stairways shall have a radius of curvature at the nosing not greater than 9/16 inch (14mm) or a bevel not exceeding 1/2 inch (12.7mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 1 1/4 inches (32 mm) shall be provided on stairways. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) within a stairway.

R311.7.8 Handrails.

Handrails shall be provided on not less than one side of each flight with four or more risers.

R311.7.8.1 Height.

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

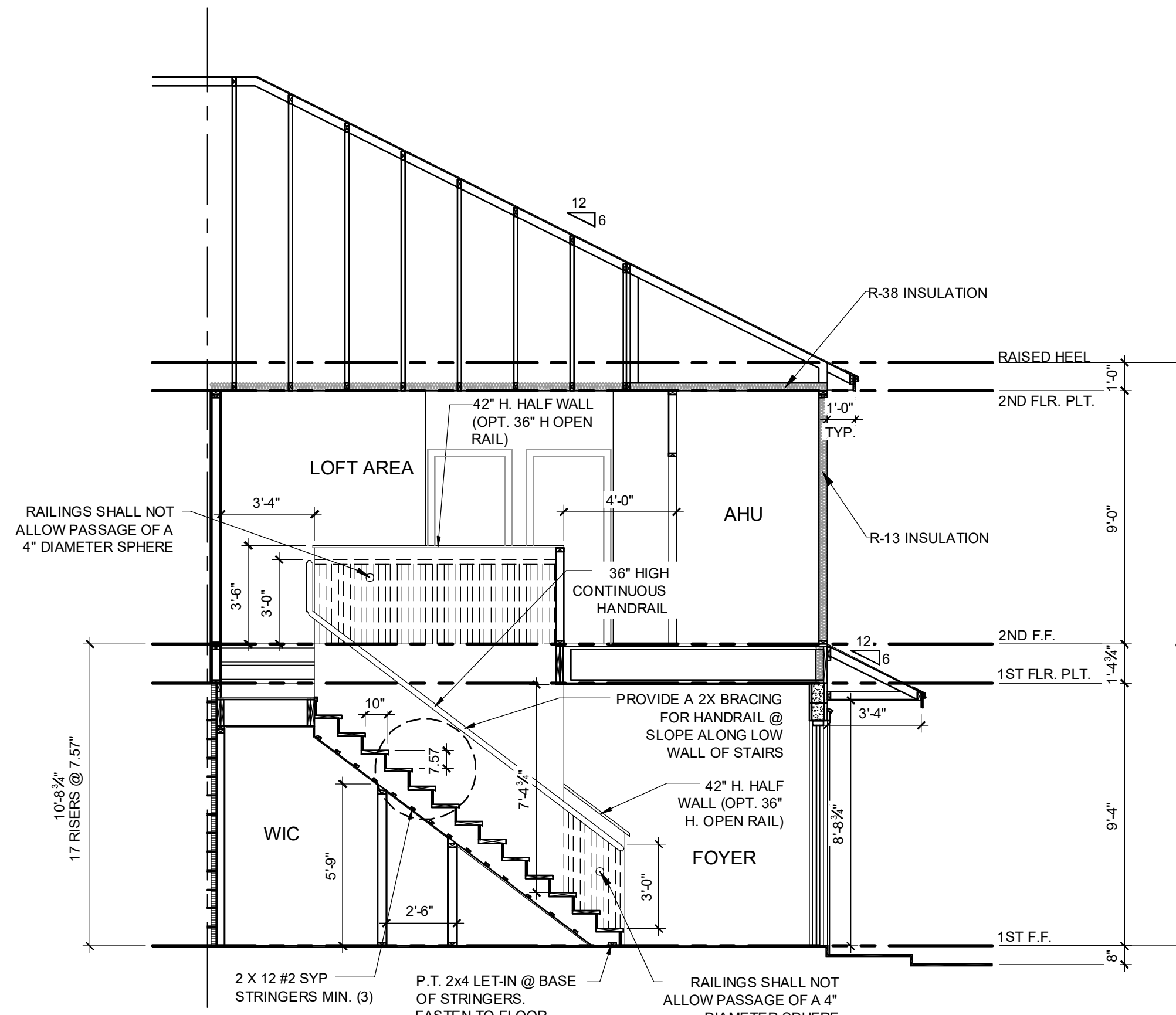
R311.7.8.2 Continuity.

Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.

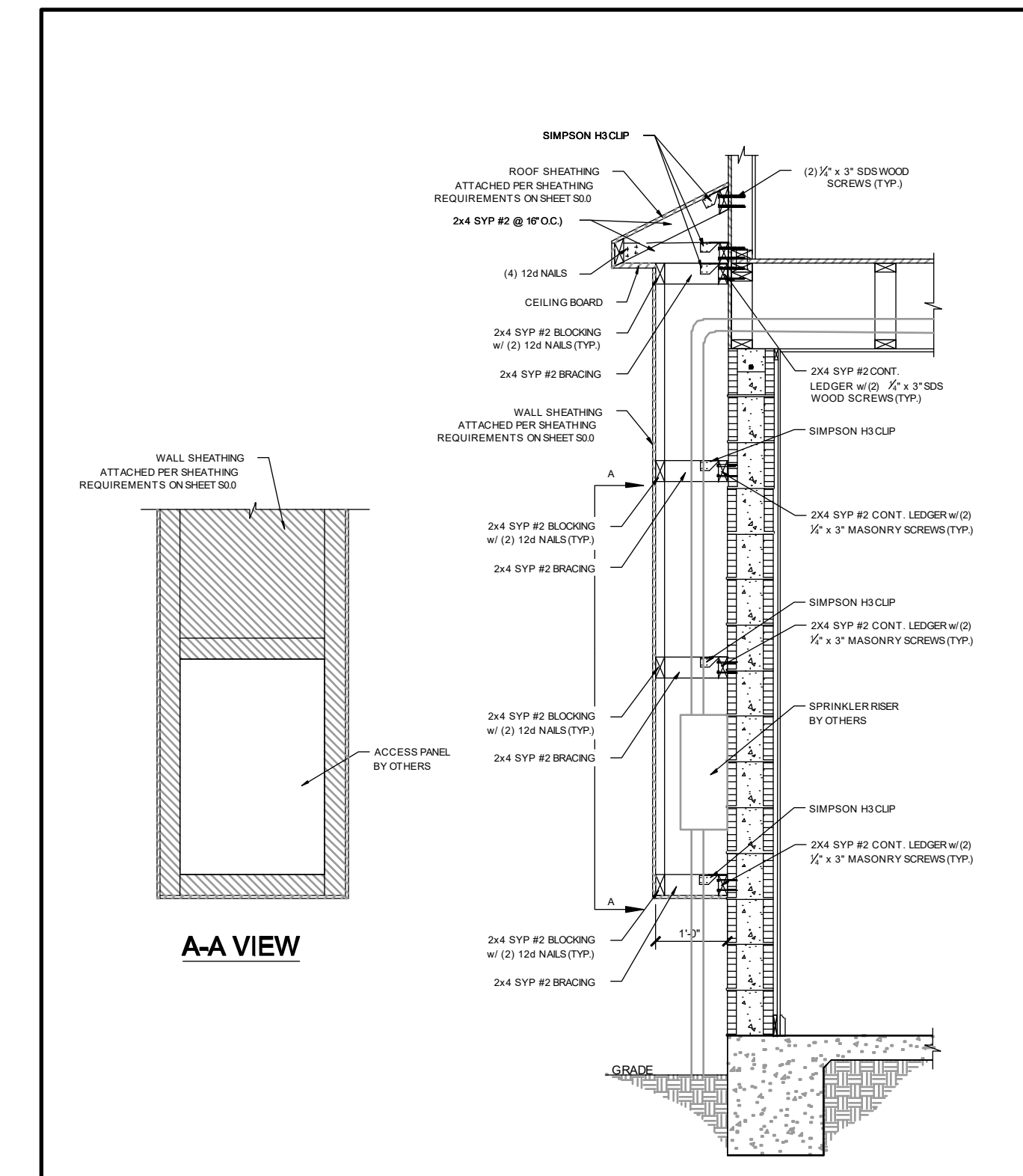
R311.7.8.3 Grip-size.

Required handrails shall be one or the following types or provide equivalent graspability.

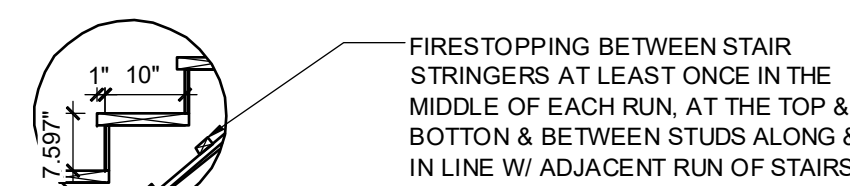
- Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



A 2-STORY STAIR SECTION - 1914
1/4" = 1'-0"



B SPRINKLER RISER HOUSING FOR EMERSON PARK ONLY
1/2" = 1'-0"



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title:
1914 - ADAMS STAIR SECTION

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

2.0A ELEV. A

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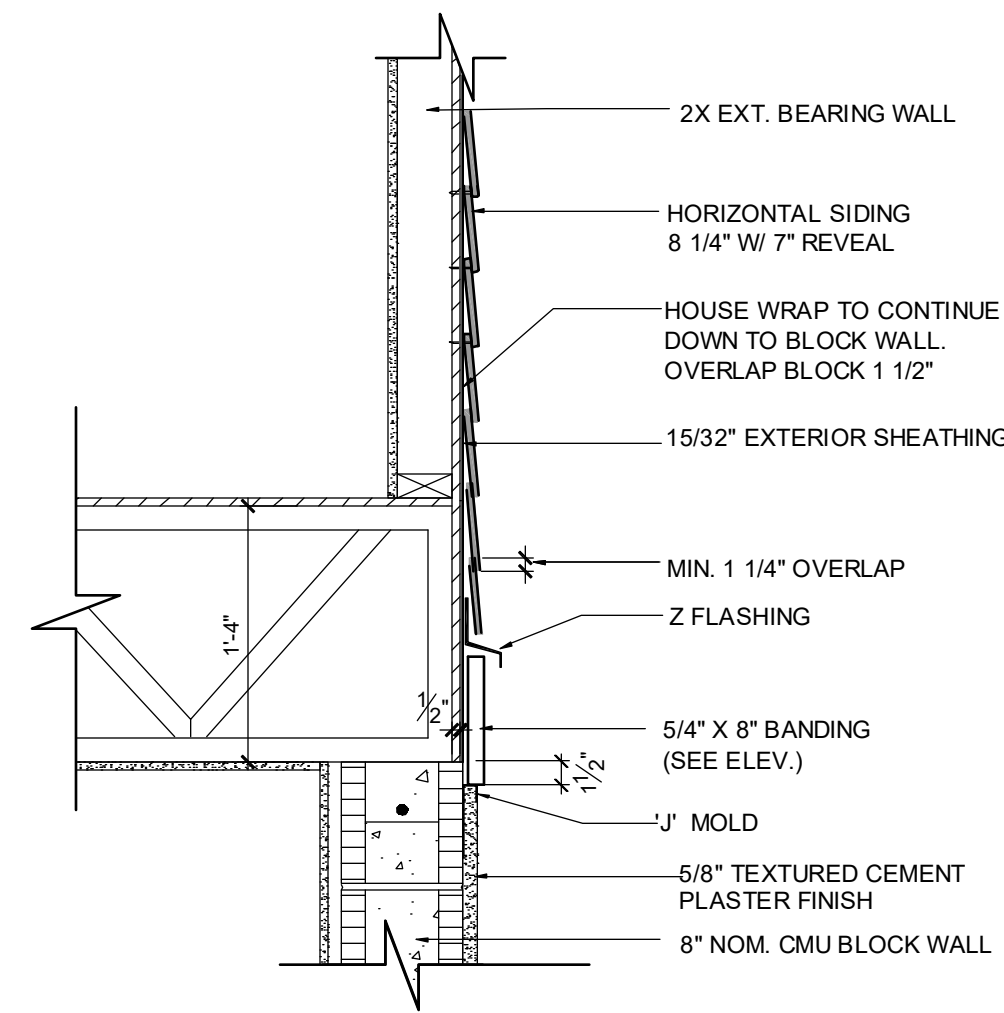
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DATE: 11/11/2023

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

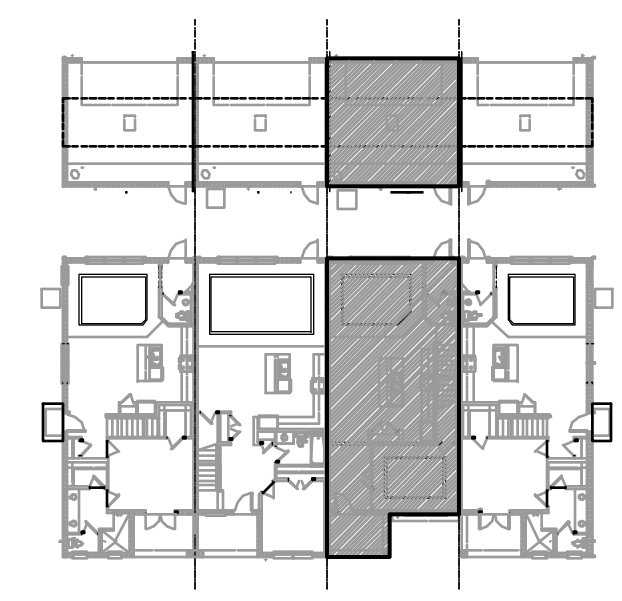


B BELLY BAND TRIM
DETAIL AT T.O.M.
ABV. SMOOTH SAND FINISH
SCALE: 1" = 1'-0"

ALL GUARDRAILS AND HANDRAILS TO COMPLY WITH R301 AND TABLE R301.5 PER FBCR 2023, 8TH EDITION

2023 FBCR :

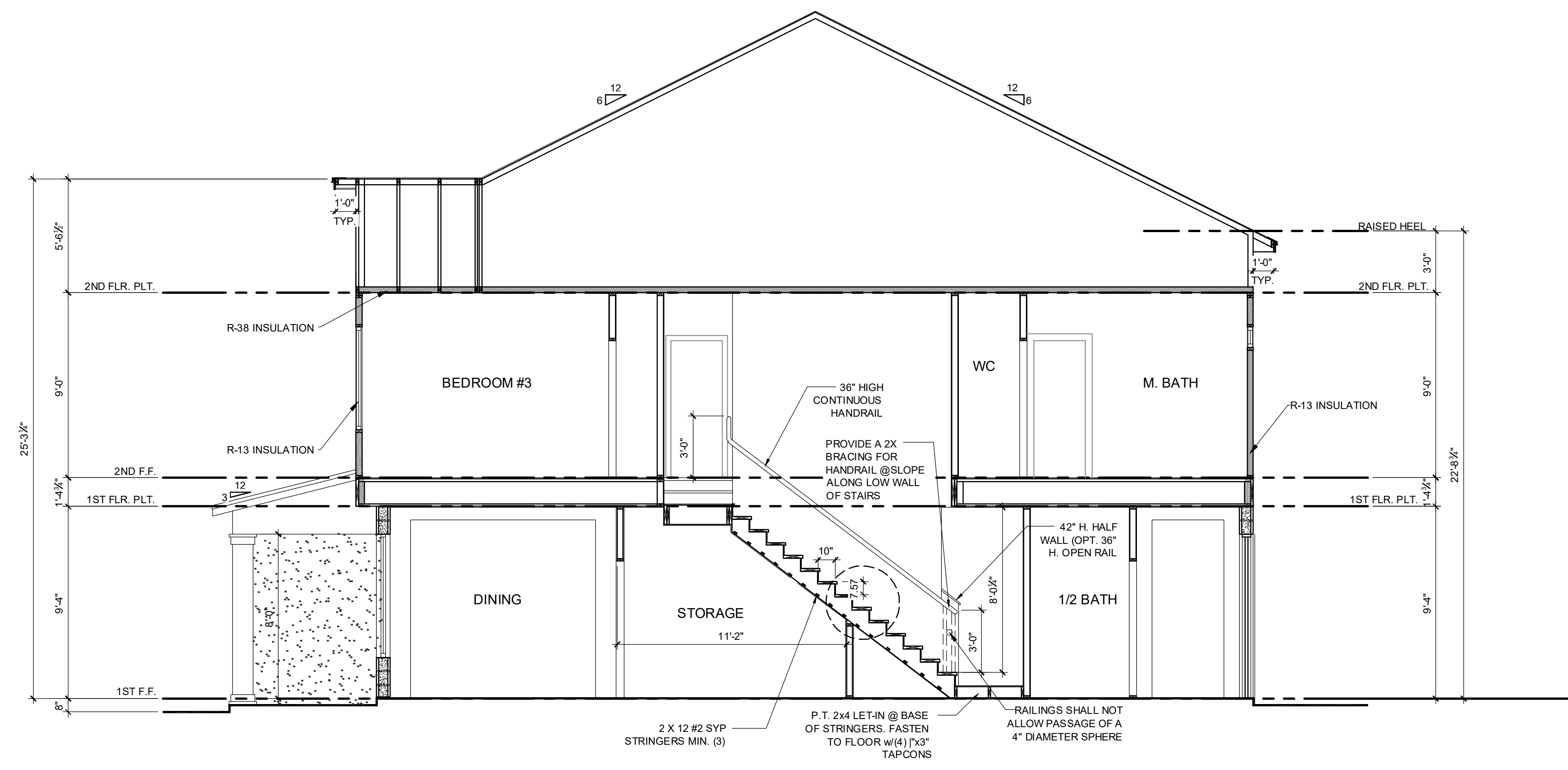
- R312.1 Guards.**
Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.
- R312.1.1 Where required.**
Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.
- R312.1.2 Height.**
Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.
- Exceptions:**
1. Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
2. Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.
- R312.1.3 Opening limitations.**
Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.
- Exceptions:**
1. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.
- R312.1.4 Exterior plastic composite guards.**
Plastic composite exterior guards shall comply with the requirements of Section R317.4.



SECTION - KEY PLAN
1/32" = 1'-0"

2023 FBCR:

- R311.7.5.1 Risers.**
The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.
- R311.7.5.2 Tread.**
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- R311.7.5.2.1 Winder treads.**
Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.
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- R311.7.8 Handrails.**
Handrails shall be provided on not less than one side of each flight with four or more risers.
- R311.7.8.1 Height.**
Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).
- R311.7.8.2 Continuity.**
Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.
- R311.7.8.3 Grip-size.**
Required handrails shall be one of the following types or provide equivalent graspability.
1. Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
2. Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



A 2-STORY STAIR SECTION - 1840
1/4" = 1'-0"

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Beverly Hills, FL 32705
Tel: (407) 580-2333

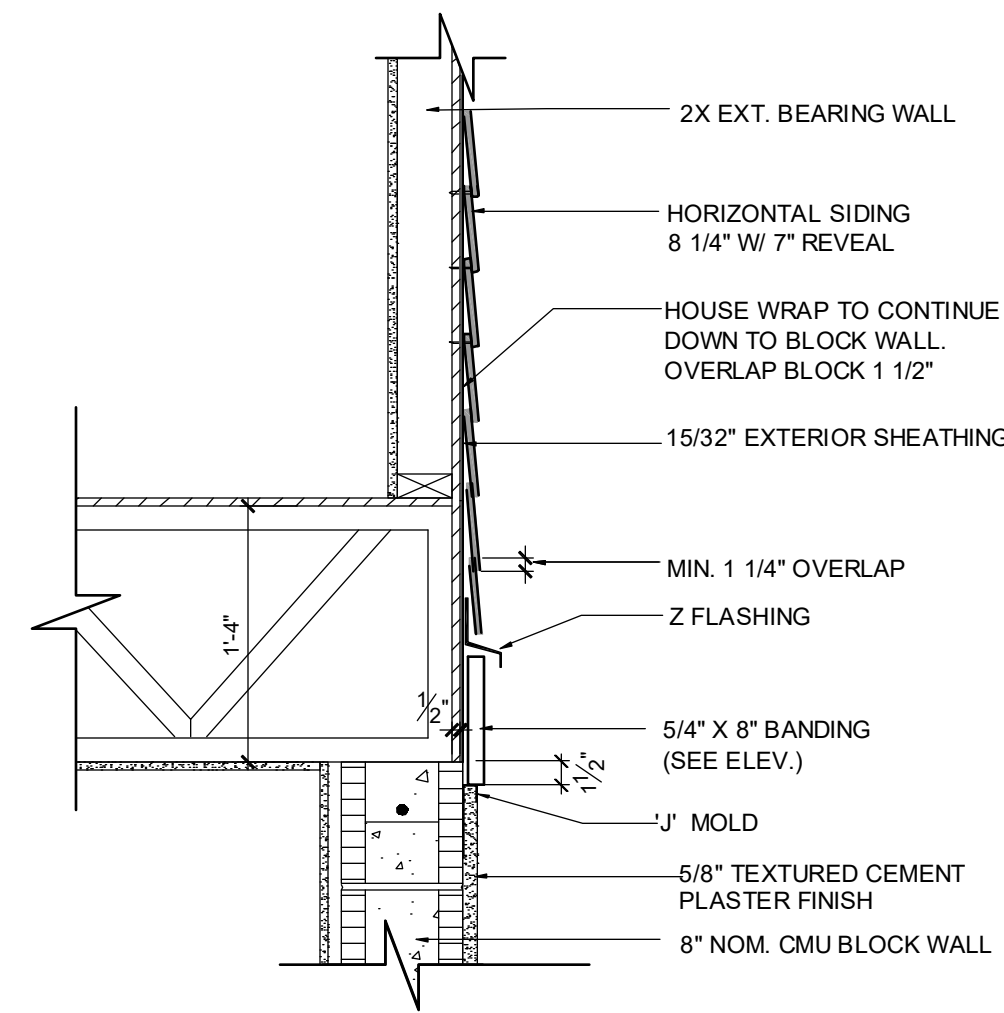
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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title: **1840 - JEFFERSON STAIR SECTION**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

2.0B ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



B BELLY BAND TRIM DETAIL AT T.O.M.
 ABV. SMOOTH SAND FINISH
 SCALE: 1" = 1'-0"

ALL GUARDRAILS AND HANDRAILS TO COMPLY WITH R301 AND TABLE R301.5 PER FBCR 2023, 8TH EDITION

2023 FBCR :

R312.1 Guards.
 Guards shall be provided in accordance with Sections R312.1.1 through R312.1.4.

R312.1.1 Where required.
 Guards shall be provided for those portions of open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 24 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.

R312.1.2 Height.
 Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads.

Exceptions:

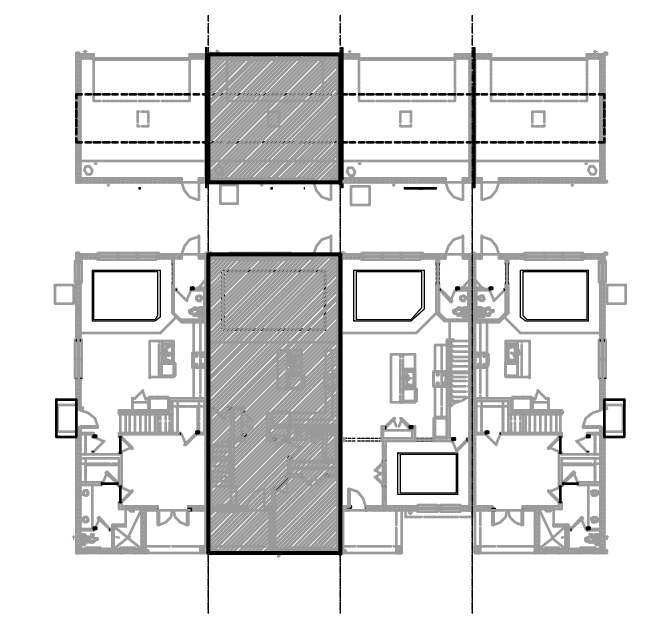
- Guards on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.
- Where the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall not be less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

R312.1.3 Opening limitations.
 Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

- The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
- Guards on the open side of stairs shall not have openings which allow passage of a sphere 4 3/8 inches (111 mm) in diameter.

R312.1.4 Exterior plastic composite guards.
 Plastic composite exterior guards shall comply with the requirements of Section R317.4.



SECTION - KEY PLAN
 1/32" = 1'-0"

2023 FBCR:

R311.7.5.1 Risers.
 The riser height shall be not more than 7 3/4 inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Risers shall be vertical or sloped from the underside of the nosing of the tread above. Open risers are permitted, provided that the openings located more than 30 inches (762mm), as measured vertically, to the floor or grade below do not permit the passage of a 4-inch diameter (102 mm) sphere.

R311.7.5.2 Tread.
 The tread depth shall be not less than 10 inches (254 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

R311.7.5.2.1 Winder treads.
 Winder treads shall have a tread depth not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth not less than 6 inches (152 mm) at any point within the clear width of the stair. Within any flight of stairs, the largest winder tread depth at the walkline shall not exceed the smallest winder tread by more than 3/8 inch (9.5 mm). Consistently shaped winders at the walkline shall be allowed within the same flight of stairs as rectangular treads and do not have to be within 3/8 inch (9.5 mm) of the rectangular tread depth.

R311.7.5.3 Nosings.
 Nosing of treads, landings and floors of stairways shall have a radius of curvature at the nosing not greater than 9/16 inch (14mm) or a bevel not exceeding 1/2 inch (12.7mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 1 1/4 inches (32 mm) shall be provided on stairways. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) within a stairway.

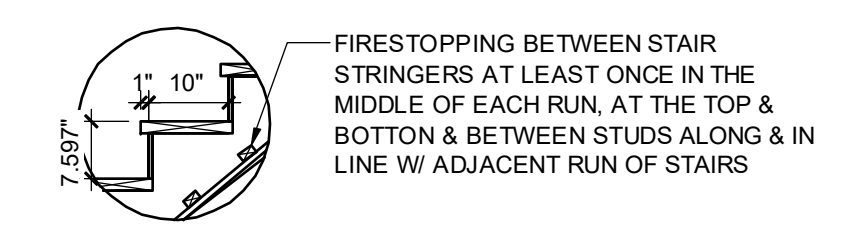
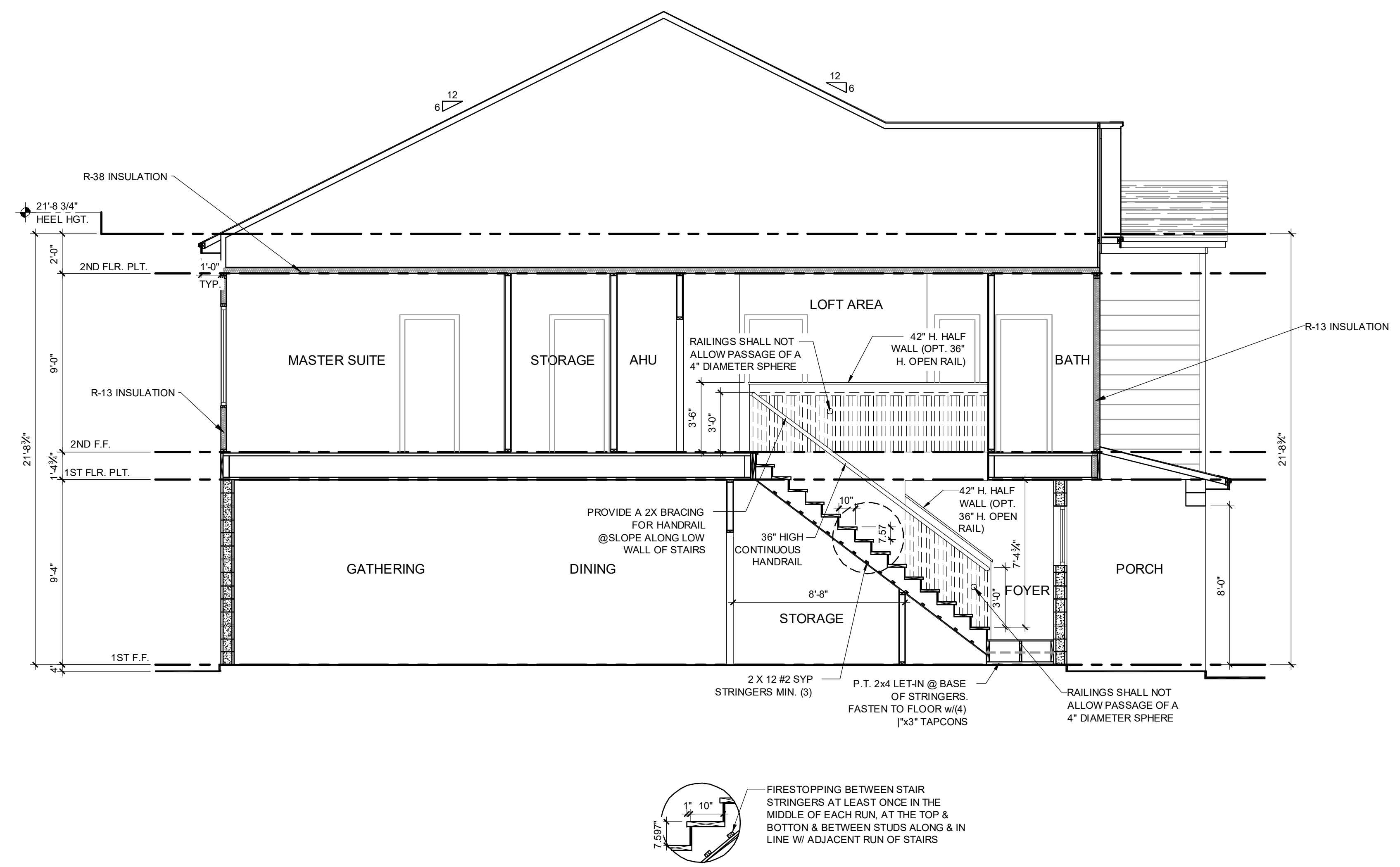
R311.7.8 Handrails.
 Handrails shall be provided on not less than one side of each flight with four or more risers.

R311.7.8.1 Height.
 Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

R311.7.8.2 Continuity.
 Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inches (38 mm) between the wall and the handrails.

R311.7.8.3 Grip-size.
 Required handrails shall be one of the following types or provide equivalent graspability.

- Type I. Handrails with a circular cross section shall have an outside diameter of not less than 1 1/4 inches (32 mm) and not greater than 2 inches (51 mm). If the handrail is not circular, it shall have a perimeter dimension of not less than 4 inches (102 mm) and not greater than 6 1/4 inches (160 mm) with a cross section of dimension of not more than 2 1/4 inches (57 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).
- Type II. Handrails with a perimeter greater than 6 1/4 inches (160 mm) shall have a graspable finger recess area on both sides of the profile. The finger recess shall begin within a distance of 3/4 inch (19 mm) measured vertically from the tallest portion of the profile and achieve a depth of not less than 5/16 inch (8 mm) within 7/8 inch (22 mm) below the widest portion of the profile. This required depth shall continue for not less than 3/8 inch (10 mm) to a level that is not less than 1 3/4 inches (45 mm) below the tallest portion of the profile. The width of the handrail above the recess shall be not less than 1 1/4 inches (32 mm) and not more than 2 3/4 inches (70 mm). Edges shall have a radius of not less than 0.01 inch (0.25 mm).



A 2-STORY STAIR SECTION - 2024
 1/4" = 1'-0"

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 □ CARL A. BROWN, PE - FL # 54128
 □ SCOTT LEWIS, PE - FL # 27970
 DATE: June 11, 2024
 11:44:42 AM
 THE SEAL OF THE ENGINEER ARCHITECT MUST BE PLACED ON THE DRAWING IN THE LOCATION INDICATED BY THE SYMBOL.

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
2024 - MADISON STAIR SECTION

project no. 2022142
 checked: BF
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

2.0C ELEV. A

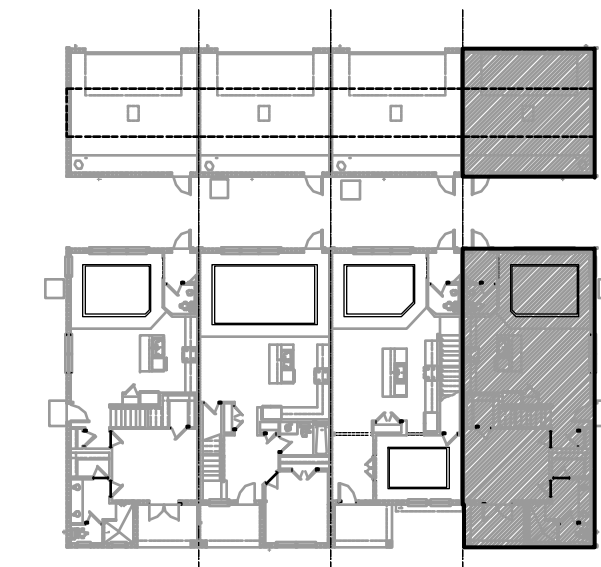
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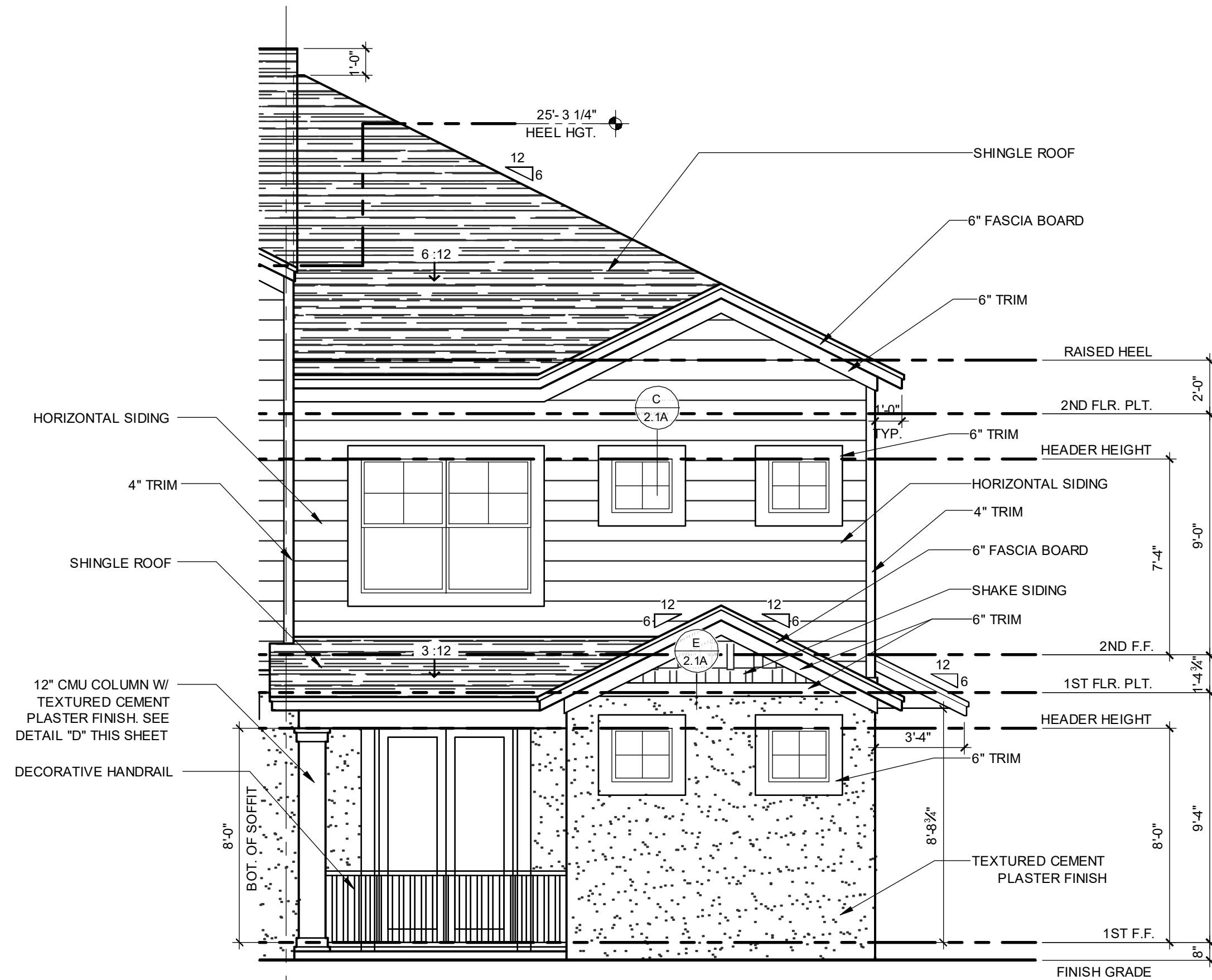
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G.C. TO VERIFY FASCIA CALLOUT



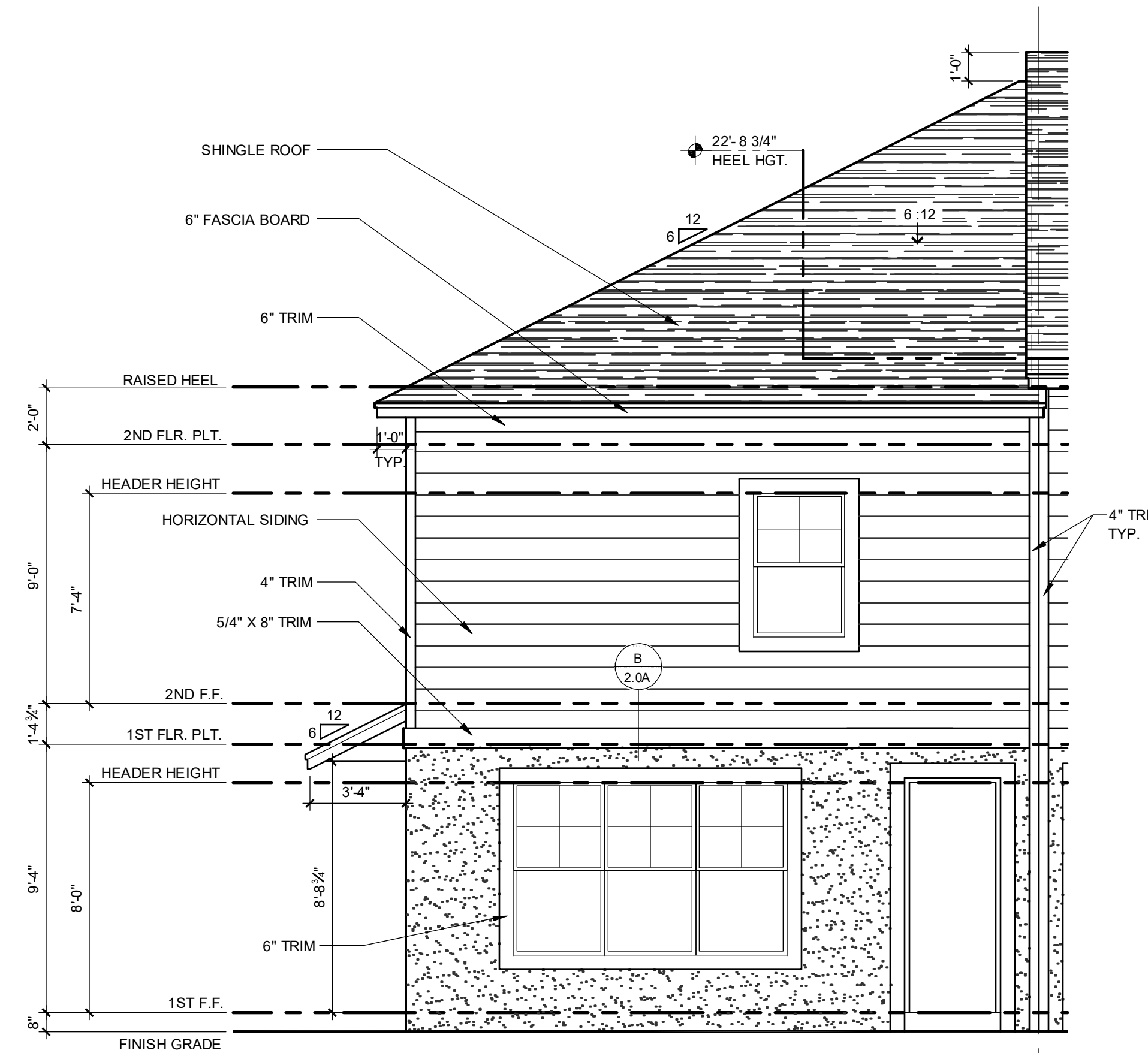
ELEVATION - KEY PLAN

1/32" = 1'-0"



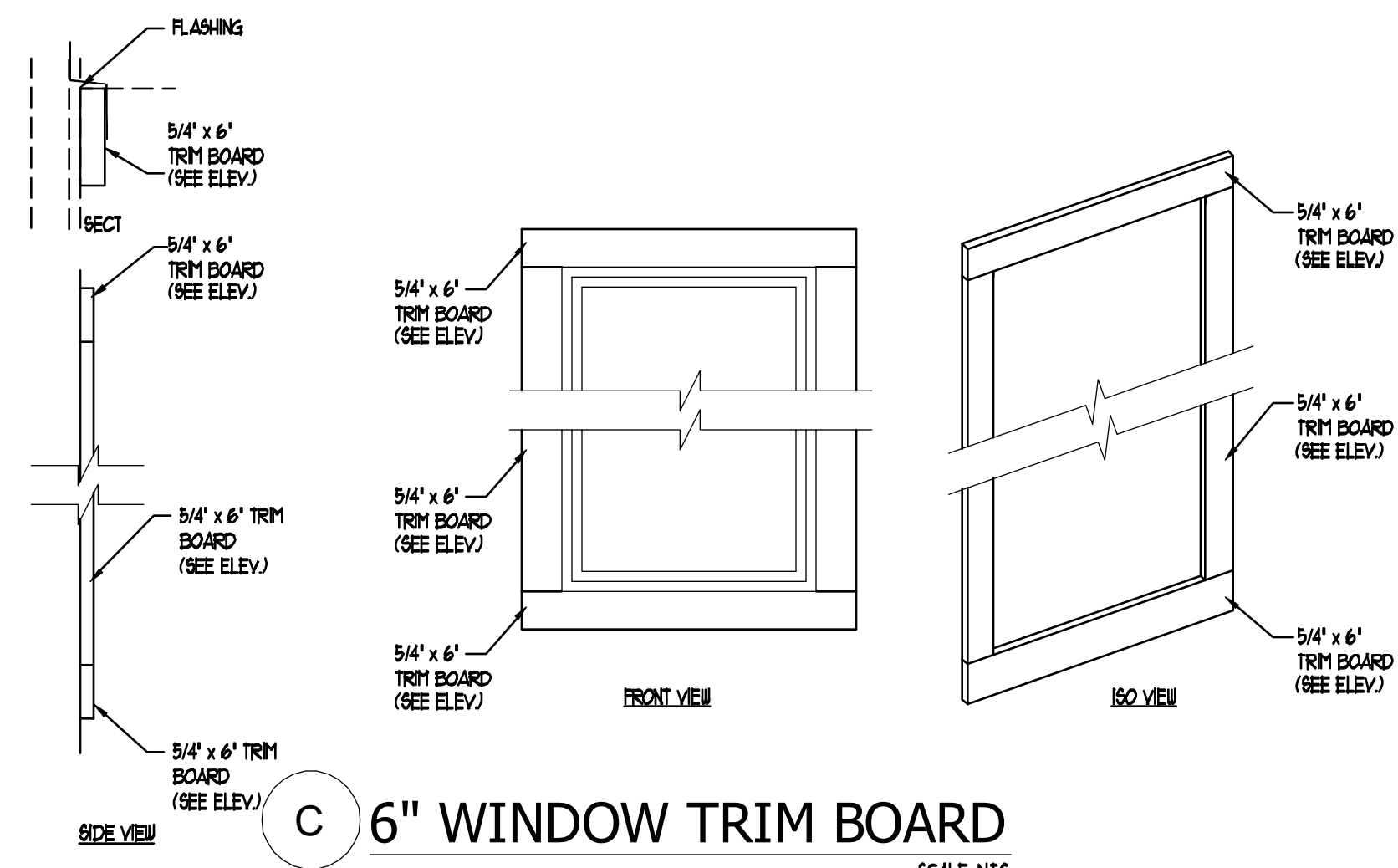
1914 - ADAMS FRONT ELEVATION "A"

1/4" = 1'-0"



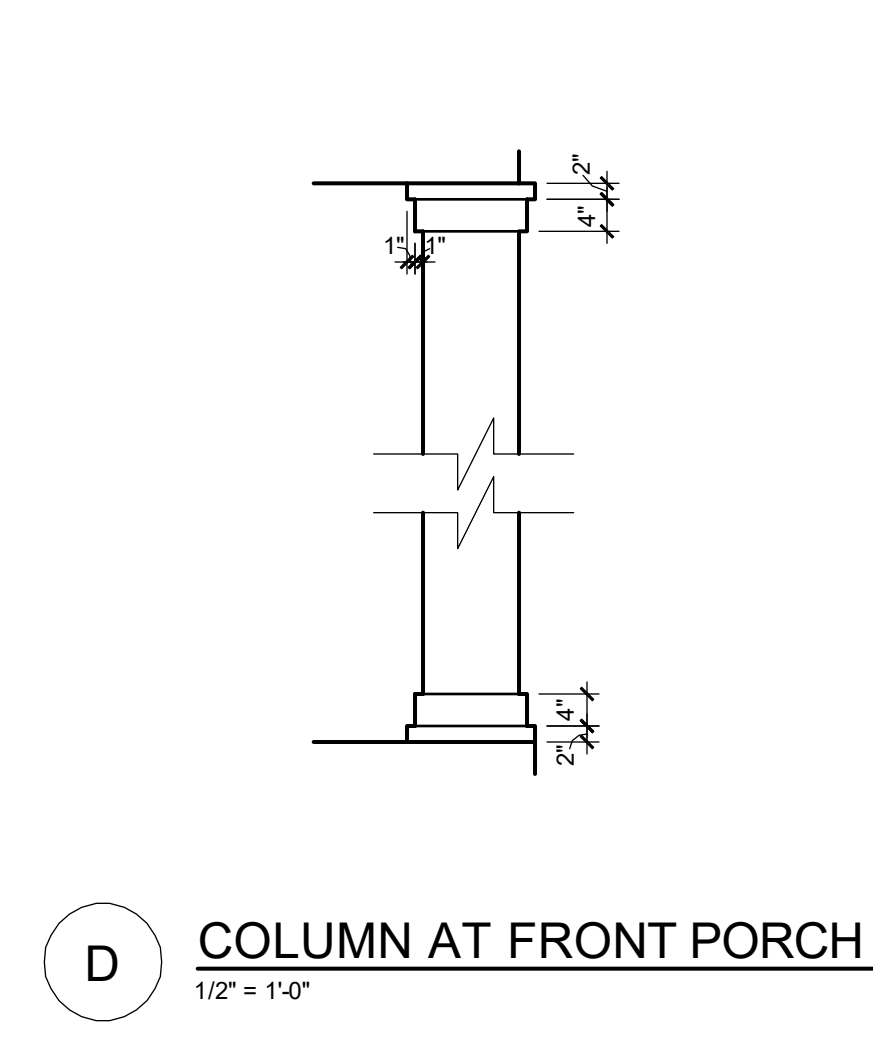
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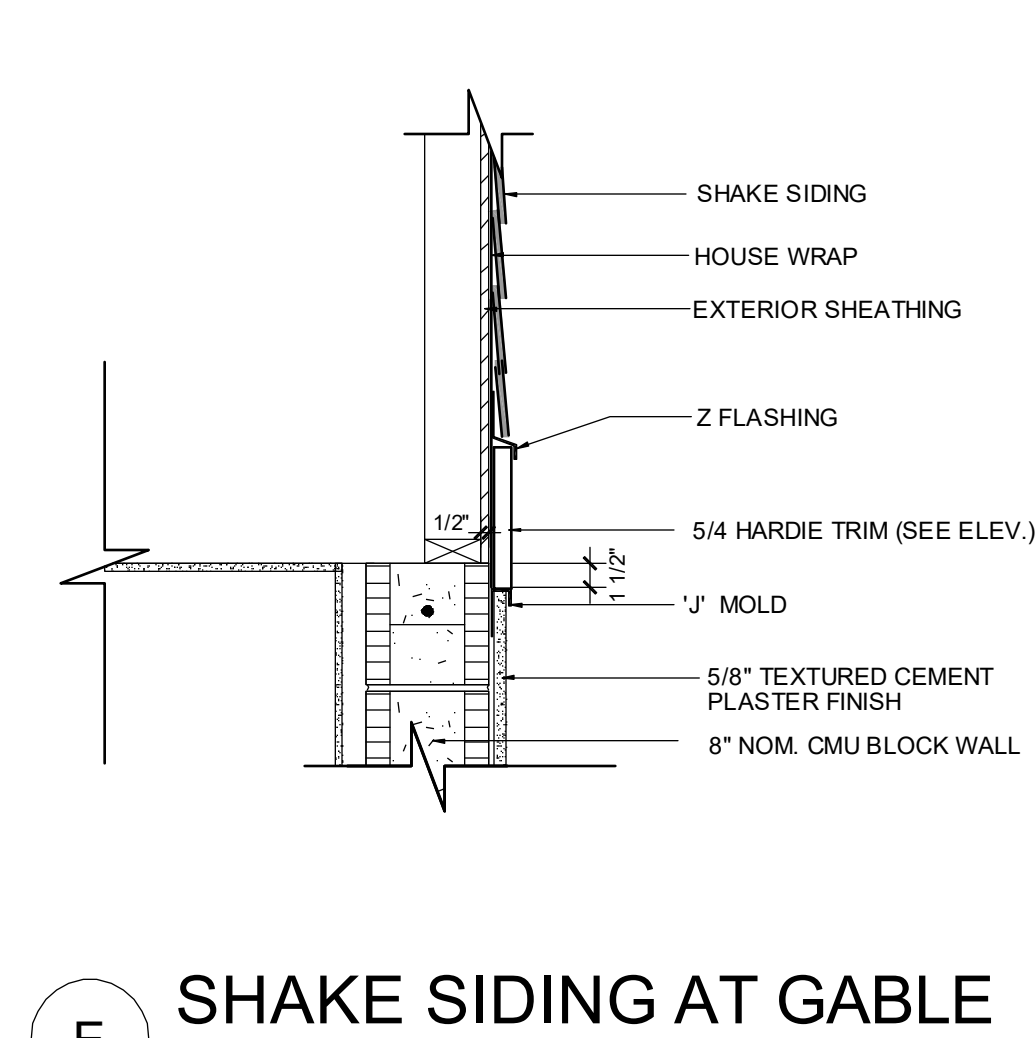
C 6" WINDOW TRIM BOARD

SCALE: N.T.S.



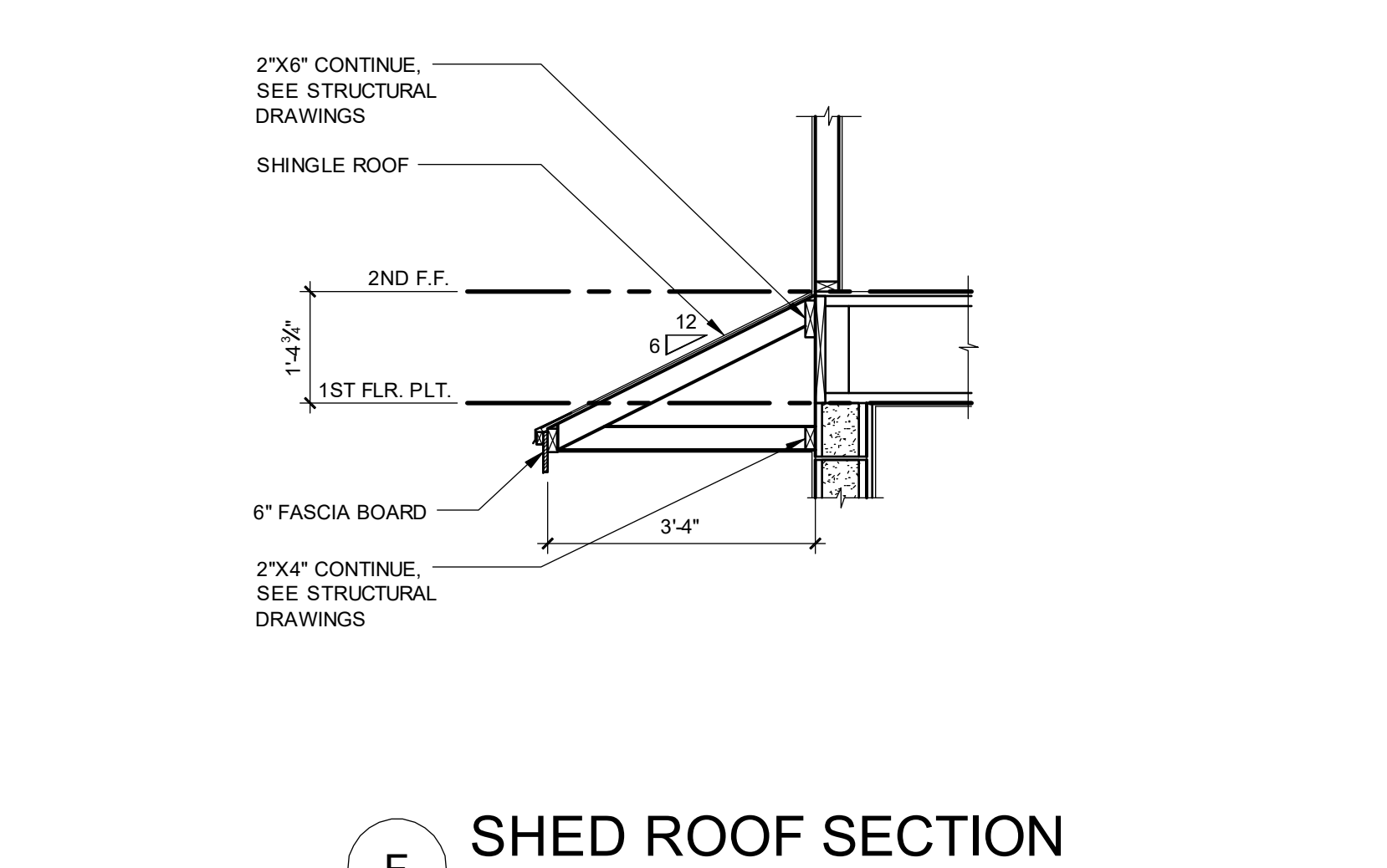
D COLUMN AT FRONT PORCH

1/2" = 1'-0"



E SHAKE SIDING AT GABLE

SCALE: 1" = 1'-0"



F SHED ROOF SECTION

SCALE: 1/2" = 1'-0"

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
1914 - ADAMS EXT. ELEVATIONS

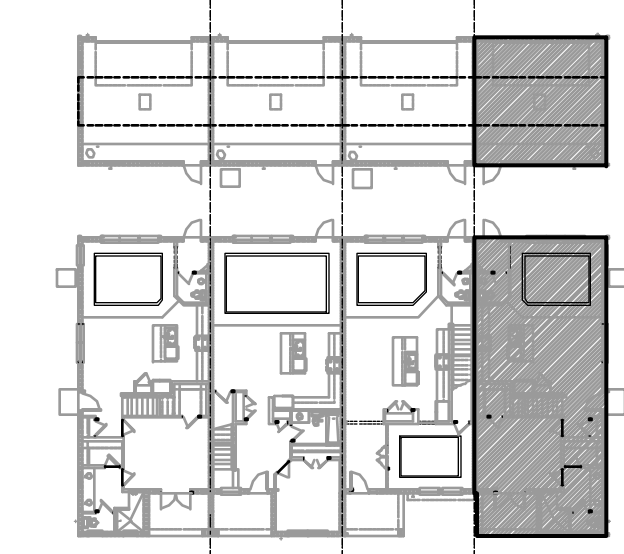
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

2.1A ELEV. A

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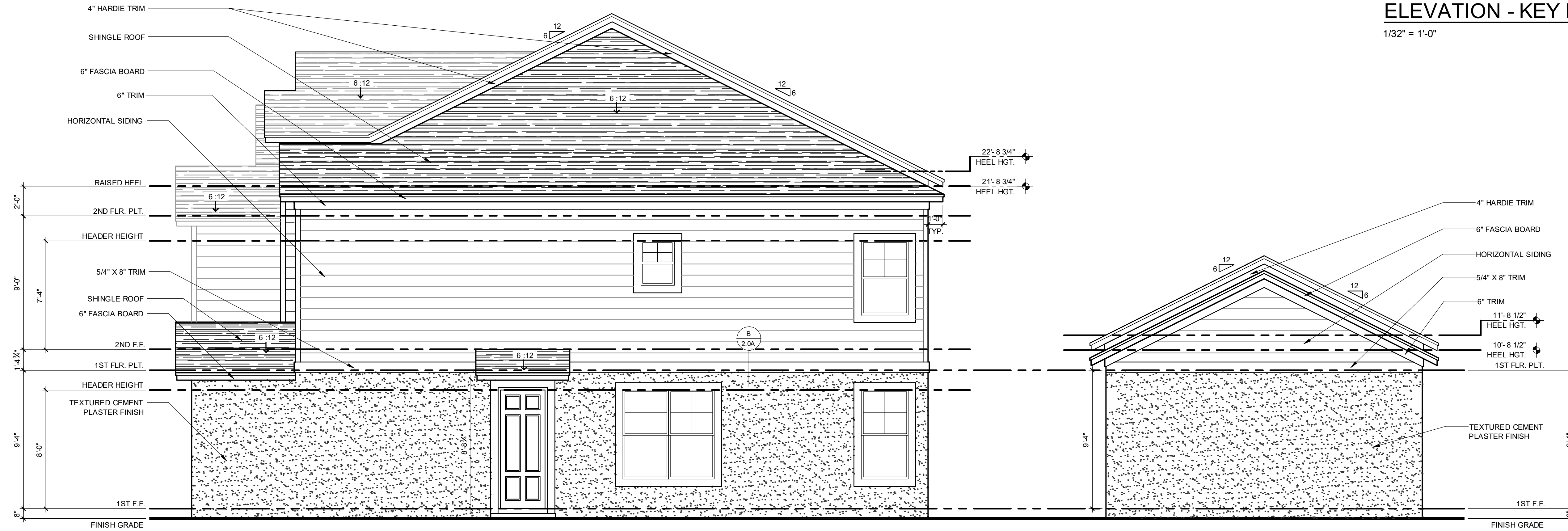
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ELEVATION - KEY PLAN

1/32" = 1'-0"



**1914 - ADAMS
RIGHT ELEVATION "A"**
1/4" = 1'-0"

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FL # 11111
JULY 11, 2024

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**2.2A
ELEV. A**

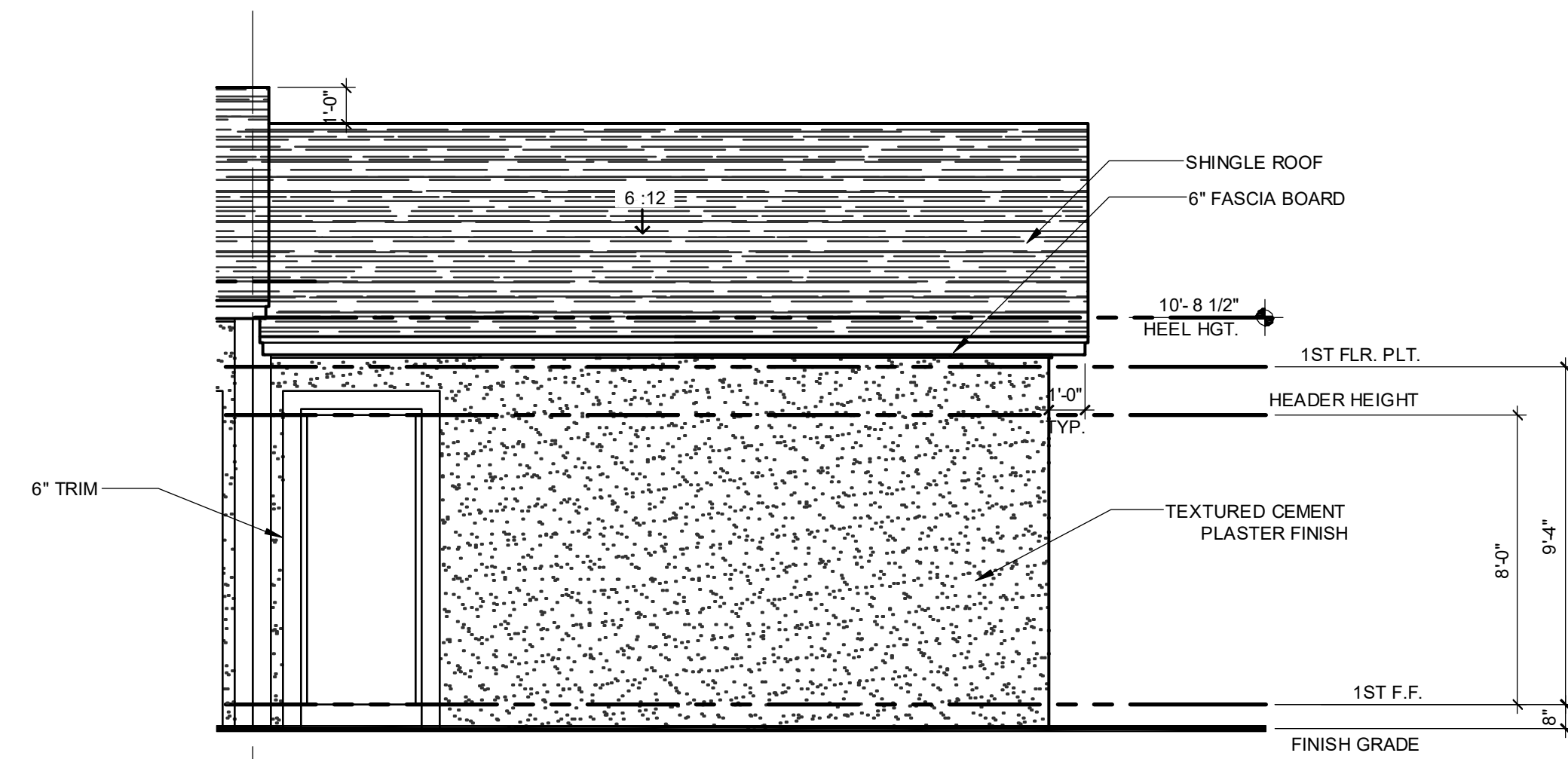
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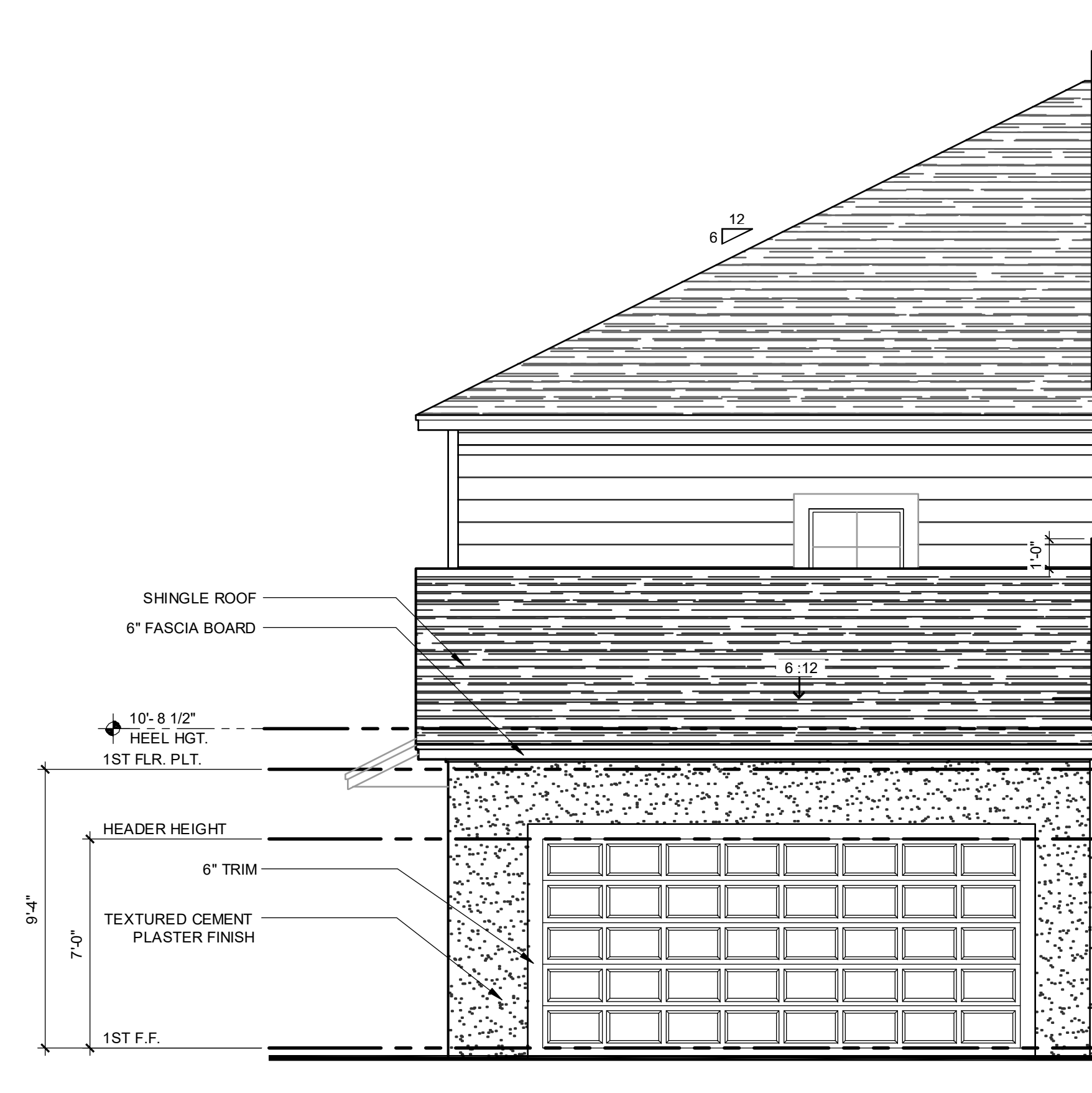
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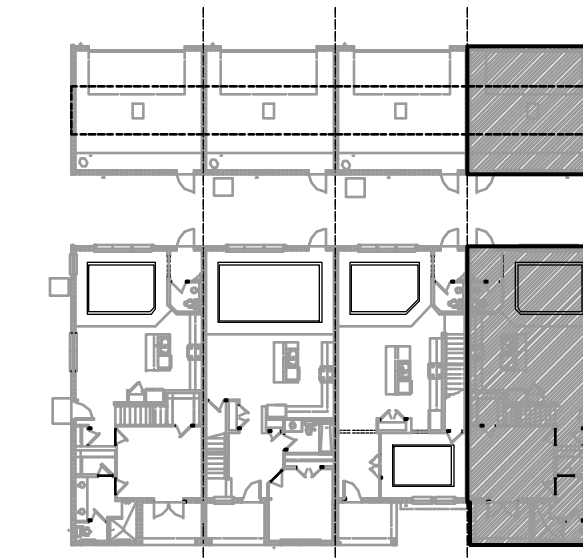
1914 - ADAMS

FRONT ELEVATION "A" - GARAGE
1/4" = 1'-0"



1914 - ADAMS

REAR ELEVATION "A" - GARAGE
1/4" = 1'-0"



ELEVATION - KEY PLAN

1/32" = 1'-0"

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
1914 - ADAMS
EXT. ELEVATIONS

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

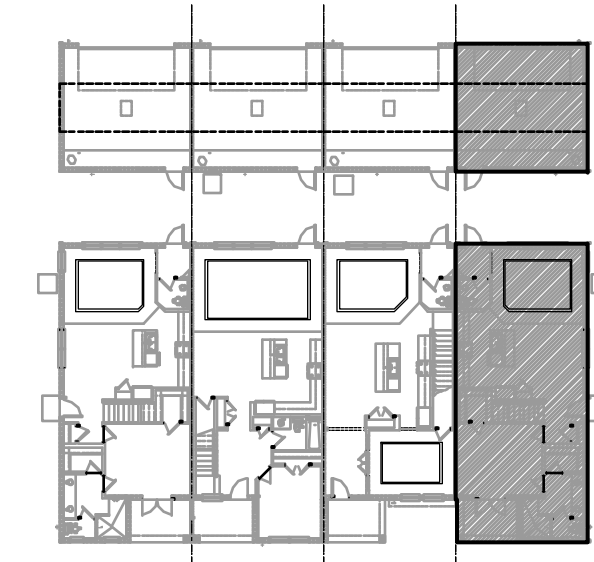
2.3A
ELEV. A

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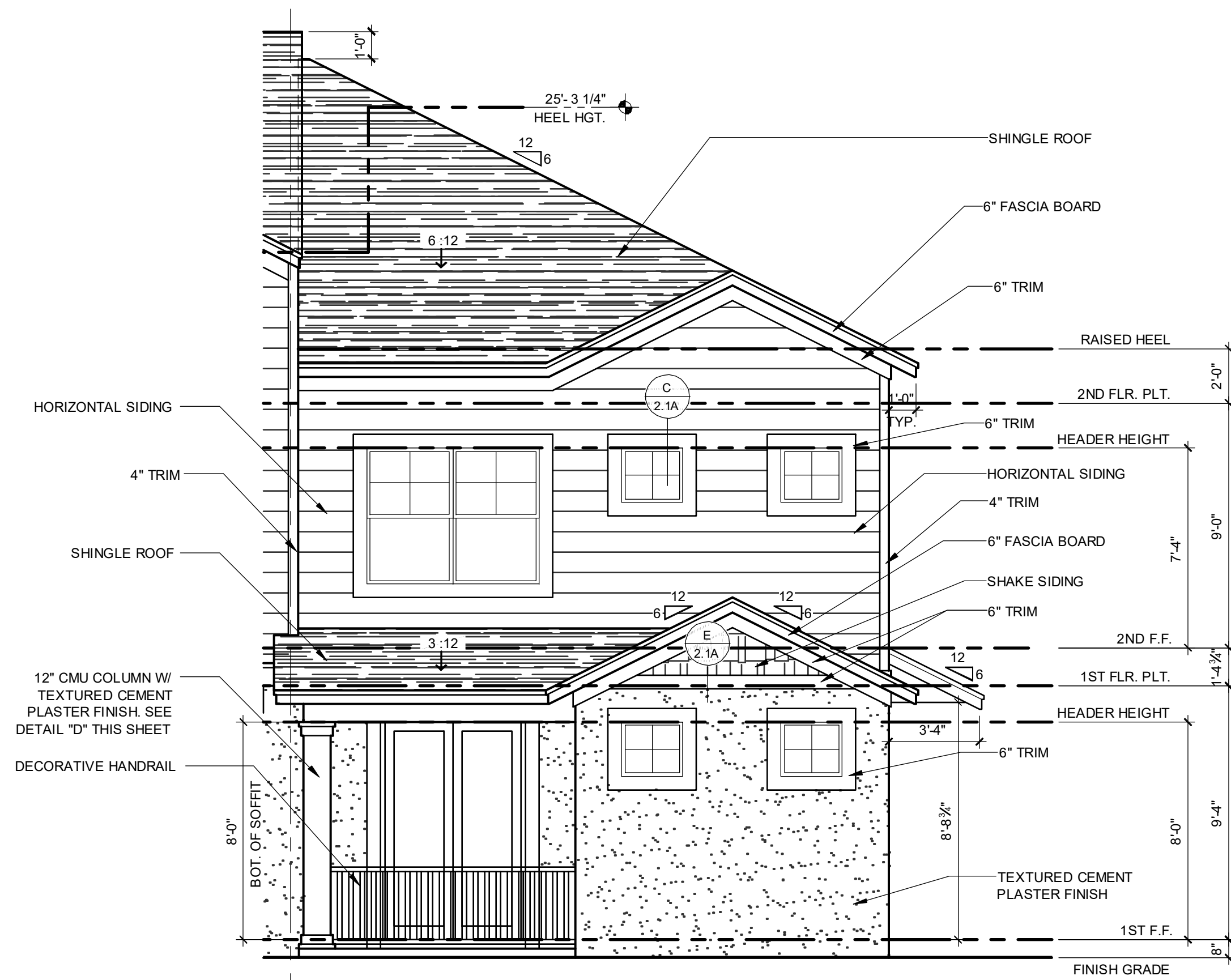
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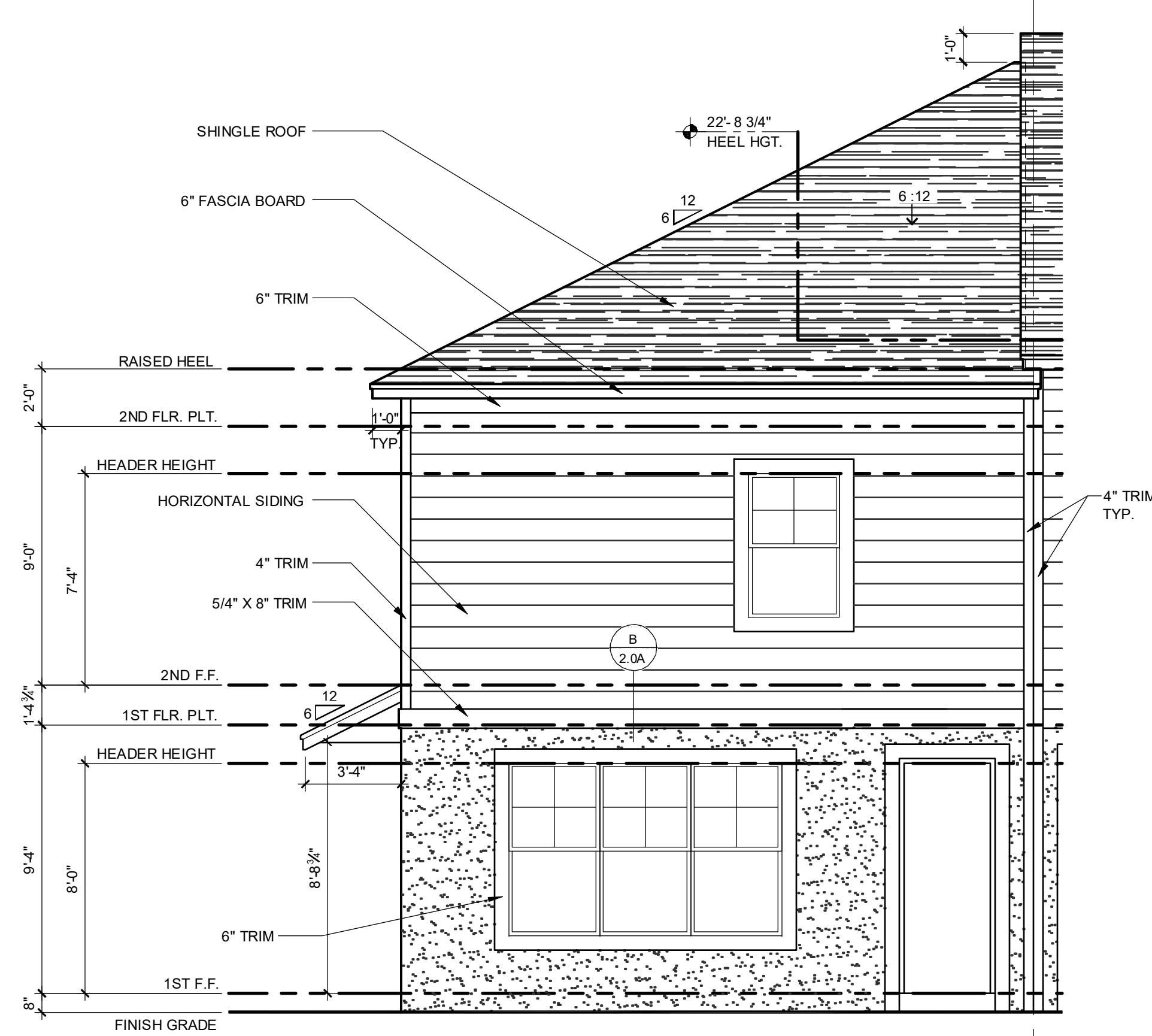
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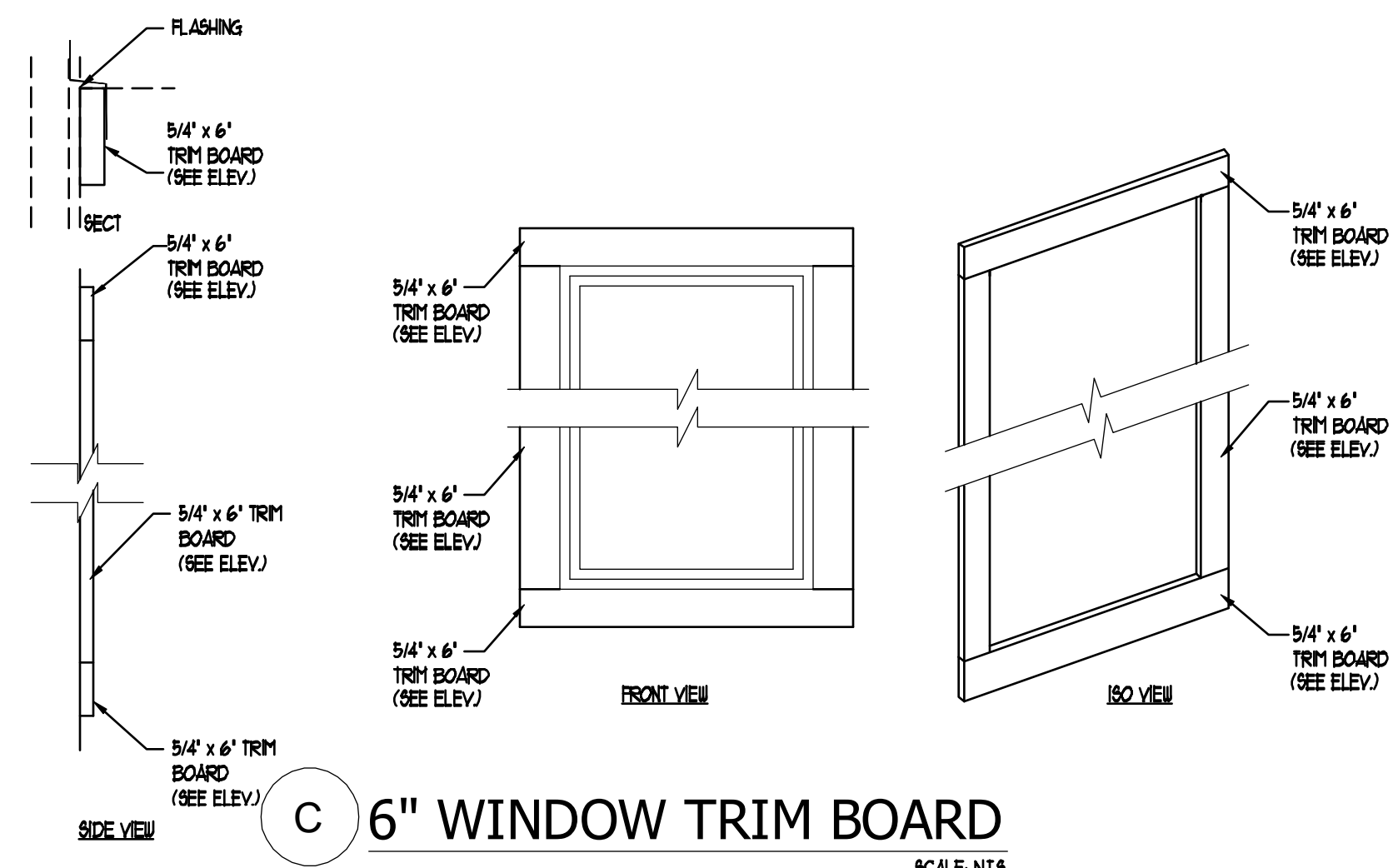
ELEVATION - KEY PLAN
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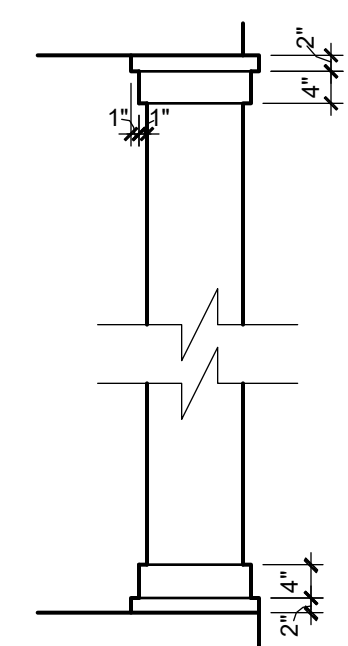
1914 - ADAMS FRONT ELEVATION "A"
1/4" = 1'-0"



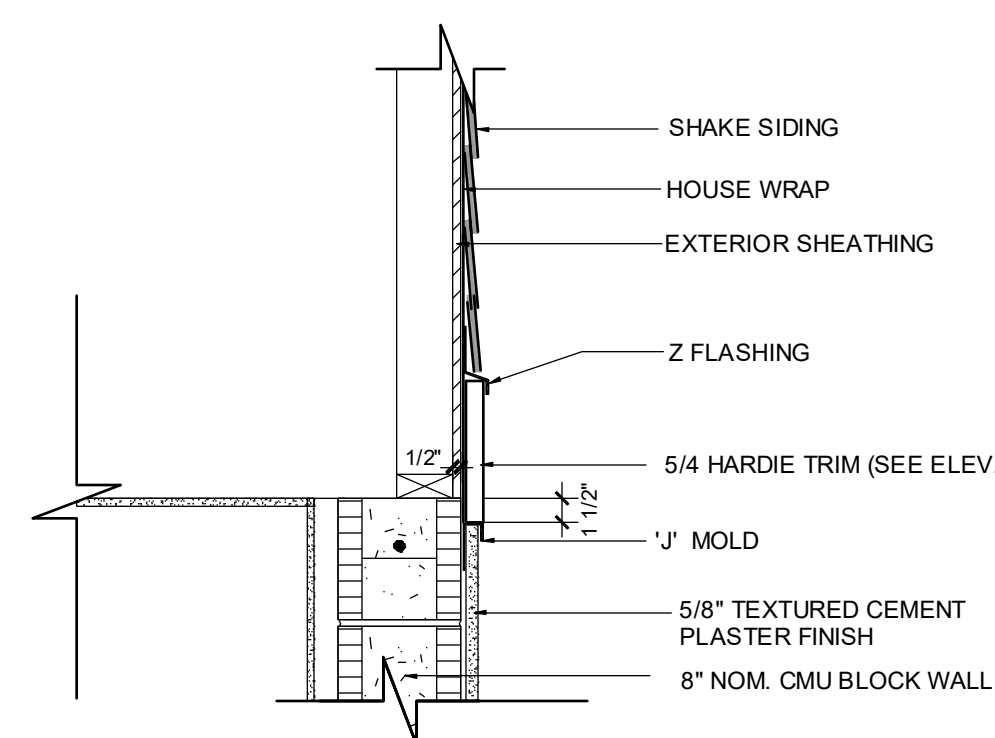
1914 - ADAMS REAR ELEVATION "A"
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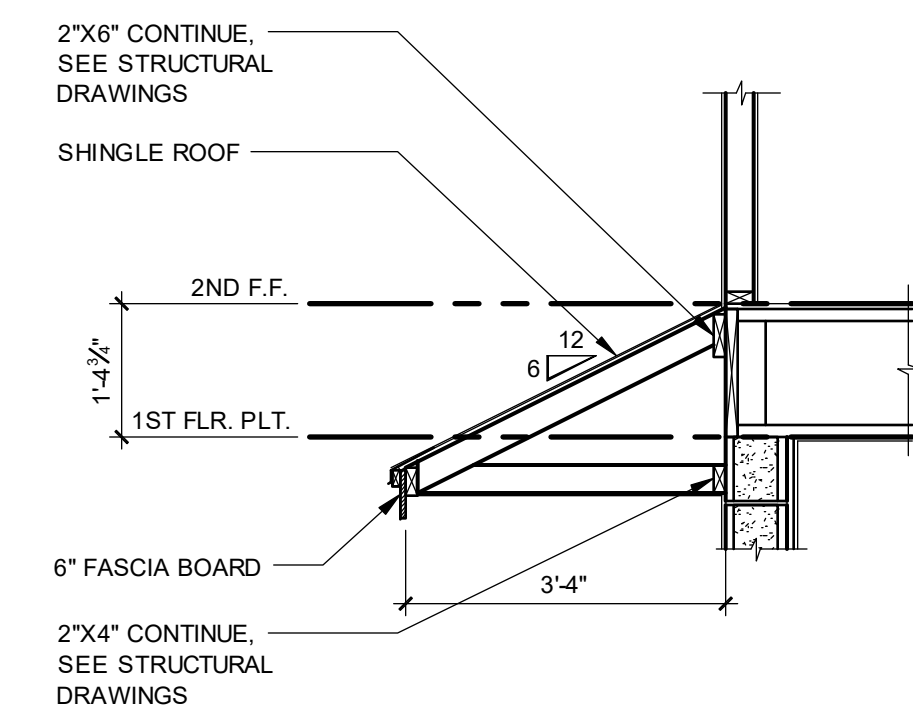
C 6" WINDOW TRIM BOARD
SCALE: N.T.S.



D COLUMN AT FRONT PORCH
1/2" = 1'-0"



E SHAKE SIDING AT GABLE
SCALE: 1" = 1'-0"



F SHED ROOF SECTION
SCALE: 1/2" = 1'-0"

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REGISTERED PROFESSIONALS:
 CAROL A. BROWN, PE - FL # 86128
 SCOTT LEWIS, PE - FL # 79790
 DANIEL J. JONES, P.E. - FL # 84422
 DATE: JUN 11, 2024
 PROJECT: 2022142

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title: **1914 - ADAMS EXT. ELEVATIONS**

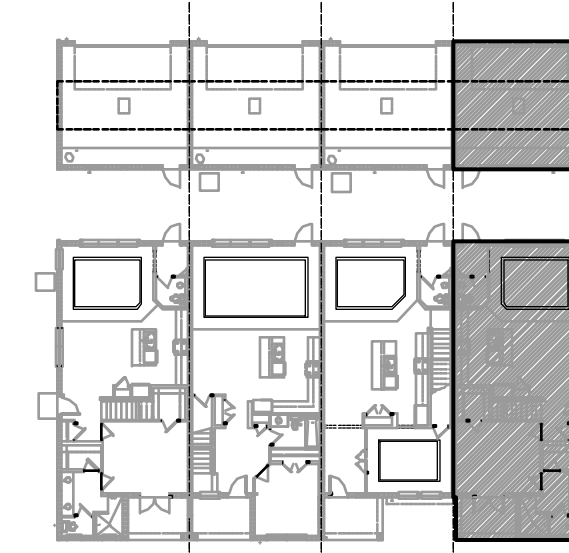
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date: 05-17-22
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2.1A ELEV. A

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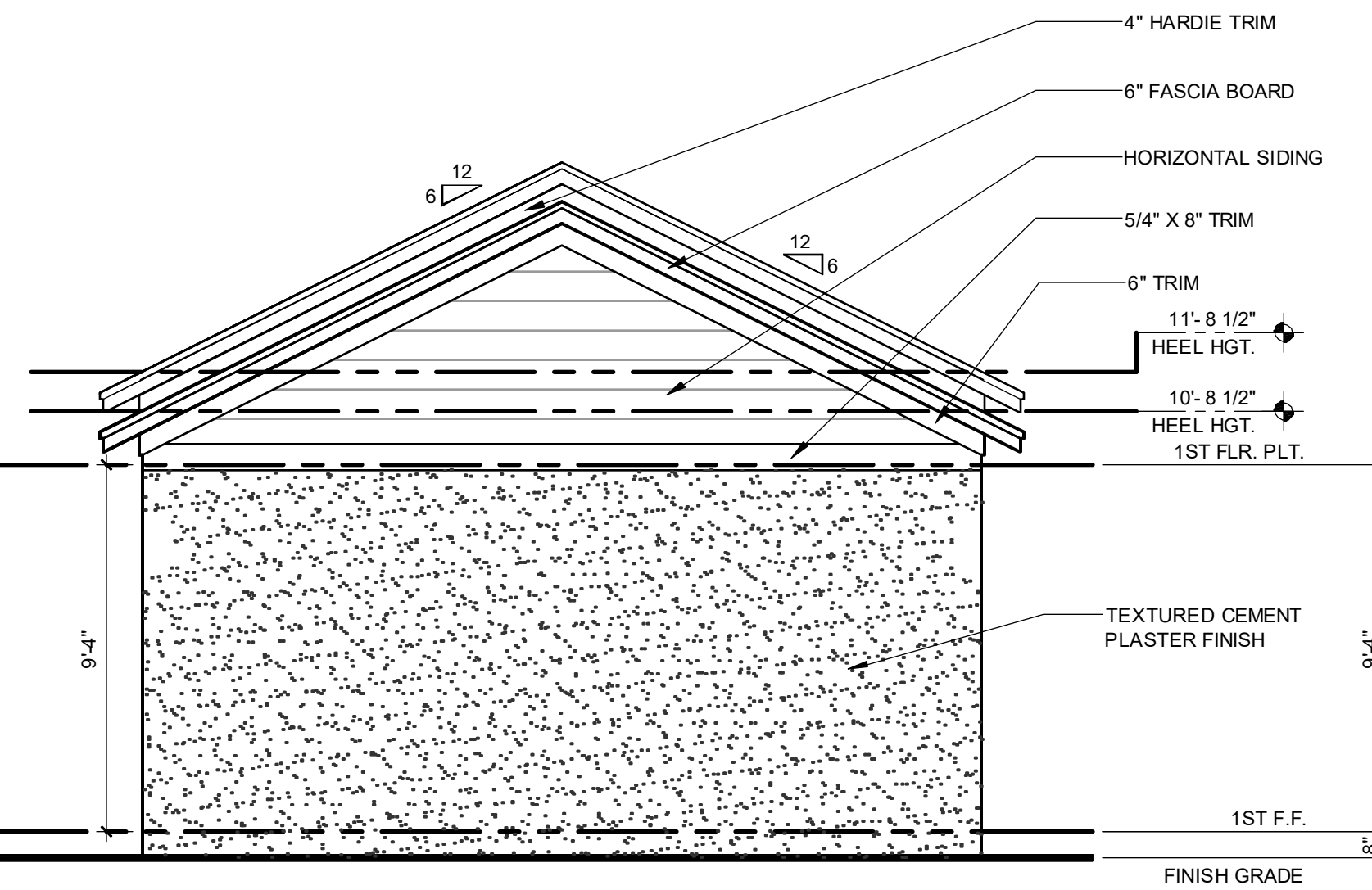
ELEVATION - KEY PLAN

1/32" = 1'-0"



**1914 - ADAMS
RIGHT ELEVATION "A"**

1/4" = 1'-0"



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REGISTERED PROFESSIONAL ARCHITECT
 CARL A. BROWN, P.E., F.L., # 89129
 JAMES W. BROWN, P.E., F.L., # 84482
 DATE: June 11, 2024

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**

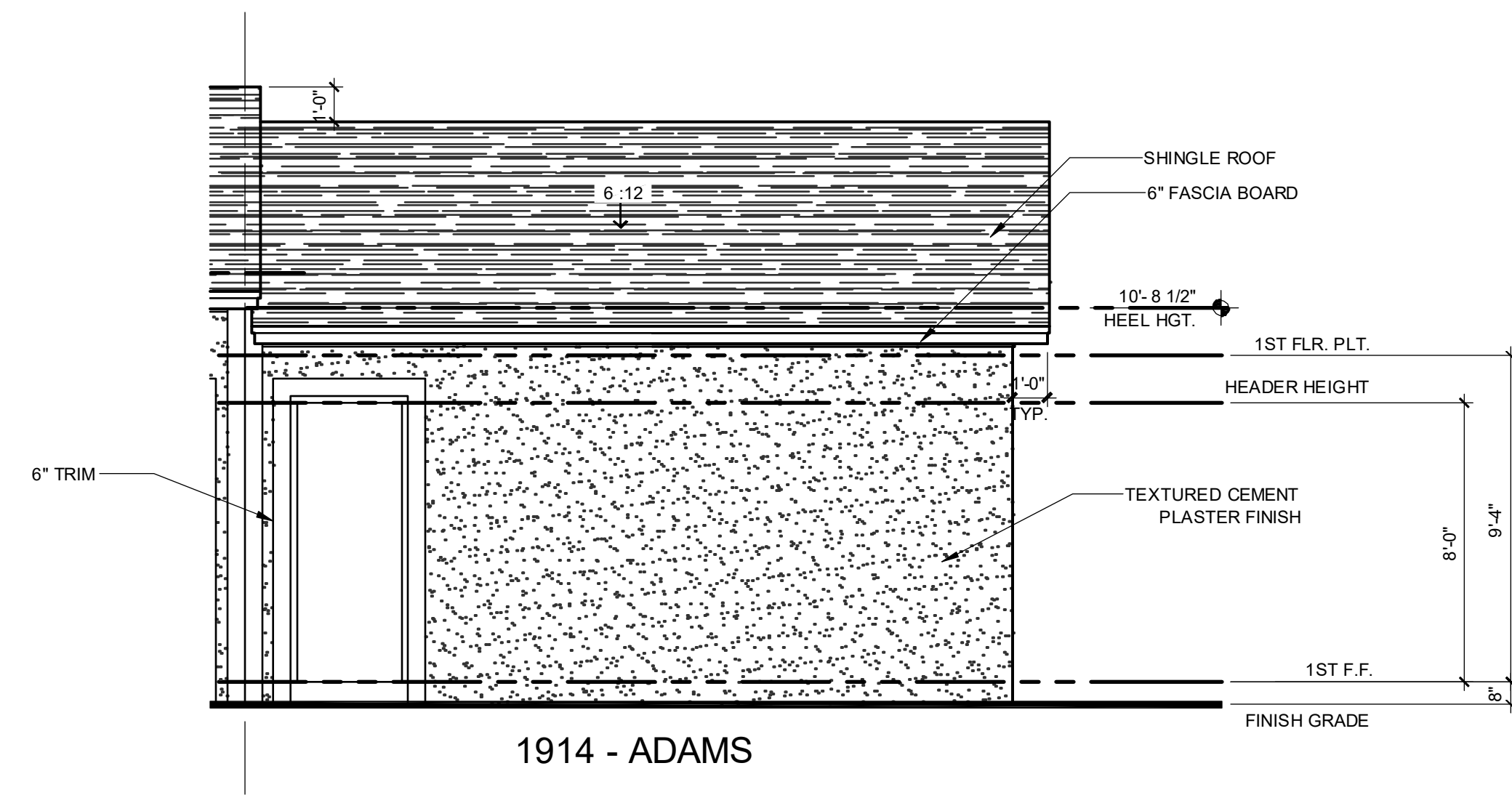
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drawn: AB
date: 05-17-22
scale: AS SHOWN

**2.2A
ELEV. A**

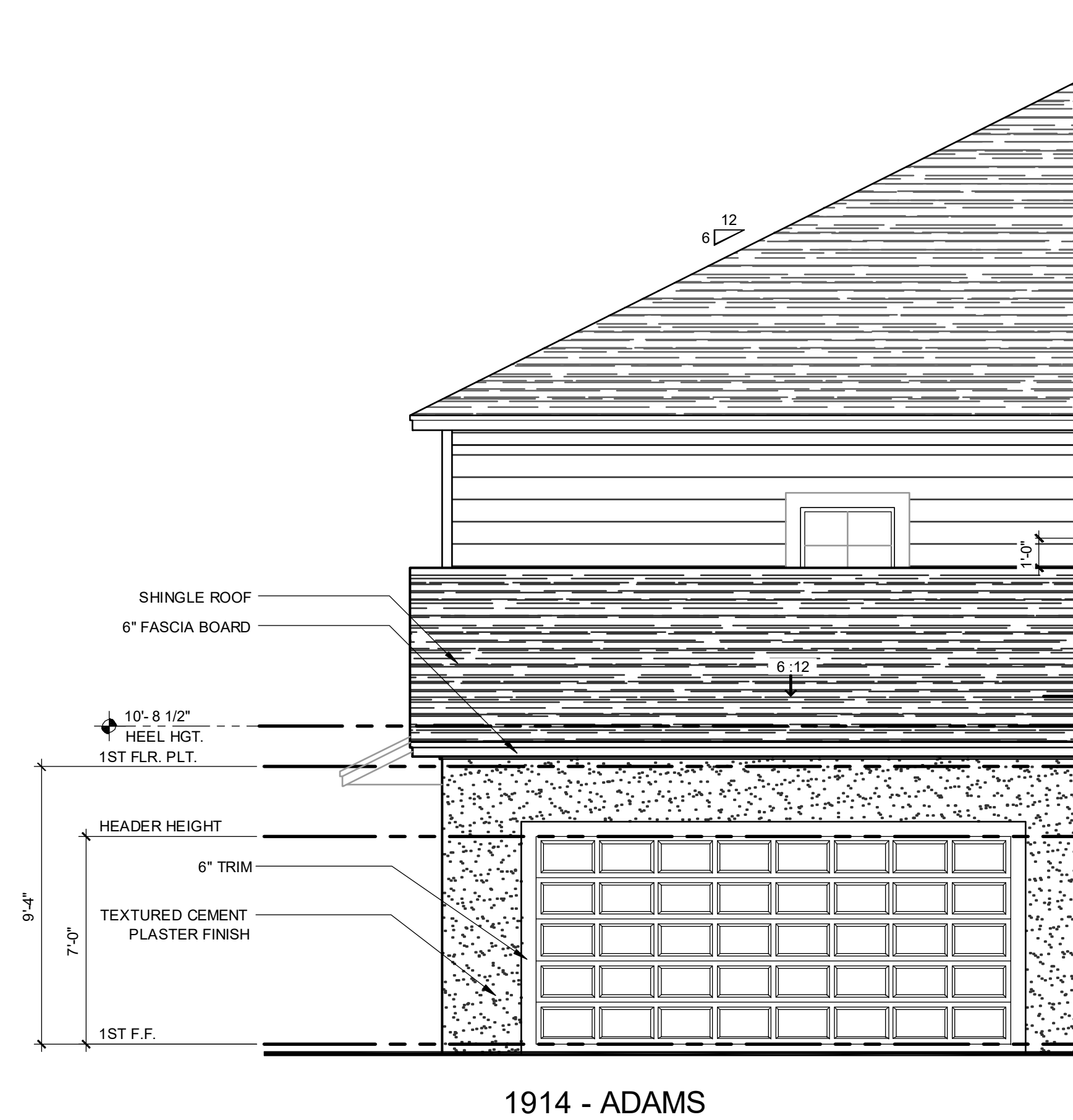
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DISCLAIMER

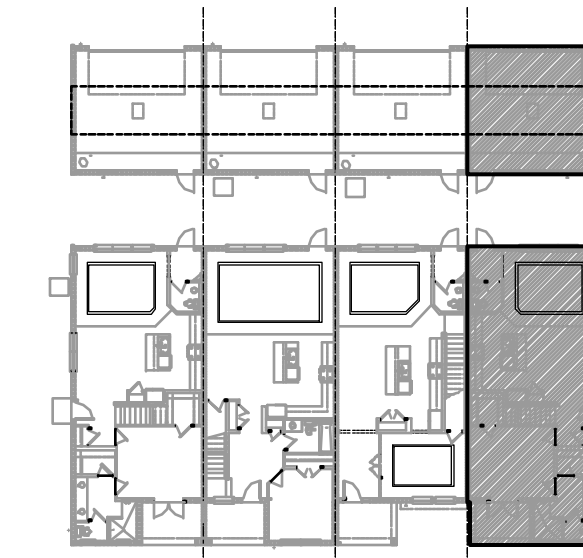
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FRONT ELEVATION "A" - GARAGE
1/4" = 1'-0"



REAR ELEVATION "A" - GARAGE
1/4" = 1'-0"



ELEVATION - KEY PLAN
1/32" = 1'-0"

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P: (407) 880-2333
DATE: June 11, 2024

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
1914 - ADAMS
EXT. ELEVATIONS

project no. 2022142
checked: BF
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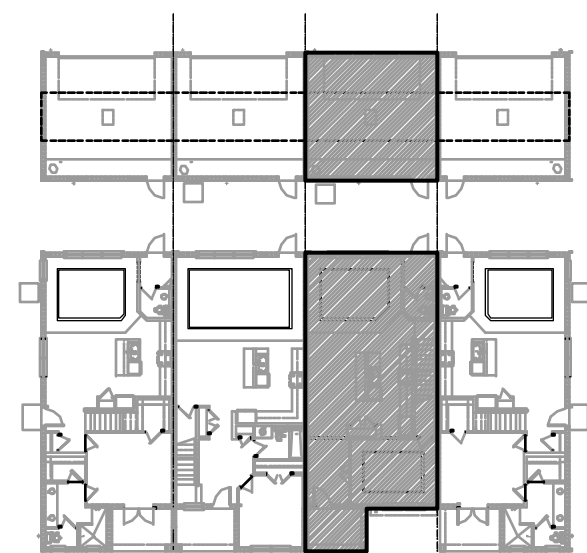
2.3A
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

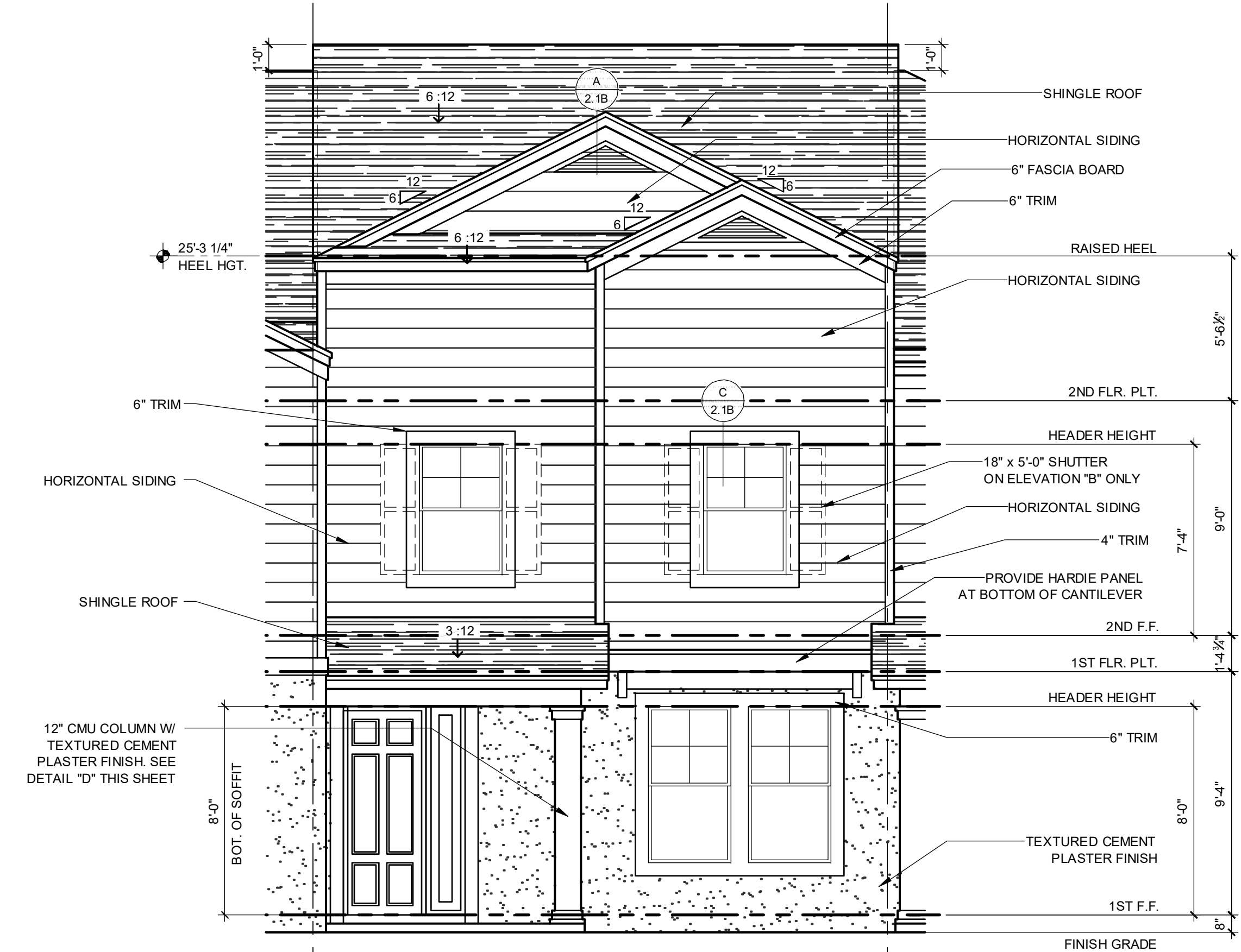
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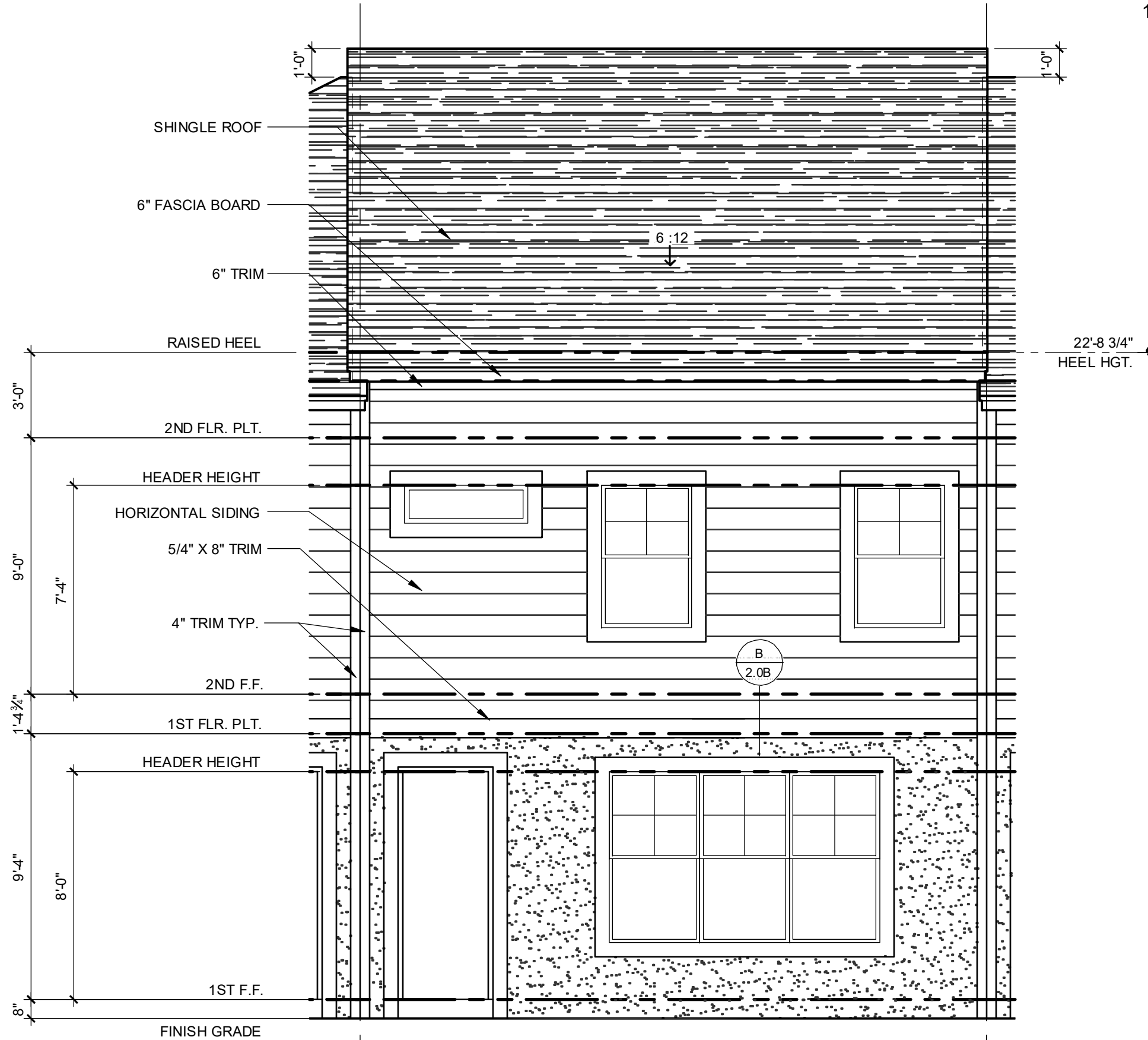
G.C. TO VERIFY FASCIA CALLOUT



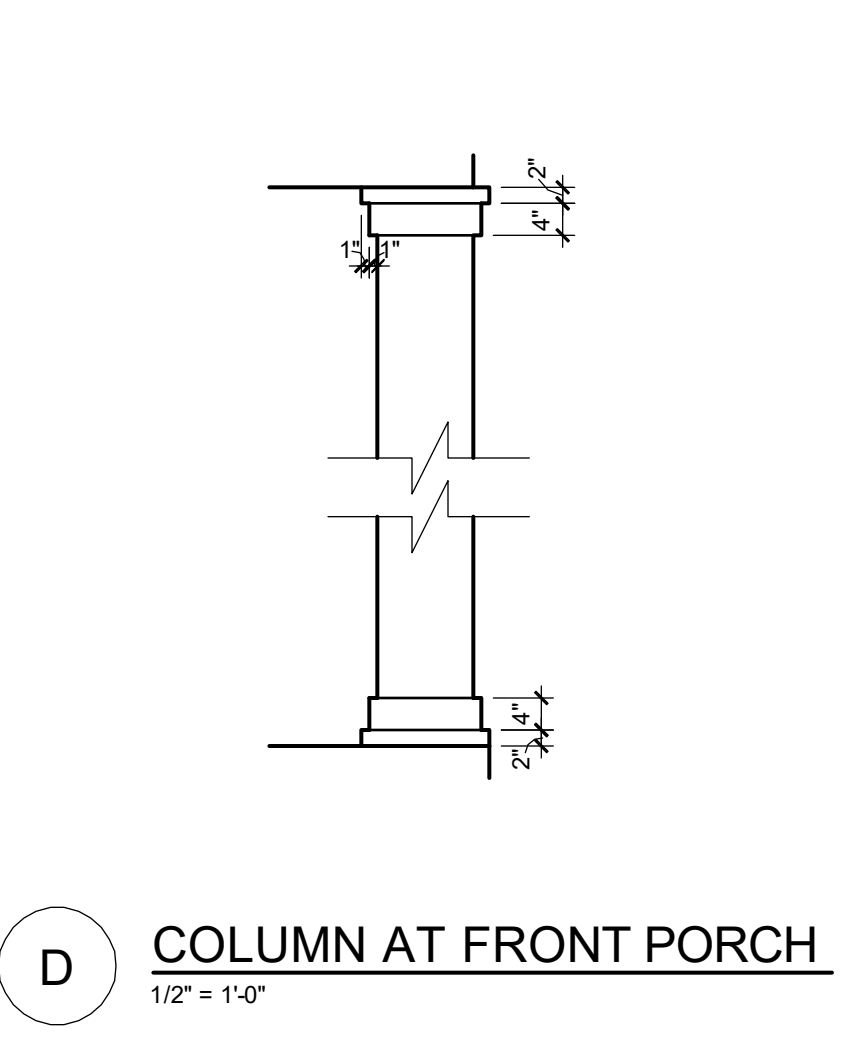
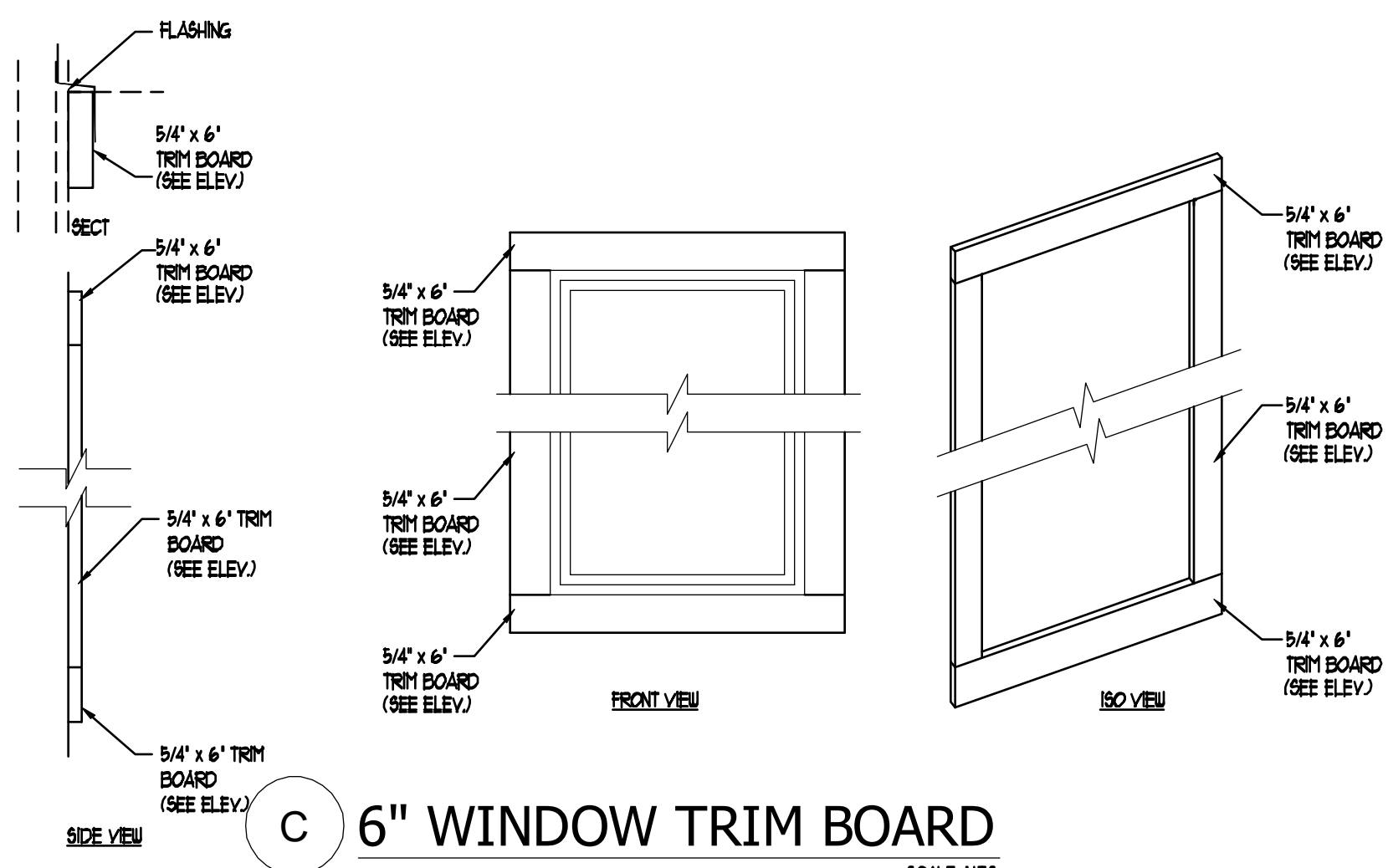
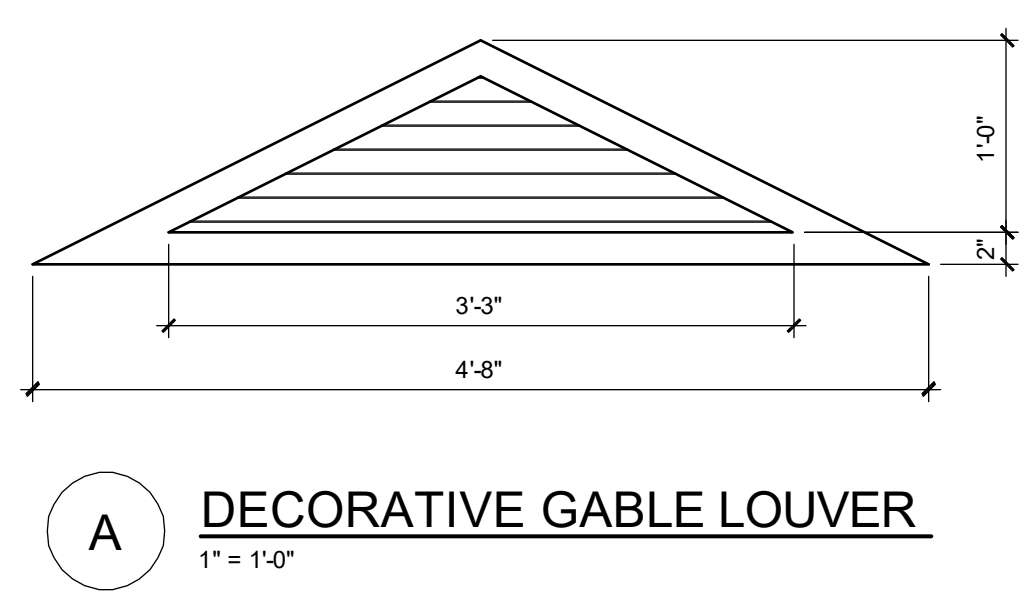
ELEVATION - KEY PLAN
1/32" = 1'-0"



1840 - JEFFERSON FRONT ELEVATION "A"
1/4" = 1'-0"



1840 - JEFFERSON REAR ELEVATION "A"
1/4" = 1'-0"



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SCOTT LEWIS, P.E., F.L. # 77979
F.L. # 11, 2024

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

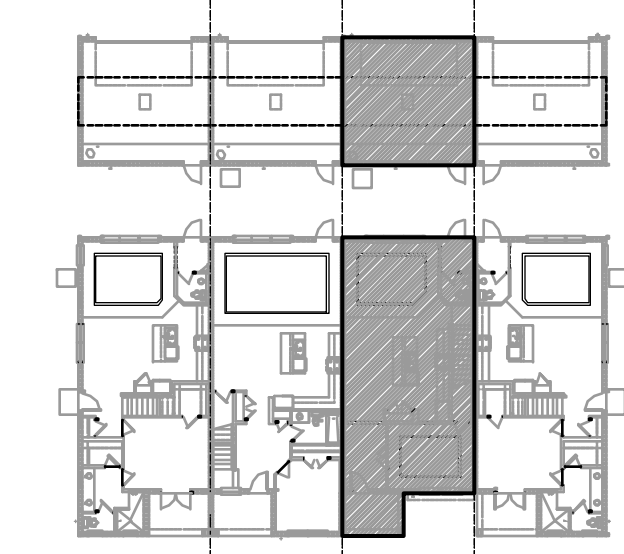
title:
1840 - JEFFERSON
EXT. ELEVATIONS
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

2.1B
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

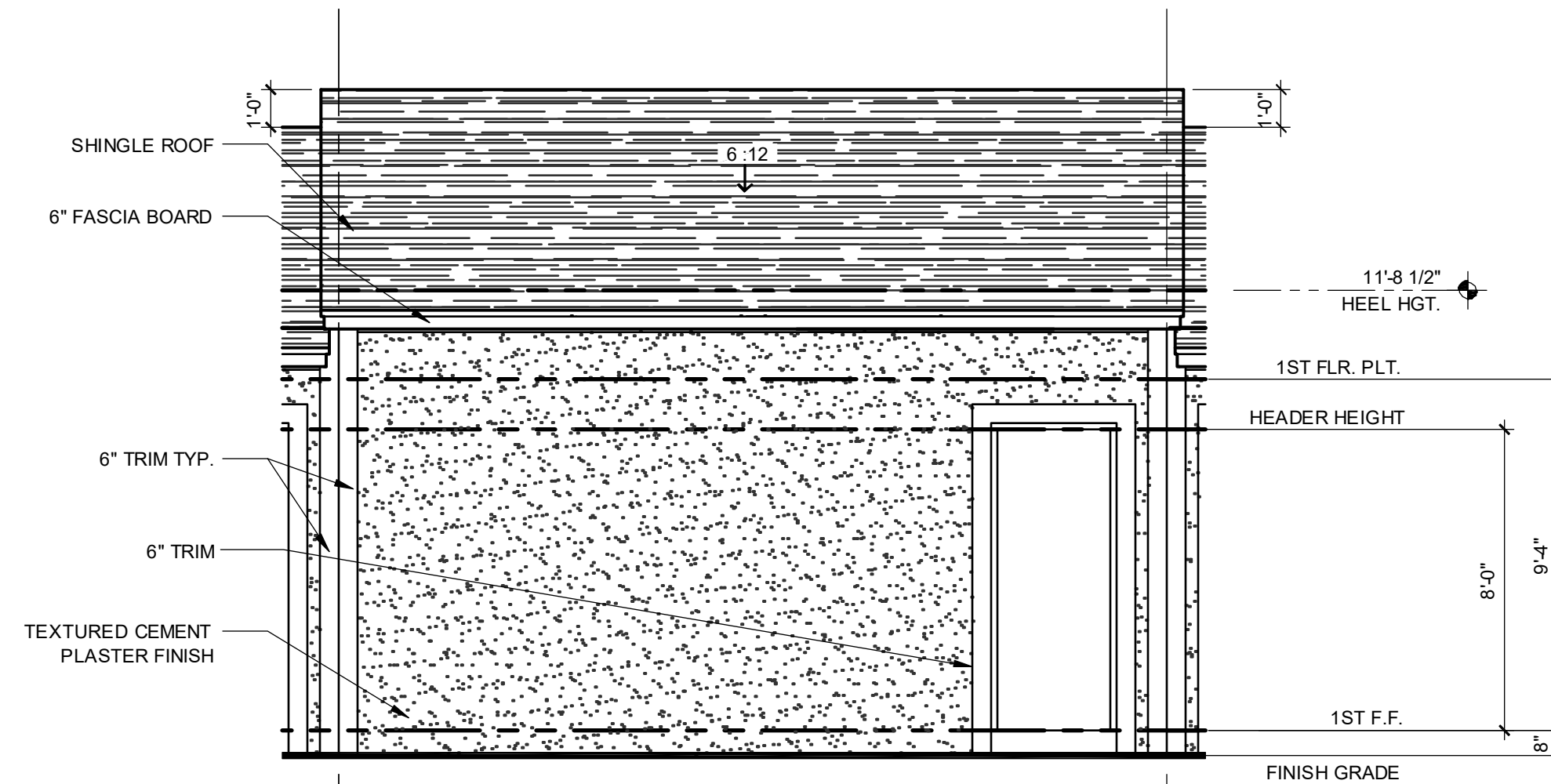
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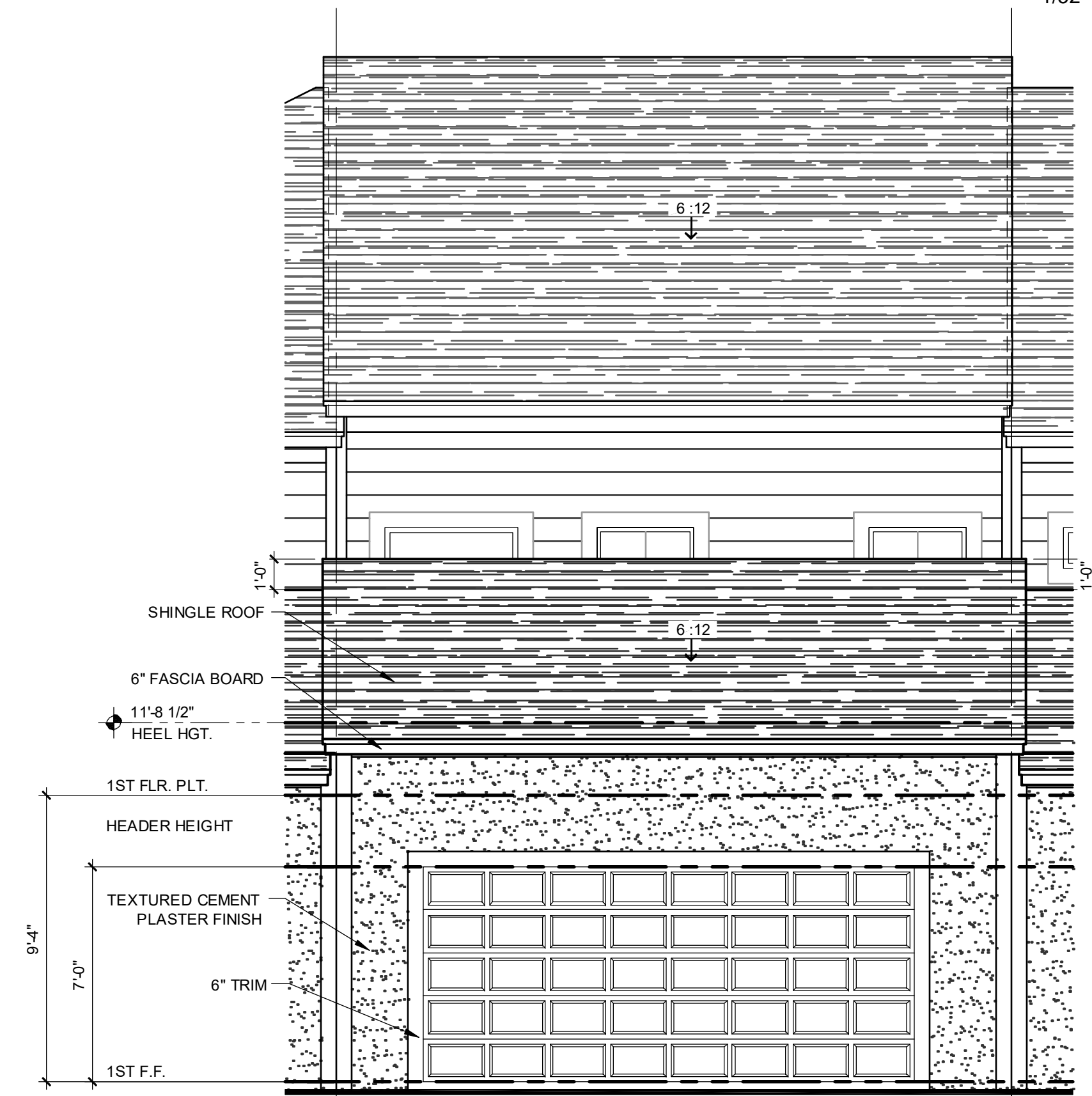
ELEVATION - KEY PLAN

1/32" = 1'-0"



**1840 - JEFFERSON
FRONT ELEVATION "A" - GARAGE**

1/4" = 1'-0"



**1840 - JEFFERSON
REAR ELEVATION "A" - GARAGE**

1/4" = 1'-0"

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SCOTT LEWONSKI, PE - FL # 77799
FL # 14442
DATE: JUN 11, 2024

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1840 - JEFFERSON
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

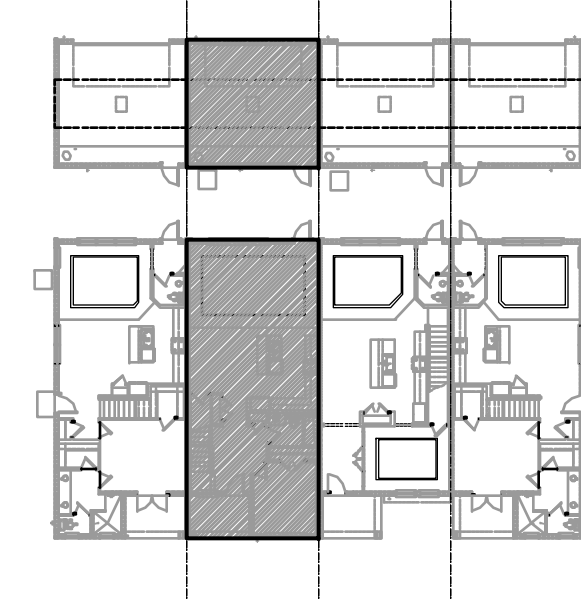
**2.2B
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

DISCLAIMER

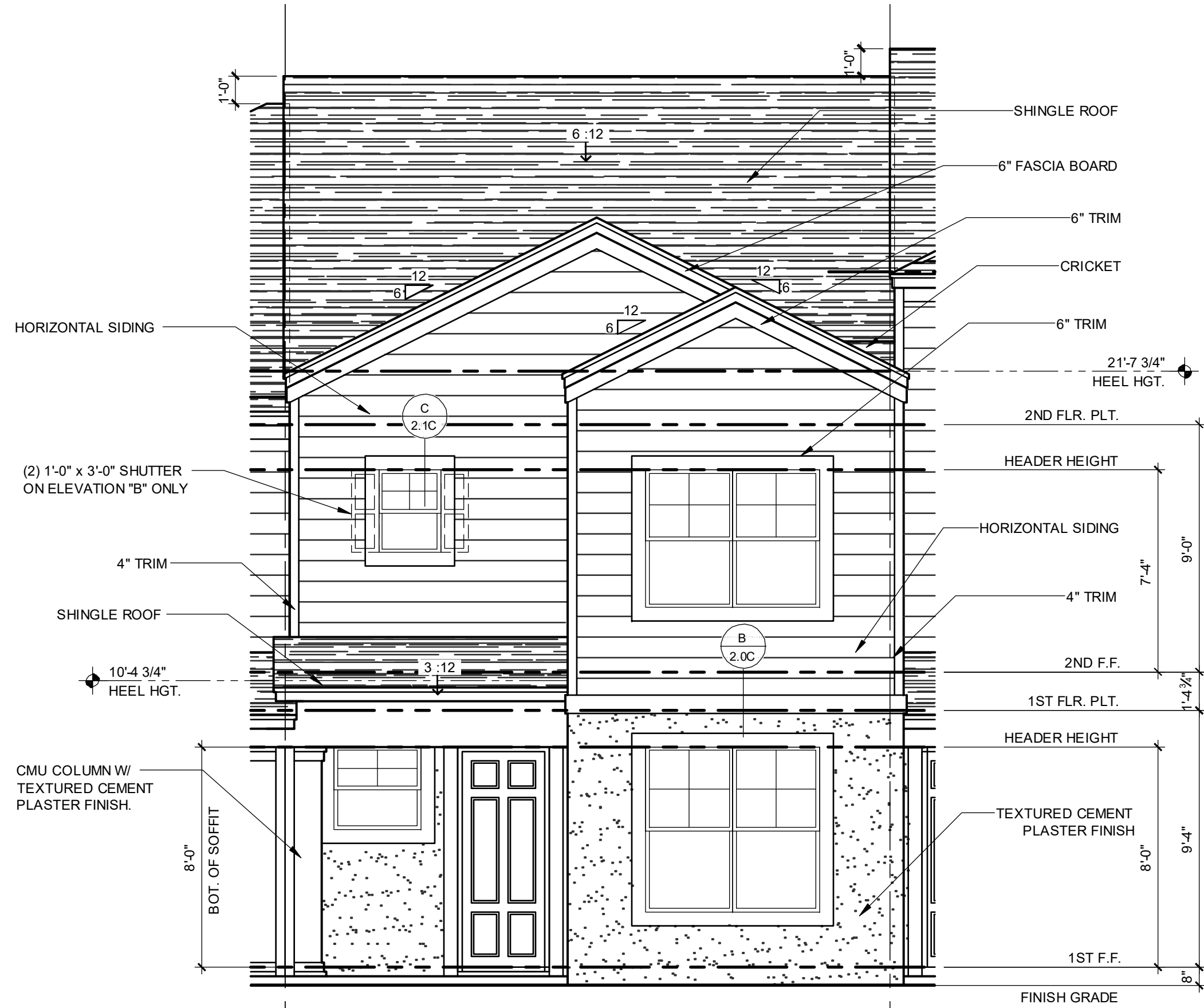
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G.C. TO VERIFY FASCIA CALLOUT



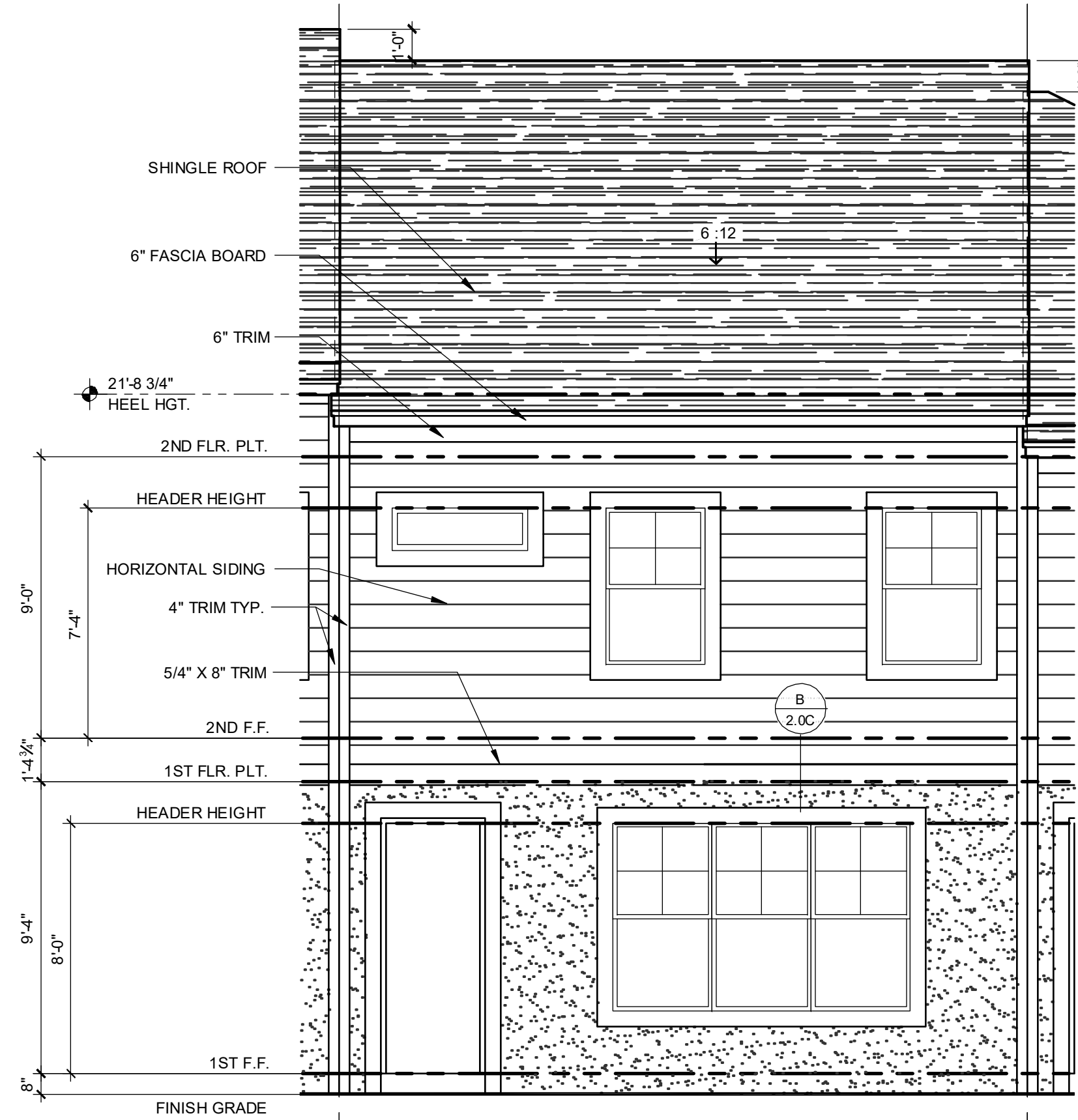
ELEVATION - KEY PLAN

1/32" = 1'-0"



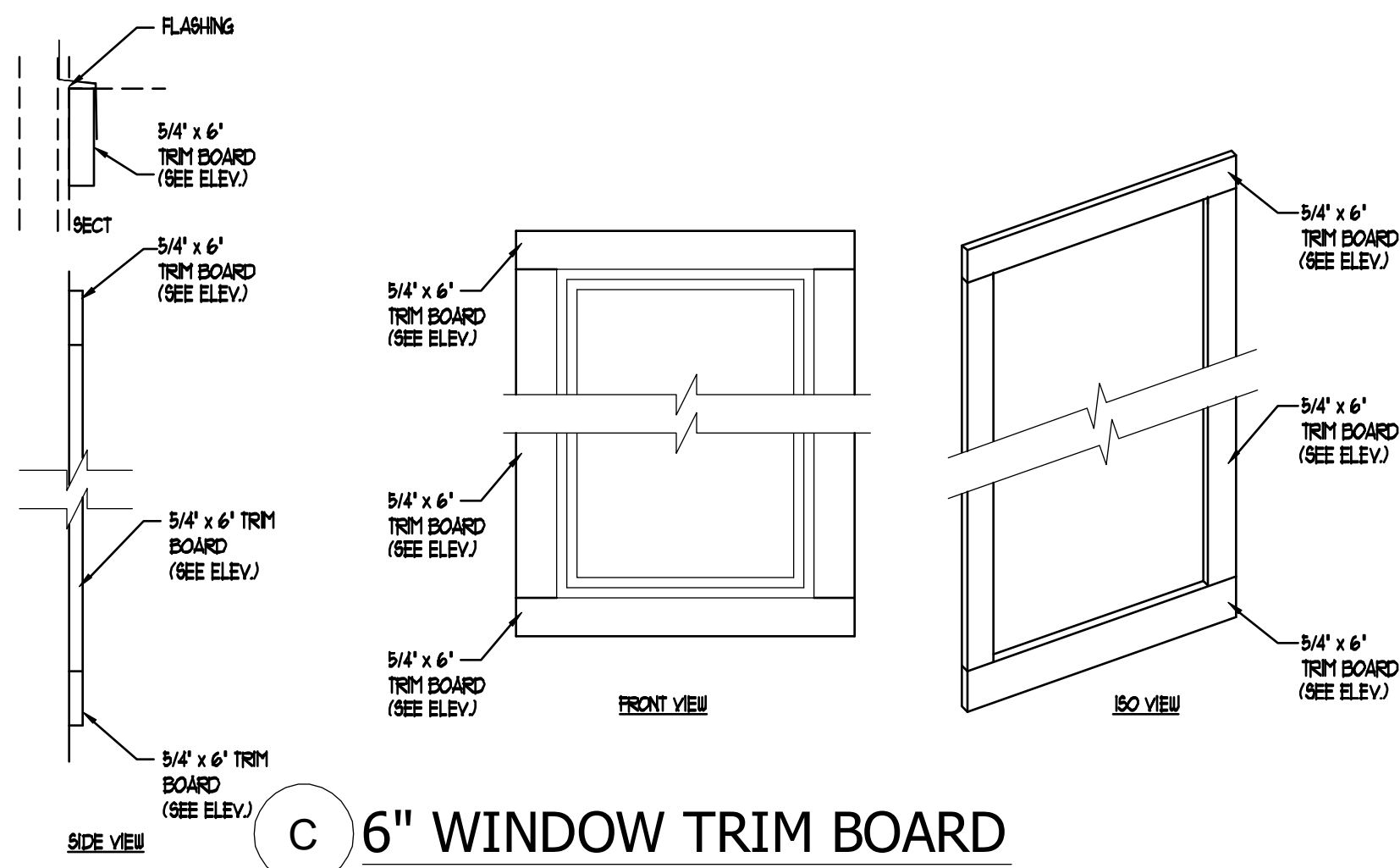
2024 - MADISON FRONT ELEVATION "A"

1/4" = 1'-0"



2024 - MADISON REAR ELEVATION "A"

1/4" = 1'-0"



C 6" WINDOW TRIM BOARD

SCALE N.T.S.

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 Scott Lewkowicz, PE, FL # 77789
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**PARK SQUARE
 4 - UNIT
 83' RL (Rear Load) TOWNS**

title:
**2024 - MADISON
 EXT. ELEVATIONS**

project no. 2022142
 checked: BF
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

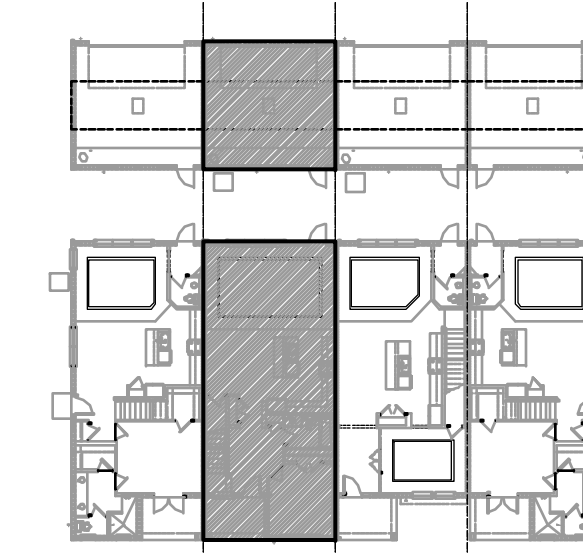
**2.1C
 ELEV. A**

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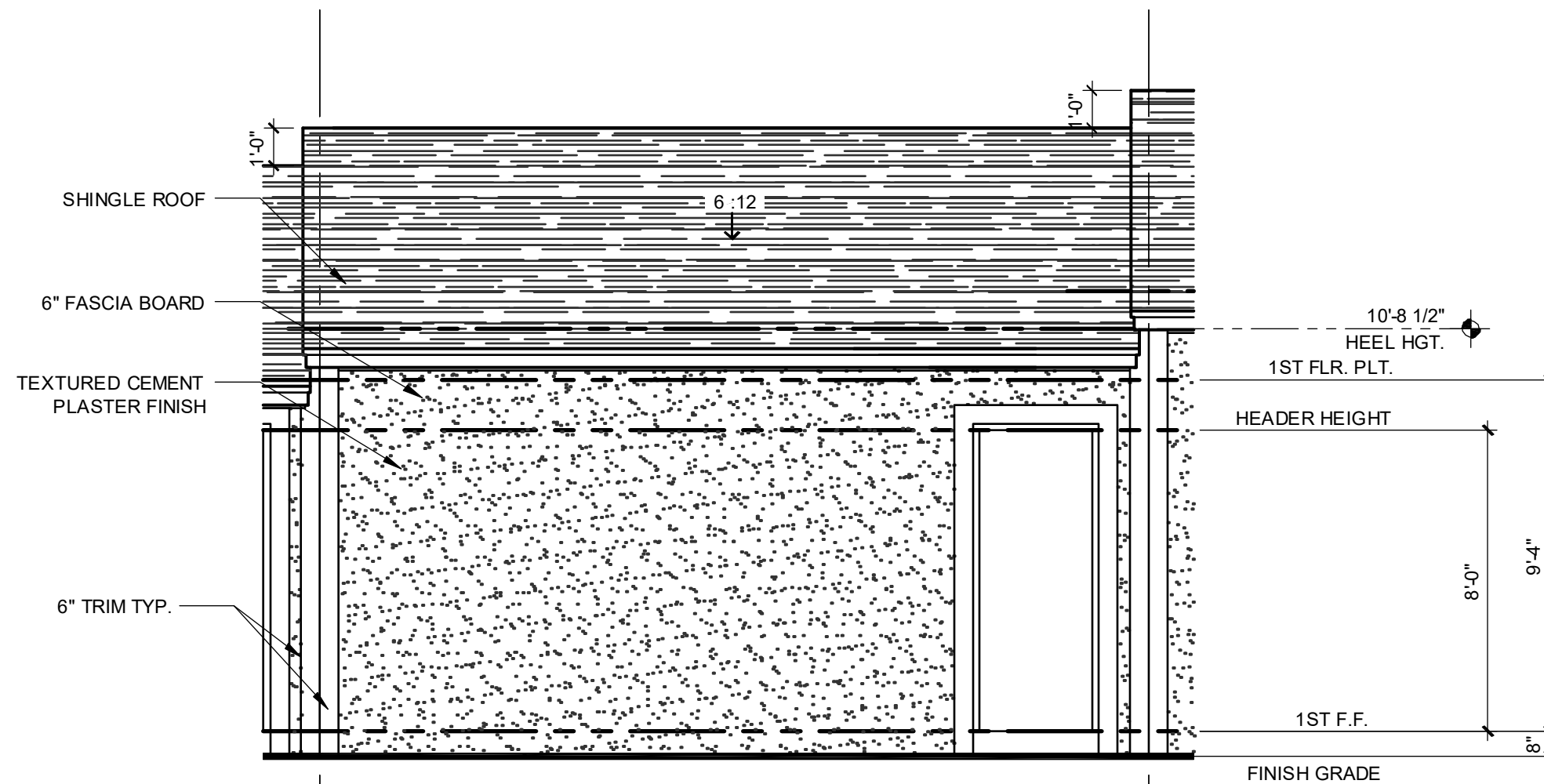
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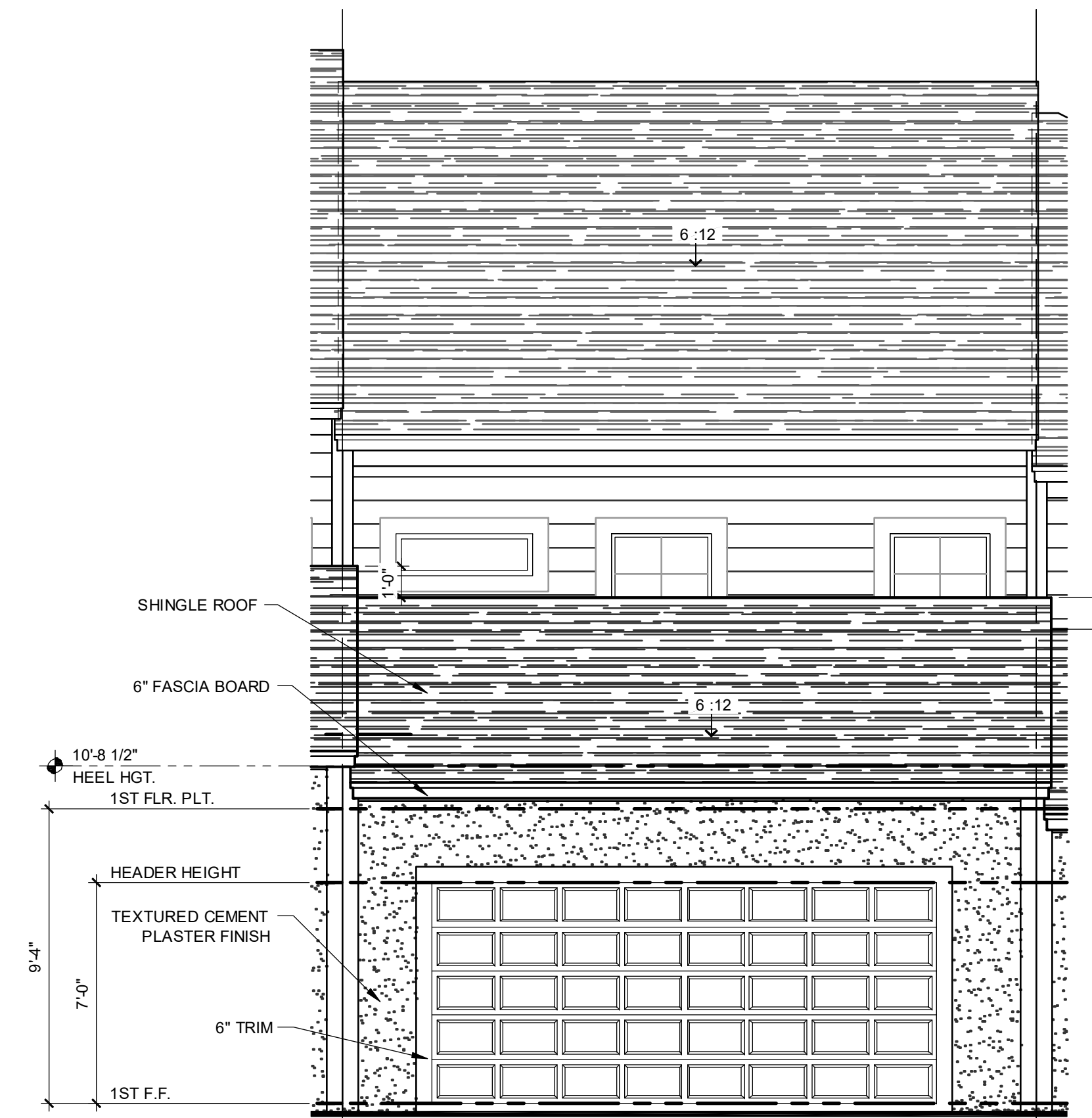
ELEVATION - KEY PLAN

1/32" = 1'-0"



**2024 - MADISON
FRONT ELEVATION "A" - GARAGE**

1/4" = 1'-0"



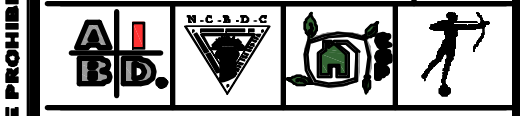
**2024 - MADISON
REAR ELEVATION "A" - GARAGE**

1/4" = 1'-0"

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**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**2024 - MADISON
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

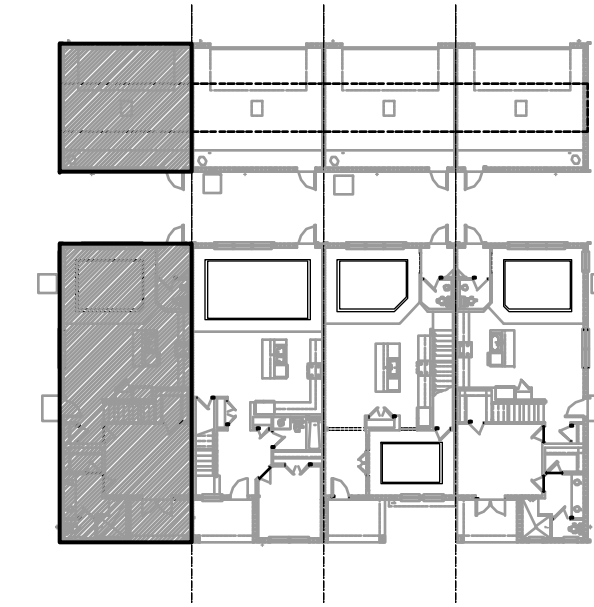
**2.2C
ELEV. A**

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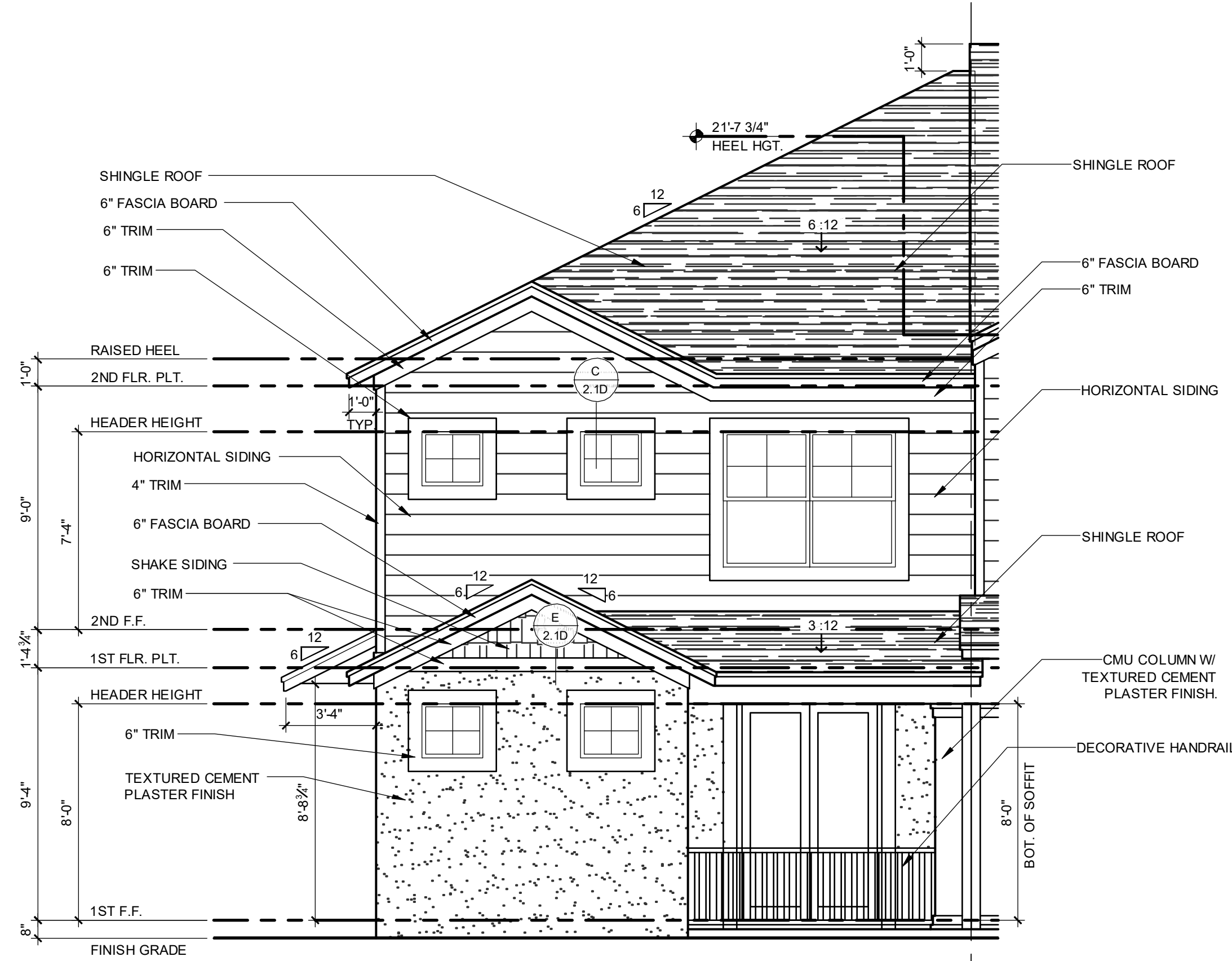
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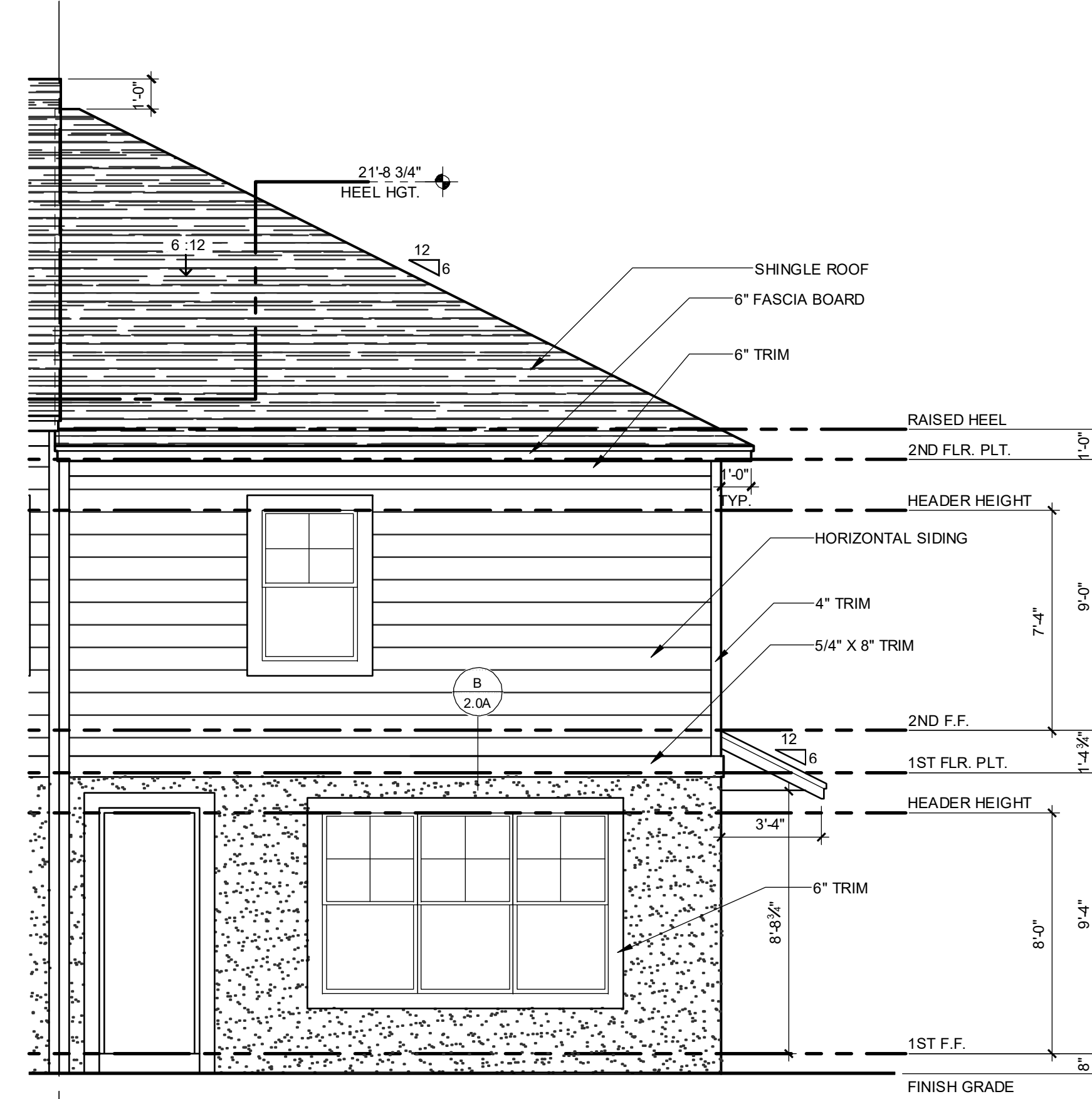
ELEVATION - KEY PLAN

1/32" = 1'-0"



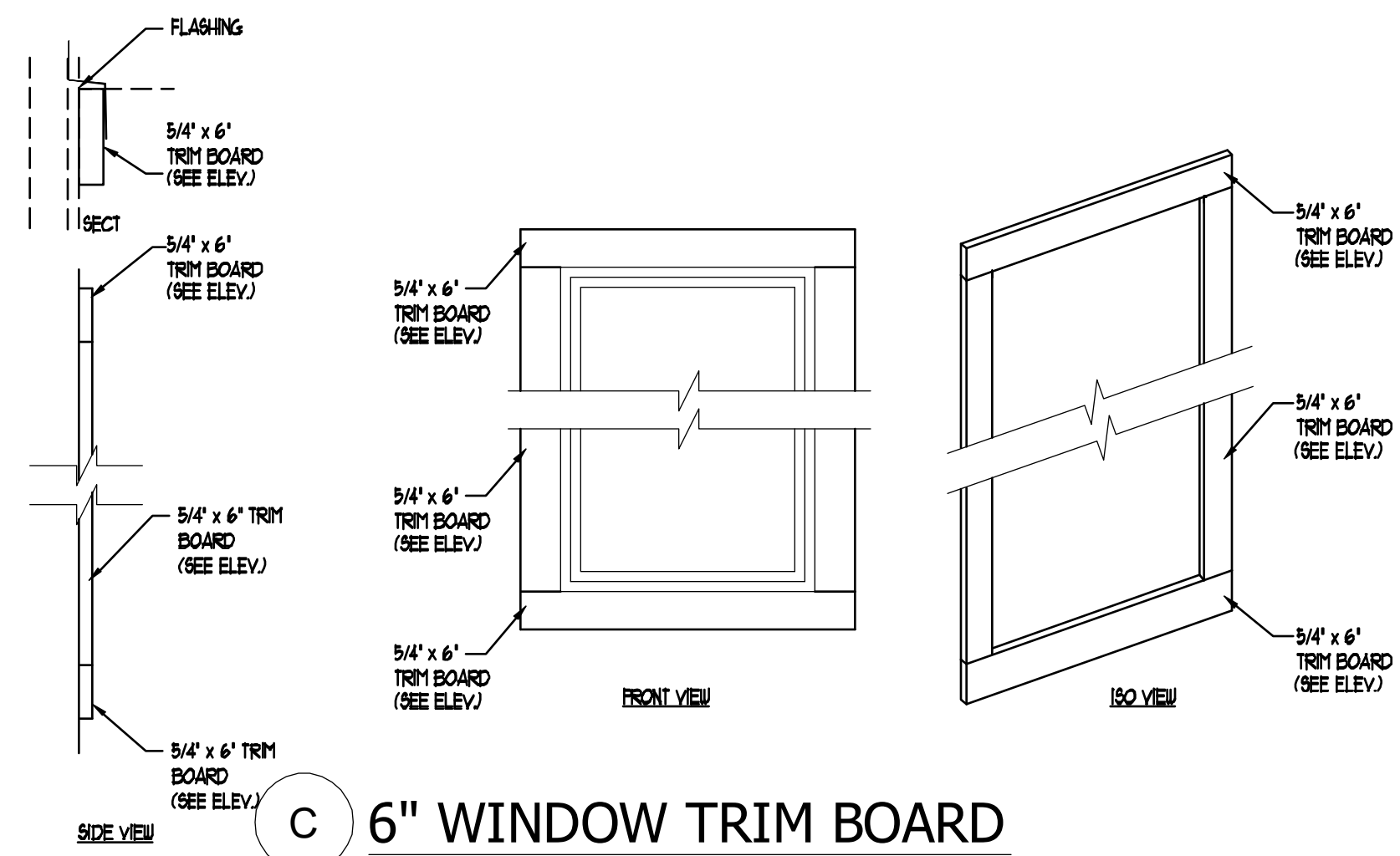
1914 - ADAMS REVERSED FRONT ELEVATION "A"

1/4" = 1'-0"



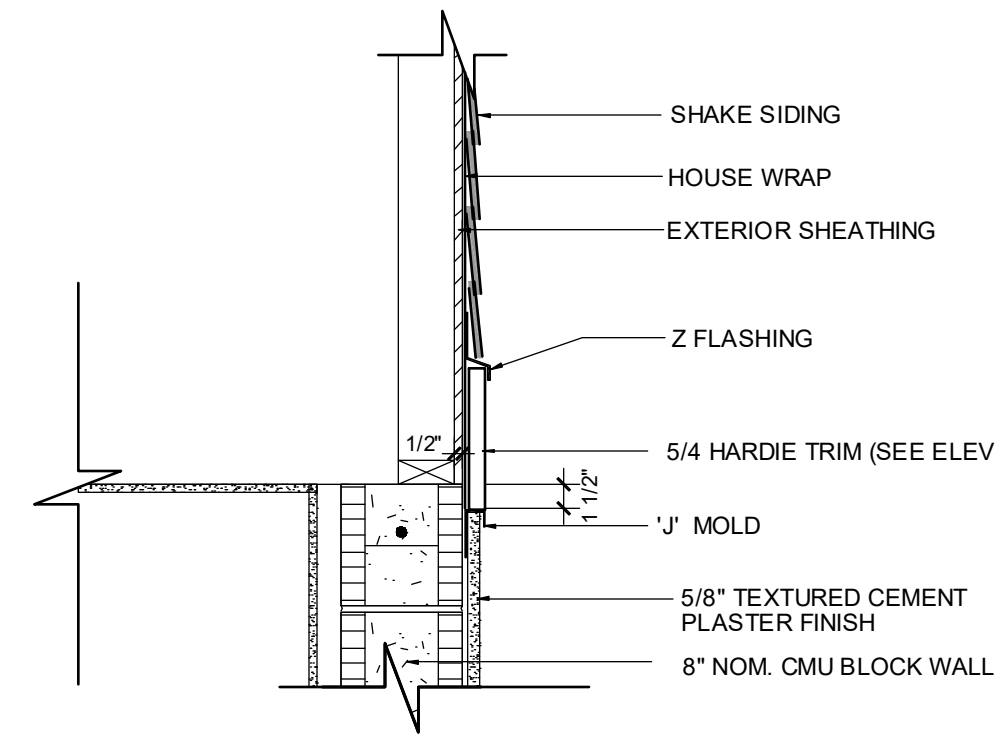
1914 - ADAMS REVERSED REAR ELEVATION "A"

1/4" = 1'-0"



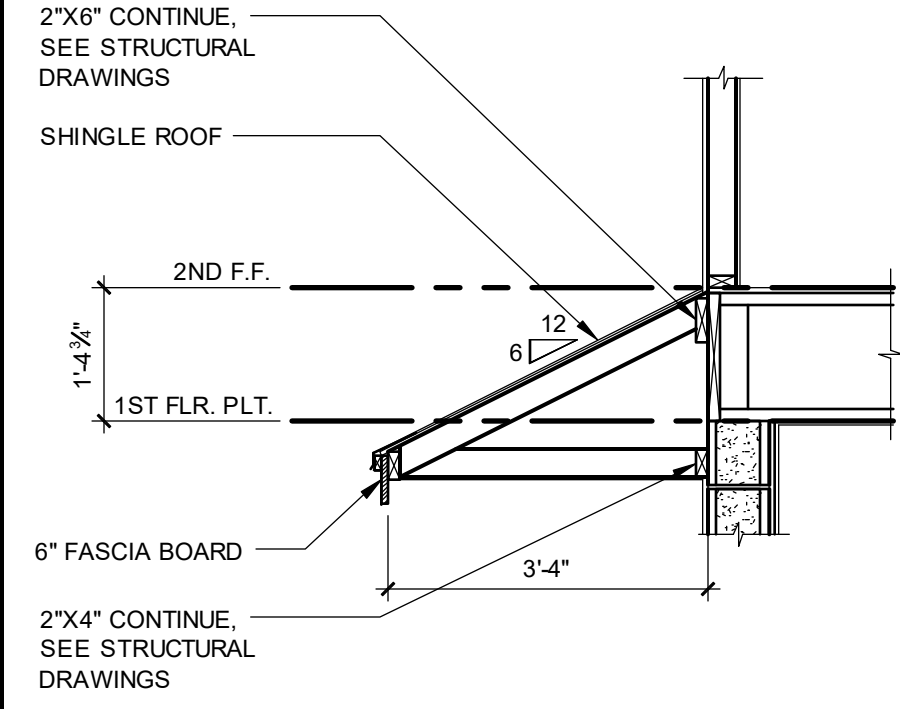
6" WINDOW TRIM BOARD

SCALE: N.T.S.



E SHAKE SIDING AT GABLE

SCALE: 1" = 1'-0"



F SHED ROOF SECTION

SCALE: 1/2" = 1'-0"

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
1914 - ADAMS
EXT. ELEVATIONS

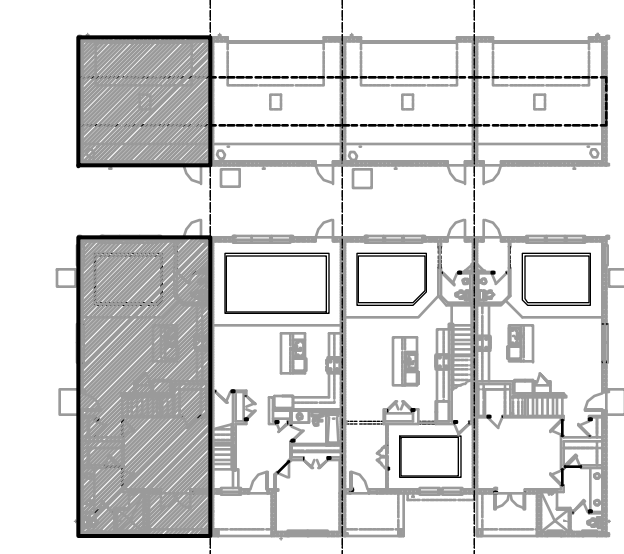
project no. 2022142
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 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

2.1D
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

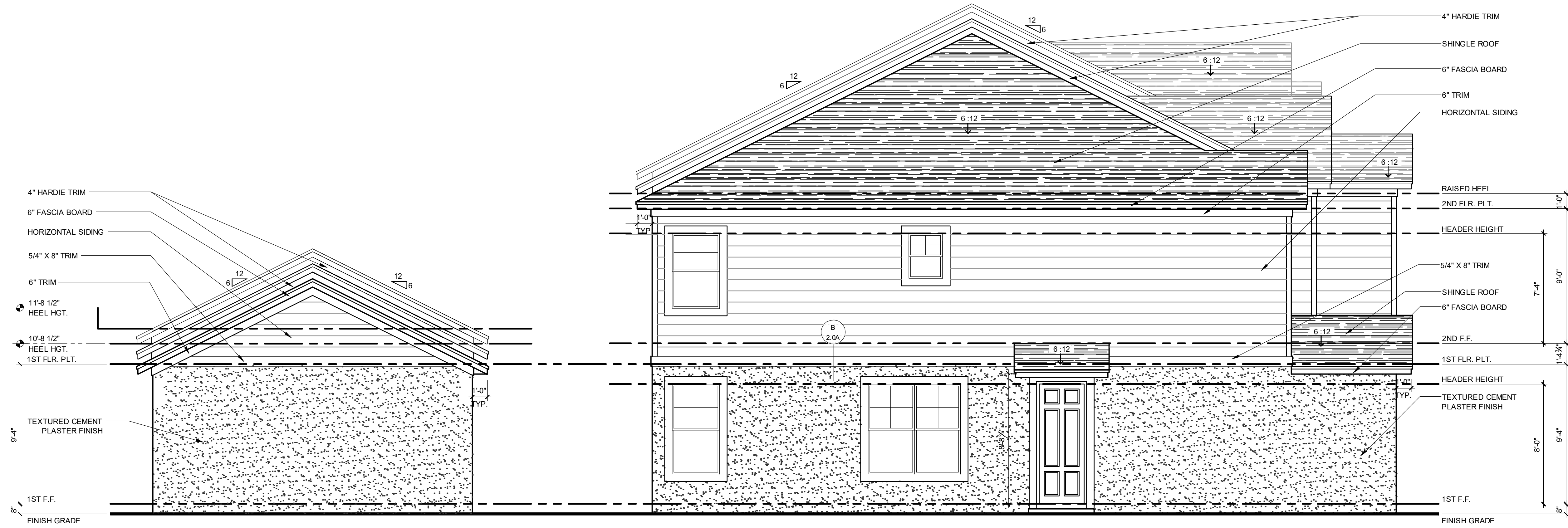
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ELEVATION - KEY PLAN

1/32" = 1'-0"



**1914 - ADAMS REVERSED
LEFT ELEVATION "A"**

1/4" = 1'-0"

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DATE ISSUED 11/2024
EXPIRES 11/2024
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**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

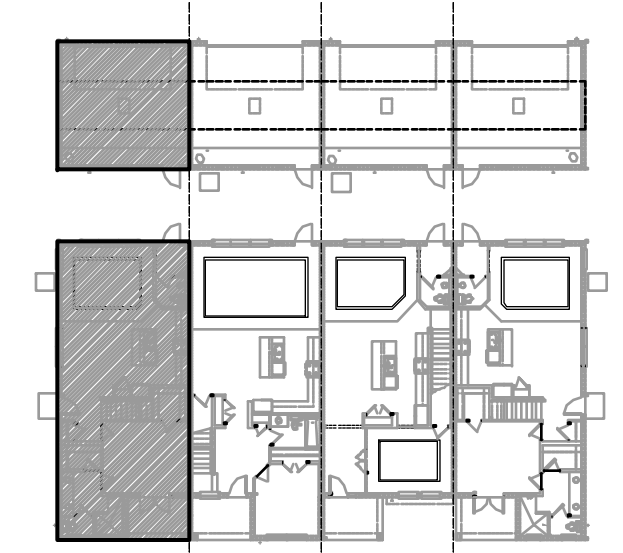
**2.2D
ELEV. A**

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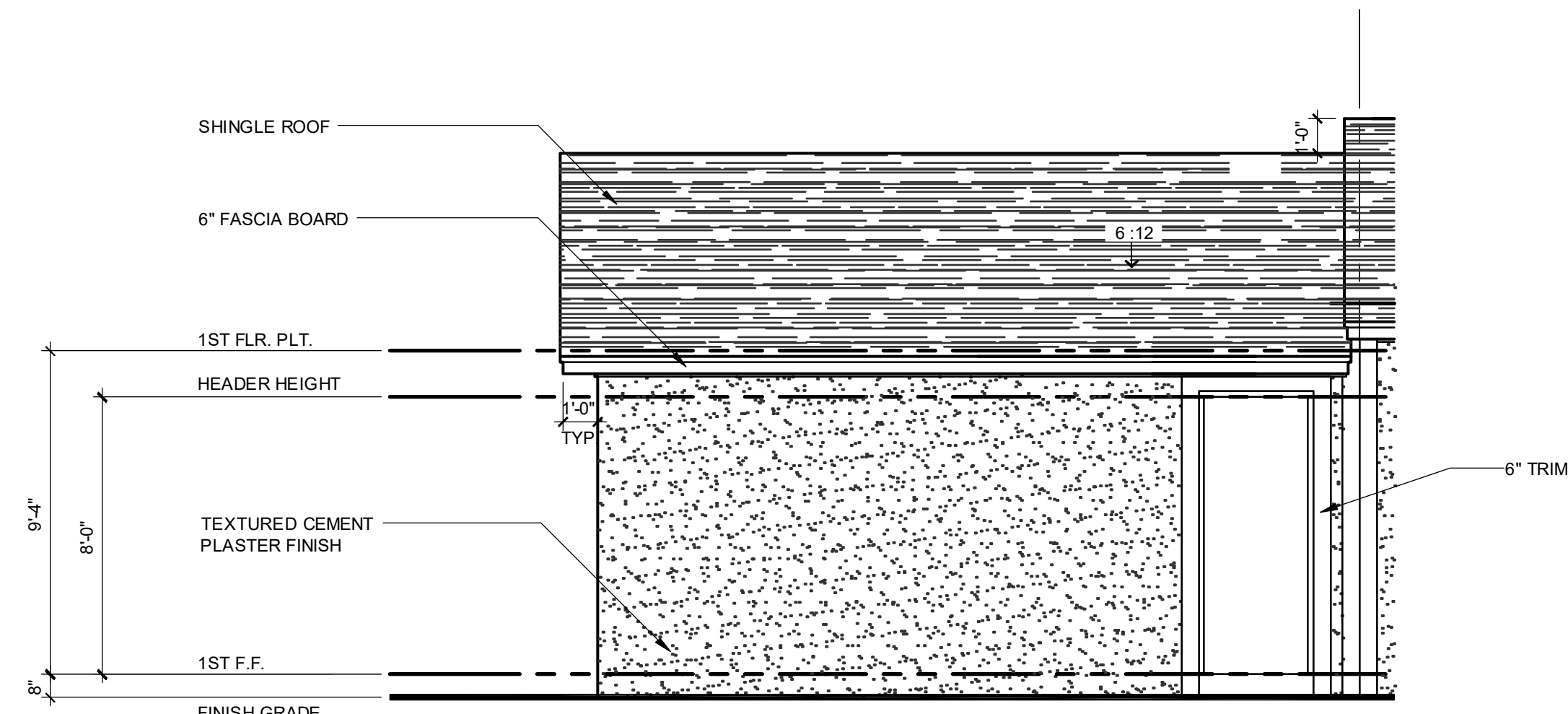
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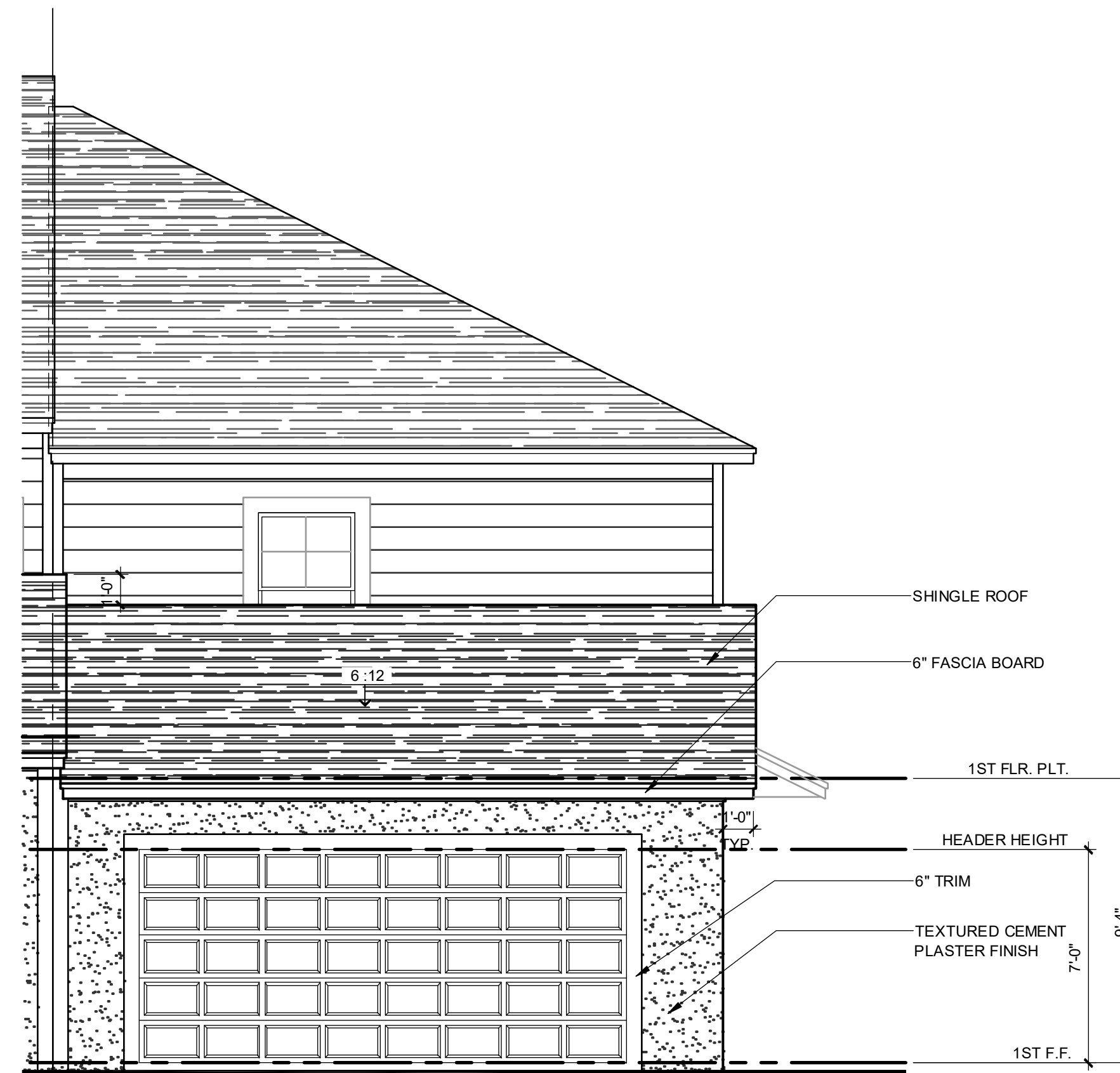
ELEVATION - KEY PLAN

1/32" = 1'-0"



**1914 - ADAMS REVERSED
FRONT ELEVATION "A" - GARAGE**

1/4" = 1'-0"



**1914 - ADAMS REVERSED
REAR ELEVATION "A" - GARAGE**

1/4" = 1'-0"

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DATE: JUN 11, 2024

BY THE SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER, THE DESIGNER ASSURES THAT THE DESIGN IS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE REGULATIONS.

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

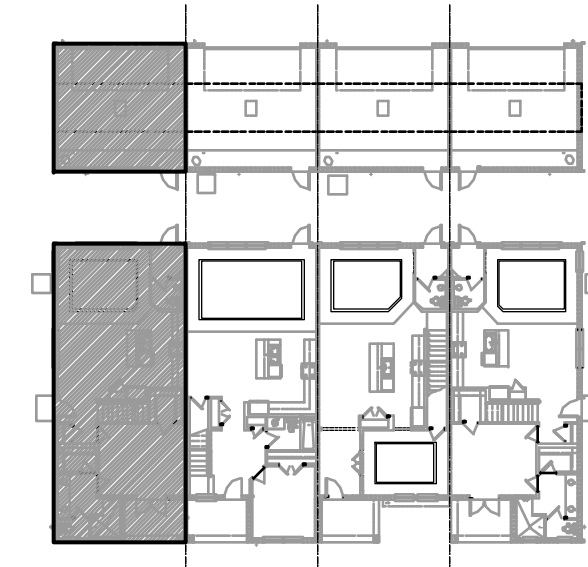
**2.3D
ELEV. A**

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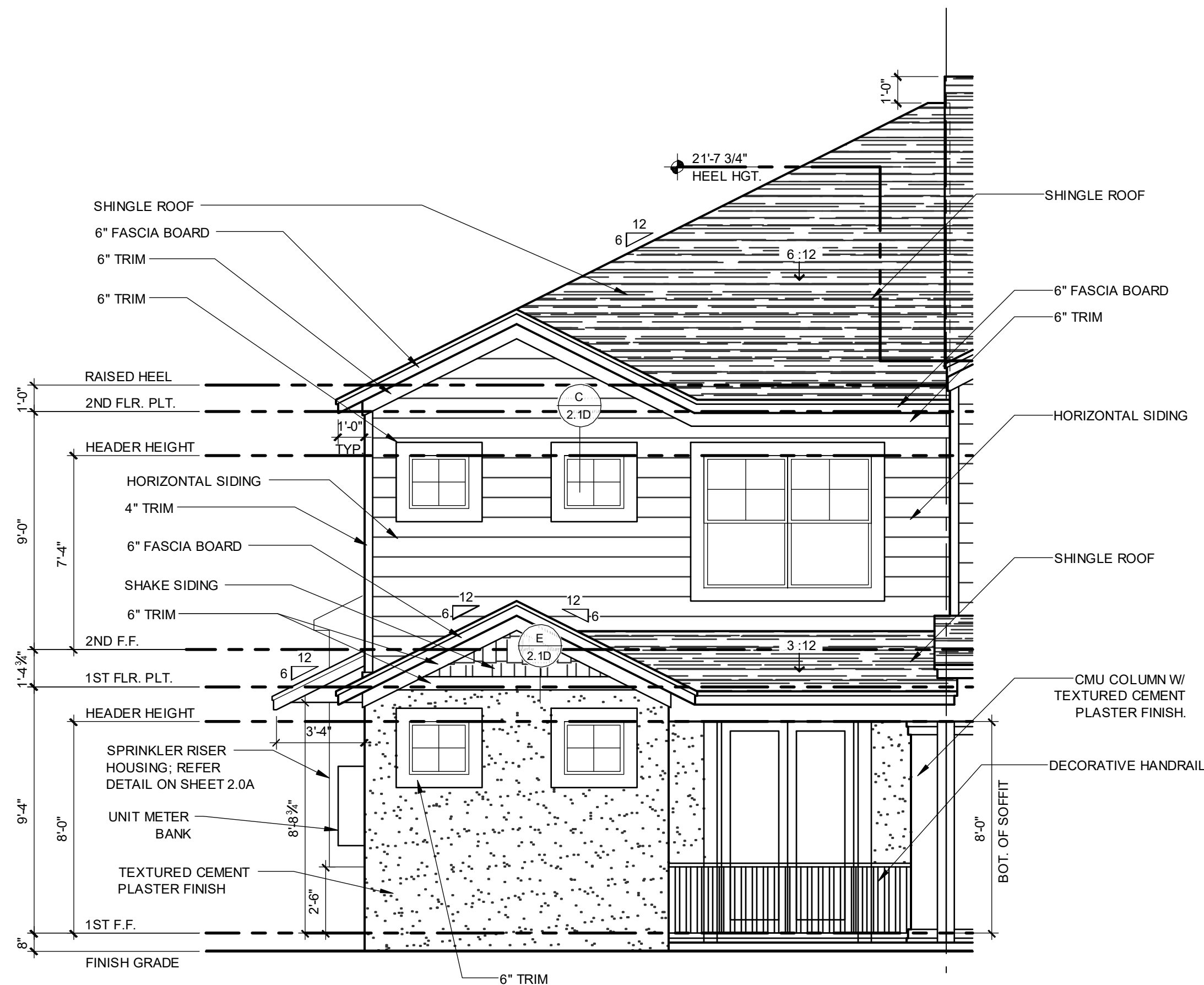
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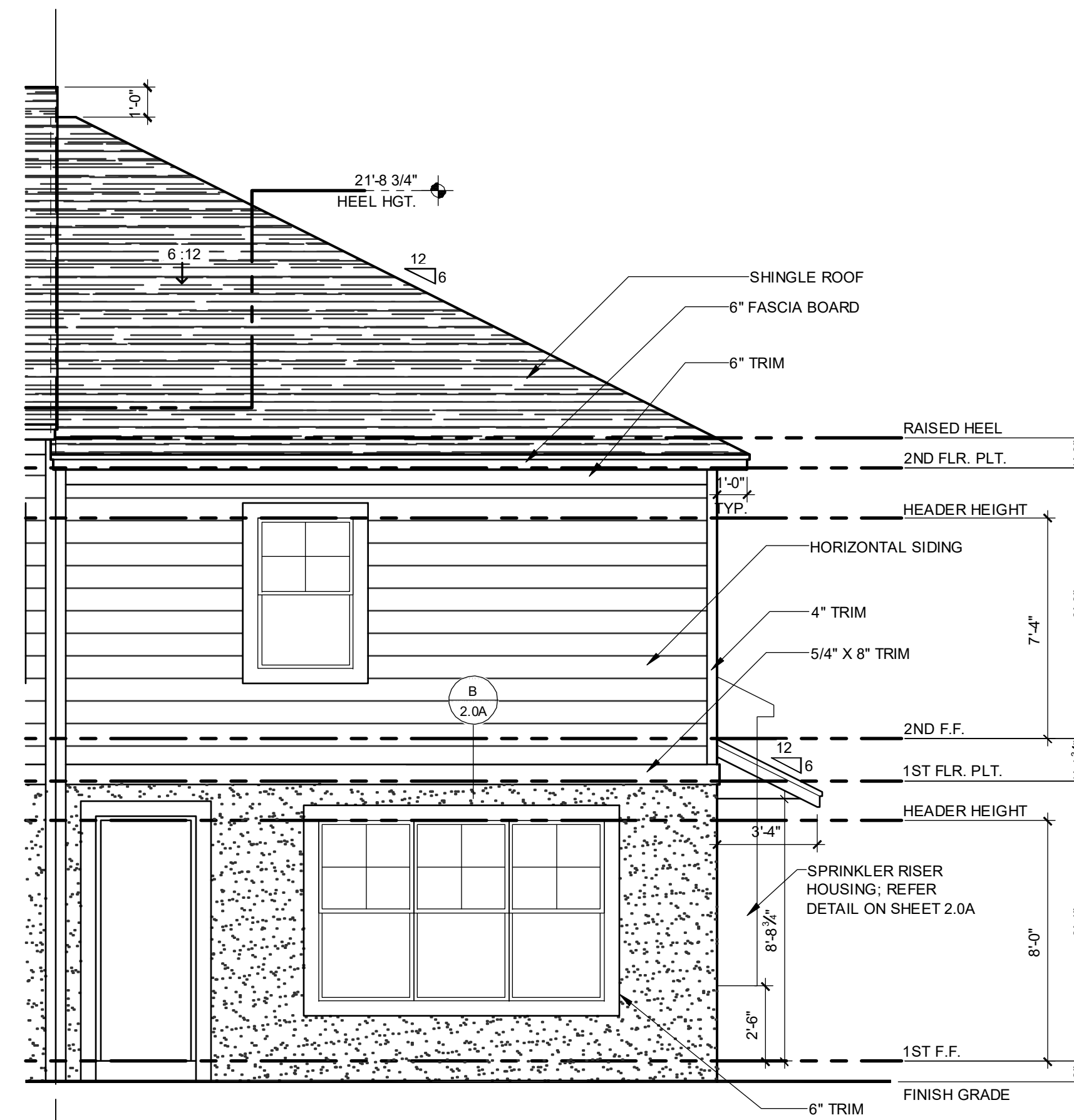
ELEVATION - KEY PLAN

1/32" = 1'-0"



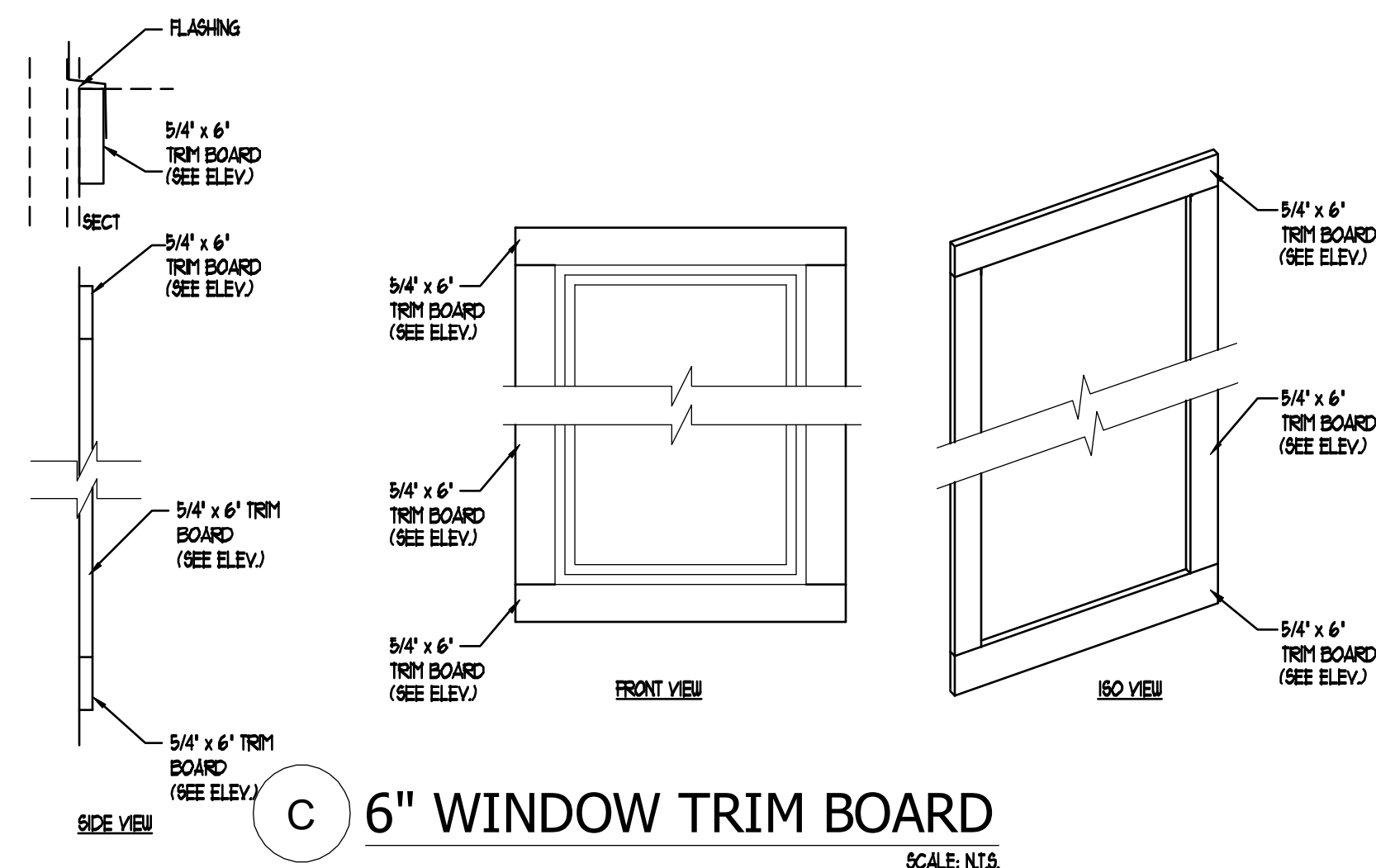
1914 - ADAMS REVERSED FRONT ELEVATION "A"

1/4" = 1'-0"



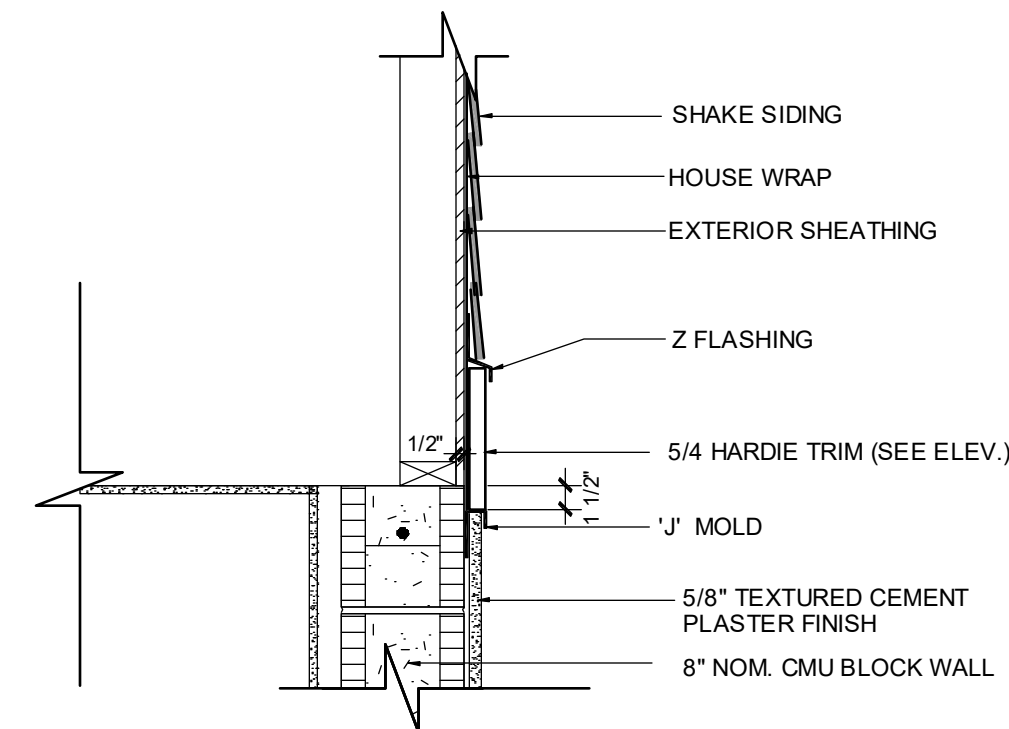
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1/4" = 1'-0"



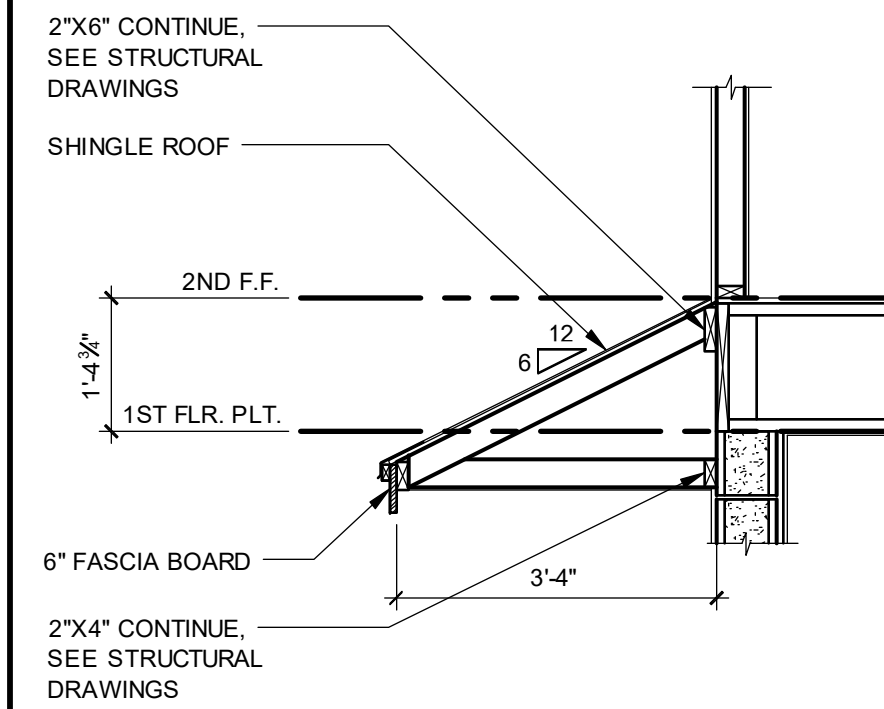
C 6" WINDOW TRIM BOARD

SCALE: N.T.S.



E SHAKE SIDING AT GABLE

SCALE: 1" = 1'-0"



F SHED ROOF SECTION

SCALE: 1/2" = 1'-0"

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Orlando, FL 32801
Certificate of Authorization No. 9161
 CARLA BROWN, P.E. FL # 59128
 TERRY MADDOCKS, P.E. FL # 4442
DATE: June 11, 2024
FOR THE STRUCTURAL ENGINEER OF RECORD

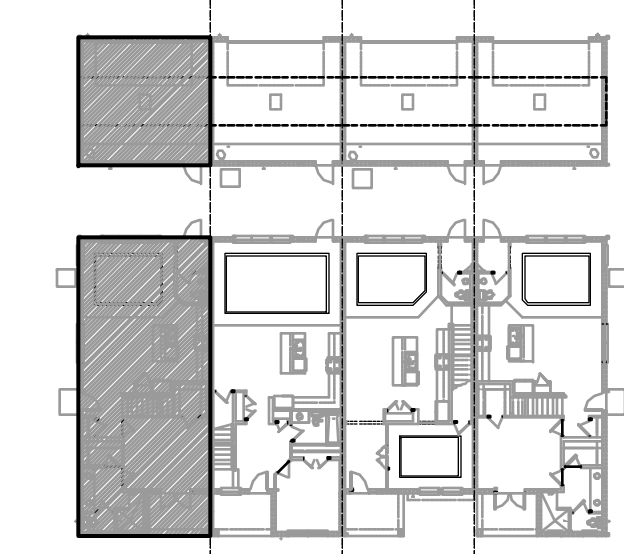
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
**2.1D
ELEV. A**

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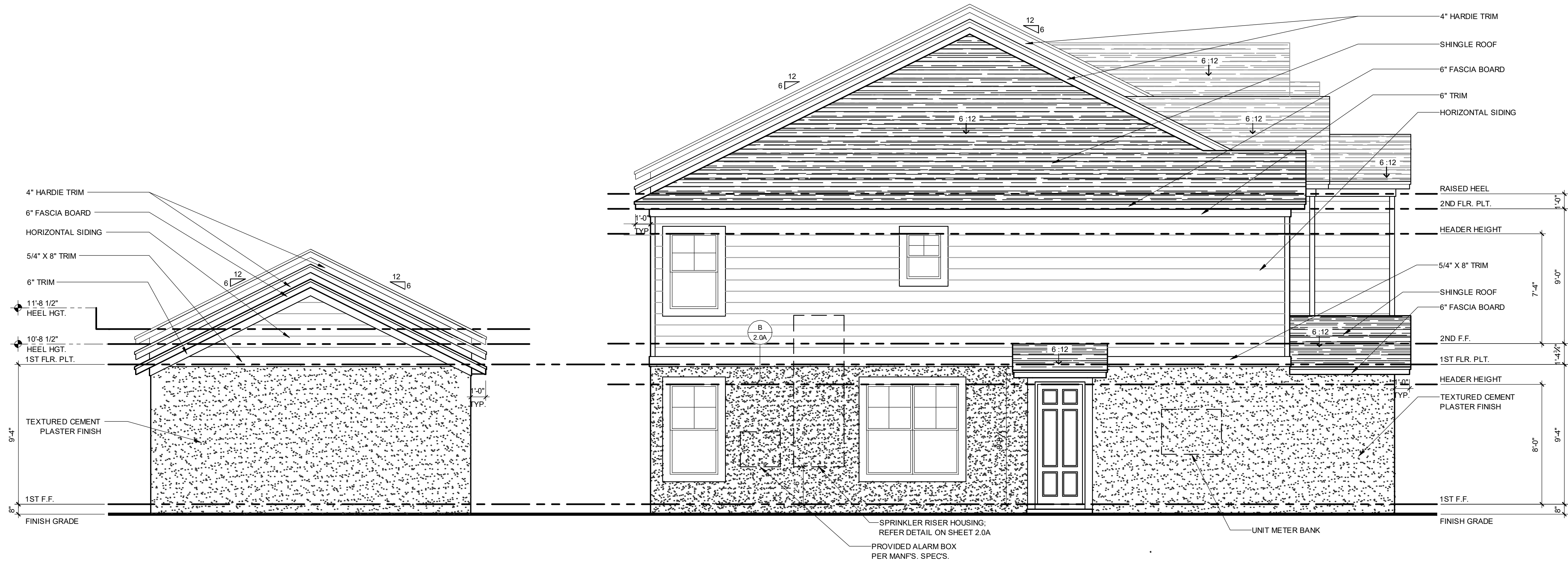
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ELEVATION - KEY PLAN

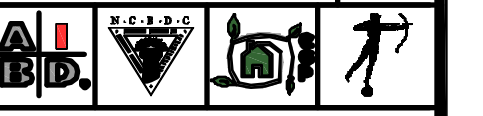
1/32" = 1'-0"



**1914 - ADAMS REVERSED
LEFT ELEVATION "A"**

1/4" = 1'-0"

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Certificate of Authorization No. 9161
CARLA A. BROWN, P.E., P.L. # 59128
THOMAS J. BROWN, P.E., P.L. # 46462
DATE: June 11, 2024

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

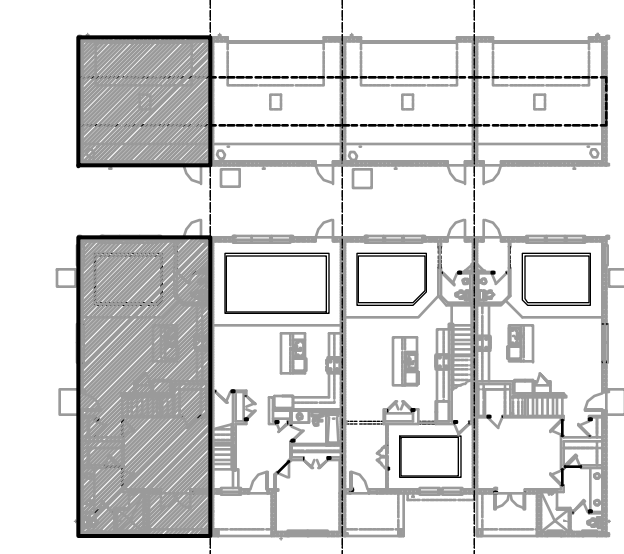
**2.2D
ELEV. A**

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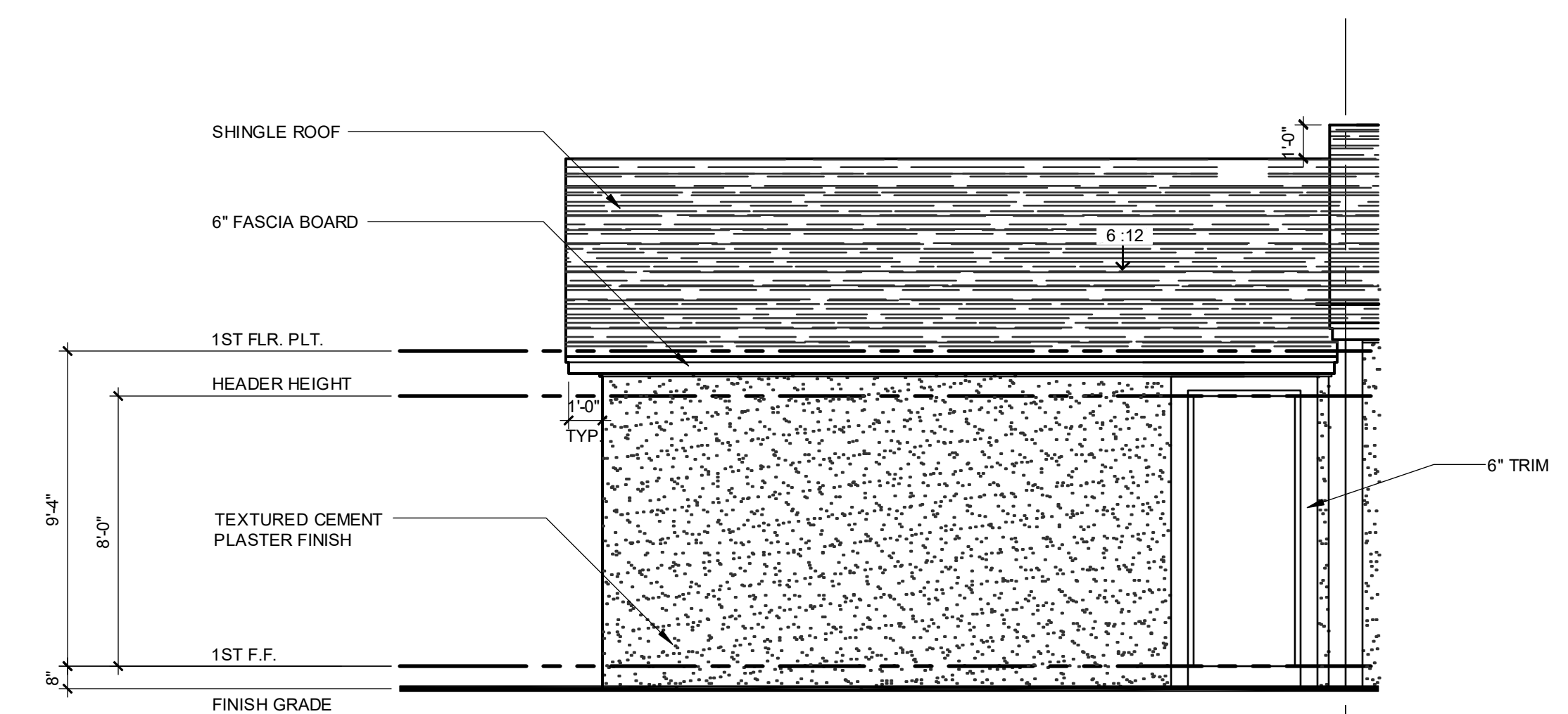
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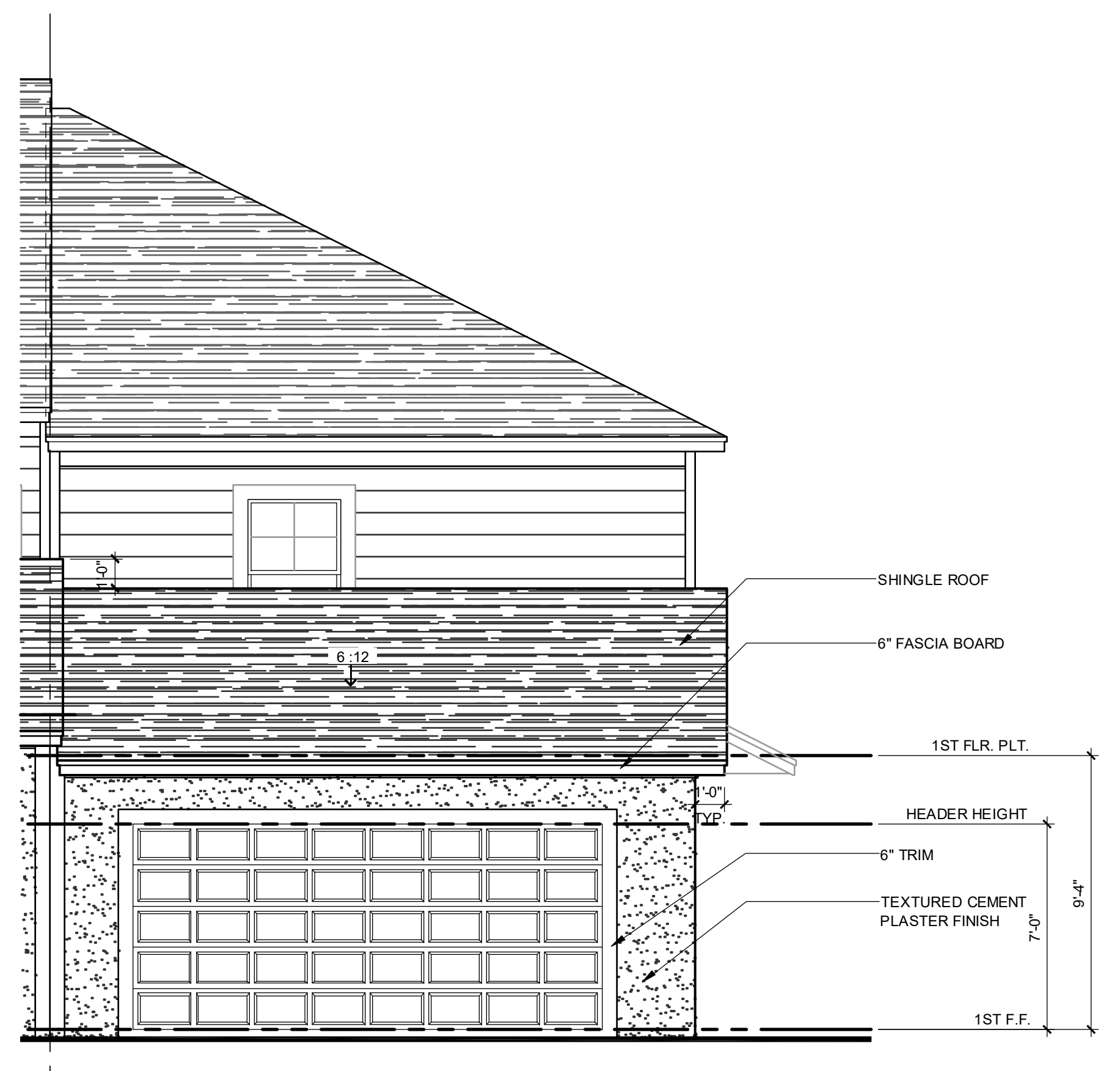
ELEVATION - KEY PLAN

1/32" = 1'-0"



1914 - ADAMS REVERSED FRONT ELEVATION "A" - GARAGE

1/4" = 1'-0"



1914 - ADAMS REVERSED REAR ELEVATION "A" - GARAGE

1/4" = 1'-0"

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AC26003115

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Phone: 817.407.9623
Fax: 817.407.9623
www.fdsinc.com

DATE: JUNE 11, 2022
PROJECT: 2022142

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

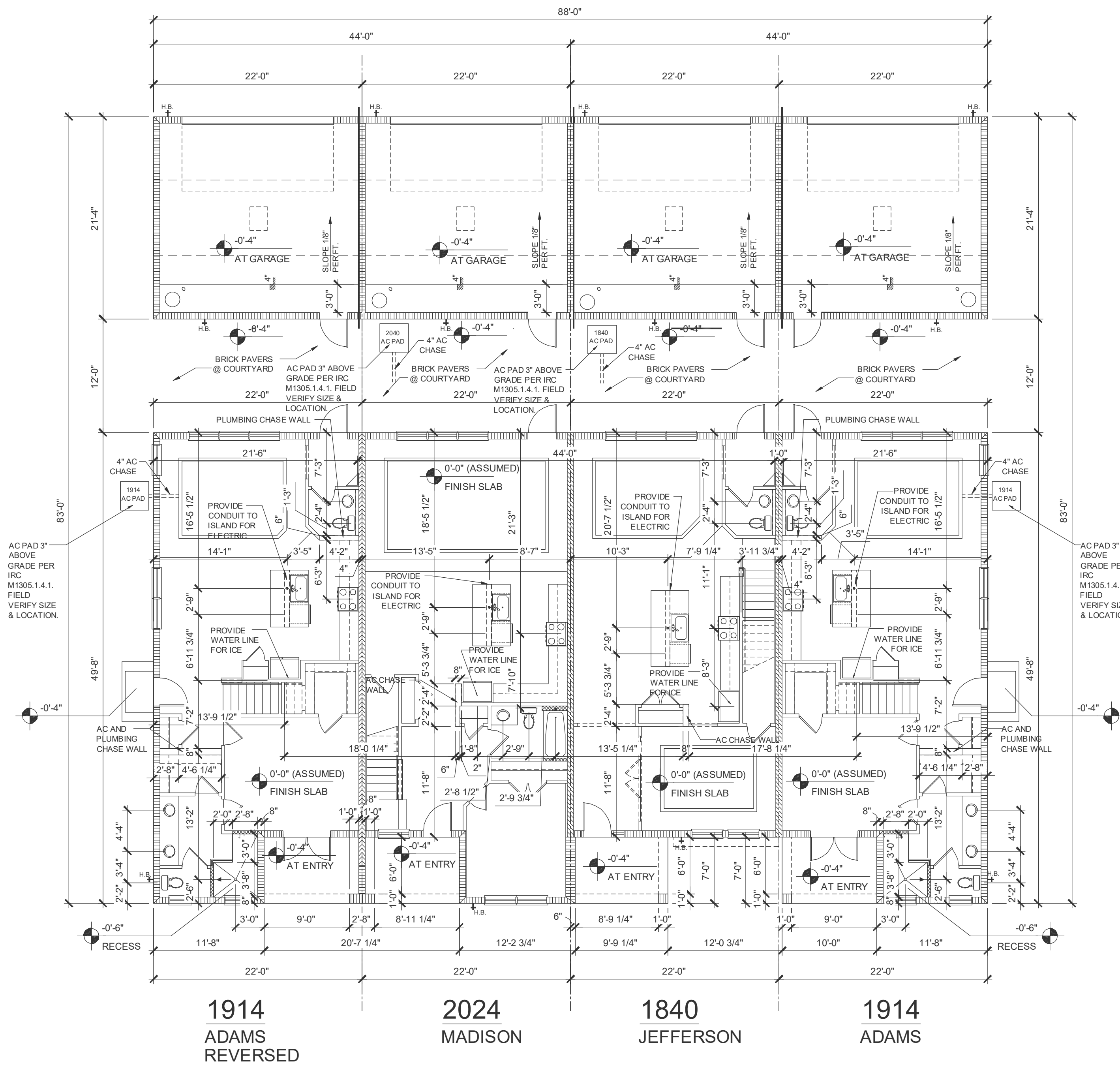
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**1914 - ADAMS
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**2.3D
ELEV. A**

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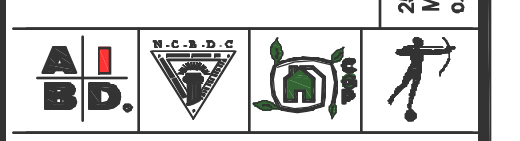


SLAB INTERFACE PLAN - 4 UNIT

1/8" = 1'-0"

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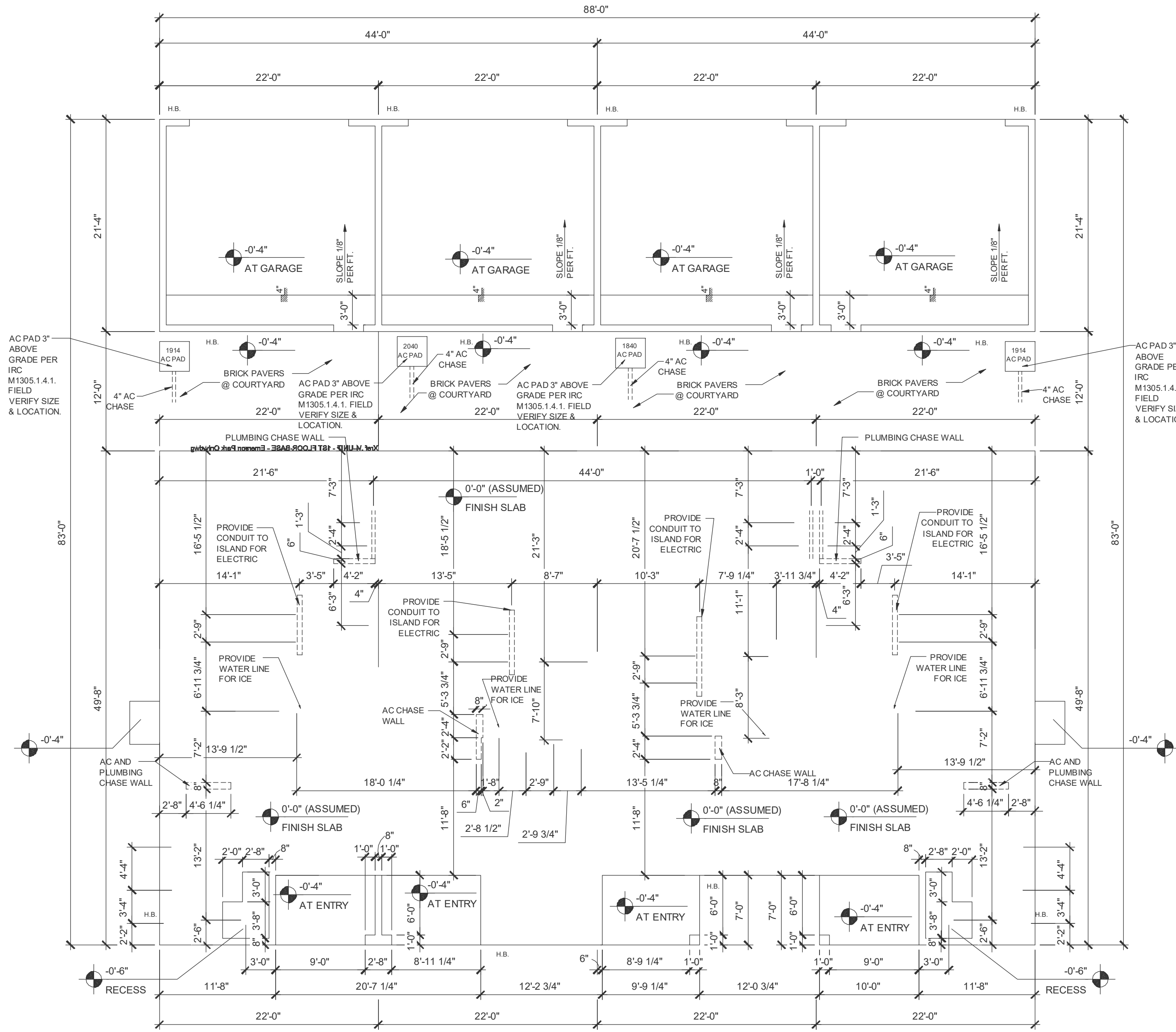


**PARK SQUARE
 4 - UNIT
 83' RL (Rear Load) TOWNS**

title:
**4 UNIT / 2-STORY
 SLAB INTERFACE**
 project no. 2022142
 checked:
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN
**3.0
 ELEV. A**

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1914
ADAMS
REVERSED

2024
MADISON

1840
JEFFERSON

1914
ADAMS

SLAB INTERFACE PLAN - 4 UNIT
1/8" = 1'-0"

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F: (407) 840-2334
www.fds-engineering.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF FLORIDA
No. 12442
DATE: June 11, 2024

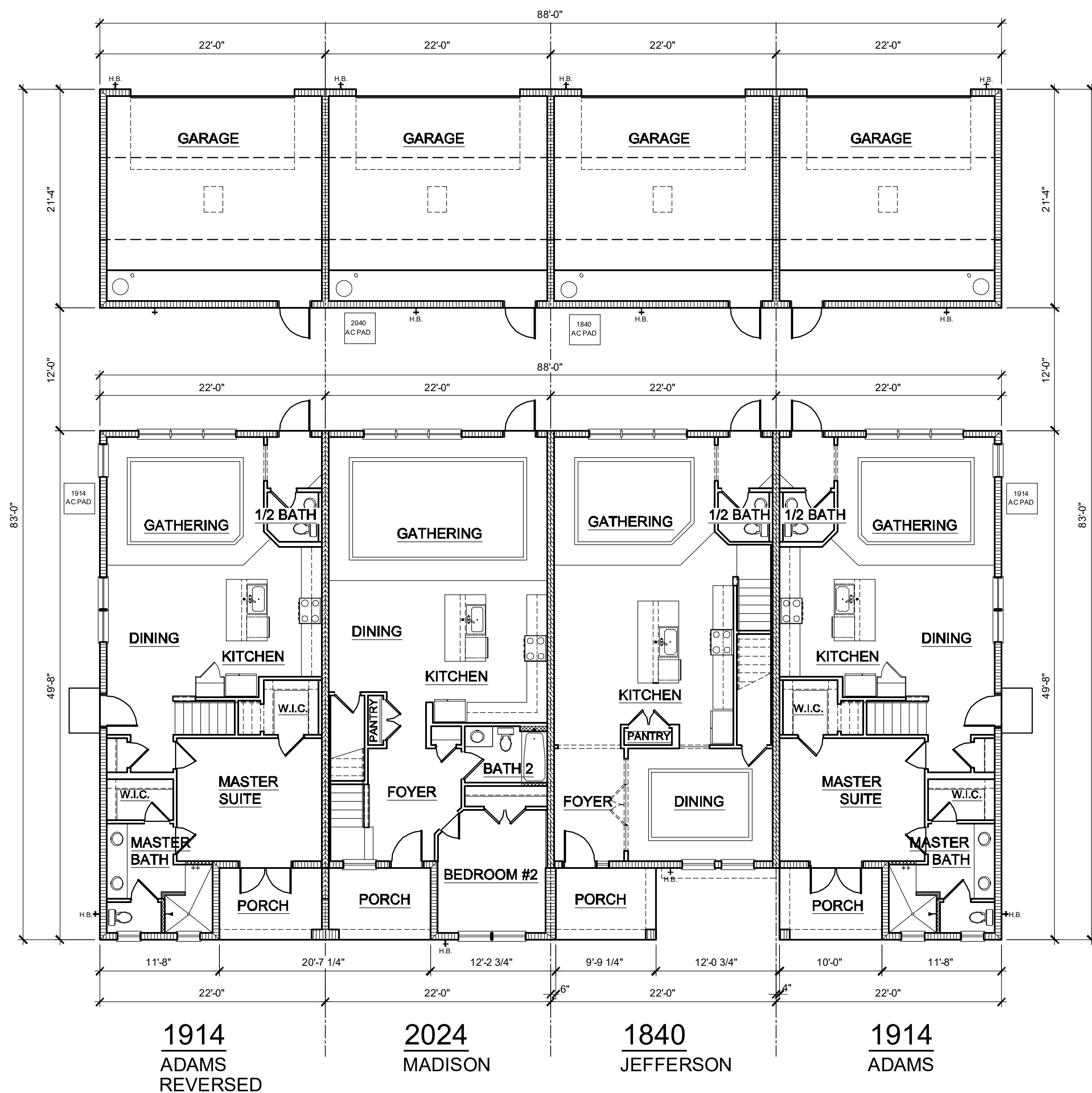
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
**4 UNIT / 2-STORY
SLAB INTERFACE**

project no. 2022142
checked:
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.0
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1ST FLOOR PLAN - 4 UNIT

1/8" = 1'-0"

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WALL LEGEND	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 9'-4" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU	
INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.	
INDICATES 2X WOOD PARTITIONS, (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)	
INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.	
INDICATES INSULATED WALLS	

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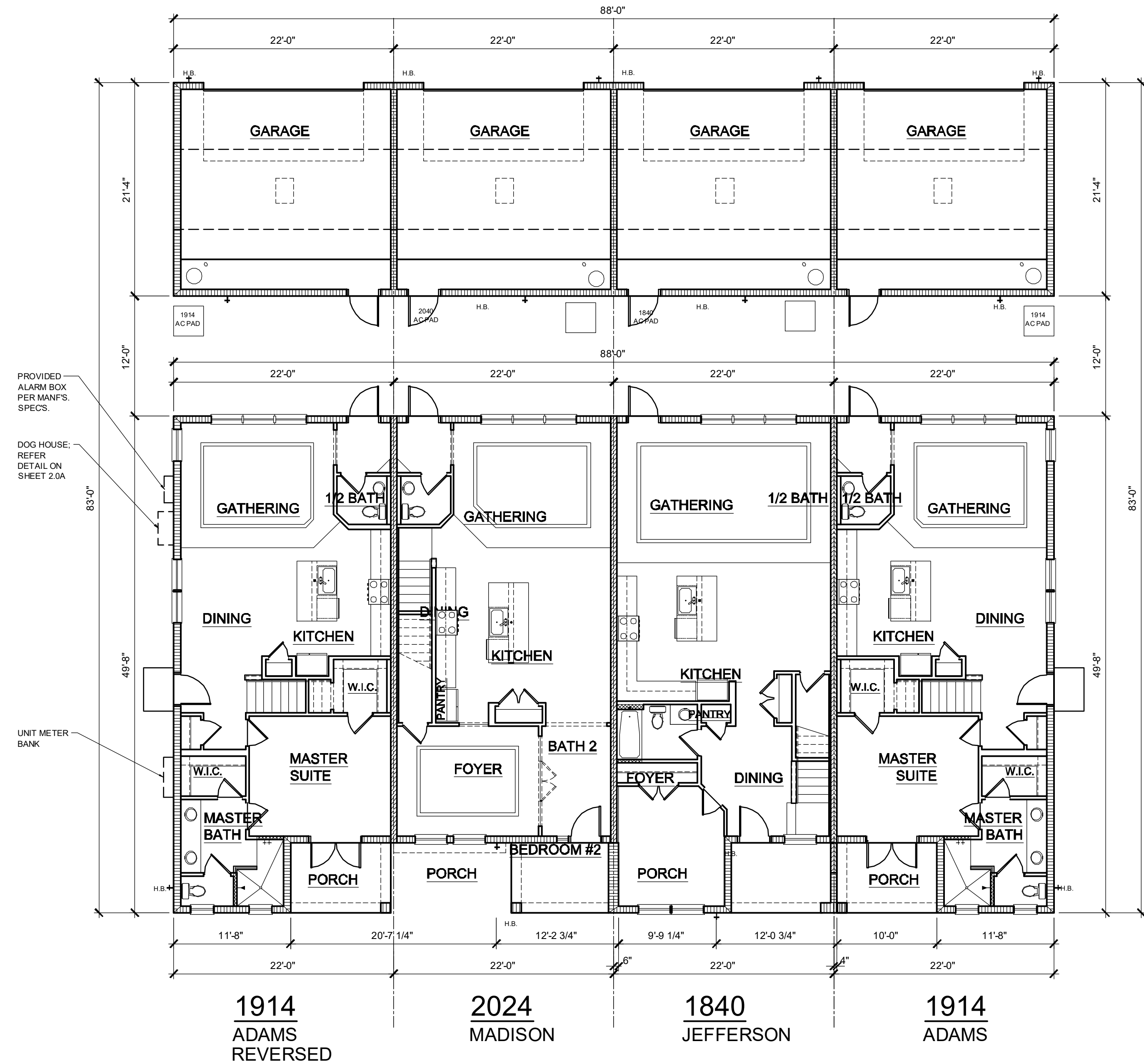
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
4 UNIT / 2-STORY
1ST FLOOR PLAN

project no. 2022142
 checked: BF
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

3.1
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



PROVIDED ALARM BOX PER MANF'S SPECS.
DOG HOUSE: REFER DETAIL ON SHEET 2.0A

UNIT METER BANK

1914 ADAMS REVERSED 2024 MADISON 1840 JEFFERSON 1914 ADAMS

1ST FLOOR PLAN - 4 UNIT

1/8" = 1'-0"

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WALL LEGEND

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- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING), 10'-8" TOP OF CMU
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- INDICATES 2X WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS

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1914 ADAMS REVERSED
2024 MADISON
1840 JEFFERSON
1914 ADAMS

407 980 2333

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407 980 2333
Certificate of Authorization No. 3151

□ CARLA A. BROWN, PE, P.E. #25728
□ TERRY H. MADONIK, PE, P.E. #16462
DATE: June 11, 2024

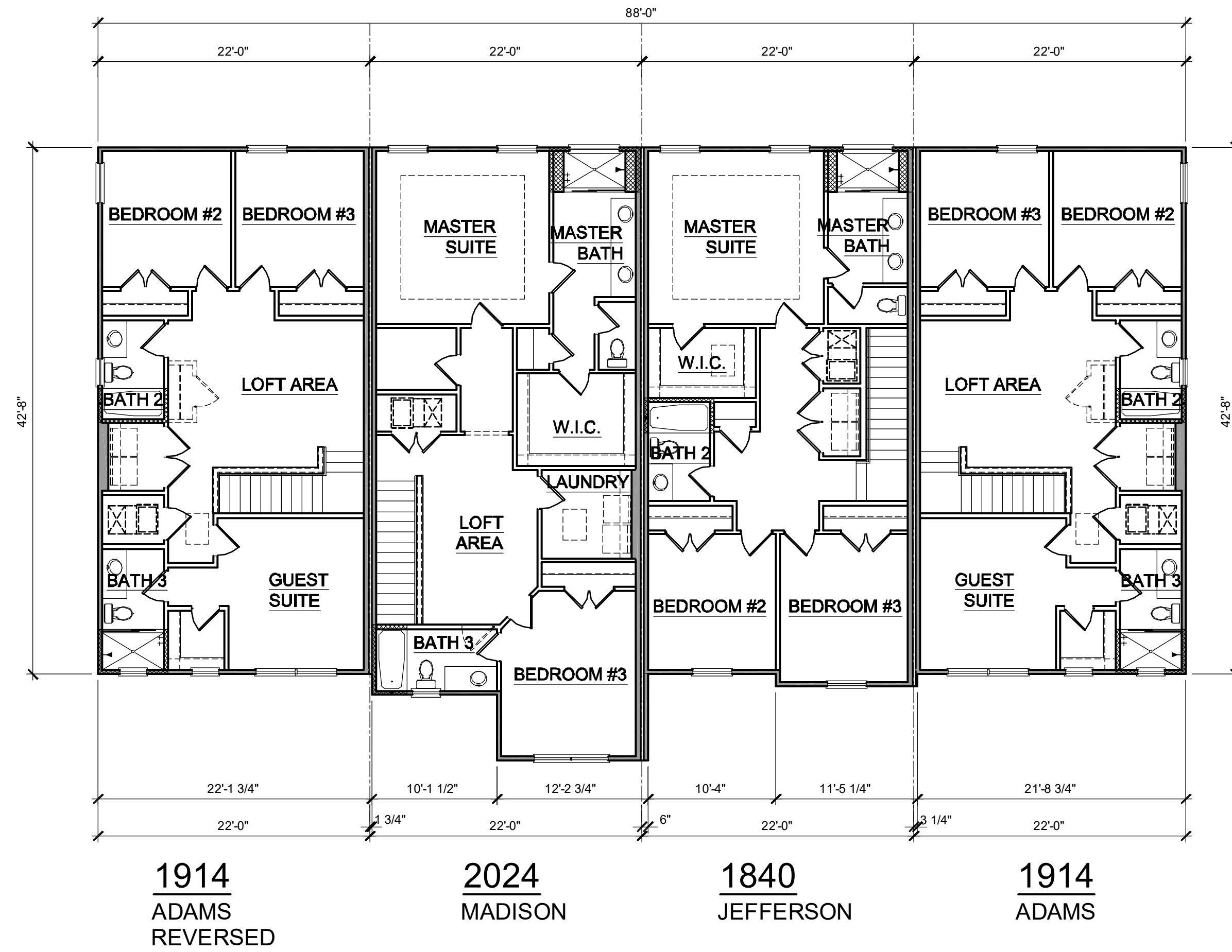
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**4 UNIT / 2-STORY
1ST FLOOR PLAN**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.1
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



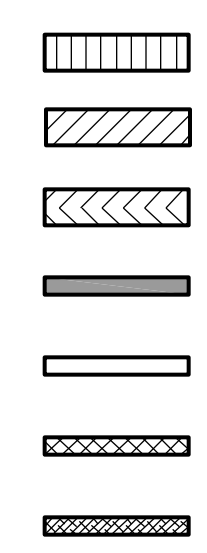
2ND FLOOR PLAN - 4 UNIT
1/4" = 1'-0"

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WALL LEGEND

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- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU
- INDICATES 8x8x16 (NOM.) C.M.U. (EXTERIOR LOAD BEARING) 10'-8" TOP OF CMU
- INDICATES WALLS TO BE UTILIZED FOR TRUSS BEARING 2x4 WOOD STUDS @ 16" O.C. U.N.O.
- INDICATES 2X WOOD PARTITIONS. (NON LOAD BEARING INTERIOR PARTITIONS ONLY.) (U.N.O.)
- INDICATES WET WALLS, 2X WOOD STUDS @ 12" O.C.
- INDICATES INSULATED WALLS



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Professional Engineer
Certificate of Authorization No. 0191

□ CARL A. BROWN, PE - FL # 54128
□ SCOTT LEWIS, PE - FL # 27789
□ JAMES J. JONES, PE - FL # 44402
DATE: JUN 11, 2024

BY: THE SEAL OF THE PROFESSIONAL ENGINEER AND ARCHITECTURE, INC. (STRUCTURE) AND ARCHITECTURE (ARCHITECTURE)

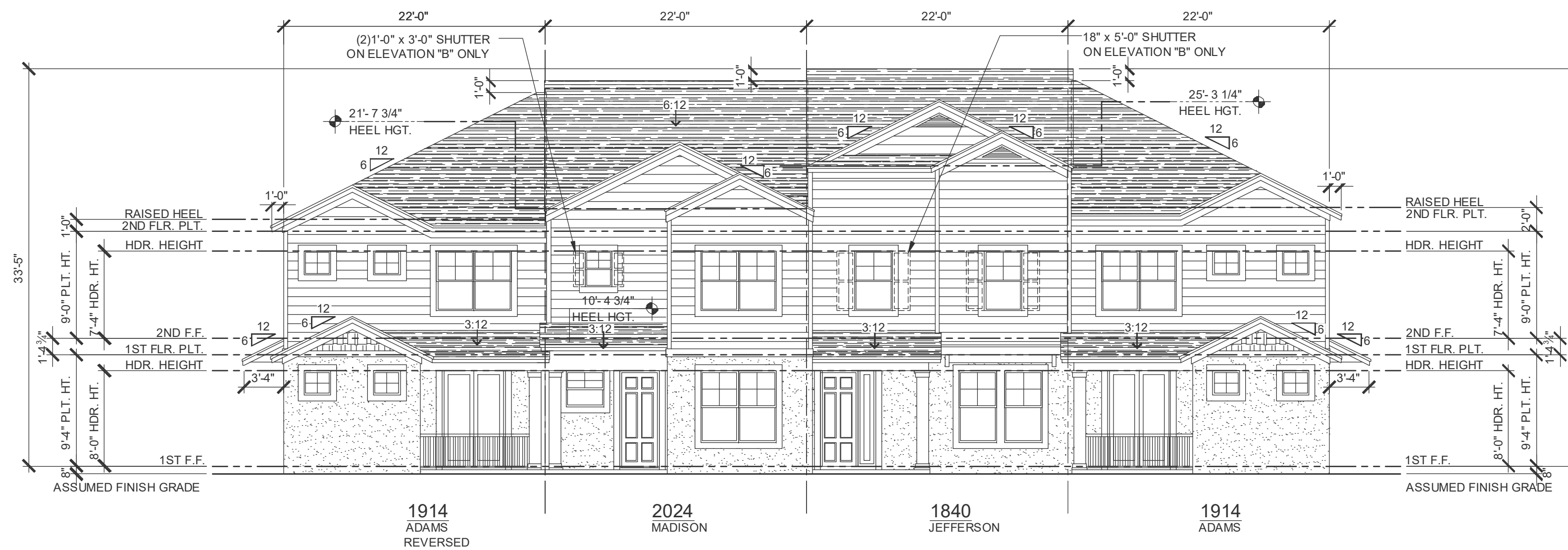
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
4 UNIT / 2-STORY
2ND FLOOR PLAN

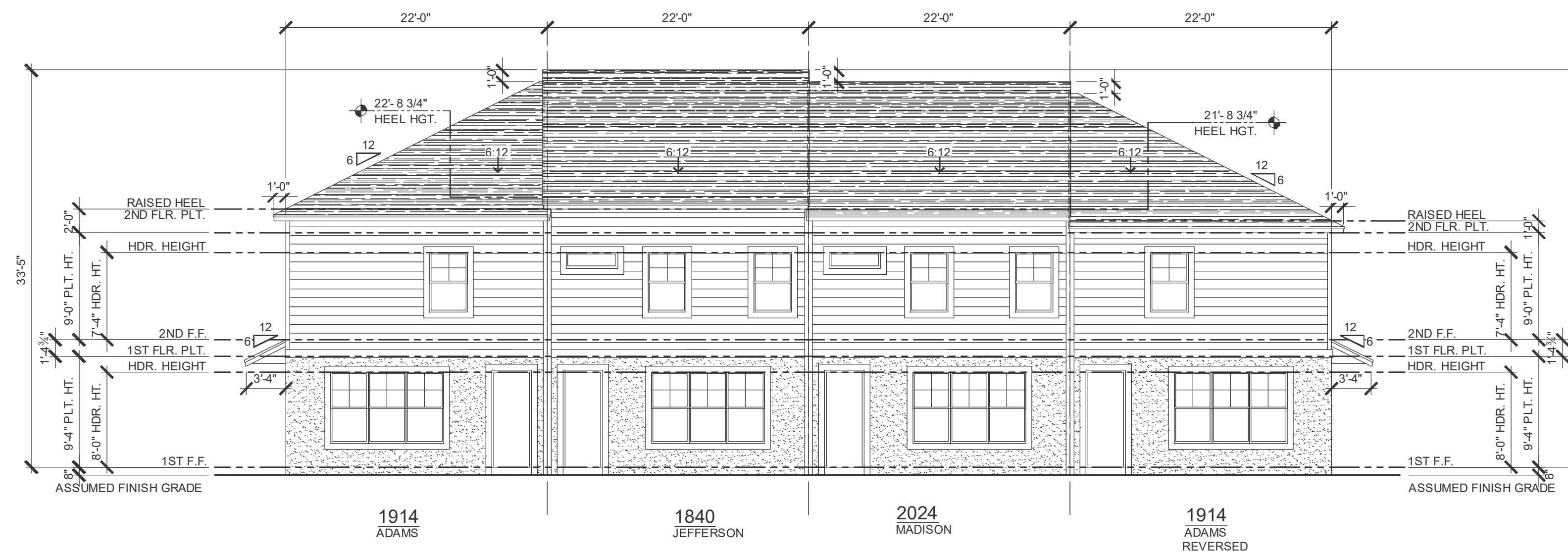
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

3.2
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



FRONT ELEVATION - 4 UNIT
1/8" = 1'-0"



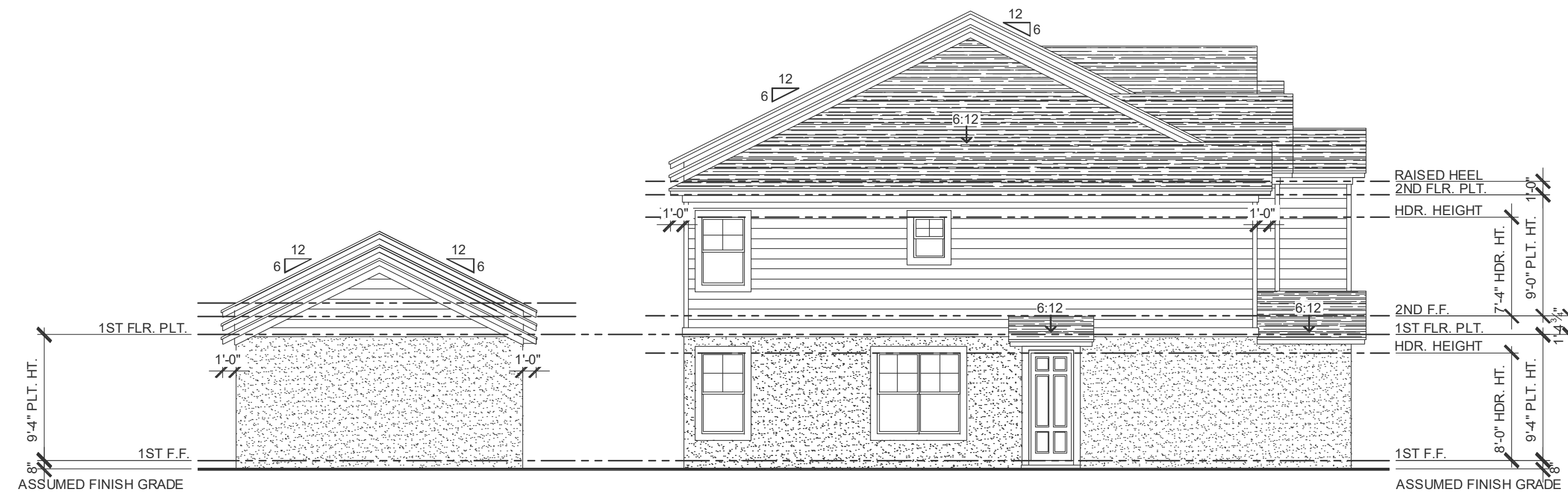
REAR ELEVATION - 4 UNIT
1/8" = 1'-0"

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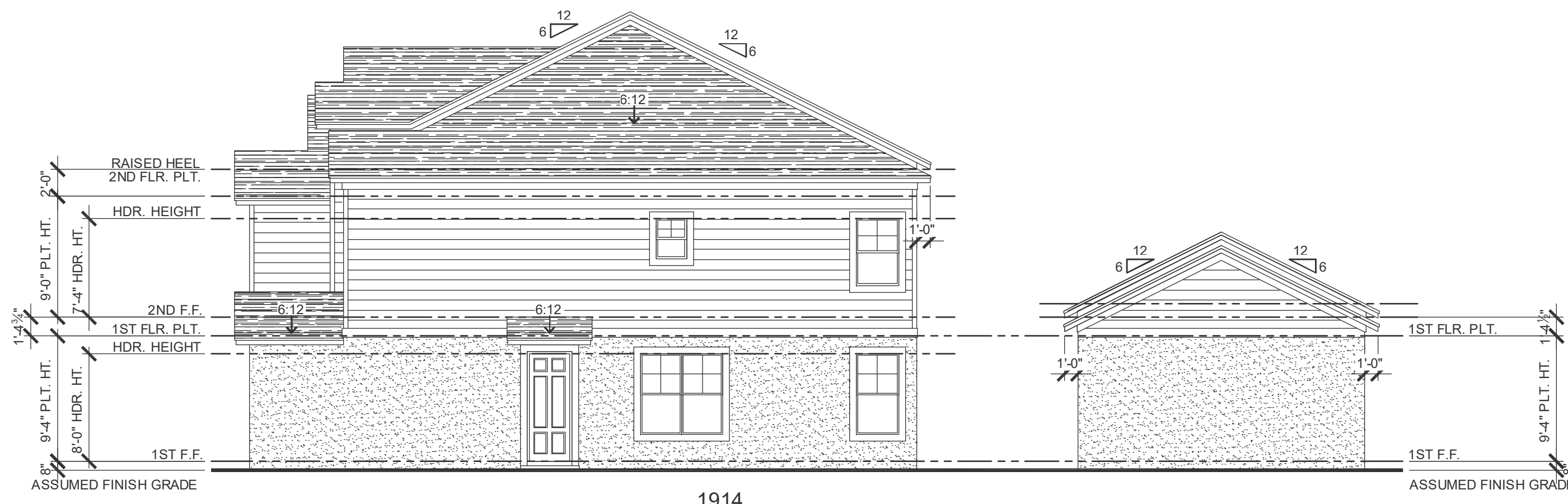
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914
ADAMS
REVERSED

LEFT ELEVATION - 4 UNIT

1/8" = 1'-0"



1914
ADAMS

RIGHT ELEVATION - 4 UNIT

1/8" = 1'-0"

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Professional Engineer
Certificate of Authorization No. 0191

CARL A. BROWN, PE - FL # 58128
 SCOTT LEWONSKI, PE - FL # 27920
 JAMES J. JONES, PE - FL # 2024

DATE: JUN 11, 2024

BY: [Signature]

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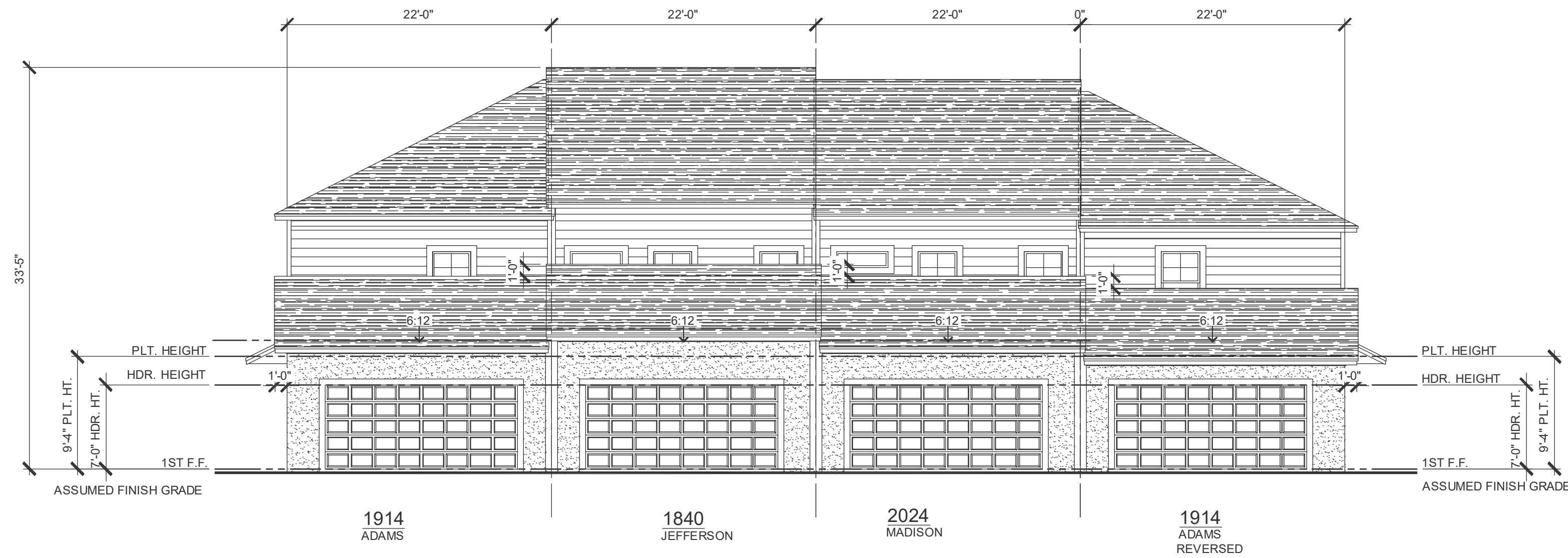
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
4 UNIT
EXT. ELEVATIONS

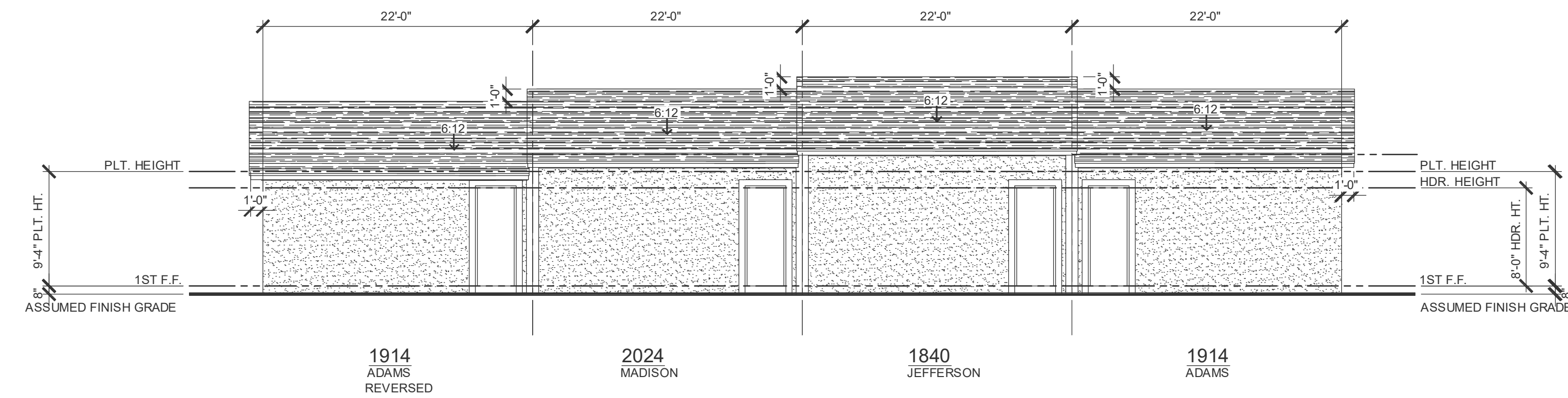
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

3.3 1
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**GARAGE
REAR ELEVATION - 4 UNIT**
1/8" = 1'-0"



**GARAGE
FRONT ELEVATION - 4 UNIT**
1/8" = 1'-0"

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Professional seals for FDS, Carl A. Brown, PE, and Scott Lewonowski, PE.

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

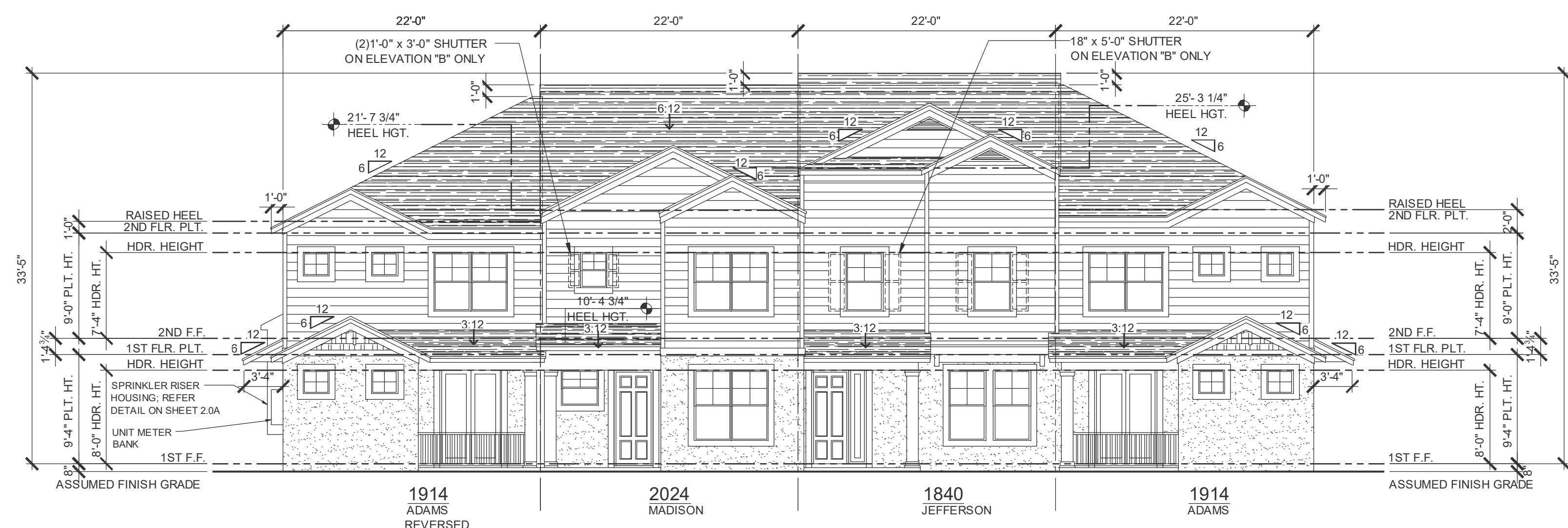
title:
**4 UNIT
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.3_2
ELEV. A**

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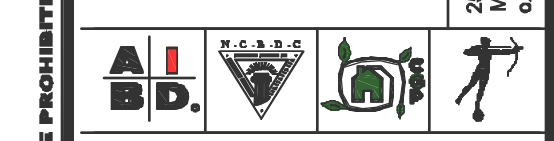
FRONT ELEVATION - 4 UNIT
1/8" = 1'-0"



REAR ELEVATION - 4 UNIT
1/8" = 1'-0"

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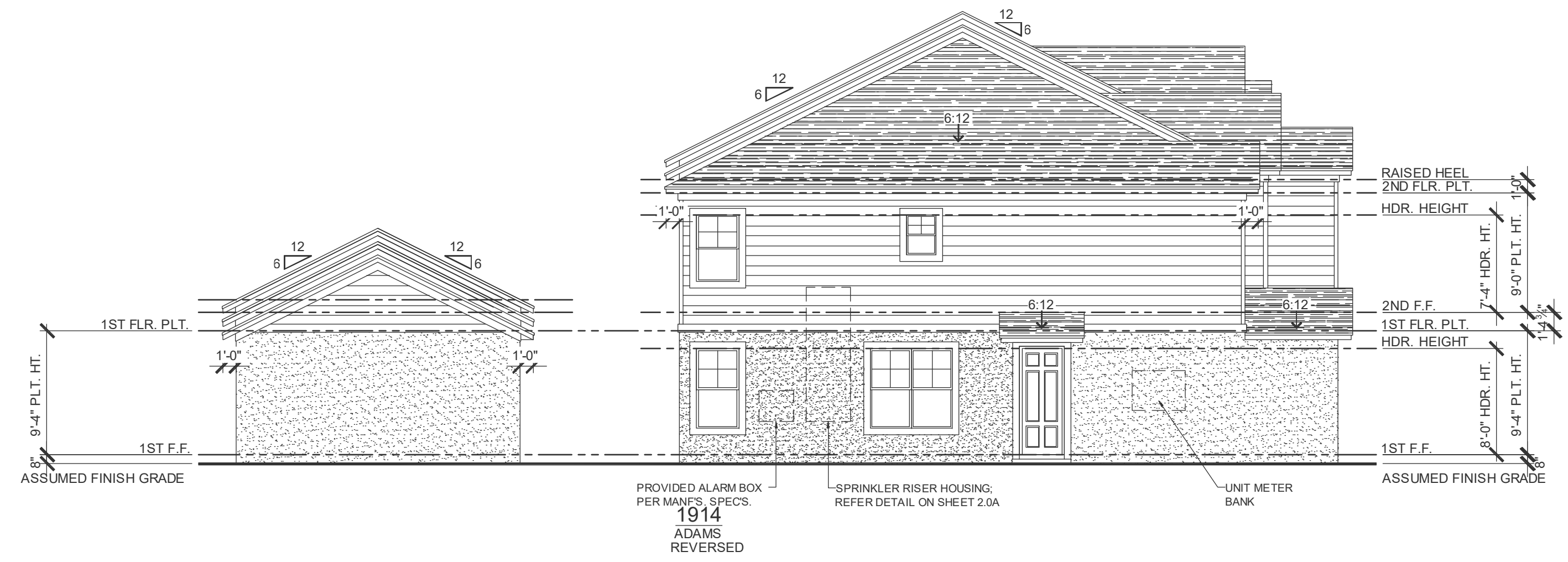
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**4 UNIT
EXT. ELEVATIONS**

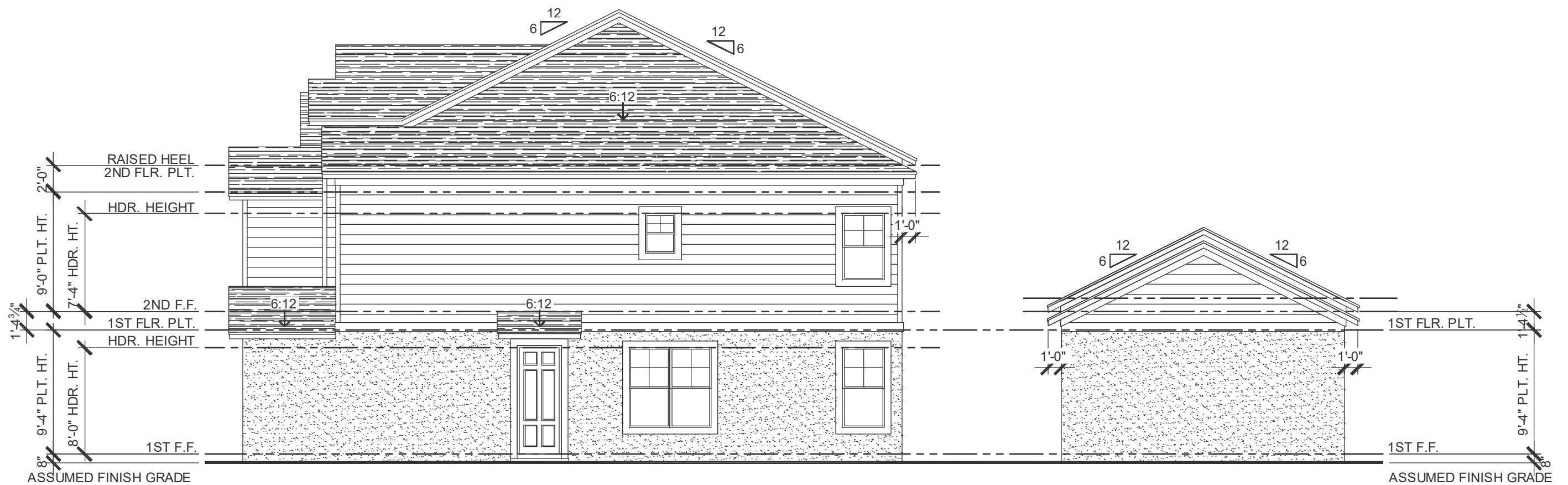
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.3
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



LEFT ELEVATION - 4 UNIT
1/8" = 1'-0"



RIGHT ELEVATION - 4 UNIT
1/8" = 1'-0"

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www.ny152home.com
Professional seals for P.E. and P.L. are shown.

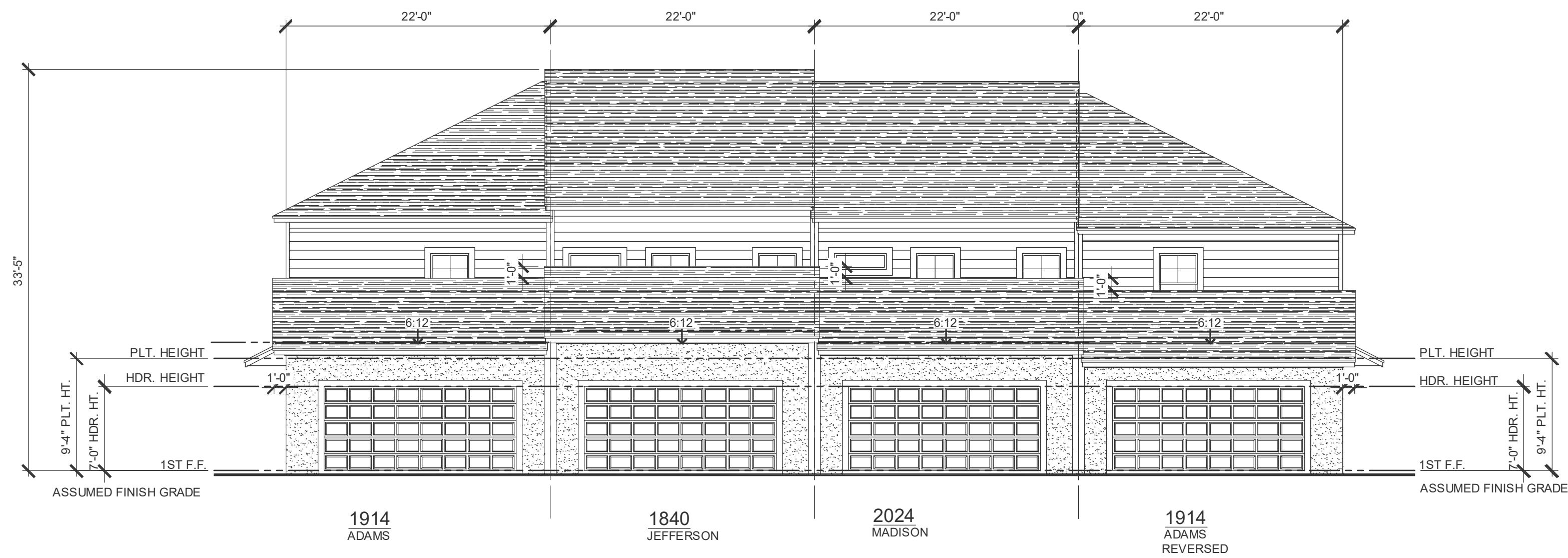
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**4 UNIT
EXT. ELEVATIONS**

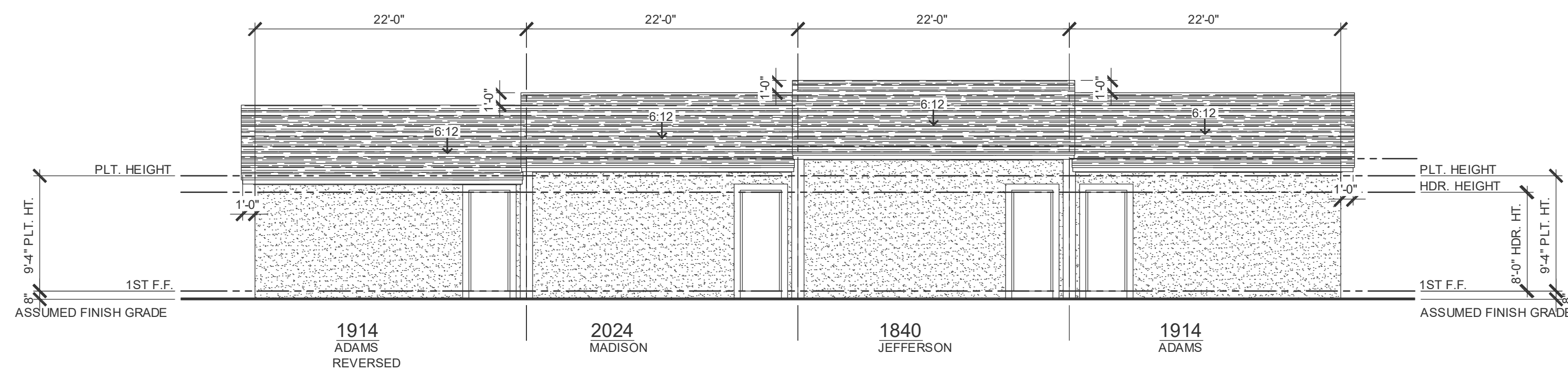
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.3 1
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



**GARAGE
REAR ELEVATION - 4 UNIT**
1/8" = 1'-0"



**GARAGE
FRONT ELEVATION - 4 UNIT**
1/8" = 1'-0"

DISCLAIMER

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**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

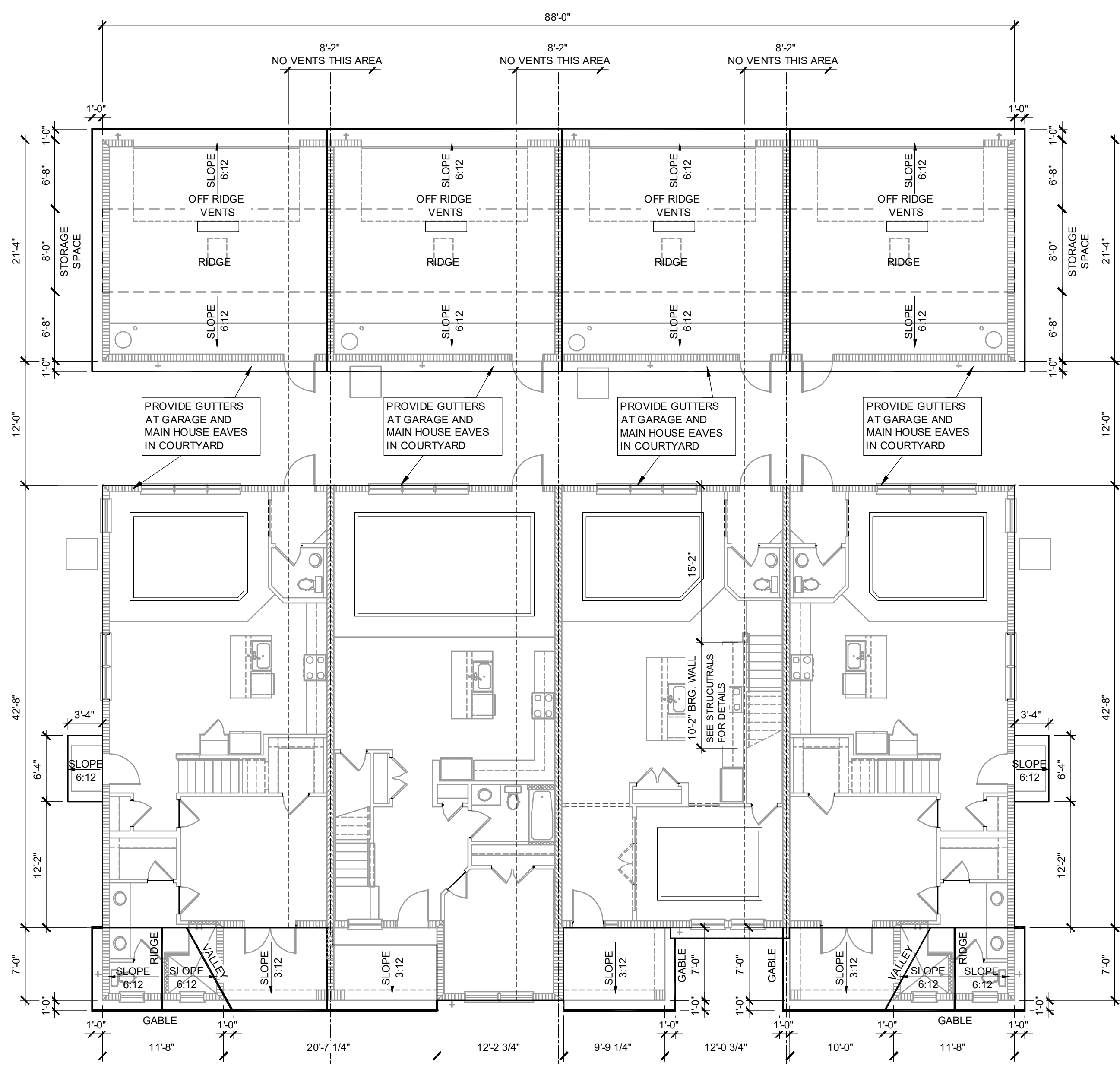
title:
**4 UNIT
EXT. ELEVATIONS**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**3.3_2
ELEV. A**

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1914 ADAMS REVERSED 2024 MADISON 1840 JEFFERSON 1914 ADAMS

LOWER ROOF PLAN - 4 UNIT

1/8" = 1'-0"

1914 - ADAMS	1840 - JEFFERSON	2024 - MADISON
VENTILATION REQUIRED @ GARAGE	VENTILATION REQUIRED @ GARAGE	VENTILATION REQUIRED @ GARAGE
469 S.F. / 300 = 1.56 1.56 / 2 = 0.78 0.78 *144 = 112.56 SQ. IN. 113 SQ. IN. OF VENT REQUIRED	469 S.F. / 300 = 1.56 1.56 / 2 = 0.78 0.78 *144 = 112.56 SQ. IN. 113 SQ. IN. OF VENT REQUIRED	469 S.F. / 300 = 1.56 1.56 / 2 = 0.78 0.78 *144 = 112.56 SQ. IN. 113 SQ. IN. OF VENT REQUIRED
VENTILATION REQUIRED @ ENTRY	VENTILATION REQUIRED @ ENTRY	VENTILATION REQUIRED @ ENTRY
154 S.F. / 300 = .51 .51 / 2 = 0.26 0.26 *144 = 36.96 SQ. IN. 37 SQ. IN. OF VENT REQUIRED SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION	72 S.F. / 300 = .24 .24 / 2 = 0.12 0.12 *144 = 17.28 SQ. IN. 18 SQ. IN. OF VENT REQUIRED SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION	72 S.F. / 300 = .24 .24 / 2 = 0.12 0.12 *144 = 17.28 SQ. IN. 18 SQ. IN. OF VENT REQUIRED SOFFIT VENTILATION PROVIDES ADEQUATE VENTILATION

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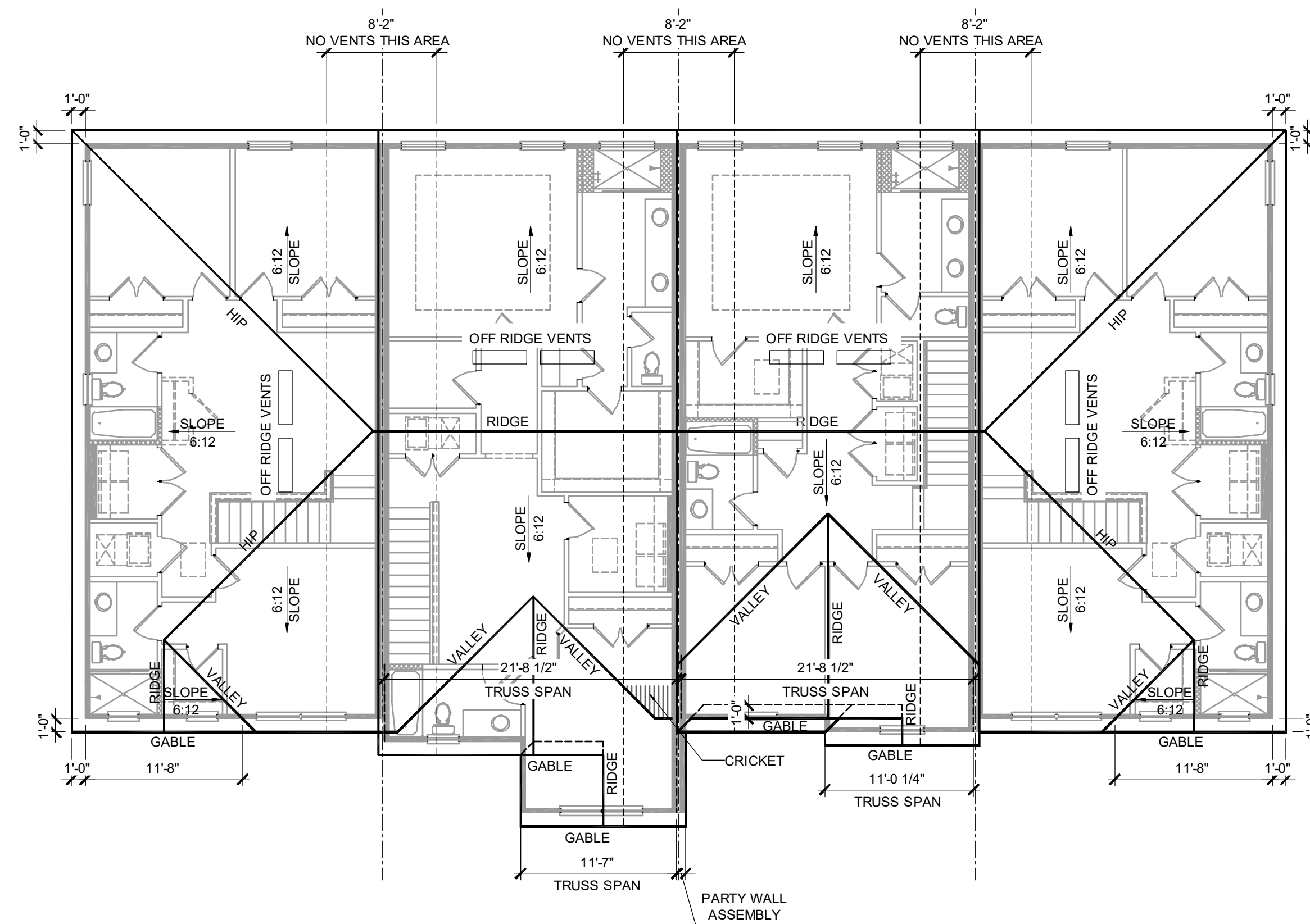


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MEMBERSHIP ARCHITECTS
288 Southhall Lane, Suite 200, Malibu, CA 90275
www.fdsinc.com
Certificate of Authorization No. 0181
□ CARLA A. BROWN, PE - FL # 54128
□ SCOTT LEWIS, PE - FL # 79789
□ JAMES L. JONES, PE - FL # 44442
DATE: JUN 11, 2024
BY: THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF FLORIDA

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
4 UNIT - 2 STORY
1ST FL. ROOF PLAN
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
3.4
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914
ADAMS
REVERSED

2024
MADISON

1840
JEFFERSON

1914
ADAMS

UPPER ROOF PLAN - 4 UNIT

1/8" = 1'-0"

2024 - MADISON
VENTILATION REQUIRED
1040 S.F. / 300 = 3.47
3.47 / 2 = 1.735
1.735 * 144 = 249.84 SQ. IN.
250 SQ. IN. OF VENT REQUIRED

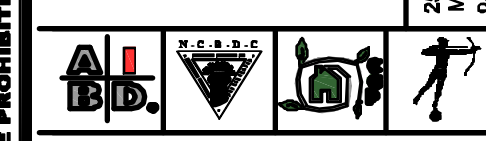
1840 - JEFFERSON
VENTILATION REQUIRED
950 S.F. / 300 = 3.17
3.17 / 2 = 1.585
1.585 * 144 = 228.24 SQ. IN.
229 SQ. IN. OF VENT REQUIRED

1914 - ADAMS
VENTILATION REQUIRED
939 S.F. / 300 = 3.13
3.13 / 2 = 1.565
1.565 * 144 = 225.36 SQ. IN.
226 SQ. IN. OF VENT REQUIRED

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FDS
ENGINEERING ASSOCIATES
202 Schalk Lane, Suite 200
Hulland, FL 32751
O: 407-980-2533 F: 407-980-2034
Certificate of Authorization No. BF161
 CARL A. BROWN, PE, F.L.#59128
 THIEN BAO DUONG, PE, F.L.#6482
DATE: June 11, 2024
www.myltdhome.com

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

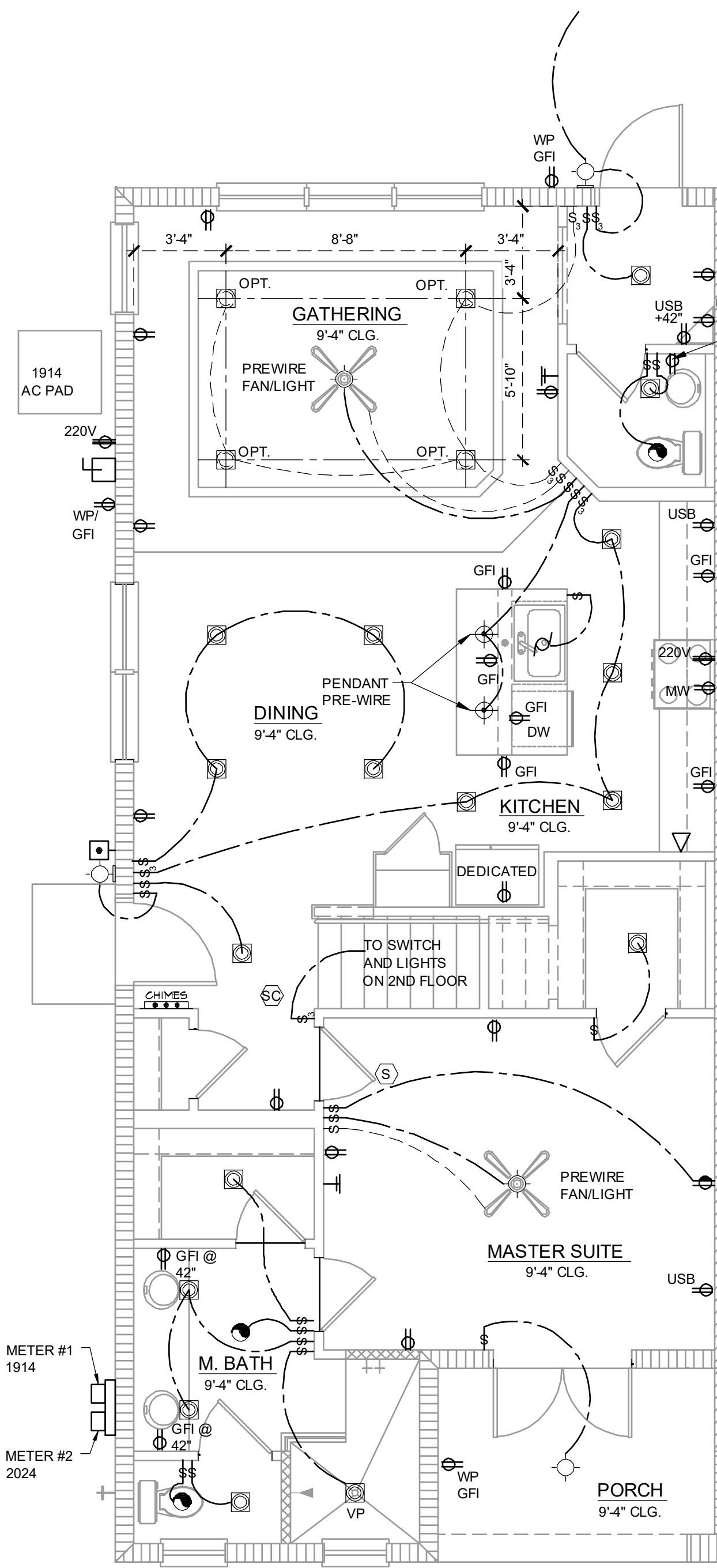
title:
4 UNIT - 2 STORY
2ND FL. ROOF PLAN

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

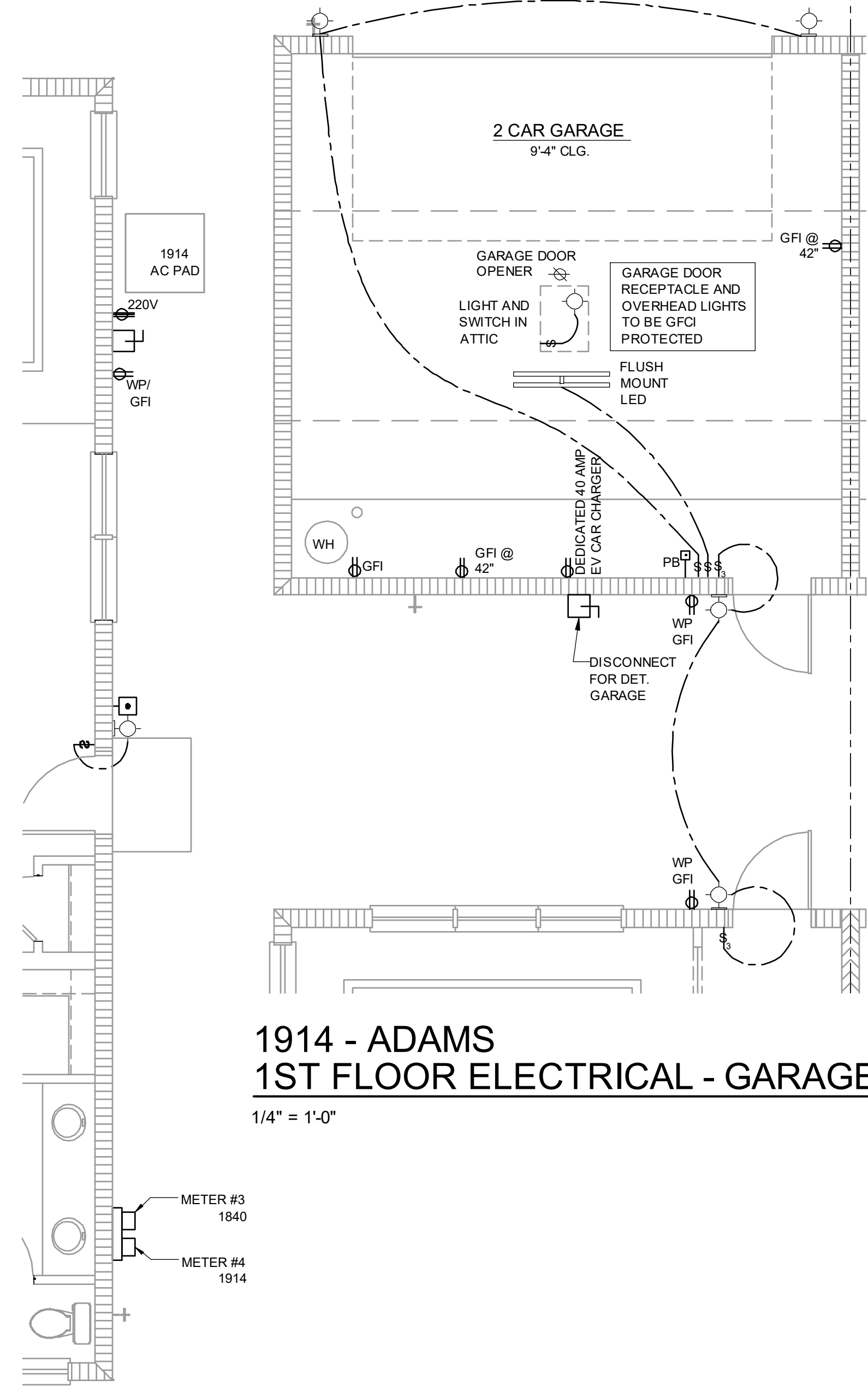
3.5
ELEV. A

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NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914 - ADAMS REVERSED 1ST FLOOR ELECTRICAL
1/4" = 1'-0"



1914 - ADAMS 1ST FLOOR ELECTRICAL - GARAGE
1/4" = 1'-0"

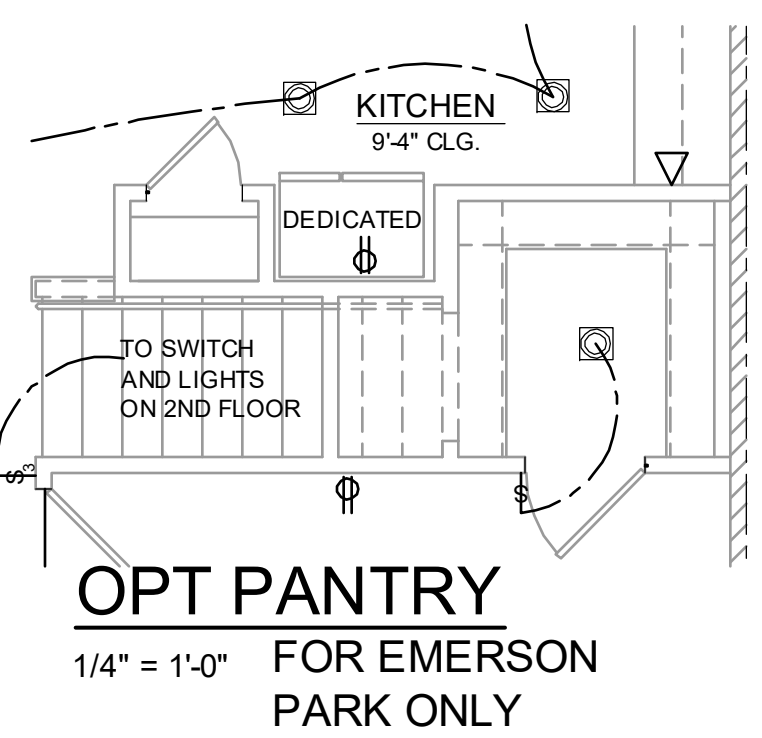
Residential Standard Calculation		Version 7.28		Synergy Electrical Systems, Inc.	
STEP 1 Article 220.42 & 220.62		General Lighting Load		5,480 VA	
STEP 2 Article 220.55 & 220.51		Appliance Demand Load		6,830 VA	
STEP 3 Article 220.53		Demand Load		123.0 A	
STEP 4 Article 220.64		Total Appliance Load		12,310 VA	

- ### ELECTRICAL KEY
- DUPLEX CONVENIENCE OUTLET
 - WEATHERPROOF DUPLEX OUTLET
 - GFI
 - GROUND FAULT INTERRUPTER DUPLEX OUTLET
 - HALF-SWITCHED DUPLEX OUTLET
 - DUPLEX OUTLET IN FLOOR
 - 220 VOLT OUTLET
 - DISPOSAL
 - WALL SWITCH
 - THREE-WAY SWITCH
 - FOUR-WAY SWITCH
 - DIMMER SWITCH
 - MOTION DETECTOR SWITCH (OPTIONAL)
 - PRE-WIRED SPEAKER
 - FLUSH MOUNT LED LIGHT FIXTURE
 - FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
 - MONO POINT TRACK HEAD (OPTIONAL)
 - PENDANT FIXTURE
 - SURFACE MOUNTED LED LIGHT FIXTURE
 - WALL MOUNTED LIGHT FIXTURE
 - FLUSH MOUNTED LED LIGHT FIXTURE
 - WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
 - UNDERCABINET LIGHTING (OPTIONAL)
 - WALL SCIENCE
 - EXHAUST FAN
 - EXHAUST FAN & LIGHT COMBO
 - OUTLET FOR GARAGE DOOR OPENER
 - SOFFIT OUTLET (OPTIONAL)
 - CHIMES
 - PUSHBUTTON SWITCH
 - SMOKE DETECTOR
 - SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
 - CAT 5 TELEPHONE OUTLET PREWIRE
 - TELEVISION OUTLET PREWIRE
 - THERMOSTAT
 - ELECTRIC METER
 - ELECTRIC PANEL
 - DISCONNECT SWITCH
 - SECURITY SYSTEM KEYPAD
 - PRE-WIRE FOR CEILING FAN
 - PRE-WIRE FOR CEILING FAN / LIGHT COMBO
 - SECURITY/FLOOD LIGHTS
 - GAS METER
 - JUNCTION BOX

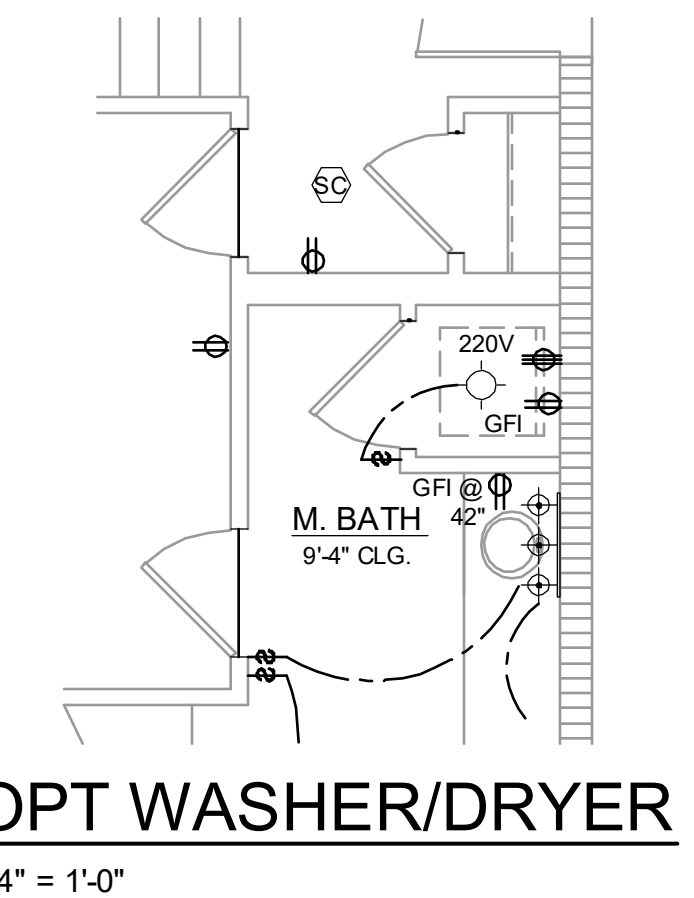
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NFPA 70
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

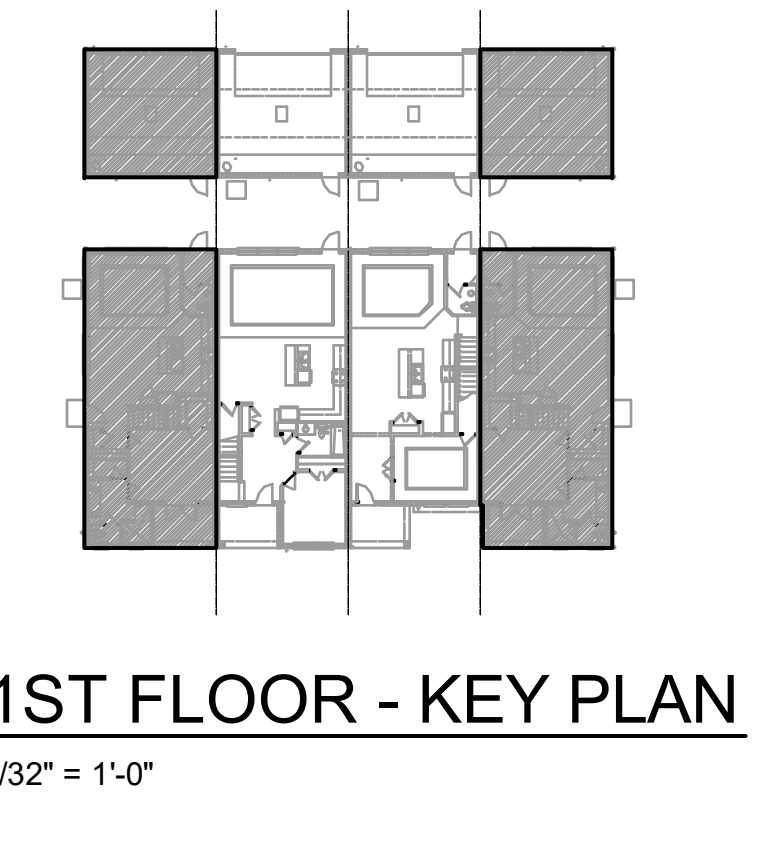
RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT FOR AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.



OPT PANTRY FOR EMERSON PARK ONLY
1/4" = 1'-0"



OPT WASHER/DRYER
1/4" = 1'-0"



1ST FLOOR - KEY PLAN
1/32" = 1'-0"

- ### GENERAL NOTES
- FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
 - ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBOR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
 - ARCH FAULT BREAKERS: ALL BRANCH CIRCUITS SERVING BEDROOMS, FAMILY ROOMS, HALLWAYS, KITCHEN, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, REC. ROOMS, CLOSETS AND LAUNDRY AREAS SHALL BE PROTECTED BY ARCH FAULT BREAKERS, PER 2023 FBOR. (REFER TO CHAPTERS 34 - 43)
 - NEC 2020 210.52(G)(1) GARAGES. IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY, NOT MORE THAN 1.7M (5-1/2 FT.) ABOVE THE FLOOR.
 - TAMPER-RESISTANT "TR" RECEPTACLES: ALL 125-VOLT, 15 & 20 AMPERE ELECTRICAL OUTLETS (RECEPTACLES) IN LIVING ROOM AREAS, BATHROOMS, KITCHEN, GARAGE, LAUNDRY ROOM, AND EXTERIOR LOCATIONS MUST BE "TAMPER-RESISTANT" PER 2023 FBOR. (REFER TO CHAPTERS 34 - 43)
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 - EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATION WHERE EXCEPTION IS DESIRED IS ALLOWED PER 2023 FBOR REFERENCED NFPA 70.
 - UNLESS OTHERWISE INDICATED OR GOVERNED BY CODE, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR.

ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO CL.
REMAINING SWITCHES	48" TO CL.
WALL OUTLETS	12" TO CL.
TELEPHONE OUTLETS	12" TO CL.
TELEVISION OUTLETS	12" TO CL.
EXTERIOR GFIS	48" TO CL.
GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO CL.
THERMOSTAT	54" TO CL.
DOOR BELL CHIMES	66" TO CL.
DOOR BELL BUTTON	78" TO CL.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	LEVEL W/ DOOR HANDLE
KITCHEN HOOD FAN "WHIP"	48" TO CL.
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
CL. = CENTER LINE	

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288 Bonhall Lane, Suite 200, Boca Raton, FL 33433
REGISTERED PROFESSIONAL ENGINEER
Certificate of Authorization No. 0181
CARL A. BROWN, PE - FL # 54128
SCOTT LEWONOWSKI, PE - FL # 79789
D. J. JAMES, P.E. - FL # 64622
DATE: JULY 11, 2024
SCALE: AS SHOWN

PARK SQUARE 4 - UNIT 83' RL (Rear Load) TOWNS

title: **1914 - ADAMS ELECTRICAL**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
4.1A ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

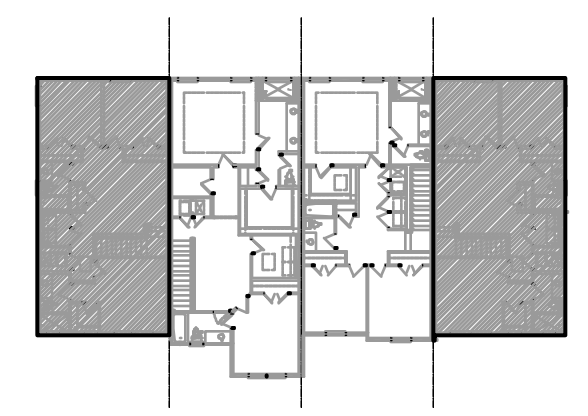
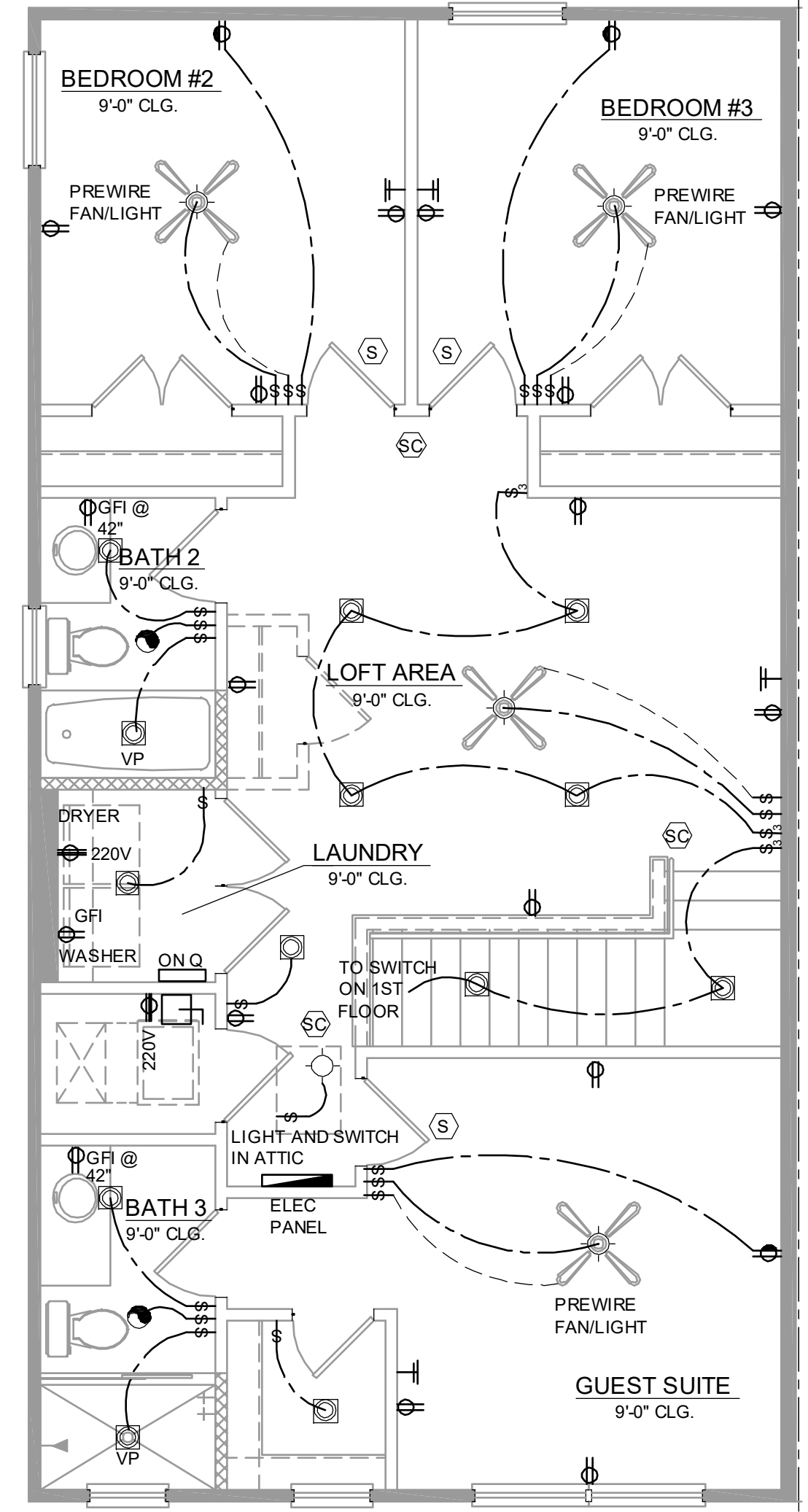
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**1914 - ADAMS
2ND FLOOR ELECTRICAL**
1/4" = 1'-0"



2ND FLOOR - KEY PLAN
1/32" = 1'-0"

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
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- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCONCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

GENERAL NOTES

- FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
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ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO C.L.
REMAINING SWITCHES	48" TO C.L.
WALL OUTLETS	12" TO C.L.
TELEPHONE OUTLETS	12" TO C.L.
TELEVISION OUTLETS	12" TO C.L.
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GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO C.L.
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DOOR BELL CHIMES	84" TO C.L.
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288 Southhall Lane, Suite 200, Miramar, FL 32751
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CARLA A. BROWN, PE - FL # 54128
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DATE: JULY 11, 2024
SCALE: AS SHOWN

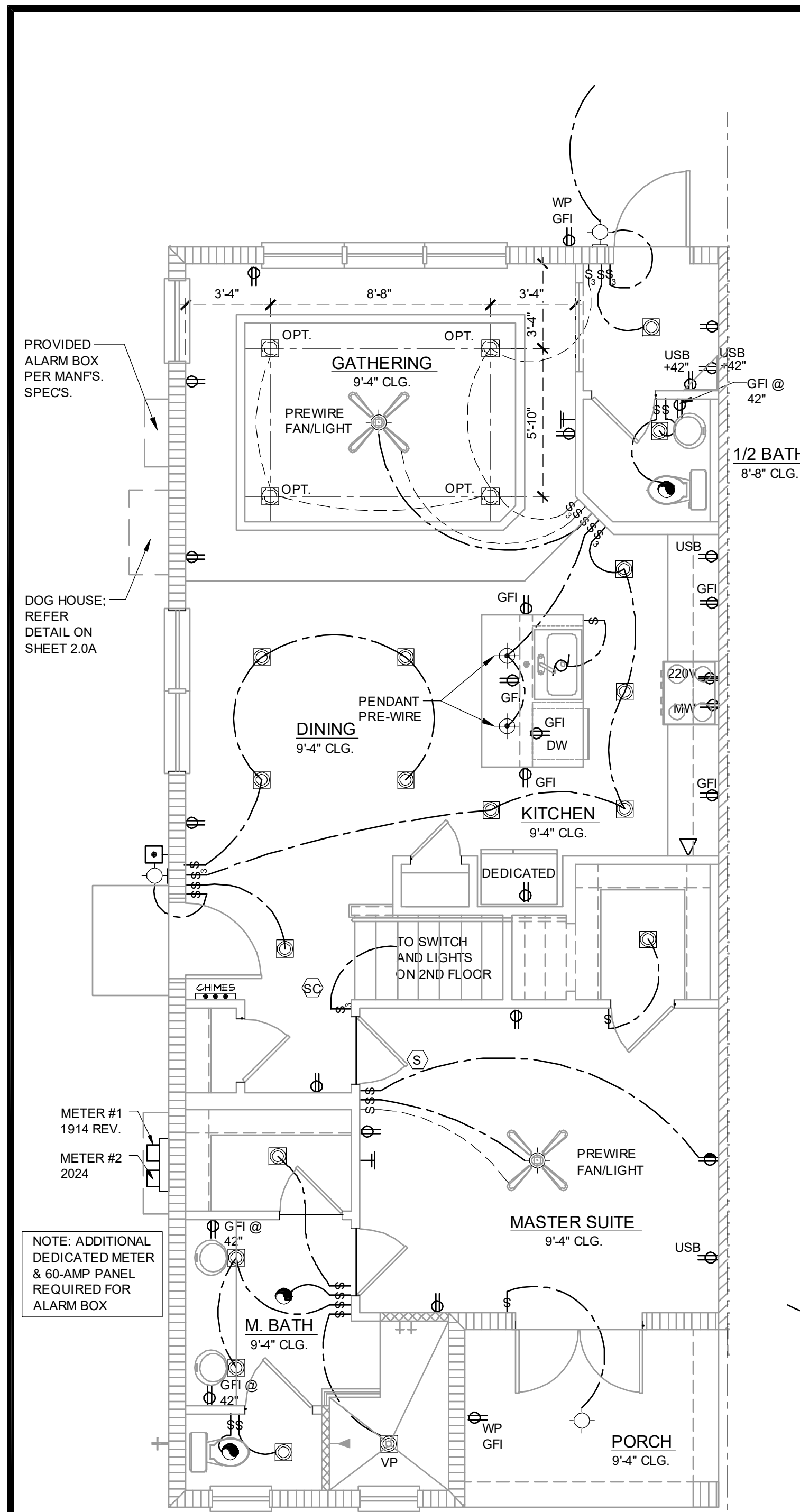
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
FLOOR PLAN**

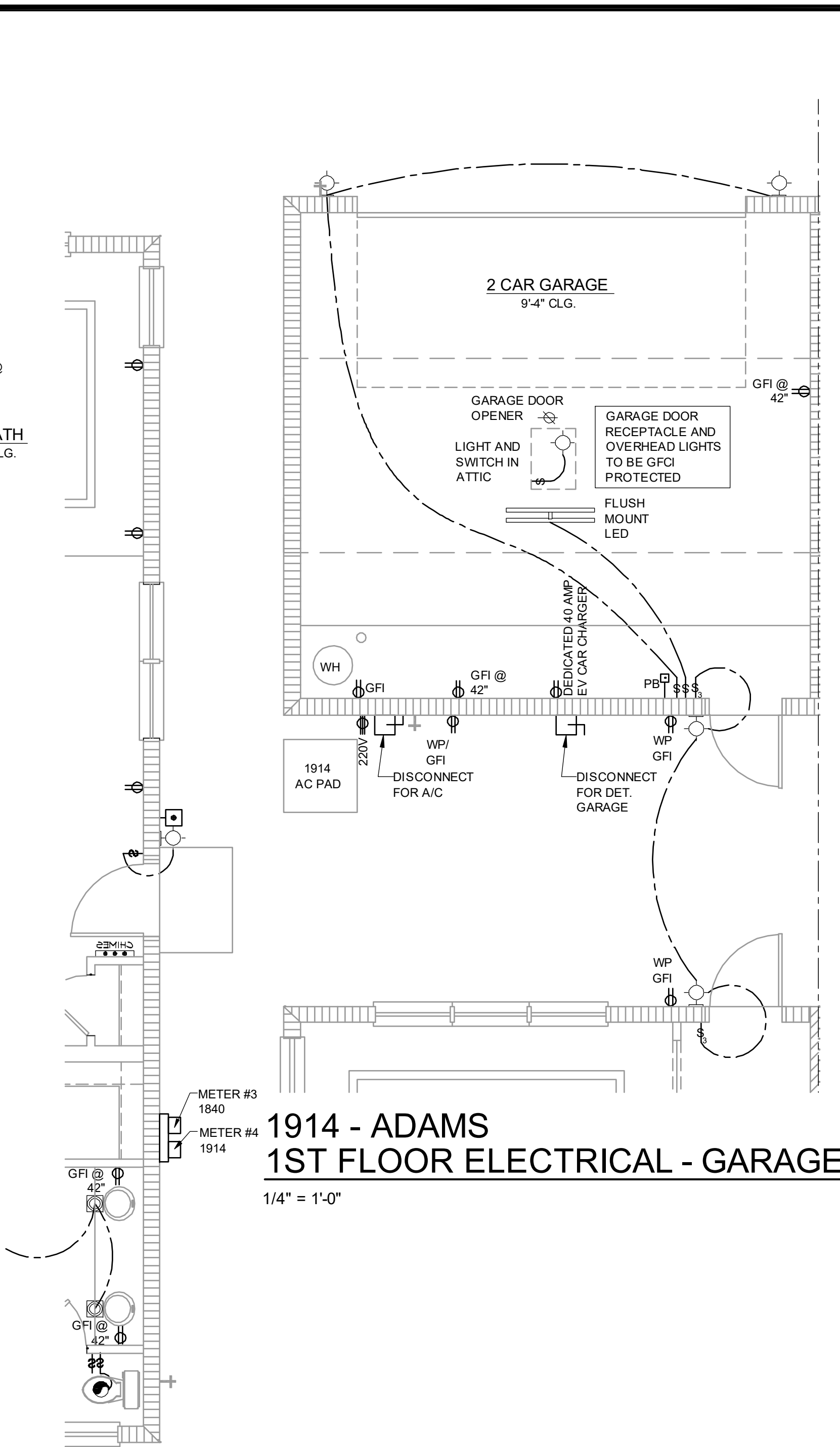
project no. 2022142
checked: BF
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date: 05-17-22
scale: AS SHOWN

**4.2A
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914 - ADAMS REVERSED 1ST FLOOR ELECTRICAL
1/4" = 1'-0"



1914 - ADAMS 1ST FLOOR ELECTRICAL
1/4" = 1'-0"

Residential Standard Calculation

STEP	Area	Item	VA	Notes
STEP 1	1914 AC PAD	General Lighting	5,829 VA	
		Small Appliances	3,000 VA	
		Laundry Circuit	1,500 VA	
		Gen. Lgt. Sm. App. & Lavn. Load	10,329 VA	
		220V	7,259 VA	2,450 VA @ 20% VA
STEP 2	220-50 & 220-51	General Lighting Demand Load	5,480 VA	
		Small Appliances Demand Load	2,800 VA	
		Laundry Demand Load	1,500 VA	
		Gen. Lgt. Sm. App. & Lavn. Demand Load	9,280 VA	
		220V Demand Load	6,800 VA	
STEP 3	220-52	Appliance Demand Load	6,928 VA	
		Dryer Demand Load	5,000 VA	
		Range Demand Load	8,000 VA	
		Service Demand	31,158 VA	
		Demand Load	130 A	
		Neutral Demand	76 A	
		Min. Service Req.	180 A	
		Min. Feeder Size	1	
		Min. Neutral Size	4	
		Eq. Grounding Cond.	Copper	
STEP 4	220-54	VA Demand	6,800 VA	
		VA Demand	6,800 VA	
STEP 5	220-58	Electric Range	8,000 W	
		Check Name Plate		

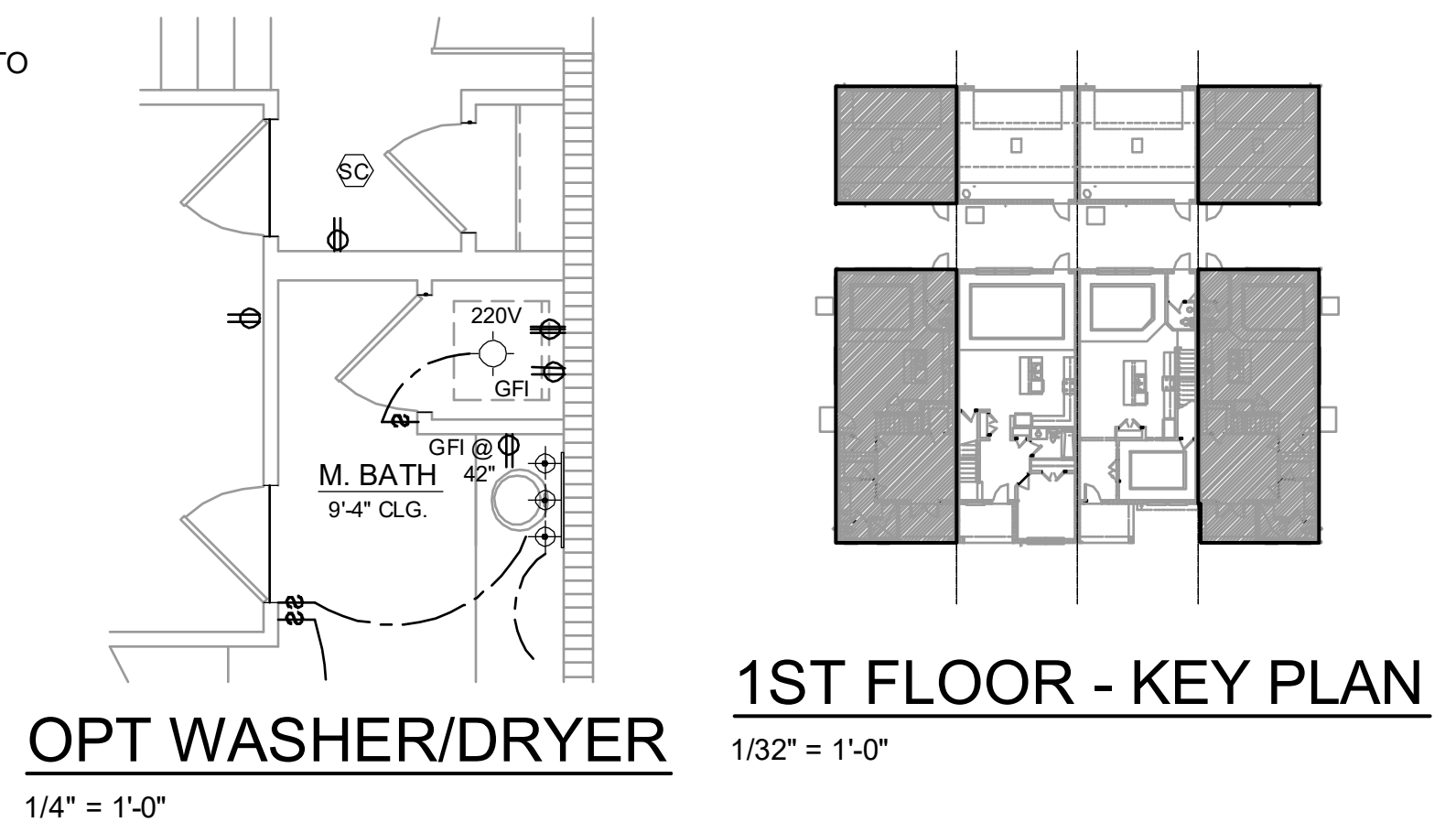
- ELECTRICAL KEY**
- DUPLEX CONVENIENCE OUTLET
 - LEATHER-PROOF DUPLEX OUTLET
 - GROUND FAULT INTERRUPTER DUPLEX OUTLET
 - HALF-SWITCHED DUPLEX OUTLET
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 - WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
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 - WALL SCIENCE
 - EXHAUST FAN
 - EXHAUST FAN & LIGHT COMBO
 - OUTLET FOR GARAGE DOOR OPENER
 - SOFFIT OUTLET (OPTIONAL)
 - CHIMES
 - PUSHBUTTON SWITCH
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 - SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
 - CAT 5 TELEPHONE OUTLET PREWIRE
 - TELEVISION OUTLET PREWIRE
 - THERMOSTAT
 - ELECTRIC METER
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 - JUNCTION BOX

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1914 - ADAMS 1ST FLOOR - KEY PLAN
1/32" = 1'-0"

- GENERAL NOTES**
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 - ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
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ELECTRICAL DEVICES	ABOVE FIN. FLR.
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REMAINING SWITCHES	48" TO CL
WALL OUTLETS	12" TO CL
TELEPHONE OUTLETS	12" TO CL
TELEVISION OUTLETS	12" TO CL
EXTERIOR GFCIS	12" TO CL
GARAGE GFCIS (ABOVE GARAGE FLOOR)	48" TO CL
THERMOSTAT	54" TO CL
DOOR BELL CHIMES	84" TO CL
DOOR BELL BUTTON	96" TO CL
KITCHEN HOOD FAN "WHP"	LEVEL W/ DOOR HANDLE
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	78" TO CL
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL
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WASHER/DRYER OUTLET	36" TO CL
HOLLYWOOD LIGHTS	84" TO CL
C.L. = CENTER LINE	

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208 S.W. 8th Street, Suite 20751
Ocala, FL 32761
Certificate of Authorization No. 9161
CARLA A. BROWN, P.E., F.L. #16108
THEIR BAO DYNAMIC, P.E., #14432
DATE: June 11, 2024
FOR THE ARCHITECT'S PROFESSIONAL SEAL

PARK SQUARE 4 - UNIT 83' RL (Rear Load) TOWNS

title: **1914 - ADAMS ELECTRICAL**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

4.1A ELEV. A

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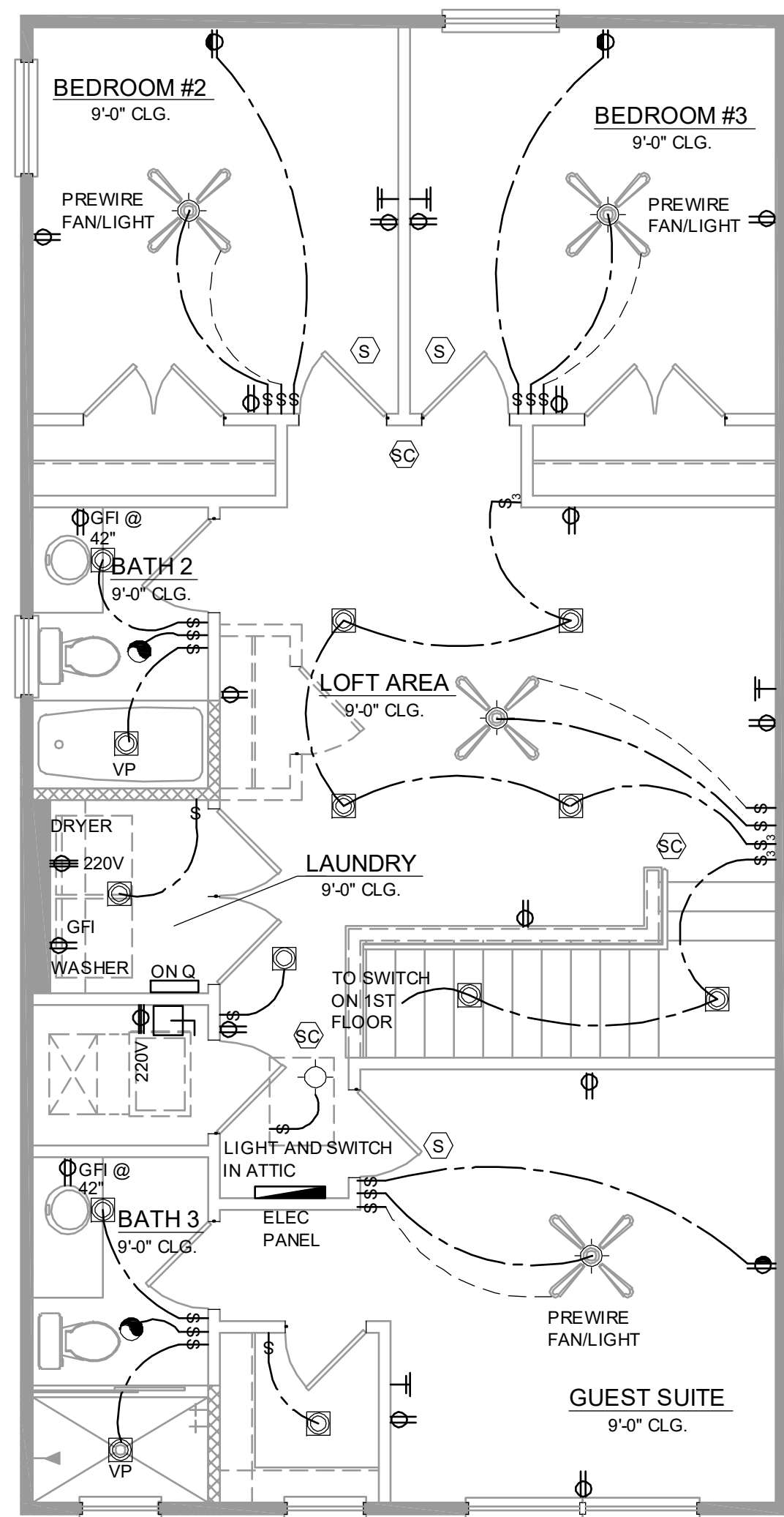
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**1914 - ADAMS
2ND FLOOR ELECTRICAL**

1/4" = 1'-0"

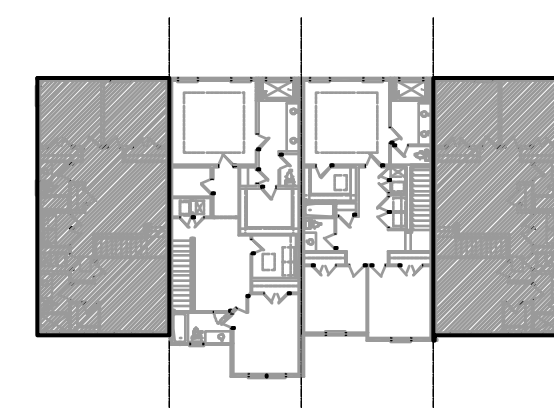
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2ND FLOOR - KEY PLAN

1/32" = 1'-0"



ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220V OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
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- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
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- THERMOSTAT
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- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

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C: 407-940-2333 F: 407-940-2334
Certificate of Authorization No. 8161
CARL L. BROWN, P.E. - FL #15128
THIEN BAO DUONG, P.E. - FL #94482
DATE: JUNE 11, 2024
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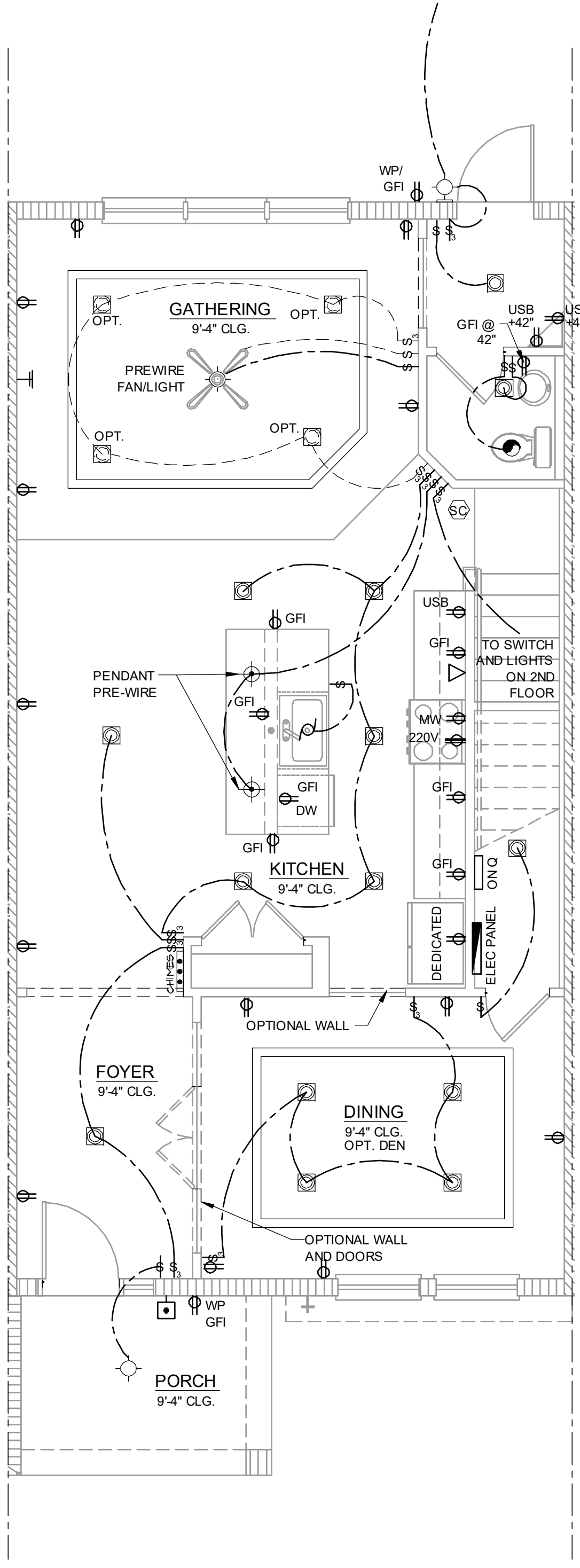
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1914 - ADAMS
FLOOR PLAN**

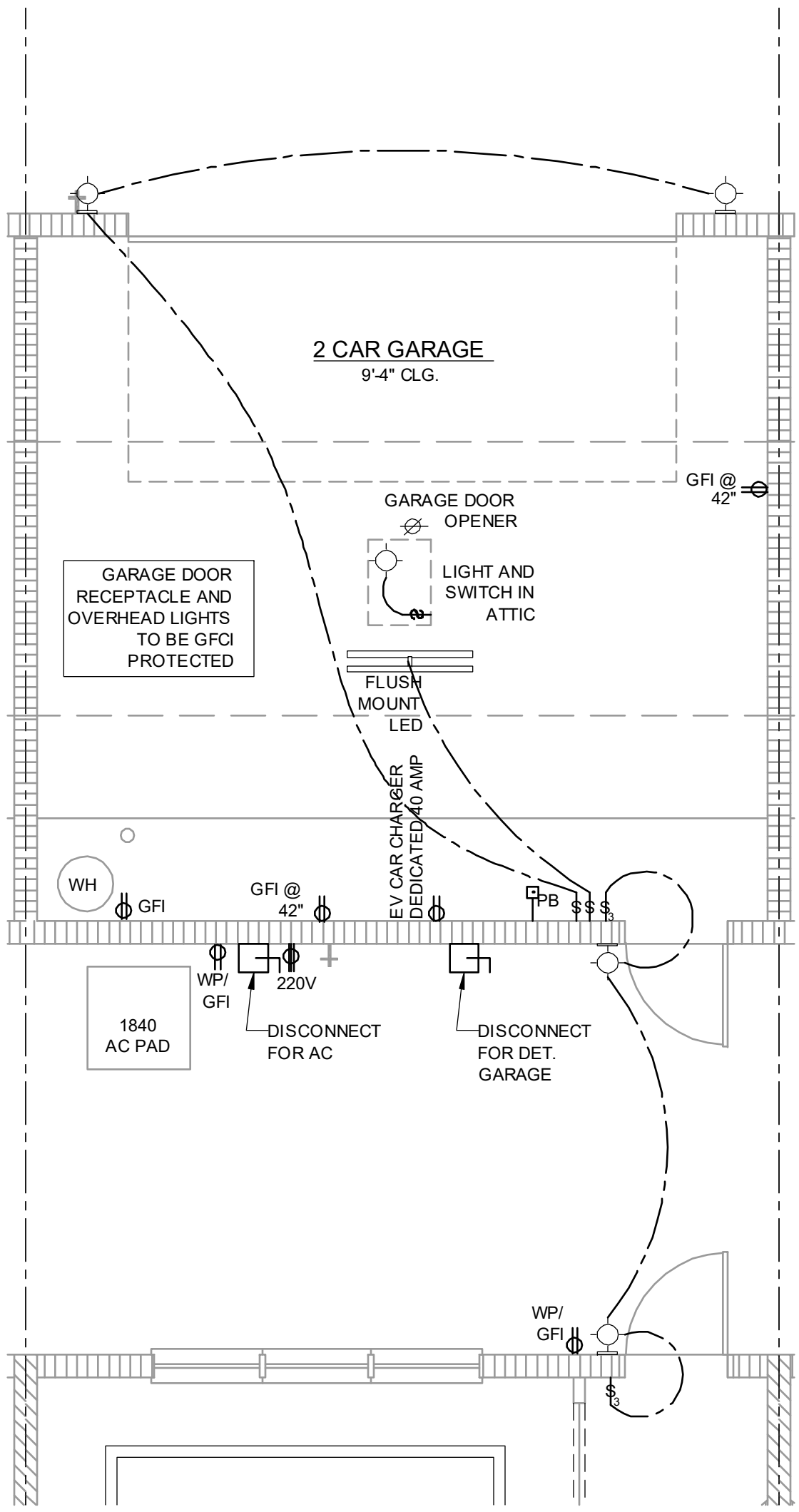
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**4.2A
ELEV. A**

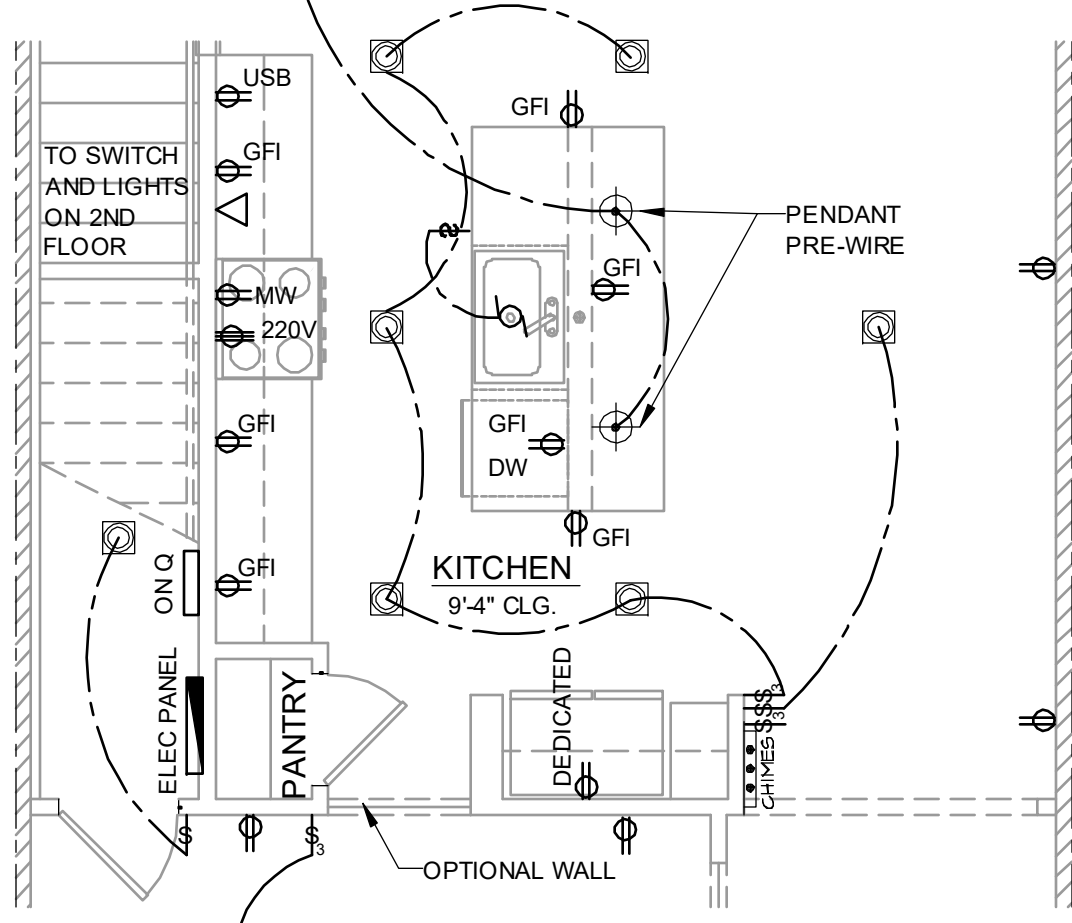
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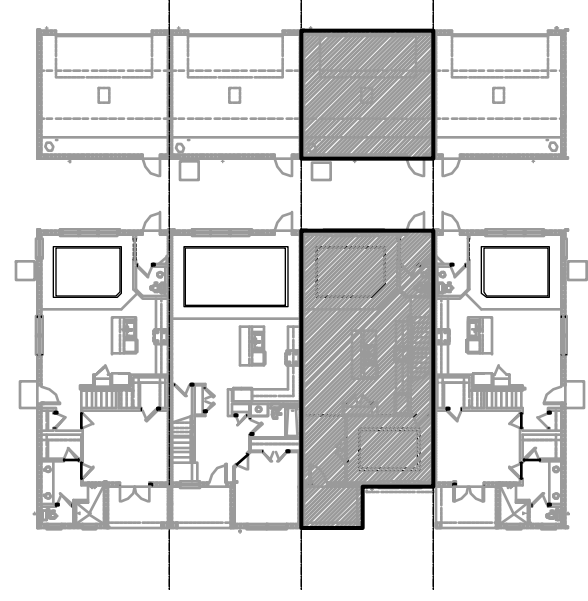
**1840 - JEFFERSON
1ST FLOOR ELECTRICAL**
1/4" = 1'-0"



**1840 - JEFFERSON
1ST FLOOR ELECTRICAL - GARAGE**
1/4" = 1'-0"



**1840 - JEFFERSON
1ST FLOOR PLAN**
1/4" = 1'-0" EMERSON PARK ONLY



1ST FLOOR - KEY PLAN
1/32" = 1'-0"

Residential Standard Calculation		Version 7.28		91251987		Reverna Townhomes - Jefferson	
STEP 1 Article 220.42 & 220.52 1840 General Lighting load 5,520 VA 2 Small Appliance 3,000 VA 1 Laundry circuit 1,500 VA Gen Lgt. Sm App & Laun. Load 10,020 VA 3,000 VA @ 100% = 3,000 VA 7,020 VA @ 35% = 2,457 VA VA @ 25% =				Synergy Electrical Systems, Inc 850 Parkside Pointe Blvd Apopka, FL 32712 Ph: 407-880-3144 Fax: 407-880-3145 11/20/2018 8:27			
STEP 2 Article 220.50 & 220.51 2.5 ton 4,400 VA AHU 1 Select 5,800 VA AC F2 VA AHU 2 Select VA AC F3 VA AHU 3 Select VA AC F4 VA AHU 4 Select VA AC F5 VA AHU 5 Select VA				Total Heat Load 5,800 VA Total CU Load 4,400 VA Greater of Heat @ 100% vs AC @ 100% 5,800 VA			
STEP 3 Article 220.53 4,500 VA 1 Water Heater 4,500 VA 1,400 VA 1 Refrigerator 1,400 VA 1,000 VA 1 Dishwasher 1,000 VA 900 VA 1 Disposal 900 VA 180 VA 1 Trash Compactor 180 VA 1,830 VA 1 Microwave 1,830 VA 340 VA 1 Mini Refrigerator VA 400 VA 1 Range hood VA 540 VA 1 Wine Cooler VA 1,300 VA 1 Ironing Center VA 1 Jalousie Tub VA 1 Sprinkler Pump VA 1 Wash Pump VA 1 Fountain Pump VA 1 Elevator VA 1 Pool Equip. Panel VA				Appliance Demand Load 6,938 VA Dryer Demand Load 6,000 VA Range Demand Load 8,000 VA Service Demand 31,186 VA Demand Load 130 A Neutral Demand 75 A Min. Service Req. 150 A Min. Feeder size 1 Min. Neutral size 4 Eq. Grdng Cond. 6 Copper			
STEP 4 Article 220.54 Electric Clothes Dryers 5,000 VA STEP 5 Article 220.55 Electric Ranges 8,000 W				Total Appliance Load 8,250 VA 4 or more demand @ 75% plus 100% demand loads 6,938 VA			
Number of appliances 1 Check Box for On Range				Cooktop Col B demand 800 W Oven(s) Col B demand 800 W Oven(s) Col B demand 800 W Den. Factor 0% W			

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- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCIENCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
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- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
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CARLA A. BROWN, PE - FL # 51128
SCOTT LEWIS, PE - FL # 77789
D. J. LEE, PE - FL # 44422
DATE: JULY 11, 2024
PROJECT: PARK SQUARE 4-UNIT TOWNS

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title: **1840 - JEFFERSON ELECTRICAL**
project no. 2022142
checked: BF
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date: 05-17-22
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**4.1B
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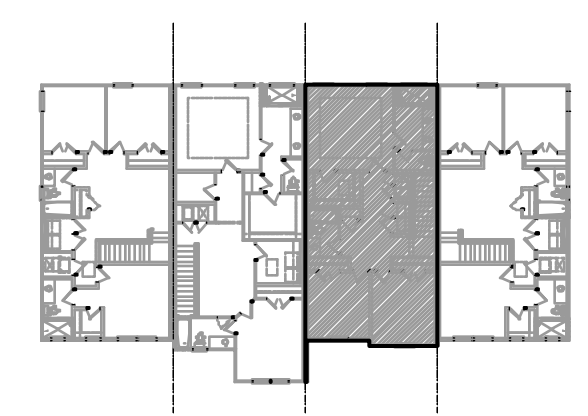
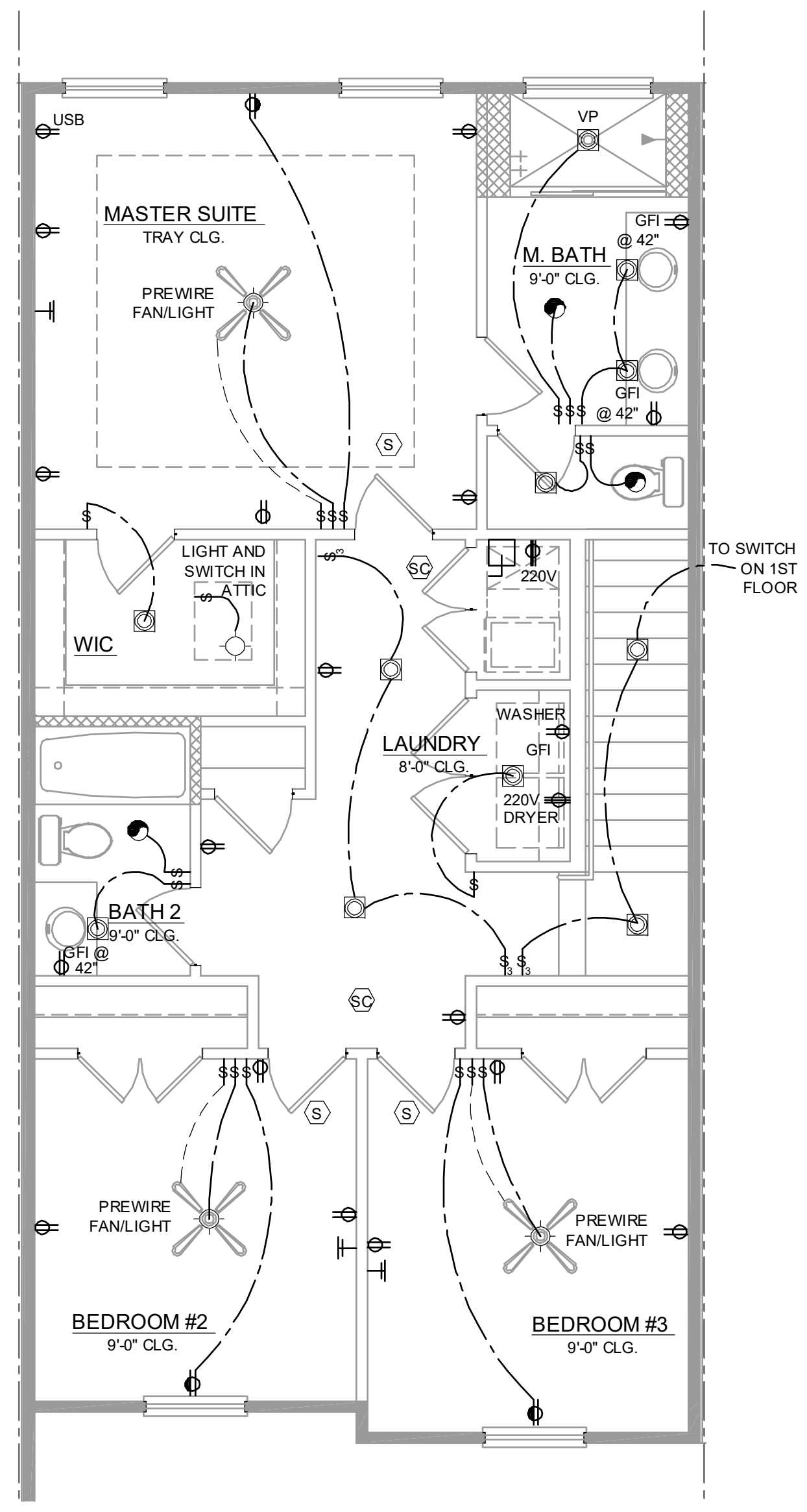
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Bartonsville, NC 28601
(407) 840-2333

FDS
FLORIDA DESIGN SOLUTIONS
288 Bonhall Lane, Suite 200, Millbrook, FL 32751
Professional Engineer
Certificate of Authorization No. 0191
CARL A. BROWN, PE - FL # 54128
SCOTT LEWIS, PE - FL # 97789
DATE: JULY 11, 2024
BY: [Signature]
I, THE SEAL OF THE ENGINEER HAS BEEN PLACED ON THESE DRAWINGS BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM AWARE OF THE PENALTIES FOR VIOLATIONS.

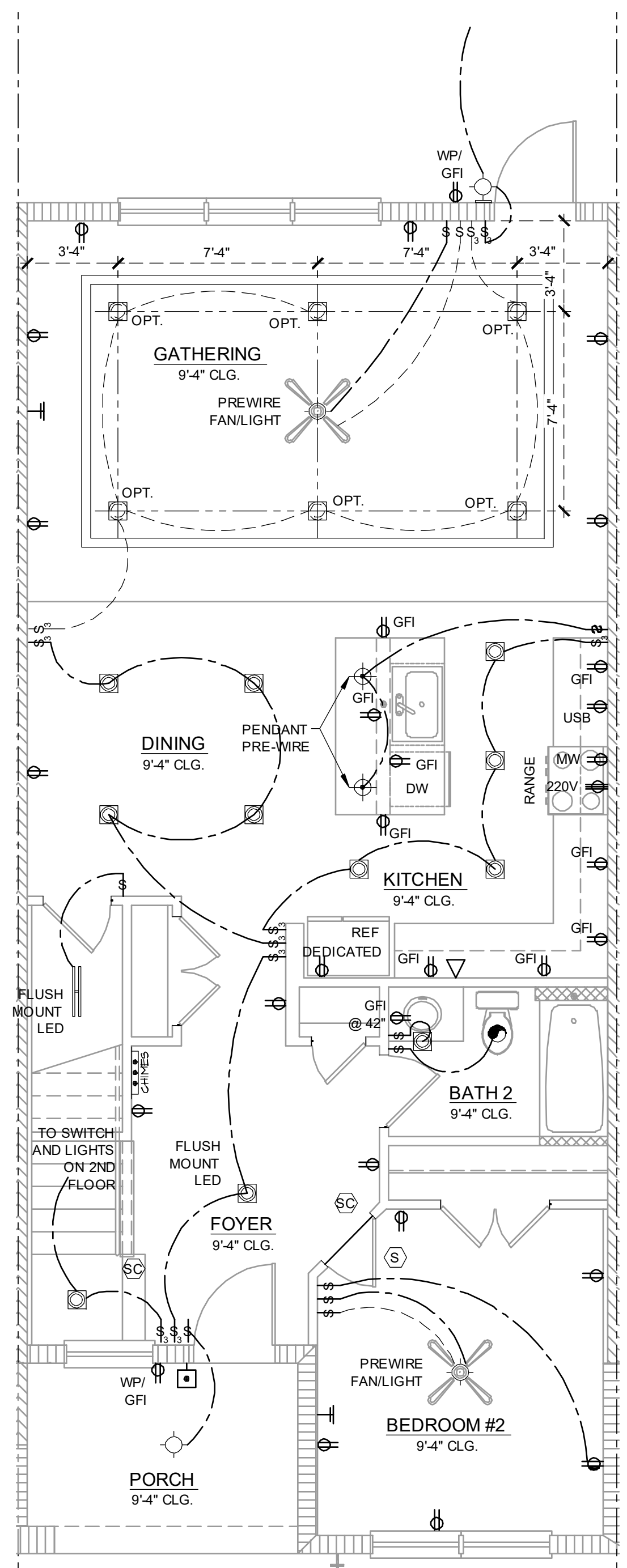
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**1840 - JEFFERSON
FLOOR PLAN**

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

**4.2B
ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

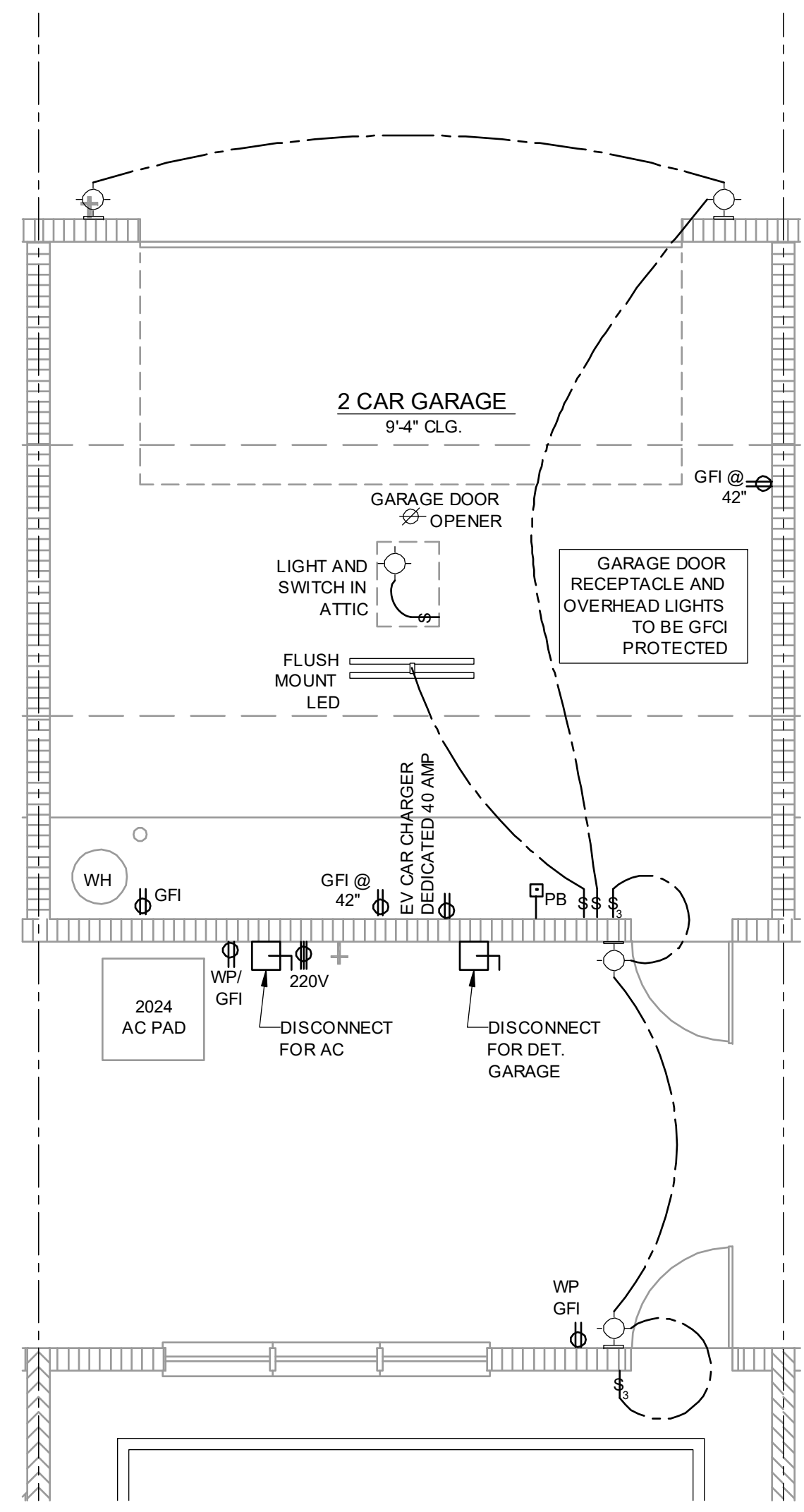


**2024 - MADISON
1ST FLOOR ELECTRICAL**

1/4" = 1'-0"

DISCLAIMER

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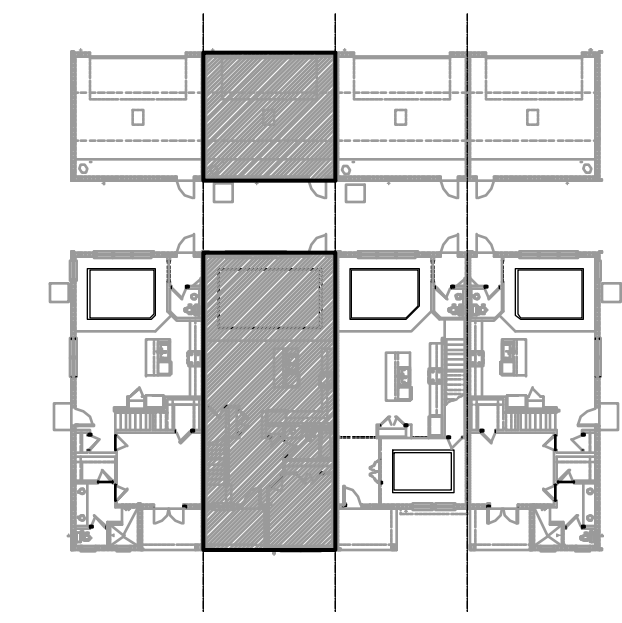


**2024 - MADISON
1ST FLOOR ELECTRICAL - GARAGE**

1/4" = 1'-0"

NFPA 70
ADD GFCI PROTECTION TO RECEPTACLES IN LAUNDRY ROOMS AND UTILITY ROOMS OF DWELLINGS WHERE INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK. THIS WOULD INCLUDE THE RECEPTACLE INSTALLED FOR A WASHING MACHINE.

RECEPTACLE OUTLETS SHALL NOT BE REQUIRED ON A WALL DIRECTLY BEHIND A RANGE OR SINK TO FULFILL THE REQUIREMENT FOR AN OUTLET EVERY 24". THE WIDTH OF THE SINK OR RANGE IS NOT TO BE INCLUDED IN THE SPACING OF THE OUTLETS UNLESS THE DISTANCE FROM THE SINK OR RANGE IS GREATER THAN 12" FOR STRAIGHT COUNTER TOPS AND 18" FOR SINKS AND RANGES INSTALLED IN CORNER COUNTERS.



1ST FLOOR - KEY PLAN

1/32" = 1'-0"

Residential Standard Calculation		Revenna Townhomes - Madison	
Version 7.28		Synergy Electrical Systems, Inc	
STEP 1 Article 220.42 & 220.52		550 Parkside Pointe Blvd Apopka, FL 32712 Ph: 407-880-3144 Fax: 407-880-3145 1/10/2019 9:27	
2014 General Lighting load	6,942 VA	General Lighting Demand Load	
2 Small Appliance	3,000 VA	5,640 VA	
1 Laundry circuit	1,500 VA	Total Heat Load	
Gen Lgt. Sm App & Laun. Load	10,942 VA	5,800 VA	
	3,000 VA @ 100% = 3,000 VA	Total CU Load	
	7,942 VA @ 35% = 2,640 VA	4,400 VA	
	VA @ 25% =	Greater of Heat @ 100% vs. A/C @ 100%	
		5,800 VA	
STEP 2 Article 220.50 & 220.51		Appliance Demand Load	
2.5 min 4,400 VA AHU 1 Select	5,800 VA	6,938 VA	
A/C #2 VA AHU 2 Select	VA	Dryer Demand Load	
A/C #3 VA AHU 3 Select	VA	5,000 VA	
A/C #4 VA AHU 4 Select	VA	Range Demand Load	
A/C #5 VA AHU 5 Select	VA	8,000 VA	
STEP 3 Article 220.53		Service Demand	
4,500 VA 1 Water Heater	4,500 VA	31,377 VA	
1,400 VA 1 Refrigerator	1,400 VA	Demand Load	
900 VA 1 Freezer	VA	131 A	
1,800 VA 1 Dishwasher	1,800 VA	Neutral Demand	
800 VA 1 Disposal	800 VA	76 A	
180 VA 1 Trash Compactor	VA	Min. Service Req.	
1,800 VA 1 Microwave	1,800 VA	150 A	
340 VA 1 Central Vac	VA	Min. Feeder size	
340 VA 1 Mini Refrigerator	VA	1	
340 VA 1 Range hood	VA	Min. Neutral size	
340 VA 1 Wine Cooler	VA	4	
1,500 VA 1 Laundry Center	VA	Eq. Grdng Cond.	
select Jacuzzi Tub	VA	Copper	
select Sprinkler Pump	VA	Total Appliance Load	
select Wall Pump	VA	8,220 VA	
select Fountain Pump	VA	4 or more demand @ 75% plus 100% demand loads	
select Elevator	VA	6,838 VA	
select Pool Equip. Panel	VA	VA No Demand	
STEP 4 Article 220.54		Electric Clothes Dryers	
STEP 5 Article 220.55		5,000 VA	
Number of appliances		Col C demand	
1		8,000 W	
Cooktop		Col B demand	
Cooktop		Col B demand	
Oven(s)		Col B demand	
Oven(s)		Col B demand	
Number of appliances		Den. Factor	
1		9%	
Cooktop & Oven Demand Load		W	

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- DIMMER SWITCH
- MOTION DETECTOR SWITCH (OPTIONAL)
- PRE-WIRED SPEAKER
- FLUSH MOUNT LED LIGHT FIXTURE
- FLUSH MOUNT LED LIGHT FIXTURE - VAPOR PROOF
- MONO POINT TRACK HEAD (OPTIONAL)
- PENDANT FIXTURE
- SURFACE MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCIENCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

GENERAL NOTES

- FAN, PHONE, & CATV LOCATIONS PER CONTRACT.
- ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE INSTALLED PER 2023 FBCR. REFERENCED NFPA 72 AND R314. SMOKE DETECTORS SHALL BE HARDWIRED INTO AN AC ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP AND SHALL BE INTERCONNECTED.
- ARCH FAULT BREAKERS: ALL BRANCH CIRCUITS SERVING BEDROOMS, FAMILY ROOMS, HALLWAYS, KITCHEN, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DEN, SUNROOMS, REC. ROOMS, CLOSETS AND LAUNDRY AREAS SHALL BE PROTECTED BY ARCH FAULT BREAKERS, PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
- NEC 2020 210.52(G)(1) GARAGES. IN EACH ATTACHED GARAGE AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER, AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN EACH VEHICLE BAY, NOT MORE THAN 1.7M (5-1/2 FT.) ABOVE THE FLOOR.
- TAMPER-RESISTANT "TR" RECEPTACLES: ALL 125-VOLT, 15 & 20 AMPERE ELECTRICAL OUTLETS (RECEPTACLES) IN LIVING ROOM AREAS, BATHROOMS, KITCHEN, GARAGE, LAUNDRY ROOM, AND EXTERIOR LOCATIONS MUST BE "TAMPER-RESISTANT" PER 2023 FBCR. (REFER TO CHAPTERS 34 - 43)
- ALL ELECTRICAL WORK AND APPLIANCES SHALL CONFORM TO 2023 FBCR. REFERENCED NFPA 70.
- EXCEPTIONS FROM GFI REQUIREMENTS SHALL BE PERMITTED PROVIDED LOCATION WHERE EXCEPTION IS DESIRED IS ALLOWED PER 2023 FBCR REFERENCED NFPA 70.
- UNLESS OTHERWISE INDICATED OR GOVERNED BY CODE, INSTALL SWITCHES AND RECEPTACLES AT THE FOLLOWING HEIGHTS ABOVE FINISH FLOOR.

ELECTRICAL DEVICES	ABOVE FIN. FLR.
SWITCHES AND WALL OUTLETS OVER COUNTERS	48" TO CL.
REMAINING SWITCHES	48" TO CL.
WALL OUTLETS	12" TO CL.
TELEPHONE OUTLETS	12" TO CL.
TELEVISION OUTLETS	12" TO CL.
EXTERIOR GFIS	12" TO CL.
GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO CL.
THERMOSTAT	54" TO CL.
DOOR BELL CHIMES	84" TO CL.
DOOR BELL BUTTON	LEVEL W/ DOOR HANDLE
KITCHEN WALL HUNG MICROWAVE RECEPTACLE	66" TO CL.
KITCHEN HOOD FAN "WHIP"	78" TO CL.
KITCHEN DISHWASHER RECEPTACLE	24" TO CL.
KITCHEN RANGE	48" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
C.L. = CENTER LINE	

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CARLA A. BROWN, PE - FL # 54128
SCOTT LEWIS, PE - FL # 97789
D. J. JAMES, PE - FL # 44442
DATE: JULY 11, 2024
BY: [Signature]

**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title: **2024 - MADISON ELECTRICAL**
project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN
**4.1C
ELEV. A**

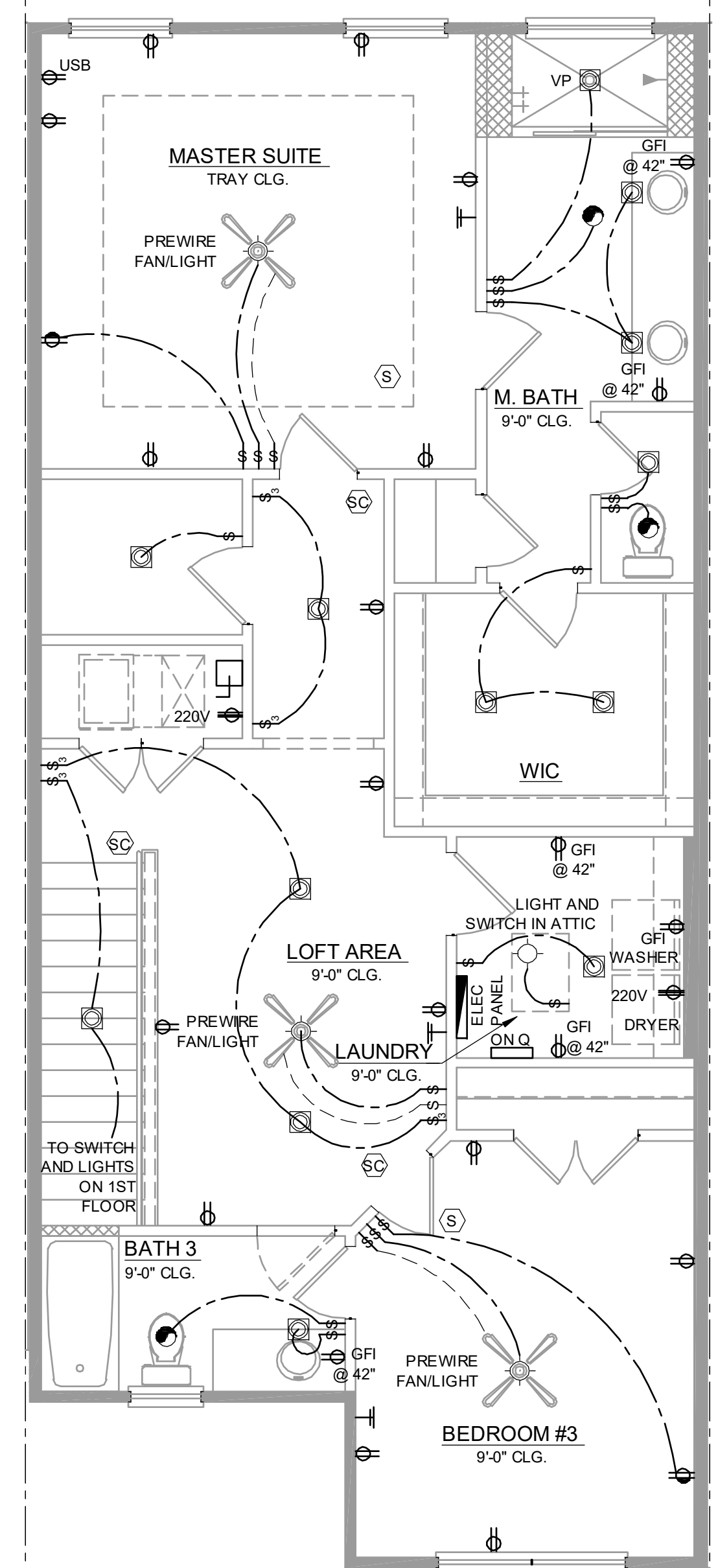
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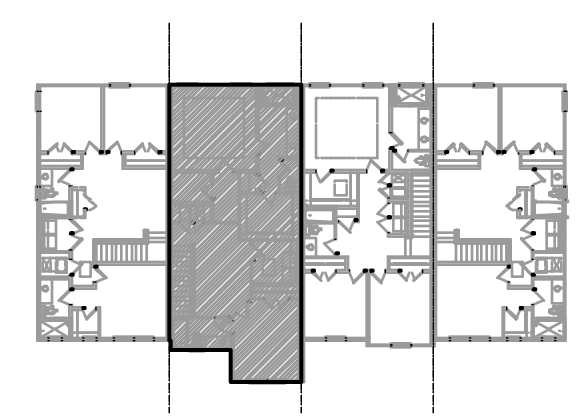
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**2024 - MADISON
 2ND FLOOR ELECTRICAL**

1/4" = 1'-0"



2ND FLOOR - KEY PLAN

1/32" = 1'-0"

ELECTRICAL KEY

- DUPLEX CONVENIENCE OUTLET
- WEATHERPROOF DUPLEX OUTLET
- GROUND FAULT INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- DISPOSAL
- WALL SWITCH
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- WALL MOUNTED LIGHT FIXTURE
- FLUSH MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED STRIP LIGHT # OF BULBS SPECIFIED BY BUILDER
- UNDERCABINET LIGHTING (OPTIONAL)
- WALL SCONCE
- EXHAUST FAN
- EXHAUST FAN & LIGHT COMBO
- OUTLET FOR GARAGE DOOR OPENER
- SOFFIT OUTLET (OPTIONAL)
- CHIMES
- PUSHBUTTON SWITCH
- SMOKE DETECTOR
- SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- CAT 5 TELEPHONE OUTLET PREWIRE
- TELEVISION OUTLET PREWIRE
- THERMOSTAT
- ELECTRIC METER
- ELECTRIC PANEL
- DISCONNECT SWITCH
- SECURITY SYSTEM KEYPAD
- PRE-WIRE FOR CEILING FAN
- PRE-WIRE FOR CEILING FAN / LIGHT COMBO
- SECURITY/FLOOD LIGHTS
- GAS METER
- JUNCTION BOX

GENERAL NOTES

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GARAGE GFIS (ABOVE GARAGE FLOOR)	48" TO CL.
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KITCHEN WALL HUNG MICROWAVE RECEPTACLE	66" TO CL.
KITCHEN HOOD FAN "WHIP"	78" TO CL.
KITCHEN DISHWASHER RECEPTACLE	UNDER SINK
KITCHEN RANGE	24" TO CL.
KITCHEN REFRIGERATOR	48" TO CL.
WASHER/DRYER OUTLET	36" TO CL.
HOLLYWOOD LIGHTS	84" TO CL.
C.L. = CENTER LINE	

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 352.380.2333
 Certificate of Authorization No. 0181
 CARLA A. BROWN, PE - FL # 54128
 SCOTT LEWIS, PE - FL # 27789
 DATE: JULY 11, 2024
 SCALE: AS SHOWN

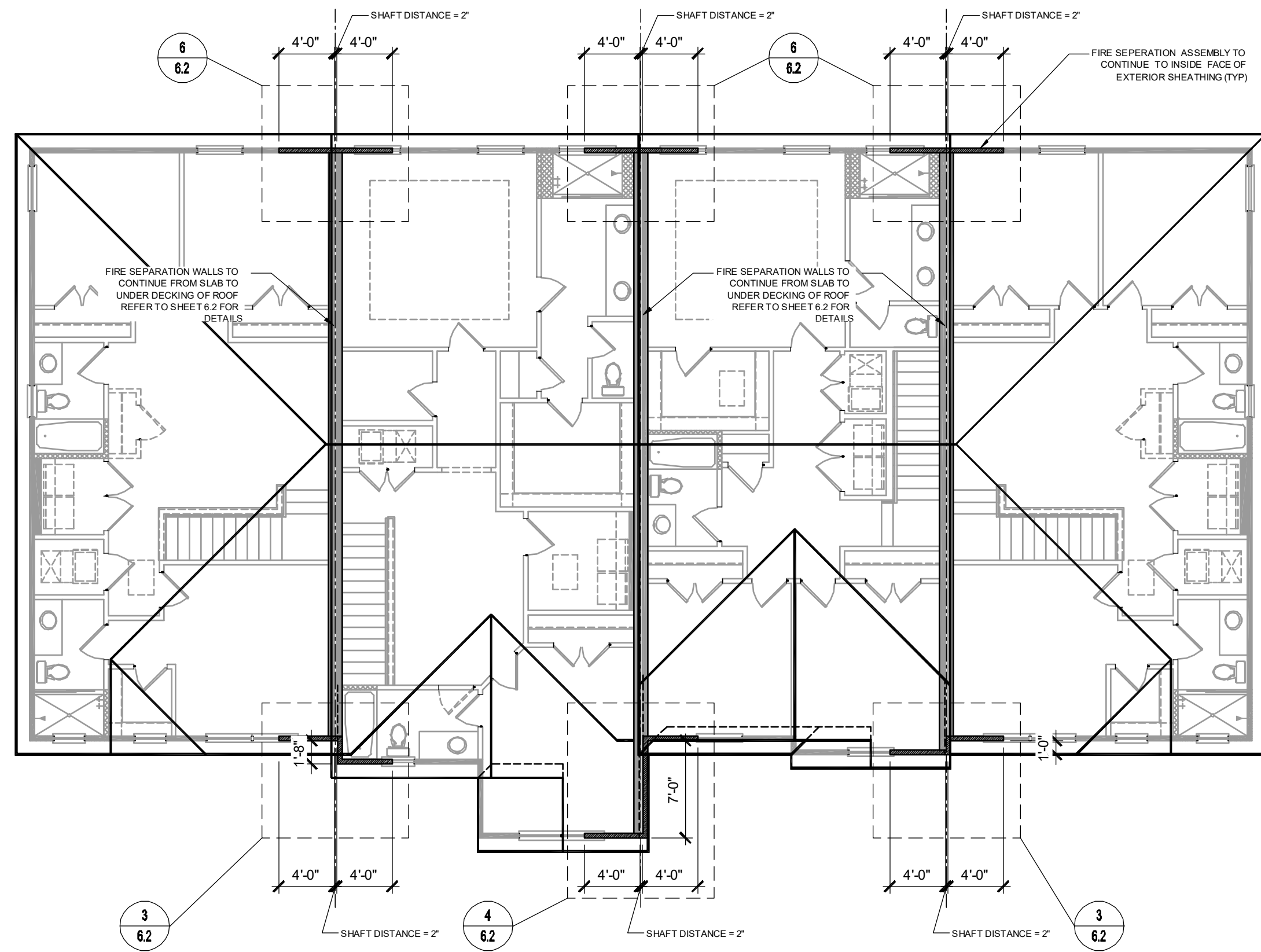
**PARK SQUARE
 4 - UNIT
 83' RL (Rear Load) TOWNS**

title:
**2024 - MADISON
 FLOOR PLAN**

project no. 2022142
 checked: BF
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

**4.2C
 ELEV. A**

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914 ADAMS REVERSED 2024 MADISON 1840 JEFFERSON 1914 ADAMS

ROOF - FIRE SEPARATION ELEV. "A"
 1/8" = 1'-0"

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 F I L I N

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 208 Southhall Lane, Suite 200, Madison, FL 32751
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 Certificate of Authorization No. 0191
 CARL A. BROWN, PE - FL # 54128
 SCOTT LEWONSKI, PE - FL # 27789
 DATE: JUN 11, 2024
 AT THE END OF THE DRAWING PERIOD, THE DRAWING SHALL BE THE PROPERTY OF FDS AND SHALL NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF FDS.

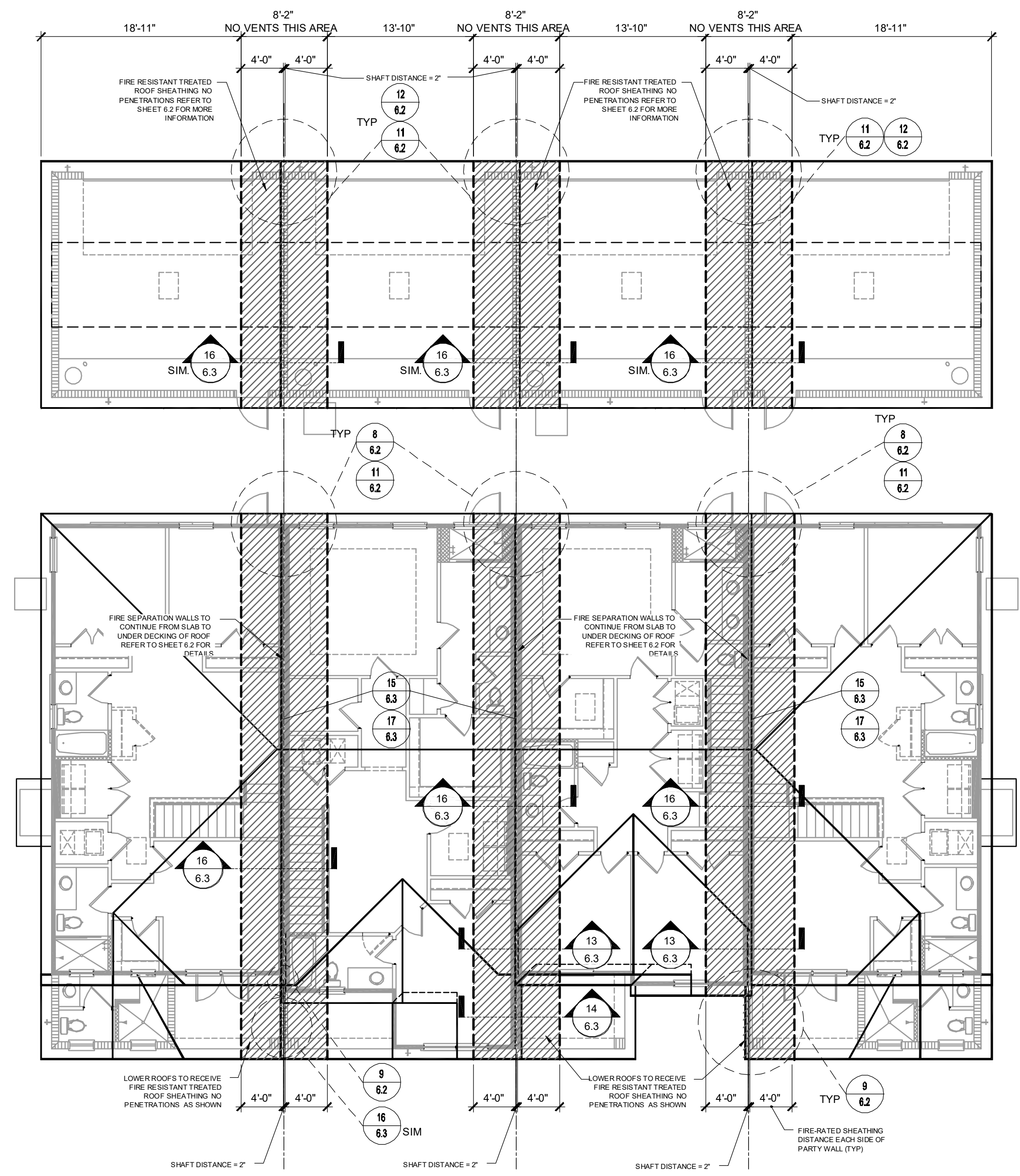
PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
4 UNIT - 2ND FLOOR
FIRE SEPERATION

project no. 2022142
 checked: BF
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

5.1
ELEV. A

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



1914
ADAMS
REVERSED

2024
MADISON

1840
JEFFERSON

1914
ADAMS

ROOF - FIRE SEPERATION ELEV. "A"
1/8" = 1'-0"

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associates
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Certificate of Authorization No. 0191

CARL A. BROWN, PE - FL # 54128
 SCOTT LEWIS, PE - FL # 79789
 JAMES J. LEE, PE - FL # 44422
 JAMES J. LEE, PE - FL # 44422
 DATE: JUN 11, 2024
 BY: JAMES J. LEE
 FOR: KEESSEE ASSOCIATES ARCHITECTURE | DESIGN | PLANNING

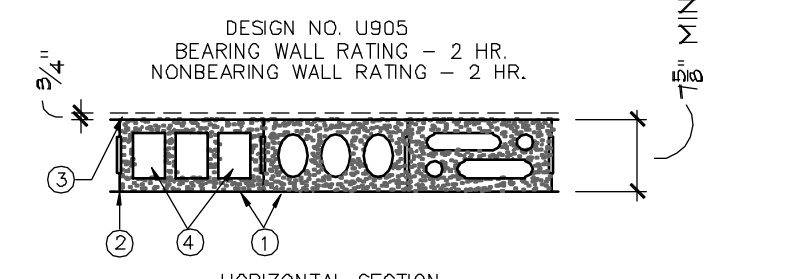
**PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS**

title:
**4 UNIT - ROOF
FIRE SEPERATION**

project no. 2022142
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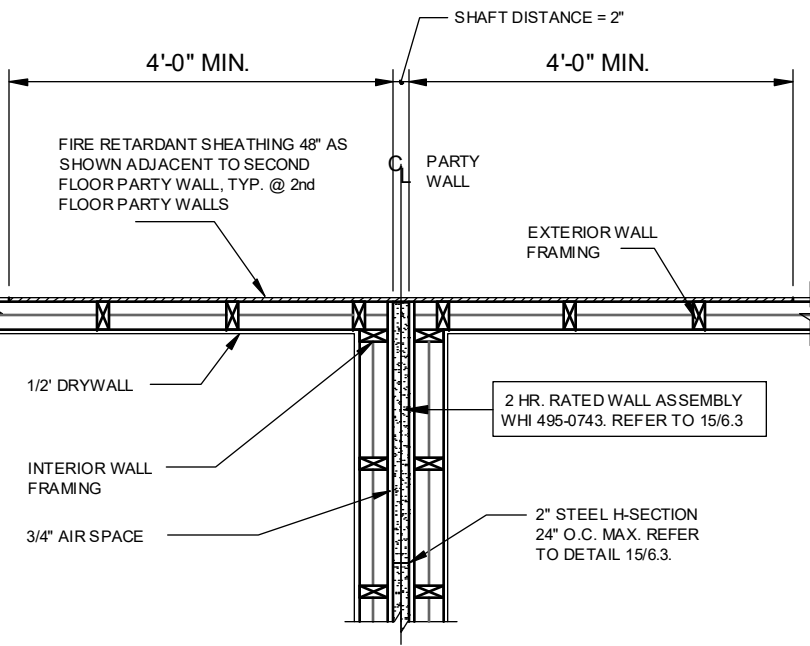
**6.1
ELEV. A**

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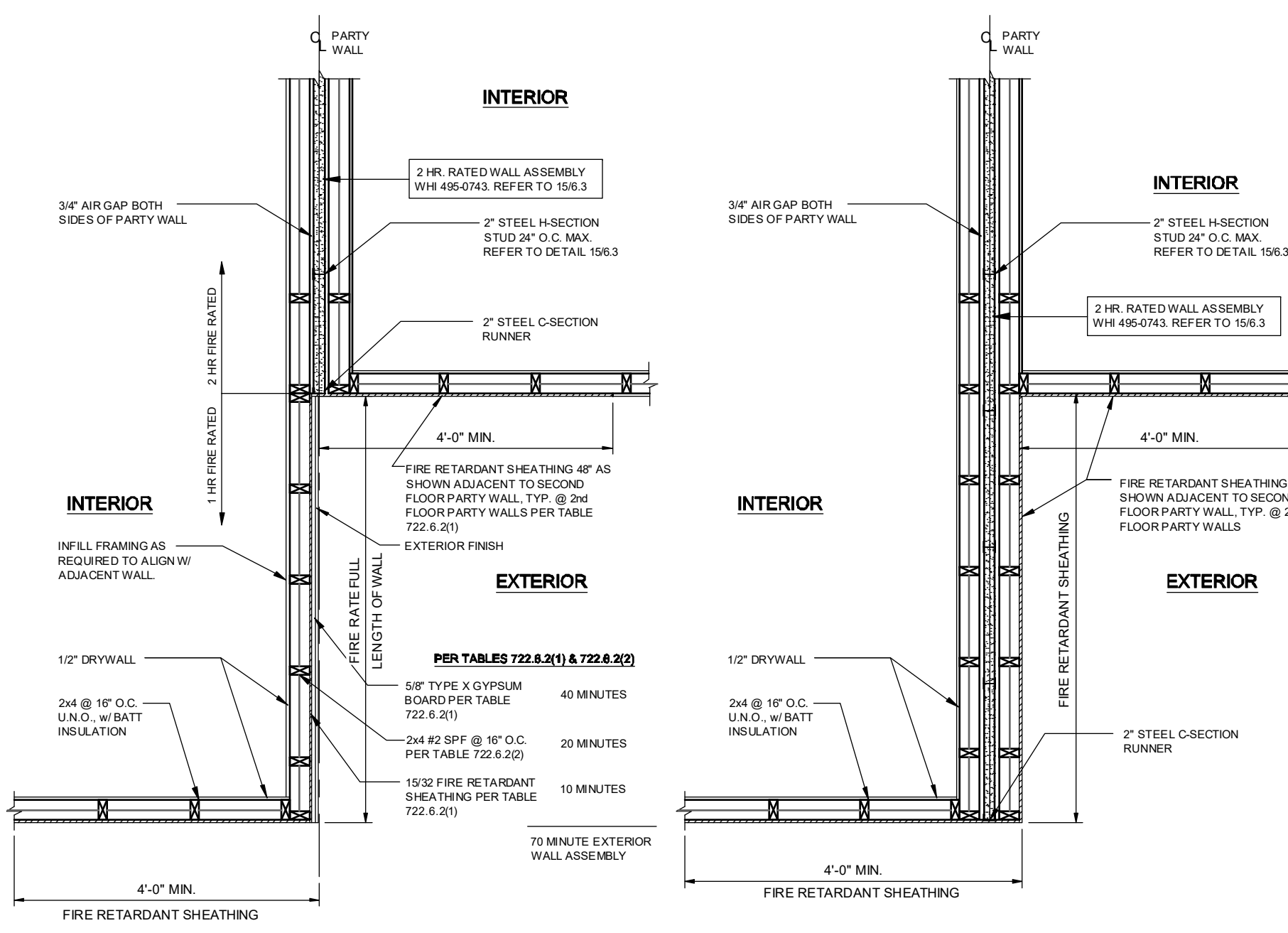


- CONCRETE BLOCKS* - VARIOUS DESIGNS. CLASSIFICATION D-2 (2 HR)
 - MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT (PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED.
 - PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - ADD 1/2 HR TO CLASSIFICATION IF USED. WHERE COMBUSTIBLE MEMBERS ARE FRAMED IN WALL, PLASTER OR STUCCO MUST BE APPLIED ON THE FACE OPPOSITE FRAMING TO ACHIEVE A MAX. CLASSIFICATION OF 1-1/2 HR. ATTACHED TO CONCRETE BLOCKS (ITEM 1).
 - LOOSE MASONRY FILL - IF ALL CORE SPACES ARE FILLED WITH LOOSE DRY EXPANDED SLAG, EXPANDED CLAY OR SHALE (ROTARY KILN PROCESS), WATER REPELLENT VERMICULITE MASONRY FILL INSULATION, OR SILICONE TREATED PERLITE LOOSE-FILL INSULATION ADD 2 HR TO CLASSIFICATION.
 - FOAMED PLASTIC* - (OPTIONAL NOT SHOWN) - 1-1/2 IN. THICK MAX, 4 FT WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1).
- * BEARING THE UL CLASSIFICATION MARK

2-HOUR SEPARATION WALL DETAIL
NTS

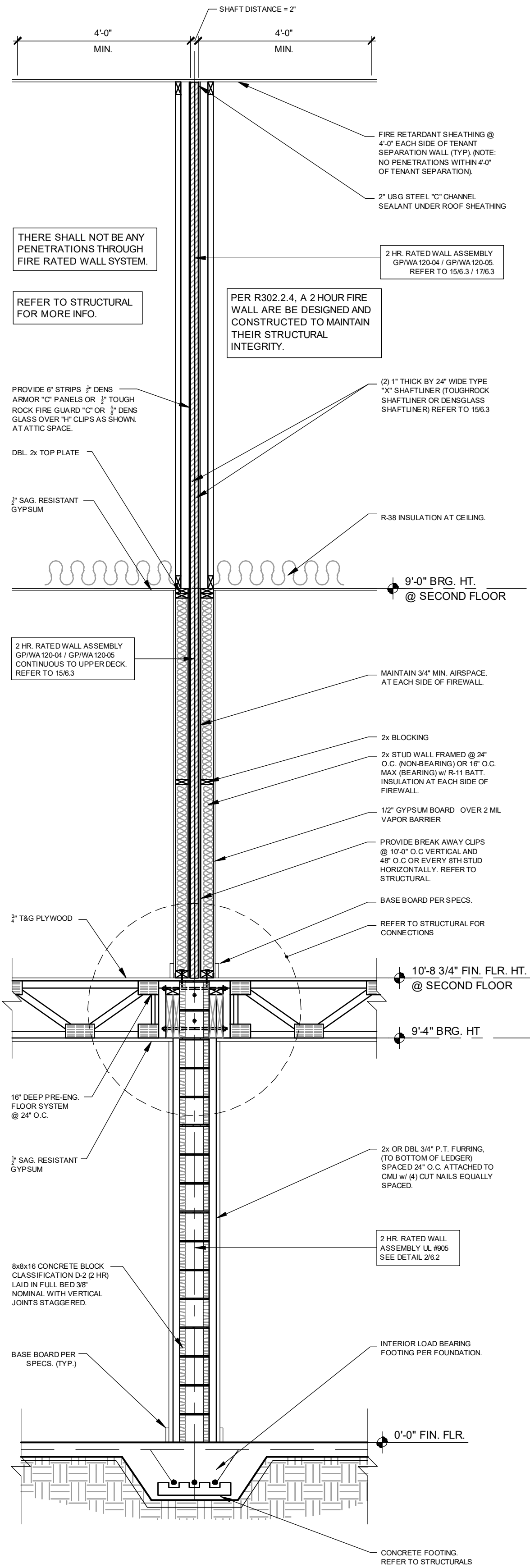


2 HR. FIRE WALL @ 2nd FLOOR FRAME TO FRAME
3/4"=1'-0"

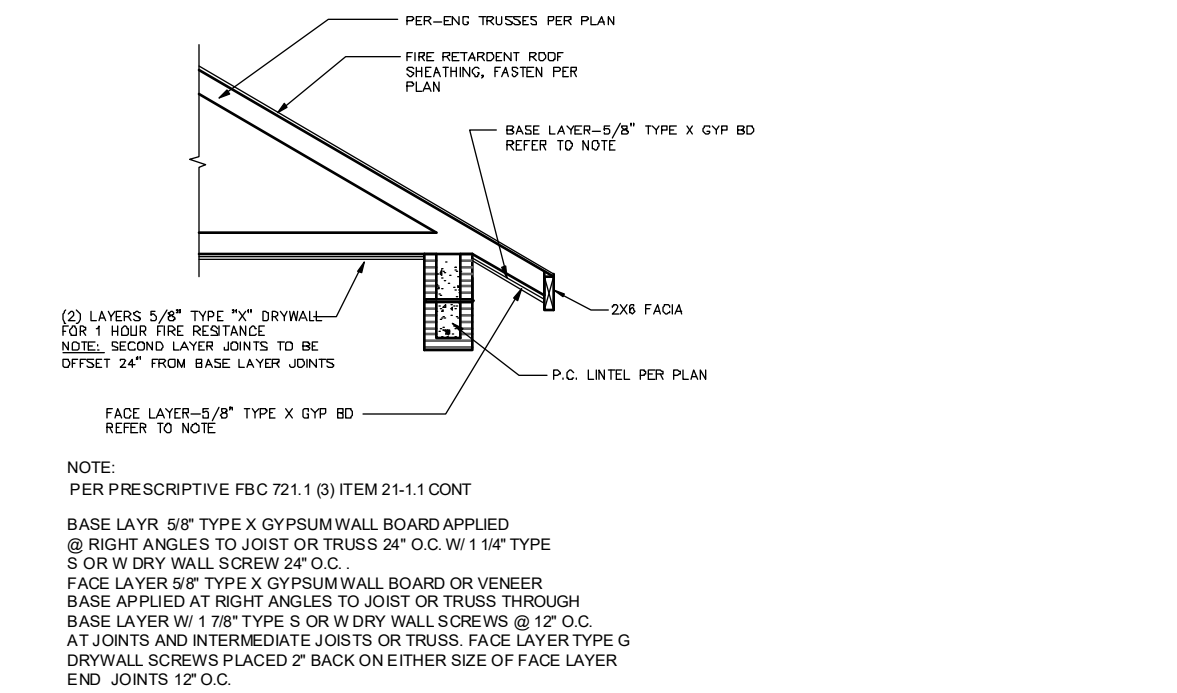


2 HR. TO 1HR. FIRE RATED WALL @ 2nd FLOOR OFFSET EXTERIOR WALL DETAIL
1/2"=1'-0"

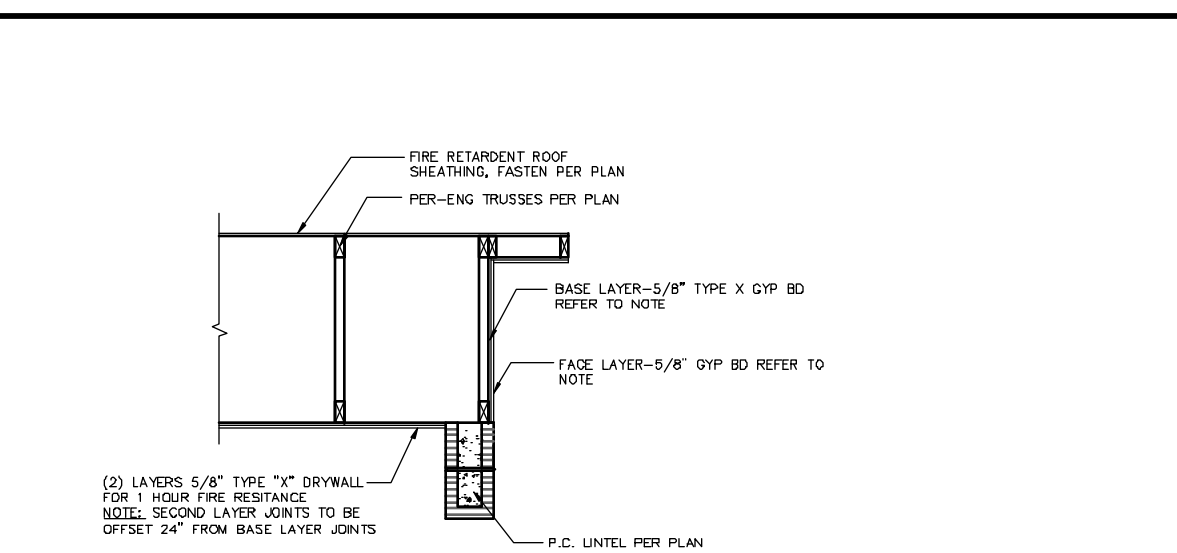
2 HR. FIRE RATED WALL @ 2nd FLOOR OFFSET EXTERIOR WALL DETAIL
1/2"=1'-0"



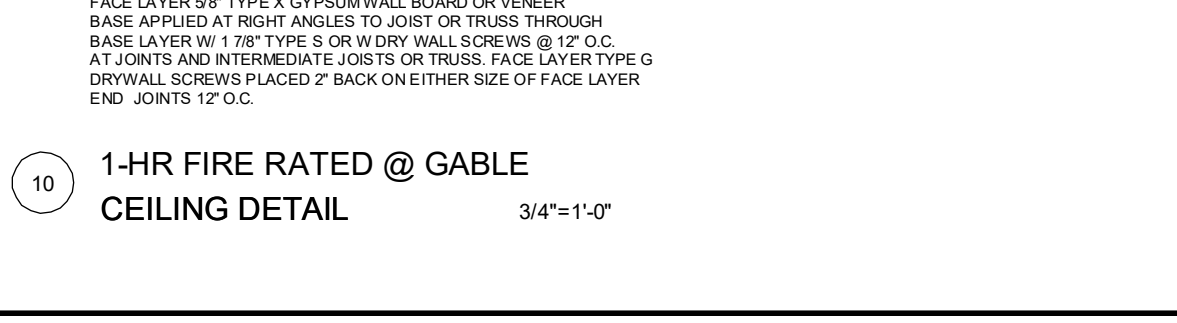
2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"



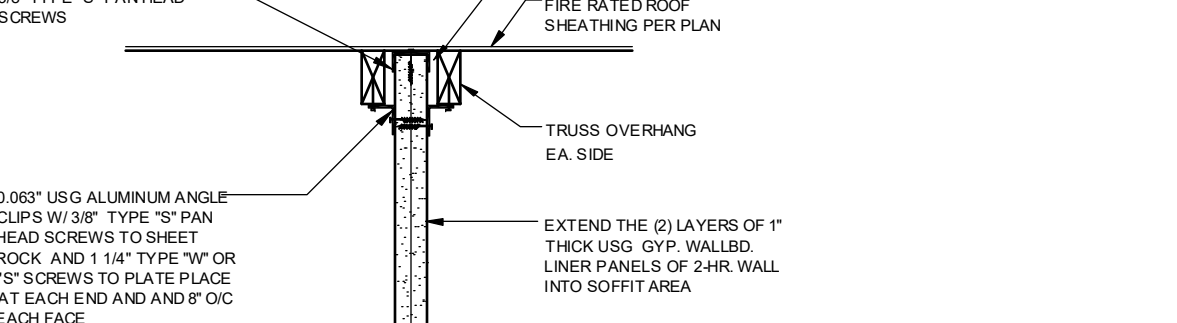
1-HR FIRE RATED @ GABLE CEILING DETAIL
3/4"=1'-0"



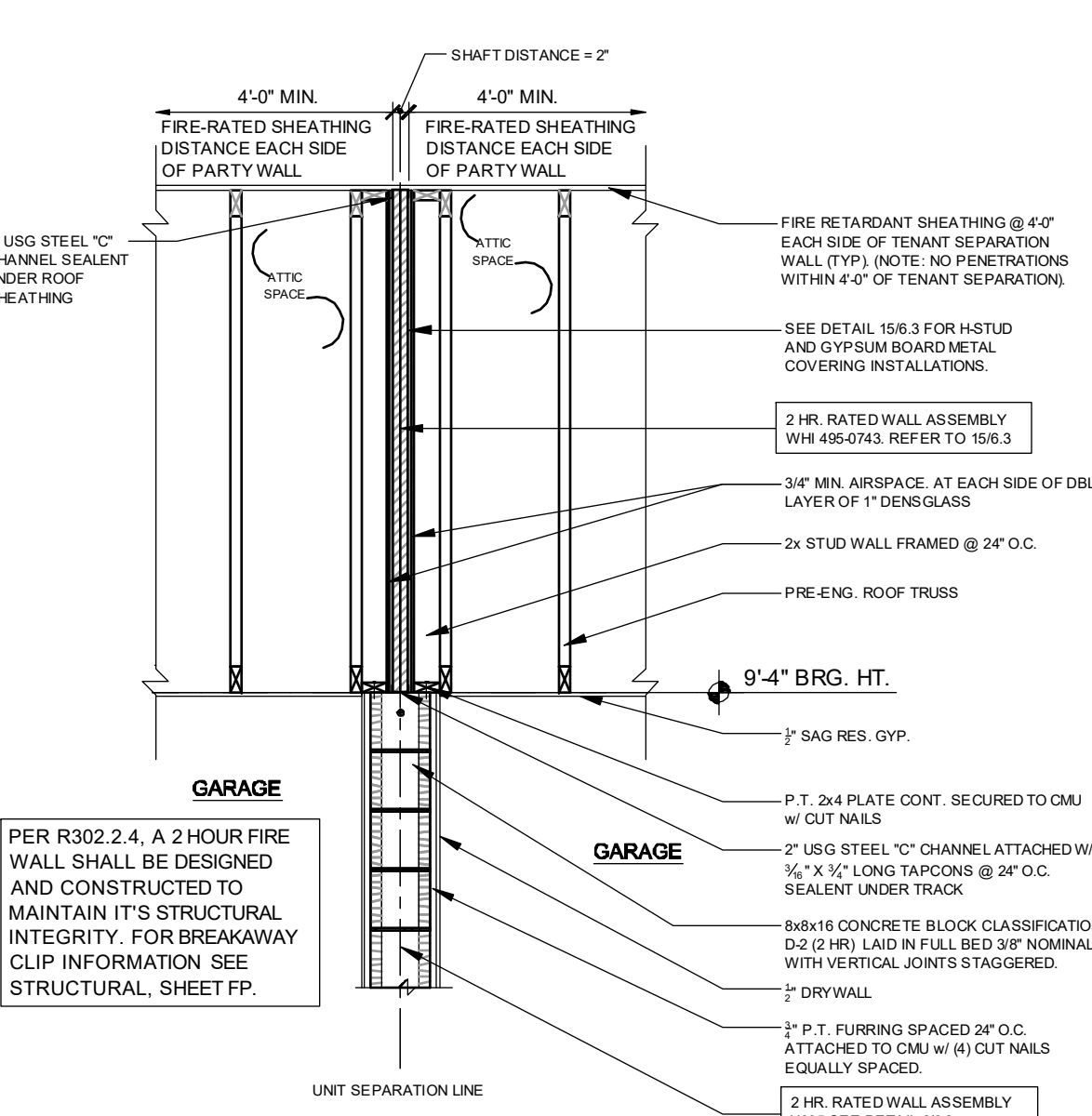
2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"



2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"



2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"



2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

2 HR. SEPARATION AT EAVE @ 2nd FLOOR - FRAME EXT. WALLS
3/4"=1'-0"

TABLE 722.6.2(1)

DESCRIPTION OF FINISH	TIME(MINUTES)
15/32-INCH WOOD STRUCTURAL PANEL BONDED WITH EXTERIOR GLUE	10
5/8-INCH TYPE X GYPSUM WALLBOARD	40
TOTAL	70 MINUTE EXTERIOR WALL ASSEMBLY

TABLE 722.6.2(2)

DESCRIPTION	TIME(MINUTES)
WOOD STUDS 16 INCHES O.C.	20
TOTAL	70 MINUTE EXTERIOR WALL ASSEMBLY

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

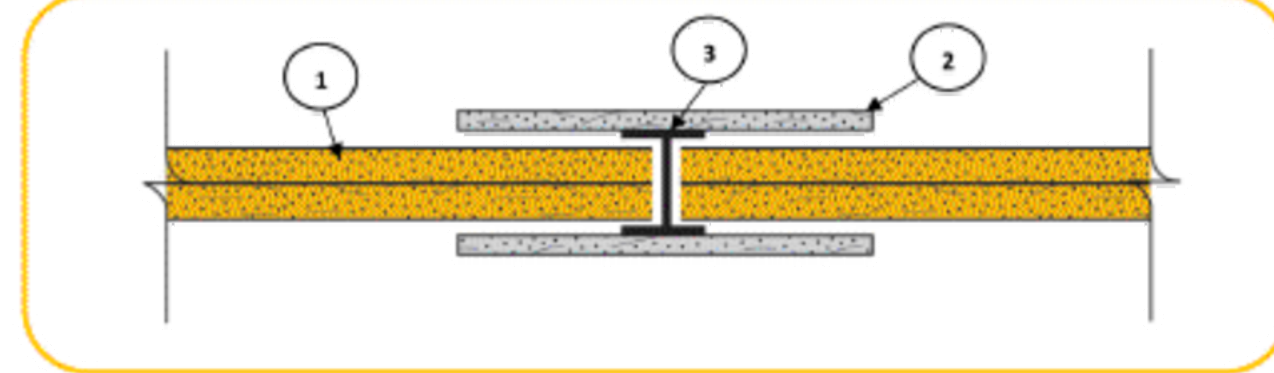
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2-STORY FIRE SEPARATION

project no. 2022142
checked: BF
drawn: AB
date: 05-17-22
scale: AS SHOWN

6.2

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

Georgia-Pacific Gypsum, LLC
Design No. GP/WA 120-05
Non-Bearing Wall Assembly
Area Separation Wall
ASTM E119
Rating: 2 hours



- CERTIFIED MANUFACTURER:** Georgia-Pacific Gypsum, LLC
CERTIFIED PRODUCT: Gypsum Shaftliner
CERTIFIED MODEL: ToughRock Shaftliner or DensGlass Shaftliner
Gypsum Shaftliner: Two layers 1-in. (25.4 mm) ToughRock Shaftliner or DensGlass Shaftliner inserted in H-Studs 24-in. (610 mm) o.c.
- Gypsum Board:** Metal covered using 5-in. (152 mm) wide 1/2-in. (12.7 mm) DensArmor Plus Fireguard C Interior Panels or 1/2-in. (12.7 mm) ToughRock Fireguard C gypsum board.
- Steel Studs:** 1" shaped Studs, 1-1/2-in. (38.1 mm) wide x 2-in. (50.8 mm) deep, roll-formed from minimum 0.018-in. thick galvanized steel. Cut to length 1/2-in. less than the openings height and spaced a maximum of 24-in. (610 mm) o.c.

Date Issued: June 5, 2019 Page 1 of 1 Project No. WHI-495-0743

Version: 02 August 2017

SFT-BC-0P-130

FIGURE #1
"H" STUD AND "U" TRACK

ALL MATERIAL ROLL-FORMED FROM HOT-DIPPED, GALVANIZED STEEL, 0.016" THICK AND DIMENSIONED AS SHOWN.

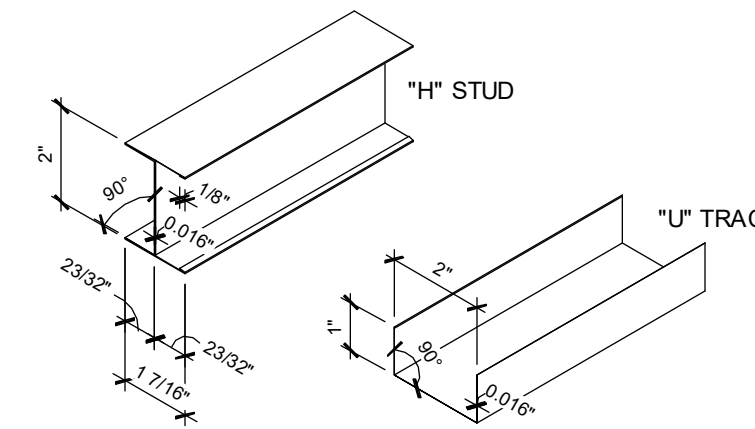
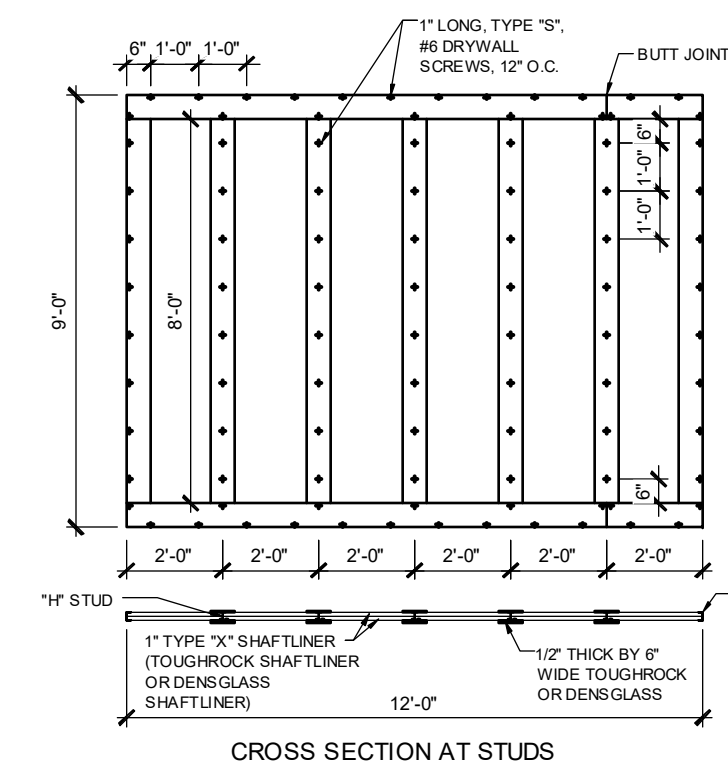


FIGURE #2
ELEVATION - SCREW LOCATIONS



CROSS SECTION AT STUDS

FIGURE #3
CROSS SECTION DETAIL AT STUD

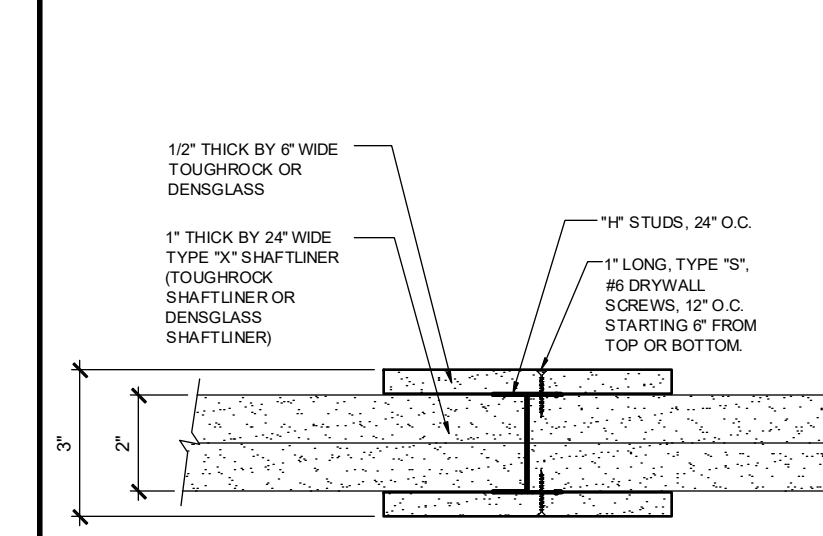


FIGURE #4
TOP OR BOTTOM DETAIL BETWEEN STUDS OR END DETAIL

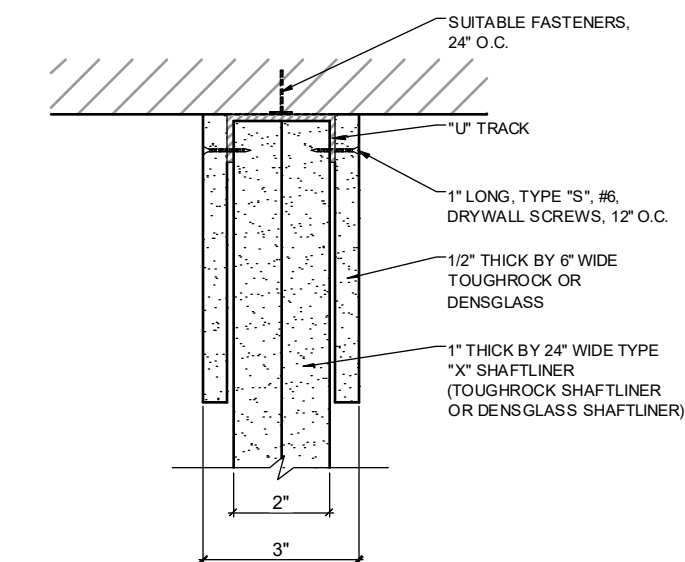
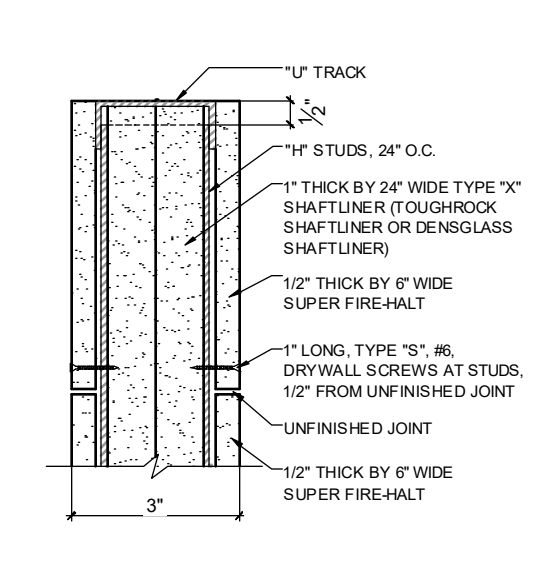
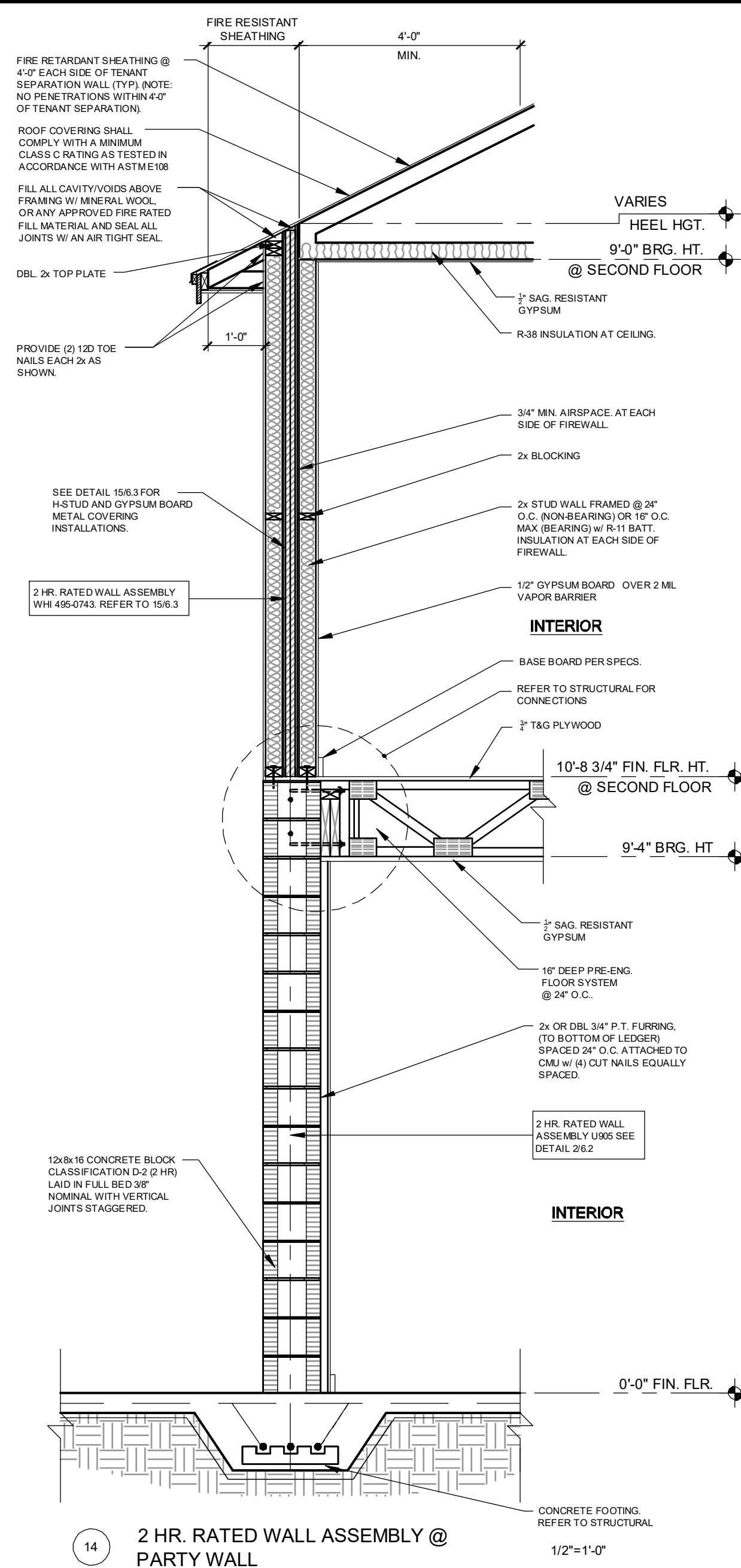


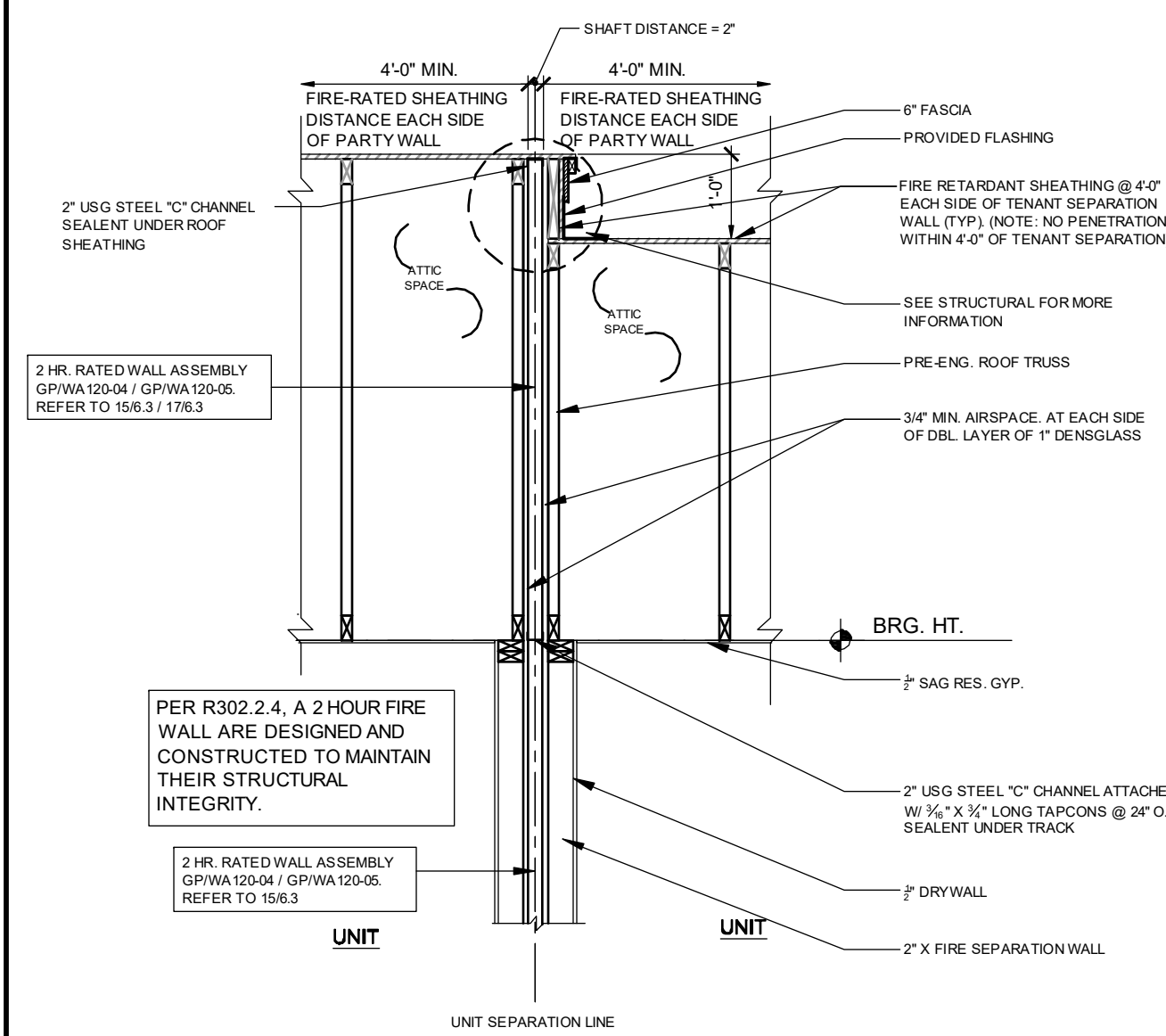
FIGURE #5
TOP OR BOTTOM DETAIL AT STUDS



15 WHI-495-0743 SCALES VARY.



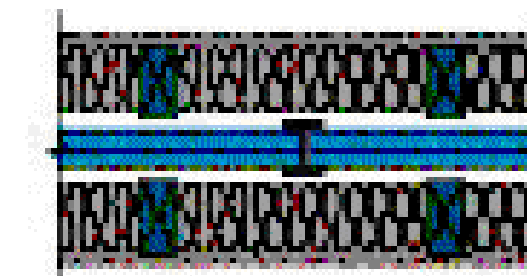
14 2 HR. RATED WALL ASSEMBLY @ PARTY WALL



16 TYPICAL OVERHANG ELEVATED ROOF SCALE: 1/2" = 1'-0"

17 GP/WA 120-04 SCALES VARY.

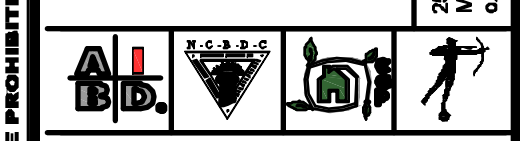
Two layers 1" (25.4 mm) ToughRock Shaftliner or DensArmor Plus Shaftliner inserted in H-Studs 24" (610 mm) o.c. Min. 3/4" (19 mm) air space on both sides must be maintained between liner panels and adjacent framing. Sound Tested with 2" x 4" stud wall with 1/2" (12.7 mm) ToughRock Fireguard C gypsum wallboard or DensArmor Plus Fireguard C panels each side of assembly and 3-1/2" (89 mm) fiberglass insulation in stud space both sides. Breakaway clip ratings and height of wall differ between UL Design U839 and WHI GP/WA 120-04. Please consult each Listing for specific information.



Hourly Rating: 2-hour
ETC Rating: 40-60 ETC
Fire Test Reference: UL U839, UL U839-2, WHI GP/WA 120-04, UL U839, UL U839-2
UL 1010
Sound Test Reference: RAL TL10-291

Approved for Assembly:
DensArmor Plus Shaftliner Panel
ToughRock Shaftliner
DensArmor Plus Fireguard C
ToughRock Fireguard C

NOTE: 6" STRIPS OVER "H" STUD IS NOT REQUIRED IF 3/4" AIR SPACE IS MAINTAINED WHEN USING GP/WA 120-04



PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

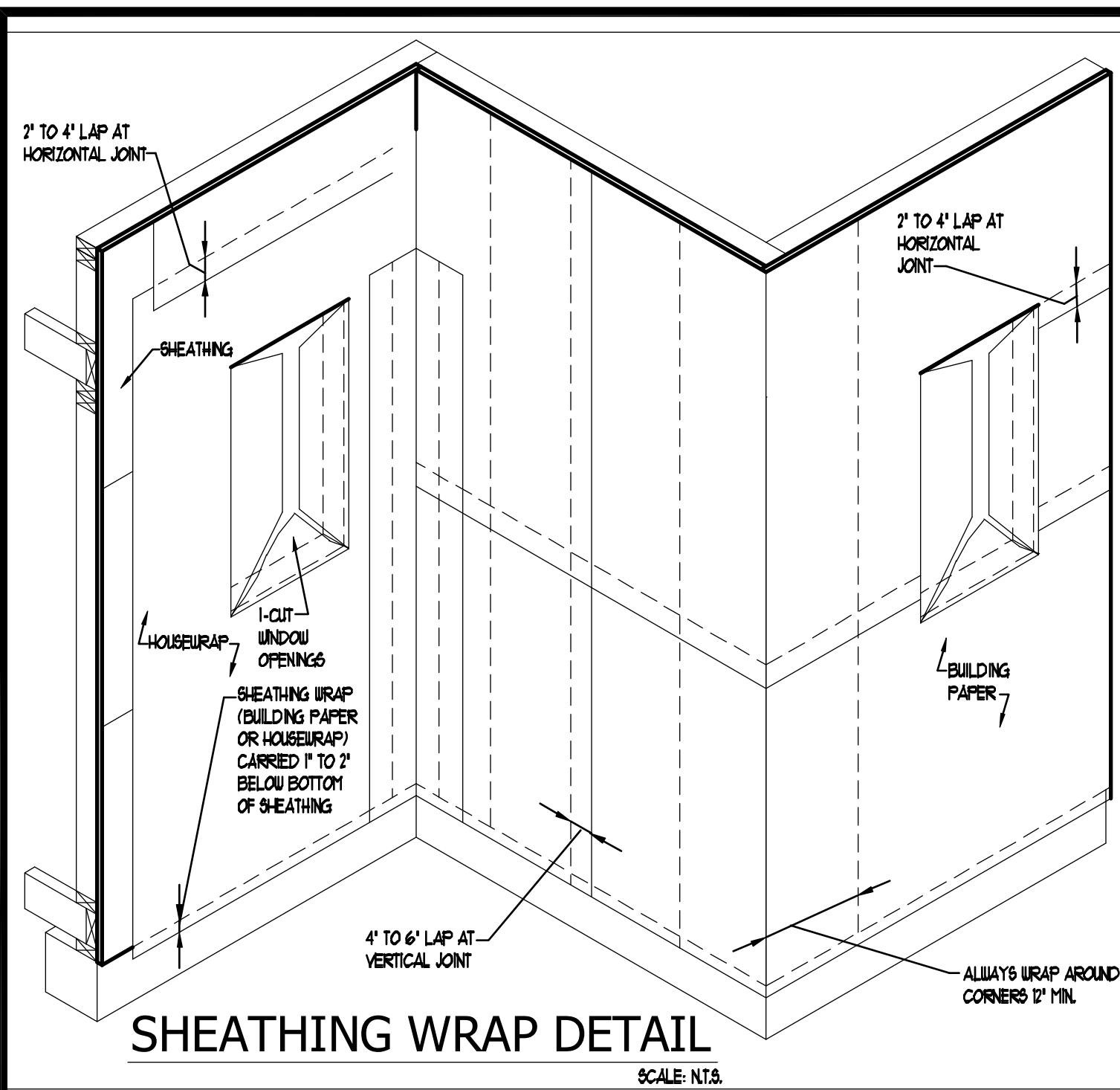
Title: 2-STORY FIRE SEPERATION

project no. 2022142
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drawn: AB
date: 05-17-22
scale: AS SHOWN

6.3

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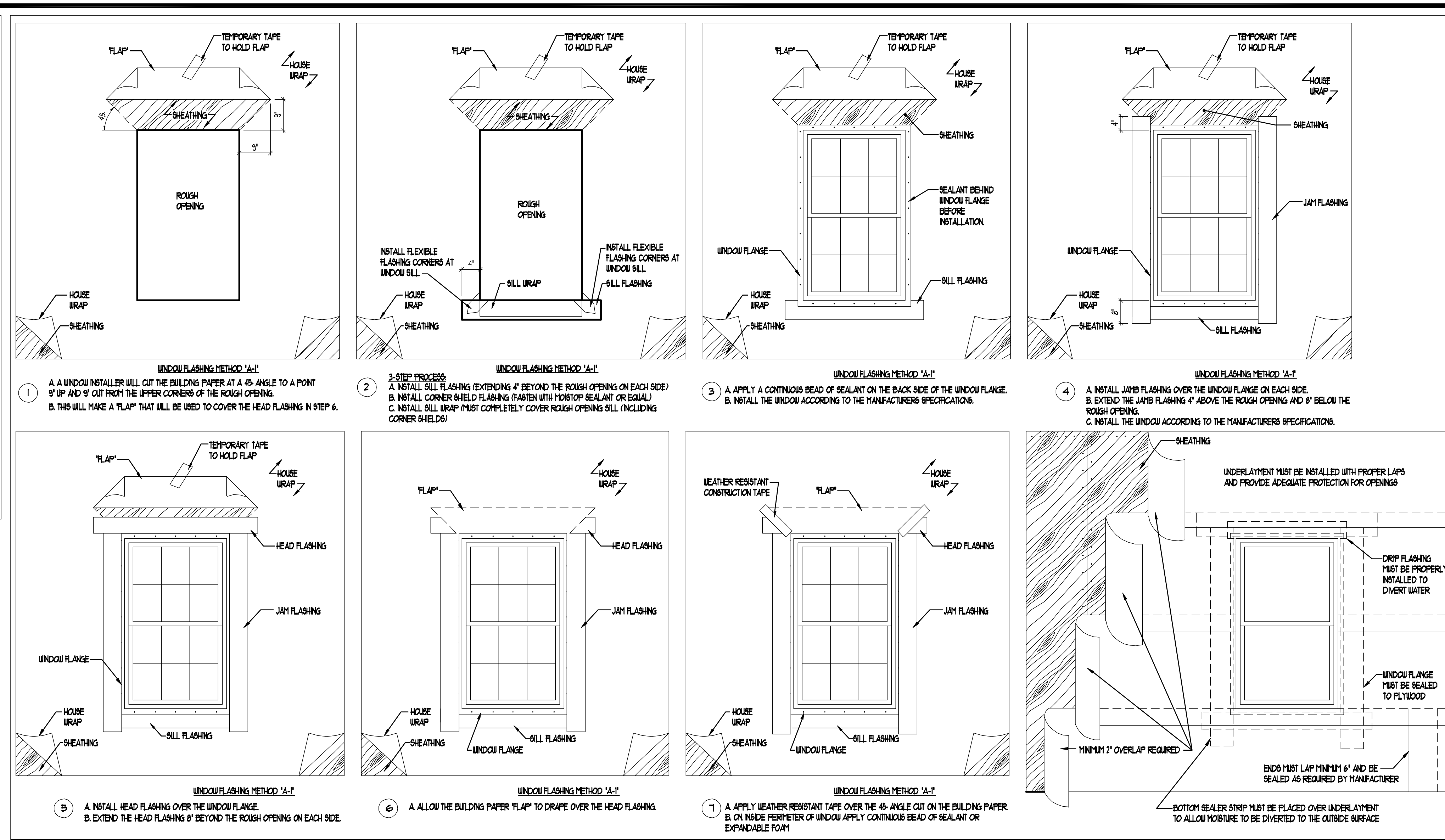
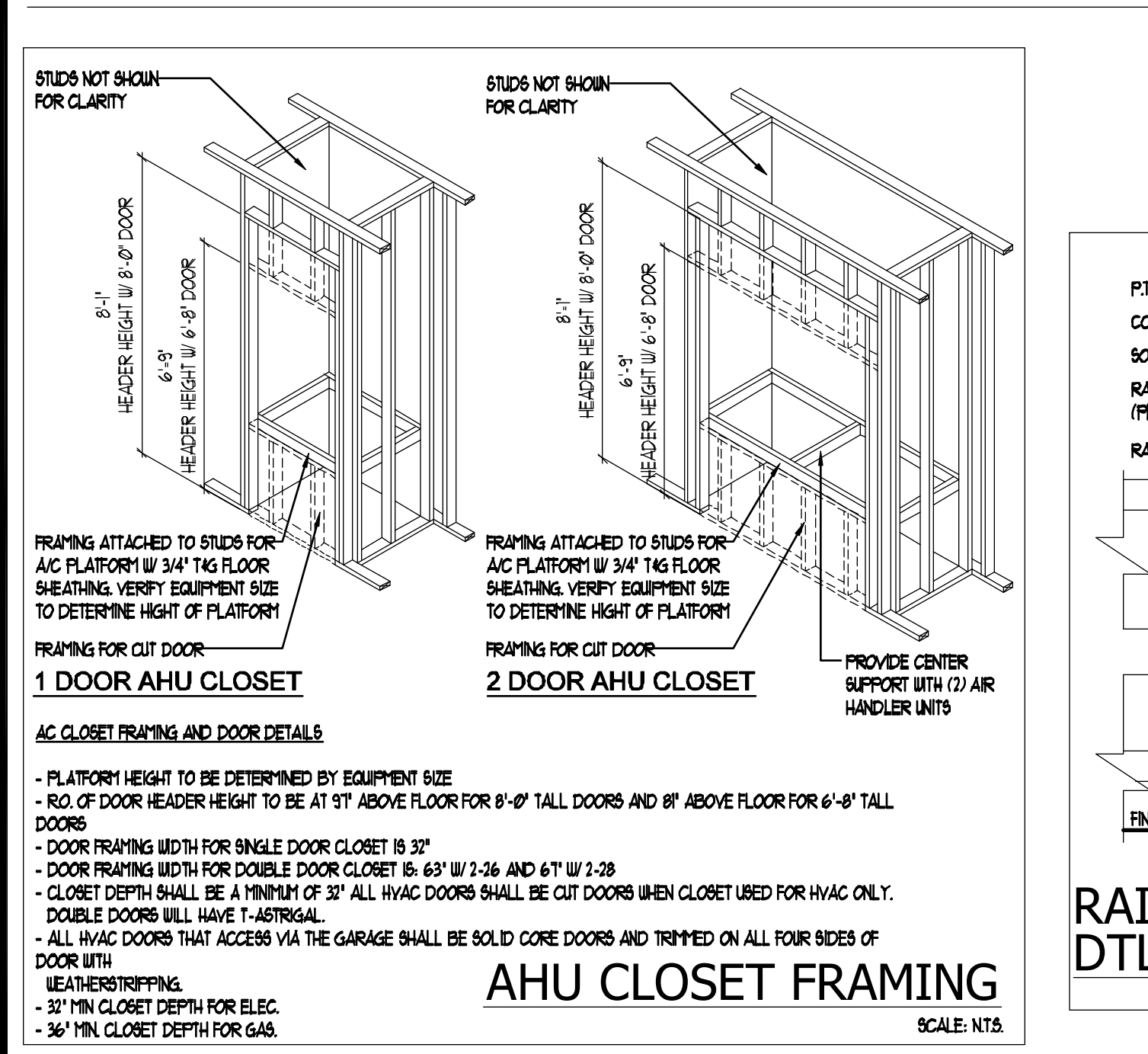
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



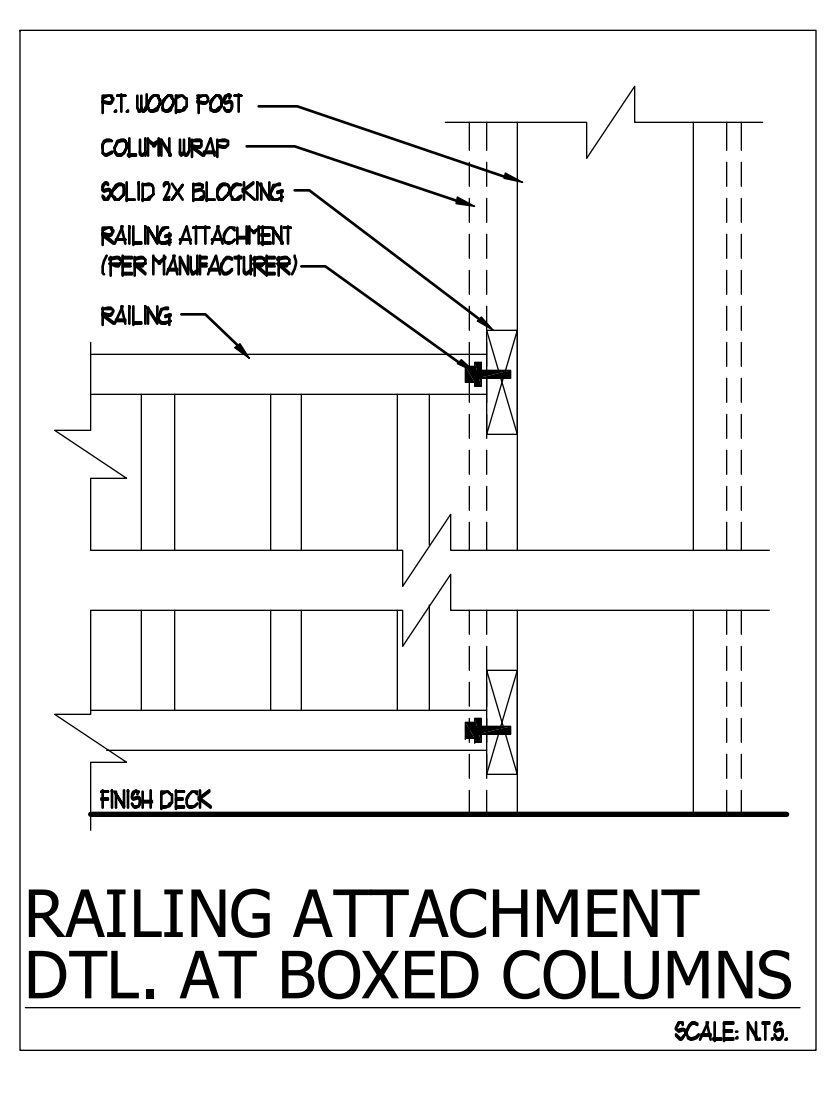
INTERIOR DOOR ROUGH OPENING SIZING CHART

DOOR TYPE	DOOR CALL SIZE ON FRONT	ROUGH OPENING WIDTH DETERMINED BY	ROUGH OPENING HEIGHT DETERMINED BY	6'-8" DOOR RO. HEIGHT	8'-0" DOOR RO. HEIGHT
SINGLE DOOR	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 2 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"
DOUBLE BI-PASS	WIDTH x 6-8 OR WIDTH x 8-0	WIDTH EQUALS THE CALL SIZE WIDTH	ADDING 3 INCHES TO THE HEIGHT OF THE CALL SIZE	89"	99"
DOUBLE BALL CATCH	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 2 1/2 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"
DOUBLE WITH T-ASTRAGAL	WIDTH x 6-8 OR WIDTH x 8-0	ADDING 3 INCHES TO THE WIDTH OF THE CALL SIZE	ADDING 2 1/2 INCHES TO THE HEIGHT OF THE CALL SIZE	82-1/2"	98-1/2"

INTERIOR DOOR ROUGH-OPENING SIZING CHART



WINDOW FLASHING AND WRAP DETAILS



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CONSTRUCTION DETAILS

09-23-22

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CARLA BROWN, PE, FL #16128
SCOTT LEWIS, PE, FL #16150
DATE: 11/11/2024
PROJECT: 2022142

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
FLASHING DTLS

project no. 2022142
checked:
drawn: AB
date: 05-17-22
scale: AS SHOWN

DT1

NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED

The structural design of this building is in accordance with the FLORIDA BUILDING CODE 8TH EDITION (2023) RESIDENTIAL and is certified as such.

WALL COVERING

2023 FBCR

SECTION R703.1 EXTERIOR COVERING

Exterior walls shall provide the building with a weather-resistant exterior wall envelope. The exterior wall envelope shall include flashing as described in Section R703.4.

R703.1.1 WATER RESISTANCE

The exterior wall envelope shall be designed and constructed in a manner that prevents the accumulation of water within the wall assembly by providing a water-resistant barrier behind the exterior cladding as required by Section R703.2 and a means of draining to the exterior water that penetrates the exterior cladding.

R703.2 WATER-RESISTIVE BARRIER

Not fewer than one layer of water-resistive barrier shall be applied over studs or sheathing of all exterior walls with flashing as indicated in Section R703.4, in such a manner as to provide a continuous water-resistive barrier behind the exterior wall veneer. The water-resistive barrier material shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to meet the requirements of the exterior wall envelope as described in Section R703.1. Water-resistive barrier materials shall comply with one of the following:

- 1.No. 15 felt complying with ASTM D226, Type 1.
- 2.ASTM E2568, Type 1 or 2.
- 3.ASTM E331 in accordance with Section R703.1.1.
- 4.Other approved materials in accordance with the manufacturer's installation instructions.

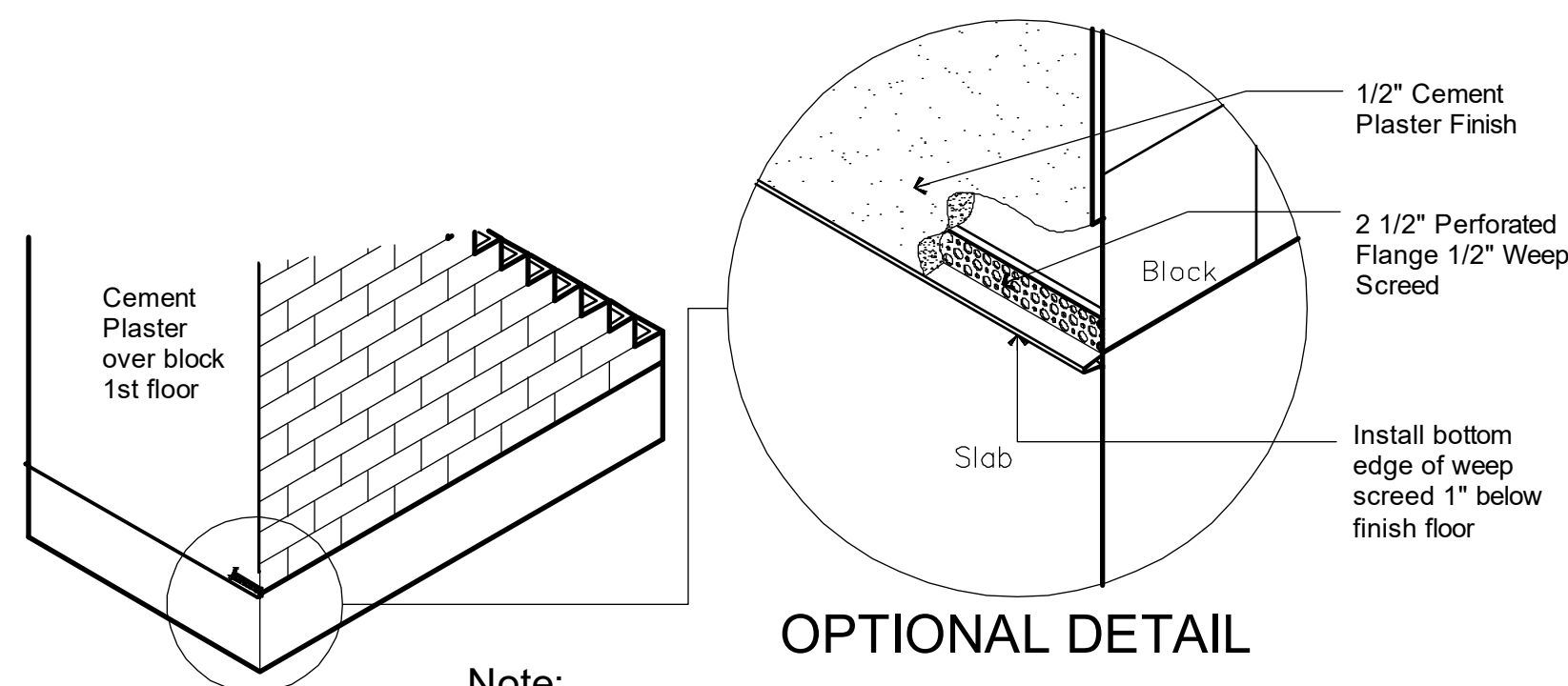
No.15 asphalt felt and water-resistive barriers complying with ASTM E2556 shall be applied horizontally, with the upper layer lapped over the lower layer not less than 2 inches (51 mm), and where joints occur, shall be lapped not less than 6 inches (152 mm).

R703.4 FLASHING

Approved metal flashing, vinyl flashing, self-adhered membranes and mechanically attached flexible flashing shall be applied shingle-fashion or in accordance with the manufacturer's instructions. Metal flashing shall be corrosion resistant. Fluid-applied

membranes used as flashing shall be applied in accordance with the manufacturer's instructions. All flashing shall be applied in a manner to prevent the entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. All exterior fenestration products shall be sealed at the juncture with the building wall with a sealant complying with AAMA 800 or ASTM C920 Class 25 Grade NS or greater for proper joint expansion and contraction, ASTM C1281, AAMA 812, or other approved standard as appropriate for the type of sealant. Fluid-applied membranes used as flashing in exterior walls shall comply with AAMA 714. The flashing shall extend to the surface of the exterior wall finish. Approved flashings shall be installed at the following locations:

- 1.Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier complying with Section 703.2 for subsequent drainage. Mechanically attached flexible flashings shall comply with AAMA 712. Flashing at exterior window and door openings shall be installed in accordance with one or more of the following:
 - 1.1.The fenestration manufacturer's installation and flashing instructions, or for applications not addressed in the fenestration manufacturer's instructions, in accordance with the flashing or water-resistive barrier manufacturer's instructions. Where flashing instructions or details are not provided, pan flashing shall be installed at the sill of exterior window and door openings. Pan flashing shall be sealed or sloped in such a manner as to direct water to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage. Openings using pan flashing shall incorporate flashing or protection at the head and sills.
 - 1.2.In accordance with the flashing design or method of a registered design professional.
 - 1.3.In accordance with other approved methods.
 - 1.4.In accordance with FMA/AAMA 100, FMA/AAMA 200, FMA/WDMA 250, FMA/AAMA/WDMA 300 or FMA/AAMA/WDMA 400, or FMA/AAMA/WDMA 2710.
- 2.At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings.
- 3.Under and at the ends of masonry, wood or metal copings and sills.
- 4.Continuously above all projecting wood trim.
- 5.Where exterior porches, decks or stairs attach to a wall or floor assembly of wood-frame construction.
- 6.At wall and roof intersections.
- 7.At built-in gutters.



Note:
The building paper and metal lath must be installed over the top of the weep screed.

A WEEP SCREED DETAIL
SCALE: NOT TO SCALE

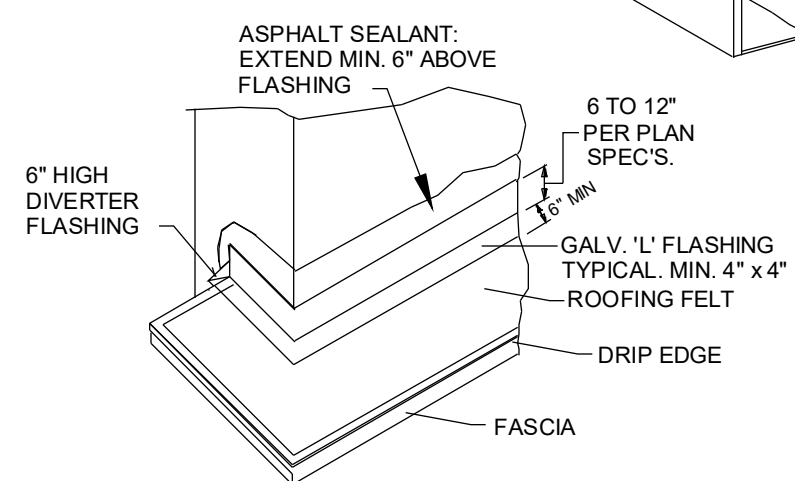
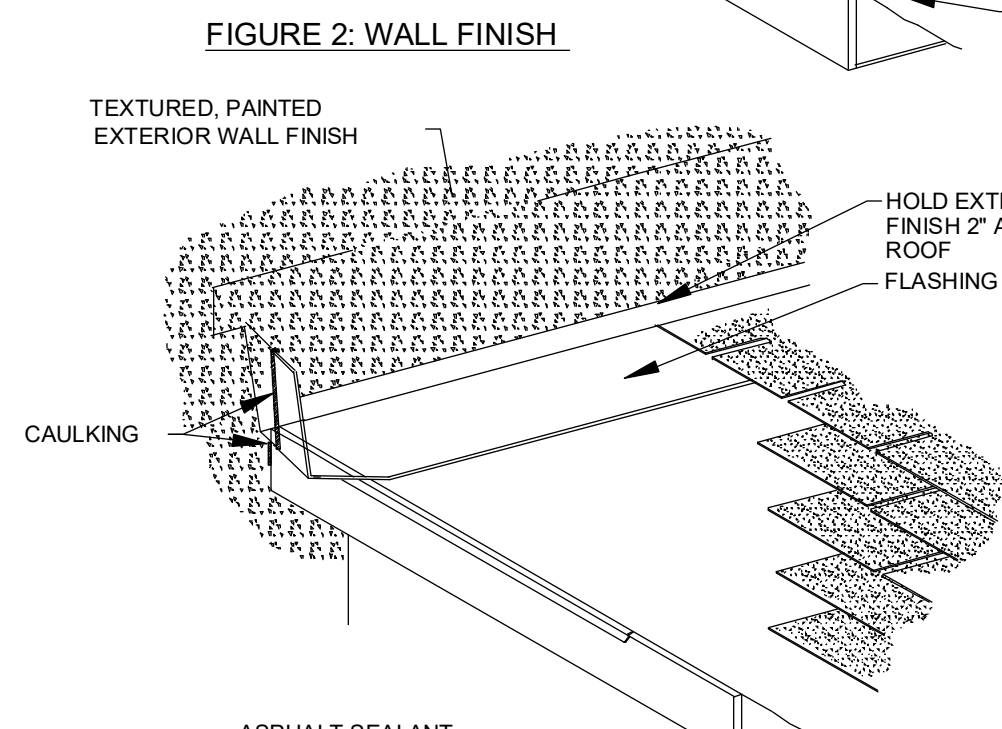
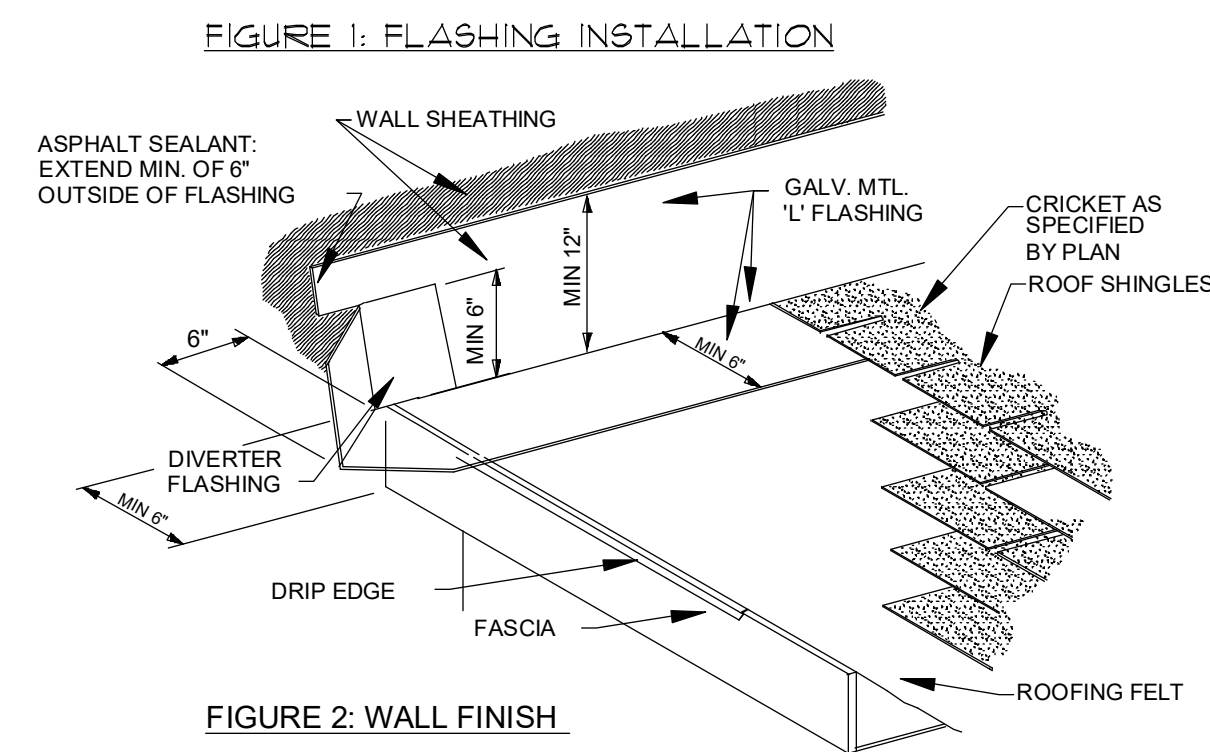
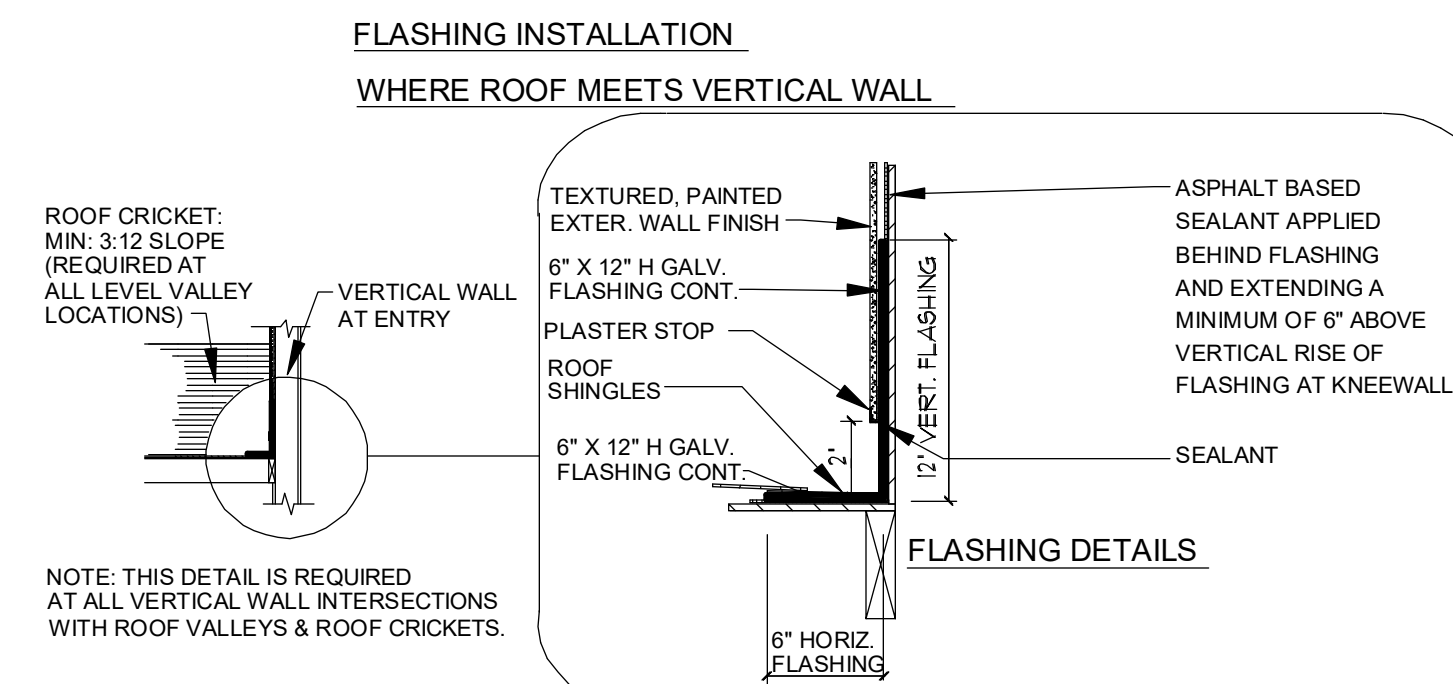
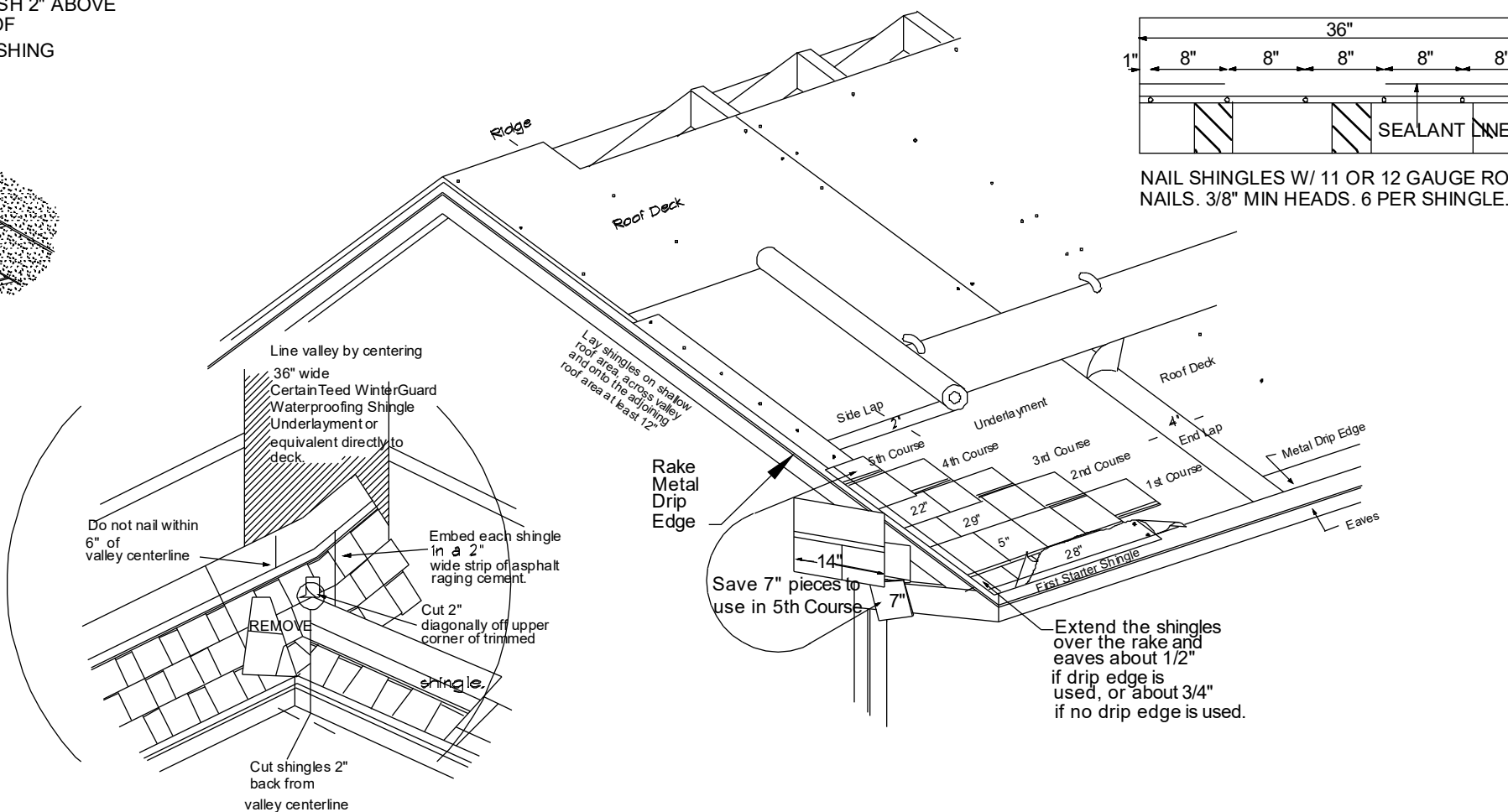
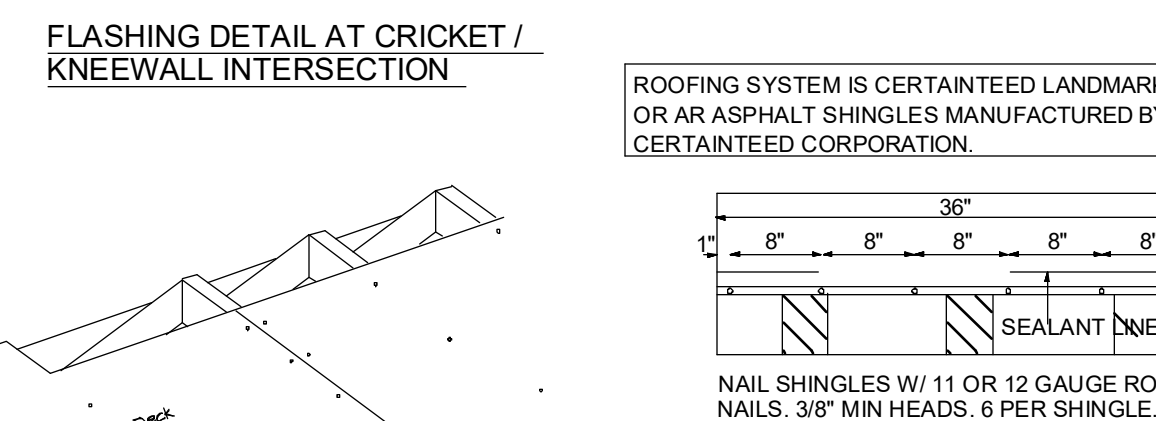


FIGURE 3: CORNER DETAIL



NOTE: THIS DETAIL IS REQUIRED AT ALL VERTICAL WALL INTERSECTIONS WITH ROOF VALLEYS & ROOF CRICKETS.

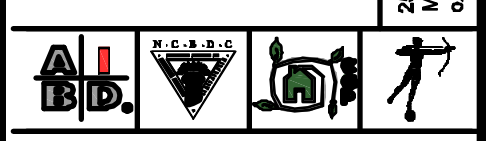


ROOF FLASHING DETAILS
SCALE: NOT TO SCALE

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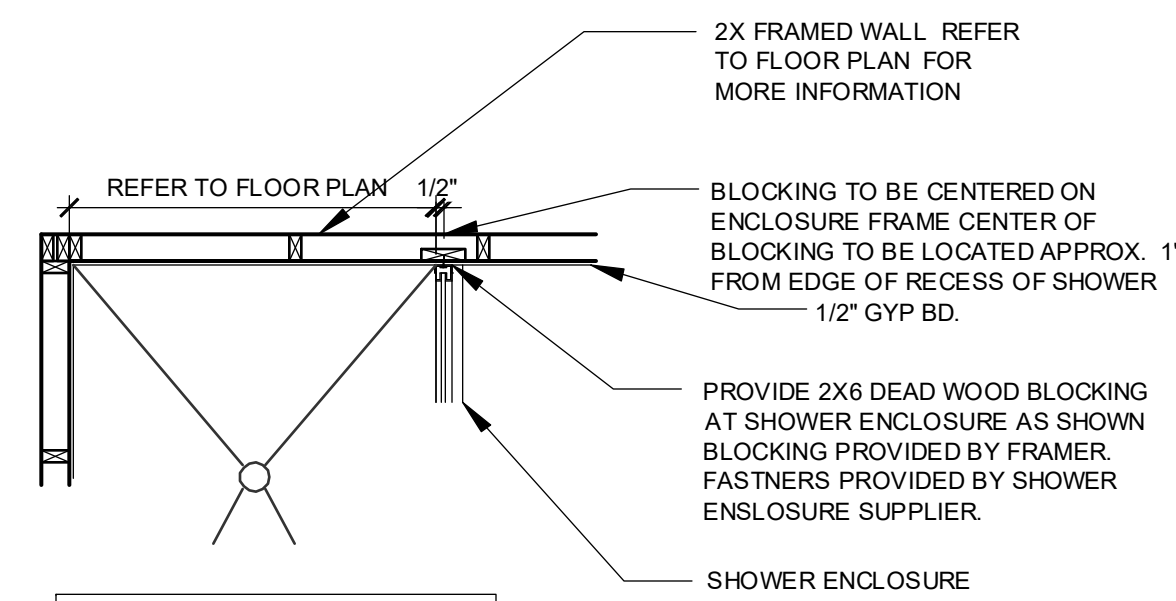
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Professional Architect License No. 8191
DATE: June 11, 2024

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
FLASHING DTLS
project no. 2022142
checked:
drawn: AB
date: 05-17-22
scale: AS SHOWN

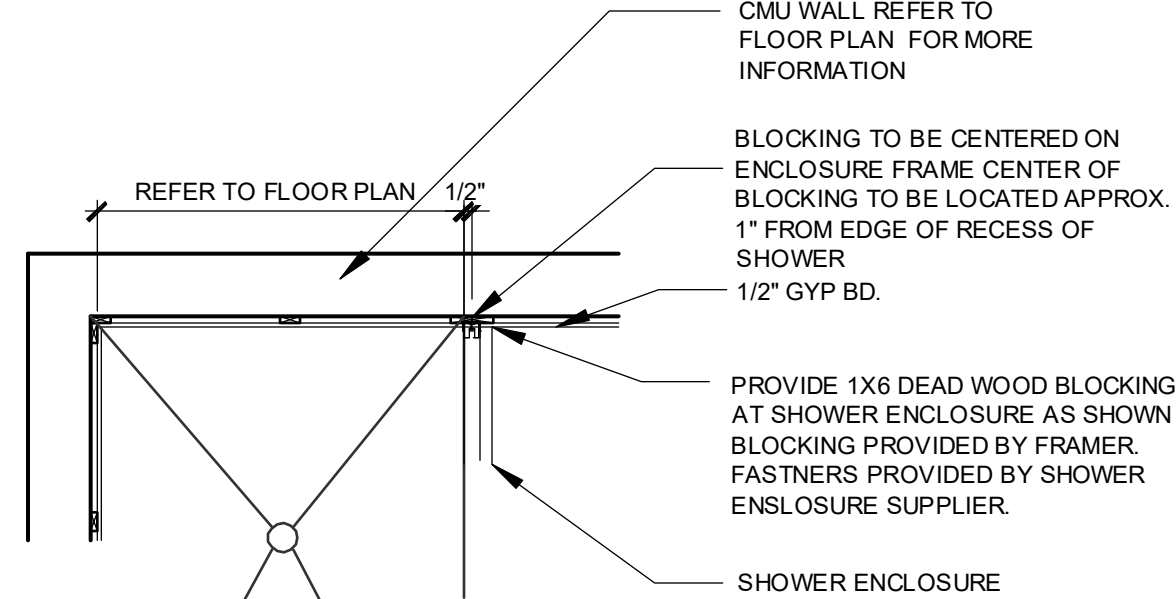
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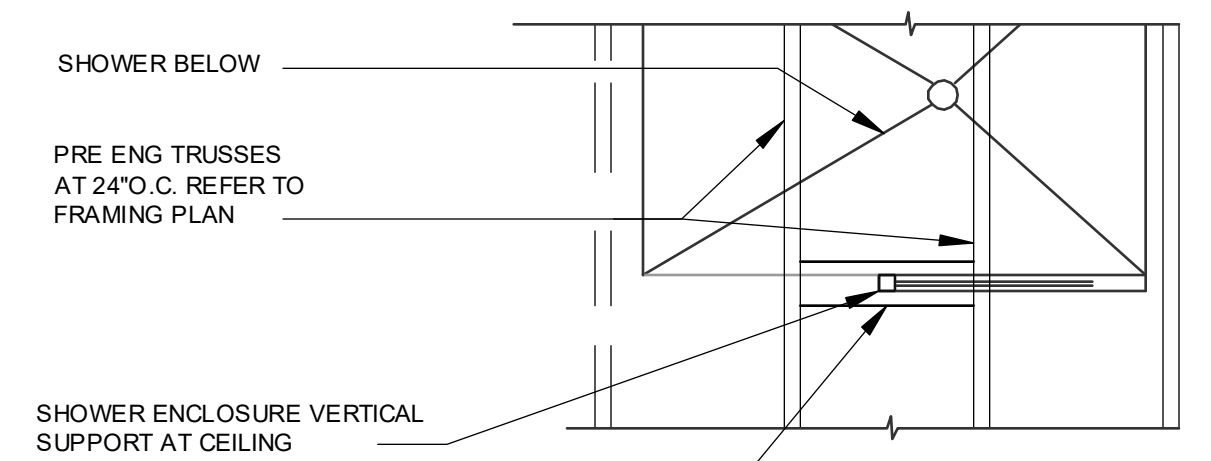
DO NOT FASTEN SHOWER ENCLOSURE DIRECTLY TO DRYWALL WITHOUT DEADWOOD BLOCKING

SHOWER ENCLOSURE AT FRAME WALL



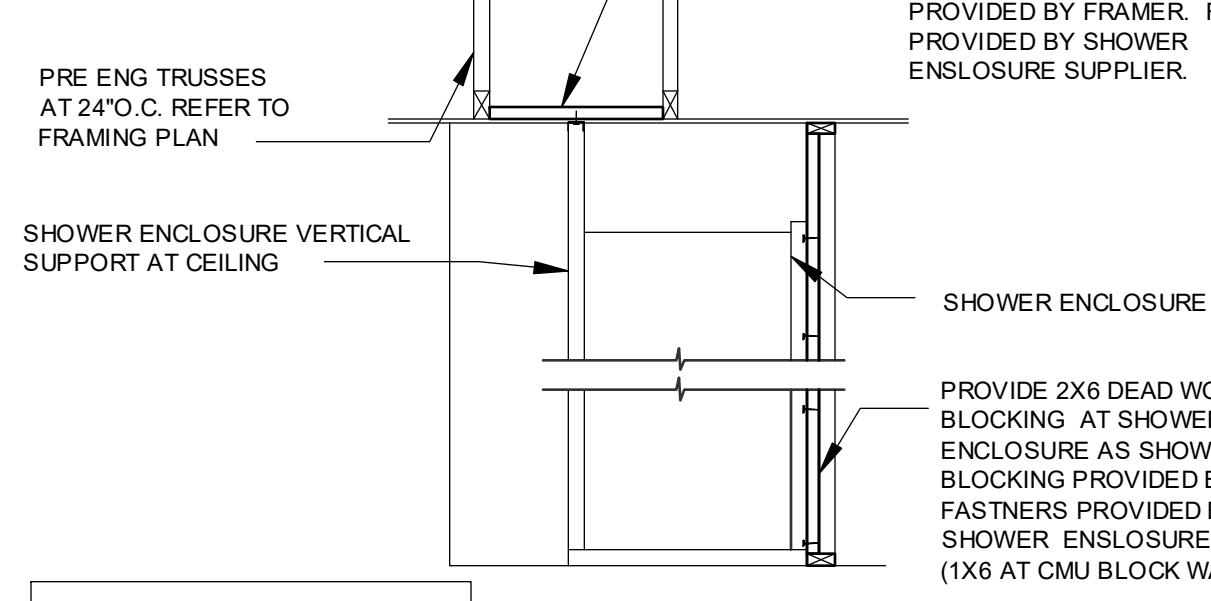
DO NOT FASTEN SHOWER ENCLOSURE DIRECTLY TO DRYWALL WITHOUT DEADWOOD BLOCKING

SHOWER ENCLOSURE AT CMU WALL



PROVIDE 2X6 DEAD WOOD BLOCKING BETWEEN TRUSSES AS SHOWN AT VERTICAL SUPPORT OF SHOWER ENCLOSURE BLOCKING PROVIDED BY FRAMER. FASTNERS PROVIDED BY SHOWER ENCSLOSURE SUPPLIER.

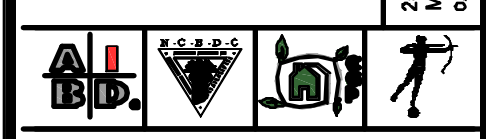
PLAN VIEW



DO NOT FASTEN SHOWER ENCLOSURE DIRECTLY TO DRYWALL WITHOUT DEADWOOD BLOCKING

ELEVATION SHOWER ENCLOSURE AT VERTICAL SUPPORT

Keesee Associates
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carl@fdsinc.com scott@fdsinc.com
 CARL A. BROWN, PE, FL #18728
 SCOTT LEWKOWSKI, PE, FL #18750
DATE: June 11, 2024
www.fdsinc.com

PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

title:
TUB ENCLOSURE DTLS

project no. 2022142
checked:
drawn: AB
date: 05-17-22
scale: AS SHOWN

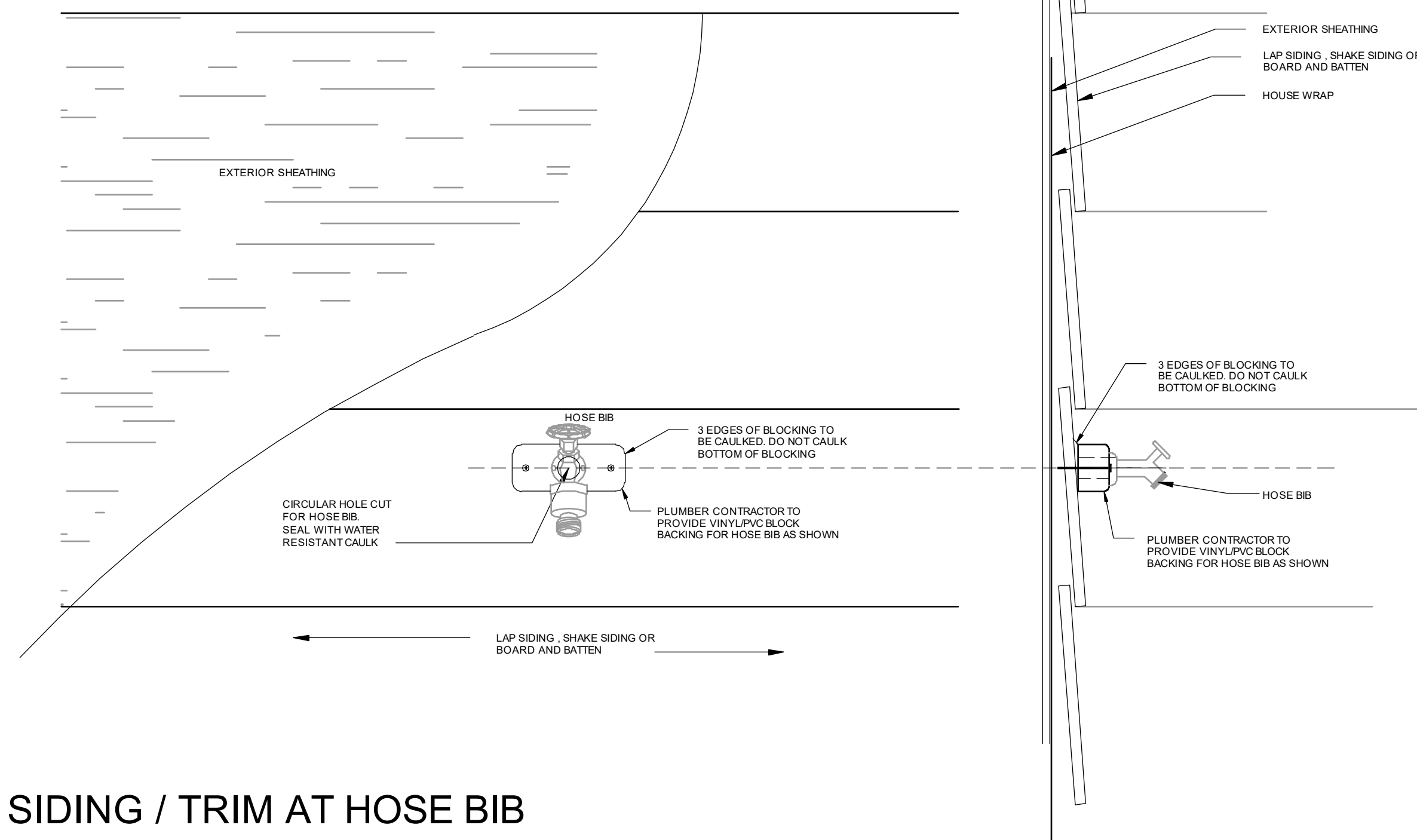
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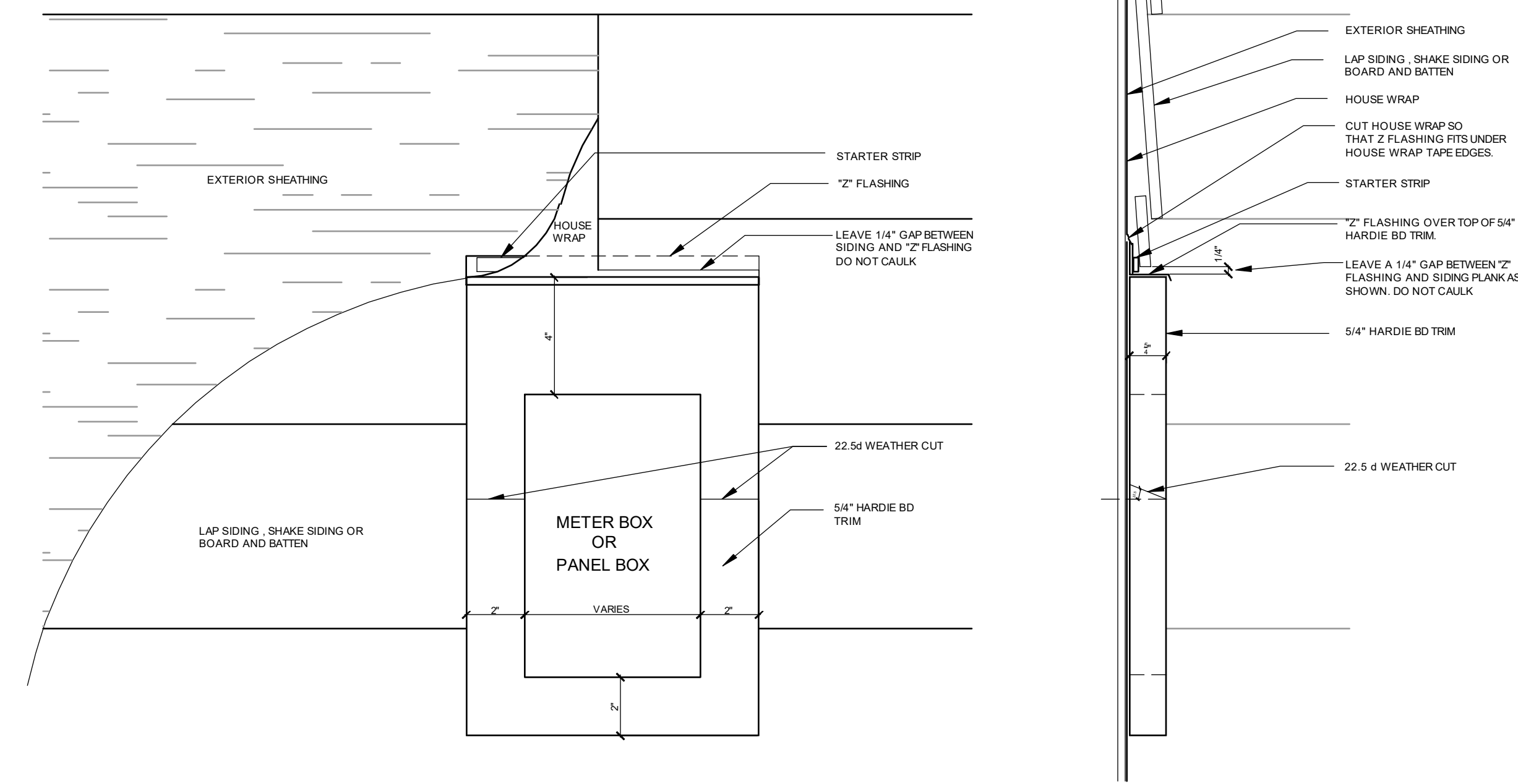
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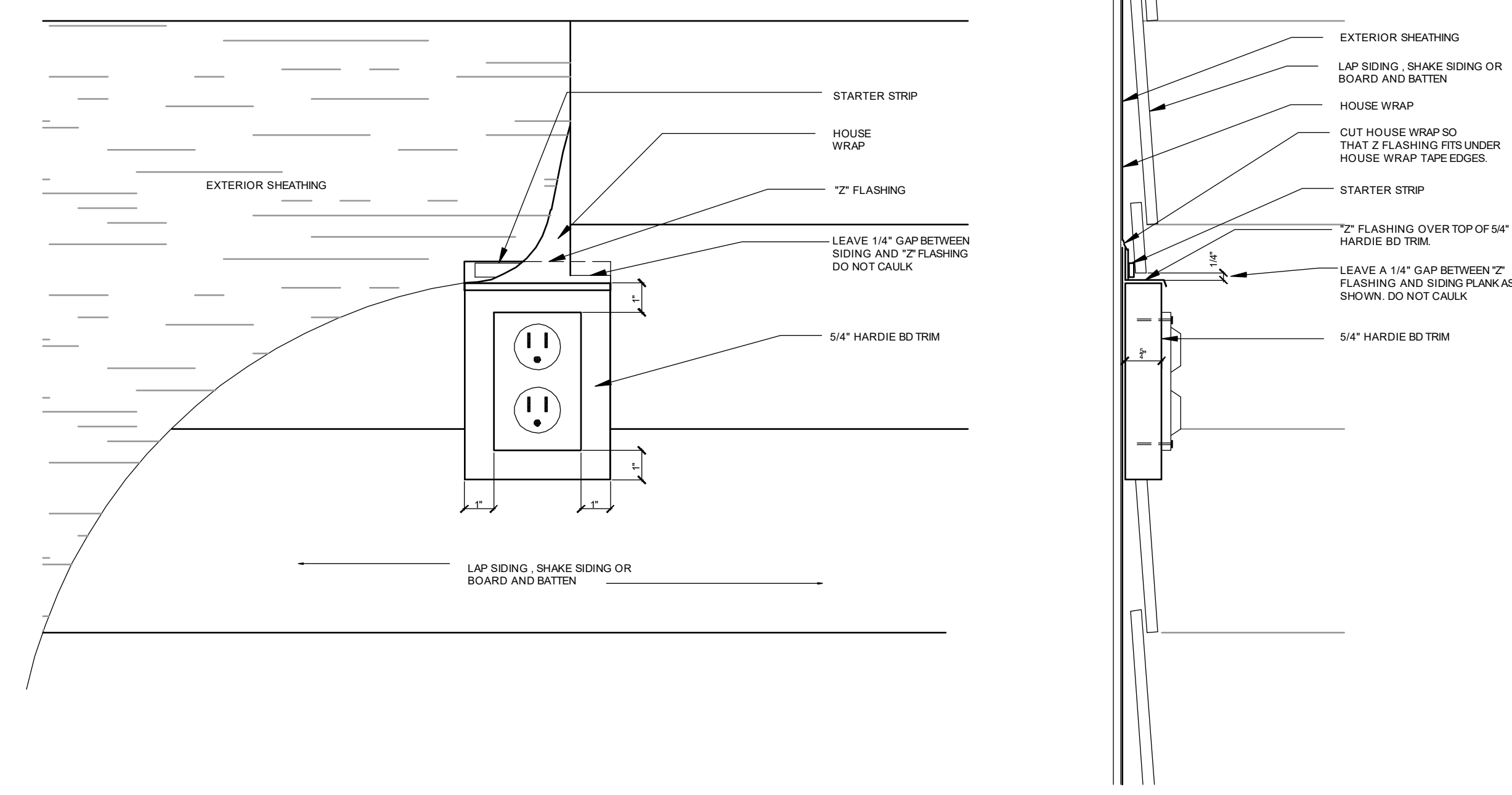
NOTE: DRAWINGS ON 11"x17" SHEET WILL BE ONE HALF THE SCALE NOTED



SIDING / TRIM AT HOSE BIB



SIDING / TRIM AT ELECTRIC METER BOX



SIDING / TRIM AT ELECTRICAL OUTLET

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PARK SQUARE
4 - UNIT
83' RL (Rear Load) TOWNS

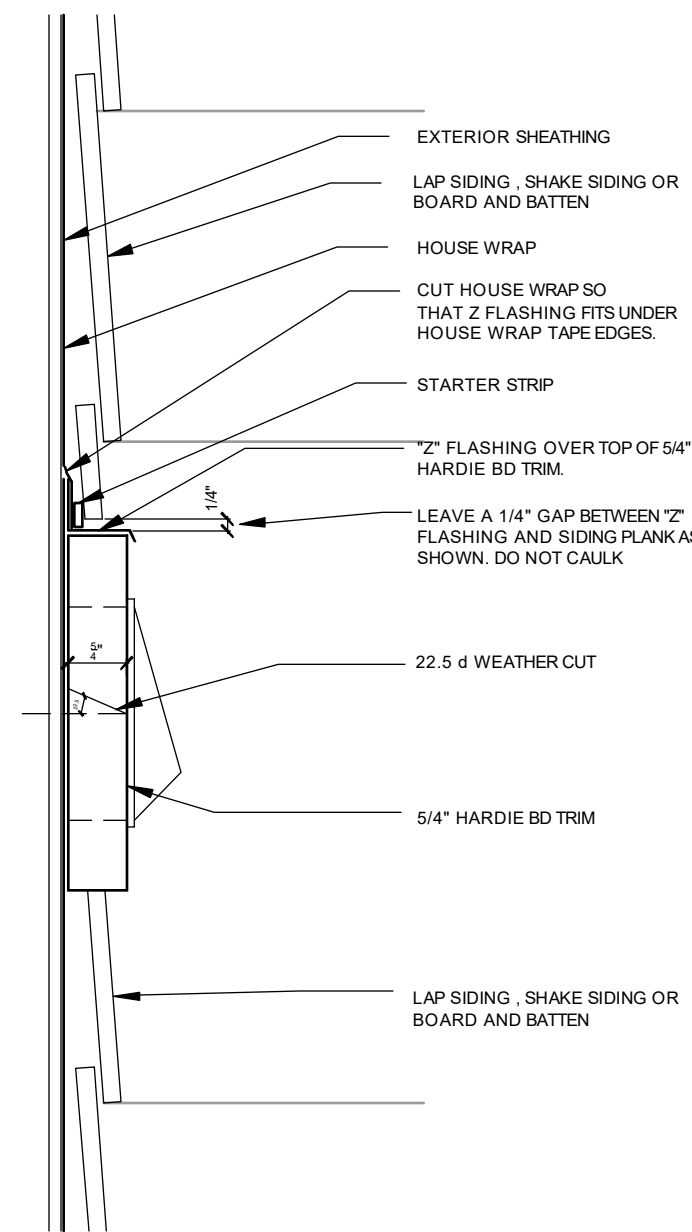
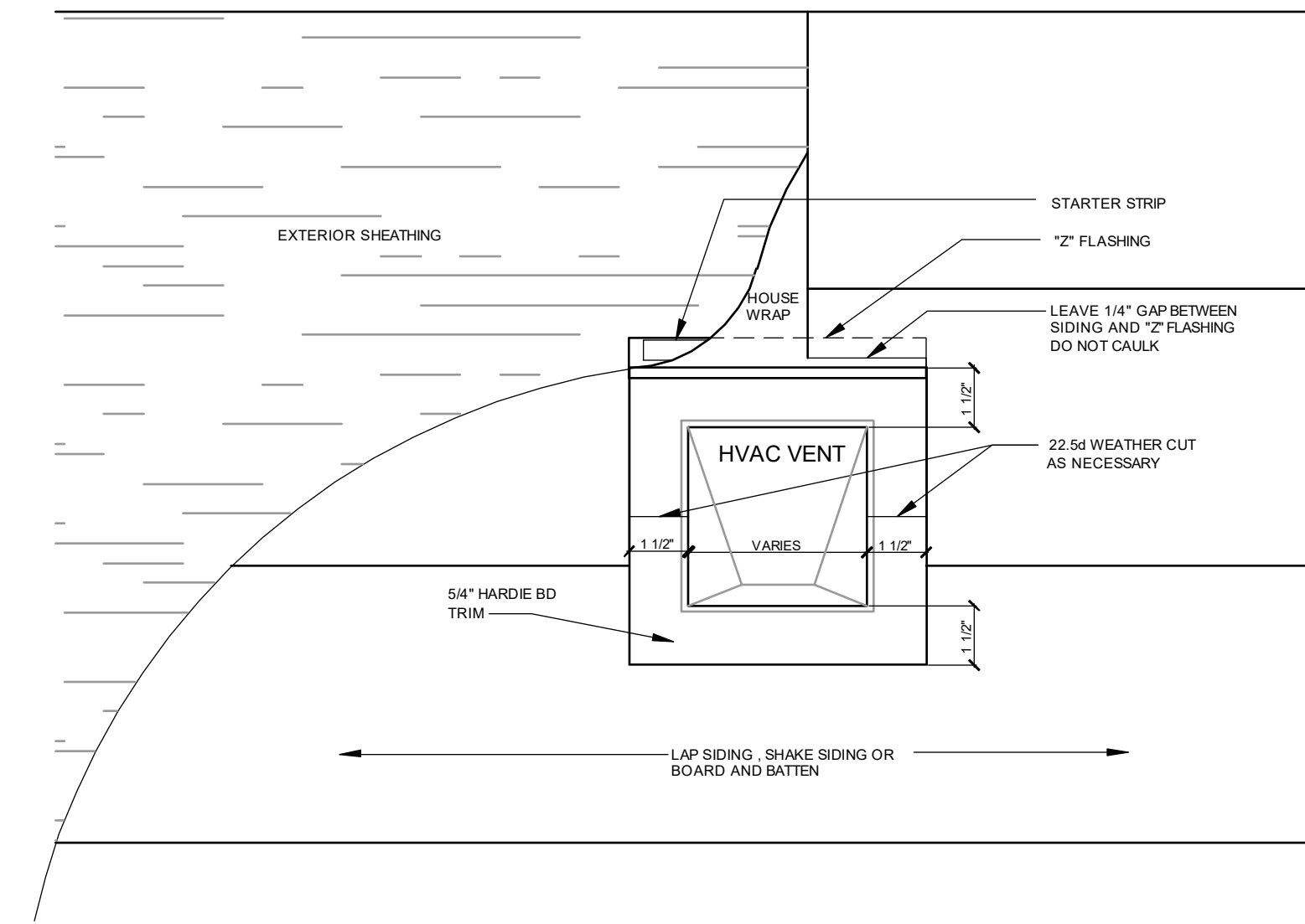
title:
**TRIM DETAILS, HB
METER, HVAC, ELEC**

project no. 2022142
checked:
drawn: AB
date: 05-17-22
scale: AS SHOWN

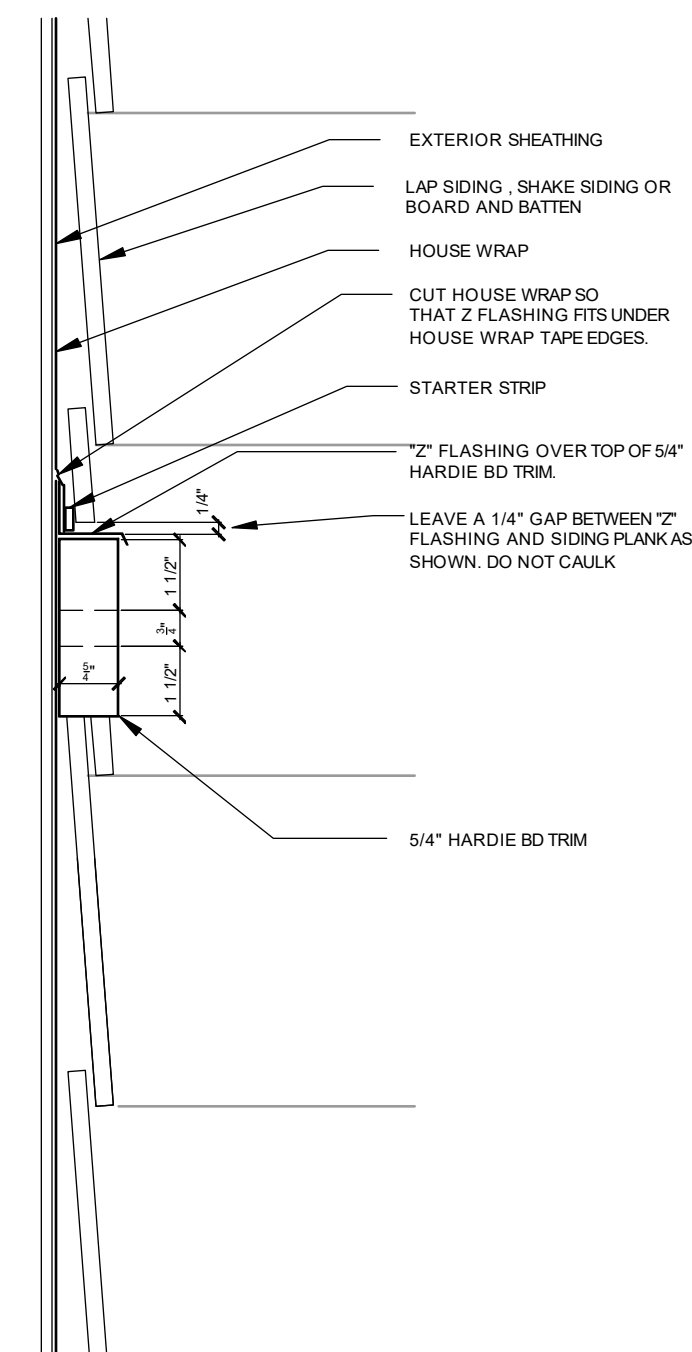
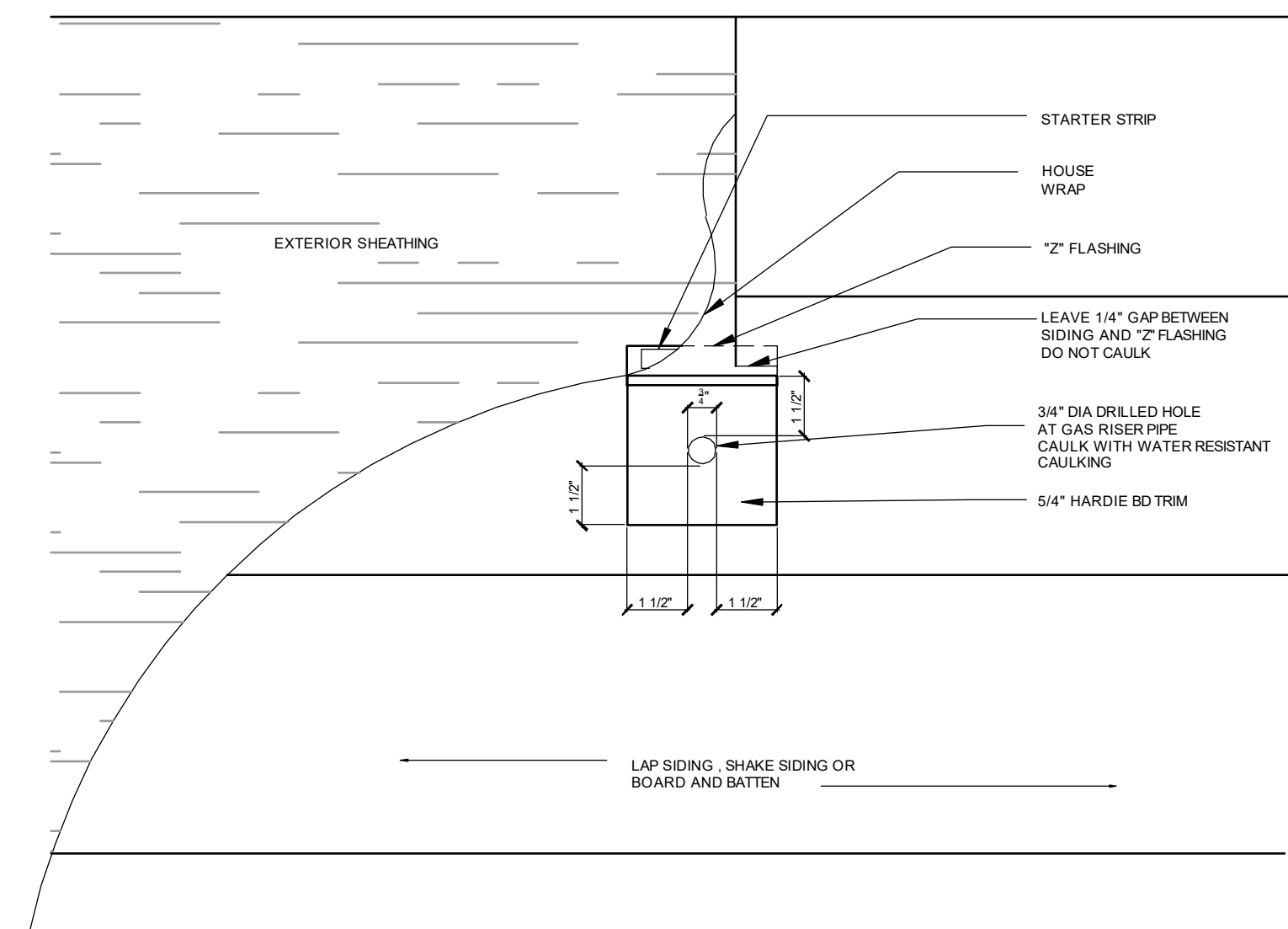
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SIDING / TRIM AT HVAC OPENINGS



SIDING / TRIM AT GAS RISER

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**PARK SQUARE
 4 - UNIT
 83' RL (Rear Load) TOWNS**

title:
**TRIM DETAILS, HB
 METER, HVAC, ELEC**

project no. 2022142
 checked:
 drawn: AB
 date: 05-17-22
 scale: AS SHOWN

DT5

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